

AGENDA
CITY OF ST. CHARLES
PLANNING & DEVELOPMENT COMMITTEE
ALD. CLIFF CARRIGNAN – CHAIRMAN

MONDAY, JANUARY 14, 2013 - 7:00 PM
CITY COUNCIL CHAMBERS
2 E. MAIN STREET

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. FIRE DEPARTMENT**
 - a. Recommend approval to waive the formal bid procedure and authorize purchase of new brush truck/multi-purpose response vehicle.
- 4. COMMUNITY DEVELOPMENT**
 - a. Recommendation to approve PUD Preliminary Plan, Final Plat of Subdivision, and Minor Change to PUD Preliminary Plan (Discount Tire Zylstra PUD - Lots 3 & 4).
 - b. Recommendation to approve General Amendments to Chapter 17.04 “Administration” and Chapter 17.18 “Inclusionary Housing” of Title 17 of the City Code (Zoning Ordinance).
- 5. ECONOMIC DEVELOPMENT**
 - a. Recommend that the City Council direct staff and the City Attorney to draft an Economic Development Incentive Agreement with US Adventure RV (131 S. Randall Rd.).
- 6. ADDITIONAL BUSINESS**
 - a. Update on the Comprehensive Plan Project-Information only.
- 7. ADJOURNMENT**



ST. CHARLES
SINCE 1834

AGENDA ITEM EXECUTIVE SUMMARY

Title: Request to Waive the Formal Bid Procedure and Authorize Purchase of New Brush Truck

Presenter: Acting Chief Joseph Schelstreet

Please check appropriate box:

	Government Operations		Government Services
X	Planning & Development-(1/14/13)		City Council

Estimated Cost:	\$119,139	Budgeted:	YES	X	NO	
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If NO, please explain how item will be funded:

Executive Summary:

The Fire Department is requesting permission to waive the bid procedure and purchase a Brush Truck/Multi-Purpose Response Vehicle manufactured by the Danko Emergency Equipment Company. The Danko Company currently has a vehicle on the assembly line that meets or exceeds the specifications outlined by the Fire Department. Danko is offering the vehicle at a discounted price as its manufacture was intended to be fill work during a slow period. The Fire Department has \$69,342 budgeted for this purpose however, in order to facilitate the acquisition of the Danko unit, the Foreign Fire Insurance Board approved the expenditure of \$50,000 to compliment the amount budgeted by the City. The Danko representative has advised the Fire Department that the vehicle is to a point in production where it must be offered to others for purchase through normal advertisement. Staff has researched pricing for similar vehicles and these costs have been between \$128,000 and \$200,000. Delivery time for the Danko unit is estimated at 12-16 weeks as it is already in process. Standard delivery time for a new order would be between 23 and 34 weeks.

Attachments: *(please list)*

Quote from Danko Emergency Equipment, Pricing information on comparable units from Firematic Supply and Fenton Fire Equipment.

Recommendation / Suggested Action *(briefly explain):*

Staff requests approval to waive the bid procedure and permission to purchase a Brush Truck/Multi-Purpose Response Vehicle from Danko Emergency Equipment Company at a cost of \$119,139.

<i>For office use only:</i>	<i>Agenda Item Number: 3a</i>
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www.DANKO.net

DANKO EMERGENCY EQUIPMENT Co.

302 East 4TH Street • PO Box 218 • Snyder, NE 68664-0218
Phone (402) 568-2200 • Fax (402) 568-2278 • info@danko.net

Toll Free (866) 568-2200

PROPOSAL FOR FIRE APPARATUS

12/21/2012

TO: _____ St. Charles Fire Department
_____ St. Charles, IL

Dear Sirs:

We hereby propose and agree to furnish, after your acceptance of this proposal and the proper execution and approval of the accompanying contact, the following apparatus:

1-Danko Q-0341 Quick Response unit as per the specifications dated 12-21-12	\$119,139.00
mounted on a Ford 550 Super Duty Extended Cab chassis	
TOTAL	\$119,139.00

All of which are to be built in accordance with the specifications attached, and which are made a part of this agreement and contract to deliver same by 90-140 calendar days after receipt of signed and accepted contract at Danko Emergency Equipment, Co. proposal subject to all causes beyond our control, for the sum of:

One hundred nineteen thousand one hundred thirty nine dollars and no/00-----

(\$ 119,139.00) F.O.B. Snyder, NE

Terms: Downpayment in the amount equal to the chassis (\$43,546.00) is due upon contract signing. The balance will be due at final delivery in Snyder, NE.

All payments of any nature must be paid directly from the customer to Danko Emergency Equipment Company in Snyder, Nebraska.

The amount named in this proposal shall remain firm for a period of 15 days from the date of same.

Respectfully Submitted
DANKO EMERGENCY EQUIPMENT CO.

We agree to accept the above proposal

David Knobbe
Title: Apparatus
Date: 12/21/2012

(Customer signature)
Title: _____
Date: _____

Fenton Fire Equipment
 Global suppliers of quality pre-owned custom fire apparatus and equipment.
1-866-FIRETRUCKS
1-866-310-2077

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- Ambulances
- Command Vehicles
- Other Vehicles
- Airport Crash Trucks ARFF
- Antique Fire Trucks
- Boats, fire and rescue
- Jaws of Life and reels
- SCBA Air Packs / bottles
- Loose and Misc Equipment
- Roto Ray Warning Lights
- Sold Equipment
- Client Testimonials
- Financing
- Fire Station Financing
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2012 Ford F-550 4 x4 brush truck 400/350/foam (W0733)

videos for this listing are available. [CLICK HERE!](#)



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How far are you from this listing? Enter your ZIP code and we'll tell you!

Your ZIP:

remember ZIP

Or [click here](#) for more ZIP search options

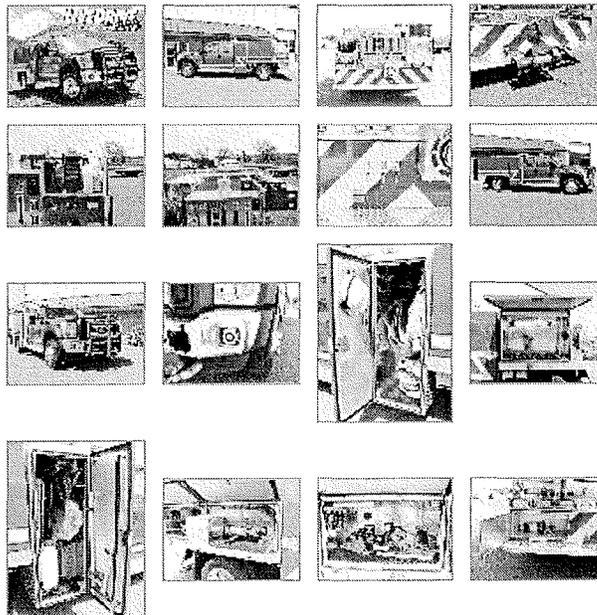
General Specs

- 2012 Ford F-550 SD Chassis
- 6.7L Power Stroke Turbo Diesel
- 6-speed TorqueShift Trans
- Electronic Shift-On-the-Fly 4X4
- 4 Wheel Anti-Lock Disc Brake System
- 4.88 Ratio Limited Slip Rear Axle
- Front and Rear Sway Control Bars
- Michelin LT 225\70R19.5G Traction Tires
- Phoenix Stainless Steel Wheel Trim
- Auto Engine Idle Control
- Charge Protect Programmed
- Engine Block Heater
- Dual Alternators 250 Amp
- 40 Gal. Fuel Tank
- Chrome Bumper
- Heated Power Mirrors
- LED Roof Clearance Lights
- NFPA Treadplate Running Boards
- Vermillion Red Paint
- Polyurethane Black Frame Paint
- SuperCab with Rear Bench
- Speed/Cruise Control
- Tilt Wheel
- Intermittent Wipers
- Power Windows
- Power Locks
- AM/FM/CD Premium Stereo
- Remote Keyless Entry
- Gray Vinyl Bucket Seats
- Removable Rubber Floor Mat
- Dual Airbags
- Custom Painted Aluminum Console
- Streamlight 20X Rechargeable
- Weldon LED Red/Clear Dome Lamp
- EBY Aluminum Extrusion Flatbed
- 0.125" Treadplate Compartments
- Painted Compartment Doors
- Automotive-type Rotary Latches
- Large Stainless D-ring Handles
- Continuous Stainless Steel Hinge
- Gas Strut Door Holds
- Turtle Tile Compartment Liner
- Kussmaul 1000 Charging System
- 18 Amp Output (15 Battery, 3 Battery Saver)
- Remote Charge Indicator
- Kussmaul Super Auto-Eject Shoreline
- 120V 20Amp Connector Included

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CALL Toll Free:
1-866-FIRETRUCKS
 OR
1-866-310-2077

eMail: Sales@FentonFire.com

OR use our contact form

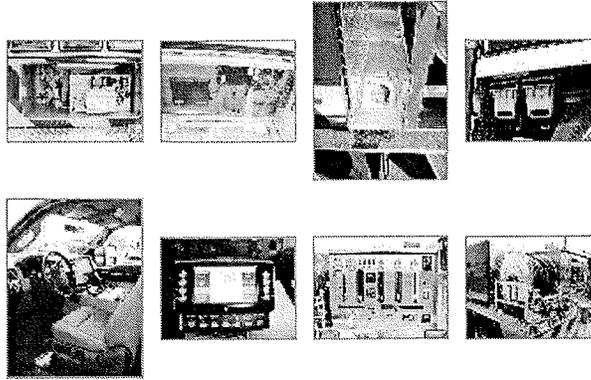


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Contact us to learn about our advertising opportunities.



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Roto Ray Warning lights are the most effective warning lights on the market. Being placed on either the trucks front grill or bumper, the Roto Ray Warning lights directly warns the drivers ahead of you at rear window level. Roto Rays Warning Lights have been around for over 65 years and are still the most recommended warning lights out on the market.



Asking \$128,800

CALL TOLL FREE 1-866-310-2077

- Ramsey QM9000 Portable Winch
- Receiver and Wiring for Portable Winch Front and Rear
- Full Rear Step Bumper with Compartments
- 2- CPI NFPA 1906 Wheel Chocks
- 2- FRC Evolution LED Scene Lamps
- Whelen700 LED Brake/Tail Lights
- Whelen 700 LED Reverse Lamps
- Grote M5 LED Marker Lights
- Mudflaps with Reflective Logo
- Federal Signal E-Q2B
- 200 Watts, 5 Functions
- 2- CPI Through-Bumper Speakers
- Front Transverse Compartment:
 - 24" Wide x 95" Across x 56" High
 - 20" x 51" "Frame Hump" In Middle
- L2 Compartment:
 - 49" Wide x 24" Deep x 30" High
- R 2&3 Compartment:
 - 40" Wide x 24" Deep x 21" High
- Roll-out in R2
- Bumper Compartment:
 - 26" Wide x 14" Deep x 12" High
- 3 Years/ 36,000 Mile Chassis Bumper to Bumper
- 5 Years/ 60,000 Mile Powertrain & Roadside Assistance
- 1 Year Complete Apparatus
- 5 Year LiveDrive Plus
- Lifetime UPF Tank
-
- Loose Equipment Package:
 - Ferno Gazelle Stokes Basket
 - Ferno Najo lite Backboard
 - Akron Hand Tools
 - UL Standard Pike Poles, 4' & 6'
 - Rubbish Hook, 6'
 - McLeod Tool
 - Fire Rake, 60" Handle
 - 2- Fire Brooms
 - Round-Point Shovel, 48" Handle
 - Square-Point Shovel, 48" Handle
 - 6 LB Fire Axe, Standard
 - 6 LB Fire Axe, Pick
 - Pinch Point Bar, 51"
 - Tri-Bar, 30", Orange
 - Round-Point Shovel, Short "D" Handle
 - Square-Point Shovel, Short "D" Handle
 - Scoop Shovel, Short "D" Handle
 - Wide Floor Broom
 - Fire Extinguisher, 10LB
 - Echo CS-400 16" Chainsaw
 - Echo CS-600 20" Chainsaw
 - 2-Gallon Safety Gas Can
 - 4" Barrel Strainer with Rope
 - 2- Smith Indian Tank, Plastic
 - 5- Collapsible Traffic Cones with Beacons
 - First Aid Kit
 - Floor Dry Bucket

Pump

- LiveDrive Plus PTO Drive System (Patent Pending)
- Hale CBP3 Pump
- 400 GPM @ 100 PSI
- 250 GPM @ 150 PSI
- UPF Poly Tank IV
- 350 Gallons Water
- 15 Gallons Foam
- Stainless Steel Pump Panel
- 4" Master Gauges
- Akron G2 Heavy-Duty Valves
- FRC Pump Boss Electronic Pressure Governor
- FRC TankVision Water Level Display
- 4" Intake Fitting (3" Valve and Plumbing)
- 3" Tank-to-Pump Valve
- 2- 1.5" Hosebed Preconnect
- 1- 1" Hose Reel (1.5" Valve and Plumbing)
- 1- 2.5" Pump Panel Discharge
- 1- 3/4" Garden Hose Pump Panel Discharge
- Hannay SBEF Super-Booster Electric Rewind Reel,

- 200' of 1" Firequip Booster Hose
- Akron Firefox Electric Monitor
- Quick Disconnect
- Joystick Control
- Adjustable Nozzle 30-125 GPM
- FoamPro 1600 Foam Eductor
- 1.7 GPM
- 0.1 -1% Adjustable Concentration
- All Discharges Foam except 2.5" and 3/4"
- Akron Hydrant/Spanner Wrench Set
- 2- TFT 4" Suction Hose

Electrical

- Front
- Whelen 56" Justice
- 6- Red LED
- 2- LR11 LED Alley Lights
- 2- LR11 LED Takedown/Front Scene
- 2-Whelen 500 Series Red LEDs in Grille
- Each Side
- 1- Whelen LINZ6 Red LED
- 1- Whelen 700 Series Red LED
- Rear
- 2-Whelen 700 Series Red LED
- 2- FRC Evolution LED Pole Lights, 15,000 Lumens Each
- 2- LR11 Front Scene in Lightbar
- 2- LR11 Side Scene/Alley in Lightbar

Dimensions

- Miles: 500
- 19,500 Lbs. G.V.W.R.
- 22' 2" Overall Length
- 7' 4" Overall Height
- 100" Wide
- 162" Wheel Base
- Weight Full of Fuel, Water and Loose Equipment
- Front: 5300 LB
- Rear: 10,620 LB
- Gross: 15,920 LB

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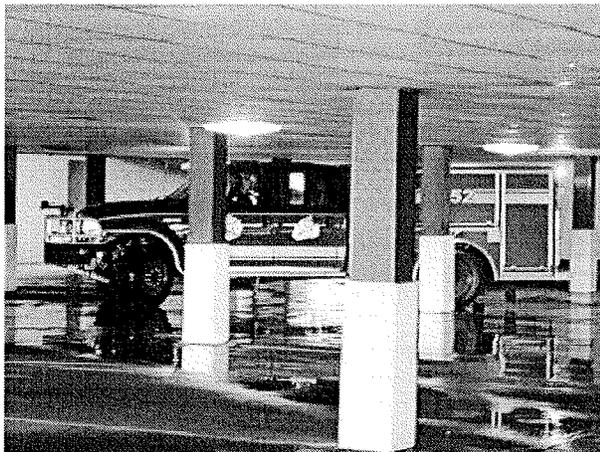
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PLAINVIEW FIRE DEPARTMENT

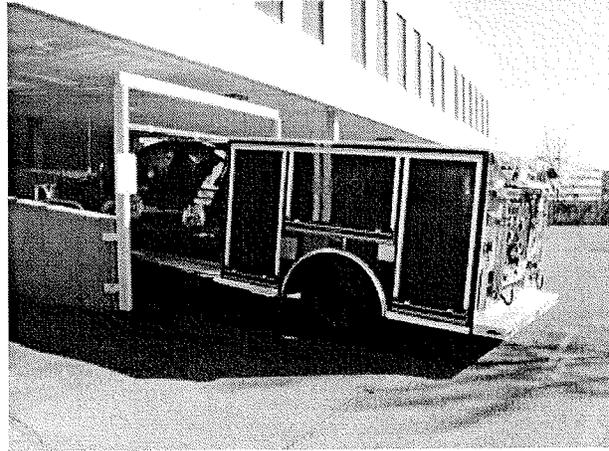
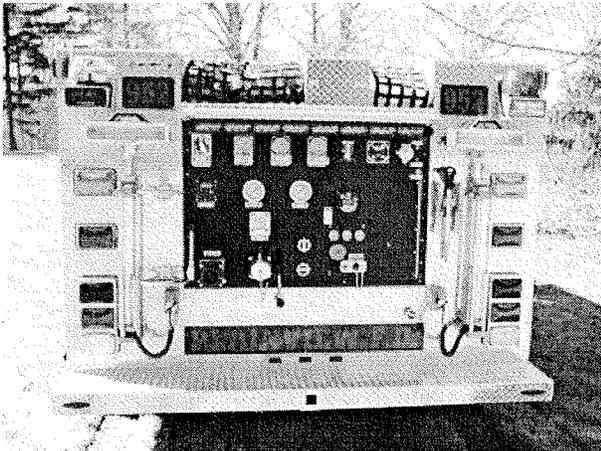
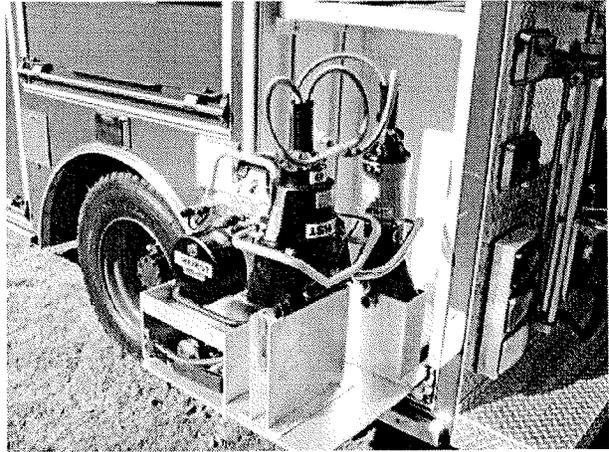
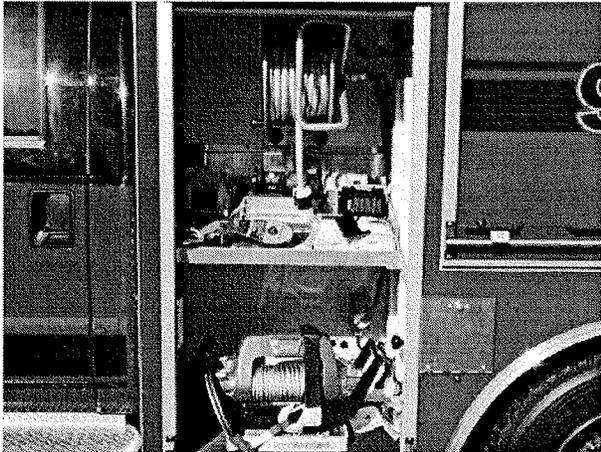
Plainview, New York

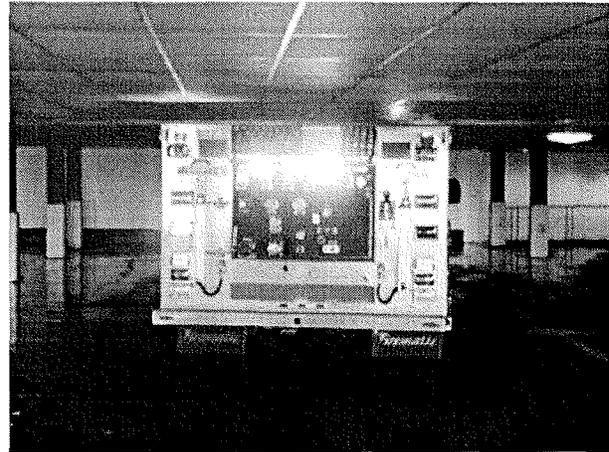
[Click here](#) to see this truck in action!


SPECS:

- 2007 Ford F550 4 Door 4x4
- 6.0L 325 HP Diesel Engine
- Low Profile 6' 10" Overall Height For Parking Garage coverage
- Super Single wheels and tires
- 400/15 gallon Pro Poly water tank
- 60 HP Deutz diesel w/ Hale 30FS pump 300 gpm @ 150 psi
- Hale 3.3 FoamLogix Class B foam injection system
- Pump and roll capability
- Fire Research "Pro S" governor and water level gauge
- One 1.5" front trash line
- Two Rear 1.5" Preconnects
- One 2.5" direct discharge
- Passenger side electric Hannay reel w/ 100' of 1" booster.
- 300 feet of 2.5" deadlay
- Oasis 12 volt Air Compressor w/ 5 Gallon Reservoir
- 5 KW Raven Blackbird Underhood 110 volt Generator
- Two FRC 1000 Watt 110 volt Tripod Lights
- Whelen Led Lighting Package
- Extended front bumper and brush guard
- Warn 9.5ti portable winch for both front and rear access
- Elkhart Sidewinder Remote Control Deckgun
- Remote Pump Start/Stop from Cab
- One Officer Bostrom SCBA seat and two crewcab Bostrom SCBA seats.

- Hurst Cutter and Spreader package on slide out tray with gas power unit.





 Contract Holder The B.R.A.T. is now available via **GSA Contract #GS30F0028U**. Contact [David Horton](#) at 631-995-3246 for more information.

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Firematic Mfg. Inc.

PO Box 187
Yaphank, NY 11980
631-924-3181 fax 631-924-5202

Quote

Customer

Name	St. Charles F.D.	Date	12/26/2012
Address		Order No.	
City	State ILL ZIP	Rep	
Phone	630-762-7031	Attn:	Steve Dries

Qty	Description	Unit Price	TOTAL
1	<p>Garage Rescue BRAT as per St. Charles specification.</p> <p>*Leadtime would be approx 3 months to order and receive Ford chassis then 180 days for truck completion.</p> <p>Delivery to customer and training on use of vehicle can be quoted separately if so desired.</p>	\$200,000.00	

SubTotal	TBD
Shipping & Handling	NA
Taxes	
TOTAL	TBD

Office Use Only





AGENDA ITEM EXECUTIVE SUMMARY

Title:	Recommendation to Approve PUD Preliminary Plan, Final Plat of Subdivision, and Minor Change to PUD Preliminary Plan (Discount Tire Zylstra PUD - Lots 3 & 4)
Presenter:	Matthew O'Rourke

Please check appropriate box:

	Government Operations		Government Services
X	Planning & Development – (1/14/13)		City Council
	Public Hearing		

Estimated Cost:	N/A	Budgeted:	YES		NO	
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If NO, please explain how item will be funded:

Executive Summary:

Discount Tire (represented by Todd Mosher of Atwell, LLC.) has submitted applications to construct a new Discount Tire retail facility on a portion of Lot 4 in the Zylstra PUD. The details of the proposal are as follows:

PUD Preliminary Plan for the Discount Tire Facility

- One 6,947 square foot retail building.
 - 4 service bays on the south side of the building.
- 33 off-street parking spaces.
- One access-point off of the internal Zylstra PUD access road.

Final Plat of Subdivision

The applicant is proposing to subdivide Lots 3 & 4 from two 1.5-acre lots into three 1-acre lots.

Minor Change to the 2005 Zylstra PUD Preliminary Plan

When the Zylstra PUD was approved in 2005, a PUD Preliminary Plan was incorporated into that approval which illustrated the size and location of Lots 3 & 4. Since the applicant is proposing to modify these two approved lots into three smaller commercial lots, a Minor Change to the approved 2005 Zylstra PUD Preliminary Plan is required.

Plan Commission Review

The Plan Commission reviewed and recommended approval of the proposal on 12/18/12, the vote was 6-aye to 0-nay.

Attachments: *(please list)*

Application for a PUD Preliminary Plan, received 11/20/12; Application for a Final Plat of Subdivision, received 11/20/12; Staff Report, dated 1/2/12; Zylstra PUD Ordinance, Relevant Exhibits (ORD 2005-Z-11); Staff Comment Letters (Planning, Engineering, and Fire); PUD Preliminary Plans, Atwell, LLC., dated 11/5/2012; Architectural Elevation, Plump Group Architecture & Engineering, dated 09/28/12; Final Plat of Subdivision, Atwell, LLC., dated 11/2/2012.

Recommendation / Suggested Action *(briefly explain):*

Recommend approval of the applications for a PUD Preliminary Plan, Final Plat of Subdivision, and Minor Change to PUD Preliminary Plan contingent upon resolution of all staff comments.

<i>For office use only:</i>	<i>Agenda Item Number: 4a</i>
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CITY OF ST. CHARLES

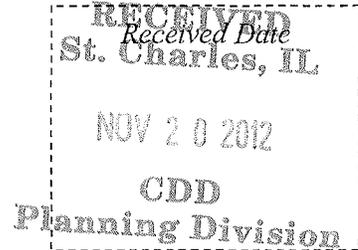
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION



CITYVIEW	
Project Name:	<u>Discount Tire - Zylstra PUD</u>
Project Number:	<u>2012 -PR-010</u>
Application Number:	<u>2012 -AP-021</u>

Instructions:

To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Parcel Number (s): Part of 09-32-230-009	
	Proposed Name of PUD: Zylstra Center	
2. Applicant:	Name Todd Mosher	Phone (630) 281-8477
	Address Atwell, LLC 1245 E. Diehl Road, Suite 100 Naperville, Illinois 60563	Fax (630) 577-0900
		Email tmosher@atwell-group.com
3. Record Owner:	Name See Attached.	Phone
	Address	Fax
		Email
4. Billing: <i>Who is responsible for paying application fees and reimbursements?</i>	Name Todd Mosher	Phone (630) 2881-8477
	Address Atwell, LLC 1245 E. Diehl Road, Suite 100 Naperville, Illinois 60563	Fax (630) 577-0900
		Email tmosher@atwell-group.com

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984

COMMUNITY DEVELOPMENT/PLANNING DIVISION PHONE: (630) 377-4443

FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION

Question 3: Record Owners:

Names:

Thomas C. Zylstra Farms LLC, an Iowa Limited Liability Company.
5047 180th Street, Sibley, IA 51249
Telephone: (612) 810-1082

Robert C. Zylstra Farms LLC, an Iowa Limited Liability Company.
15621 213th Ave., Lakeshore Dr.
Spirit Lake, IA 51360

Telephone: (612) 810-1082

Randy K. Johns Farms LLC, an Iowa Limited Liability Company
417 S. Vine; PO Box 39
Roland, IA 50236
Telephone: (612) 810-1082

Attachment Checklist

Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.

☒ **APPLICATION:** Completed application form signed by the applicant

☒ **APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance.

☒ **REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ **PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

☒ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☒ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

☒ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnrecocat.state.il.us/ecopublic/>

☒ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

- Initial Submittal - Fifteen (15) full size copies, Three (3) 11" by 17", and a PDF electronic file on a CD-ROM.
- Revision Submittal for Plan Commission - Twenty-Two (22) full size copies, Three (3) 11" by 17" and a PDF electronic file on a CD-ROM.

☒ **SITE/ENGINEERING PLAN:**

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose

3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with the proposal indicated
11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting

- Photometric information pertaining to locations of proposed lighting fixtures

37. Typical construction details and specifications

38. Certification of site engineering plans by a registered professional engineer

39. Proof of application for Stormwater Management Permit

☐ **SKETCH PLAN FOR LATER PHASES OF PUD:**

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

☒ **ARCHITECTURAL PLANS:**

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

☐ **TREE PRESERVATION PLAN:**

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set.

☒ **LANDSCAPE PLAN:**

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

PUBLIC BENEFITS, DEPARTURES FROM CODE:

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

SCHEDULE: Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

INCLUSIONARY HOUSING SUMMARY: For residential developments, submit information describing how the development will comply with the requirements of Chapter 17.18, Inclusionary Housing, including:

- The number and rental/for sale status of Market-Rate Units and Affordable Units to be constructed including type of dwelling, number of bedrooms per unit, proposed pricing, and construction schedule, including anticipated timing of issuance of building permits and occupancy certificates.
- Documentation and plans regarding locations of Affordable Units and Market-Rate Units, and their exterior appearance, materials, and finishes.
- A description of the marketing plan that the Applicant proposes to utilize and implement to promote the sale or rental of the Affordable Units within the development; and,
- Any proposal to pay fees in lieu of providing the required Affordable Unit, per section 17.18.050.

SUBDIVISION PRELIMINARY PLAN CHECKLIST:

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Preliminary Plan Checklist must be submitted. This Subdivision Checklist may reference the same set(s) of plans as the preceding checklists for Site/Engineering, Sketch Plan, Tree Preservation, and Landscape Plans, but the additional information required by the Subdivision Preliminary Plan Checklist must be included, where applicable.

APPLICATION FOR SPECIAL USE FOR A PUD:

The application for PUD Preliminary Plan must be accompanied by an application for a Special Use for a PUD, unless the Special Use was previously granted and no amendment is needed. Documentation required for both applications need not be duplicated.

HISTORIC DESIGNATION: Is the property a designated Landmark or in a Historic District? No

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

See Attached.

Record Owner



Date

11/7/2012

Applicant or Authorized Agent

Date

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984

COMMUNITY DEVELOPMENT/PLANNING DIVISION PHONE: (630) 377-4443

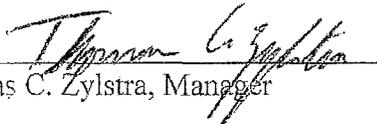
FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION

I certify that this application and the documents submitted with it are true and correct to the best of my knowledge and belief,

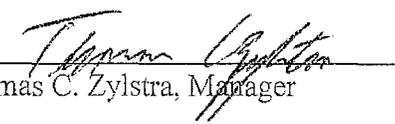
Signature of Record Owners:

Thomas C. Zylstra Farms LLC, an Iowa
Limited Liability Company

By: 
Thomas C. Zylstra, Manager

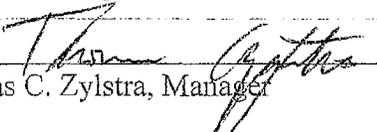
Date: November 15, 2012

Robert C. Zylstra Farms LLC, an Iowa
Limited Liability Company

By: 
Thomas C. Zylstra, Manager

Date: November 15, 2012

Randy K. Johns Farms LLC, an Iowa
Limited Liability Company

By: 
Thomas C. Zylstra, Manager

Date: November 15, 2012

NONRESIDENTIAL ZONING COMPLIANCE TABLE

Name of Development: Discount Tire - 131 S. Randall Road

	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District: BR	Ordinance #: 2007-Z-14	
Minimum Lot Area	1.0 acre	No minimum	1.0 acre
Minimum Lot Width	None	None	180'
Maximum Building Coverage	30 %	.30 FAR	16%, .16 FAR
Maximum Gross Floor Area per Building	150,000	N/A	6,947 sf
Maximum Building Height	40'	46"	26'
Front Yard	20' (B), 0' (P)	40' (B), 25' (P)	41' (B), 29' (P)
Interior Side Yard	15' (B), 0' (P)	20' (B), 10' (P)	22' (B), 10' (P)
Exterior Side Yard	20' (B), 20' (P)	N/A	N/A
Minimum Rear Yard	30' (B), 0' (P)	N/A	71' (B), 10' (P)
Yards Adjoining Major Arterials ³		40' (B), 25' (P)	41' (B), 29' (P)
Landscape Buffer Yard ⁴	40'	40' (B), 25' (P)	41' (B), 29' (P)
% Overall Landscaped Area	15%	10%	27%
Building Foundation Landscaping	75% of front wall 50% of remaining walls	-	100% of front wall 50% of remaining walls
% Interior Parking Lot Landscaping	10%	10%	12%
Interior Parking Lot Shade Trees	10 (min)	3 (min)	10-12
# of Parking spaces	26 required	26 required	33 provided
Parking Stall Dimensions	9 x 18	-	9 x 18
Drive-through Stacking Spaces (if applicable)	-	-	N/A

³ For purposes of this Section, Major Arterials include Randall Road, Main Street west of Randall Road, Main Street East of Tyler Road, and Kirk Road.

⁴ Within the zoning districts specified, a Landscape Buffer Yard shall be provided along any lot line that abuts or is across a street from property in any RE, RS, RT or RM District. See Chapter 17.26 for planting and screening requirements for Landscape Buffers. Landscape Buffer Yards may include or overlap with other required yards.

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

FINAL PLAT APPLICATION

RECEIVED
Received Date
St. Charles, IL

NOV 20 2012

CDD
Planning Division

CITYVIEW

Project Name:

Discount Tire - Zylstra PUD

Project Number:

2012 -PR- 010

Application Number:

2012 -AP- 050

Instructions:

To request approval of Final Plat for a Subdivision or Planned Unit Development (PUD), complete this application and submit it with all required attachments to the Planning Division. For PUDs, a PUD Final Plan Application should normally be submitted at the same time. For all other subdivisions, a Subdivision Final Engineering Plan Application should normally be submitted at the same time.

When the application is complete and the engineering plans are substantially in compliance with requirements, the final plat will be placed on a Plan Commission agenda for review.

1. Property Information:	Parcel Number (s): 09-32-230-005 & 09-32-230-009	
	Proposed Subdivision Name: Zylstra Center First Re-Subdivision	
2. Applicant Information:	Name Todd Mosher	Phone (630) 281-8477
	Address Atwell, LLC 1245 E. Diehl Road, Suite 100 Naperville, Illinois 60563	Fax (630) 577-0900
		Email tmosher@atwell-group.com
3. Record Owner Information:	Name See Attached.	Phone
	Address	Fax
		Email
4. Billing: <i>To whom should costs for this application be billed?</i>	Name Todd Mosher	Phone (630) 281-8477
	Address Atwell, LLC 1245 E. Diehl Road, Suite 100 Naperville, Illinois 60563	Fax (630) 577-0900
		Email tmosher@atwell-group.com

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984

COMMUNITY DEVELOPMENT/PLANNING DIVISION PHONE: (630) 377-4443

FAX: (630) 377-4062

FINAL PLAT APPLICATION

Question 3: Record Owners:

Names:

Thomas C. Zylstra Farms LLC, an Iowa Limited Liability Company.
5047 180th Street, Sibley, IA 51249
Telephone: (612) 810-1082

Robert C. Zylstra Farms LLC, an Iowa Limited Liability Company.
15621 213th Ave., Lakeshore Dr.
Spirit Lake, IA 51360

Telephone: (612) 810-1082

Randy K. Johns Farms LLC, an Iowa Limited Liability Company
417 S. Vine; PO Box 39
Roland, IA 50236
Telephone: (612) 810-1082

Attachment Checklist

- ✗ **APPLICATION:** Completed application form signed by the applicant
- ✗ **APPLICATION FEE:** Refer to attached Schedule of Application Fees
- ✗ **REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- ✗ **PROOF OF OWNERSHIP and DISCLOSURE:**
 - a) a current title policy report; or
 - b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).
- ✗ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper
- ✗ **FINAL PLAT SUBMITTAL CHECKLIST (Completed)**
- ✗ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

 - Initial Submittal - Fifteen (15) full size copies, Three (3) 11" by 17", and a PDF electronic file on a CD-ROM.
 - Revision Submittal for Planning Commission - Twenty-Two (22) full size copies, Three (3) 11" by 17" and a PDF electronic file on a CD-ROM.
- ✗ **COVENANTS:** One copy of proposed agreements, provisions, or covenants which will govern the use, maintenance, and continued protection of the planned development and any of its common open space.
- ☐ **WORKSHEETS (For residential developments):**
 - Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.
 - Inclusionary Housing Worksheet
- ☐ **ADDITIONAL APPLICATION:**
 - For Planned Unit Developments, a PUD Final Plan Application has been submitted.
 - For all other Subdivisions, a Subdivision Final Engineering Plan Application has been submitted.

ITEMS TO BE SUBMITTED PRIOR TO CITY COUNCIL APPROVAL:

- Guarantee for completion of Land Improvements, consisting of proposed form, amount and provider of completion guarantee collateral (bond, cash, or letter of credit)
- Illinois EPA Water Pollution Control Permit for sanitary sewer extension
- Illinois EPA Division of Public Water Supplies Permit for water mains
- Notice of Intent (NOI) letter/permit for NPDES Stormwater Discharge for sites 5 acres and larger
- IDNR Office of Water Resources Permit (for work in flood plain)
- Wetlands Permit from Army Corps of Engineers
- Kane County DOT and/or IDOT signature on Final Plat (if applicable)
- Offsite easements and right of way necessary to construct the required Land Improvements

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Record Owner	<i>See Attached Signatures</i> 	Date
Applicant or Authorized Agent		11/7/2012

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984

COMMUNITY DEVELOPMENT/PLANNING DIVISION PHONE: (630) 377-4443

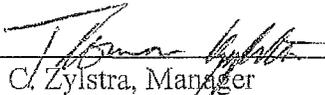
FAX: (630) 377-4062

FINAL PLAT APPLICATION

I certify that this application and the documents submitted with it are true and correct to the best of my knowledge and belief,

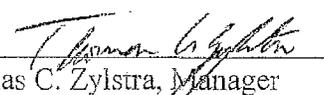
Signature of Record Owners:

Thomas C. Zylstra Farms LLC, an Iowa
Limited Liability Company

By: 
Thomas C. Zylstra, Manager

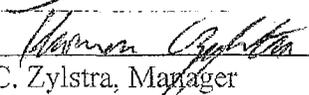
Date: November 15, 2012

Robert C. Zylstra Farms LLC, an Iowa
Limited Liability Company

By: 
Thomas C. Zylstra, Manager

Date: November 15, 2012

Randy K. Johns Farms LLC, an Iowa
Limited Liability Company

By: 
Thomas C. Zylstra, Manager

Date: November 15, 2012

FINAL PLAT SUBMITTAL CHECKLIST

Zylstra Center First Re-Subdivision

Name of Development

Note: To properly complete this application:

- 1. Submit all documents and information required;*
- 2. Indicate compliance with each item by initialing next to the item;*
- 3. If any item is considered by the applicant to be "not applicable," place "NA" in the space.*

Final Plat:

15 copies of the Final Plat, which shall include the following information:

- a. North direction is shown.
- b. Scale is shown (minimum one inch equals 100 feet).
- c. Section corners and section lines are accurately tied into subdivision by distances and angles.
- d. Official survey monuments are shown and dimensioned.
- e. All necessary easements are shown and dimensioned.
- f. An accurate legal description of the entire area under immediate development within the Planned Unit Development/Subdivision.
- g. Location and dimensions of the building lots, common permanent open space, existing permanent buildings, easements and rights-of way.
- h. An open space easement on the common area assuring that the open space shall remain open for perpetuity.
- i. Tabulations on each separate unsubdivided use area, including land area, number of buildings, number of dwellings per acre (PUD).
- j. Building setback lines are shown and dimensioned.
- k. Lot areas are shown.
- l. Street names are shown.

- N/A m. Areas to be dedicated or reserved for public use are shown and described and the purpose is designated.
- X n. Protective covenants are lettered on the plat or are appropriately referenced.
- X o. Required certificates are shown as provided in Title 16, "Subdivisions and Land Improvements":
- X 1. Surveyor's certificates (including signature and seal).
 - X 2. Owner's certificate (including signature).
 - X 3. Notary certificate (including signature and seal).
 - X 4. County clerk certificate (including signature).
 - X 5. Certificate as to special assessments.
 - X 6. Certificate of county superintendent of highways, if applicable (including signature).
 - N/A 7. Certificate of Public Works and Buildings, Division of Waterways, State of Illinois, if applicable (including signature).
 - X 8. Plan Commission certificate.
 - X 9. Director of Public Works certificate.
 - X 10. City Council certificate.
 - X 11. Special Flood Hazard Area Certificate.
 - 12. Mortgagee Certificate, as required.



Signature – Applicant

11/7/2012

Date

DESCRIPTION OF PROPOSED DISCOUNT TIRE LOT

THE SOUTH 1.00 ACRE OF LOT 4 IN ZYLSTRA CENTER, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 29 AND PART OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE RECORDED PLAT THEREOF RECORDED APRIL 4, 2006 AS DOCUMENT 2006K035709 AND CERTIFICATE OF CORRECTION RECORDED JUNE 26, 2008 AS DOCUMENT 2008K053274, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 4; THENCE S89°33'08"W ALONG THE SOUTH LINE OF SAID LOT 4 244.16 FEET TO THE WEST LINE OF SAID LOT 4; THENCE N00°26'52"E ALONG THE WEST LINE OF SAID LOT 4 179.39 FEET; THENCE N89°33'08"E 239.71 FEET TO THE EAST LINE OF SAID LOT 4; THENCE S03°46'41"E ALONG THE EAST LINE OF SAID LOT 4 53.28 FEET; THENCE S01°03'45"E ALONG SAID EAST LINE 126.21 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

IN THE FUTURE TO BE KNOWN AS:

LOT 3 IN ZYLSTRA CENTER FIRST RE-SUBDIVISION, BEING A RE-SUBDIVISION OF LOTS 3 AND 4 IN ZYLSTRA CENTER, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 29 AND PART OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE RECORDED PLAT THEREOF RECORDED APRIL 4, 2006 AS DOCUMENT 2006K035709 AND CERTIFICATE OF CORRECTION RECORDED JUNE 26, 2008 AS DOCUMENT 2008K053274, IN KANE COUNTY, ILLINOIS.

OVERALL PROPERTY DESCRIPTION

LOTS 3 AND 4 IN ZYLSTRA CENTER, BEING A SUBDIVISION OR PART OF THE SOUTHEAST 1/4 OF SECTION 29 AND PART OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE RECORDED PLAT THEREOF RECORDED APRIL 4, 2006 AS DOCUMENT 2006K035709 AND CERTIFICATE OF CORRECTION RECORDED JUNE 26, 2008 AS DOCUMENT 2008K053274, IN KANE COUNTY, ILLINOIS.

OWNERSHIP DISCLOSURE FORM

LIMITED LIABILITY COMPANY (L.L.C.)

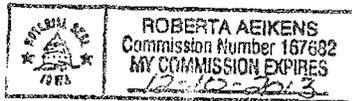
STATE OF ~~ILLINOIS~~ *Iowa*
KANE COUNTY *Osceola*) SS.

I, Thomas Zylstra, being first duly sworn on oath depose and say that I am the sole member and manager of Thomas C. Zylstra Farms LLC, an Iowa Limited Liability Company. No person other than me owns any interest in the limited liability company.

By: *Thomas C. Zylstra*
Thomas C. Zylstra, Manager

Subscribed and Sworn before
me this 1st day of November 2012.

Roberta Aeikens
Notary Public



OWNERSHIP DISCLOSURE FORM

LIMITED LIABILITY COMPANY (L.L.C.)

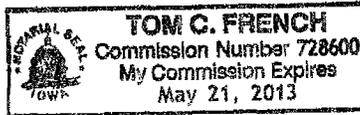
STATE OF ILLINOIS)
) SS.
KANE COUNTY)

I, Thomas C. Zylstra, being first duly sworn on oath depose and say that Randy K. Johns is the sole member and I am the sole manager of Randy K. Johns Farms LLC, an Iowa Limited Liability Company. No person other than me owns any interest in the limited liability company.

By: Thomas C. Zylstra
 Thomas C. Zylstra, Manager

Subscribed and Sworn before
me this 15th day of November 2012.

 Tom C. French
Notary Public



Community Development
 Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



ST. CHARLES
 SINCE 1834

Staff Report

TO: Chairman Cliff Carrignan
 And the Members of the Planning & Development Committee

FROM: Matthew O'Rourke, AICP
 Planner

RE: PUD Preliminary Plan and Final Plat of Subdivision for Discount Tire (Zylstra PUD - Lots 3 & 4)

DATE: January 2, 2013

I. APPLICATION INFORMATION:

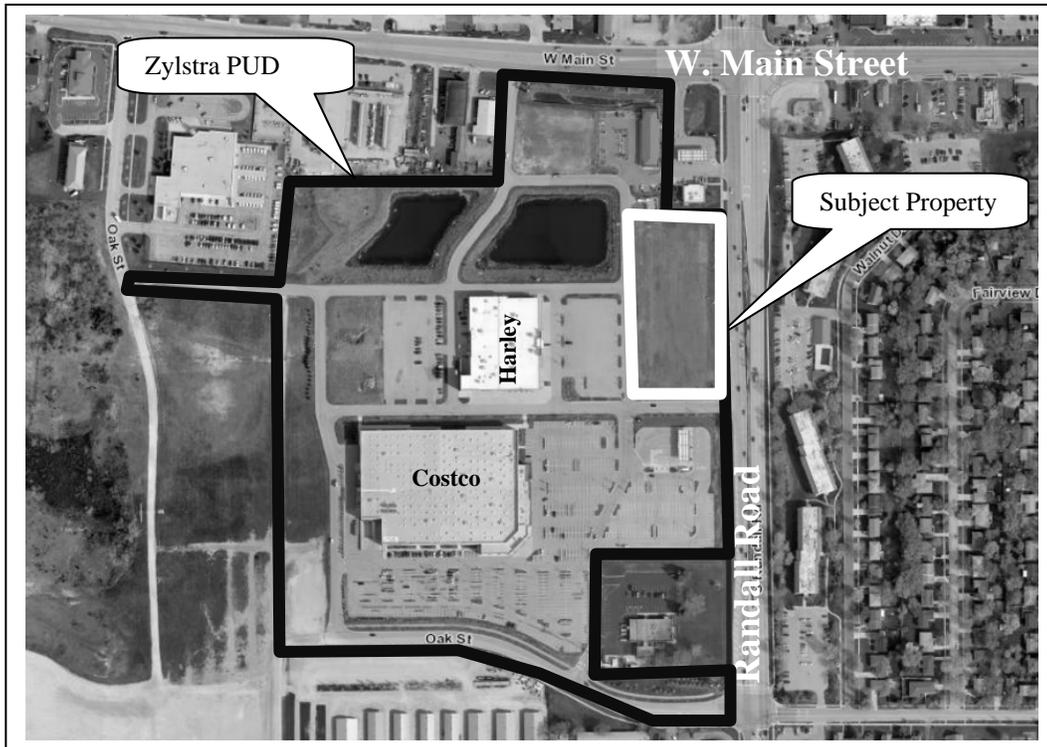
Project Name: Discount Tire (Zylstra PUD - Lots 3 & 4)

Applicant: Todd Mosher Atwell-Hicks, LLC.

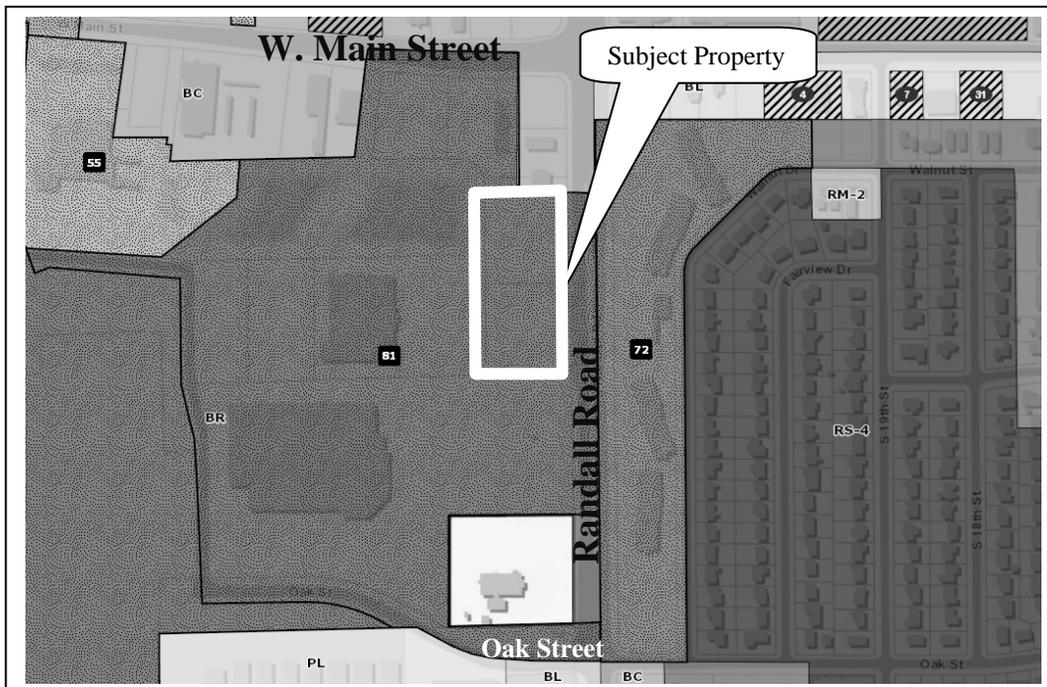
Purpose: PUD Preliminary Plan and Final Plat of Subdivision review of a proposed Discount Tire store on lots 3 & 4 of the Zylstra PUD.

General Information:		
Site Information		
Location	Lots 3 & 4 in the Zylstra PUD	
Acres	1.0 acre - Discount Tire (3.02 Acres - Lots 3 & 4 Subdivision)	
Applications	1) PUD Preliminary Plan 2) Final Plat of Subdivision 3) Minor Change to PUD Plan	
Applicable Zoning Code Sections and PUD Ordinance	Table 17.14-2 Business and Mixed Use Districts Bulk Requirements Chapter 17.26 Landscaping and Screening Ordinance 2005-Z-11 "An Ordinance Amending Ordinance 1990-Z-2 and Granting an Amended Special Use as a Planned Unit Development in the B-3 Service Business District (Zylstra PUD)"	
Existing Conditions		
Land Use	Vacant (Zylstra PUD)	
Zoning	BR-Regional Business (PUD)	
Zoning Summary		
North	BR-Regional Business (PUD)	Vacant, Seven/Eleven & Firestone
East	RM-3 General Residential (PUD)	Fox Run Apartments
South	BR-Regional Business (PUD)	Costco Gas
West	BR-Regional Business (PUD)	Harley Davidson
Comprehensive Plan Designation		
Retail and Service		

Aerial Photograph



Surrounding Zoning



II. PROJECT OVERVIEW:

A. BACKGROUND

In 2005, the City Council approved the Zylstra PUD (Ordinance 2005-Z-11 “An Ordinance Amending Ordinance 1990-Z-2 and Granting an Amended Special Use as a Planned Unit Development in the B-3 Service Business District (Zylstra PUD)”). The details of the Zylstra PUD approval are as follows:

- Permits a variety of commercial uses.
- PUD Preliminary Plan for commercial and stormwater retention lot location.
- Included road, utility, and stormwater infrastructure layout.
- Specific standards for:
 - Architectural design.
 - Bulk requirements.
 - Signage.
 - Landscaping.
- Final Plat of Subdivision – In 2005, the City Council also approved Resolution 2005-30 “A Resolution Approving the Final Plat of Subdivision Zylstra Center”. This plat of subdivision formally created the existing Zylstra PUD commercial and stormwater retention lots.

B. PROPOSED DEVELOPMENT

Discount Tire (represented by Todd Mosher of Atwell, LLC.) has submitted applications for a PUD Preliminary Plan and Final Plat of Subdivision in relation to the construction of a new Discount Tire retail facility on a portion of Lot 4 in the Zylstra PUD. The details of the proposal are as follows:

1. **PUD Preliminary Plan**

- One 6,947 square foot retail building.
 - 4 service bays on the south side of the building.
- 33 off-street parking spaces.
- One access-point off of the internal Zylstra PUD access road.

2. **Final Plat of Subdivision**

The applicant is proposing to subdivide Lots 3 & 4 from two 1.5-acre lots into three 1-acre lots.

3. **Minor Change to PUD Preliminary Plan**

When the Zylstra PUD was approved, a PUD Preliminary Plan was incorporated into that approval which illustrated the size and location of Lots 3 & 4. Since the applicant is proposing to modify these two approved lots into three smaller commercial lots, a Minor Change to the approved PUD Preliminary Plan is required.

III. ANALYSIS OF PLANS

Staff performed an analysis of the submitted preliminary plans to identify any deficiencies with the proposed plans and the standards established in the Zylstra PUD and/or Title 17 (Zoning Ordinance). The following is a detailed description of Staff’s analysis.

A. PERMITTED USES

Exhibit III of the Zylstra PUD lists all the uses that are permitted or considered special uses within this PUD. **Automotive parts, accessory, and equipment stores** is listed as a permitted use.

B. BULK AND SETBACK STANDARDS

The majority of the required bulk standards are contained in the Zylstra PUD. Staff has reviewed the submitted site plans to ensure conformance with the applicable bulk and setback regulations per the Zylstra PUD. In instances where there are no provisions for certain standards in the PUD, staff has reviewed the site plans against the regulations of the underlying BR-Regional Business zoning district as stated in **Table 17.14-2 Business and Mixed Use Districts Bulk Regulations**. The following table summarizes this review:

Category	Zylstra PUD / Zoning Ordinance Standard	Proposed
Lot Area	1 – Acre (Underlying Zoning District)	1-Acre
Lot Width	N/A	179’
Building Setbacks:		
<i>Front: East (Randall Road)</i>	40’	41’
<i>Interior Side: North</i>	20’	22’
<i>Interior Side: South</i>	0’	107’
<i>Rear: West</i>	0’	71.8’
Parking/Paving Setbacks:		
<i>Front: East (Randall Road)</i>	25’	29.2’
<i>Interior Side : North</i>	10’	10’
<i>Interior Side: South</i>	0’	23.5’
<i>Rear: West</i>	0’	10’
Maximum Building Coverage	60%	16%
Building Height	46’	28.5’
Parking Stall Size	9’ wide by 18’ (2’ overhang allowed where parking stalls abut green space)	9’ x 18’ (2’ overhang utilized)
Drive-Aisle Width	24’	Minimum 24’
Parking Requirement	10 Spaces per 1,000 SQ FT of GFA - (26 Required)	33

Staff Comments

Staff is suggesting that the applicant provide accommodations for a cross-access easement with the property to the north to be utilized once this northern property develops. This will provide a secondary access point for future customers and for life safety personal such as police and fire.

C. PLAT OF SUBDIVISION

The applicant is proposing to utilize a 1-acre portion of Lot 4 which is currently 1.5 acres in total area. Lot 3 is also 1.5 acres and abuts Lot 4 directly to the north. The applicant is proposing to subdivide Lots 3 and 4 of the Zylstra PUD into 3 separate commercial lots all approximately 1-acre in size. The minimum required lot size in the underlying BR Zoning District is 1-acre. The two proposed lots to the north can also be combined into a single 2-acre site if a future proposed development should require more than a 1-acre site.

D. LANDSCAPE PLAN

Staff reviewed the submitted landscape plan for conformance with the relevant standards of the Zylstra PUD and **Chapter 17.26 Landscaping and Screening**. The following table details that review:

Category	Zylstra PUD /Zoning Ordinance Standard	Proposed
Lot Greenspace	10%	27.3%
Interior Parking Lot Green Space	10% (1,622 square feet required)	12.2% (1,979 square feet)
Foundation Landscaping		
<i>Front: East Façade</i>	75% of the lineal frontage required to be landscaped (42.75 lineal feet required)	100% (58 lineal feet)
<i>Three Remaining Facades</i>	50% of the required to be landscaped (167 lineal feet required)	52% (175 lineal feet)
<i>Trees</i>	2 per every 50 lineal feet of building wall - (15 required)	11
<i>Bushes, Shrubs, and Perennials</i>	20 per every 50 lineal feet of building wall - (149 required)	45
Parking Lot Screening	50% of lineal footage from a public street up 30” in height (29 lineal feet required)	30 lineal feet
Parking Lot Shade Trees	1 tree required per every 10 parking spaces - (4 trees required)	10

Staff Comments

Staff has identified that the submitted plans are not in compliance with the following standards of **Chapter 17.26 Landscaping and Screening**:

Per Section 17.26.080.C Requirements for Building Foundation Landscaping

- 15 foundation landscaping trees are required in the building foundation areas, 11 are shown on the plans.
- 149 bushes, shrubs, and/or perennials are required in the building foundation landscaping areas, 45 are shown on the plans.
- Staff suggests that the applicant create new foundation landscaping areas in the sidewalk surrounding the customer entrance on the south side of the proposed building. The rest should be dispersed throughout the foundation landscaping areas.

The applicant will need to revise their plans to meet these standards before the site plans are approved by the City Council.

E. BUILDING ARCHITECTURE

Exhibit VIII contains detailed architectural design guidelines for all lots within the Zylstra PUD. Staff has reviewed the submitted building elevations for conformance with these standards and found that the elevations are consistent with the requirements of the Zylstra PUD.

F. SIGNAGE

The relevant sign regulations for this site are incorporated into Exhibit V of the Zylstra PUD. Staff reviewed the proposed signage detailed on the architectural elevations for conformance with these standards. The following table details that review:

Category	Zylstra PUD /Zoning Ordinance Standard	Proposed
Wall Signage Area (*No Limitation on Number of Wall Signs)		
<i>East Elevation (Randall Road)</i>	1.5 times the lineal frontage of the building (85.5 square feet permitted)	77.5 square feet
<i>North Elevation</i>	1.5 times the lineal frontage of the building (192 square feet permitted)	77.5 square feet
<i>West Elevation</i>	1.5 times the lineal frontage of the building (85.5 square feet permitted)	0 square feet
<i>South Elevation</i>	1.5 times the lineal frontage of the building (192 square feet permitted)	77.5 square feet
Monument Sign Area	30 square feet per sign face	Not shown
Monument Sign Height	10' above grade of adjoining street curb	Not shown
Monument Sign Setback	10' from property line	12.1'

Staff Comments

The applicant will need to submit a to-scale elevation of the monument sign to determine the sign height and square footage of the proposed sign faces. This can be reviewed as a sign permit at a later date.

G. MINOR CHANGE TO PUD PRELIMINARY PLAN

Staff has determined that the proposed change to the Zylstra PUD Preliminary Plan to modify Lots 3 & 4 from two 1.5 acre lots to three 1 acre lots meets the minor change criteria established in **Section 17.04.430 Changes in Planned Unit Development** of the Zoning Ordinance.

IV. **PLAN COMMISSION RECOMMENDATION**

The Plan Commission reviewed the proposal at the 12/18/12 Plan Commission meeting. The Plan Commission recommended approval of the proposal at that meeting. The vote was 6-aye to 0-nay.

V. **RECOMMENDATION**

Staff recommends approval of the applications for a PUD Preliminary Plan, Final Plat of Subdivision, and Minor Change to PUD Preliminary Plan contingent upon resolution of all staff comments.

VI. ATTACHMENTS

- Application for a PUD Preliminary Plan; received 11/20/12.
- Application for a Final Plat of Subdivision; received 11/20/12.
- PUD Preliminary Plans; Atwell, LLC.; dated 11/5/2012.
- Architectural Elevation; Plump Group Architecture & Engineering; dated 09/28/12.
- Final Plat of Subdivision; Atwell, LLC.; dated 11/2/2012.
- Staff Comment Letters (Planning, Engineering, and Fire).
- Zylstra PUD Ordinance, Relevant Exhibits (ORD 2005-Z-11).

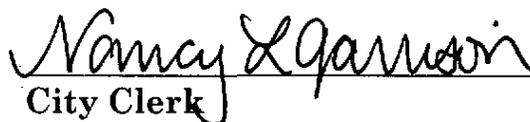
City of St. Charles, Illinois

Ordinance No. 2005-Z-11

**An Ordinance Amending Ordinance 1990-Z-2 and
Granting an Amended Special Use as a
Planned Unit Development in the
B-3 Service Business District (Zylstra PUD)**

**Adopted by the
City Council
of the
City of St. Charles
August 15, 2005**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, August 19, 2005**


City Clerk

(SEAL)



EXHIBIT III

Permitted and Special Uses

A. Permitted Uses

1. Amusement establishments including bowling alleys, indoor movie theaters, pool halls, dance halls, gymnasiums, swimming pools and skating rinks;
2. Animal hospital or veterinary facility;
3. Antique stores;
4. Apparel stores;
5. Art and school supply stores;
6. Art galleries;
7. ATM machines;
8. Auction rooms;
9. Audio recording sales;
10. Automobile parts, accessory and equipment stores;
11. Automobile dealership with indoor and/or outdoor sales and display areas and indoor vehicle repair and/or service facilities and body shop;
12. Automobile service station in conjunction with a department store, retail store, wholesale club, or wholesale department store;
13. Bakeries;
14. Banks, credit unions and financial institutions with drive-through services;
15. Barber shops;
16. Beauty parlors;
17. Bicycle sales, rental and repair;

18. Blueprinting and photocopying establishments;
19. Book and stationery stores (with or without coffee shop and/or eatery);
20. Building material and home improvement stores;
21. Business, professional and medical offices;
22. Business machine sales and service;
23. Camera and photographic supply stores;
24. Candy and ice cream stores;
25. Carpet and rug stores;
26. Catering establishments;
27. China and glassware stores;
28. Clothing stores;
29. Clubs and lodges, private, fraternal, or religious;
30. Coffee shops;
31. Convenience stores, including those with 24 hour operations;
32. Coin and philatelic stores;
33. Communication towers;
34. Computer sales and service;
35. Currency exchanges and telegraph offices;
36. Custom dressmaking;
37. Delicatessens;
38. Department stores;
39. Drive-in or drive-through in conjunction with other permitted uses including but not limited to restaurants, drug stores, pharmacies, ice cream parlors, coffee shops; juice shops, banks, credit unions and financial institutions;

40. Drug stores including those with 24 hour operations;
41. Dry cleaning establishments;
42. Electronics stores, including radio, television, computer, appliance, and stereo sales and service;
43. Employment agencies;
44. Flower shops;
45. Frozen food stores, including locker rental;
46. Furniture stores, including upholstering as an accessory use;
47. Furriers, including storage and conditioning of furs as an accessory use;
48. Garden supply and seed stores, including outdoor garden area as accessory use to a home improvement store or other principal retail use;
49. Gift and card shops;
50. Greenhouses;
51. Grocery stores, including those with 24 hour operations;
52. Hardware stores;
53. Health clubs; physical therapy; gymnasiums; and other physical fitness establishments;
54. Hobby shops;
55. Household appliance stores;
56. Interior decorating shops, including upholstery and making of draperies and similar articles as an accessory use;
57. Jewelry stores;
58. Job printing shops;
59. Juice shop;

60. Laundries, automatic self-service or hand, including coin operated;
61. Leather goods and luggage stores;
62. Libraries;
63. Liquor stores, retail;
64. Loan offices;
65. Locksmith shops;
66. Mail order establishments;
67. Meat markets;
68. Medical and dental clinics;
69. Medical and dental laboratories;
70. Meeting halls;
71. Motorcycle dealership including repair facilities completely enclosed within the building and a paved outdoor training area for motorcycle riders, which may also be used as overflow parking.
72. Musical instrument sales and repair;
73. Newspaper offices, not including printing;
74. Nursery schools and day care centers;
75. Office supply stores;
76. Opticians and optometrists;
77. Orthopedic and medical appliance stores;
78. Paint and wallpaper stores;
79. Pet shops;
80. Photography studios;
81. Picture framing;

82. Post office;
83. Radio and television service and repair;
84. Radio and television studios;
85. Recording studios;
86. Recreational buildings or community centers;
87. Research and testing laboratories;
88. Restaurants, including live entertainment;
89. Sale of building materials;
90. Schools: music, dance, business, commercial, trade or technical
91. Sewing machine sales and service;
92. Shoe and hat repair stores;
93. Shoe stores;
94. Sporting goods store;
95. Tailor shops;
96. Telephone exchanges, telephone transmission equipment building, and electric distribution centers;
97. Tobacco shops, retail only;
98. Toy stores;
99. Travel agencies;
100. Undertaking establishments and funeral homes;
101. Video and music sales and rental;
102. Vehicle service facilities
103. Watercraft dealership, sales, rentals, parts and accessory sales, service and repair;
104. Wholesale establishments;

105. Any use otherwise permitted in the underlying Zoning District in which the lot is located

B. Special Uses

Special Uses: A special use may be granted for any special use allowed in the underlying zoning district, not otherwise herein designated as a Permitted Use.

C. Accessory Uses

The following shall be allowed as permitted accessory uses:

1. Outdoor dining accessory to a restaurant, including recorded sound, provided that the sound level does not exceed 60 decibels as measured at the property line in any residence district and the recorded sound is not generated between the hours of 10:00 p.m. and 10:00 a.m. of the following day.
2. The use of private walkway areas and not more than 25 parking spaces on a lot as an Outdoor sales area accessory to a motorcycle dealership within 250 feet of the motorcycle dealership building during business hours, without limitation as to the number of days of operation; the incidental sale of food and beverages is permitted.
3. Temporary Outdoor sales areas and/or Temporary outdoor entertainment and dining accessory to a motorcycle dealership located within the PUD, collectively described as "Special Events", subject to the following:
 - a. No more than four Special Events per calendar year of not more than two days each, the schedule for which shall be subject to approval by the CITY so as to avoid conflicts between the Special Events and major festivals or events occurring in the CITY including but not limited to the Flea Market held at the Kane County Fairgrounds, RiverFest, Bloomington Gold, Scarecrow Festival,

Sisters Weekend, and the St. Patrick's Parade. Determination as to potential for conflict shall be as determined by the Director of Community Development, who shall consider traffic congestion and impact on public facilities.

- b. Permitted only during business hours or between the hours of 10:00 am and 7:00 pm, whichever is more restrictive.
 - c. May be located anywhere within a lot containing a motorcycle dealership, subject to the approval of the Building Commissioner as to safe emergency and vehicular access.
 - d. May include inside and/or outside food and beverage sales, tents, and live entertainment.
 - e. Shall not produce sound levels in excess of 60 dBA as measured at the property line of a residential district.
4. Automobile laundries accessory to an automobile dealership or automobile service station;
 5. Other accessory uses as permitted within the underlying zoning district.

**Exhibit IV
Development Standards**

A. Minimum Setbacks:

From Main Street/Route 64	Building setback: 40 ft. Parking/paving setback: 25 feet
From Oak Street	20 feet for buildings, parking and paving
From Randall Road	Building setback: 40 feet Parking/paving setback: 25 feet
From interior lot lines, except along centerlines of roads or drives, common building walls, or shared parking areas	20 feet for buildings; 10 feet for parking and paving
From interior lot lines that are the centerline of roads or drives, common building walls, or shared parking areas	None

B. Maximum Floor Area Ratio:

The maximum floor area ratio within the Zylstra Property as a whole shall be 0.30

C. Lot Area and Depth:

There shall be no minimum lot area or minimum lot depth required within the Zylstra Property.

D. Building Height:

The maximum building height shall be 46 feet.

E. Outside Storage:

Except as permitted in the list of permitted uses in Exhibit III, all accessory outside storage shall be screened from view from adjoining property and from public streets, and shall not be located within a required yard or setback adjoining a public street.

**Exhibit V
 Signs**

Signs accessory to a use within the Zylstra Property may be located anywhere within the Zylstra Property, and when so located shall not be considered to be off-site or advertising signs.

The design of all freestanding signs shall generally conform with the Sign Plan which is part of the approved PUD Preliminary Plan. Where signs are to be located on a wall of a multi-tenant shopping center, they shall be located at a generally uniform height on the building wall and shall not cover or overhang any architectural feature.

The following signs are permitted within the Zylstra Property:

1. Wall Signs: Wall signs are permitted on any side of a building, and there shall be no restriction on the color of any wall signs.

Maximum number	No limitation.
Maximum sign area	Square feet equal to 1 ½ times the linear frontage of the wall on which the sign is located

2. Freestanding Signs:

The anticipated location of the freestanding signs is shown on the PUD Preliminary Site Plan, but any freestanding signs may be relocated without amending the PUD Preliminary Plan if their locations conform with the setback requirements.

Type I: Randall Road and Main Street “Community Signs”

Maximum Number	2 (for the entire Zylstra Property)
Maximum Height	30 feet
Maximum Area	225 square feet per sign face (not including any structural elements or architectural features lying outside the display area of the sign.)
Setbacks	Route 64 – 10 feet Randall Road - 10 feet Other lot lines – 10 feet

Type II: (Monument)

Maximum number	One per outlot
Maximum height	10 feet above grade of adjoining street curb (or pavement edge if no curb exists)
Maximum area	30 square feet per sign face (not including any structural elements or architectural features lying outside the display area of the sign.)
Setbacks	10 feet

Type III: Entry Sign

Maximum number	One for the entire Zylstra Property
Maximum height	25 feet
Maximum area	150 square feet
Setbacks	10 feet

Exhibit VI Parking and Loading

All off-street parking areas shall be designed, improved and landscaped in conformance with the provisions of the Zoning Ordinance in effect at the time of issuance of a building permit, except as modified by the following requirements:

1. Motorcycle dealerships shall provide not less than three (3) parking spaces per 1000 square feet of floor area (as defined in the Zoning Ordinance) of all uses within the building related to the dealership, such as sales area, offices, and service; The “Riders Edge” motorcycle training area depicted on Exhibit VII is not required to be striped for parking, but may be striped in the event it is no longer used as a motorcycle training area.
2. Except for motorcycle dealerships, any lot with mixed uses shall prorate its number of required parking spaces for the square footage of each separate use located on the Lot.
3. Surfacing: Off-street parking spaces and access drives shall be graded and paved using asphalt, bituminous concrete, Portland cement concrete, concrete pavers, clay pavers, any comparable materials, or any combination thereof;
4. Marking: Parking spaces within Lots shall be delineated with paint or other permanent materials which shall be maintained in clearly visible condition. Handicap spaces shall be identified with a sign visible at all times of the year, regardless of snow cover, plant growth, or similar conditions;
5. Drainage: Off-street parking facilities shall comply with the requirements of Title 18 of the St. Charles Municipal Code, as amended.
6. Screening: Landscaping along all public streets shall provide a minimum of fifty percent (50%) screening of the parking areas, measured horizontally as viewed from Main Street and Randall Road; such screening shall be at least 18 inches but not more than thirty (30) inches in height above the parking area pavement grade adjoining the screening area. Berming and decorative walls may be used in conjunction with plantings to obtain the required screening.
7. 10% Landscaping: The requirement of the St. Charles Zoning Ordinance for 10% of a lot to be landscaped may be satisfied for that part of the

Zylstra Property located more than 250 feet from the Route 64 or Randall Road right of way by calculating its landscape area collectively, and individual lots need not conform with the 10% requirement so long as the total landscape area within the area located more than 250 feet from Route 64 or Randall Road is in conformance with the 10% requirement; stormwater detention facilities the area more than 250 feet from Route 64 or Randall Road may be included as landscape area. All lots or portions of lots located within 250 feet of Route 64 or Randall Road shall conform with the 10% landscaping requirement in accordance with the St. Charles Zoning Ordinance.

8. Tree Plantings: A minimum of one (1) tree shall be planted or preserved on each Lot for every ten (10) parking spaces in an off-street parking area located on the respective Lot. All trees to be planted must be at least 2-1/2 inches in caliper-width.
9. Tree Planting Credits: Lots shall be credited the equivalent of one (1) tree for each tree planted on Lots devoted primarily to stormwater detention, up to thirty percent (30%) of the total number of trees otherwise required to be planted on the respective Lot pursuant to the provisions herein. The total number of Tree Planting Credits provided throughout the Subject Property shall not exceed the total number of trees planted on Lots devoted to stormwater detention.
10. Training Area: The "Riders Edge" motorcycle training area depicted on Exhibit VII is not required to be striped or lighted as a parking area and need not conform to the Tree Planting requirements of this section.
11. Landscaping West of Training Area: Developer shall provide a landscaping buffer and low berm along the westerly edge of the Service Road for the length of the "Riders Edge" motorcycle training Area. The landscaping set forth on the Preliminary Plan satisfies this requirement.
12. Maintenance: All landscaping shall be properly maintained in good health.
13. General Landscaping: The Lots shall be landscaped in substantial conformance with the approved Preliminary Plan and the approved final landscape plans for each Lot.

Exhibit VIII Architectural Guidelines

A. Articulation of Building Facades

Intent: To reduce the apparent bulk of buildings and relate them to a human scale.

1. Building walls that are visible from any public street, or from an internal circulation road that provides access to two or more buildings, should incorporate

architectural features such as arcades, arbors, windows, doors, entryways, awnings, pilasters, cornices, decorative banding, and other decorative features comprising at least twenty-five percent (25%) of the visually prominent walls, as measured in square feet of wall area.
2. All building walls that face the street should have at least two (2) of the following architectural features to avoid the appearance of blank walls facing the street:
 - i. change in wall plane of at least two (2) feet,
 - ii. change in wall texture or masonry patterns,
 - iii. transparent windows,
 - iv. columns or pilasters.
3. Building entryways and pedestrian routes should offer protection from weather such as overhangs, awnings, canopies, etc.
4. Building design should include features to add identity and architectural interest such as projecting cornices, medallions, lighting fixtures, art work, belt courses of a different color or texture, pilasters, etc.
5. Predominant façade colors should be subtle, neutral or earth-tones. Primary colors, high-intensity colors, or fluorescent colors, and black are prohibited as predominant façade colors. Building trim and accent areas may be brighter and include primary colors.

B. Windows and Transparency

Intent: Allow people outside commercial buildings to see activity within, and

allow people inside to see activity and weather conditions outside.

1. Retail buildings and tenant spaces with 30,000 square feet or less of gross floor area should provide windows so that the first floor is transparent from a height of eighteen (18) inches to a minimum of seven (7) feet above the walkway grade for no less than sixty percent (60%) of the horizontal length of the facade, and should include a public entrance. Windows shall be predominantly clear glass recessed or projected in the wall plane to create shadow and visual interest, and should include visually prominent sills or other appropriate forms of framing. Awnings, pilasters or columns may be used to accentuate window openings and add interest to the design of the building.
2. Development of the outlots should help define and enhance the character of the public street frontage by placing outlot buildings near the street with showcase windows and architectural features oriented toward the street as well as to the interior parking lot.

C. Building Entrances and Pedestrian Walkways

Intent: People should be able to tell where building entrances are located, and walking into the building should be a pleasant experience.

1. Buildings should have a public entrance on a façade that faces a public street or private drive that provides primary access.
2. All public entrances should be articulated from the building mass. Examples of such articulation include: canopies or porticos, overhangs, arcades, raised corniced parapets over the door, peaked roof forms, arches, outdoor patio or seating areas, display windows, details such as tile work and moldings integrated into the building design, and integral planters or wing walls that include landscaping or seating.
3. Within the area adjoining any building facade which faces a parking lot and contains a public entrance, landscape islands adjoining or parallel to the building foundation not less than eight (8) feet in width should be provided within 60 feet of the building facade. The length of such landscape islands should be approximately 50 percent of the length of the building façade, with a minimum of 25 percent and a maximum of 75 percent.
4. Pedestrian routes to building entrances should be marked with pavers, striping, or delineated by the design and location of landscape features.

D. Roof Design

Intent: Roofs should be designed to add visual interest to the building, to conceal necessary service equipment, and to establish the building's identity.

1. For any roof other than a flat roof, that is visible from any public street or from an internal circulation road that provides access to two or more buildings, no more than 100 feet of the roof line, measured horizontally, should be designed without changes in height or the incorporation of a major focal points, such as a dormer, gable or projected wall feature. Flat roofs should be designed so that there is at least one change in the height of the wall or parapet for each 200 linear feet of roof line.
2. Exposed roof materials shall be similar to, or an architectural equivalent of asphalt or fiberglass shingle, wooden shingle, standing seam metal roof or better. The roof of any building may be flat.
3. Parapets should feature three-dimensional cornices or other shadow-creating detail elements along their tops.
4. Mansard roof designs are discouraged.
5. "Green roof" designs are encouraged.
6. Pipe stacks and similar appurtenances that are required by code and cannot reasonably be hidden should be concealed as much as possible by location and coloring.

E. Building Wall Materials

Intent: Buildings should be constructed of quality materials that reduce maintenance costs over the life of the building and reinforce the character of the community. Building materials should relate to traditional building materials used historically in Kane County, or should be selected to support a high quality architectural design that establishes a unique character for the site or building. Building materials that are encouraged include:

1. Approved Materials
 - a. Brick

- b. Wood
 - c. Native or architectural cast stone
 - d. Tinted and/or textured concrete masonry units
 - e. Stucco
 - f. Tilt-up concrete panels designed with an architectural pattern or a brick veneer are permitted; plain concrete panels are prohibited
 - g. Glass
 - h. High quality architectural metal surfaces, not including residential style metal siding.
2. Prohibited Materials
- a. Smooth-faced, untinted concrete masonry units
 - b. Exterior Insulation Finish Systems on the ground floor
 - c. Vinyl
 - d. Plain tilt-up concrete panels

F. Screening of Mechanical Equipment

As viewed from ground levels at a variety of locations, all mechanical equipment located on the roof or around the perimeter of a structure shall be screened by a raised parapet or with a structure comparable and compatible with the exterior building materials.

- a) A raised parapet or other architectural feature that is an integral part(s) of the building may be required as screening for rooftop mechanical equipment or to soften rooftop views.
- b) Screening for rooftop mechanical equipment shall incorporate similar architectural features of the building and/or be constructed of a material and color compatible with other elements of the building.
- c) Incidental rooftop equipment deemed unnecessary to be screened by the Director of Community Development or a designee shall be of color to match the roof or the sky, whichever is more effective.

- d) Equipment used for mechanical, processing, bulk storage tanks, or equipment used for suppressing noise, odors, and the like that protrudes from a side of a building or is located on the ground adjacent to a building shall be screened from public view as much as practical with materials matching the design of the building. Where miscellaneous exterior equipment cannot be fully screened with matching building materials, landscaping may be used as additional screening.

G. Colors

Garish or bright accent colors (i.e., orange, bright yellow, or fluorescent colors) on any portion of the building such as trim, banding or patterns on walls, cloth or metal awnings, entryway features shall be minimized, but in no case shall such coloring exceed 10% of each wall area.

H. Compatibility within the Development

The buildings to be developed within the Zylstra Property shall be compatible and harmonious with each other in their exterior architectural design features. Compatibility of architectural design features may be achieved by similarity of some design elements, while allowing dissimilarity of others. Buildings shall be considered compatible if at least three of the following five design elements are similar, as determined by the City Council, when comparing any proposed building with the motorcycle dealership building:

- a. Type of materials (brick, stone, wood, metal, etc.)
- b. Colors and textures of exterior surfaces
- c. Architectural scale (size and height of buildings, both actual and perceived)
- d. Placement and rhythm of doors, windows, wall planes, visible wall joints, and visible roof elements
- e. Architectural style (examples of architectural style include reference to recognized historic or modern architectural styles, repetitive use of particular shapes, angles, features such as cornices, type of roof, etc.)

Community Development

Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



December 12, 2012

Todd Mosher
Atwell, LLC.
1245 E. Diehl Road, Suite 100
Naperville, IL 60563

Re: Proposed PUD Preliminary Plan, Subdivision, and Minor Change for a Discount Tire Retail Store Located on Lot-4 of the Zylstra Center.

Staff has conducted a review of the Applications for PUD Preliminary Plan, Final Plat of Subdivision, and Minor Change to a PUD with regards to the proposed new Discount Tire facility to be located on the current lot 4 in the Zylstra Center PUD. Staff offers the following comments for your consideration. These comments are being provided in addition to comments received from the other City Departments.

1. Site Plan

The applicant should consider adding accommodations for a future cross-access connection with the proposed lot to the north of the subject property.

2. Landscape Plans

Staff reviewed the submitted Landscape Plan for conformance with the relevant standards of **Chapter 17.26 Landscaping and Screening**.

Landscape Plan Comments

- **Section 17.26.080.C Requirements for Building Foundation Landscaping** requires that 2 shade, ornamental, or evergreen trees be installed per every 50' of lineal building wall.
 - 15 trees are required to be in the foundation landscape area, there are 11 shown on the plans.
 - Staff suggests adding more evergreen trees to the north of the proposed dumpster enclosure to increase the height of screening and to soften the appearance of the enclosure.
- **Section 17.26.080.C** also requires that 20 bushes, shrubs, and/or perennials be planted per every 50 lineal feet of building foundation wall.
 - 149 bushes, shrubs, and/or perennials are required around the building foundation and only 45 are shown. Please add the required plant materials.
 - Staff suggests creating new planting beds in the building foundation area around the southern customer entrance to accommodate some of these plantings and to soften

this elevation. The remaining plant materials can be incorporated around the entirety of the building foundation.

3. Proposed Signage

- Please submit a to-scale elevation of the proposed monument sign that indicates the square footage of the sign face and the height of the monument sign. This comment can be addressed at the time of the sign permit submittal.

4. Final Plat Comments

- The applicant should add a permanent cross-access easement with the property located to the north on the Final Plat of Subdivision. The easement should extend from the end of the parking lot located west of the proposed building to the north.
- Please replace the signature block entitled, “Director of Public Works” with the following:
“DIRECTOR OF COMMUNITY DEVELOPMENT (or Designee)
Certificate
State of Illinois)
County of Kane) ss.

“I, _____, do hereby certify that the required improvements have been installed, or the required guarantee bond has been posted for the completion of all required land improvements.

Director of Community Development

Dated at _____, Illinois, this _____ day of _____, A.D. 20____.”

- Please add the following language to all owner’s certificates:
“Also, this is to verify that property being, subdivided aforesaid, and to the best of the owner’s knowledge and belief, said subdivision lies entirely within the limits of:

St. Charles Community Unit School District 303”

5. Building Elevations

- It seems that the location of the trash enclosure gates shown on the site plans does not match the location of these gates on the submitted building elevations. Please revise the elevations to ensure that the locations of the trash enclosure gates are consistent.

6. General Comments

- A detailed comment response letter should be submitted with any revisions/resubmittals. Each comment should be responded to separately to clearly identify how each comment is being addressed.

Sincerely,
City of St. Charles



Matthew O’Rourke, AICP
Cc.: Russell Colby, Planning Division Manager

Community Development
Development Engineering Division

Phone: (630) 443-3677

Fax: (630) 377-4062



Memo

Date: 12/5/12
To: Matthew O'Rourke
From: Christopher Tiedt, P.E. 
RE: Proposed Discount Tire- Zylstra Center PUD

I have reviewed the submittal for the proposed Discount Tire that is to be located on part of Lot 4 of the Zylstra Center Subdivision. The following documents were reviewed.

- Preliminary Engineering Plans for Discount Tire-St. Charles, IL prepared by Atwell, LLC dated 11/5/2012, (13 pages)
- Stormwater Management Report for the Proposed Discount Tire prepared by Atwell, LLC dated October 19, 2012
- Final Plat of Zylstra Center First Resubdivision prepared by Atwell, LLC dated 11/2/2012.

I have reviewed the above documents for conformance with the City of St. Charles Ordinances, Kane County Stormwater Ordinances and general engineering and construction practices. The following comments are offered up for your consideration:

Preliminary Engineering Plans:

1. Sheet C-03: Verification from the Fire Department with respect to adequate site circulation will need to be obtained.
2. Sheet C-04: Grading at the NW corner of the site should be revised to direct additional overland flows towards the internal ring road and ultimately to the detention pond and not towards Randall Road.
3. Sheet C-04: The drainage swale located along the north side of the property needs to be revised to insure overland flows remain onsite and drain to the internal ring road. (See #1) Please look closely around the transformer to insure that the proposed transformer will not impede overland flows and direct these flows offsite onto the lot to the north.

4. Sheet C-04: Are proposed grades shown along proposed curbs, T/C elevations or flowline elevations?
5. Sheet C-04: Please identify with flow arrows where overland flows will exit the proposed development into the ring road and ultimately head north to the existing detention ponds.
6. Sheet C-05: Fire and domestic services need to be tapped separately off of the public watermain. The B-box should be located within the greenspace near the internal ring road or the 10' perimeter easement.
7. Sheet C-05: The flow direction arrows for sanitary sewer segment between SanMH 1 and SanMH 2 are incorrect and need to be revised.
8. Sheet C-05: Proposed SanMH 1 will need to be located in a private utility easement. Verification that this easement has been executed and recorded will need to be provided prior to final engineering approval. It should also be noted that an additional sanitary service for the proposed Lot 2 cannot be tied into SanMH 1. This should be identified in the private utility easement language.
9. Sheet C-05: Verification from the Fire Department will need to be obtained with respect to adequate fire hydrant coverage.
10. Sheet C-05: During Final Engineering, utility crossings will need to be called out with respective elevations.
11. Sheet C-06: Please identify the concrete wash-out location.
12. Sheet C-08: Landscaping along the north side of the property may need to be revised depending on previously discussed grade changes to insure adequate overland flows.
13. Sheet C-08: Minimum separation requirements will need to be maintained from the relocated B-box.

Resubdivision Plat:

14. Sheet 1: Proposed subdivision monuments shall conform to Title 16.06.050(C) 5.
15. Sheet 1: Please add the existing information to the Area Table on the Resubdivision Plat:
 - a. Please number all public utility easements being granted on each lot, including perimeter easements.
 - b. Please include the area for each public utility easement being granted on each lot.
16. Sheet 1: Please note that a new sanitary sewer service will need to be installed for Lot 2. The existing service stub being utilized for Lot 3 cannot be used.
17. Sheet 2: Please revise the Director of Public Works Certificate to Director of Community Development (or designee) Certificate.

General Comments:

18. At time of Final Engineering Approval, an Engineer's estimate identifying costs associated with Erosion Control, Monumentation, and water connections will

need to be provided for review and approval. Ultimately, a financial guarantee for these items will need to be put into place prior to the start of construction.

19. The \$50.00 Stormwater permit application fee needs to be submitted prior to final approval and issuance of the stormwater permit.

The applicant's design professionals are responsible for performing and checking all design computations, dimensions, details and specifications in accordance with all applicable codes and regulations, and obtaining all permits necessary to complete this work. In no way does this review relieve the applicant's design professionals of the duties to comply with the law and any applicable codes and regulations, nor does it relieve the Contractors in any way from their sole responsibility for the quality and workmanship of the work and for strict compliance with the permitted plans and specifications.



Memo

Date: 12/11/12

To: Matt O'Rourke

From: Lt. Brian Byrne

Fire Prevention Bureau

Project: 2012PR010 - Discount Tire (Randall Rd.)

Application Number: 2012AP021

PUD Preliminary Plan (Engineering)

Type/Revised: New Submittal Received: 11/20/2012 Transmitted: 11/21/2012

12/11/2012 – Approved with the following Comments

1. There are 2 fire hydrants within 300' of the building; however there is not a hydrant within 75' of the Fire Department Connection (FDC). Please add a fire hydrant as specified. (see local amendment below)

507.5.1.2 A fire hydrant shall be located within 75 feet of the fire department connection that it serves.

2. When the location of the Fire Department Connection (FDC) is determined, the foundation landscaping shall not obstruct or interfere with the access to the FDC.
3. Site access for the Fire Department is adequate and meets the requirements of the adopted code.

DISCOUNT TIRE

DISCOUNT TIRE - ST. CHARLES, IL

131 SOUTH RANDALL ROAD
ST. CHARLES, IL
KANE COUNTY

PRELIMINARY ENGINEERING PLANS

ENGINEER

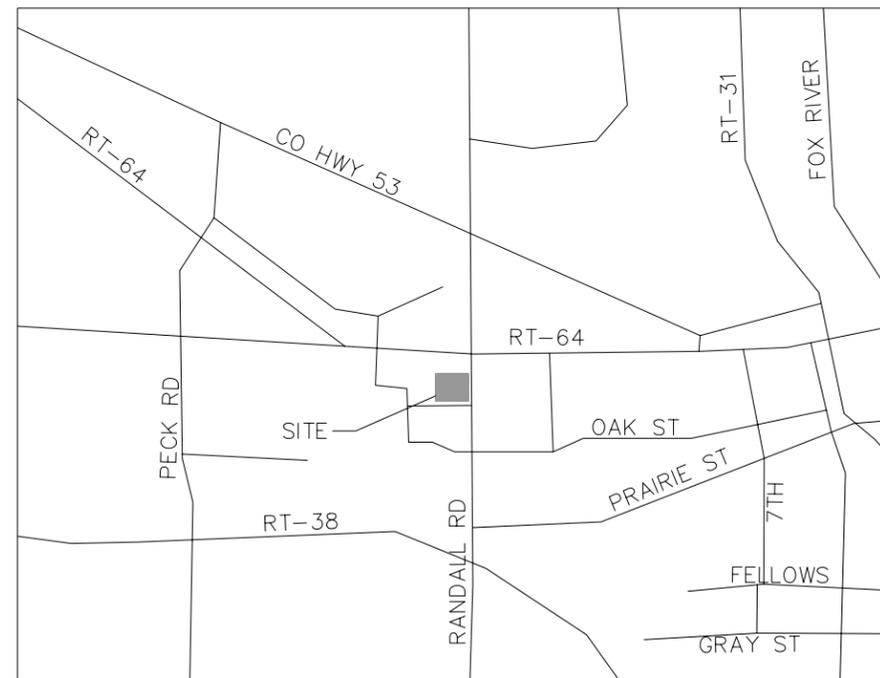
ATWELL, LLC.
1245 EAST DIEHL ROAD, SUITE 100
NAPERVILLE, IL 60563
PHONE: (630) 577-0800
FAX: (630) 577-0900

DEVELOPER

HALLE PROPERTIES, LLC
20225 NORTH SCOTTSDALE ROAD
SCOTTSDALE, AZ 85255
PHONE: (480) 606-6000
FAX: (480) 606-4370

ARCHITECT

ARCHITECTURAL RESOURCES TEAM, INC
99 EAST VIRGINIA AVE, SUITE 120
PHOENIX, AZ 85004
PHONE: (602)-307-5399
FAX: (602)-307-5409



SITE LOCATION MAP
NOT TO SCALE

SHEET INDEX

- C-01 COVER SHEET
- C-02 EXISTING CONDITIONS PLAN
- C-03 SITE LAYOUT PLAN
- C-04 GRADING PLAN
- C-05 UTILITY PLAN
- C-06 SOIL EROSION CONTROL PLAN
- C-07 SOIL EROSION CONTROL DETAILS
- C-08 LANDSCAPE PLAN
- C-09 LANDSCAPE NOTES AND DETAILS
- C-10 CITY STANDARD NOTES
- C-11 STANDARD DETAILS
- C-12 STANDARD DETAILS
- C-13 STANDARD DETAILS



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
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SECTION 32
TOWN 40 NORTH, RANGE 8 EAST
CITY OF ST. CHARLES
KANE COUNTY, ILLINOIS

CLIENT
DISCOUNT TIRE COMPANY
131 SOUTH RANDALL ROAD
ST. CHARLES, IL
PRELIMINARY ENGINEERING
COVER SHEET

DATE 09/13/2012

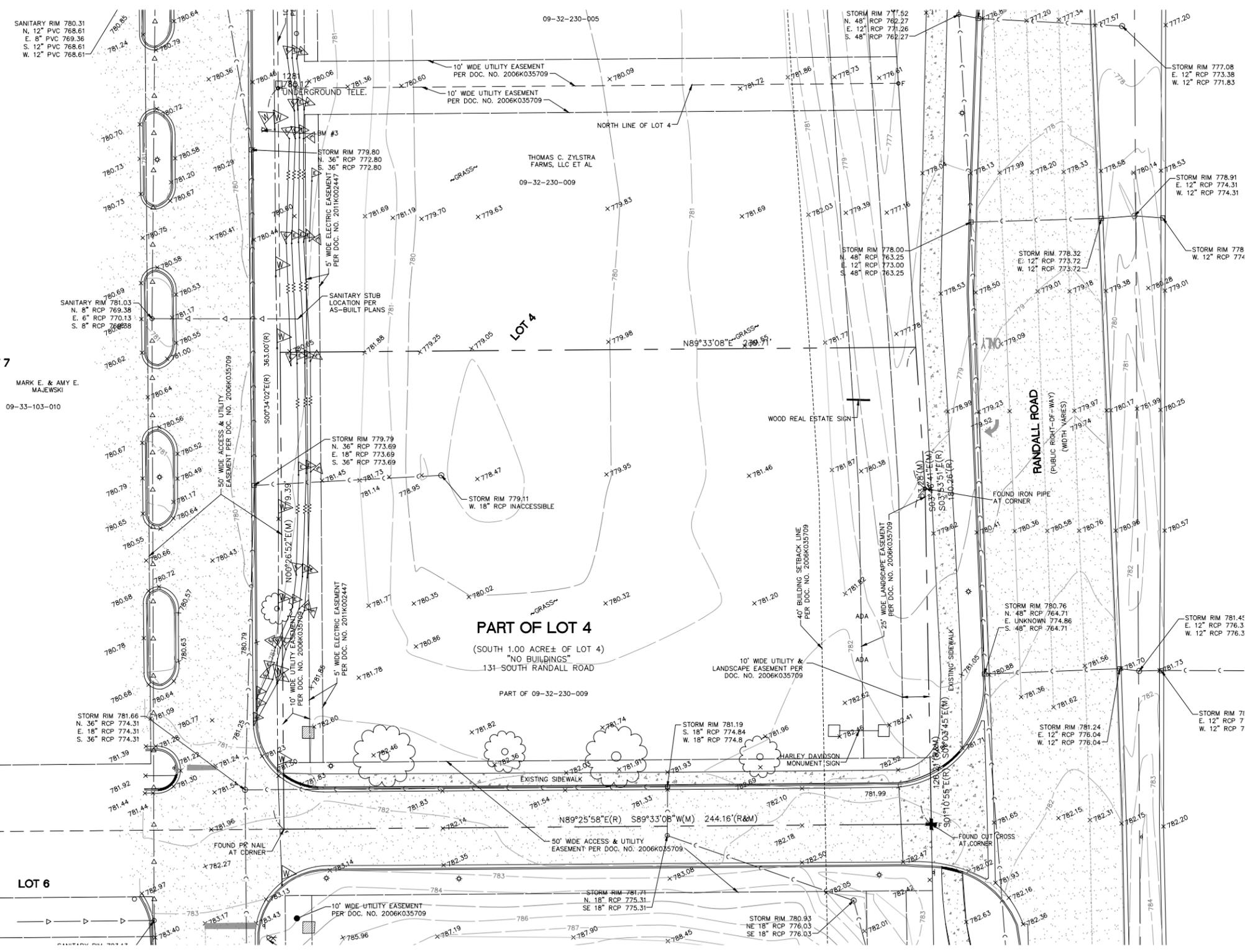
10/26/2012
11/05/2012
CEN SUBMITTAL



SCALE
DR. REK
CH. BH
P.M. T. MOSHER
CAD FILE:
12001457C-01-CV.DWG
JOB 12001457
FILE CODE: --
SHEET NO.
C-01

LEGEND

	PROPERTY LINE
	EXISTING BOUNDARY ADJACENT LINE
	EXISTING EASEMENT LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING SETBACK LINE
	EXISTING UNDERGROUND SANITARY LINE
	EXISTING UNDERGROUND STORM LINE
	EXISTING UNDERGROUND WATER LINE
	EXISTING UNDERGROUND GAS LINE
	FOUND CUT CROSS
	FOUND PK NAIL
	FOUND IRON ROD
	EXISTING MANHOLE/CATCH BASIN
	EXISTING HYDRANT AND SHUTOFF
	EXISTING LIGHT POLE
	EXISTING TELEPHONE FISER
	EXISTING SIGN
	EXISTING CONCRETE
	EXISTING ASPHALT



LEGAL DESCRIPTION PER WFG NATIONAL TITLE INSURANCE COMPANY, FORM NO. 3151900-A:

LOT 4 IN ZYLSTRA CENTER, BEING A SUBDIVISION OR PART OF THE SOUTHEAST 1/4 OF SECTION 29 AND PART OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE RECORDED PLAT THEREOF RECORDED APRIL 4, 2006 AS DOCUMENT 2006K035709 AND CERTIFICATE OF CORRECTION RECORDED JUNE 26, 2008 AS DOCUMENT 2008K053274, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

FOR INFORMATIONAL PURPOSES ONLY, PROPERTY IS COMMONLY KNOWN AS: 131 SOUTH RANDALL ROAD, ST. CHARLES, ILLINOIS

PIN: 09-32-230-009

LEGAL DESCRIPTION OF LAND COVERED BY THIS ALTA/ACSM LAND TITLE SURVEY:

THE SOUTH 1.00 ACRE OF LOT 4 IN ZYLSTRA CENTER, BEING A SUBDIVISION OR PART OF THE SOUTHEAST 1/4 OF SECTION 29 AND PART OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE RECORDED PLAT THEREOF RECORDED APRIL 4, 2006 AS DOCUMENT 2006K035709 AND CERTIFICATE OF CORRECTION RECORDED JUNE 26, 2008 AS DOCUMENT 2008K053274, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 4; THENCE S89°33'08"W ALONG THE SOUTH LINE OF SAID LOT 4 244.16 FEET TO THE WEST LINE OF SAID LOT 4; THENCE N00°26'52"E ALONG THE WEST LINE OF SAID LOT 4 179.39 FEET; THENCE N89°33'08"E 239.71 FEET TO THE EAST LINE OF SAID LOT 4; THENCE S03°46'41"E ALONG THE EAST LINE OF SAID LOT 4 53.28 FEET; THENCE S07°03'45"E ALONG SAID EAST LINE 126.21 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

THE SUBJECT PROPERTY CONTAINS 1.00 ACRE, OR 43,560 SQ. FT. OF LAND, MORE OR LESS.



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BENCHMARKS

- SITE BM# 3 = SET BENCHMARK ON ARROW FLANGE BOLT OF HYDRANT NEAR THE NORTHWEST CORNER OF LOT 4. ELEVATION = 782.62 (NAD83)
- SITE BM# 4 = SET BENCHMARK ON ARROW FLANGE BOLT OF HYDRANT NEAR THE SOUTHEAST CORNER OF THE INTERSECTION OF ENTRANCE DRIVE. ELEVATION = 786.19 (NAD83)
- SOURCE BM = TOP OF ARROW BOLT ON HYDRANT LOCATED AT ±30 FEET EAST OF THE WEST LINE OF LOT 2 IN THE NORTH RIGHT OF WAY OF THE SITE ACCESS DRIVE. ELEVATION = 783.34 (NGVD29)

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SECTION 32
TOWN 40 NORTH, RANGE 8 EAST
CITY OF ST. CHARLES
KANE COUNTY, ILLINOIS

DISCOUNT TIRE COMPANY
131 SOUTH RANDALL ROAD
ST. CHARLES, IL
PRELIMINARY ENGINEERING
EXISTING CONDITIONS PLAN

DATE: 09/13/2012
REVISIONS



SCALE 0 10 20
1" = 20 FEET
DR. REK
CH. BH
P.M. T. MOSHER
CAD FILE: 12001457C-02-EC.DWG
JOB: 12001457
FILE CODE: --
SHEET NO. C-02

LEGEND

	PROPERTY LINE
	EXIST. CURB AND GUTTER
	PROP. CURB AND GUTTER
	EASEMENT LINE
	PARKING SPACE COUNT
	ADA RAMP WITH DETECTABLE WARNING
	PROP. SIGN
	PROP. ACCESSIBLE PARKING SPACE SIGN
	PROP. STOP SIGN
	DIMENSION TO BACK OF CURB
	DIMENSION TO PROPERTY LINE
	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK

DEMOLITION

- THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIAL IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES INCLUDING, BUT NOT LIMITED TO, STRUCTURES, FOUNDATIONS, CONCRETE, ASPHALT, STEEL, UTILITIES, DRAINAGE STRUCTURES, ETC.
- CONTRACTOR TO DEMOLISH THE SITE SUCH THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED.
- ALL UNSUITABLE MATERIAL THAT WOULD CONFLICT WITH THE PROPER CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REMOVED.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM ALL GOVERNING AGENCIES PRIOR TO THE START OF SITE DEMOLITION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL EXISTING UTILITY SERVICES ARE DISCONNECTED OR PROTECTED PRIOR TO THE START OF DEMOLITION OF THE SITE.
- THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES ASSOCIATED WITH UTILITY COORDINATION.
- THE EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN LOCATED BASED ON THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY.
- PRIOR TO THE START OF ANY SITE DEMOLITION, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.
- ALL UTILITIES THAT ARE REQUIRED TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE START OF DEMOLITION.
- ALL UTILITIES THAT ARE REQUIRED TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE START OF DEMOLITION.
- SITE DEMOLITION SHALL NOT CONFLICT WITH ACCESS TO ADJACENT SITES OR TRAFFIC AND PEDESTRIAN FLOW IN ADJACENT PUBLIC R.O.W.'S.
- ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITY.
- ANY IMPROVEMENTS, STRUCTURES, PAVEMENTS, UTILITIES, OR PROPERTY, EITHER ON-SITE OR OFF-SITE, THAT BECOMES DAMAGED DURING SITE CONSTRUCTION SHALL BE REPLACED BACK TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

GENERAL CONSTRUCTION NOTES

- ALL SITE WORK AND GRADING OPERATIONS WITHIN THE LIMITS OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE CURRENT EDITION, AND ALL REVISIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THE CONTRACTOR SHALL ALSO FOLLOW ALL STATE, COUNTY AND LOCAL JURISDICTIONAL ORDINANCES AND REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OF ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF IDOT STANDARD TRAFFIC CONTROL AND PROTECTION DEVICES TO INFORM AND PROTECT THE PUBLIC, IN COMPLIANCE WITH IDOT STANDARD TRAFFIC CONTROL AND PROTECTION SPECIFICATIONS.
- EASEMENTS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITH PUBLIC RIGHT OF WAY ARE SHOWN ON THE PLANS ACCORDING TO INFORMATION AVAILABLE IN THE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF AN UNEXPECTED NATURE WHICH CONFLICT IN LOCATION WITH NEW CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE OWNER SO THAT THE CONFLICT MAY BE RESOLVED.
- BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND MUNICIPALITY.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS, CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF BUILDING.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY PREPARED BY ATWELL, LLC DATED 10-2-2012.
- TOTAL PROPERTY IS 1.00 ACRES.
- REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING ELECTRICAL PLANS.
- ALL STRIPING SHALL BE 4" WHITE UNLESS OTHERWISE NOTED.
- THE BUILDING AND PARKING ARE PARALLEL AND/OR PERPENDICULAR TO THE NORTH PROPERTY LINE, N89°33'08"E.

811 Know what's below.
Call before you dig.

SITE DATA

ZONING	BR-REGIONAL BUSINESS PLANNED UNIT DEVELOPMENT
ACREAGE	1.00 ACRES (43,560 S.F.)
BUILDING HEIGHT	26' (ONE STORY)

	REQUIRED	PROVIDED
FRONT BUILDING SETBACK (SOUTH)	20'	100.7'
SIDE BUILDING SETBACK (WEST)	20'	71.8'
SIDE BUILDING SETBACK (EAST)	40'	41.1'
REAR BUILDING SETBACK (NORTH)	20'	22'

PARKING DATA

DISCOUNT TIRE	6,947 S.F.
PARKING REQUIRED*	26
PARKING PROVIDED	33

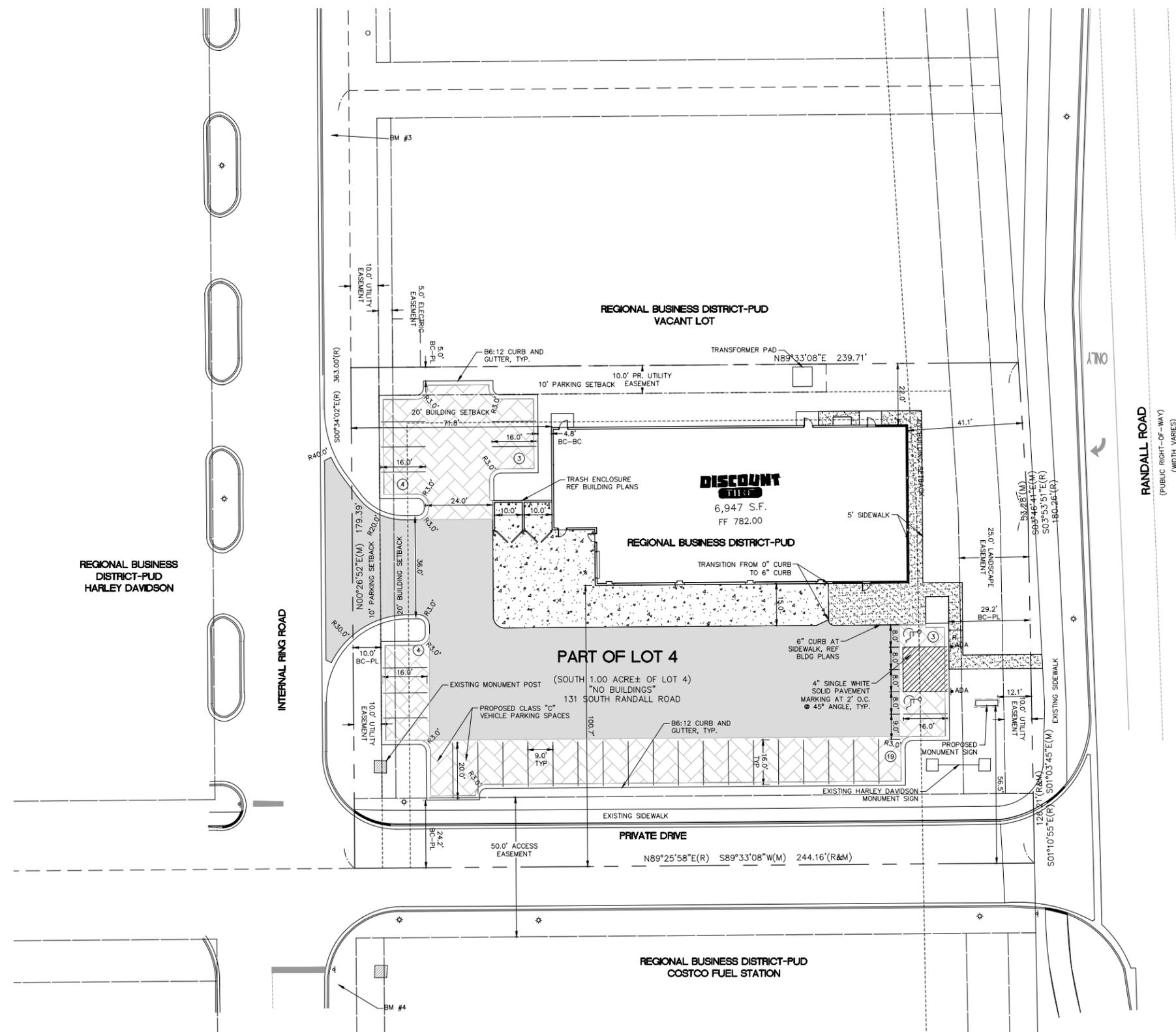
*PARKING REQUIREMENTS

- 2 SPACES/BAY PLUS
- 2 SPACES/1000 SF
- =6 BAYS X 2 + 6,947 SF/1000 X 2 =26

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REGIONAL BUSINESS DISTRICT-PUD
HARLEY DAVIDSON

REGIONAL BUSINESS DISTRICT-PUD
VACANT LOT

REGIONAL BUSINESS DISTRICT-PUD

PART OF LOT 4

(SOUTH 1.00 ACRES ± OF LOT 4)
"NO BUILDINGS"
131 SOUTH RANDALL ROAD

REGIONAL BUSINESS DISTRICT-PUD
COSTCO FUEL STATION



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Water & Natural Resources



SECTION 32
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KANE COUNTY, ILLINOIS

CLIENT
DISCOUNT TIRE COMPANY
131 SOUTH RANDALL ROAD
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PRELIMINARY ENGINEERING
SITE LAYOUT PLAN

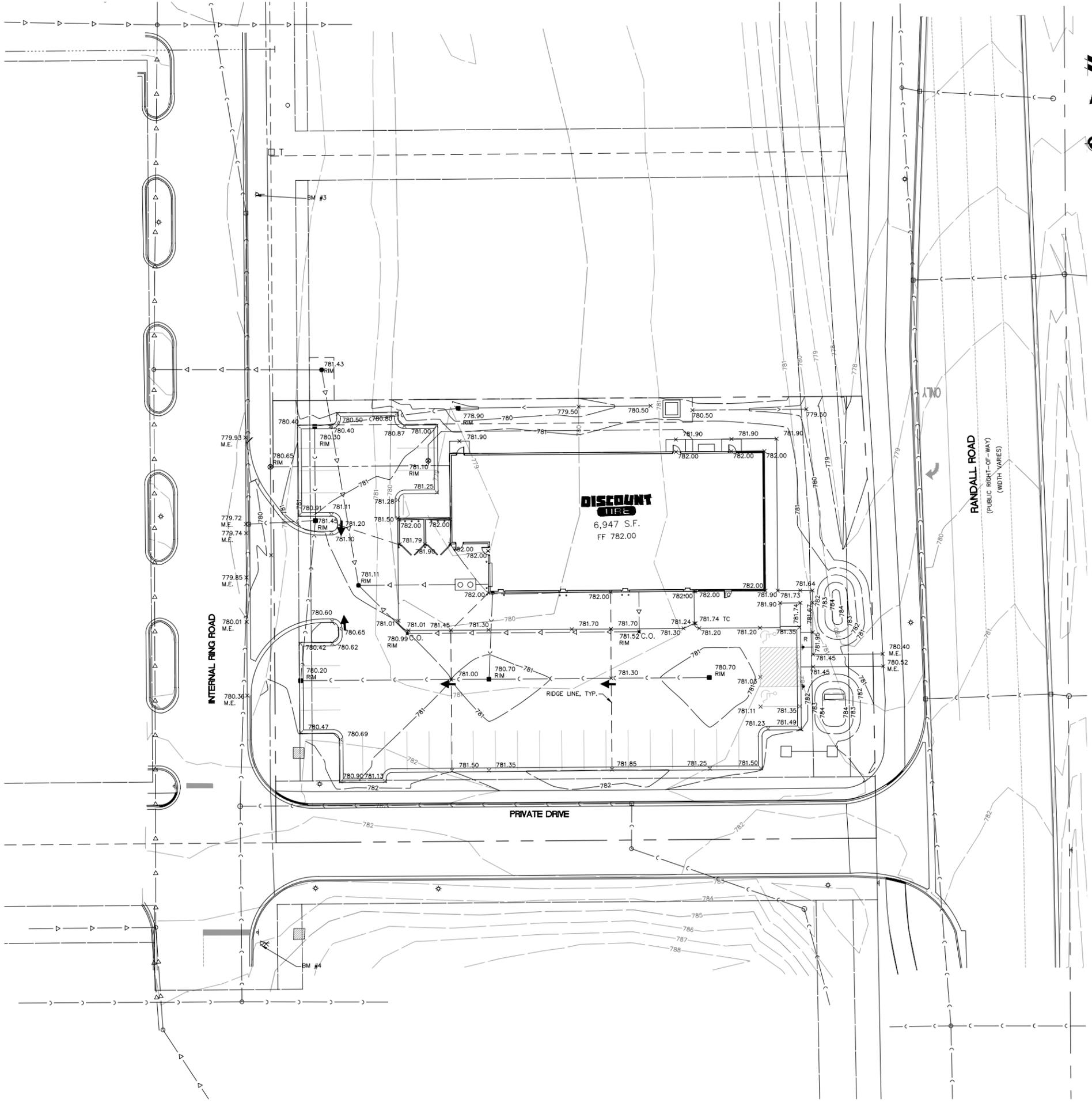
DATE
09/13/2012
10/09/2012
REVISED LAYOUT
11/05/2012
CITY SUBMITTAL

REVISIONS
ATWELL logo

SCALE 0 10 20
1" = 20 FEET
DR. REK
CH. BH
P.M. T. MOSHER
CAD FILE:
12001457C-03-L.DWG
JOB 12001457
FILE CODE: --
SHEET NO.
C-03

LEGEND	
	PROPERTY LINE
	EXIST. CONTOUR
	PROP. CONTOUR
	PROP. RIDGE LINE
	PROP. PITCH OUT CURB AND GUTTER
	EXIST. STORM SEWER
	PROP. STORM SEWER
	EXIST. MANHOLE
	PROP. MANHOLE
	PROP. CATCHBASIN/INLET
	PROP. WATER VALVE
	DRAINAGE FLOW ARROW
	PROP. SPOT ELEVATION
	PROP. RIM ELEVATION
	MATCH EXISTING ELEVATION
	PROP. TOP OF SIDEWALK ELEVATION
	EMERGENCY OVERFLOW ROUTE

- GRADING NOTES**
- EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPIILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTING NONSTRUCTURAL FILLS, AND FINAL SHARPING AND TRIMMING TO THE LINES GRADES AND CROSS SECTIONS SHOWN IN THE PLANS. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE PROVISIONS OF DIVISION 200 OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF AS REQUIRED, AS SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER. PROOF ROLLING, DISCING AND DEWATERING ARE EXCAVATORS RESPONSIBILITY AND CONSIDERED INCIDENTAL.
 - THE GRADING AND CONSTRUCTION OF PROPOSED IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.
 - THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF SIX (6)" INCHES OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED IN AREAS TO RECEIVE VEGETATIVE COVER.
 - GEOTECHNICAL REPORTS AS PREPARED BY OWNER (OR OWNER'S REPRESENTATIVE) SHALL BE REFERRED TO PRIOR TO EARTH MOVING AND UTILITY INSTALLATION.
 - THE SELECTED FILL MATERIAL SHALL BE FREE OF ORGANIC MATTER, FROZEN SOIL, CLODS, OR OTHER DELETERIOUS MATERIAL. FILL SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS, NOT MORE THAN NINE INCHES (9)" IN LOOSE THICKNESS. EACH LIFT SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR COMPACTION TEST (ASTM D 1557).
 - ALL BUILDING PADS SHALL HAVE A MINIMUM BEARING CAPACITY OF 2,000 P.S.F. FOR BUILDING SUPPORT.
 - OVERLAND DRAINAGE ROUTING AND SWALES SHALL BE CONSTRUCTED AS SHOWN ON PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
 - ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 4H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH STATE, LOCAL AND COUNTY SPECIFICATIONS, INCLUDING IN ACCORDANCE WITH THE N.P.D.E.S. GENERAL PERMIT, UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
 - EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
 - PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
 - ALL SPOT GRADES ARE FLOWLINE/TOP OF PAVEMENT GRADES UNLESS OTHERWISE NOTED. ALL RIM ELEVATIONS ARE FLOWLINE ELEVATIONS.
 - ALL STORM SEWER AND UTILITY STRUCTURE RIMS SHALL BE FLUSH WITH PAVEMENT OR FINISHED GRADE.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - AT THE START OF EARTHWORK OPERATIONS, ANY VEGETATION, TOPSOIL, UNSUITABLE MATERIAL, AND DEBRIS FROM ANY DEMOLITION SHALL BE ENTIRELY REMOVED FROM PROPOSED BUILDING AND PAVEMENT AREAS.
 - THE SELECTED FILL MATERIAL SHALL BE FREE OF ORGANIC MATTER, FROZEN SOIL, CLODS, OR OTHER DELETERIOUS MATERIAL. FILL SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS, NOT MORE THAN NINE INCHES (9)" IN LOOSE THICKNESS. FILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR COMPACTION TEST (ASTM D 1557). LOAD BEARING FILL SHALL BE CA-6.
 - SOILS INFORMATION TAKEN FROM A GEOTECHNICAL INVESTIGATION REPORT DATED 10/09/2012, PREPARED BY G2 CONSULTING GROUP, LLC.



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SECTION 32
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CITY OF ST. CHARLES
KANE COUNTY, ILLINOIS

CLIENT: DISCOUNT TIRE COMPANY
131 SOUTH RANDALL ROAD
ST. CHARLES, IL
PRELIMINARY ENGINEERING
GRADING PLAN

DATE	09/13/2012
10/09/2012 REVISED LAYOUT	
11/05/2012 CTR. SUBMITTAL	



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1" = 20 FEET

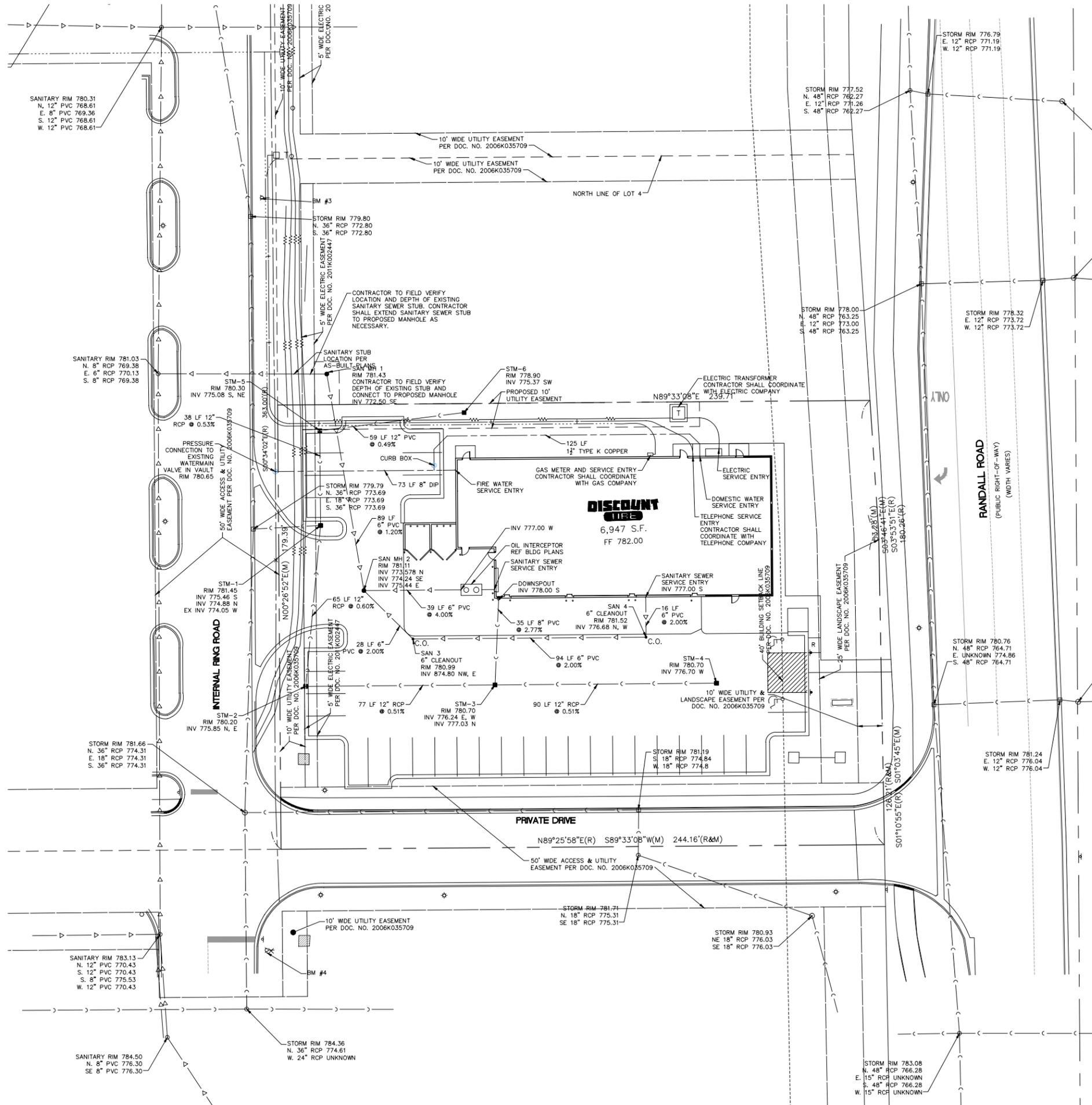
DR. REK
CH. BH
P.M. T. MOSHER
CAD FILE: 12001457C-04-G.DWG
JOB 12001457
FILE CODE: --
SHEET NO. C-04

LEGEND

	PROPERTY LINE
	PROP. EASEMENT
	EXIST. STORM SEWER
	PROP. STORM SEWER
	EXIST. OVERHEAD ELECTRIC
	EXIST. UNDERGROUND ELECTRIC
	EXIST. GAS LINE
	EXIST. TELEPHONE
	EXIST. WATERMAIN
	EXIST. SANITARY SEWER
	PROP. GAS
	PROP. UNDERGROUND ELECTRIC
	PROP. TELEPHONE
	PROP. SANITARY SEWER
	PROP. WATERMAIN
	EXIST. MANHOLE/CATCH BASIN
	PROP. MANHOLE
	PROP. CATCH BASIN/INLET
	PROP. DOWNSPOUT
	EXIST. HYDRANT
	PROP. HYDRANT
	EXIST. GATE VALVE IN MANHOLE
	PROP. WATER VALVE
	PROP. CLEANOUT

UTILITY NOTES

- REFER TO CITY OF ST. CHARLES SANITARY SEWER, STORM SEWER, AND WATERMAIN SPECIFICATIONS ON SHEET C-10.
- WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH ALL STATE, COUNTY AND LOCAL GOVERNING JURISDICTIONS AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS".
- CONTRACTOR TO PROVIDE A 2' x 2' x 8" CONCRETE COLLAR AROUND ALL CLEANOUTS OUTSIDE OF THE BUILDING.
- ALL STORM SEWER SHALL BE CONSTRUCTED WITH "O" RING JOINTS PER ASTM C-443.
- ALL STORM SEWER PIPE TO BE REINFORCED CONCRETE PIPE C-76 CL III UNDER NON PAVED AREAS AND C-76 CL IV UNDER PAVED SURFACES UNLESS OTHERWISE NOTED.
- ALL STORM STRUCTURE LIDS SHALL BE IMPRINTED "STORM".



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NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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SECTION 32
TOWN 40 NORTH, RANGE 8 EAST
CITY OF ST. CHARLES
KANE COUNTY, ILLINOIS

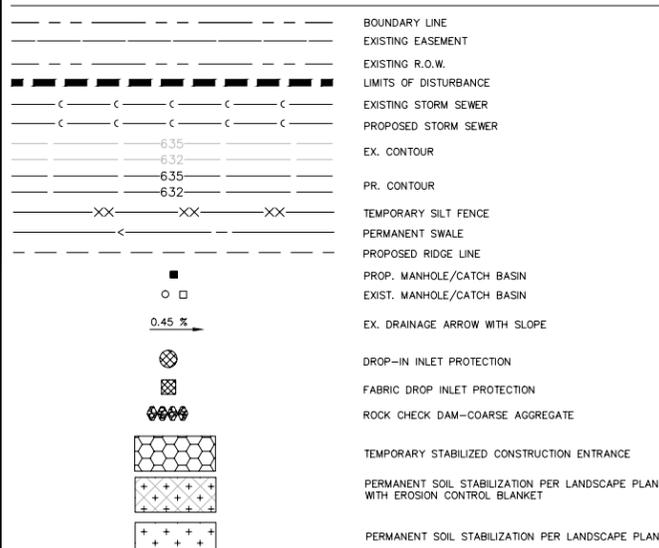
DISCOUNT TIRE COMPANY
131 SOUTH RANDALL ROAD
ST. CHARLES, IL
PRELIMINARY ENGINEERING
UTILITY PLAN

DATE 09/13/2012
REVISIONS



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LEGEND



SITE DATA TABLE	
TOTAL PROJECT AREA (ACRES)	1.00
TOTAL DISTURBED AREA (ACRES)	1.0
EXISTING IMPERVIOUS AREA (ACRES)	0.02
PROPOSED IMPERVIOUS AREA (ACRES)	0.73

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED IN ACCORDANCE WITH THE CONDITIONS OF APPLICABLE IL GENERAL NPDES PERMIT.
- EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED AND REPLACED AS NECESSARY AT NO ADDITIONAL COST TO THE OWNER.
- THE EROSION CONTROL MEASURES INCLUDED IN THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE INSTALLED PRIOR TO INITIAL LAND DISTURBANCE ACTIVITIES OR AS SOON AS PRACTICAL. SEDIMENT SHALL BE PREVENTED FROM DISCHARGING FROM THE PROJECT SITE BY INSTALLING AND MAINTAINING SILT FENCE, SEDIMENT BASINS, ETC. AS SHOWN ON THIS PLAN. IF SHOWN ON THESE PLANS, ENERGY-DISSIPATION DEVICES OR EROSION CONTROL AT THE OUTFALL OF THE STORM SEWER SYSTEM SHALL BE INSTALLED AT THE TIME OF THE CONSTRUCTION OF THE OUTFALL.
- THE CONTRACTOR SHALL CONTROL WASTES, GARBAGE, DEBRIS, WASTEWATER, AND OTHER SUBSTANCES ON THE SITE IN SUCH A WAY THAT THEY SHALL NOT BE TRANSPORTED FROM THE SITE BY THE ACTION OF WINDS, STORM WATER RUNOFF, OR OTHER FORCES. PROPER DISPOSAL OR MANAGEMENT OF ALL WASTES AND UNUSED BUILDING MATERIAL, APPROPRIATE TO THE NATURE OF THE WASTE OR MATERIAL IS REQUIRED. COMPLIANCE IS REQUIRED WITH ALL STATE OR LOCAL REGULATIONS REGARDING WASTE DISPOSAL, SANITARY SEWER, OR SEPTIC SYSTEMS.
- PUBLIC OR PRIVATE ROADWAYS SHALL BE KEPT CLEARED OF ACCUMULATED SEDIMENT. BULK CLEARING OF ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING THE AREA WITH WATER. CLEARED SEDIMENT SHALL BE RETURNED TO THE POINT OF LIKELY ORIGIN OR OTHER SUITABLE LOCATION.
- ALL ON-SITE STORM DRAIN INLETS SHALL BE PROTECTED AGAINST SEDIMENTATION WITH FILTER FABRIC, OR EQUIVALENT BARRIERS AS SHOWN ON THESE PLANS.
- EXCEPT AS PREVENTED BY INCLEMENT WEATHER CONDITIONS, ALL DISTURBED AREAS TO REMAIN INACTIVE FOR MORE THAN 14 DAYS SHALL BE STABILIZED BY SEEDING, SODDING, MULCHING, COVERING, OR BY OTHER EQUIVALENT EROSION CONTROL MEASURES WITHIN SEVEN (7) DAYS. PERMANENT SOIL STABILIZATION SHALL BE PROVIDED WITHIN 7 DAYS AFTER FINAL GRADE IS ESTABLISHED.
- THIS EROSION CONTROL PLAN SHALL BE IMPLEMENTED ON ALL DISTURBED AREAS WITHIN THE CONSTRUCTION SITE. ALL MEASURES INVOLVING EROSION CONTROL PRACTICES SHALL BE INSTALLED UNDER THE GUIDANCE OF QUALIFIED PERSONNEL EXPERIENCED IN EROSION CONTROL, AND FOLLOWING THE PLANS AND SPECIFICATIONS INCLUDED HEREIN.
- DURING THE PERIOD OF CONSTRUCTION ACTIVITY, ALL SEDIMENT BASINS AND OTHER EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR. AT COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE TRANSFER OF MAINTENANCE RESPONSIBILITIES, IF REQUIRED, WITH THE OWNER. MAINTENANCE SHALL BE IN ACCORDANCE WITH THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN.
- EXISTING VEGETATION SHALL BE PROTECTED AS MUCH AS PRACTICAL.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE REMOVED AND DISPOSED OF WITHIN THIRTY DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY PRACTICES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION.
- THIS EROSION CONTROL PLAN MUST BE RETAINED ON-SITE AT ALL TIMES DURING THE PERIOD OF CONSTRUCTION.

CONTRACTOR CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (LR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

GENERAL CONTRACTOR NAME	_____	SUBCONTRACTOR NAME	_____
GENERAL CONTRACTOR ADDRESS	_____	SUBCONTRACTOR ADDRESS	_____
GENERAL CONTRACTOR TELEPHONE	_____	SUBCONTRACTOR TELEPHONE	_____
GENERAL CONTRACTOR SIGNATURE	_____	SUBCONTRACTOR SIGNATURE	_____
DATE	_____	DATE	_____
SITE ADDRESS	_____		

CONSTRUCTION SEQUENCE SCHEDULE

- INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL SE/SC MEASURES
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE
 - INSTALL SILT FENCE
 - INSTALL INLET FILTER PROTECTION
 - INSTALL ROCK CHECK DAM
- TREE REMOVAL WHERE NECESSARY (CLEAR & GRUB).
- CONTAIN STOCKPILE LOCATIONS WITHIN SITE AND INSTALL EROSION CONTROL MEASURES AS NECESSARY.
- START CONSTRUCTION OF BUILDING PAD AND UTILITIES.
- INSTALL INLET PROTECTION AS EACH STORM STRUCTURE IS INSTALLED.
- TEMPORARILY SEED BY THE 7TH DAY OF INACTIVITY, THROUGHOUT CONSTRUCTION; DENuded AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
- INSTALL PAVEMENT.
- PERMANENTLY STABILIZE ALL AREAS.
- REMOVE ALL TEMPORARY SE/SC MEASURES AFTER THE SITE IS STABILIZED WITH VEGETATION.

OWNER CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

* SOIL EROSION AND SEDIMENT CONTROL MAINTENANCE MUST OCCUR EVERY TWO WEEKS AND AFTER EVERY 0.5 IN. OR GREATER RAINFALL EVENT.

OWNER	_____	DATE	_____
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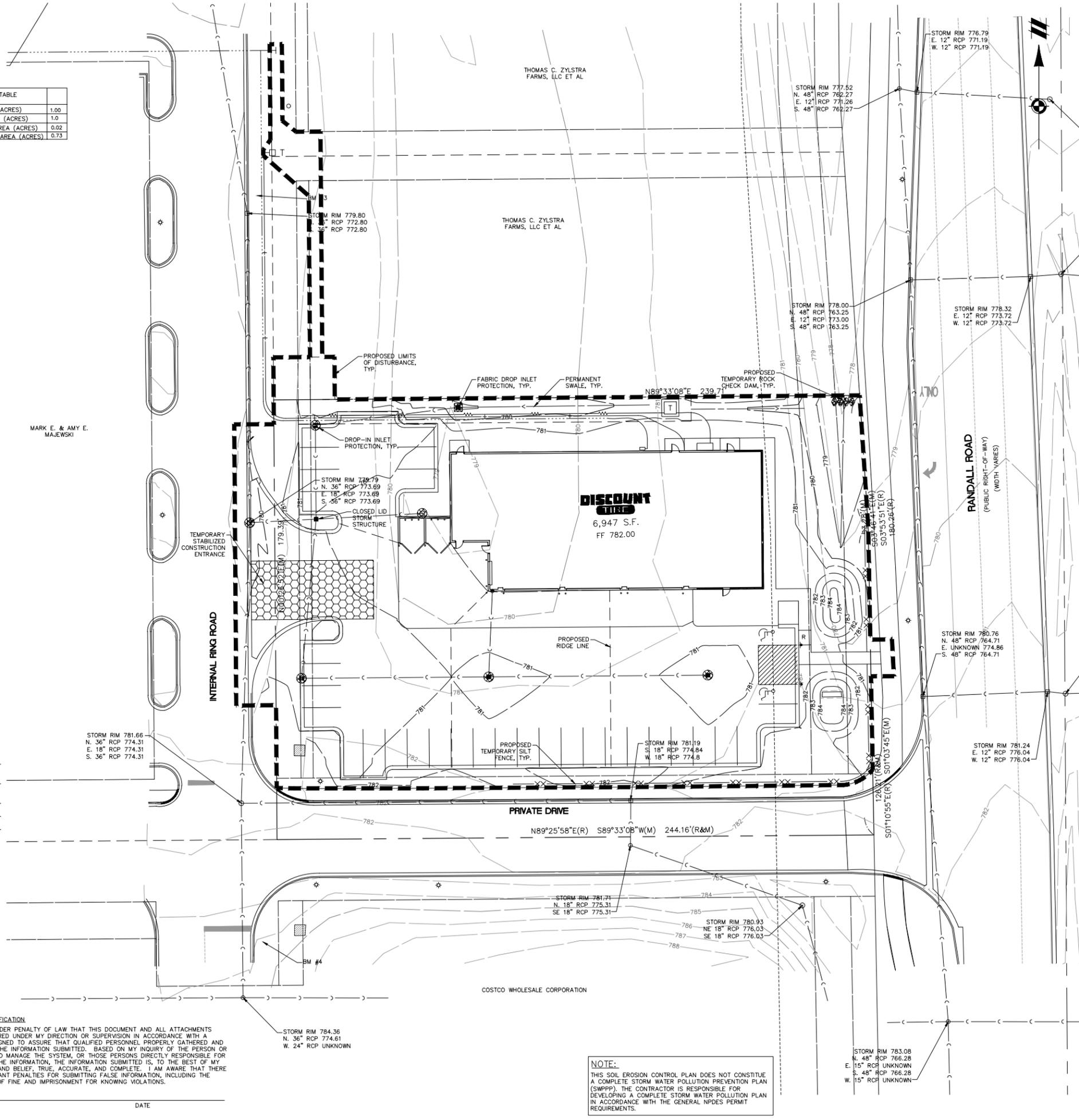


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NOTE:
THIS SOIL EROSION CONTROL PLAN DOES NOT CONSTITUTE A COMPLETE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR IS RESPONSIBLE FOR DEVELOPING A COMPLETE STORM WATER POLLUTION PLAN IN ACCORDANCE WITH THE GENERAL NPDES PERMIT REQUIREMENTS.

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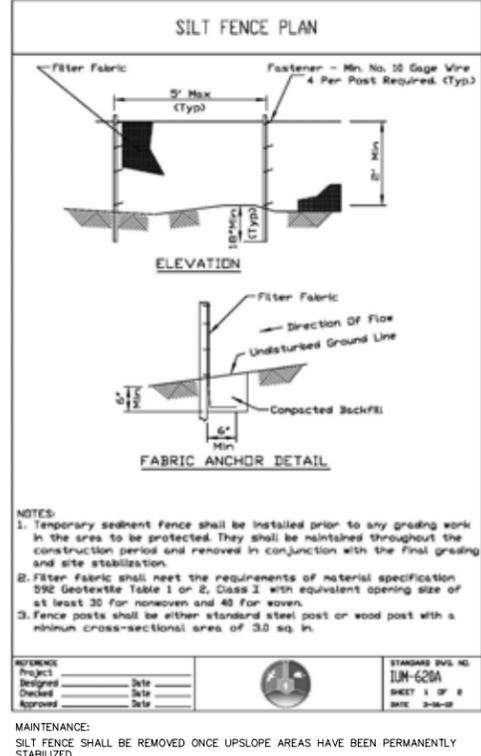
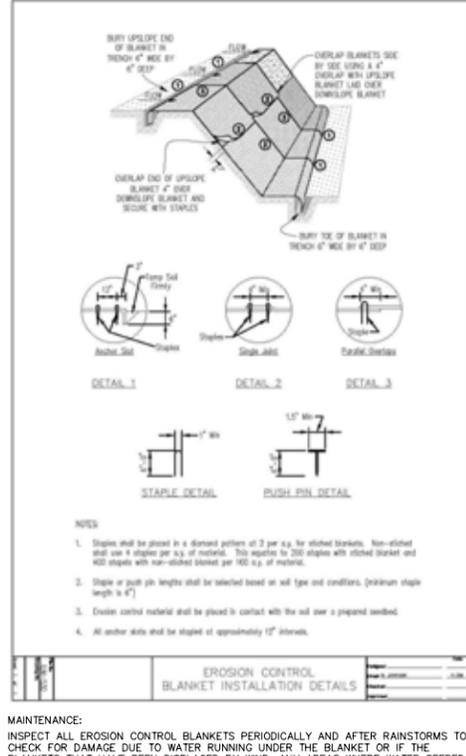
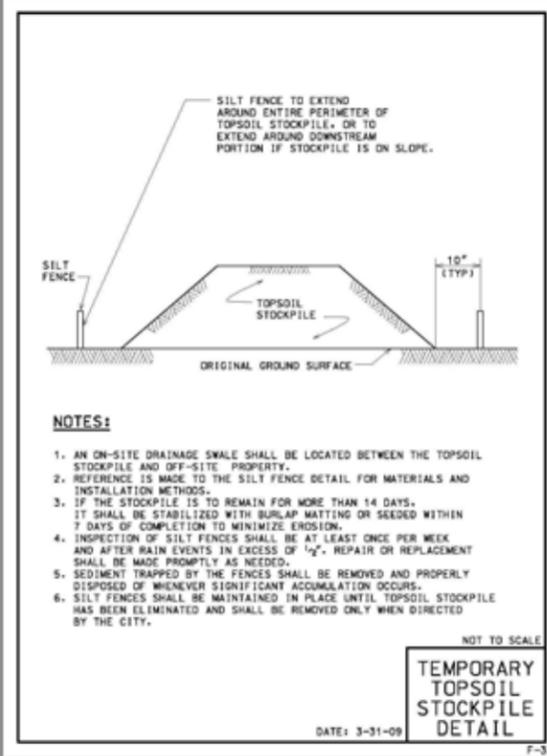
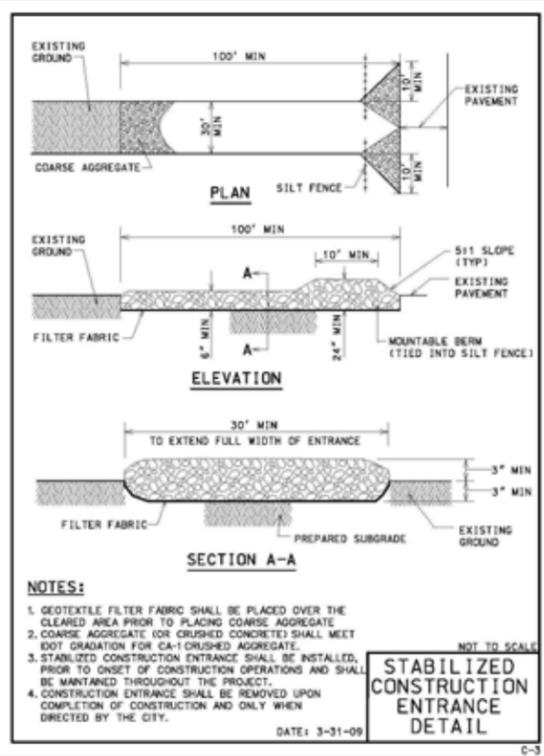
CLIENT
DISCOUNT TIRE COMPANY
131 SOUTH RANDALL ROAD
ST. CHARLES, IL
PRELIMINARY ENGINEERING
SOIL EROSION CONTROL PLAN

DATE
09/13/2012

REVISIONS



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JOB 12001457
FILE NO. ---
SHEET NO. ---
C-06



MAINTENANCE:

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS OR STREETS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL AGGREGATE. ALL SEDIMENT SPILLED, DROPPED, OR WASHED ONTO PUBLIC RIGHT-OF-WAYS OR STREETS MUST BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

MAINTENANCE:

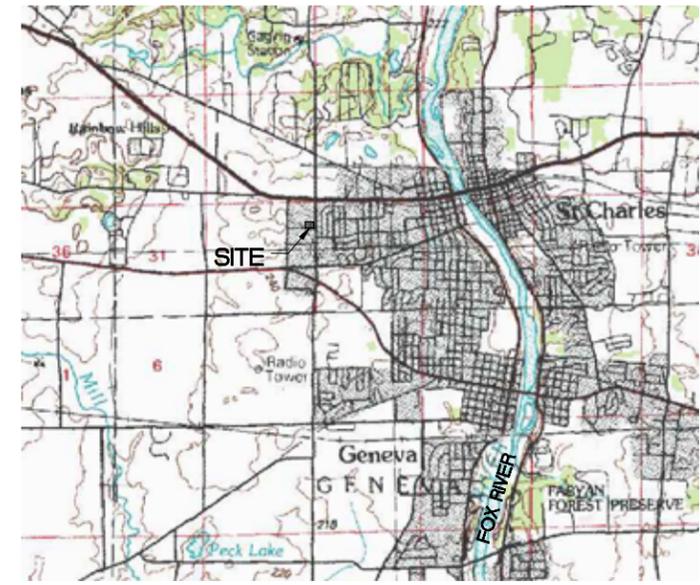
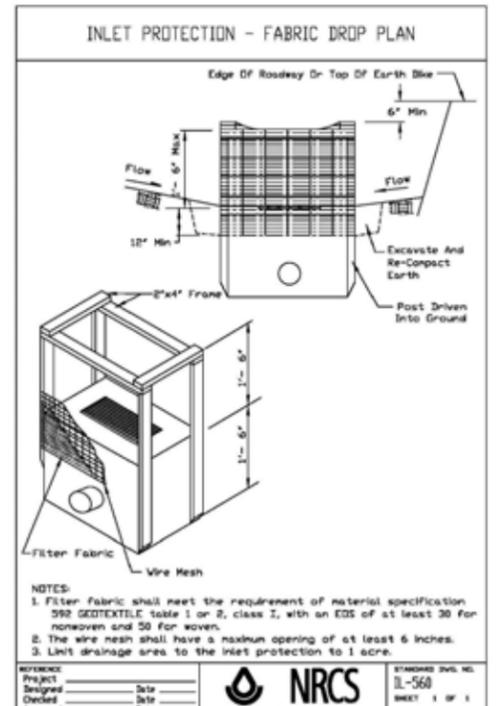
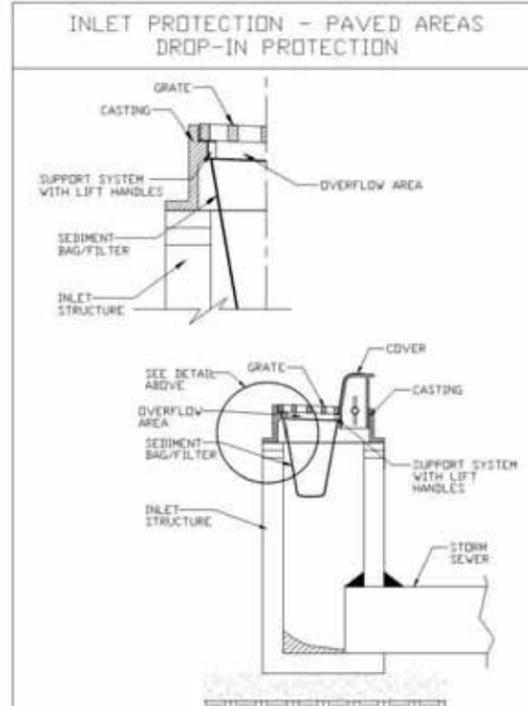
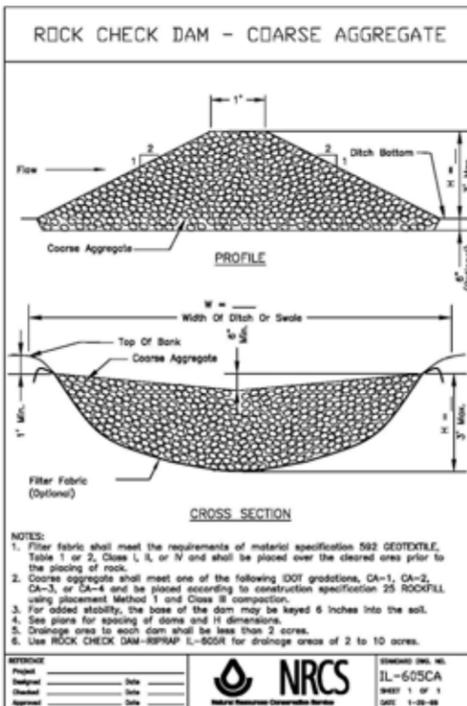
INSPECT ALL EROSION CONTROL BLANKETS PERIODICALLY AND AFTER RAINSTORMS TO CHECK FOR DAMAGE DUE TO WATER RUNNING UNDER THE BLANKET OR IF THE BLANKETS THAT HAVE BEEN DISPLACED BY WIND. ANY AREAS WHERE WATER SEEPED UNDER THE BLANKET, MORE STAPLES MAY BE NEEDED PER GIVEN AREA OR MORE FREQUENT ANCHORING TRENCHES INSTALLED WITH BETTER COMPACTION. IF SIGNIFICANT EROSION HAS OCCURRED UNDER THE BLANKET THEN GRADING AND RESEEDING MAY ALSO BE NECESSARY. ANY EROSION CONTROL BLANKETS THAT HAVE BEEN DISPLACED WILL NEED TO BE RE-INSTALLED AND RE-STAPLED. THIS MAY INDICATE THAT THE WRONG TYPE OF BLANKET WAS CHOSEN. ONE MAY NEED TO REVISIT THE SITE CHARACTERISTICS AND THEN SELECT A DIFFERENT TYPE OF EROSION CONTROL BLANKET OR CHOOSE A DIFFERENT PRACTICE.

MAINTENANCE:

INSPECT THE FABRIC BARRIER AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. THE SEDIMENT MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. BE CAREFUL NOT TO DAMAGE OR UNDERCUT THE FABRIC DURING SEDIMENT REMOVAL.

WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SEDIMENT AND DISPOSE OF THEM PROPERLY. BRING THE DISTURBED AREA TO THE GRADE OF THE DROP INLET AND SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.



811 Know what's below. Call before you dig.

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MAINTENANCE:

ON ACTIVE CONSTRUCTION SITES, THE ROCK CHECK DAMS SHALL BE INSPECTED AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5 INCHES OR MORE. IF ANY EROSION HAS TAKEN PLACE AROUND OR BELOW THE ROCK CHECK DAM OR IF ROCKS HAVE BEEN DISLODGED, REPAIRS SHALL BE MADE TO PREVENT FURTHER DAMAGE. SEDIMENT SHALL BE REMOVED ONCE IT HAS ACCUMULATED TO ONE-HALF THE HEIGHT OF THE ROCK CHECK DAM. THE CENTER OF THE ROCK CHECK DAM SHALL ALSO BE INSPECTED PERIODICALLY TO INSURE THAT THE CENTER OF THE DAM IS LOWER THAN THE SIDES.

UNLESS THEY WILL BE INCORPORATED INTO A PERMANENT STORMWATER MANAGEMENT CONTROL, ROCK CHECK DAMS MUST BE REMOVED WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED. IN TEMPORARY DITCHES AND SWALES, ROCK CHECK DAMS SHOULD BE REMOVED AND THE DITCH FILLED IN WHEN THEY ARE NO LONGER NEEDED. IN PERMANENT STRUCTURES, ROCK CHECK DAMS SHOULD BE REMOVED WHEN A PERMANENT LINING CAN BE INSTALLED. IN THE CASE OF GRASS-LINED DITCHES, ROCK CHECK DAMS SHOULD BE REMOVED WHEN THE GRASS HAS MATURED SUFFICIENTLY TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE ROCK CHECK DAMS SHOULD BE SEEDED AND MULCHED IMMEDIATELY AFTER THEY ARE REMOVED.

FOR ROCK CHECK DAMS THAT ARE MADE A PART OF A PERMANENT STORMWATER MANAGEMENT CONTROL, REGULAR INSPECTIONS SHOULD BE MADE TO SEE IF ANY EROSION HAS OCCURRED AROUND OR BELOW THE DAM AND ANY ROCK HAS BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE. IF SEDIMENT TRAPPING IS TO BE A CONTINUING FUNCTION OF THE ROCK CHECK DAM, THE SEDIMENT SHALL BE REMOVED WHEN IT HAS ACCUMULATED TO ONE-HALF THE DEPTH OF THE ROCK CHECK DAM.

MAINTENANCE:

EACH INLET PROTECTION PRACTICE OR DEVICE SHALL BE INSPECTED AFTER EVERY RUNOFF EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED PER MANUFACTURERS' DIRECTIONS BUT NOT LESS THAN WHEN THE CAPACITY FOR SEDIMENT STORAGE HAS BEEN REDUCED BY HALF. SEDIMENT THAT HAS BEEN REMOVED SHALL BE PLACED SUCH THAT IT WILL NOT REENTER THE STORM DRAIN SYSTEM.

REPAIRS OR REPLACEMENT OF INLET PROTECTION DEVICES SHALL BE MADE IMMEDIATELY.

FOR DEVICES TO BE KEPT IN PLACE IN THE WINTER SEASON, AREAS SHALL BE CLEARED OF ANY SEDIMENT ACCUMULATION AND PREPARED OR PROTECTED FOR SNOW REMOVAL OPERATIONS.

INLET PROTECTION PRACTICES SHALL BE REMOVED UPON JOB COMPLETION.

MAINTENANCE:

INSPECT THE FABRIC BARRIER AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. THE SEDIMENT MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. BE CAREFUL NOT TO DAMAGE OR UNDERCUT THE FABRIC DURING SEDIMENT REMOVAL.

WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SEDIMENT AND DISPOSE OF THEM PROPERLY. BRING THE DISTURBED AREA TO THE GRADE OF THE DROP INLET AND SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

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 NAPERVILLE, IL 60563
 DESIGN FIRM #64-008576

SECTION 32
 TOWN 40 NORTH, RANGE 8 EAST
 CITY OF ST. CHARLES
 KANE COUNTY, ILLINOIS

CLIENT: DISCOUNT TIRE COMPANY
 131 SOUTH RANDALL ROAD
 ST. CHARLES, IL
 PRELIMINARY ENGINEERING
 SOIL EROSION CONTROL DETAILS

DATE: 09/13/2012
 10/07/2012
 REVISED/CHANGED
 11/05/2012
 CEN - SUBMITTAL

REVISIONS

ATWELL

SCALE: NTS

DR. REK
 CH. BH
 P.M. T. MOSHER
 CAD FILE: 12001457C-06-SE.DWG
 JOB: 12001457
 FILE CODE: --
 SHEET NO. C-07

LEGEND

-  PROPOSED MULCH
-  PROPOSED SOD
-  PROPOSED PARKING LOT AREA

SITE PLANT SCHEDULE

SHADE TREES

KEY	QTY.	GENUS/SPECIES	SIZE
AR	4	<i>Acer rubrum</i> 'Red Sunset' Red Sunset Red Maple	2.5" CAL.
CO	5	<i>Celtis occidentalis</i> Common Hackberry	2.5" CAL.
TC	5	<i>Tilia cordata</i> 'Green Spire' Green Spire Little Leaf Linden	2.5" CAL.

EVERGREEN TREE

KEY	QTY.	GENUS/SPECIES	SIZE
PP	4	<i>Picea pungens</i> Colorado Spruce	6" (ht.)

ORNAMENTAL TREE

KEY	QTY.	GENUS/SPECIES	SIZE
AG	6	<i>Amelanchier 'Grandiflora'</i> Apple Serviceberry	6"-7" Clump

DECIDUOUS SHRUBS

KEY	QTY.	GENUS/SPECIES	SIZE
EA	10	<i>Euonymus alata 'compactum'</i> Dwarf Burning Bush	30"
RA	49	<i>Rhus aromatica 'Gro Low'</i> Gro Low Fragrant Sumac	24"-30"
SM	26	<i>Syringa patula 'Miss Kim'</i> Miss Kim Lilac	20"
HP	7	<i>Hydrangea paniculata 'DVPinky'</i> Pinky Winky Hydrangea	36"

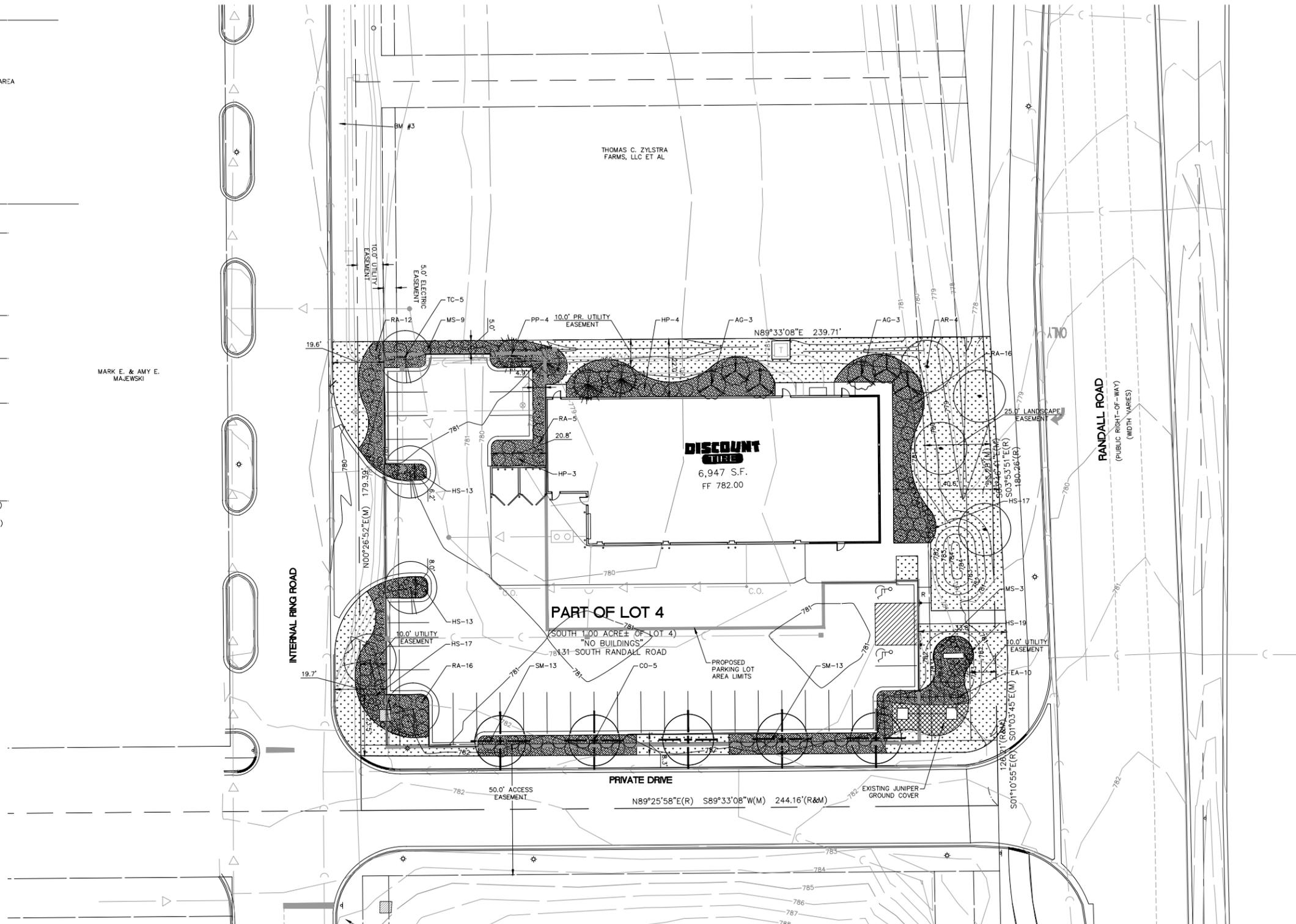
PERENNIALS

KEY	QTY.	GENUS/SPECIES	SIZE
HS	79	<i>Hemerocallis 'Stella de Oro'</i> Stella de Oro Daylily	1 Gal. (18" O.C.)
MS	12	<i>Miscanthus sinensis 'purpurascens'</i> Flame Grass	1 Gal. (24" O.C.)

LANDSCAPING REQUIREMENTS

ACREAGE	1.00 ACRES (43,560 S.F.)
TOTAL LANDSCAPE AREA	11,888 SF (27.3%)
PARKING LOT AREA	16,224 SF
PARKING LOT LANDSCAPING	1,979 SF (12.2%)

MARK E. & AMY E. MAJEWSKI



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SECTION 32
TOWN 40 NORTH, RANGE 8 EAST
CITY OF ST. CHARLES
KANE COUNTY, ILLINOIS

CLIENT: DISCOUNT TIRE COMPANY
131 SOUTH RANDALL ROAD
ST. CHARLES, IL
PRELIMINARY ENGINEERING
LANDSCAPE PLAN

DATE: 09/13/2012
10/09/2012
REVISION LAYOUT
11/05/2012
CEN. SUBMITTAL



SCALE: 0 10 20
1" = 20 FEET

DR. REK
CH. BH
P.M. T. MOSHER
CAD FILE: 12001457C-08-LS.DWG
JOB: 12001457
FILE CODE: --
SHEET NO. C-08

GENERAL NOTES:

- LANDSCAPE CONTRACTOR (CONTRACTOR) SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTINGS AND RELATED WORK. LANDSCAPE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS ON PROPERTY WITH THE GENERAL CONTRACTOR AND BY CALLING 811 PRIOR TO STAKING PLANT LOCATIONS. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES CONTACT LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE WITH ANY CONCERNS. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
- PRIOR TO ANY LAND CLEARING OR CONSTRUCTION, TREE PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. THIS FENCING SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES AND SHRUBS AND MUST BE MAINTAINED AS APPROVED FOR THE DURATION OF THE PROJECT. NO CUTTING, FILLING OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREAS.
- LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH OTHER CONTRACTORS WORKING ON SITE.
- WHERE EXISTING TREES AND/OR SIGNIFICANT SHRUBS MASSINGS ARE FOUND ON SITE, WHETHER SHOWN ON THE DRAWING OR NOT, THEY SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED AND/OR ARE IN AN AREA TO BE GRADED, ANY QUESTION REGARDING WHETHER PLANT MATERIAL SHOULD REMAIN OR NOT SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL EXISTING TREES TO REMAIN TO BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD AND DAMAGED OR RUBBING BRANCHES.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT AND OWNER BY THE LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSEYMEN. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS OF THE AUTHORITY HAVING JURISDICTION AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION.
- CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY 6" TOPSOIL DEPTH IN ALL PLANTING BEDS AND 6" TOPSOIL DEPTH IN ALL LAWN AREAS, BACKFILL AND CROWN PARKING LOT ISLANDS 6" ABOVE ADJACENT CURBS WITH TOPSOIL BACKFILL DIRECTLY BEHIND ALL CURBS AND ALONG SIDEWALKS AND COMPACT TO TOP OF CURB OR WALK TO SUPPORT VEHICLE AND PEDESTRIAN WEIGHT WITHOUT SETTLING.
- ACCEPTANCE OF GRADING AND SOD/SEED SHALL BE BY LANDSCAPE ARCHITECT AND/OR PROJECT REPRESENTATIVE. THE LANDSCAPE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITY UNTIL FINAL ACCEPTANCE HAS BEEN RECEIVED. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REPLACEMENT OF WASH-OUTS AND OTHER OPERATIONS NECESSARY TO KEEP SOD/SEED IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE, THE OWNER WILL ASSUME ALL MAINTENANCE RESPONSIBILITIES.
- PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD AS REQUIRED.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- OWNER OR OWNER'S REPRESENTATIVE SHALL INSPECT LANDSCAPE INSTALLATION AND HAVE THE RIGHT TO REJECT AND WITHHOLD PAYMENT ON ANY PLANT MATERIAL(S) OF DAMAGED OR POOR QUALITY OR NOT MEETING SPECIFICATIONS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP OF SITE AT THE COMPLETION OF LANDSCAPING EACH DAY. AT ALL TIMES THE SIDEWALKS SHALL BE MAINTAINED CLEAN AND FREE OF DEBRIS. REMOVE SURPLUS SOIL AND WASTE MATERIAL, TRASH AND DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF SAME IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL, EROSION AND DUST CONTROL MEASURES PRIOR TO AND DURING CONSTRUCTION. THE LANDSCAPE CONTRACTOR SHALL PREVENT EROSION OF SOIL AND ENTRY OF SOIL-BEARING WATER AND AIRBORNE DUST ONTO ADJACENT PROPERTIES AND INTO THE PUBLIC STORMWATER FACILITIES. REFER TO EROSION CONTROL PLANS FOR DETAILS.

PLANTING SPECIFICATIONS:

- PLANTING BED PREPARATION: ALL MASS PLANTING BEDS SHALL BE TILED TO A MINIMUM DEPTH OF 10". AMENDMENTS (LEAF MOSS OR SPHAGNUM PEAT MOSS) SHALL BE APPLIED DURING CULTIVATION. ALL BEDS ARE TO BE GRADED SMOOTH BEFORE PLANTING. PLANT GROUND COVER TO WITHIN 12" OF TREES OR SHRUBS. REMOVE ALL STONES LARGER THAN 2". ALL STICKS, ROOTS, RUBBISH AND ANY OTHER EXTRANEOUS MATERIALS. ALL LANDSCAPE AREAS, PARKING LOT ISLANDS AND LANDSCAPE BEDS NEXT TO BUILDINGS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS TO A DEPTH OF 18" AND BACKFILLED WITH GOOD, MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY). ADD 4" OF TOPSOIL OVER FILL MATERIAL AND CROWN A MINIMUM OF 6" ABOVE TOP OF CURBS AND/OR WALKS AFTER EARTH SETTLING UNLESS OTHERWISE NOTED ON THE GRADING PLAN.
- BACKFILL SOIL: USE SOIL EXCAVATED FROM PLANTING HOLES AND PROVIDE AMENDMENTS (1 PART LEAF MOLD OR SPHAGNUM PEAT MOSS AND 3 PARTS EXCAVATED SOIL). ALL NEW TOPSOIL USED SHALL BE FREE OF WEEDS AND OTHER FOREIGN VEGETATION, AS WELL AS, STONES LARGER THAN 2", ALL STICKS, ROOTS, RUBBISH AND ANY OTHER EXTRANEOUS MATERIALS.
- FERTILIZATION: ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH DRIED BONE MEAL OR OTHER SPECIFIED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS UNLESS NOTED OTHERWISE.
- MULCH MATERIAL: AS SPECIFIED ON THE LANDSCAPE PLANS. MASS MULCH ALL PLANTING BEDS TO 3" DEPTH. ALL SHRUB PLANTING BEDS TO RECEIVE 3" DEEP MULCH. ALL EVERGREEN AND DECIDUOUS TREES (IF USED) TO RECEIVE 6" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK. EXTENT OF MULCH TO BE 5'-0" DIA. AT TREES AND 18" BEYOND SHRUB DRIP LINES.
- TREE STAKING: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO STAKE AND/OR GUY THE TREES ACCORDING TO THE DETAILS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY STEP NECESSARY TO MAINTAIN THE TREES AND SHRUBS IN AN UPRIGHT AND PLUMB POSITION AT ALL TIMES UNTIL THE END OF THE PLANT GUARANTEE PERIOD ESPECIALLY WHERE VANDALISM, SOIL OR WIND CONDITIONS ARE A PROBLEM. AT END OF GUARANTEE PERIOD ALL STAKES SHALL BE REMOVED BY LANDSCAPE CONTRACTOR. ALL STAKES USED FOR TREE SUPPORTS SHALL POINT AWAY FROM ANY AND ALL CIRCULATION ROUTES.
- TREE WRAPPING: WRAPPING MATERIAL SHALL BE QUALITY, HEAVY WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES AND SHRUBS IN QUANTITIES EXIST SPECIFICATIONS TAKE PRECEDENCE OVER NOTES. RESPECT STATED DIMENSIONS. DO NOT SCALE DRAWINGS.
- EDGING: EDGING SHALL BE SPADE EDGED.
- FERTILIZER: JUMP-SHOT ROOT STIMULATOR AS MANUFACTURED BY ACME, OR APPROVED EQUAL, SHALL BE APPLIED TO THE SOIL BACKFILL OF EACH PLANT DURING INSTALLATION.
- PLANT SIZING: MEASURE TREES AND SHRUBS ACCORDING TO ANSI Z60.1 STANDARDS. TAKE CALIPER MEASUREMENTS 6 INCHES ABOVE GROUND FOR TREES UP TO 4" CALIPER AND 12 INCHES ABOVE GROUND FOR LARGER TREES. ALWAYS HANDLE BALLED AND BURLAPPED MATERIAL BY THE ROOT BALL. PLANT MATERIAL SHALL BE DELIVERED TO THE SITE AND PLANTED THE SAME DAY.
- PLANTING PLAN: ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS. PLAN TAKES PRECEDENCE OVER PLANT SCHEDULES. PLANTING QUANTITIES IN QUANTITIES EXIST SPECIFICATIONS TAKE PRECEDENCE OVER NOTES. RESPECT STATED DIMENSIONS. DO NOT SCALE DRAWINGS.

PLANT MATERIALS:

- PROVIDE PLANTS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY SHOWN AND SCHEDULED AND IN CONFORMANCE WITH THE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANTS SHALL BE FULLY GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE.
- ALL PLANTS SHALL BE FULL, WELL-BRANCHED PLANTS CHARACTERISTIC OF THE SPECIES. PLANTS SHALL BE FREE OF DISEASE, INJURIES, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, OR DISFIGUREMENT.
- PLANT STOCK SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO CONDITIONS IN THE LOCALITY OF THE PROJECT.
- LABEL AT LEAST ONE PLANT OF EACH KIND WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
- PROVIDE FRESHLY DUG BALLED & BURLAPPED PLANT MATERIALS. DO NOT DROP BALLED & BURLAPPED STOCK DURING DELIVERY.
- DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS UNTIL PLANTING TIME.

INSTALLATION OF PLANT MATERIALS:

- INSTALL TREES AND SHRUBS ACCORDING TO STANDARD DETAILS SHOWN ON THE PLAN.
- ALL TREE SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- ALL TREE SAUCERS AND SHRUB BEDS SHALL BE MULCHED WITH A 3-INCH LAYER OF ORGANIC TRIPLE SHREDDED HARDWOOD BARK MULCH. NON-ORGANIC SUCH AS GRAVEL, CRUSHED BRICK, LAVA ROCK, ETC. ARE UNACCEPTABLE.
- TREE GUYING SHALL BE REMOVED AFTER ONE FULL GROWING SEASON.
- APPLY 12 CUBIC FEET OF PEAT MOSS PER 100 SQUARE FEET AND 20 POUNDS OF 8-8-8 FERTILIZER PER 100 SQUARE FEET OF GROUND COVER PLANTING BEDS. ROTOTILL THE BEDS TO A DEPTH OF 6 INCHES AND SMOOTH TO AN EVEN AND UNIFORM SURFACE. PLANT GROUND COVER MATERIALS, APPLY 2 INCHES OF ORGANIC MULCH, AND WATER.

MAINTENANCE AND WARRANTY:

- MAINTENANCE OF PLANT MATERIALS AND LAWN AREAS SHALL BEGIN IMMEDIATELY AFTER INSTALLATION AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE, BUT IN NO CASE, LESS THAN THE FOLLOWING STATED PERIODS:
 PLANT MATERIALS: 90 DAYS AFTER SUBSTANTIAL COMPLETION
 LAWN AREAS: 60 DAYS AFTER SUBSTANTIAL COMPLETION
- AFTER REQUIRED MAINTENANCE PERIOD, THE OWNER, UPON REQUEST, WILL MAKE AN INSPECTION TO DETERMINE ACCEPTABILITY. UNACCEPTABLE WORK SHALL BE REPAIRED OR REPLACED AND REINSPECTED BEFORE FINAL ACCEPTANCE IS GRANTED.
- A WRITTEN WARRANTY SHALL BE PROVIDED TO THE OWNER GUARANTEEING THAT ALL PLANT MATERIALS, SOD, AND/OR SEEDED AREAS WILL BE THRIVING FOR THE FOLLOWING STATED PERIODS:
 TREES, SHRUBS, AND GROUND COVERS: ONE YEAR AFTER FINAL ACCEPTANCE
 SOD AND SEEDED AREAS: 90 DAYS AFTER FINAL ACCEPTANCE
 PERENNIALS: 90 DAYS AFTER FINAL ACCEPTANCE
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS REGARDING MAINTENANCE OF EACH TYPE OF VEGETATION. THE OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE MATERIALS DURING THE WARRANTY PERIOD AS OUTLINED IN THE MAINTENANCE INSTRUCTIONS. THE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE SITE AND WILL INFORM THE OWNER OF ANY LACK OF PROPER MAINTENANCE IN WRITING. OWNER'S FAILURE TO COMPLY WITH THE MAINTENANCE PROGRAM SHALL RENDER THE WARRANTY NULL AND VOID.
- THE CONTRACTOR IS NOT RESPONSIBLE FOR ACTS OF NATURE INCLUDING ABNORMAL WEATHER CONDITIONS, EROSION, VANDALISM, NOR DAMAGES BY OTHERS, IF ANY CONDITIONS BEYOND THE CONTROL OF THE CONTRACTOR SHOULD OCCUR, THE MATERIALS AFFECTED WILL NO LONGER BE COVERED BY THE WARRANTY.

PLANTING NOTES:

- NO PLANTING TO BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- SEE CIVIL/SITE PLAN FOR ALL SITE DIMENSIONS, SQUARE FOOTAGES, PARKING CALCULATIONS, AND DETAILS OF ALL SITE IMPROVEMENTS.
- IF THE LANDSCAPE CONTRACTOR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS, OR ANY OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT MATERIAL ESTABLISHMENT, SURVIVAL, OR GUARANTEE, THEY SHALL BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PRIOR TO ANY LAND CLEARING OR CONSTRUCTION, TREE PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. THIS FENCING SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES AND SHRUBS (TO BE PROTECTED) ACCORDING TO THE TREE PROTECTION DETAIL AND MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT. NO CUTTING, FILLING OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREAS WITHOUT APPROVAL.
- ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. PLANT MATERIALS ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS. IF WET, CLAY SOILS OR POOR DRAINING SOILS ARE EVIDENT, PLANT HIGHER, REMOVE ALL TWINE, WIRE AND BURLAP FROM TOP 1/3 OF ROOT BALL AND FROM TREE TRUNKS.
- ONE SHRUB PER TYPE AND SIZE IN EACH PLANTING BED AND EVERY TREE SHALL BE CLEARLY IDENTIFIED (COMMON OR LATIN NAMES). ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND. REFER TO PLAN FOR SOD/SEED LOCATIONS.
- SEED AND/OR SOD ALL AREAS DISTURBED DUE TO GRADING AND CONSTRUCTION ACTIVITIES. WHERE SOD SEED ABUTS TO HARD SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND. REFER TO PLAN FOR SOD/SEED LOCATIONS.
- PRUNE, THIN AND SHAPE TREES AND SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. APPLY MINIMUM 4" MULCH CUP AT ALL TREES NOT PLANTED IN PLANTING BEDS.
- EXISTING LAWN AREAS TO BE SAVED AND AREAS THAT ARE DAMAGED DURING CONSTRUCTION MUST BE INSPECTED TO DETERMINE VIABILITY. IF THE EXISTING LAWN IS FOUND TO BE LEVEL, HEALTHY, DENSE & FREE FROM WEEDS, LAWN MAY NOT REQUIRE REPLACEMENT OR RENOVATION. IF RENOVATION IS REQUIRED OR IS PART OF THE APPROVED PLAN, THEN THE FOLLOWING REQUIREMENTS WILL APPLY:
 EXISTING LAWN FOUND TO BE IN POOR CONDITION MUST FIRST BE SPRAYED WITH ROUND-UP (OR EQUAL) TO KILL THE EXISTING LAWN AND WEED AREAS. WAIT A MIN. OF (10) DAYS FOR THE HERBICIDE TO TAKE EFFECT, THEN REMOVE ALL DEAD SOD & WEEDS TO A MIN. DEPTH OF (2) INCHES. ADD A MIN. OF 6 INCHES OF NEW TOPSOIL TO ALL LAWN AREAS. BACKFILL AND COMPACT TOPSOIL TO THE TOP OF ALL CURBS & WALKS PRIOR TO SODDING. REGRADE TO ELIMINATE ALL BUMPS & DEPRESSIONS AND RESOD ALL AREAS.
 EXISTING LAWN FOUND TO BE IN GOOD CONDITION, BUT WITH BARE, SPARSE OR WEEDY AREAS MUST BE RENOVATED BY FILLING IN LOW AREAS, RAKING, OVERSEEDING AND TOP DRESSING ALL SPARSE AND BARE SPOTS AND BY INITIATING A WEED AND FEED PROGRAM.
- CONVERSION OF ALL ASPHALT AND GRAVEL AREAS TO LANDSCAPE SHALL BE DONE IN THE FOLLOWING MANNER:
 A. REMOVE ALL ASPHALT, GRAVEL AND COMPACTED EARTH TO A DEPTH OF 24"-30" DEPENDING ON THE DEPTH OF SUB BASE AND DISPOSE OF OFF SITE.
 B. REPLACE EXCAVATED MATERIAL W/ GOOD, MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) TO A MIN. OF 2" ABOVE TOP OF CURB AND SIDEWALK, ADD 4"-6" OF TOPSOIL AND CROWN TO A MIN. OF 6" ABOVE ADJACENT CURB AND WALK AFTER EARTH SETTLING, UNLESS NOTED OTHERWISE ON THE PLANS.
 IF CONVERSION TO LANDSCAPE OCCURS IN AN EXISTING (OR BETWEEN) LANDSCAPE AREAS, REPLACE EXCAVATED MATERIAL TO 4"-6" BELOW ADJACENT EXISTING GRADE W/ GOOD MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) AND ADD 4"-6" OF TOPSOIL TO MEET EXISTING GRADES AFTER EARTH SETTLING.

LAWN INSTALLATION:

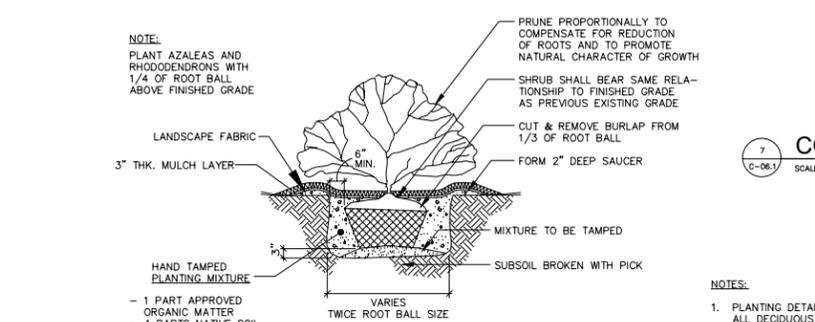
- LAWN AREAS SHALL BE PREPARED ACCORDING TO THE SECTION BELOW ENTITLED "SEEDBED PREPARATION".
- LOCALLY-GROWN SOD SHALL BE PROVIDED IN AREAS WHERE SEEDING IS NORMALLY UNSUCCESSFUL OR WILL BE UNSUCCESSFUL DUE TO CLIMATE, SEASON, OR OTHER TEMPORARY CONSTRAINT. SOD SHALL BE STRONGLY ROOTED, FREE OF WEEDS, AND OF UNIFORM THICKNESS WITH NO MORE THAN 1.5 INCHES OR LESS THAN 1 INCH OF SOIL.
- SOD SHALL BE TIGHTLY-FITTED TOGETHER. ENDS AND EDGES SHALL MEET WITHOUT OVERLAP AND JOINTS SHALL BE STAGGERED WITH ADJACENT ROWS. AFTER INSTALLATION, SOD SHALL BE THOROUGHLY WATERED, ON SLOPES STEEPER THAN 2:1, SOD SHALL BE HELD IN PLACE WITH WOODEN STAKES MEASURING 1 INCH SQUARE BY 6 INCHES LONG. STAKES SHALL BE DRIVEN FLUSH WITH THE TOP OF THE SOD'S SOIL LAYER.
- PROVIDE GRASS SEED THAT IS FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSTS OF NORTH AMERICA. PROVIDE SEED TYPE OR SEED MIX WITH BEST RECORD OF SUCCESS IN LOCALITY OF PROJECT OR PER PROJECT SPECIFICATIONS. REFER TO PLAN.
- APPLY SEED AT THE APPROPRIATE RATE, PER I.D.O.T. SPECIFICATIONS. FOR ESTABLISHING A NEW LAWN, SOW SEED USING A SPREADER OR SEEDING MACHINE. DISTRIBUTE SEED EVENLY OVER ENTIRE AREA BY SOWING EQUAL QUANTITY IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER. RAKE SEED LIGHTLY INTO TOP 1/8-INCH OF SOIL, ROLL LIGHTLY, AND WATER WITH A FINE SPRAY.

LAWN INSTALLATION (CONT.):

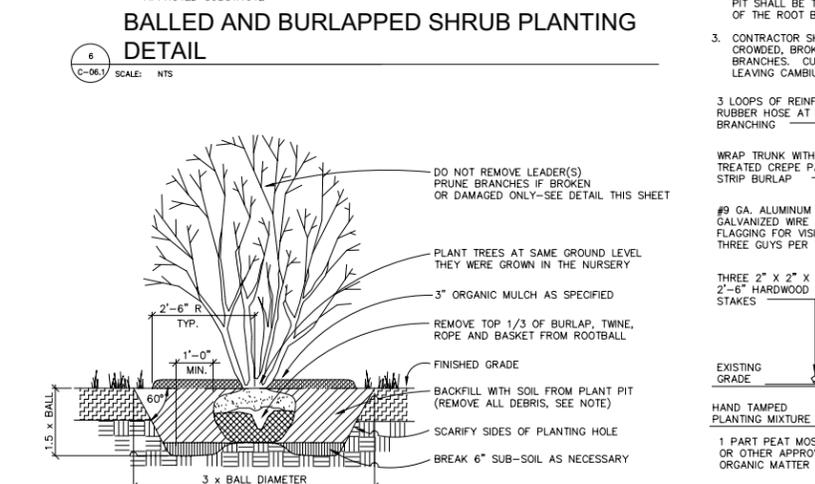
- PROTECT ALL SEEDED AREAS AGAINST EROSION BY SPREADING A CLEAN, SEED FREE SALT HAY OR THRESHED STRAW OF WHEAT, RYE, OATS, OR BARLEY. SPREAD UNIFORMLY TO FORM A CONTINUOUS BLANKET NOT LESS THAN 1.5 INCHES LOOSE MEASUREMENT OVER SEEDED AREA.
- TREATMENTS SUCH AS JUTE MESH, EXCELSIOR MATTING, OR FIBERGLASS ROWING SHALL BE USED TO STABILIZE DITCHES OR STEEP SLOPES SUSCEPTIBLE TO EROSION. THE TREATMENT SHALL BE INSTALLED PRIOR TO THE MULCHING OPERATION.

SEEDBED PREPARATION:

- ALL DISTURBED AREAS SHALL BE DRESSED TO THE TYPICAL SECTIONS AND/OR GRADES SHOWN AND PLOWED TO A DEPTH OF 5 INCHES. THE TOP 2 INCHES SHALL BE PULVERIZED TO PROVIDE A UNIFORM SEEDBED.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER DEBRIS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. SOIL LEVEL SHALL BE APPROXIMATELY 1 INCH BELOW ALL TOPS OF CURBS AND WALKWAYS.
- APPLY LIME AND FERTILIZER WITH NECESSARY EQUIPMENT TO ENSURE UNIFORM DISTRIBUTION OF THE MATERIALS. THE HAND/BUCKET METHOD IS NOT ACCEPTABLE. THE RATES AND TYPES OF MATERIALS TO BE APPLIED ARE AS FOLLOWS:

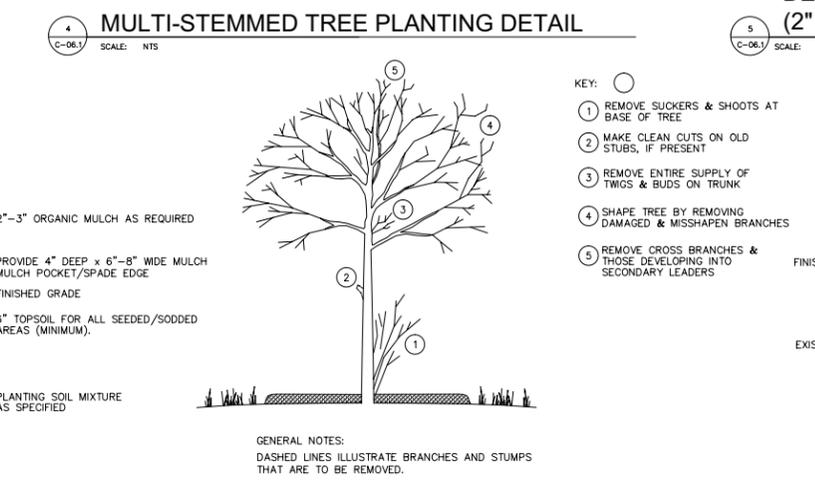


BALLED AND BURLAPPED SHRUB PLANTING DETAIL
SCALE: NTS



MULTI-STEMMED TREE PLANTING DETAIL
SCALE: NTS

GENERAL NOTES:
IF ROOTBALL IS WRAPPED IN NON-BIODEGRADABLE BURLAP, REMOVE ENTIRE WRAP AFTER PLACED IN PIT. WHEN BACKFILLING PLANT PIT, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND REPEAT. CONTINUE TO PUDDLE AND FILL AS NECESSARY.



DECIDUOUS CANOPY TREE PLANTING DETAIL (2" cal. or greater)
SCALE: NTS

811 Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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DR. REK
CH. BH
P.M. T. MOSHER
CAD FILE:
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JOB 12001457
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SEEDBED PREPARATION (CONT.):

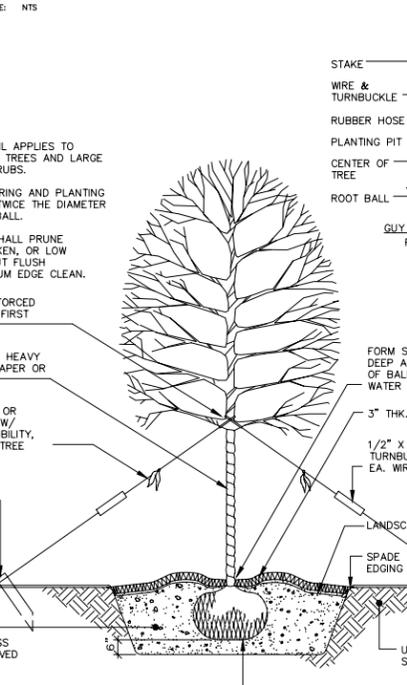
- TURFGRADE FERTILIZER WITH SLOW RELEASE NITROGEN (E.G. 18-24-10) - RATE THAT WILL PROVIDE 5 LBS. OF PHOSPHORUS PER 1000 SQUARE FEET LIMESTONE - 75 LBS. PER 1000 SQUARE FEET
- (LIMESTONE MAY BE WAIVED IF EXISTING PH IS GREATER THAN 5.5.)
- MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING LAWNS. DO NOT CREATE A MUDDY SOIL CONDITION.

NOTE:

- CONTRACTOR SHALL PRUNE CROWDED, BROKEN, OR STRAY BRANCHES. CUT FLUSH LEAVING GAMBUIUM EDGE CLEAN.
- LANDSCAPE FABRIC
3" THK. MULCH LAYER
SPADE EDGING
- ON CENTER (O.C.) DIMENSION VARIES - SEE PLAN
FORM SAUCER 2" DEEP TO HOLD WATER
EXISTING GRADE
UNDISTURBED SUBGRADE
- 1 PART APPROVED ORGANIC MATTER
 - 4 PARTS NATIVE SOIL
 - 1/2 LB. 10-10-10 FERTILIZER PER CU. YD OF BACKFILL OR APPROVED SUBSTITUTE

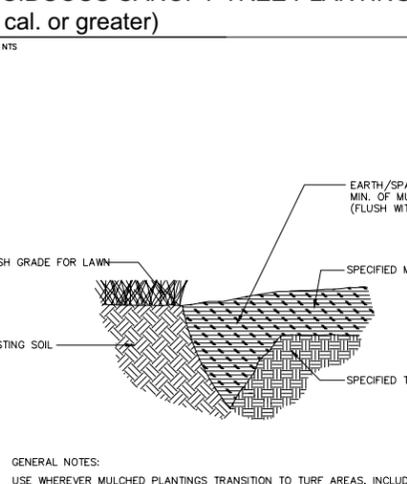
CONTAINER SHRUB PLANTING DETAIL

SCALE: NTS



CONTAINER SHRUB PLANTING DETAIL
SCALE: NTS

GENERAL NOTES:
CONTRACTOR SHALL PRUNE CROWDED, BROKEN, OR LOW BRANCHES. CUT FLUSH LEAVING GAMBUIUM EDGE CLEAN.



EARTH/SPADE EDGE DETAIL
SCALE: NTS

GENERAL NOTES:
USE WHEREVER MULCHED PLANTINGS TRANSITION TO TURF AREAS, INCLUDING ALL TREE MULCH RINGS, SHRUB BEDS, MASS PLANTING BEDS, ETC...

Atwell
Landscape Architecture & Construction
1245 EAST DEHL ROAD, SUITE 100
NAPERVILLE, IL 60563
DESIGN FIRM #64-00876

SECTION 32
TOWN 40 NORTH, RANGE 8 EAST
CITY OF ST. CHARLES
KANE COUNTY, ILLINOIS

CLIENT: DISCOUNT TIRE COMPANY
131 SOUTH RANDALL ROAD
ST. CHARLES, IL
PRELIMINARY ENGINEERING
LANDSCAPE NOTES AND DETAILS

DATE: 09/13/2012
10/09/2012
REVISED PER COMMENTS
11/05/2012
CFR - SUBMITTAL

REVISIONS

SCALE: NTS

DR. REK
CH. BH
P.M. T. MOSHER
CAD FILE:
12001457C-08-LS.DWG
JOB 12001457
FILE CODE: --
SHEET NO. --

C-09

SANITARY SEWERS – STANDARD SPECIFICATIONS FOR GRAVITY SEWERS.

- A. INSTALLATION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATION FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, FOURTH EDITION (HEREAFTER THE "STANDARD SPECIFICATIONS"). THREE COPIES OF WHICH WERE FILED WITH THE CITY CLERK MORE THAN 30 DAYS PRIOR TO THE PASSAGE OF THE ORDINANCE ADOPTING THIS PROVISION, AND APPLICABLE PROVISIONS OF THE ST. CHARLES MUNICIPAL CODE SHALL GOVERN. THE SANITARY SEWER SYSTEM DESIGNS SHALL HAVE A MINIMUM USABLE, WATERIGHT SERVICE LIFE OF FIFTY (50) YEARS.
B. SEWERS SHALL BE OF ADEQUATE SIZE TO SERVE THE ENTIRE DEVELOPMENT PROPOSED. THE MINIMUM SIZE OF STREET SEWERS SHALL BE EIGHT (8) INCHES INSIDE DIAMETER. THE MINIMUM SIZE OF SEWER SERVICE CONNECTION IS SIX (6) INCHES, INSIDE DIAMETER.
C. BEFORE COMMENCING THE SEWER LAYOUT, THE SUBDIVIDER SHALL CONFER WITH THE CITY TO DETERMINE THE REQUIRED SIZE AND GRADES FOR ANY TRUNK SEWERS TRAVERSING THE SUBDIVISION TO FIT THE CITY'S OVERALL PLAN. THESE SHALL BE INSTALLED BY THE SUBDIVIDER UNDER ARRANGEMENTS AS PROVIDED IN THE SUBDIVISION CONTROL ORDINANCE.
D. A REGISTERED ILLINOIS PROFESSIONAL ENGINEER MUST CERTIFY CONFORMANCE TO APPLICABLE PROVISIONS OF 16.44.090 THROUGH 16.44.120.
E. REGISTERED ILLINOIS PROFESSIONAL ENGINEER MUST CERTIFY CONFORMANCE TO APPLICABLE INSTALLATION PROVISIONS OF 16.44.130 THROUGH 16.44.330.
F. SANITARY SEWER SERVICE LATERALS SHALL BE PROVIDED FOR EACH LOT, PARCEL OR TRACT. THE LATERAL SHALL EXTEND TO THE RIGHT-OF-WAY LINE.
G. SANITARY SEWER SERVICE CONNECTIONS SHALL CONSIST OF A 1/8" SEWER PIPE CURVE SET IN THE BELL OF A Y FITTING OR A COMBINATION T-Y MOLDED FITTING. THE NECESSARY LENGTHS OF STRAIGHT PIPE MAY EXTEND TO WITHIN FIVE (5) FEET OF THE BUILDING FOUNDATION. ALL REQUIREMENTS FOR MATERIAL AND INSTALLATION FOR SEWER MAINS ARE APPLICABLE TO SEWER SERVICE CONNECTION PIPES. TESTING OF SEWER SERVICE CONNECTION PIPES SHALL BE DONE AS PART OF SEWER MAIN TESTS AS DEFINED IN SECTION 16.44.260 FOR INFILTRATION OF WATER AND EXFILTRATION OF AIR UNDER PRESSURE. PVC SEWER SERVICE PIPE IS NOT REQUIRED TO HAVE DEFLECTION TESTS. TELEVISION TESTING OF SEWER SERVICE PIPE IS NOT REQUIRED.
H. ON COMPLETION OF THE SEWER, THE CONTRACTOR SHALL PROVIDE FACILITIES AT THE LOW END OF THE MAIN SEWER FOR TEMPORARILY Dewatering THE SEWER. WATER PUMPED OUT SHALL BE DISPOSED OF IN A MANNER ACCEPTABLE TO THE CITY ENGINEER.
I. NO CONSTRUCTION SHALL COMMENCE UNTIL A COPY OF A PERMIT FROM THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY IS FILED WITH THE CITY.
J. MANHOLES SHALL CONFORM TO STANDARD DRAWING NUMBER 16.44.060.J (SEE DETAIL SHEET) FRAME: NEEHAH R-1713 LID: NEEHAH R-1713 OR R-1916C TYPE 'B' WITH THE WORDS 'CITY OF ST. CHARLES - SANITARY' CAST INTO SURFACE.
K. MINIMUM WEIGHT OF COVER SHALL BE AS FOLLOWS:
1. ON COLLECTOR STREETS, FIVE HUNDRED FORTY POUNDS.
2. ON MINOR STREETS AND CUL-DE-SACS, FOUR HUNDRED POUNDS.
L. THE FLUID FLOW DESIGN CHARACTERISTICS OF ALL SEWER PIPE SHALL USE A MANNING "N" FACTOR OF .013.
M. ALL PVC PIPE AND FITTINGS SHALL CONFORM TO ASTM D-3034 FOR SIZES SIX (6) THROUGH FIFTEEN (15) INCHES. THE MINIMUM SDR IS TWENTY-SIX (26) FOR PIPE AND SDR THIRTY-FIVE FOR FITTINGS. FOR PIPE DIAMETERS EIGHTEEN (18) TO TWENTY-SEVEN (27) INCHES, PIPE AND FITTINGS SHALL CONFORM TO ASTM F-679. ALL PVC PLASTIC SHALL HAVE A CELL CLASSIFICATION OF 12454-B. PURCHASE ORDERS SHALL SPECIFY WRITTEN REPORT OF TEST RESULTS AND CERTIFICATION OF MATERIAL BY MANUFACTURER PER ASTM SPECIFICATIONS.
N. JOINTS SHALL CONFORM TO ASTM D-3212. SOLVENT JOINTS ARE NOT PERMITTED.
O. TESTING SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS, SECTIONS 31.1.11 AND 31.1.11A THROUGH 31.1.11D. THE SEWER SHALL MEET THE REQUIREMENTS OF:
INFILTRATION OF WATER, EXFILTRATION OF AIR UNDER PRESSURE, TELEVISION INSPECTION.
IN ADDITION, PVC SEWER PIPE MUST MEET FIVE (5) PERCENT DEFLECTION TEST REQUIREMENTS.
P. ALL TESTS MUST BE CONDUCTED IN THE PRESENCE OF REPRESENTATIVES OF THE CITY OF ST. CHARLES AND THE ENGINEER. WRITTEN CERTIFICATION OF TEST CONFORMANCE SHALL BE PROVIDED BY AN ILLINOIS REGISTERED PROFESSIONAL ENGINEER.
Q. ALL SEWER MAINS SHALL BE FULLY TESTED.

STORM SEWER NOTES:

- 1. FRAMES AND GRATES SHALL BE PROVIDED AS APPROPRIATE FOR THE STRUCTURE LOCATION (I.E.: DEPRESSED CURB, BARRIER CURB, OVERFLOW ROUTE, REAR YARD...), ALL GRATES TO BE LOCATED NEAR A PAVED SURFACE SHALL BE 'BICYCLE SAFE'.
CURB INLET/C.B.: HIGH BACK: NEEHAH R-3281-A OR R-3278-1
NEENAH R-3506-A2
C.B., 'BEHIND THE CURB TYPE': NEEHAH R-3305
NEENAH R 1713 (REFER TO LID DETAIL)
NEENAH R 1713 (REFER TO LID DETAIL)
C.B./M.H., TYPE 'D': GRATE: NEEHAH R-1713
FRAME: NEEHAH R-1713
C.B., 'BEEHIVE TYPE': NEEHAH R-4340-B
2. SEWER PIPE, MATERIALS: MAIN LINE STORM SEWER SHALL BE CONSTRUCTED OF ONE OF THE FOLLOWING:
A. PRE-CAST REINFORCED CONCRETE PIPE, WITH 'O'-RING JOINTS;
B. PVC PIPE, RIGID, (MIN. SDR 26, PUSH-ON GASKET JOINTS);
C. ALL JOINTS SHALL CONFORM TO ANSI 21.11 FOR DUCTILE IRON PIPE.
D. DUCTILE IRON PIPE, (CLASS 52), MINIMUM;

WATER DISTRIBUTION SYSTEMS – STANDARD SPECIFICATIONS.

- A. WATER MAIN PIPE SHALL HAVE A MINIMUM DIAMETER TO SATISFY FIRE FLOW REQUIREMENTS OR EIGHT (8) INCHES UNLESS THE TOTAL LENGTH OF THE PUBLIC MAIN IS 300 FEET OR LESS AND AS APPROVED BY THE DIRECTOR OF PUBLIC WORKS. THE MINIMUM DIAMETER OF THE PUBLIC MAIN SHALL BE DUCTILE IRON MANUFACTURED IN ACCORDANCE WITH THE REQUIREMENT OF ANSI/AWWA C151/A21.51. PUSH-ON JOINTS AND MECHANICAL JOINTS FOR SUCH PIPE SHALL BE IN ACCORDANCE WITH ANSI/AWWA C111/A21.11. PIPE THICKNESS SHALL BE DESIGNED IN ACCORDANCE WITH ANSI/AWWA C150/A21.50 AND SHALL BE BASED ON LAYING CONDITIONS AND INTERNAL PRESSURES SPECIFIED IN THE PROJECT PLANS WITH A MINIMUM THICKNESS CLASS OF 52. ALL SIDE YARD AND REAR YARD WATER MAINS SHALL NOT BE DIRECTLY ADJACENT TO A PUBLIC ROADWAY OR PAVED SURFACE SHALL HAVE A MINIMUM THICKNESS CLASS OF 55 WITH A TYPE FIVE LAYING CONDITION, AS DEFINED IN ANSI/AWWA C/600/A21.50 SECTION 3.3.7. SEE CITY STANDARD DRAWING NO. 16.44.070.03. PIPE SHALL HAVE CEMENT MORTAR LINING AND SEAL COATING IN ACCORDANCE WITH ANSI/AWWA C104/A21.4.
B. INSTALLATION OF DUCTILE-IRON WATER MAINS AND THEIR APPURTENANCES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ANSI/AWWA C600/A21.50, INCLUDING LUBRICATING MECHANICAL JOINT GASKETS WITH PIPE LUBRICANT AND APPLYING A MINIMUM OF 75 FOOT POUNDS OF TORQUE TO BOLTING SYSTEMS. WATER MAIN SHALL HAVE A MINIMUM TYPE THREE LAYING CONDITIONS, AS DEFINED IN ANSI/AWWA C600/A21.50 SECTION 3.3.7. SEE CITY STANDARD DRAWING NO. 16.44.070.01, ATTACHED. POLYETHYLENE ENCASEMENT IS REQUIRED IN ALL INSTALLATIONS IN ACCORDANCE WITH ANSI/AWWA C105/A21.5. POLYETHYLENE ENCASEMENT MAY BE DELETED IF SOIL ANALYSIS, FROM THE SITE, PERFORMED BY A PROFESSIONAL ENGINEER, APPROVED BY THE CITY, INDICATED THAT POLYETHYLENE ENCASEMENT IS NOT REQUIRED. TO INSURE ELECTRICAL CONDUCTIVITY, BRASS WEDGES SHALL BE INSTALLED PER SECTION 41.205C OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, DATED MAY 1996, AS AMENDED. WATER MAIN SHALL HAVE A MINIMUM COVER OF 5 (FIVE) FEET AND MAXIMUM BURY DEPTH OF 10 (TEN) FEET, UNLESS APPROVED BY THE CITY COUNCIL. WATER MAIN AND PUBLICLY OWNED WATER APPURTENANCES SHALL BE LOCATED A MINIMUM OF 20 (TWENTY) FEET FROM BUILDINGS OR STRUCTURES. IF SITE CONDITIONS WILL NOT ALLOW FOR THE MINIMUM SEPARATION APPROVAL MUST BE RECEIVED FROM THE CITY COUNCIL.
C. 1. MECHANICAL JOINT FITTINGS SHALL BE RESTRAINED BY A DEVICE, WHICH CONSISTS OF MULTIPLE INDIVIDUALLY ACTIVATED GRIPPING SURFACES BUILT INTO A MECHANICAL JOINT FOLLOWER GLAND. DEVICE SHALL BE MANUFACTURED FROM DUCTILE IRON CONFORMING TO ASTM A536-80. THE RESTRAINING DEVICE SHALL BE SUCH THAT IT CAN REPLACE A STANDARDIZED MECHANICAL JOINT GLAND AND CAN BE USED WITH ANY STANDARD MECHANICAL JOINT BELL CONFORMING TO ANSI/AWWA C111/A21.11 AND TO ANSI/AWWA C153/A21 OF THE LATEST REVISION. THE DEVICE SHALL UTILIZE TORQUE SENSITIVE, "TWIST OFF NUTS" THAT SHALL BE INCORPORATED IN THE DESIGN OR THE WEDGE ACTIVATION SCREWS TO INSURE PROPER TORQUE. THE RESTRAINING DEVICE SHALL HAVE A PUBLISHED WORKING PRESSURE RATING 350 PSI IN SIZES THROUGH 16" AND 250 PSI ABOVE 20". A 2.0 SAFETY FACTOR WILL BE BUILT IN TO THE WORKING PRESSURE RATING. RESTRAINT DEVICE FOR MECHANICAL JOINTS SHALL BE UNI-FLANGE SERIES 1400 MANUFACTURED BY THE FORD METER BOX COMPANY OF WABASH, INDIANA OR 1100 OR 3000 SERIES MEGALUG MANUFACTURED BY EBAA IRON SALES, INC. OF EASTLAND, TEXAS.
2. PIPE FROM MECHANICAL JOINT RESTRAINT SPECIFIED IN 16.44.070 C.1. SHALL BE RESTRAINED IN ACCORDANCE WITH THE MINIMUM GUIDELINES STATED IN CITY STANDARDS DRAWING NO. 16.44.070.04 ATTACHED. PUSH JOINT PIPE RESTRAINT SHALL BE FIELD LOK 350 GASKET AS MANUFACTURED BY UNITED STATES PIPE AND FOUNDRY COMPANY OF BIRMINGHAM, ALABAMA OR SERIES 1700 MEGALUG BY EBAA IRON SALES, INC. OF EASTLAND, TEXAS OR SERIES 1390 PIPE RESTRAINT AS MANUFACTURED BY FORD METER BOX CO., INC. OF WABASH, INDIANA.
D. DUCTILE-IRON COMPACT FITTINGS SHALL BE MANUFACTURED IN ACCORDANCE WITH THE REQUIREMENTS OF ANSI/AWWA C153/A21.53. DUCTILE-IRON AND GRAY-IRON FITTINGS MATERIAL AND MANUFACTURE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ANSI/AWWA C11/A21.10.
E. DISTRIBUTION SYSTEM VALVES SHALL BE RESILIENT WEDGE GATE VALVE, EPOXY COATED, NON-RISING STEM, O-RING SEAL, OPEN LEFT WITH A 2" SQUARE OPERATING NUT, MANUFACTURED IN ACCORDANCE WITH THE REQUIREMENTS OF AWWA C509-87. ALL DISTRIBUTION VALVES SHALL BE HOUSED IN VALVE MANHOLES IN ACCORDANCE WITH THE DETAIL PROVIDED IN THE EXHIBIT ENTITLED "VALVE VAULT" APPENDED TO THIS CHAPTER EXCEPT THOSE VALVES ON HYDRANT LEADS WHICH SHALL BE FURNISHED WITH CAST IRON BOXES AND COVERS, VALVES WITH A NOMINAL PIPE DIAMETER UNDER 10 INCHES, SHALL BE HOUSED IN VALVE MANHOLES WITH AN INSIDE DIAMETER OF 4 FEET, VALVES 10 AND LARGER SHALL BE HOUSED IN VALVE MANHOLES WITH AN INSIDE DIAMETER OF 5 FEET. THE WEIGHT ON THE MANHOLE'S CAST IRON COVER AND LID SHALL BE NOT LESS THAN FOUR HUNDRED POUNDS, EXCEPT WHERE THE MANHOLE LIES WITH THE PAVED SURFACE AREA OF A COLLECTOR STREET IN WHICH CASE THE MANHOLE COVER AND LID SHALL WEIGH NOT LESS THAN FIVE HUNDRED FORTY POUNDS. MANHOLE LIDS SHALL HAVE "WATER" IMPRINTED ON THE LID. WATER MAIN WITH A BURY DEPTH OF 6.0' AND GREATER SHALL HAVE STEPS INSTALLED IN VALVE VAULTS.
F. FIRE HYDRANTS SHALL BE EITHER CLOW MEDALLION FIRE HYDRANTS, AS MANUFACTURED BY THE CLOW VALVE COMPANY OF OSKALOOSA, IOWA, OR MUELLER SUPER CENTURION 200 FIRE HYDRANTS, AS MANUFACTURED BY MUELLER COMPANY, DECATUR, ILLINOIS, OR WATERLOO PACER MODEL 16W-67-250, OR EQUAL AS APPROVED BY CITY COUNCIL. HYDRANT FASTENERS WILL HAVE TWO, TWO AND ONE-HALF INCH HOSE NOZZLES AND ONE FOUR AND ONE-HALF INCH STEAMER NOZZLE THREADED FOR ST. CHARLES THREAD. ALL THREADS SHALL BE NATIONAL STANDARD. ALL HYDRANTS SHALL BE FOR SIX-INCH PIPE CONNECTION AND SHALL HAVE A FIVE-INCH VALVE OPENING. HYDRANTS SHALL BE OF SUFFICIENT LENGTH TO ALLOW FOR FIVE FEET OF COVER OVER THE HYDRANT LEAD. AN AUXILIARY SIX-INCH VALVE AND VALVE BOX SHALL BE INSTALLED ON EACH HYDRANT LEAD. ALL HYDRANTS SHALL HAVE TWO COATS OF PAINT MATCHING THE CITY STANDARD FOR COLOR, COMMONLY KNOWN AS ROVER RED. HYDRANTS SHALL HAVE INSTALLED "HYDRAFINDER STANDARD" HYDRANT LOCATORS AS MANUFACTURED BY THE RADON CORPORATION OF ST. CHARLES, ILLINOIS, OR EQUAL APPROVED BY THE CITY COUNCIL.
G. VALVE BOXES ON HYDRANT LEADS SHALL BE BUFFALO-TYPE, THREE PIECE, MUELLER NO. H-10307, CLOW F-2450, OR EQUAL AS APPROVED BY THE CITY COUNCIL. ALL VALVE BOXES SHALL HAVE A VALVE BOX STABILIZER INSTALLED.
H. AFTER THE WATER MAINS HAVE BEEN TESTED IN ACCORDANCE WITH SECTION 16.44.290 AND DISINFECTED IN ACCORDANCE WITH SECTION 16.44.300 THE WATER SERVICE LINE SHALL BE PROVIDED FROM THE MAIN TO THE OUTLET SIDE OF THE CURB STOP FOR EACH LOT. THE COPPER SERVICE PIPE SHALL BE SOFT TEMPER, TYPE-K, COPPER TUBING, ONE-INCH DIAMETER MINIMUM. APPROVED FITTINGS SHALL BE OF COMPRESSION TYPE MANUFACTURED BY THE FORD METER BOX CO. INC., OF WABASH, INDIANA, THE MUELLER CO. OF DECATUR, ILLINOIS, OR EQUAL AS APPROVED BY THE CITY COUNCIL, AS FOLLOWS:
ONE INCH CORPORATION STOP:
FORD NO. FB 1000-4-Q
MUELLER NO. B-25008
ONE INCH CURB STOP:
FORD NO. B-44-444-Q
MUELLER NO. B-25155
EVERY WATER SERVICE LINE FROM THE CORPORATION TO THE CURB STOP SHALL BE INSPECTED BY THE WATER DIVISION FOREMAN OR HIS DESIGNEE. ALL INSPECTIONS SHALL BE OPEN TRENCH. CONTRACTORS REQUESTING SERVICE LINE INSPECTIONS SHALL CONTACT THE WATER DIVISION 48 HOURS PRIOR TO REQUESTED INSPECTION TIME.

- I. EACH CURB STOP SHALL BE PROVIDED WITH A CAST IRON SERVICE BOX MUELLER NO. H-10300 OR EQUAL APPROVED BY THE CITY COUNCIL. COMPLETE WITH LID. SERVICE BOX SHALL BE OF SUFFICIENT LENGTH TO PERMIT THE TOP TO BE INSTALLED APPROXIMATELY THREE INCHES ABOVE FINISH GRADE. EACH SERVICE BOX SHALL BE PROVIDED WITH A CAP WITH THE WORD "WATER" CAST IN THE TOP.
J. TAPPING SLEEVES, FOR SIZES UP TO EIGHT-INCH, SHALL BE STAINLESS STEEL MANUFACTURED BY ROMAC INDUSTRIES, INC., OF SEATTLE, WASHINGTON, MODEL NO. SST-945 OR MUELLER CO. OF DECATUR, ILLINOIS, MODEL NO. H-615 OR EQUAL APPROVED BY THE CITY COUNCIL. ALL FASTENERS USED TO CONNECT TAPPING SLEEVE TO TAPPING VALVE SHALL BE 304 GRADE STAINLESS STEEL FASTENERS.
K. UNLESS SPECIFICALLY APPROVED, ALL WATER MAINS AND SERVICES SHALL BE LAID IN SEPARATE TRENCHES FROM SEWER AND SEWER SERVICES, AS OUTLINED IN SECTIONS 16.44.130 THROUGH 16.44.140.
L. NO PUBLIC WATER MAIN CONSTRUCTION SHALL COMMENCE UNTIL A PUBLIC WATER SUPPLY CONSTRUCTION PERMIT IS OBTAINED FROM THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, AND A COPY OF SUCH PERMIT IS FILED WITH THE CITY.
M. LANDSCAPE PLANTINGS SHALL NOT INTERFERE WITH OPERATIONS AND MAINTENANCE OF WATER APPURTENANCES. TREES SHALL NOT BE PLANTED WITHIN TEN FEET OF ALL HYDRANTS, VALVE VAULTS, OR CURB BOXES. BUSHES AND SHRUBS SHALL BE MAINTAINED FIVE FEET FROM WATER APPURTENANCES. SOO IS REQUIRED AROUND HYDRANTS FOR TEN FEET. HYDRANT PLANTS SHALL FOLLOW THE GUIDELINES DEPICTED IN CITY STANDARD DRAWING NO. 16.44.070.02, ATTACHED.
N. ALL BELOW GRADE, FACTORY INSTALLED BOLTS AND FASTENERS SHALL BE 304 GRADE STAINLESS STEEL.
O. THE PIPE LINE SHALL BE TESTED FOR LEAKAGE BETWEEN POINTS AS DESIGNATED BY THE ENGINEER. TESTS SHALL BE MADE WITH ALL THE JOINTS UNCOVERED. TESTING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ANSI/AWWA C600-87 SECTION 4, WITH A MINIMUM TEST PRESSURE OF 150 PSI.
P. THE CONTRACTOR SHALL GIVE THE CITY ENGINEER A MINIMUM OF TWENTY-FOUR HOURS ADVANCE NOTICE OF THE TIME HE CONTEMPLATES MAKING THE TEST IN ORDER THAT THE CITY ENGINEER OR HIS DESIGNEE IS PRESENT TO OBSERVE THE TEST.
Q. THE UTMOST OF CARE SHALL BE TAKEN DURING THE FILLING OPERATION TO PREVENT ANY POSSIBLE CONTAMINATION TO THE EXISTING WATER DISTRIBUTION SYSTEM.
R. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL THE NECESSARY EQUIPMENT AND APPARATUS, AS DETERMINED BY THE CITY, FOR MAKING THE TEST.
S. BEFORE BEING PLACED IN SERVICE, ALL NEW WATER MAINS SHALL BE CLEANED AND CHLORINATED WITH LIQUID CHLORINE, ACCORDING TO THE A.W.W.A. PUBLICATION, "A STANDARD PROCEDURE FOR DISINFECTING WATER MAINS - AWWA C651-86," AS AMENDED. (ORD. 1997-M-103 § 1; ORD. 1990-M-17 § 1.)
T. THE CONTRACTOR SHALL GIVE THE ENGINEER AT LEAST TWENTY-FOUR HOURS' NOTICE AHEAD OF THE TIME HE CONTEMPLATES DISINFECTION IN ORDER THAT THE ENGINEER MAY BE PRESENT AND OBSERVE THE WORK.
U. FOLLOWING THE CHLORINATION, THE CONTRACTOR WILL COLLECT AND SUBMIT FOR BACTERIOLOGICAL ANALYSIS TWO SETS OF SAMPLES. EACH SET TO BE COLLECTED ON SUCCESSIVE DAYS. MAINS WILL NOT BE ACCEPTED OR PLACED IN SERVICE UNTIL SATISFACTORY REPORTS ARE OBTAINED FOR TWO SETS COLLECTED ON SUCCESSIVE DAYS AND THE ENGINEER HAS BEEN PROVIDED WITH COPIES OF ALL TEST RESULTS SATISFACTORILY EVIDENCING THE MAINS TO BE READY FOR SERVICE.
V. THE CONTRACTOR SHALL INCLUDE THE ENTIRE COSTS OF DISINFECTING MAINS AND APPURTENANCES IN THE CONTRACT PRICE FOR WATER MAINS.
W. FRAME AND COVERS: ALL VALVE VAULT STRUCTURES SHALL HAVE A NEEHAH FOUNDRY COMPANY R-1713 FRAME AND TYPE "B" LID WITH CONCEALED PICK HOLE. LIDS SHALL BE FURNISHED WITH "CITY OF ST. CHARLES - WATER" CAST INTO THE TOP SURFACE (REFER TO CITY STANDARD DETAIL).
X. CONNECTING TO EXISTING WATER MAINS: CONNECTION TO THE END OF AN EXISTING WATER MAIN SHALL BE WITH A VALVE ONLY. NO NEW WATER MAIN SHOULD BE CONNECTED TO THE EXISTING WATER MAIN UNLESS THE NEW WATER MAIN CAN BE PRESSURE TESTED SEPARATELY. CONNECTION TO AN EXISTING WATER MAIN SHALL BE DONE BY PRESSURE CONNECTION ONLY UNLESS AUTHORIZED BY THE APPROPRIATE ENGINEERING DIVISION. PRESSURE CONNECTION AND VALVE SHALL BE LOCATED WITHIN THE VALVE VAULT. NO PRESSURE CONNECTION SHALL BE WITHIN 3 FEET OF AN EXISTING WATER MAIN JOINT. IF PRESSURE CONNECTION CANNOT BE DONE, USE A CUT IN SLEEVE AND TEE CONNECTION. ALL FITTINGS WILL BE SWABBED OUT WITH A CHLORINE SOLUTION OF AT LEAST 50 MG/L. A CITY REPRESENTATIVE MUST TEST THIS SOLUTION.
Y. SERVICE TAPS: SERVICE TAPS TO WATER MAINS ARE NOT PERMITTED UNTIL AFTER BACTERIOLOGICAL SAMPLING AND ANALYSIS HAS BEEN COMPLETED TO THE SATISFACTION OF THE APPROPRIATE ENGINEERING DIVISION. NO WATER SERVICE CONNECTION SHALL BE MADE BY ANY PERSON OR FIRM OTHER THAN A STATE OF ILLINOIS LICENSED CONTRACTOR, WITH A STATE OF ILLINOIS LICENSED PLUMBER ON THE JOB, BONDED WITH THE CITY.

UTILITY NOTES:

- 1. A CURRENT COLOR VIDEO RECORD AND A TYPE WRITTEN TRANSCRIPTION OF THE INTERNAL INSPECTION OF THE NEWLY CONSTRUCTED SEWER SYSTEM SHALL BE SUBMITTED PRIOR TO REFUNDING OF SITE IMPROVEMENT ESCROW RETENTION MONIES BY THE CITY OF ST CHARLES. ALL PUBLIC MAINS SHALL BE VIDEOTAPE. THE CONTRACTOR MUST ROTATE THE LENS OF THE CAMERA TO LOOK AT ALL SERVICES. THE SERVICE CONNECTIONS MUST BE NOTED IN THE TELEVISION REPORT. WHEN THE PROPOSED SANITARY SEWER SYSTEM IS TO CONNECT TO AN EXISTING SANITARY SEWER SYSTEM ADJUTING THE PROPERTY, THE EXISTING SEWER MUST ALSO BE TELEVISED AND REPORTED. THE CONTRACTOR SHALL COORDINATE THE TELEVISION OF EXISTING CONTIGUOUS SEWERS WITH THE CITY OF ST CHARLES. ALL LINES SHALL BE FLUSHED AND CLEANED PRIOR TO VIDEOTAPING.
2. TRENCH BACKFILL: ALL UTILITY AND SERVICE TRENCHES WITHIN (3) FEET OF PAVED SURFACES, OR AT A DISTANCE SPECIFIED BY THE ENGINEER, SHALL BE BACKFILLED WITH CA-7 (VIRGIN CRUSHED LIMESTONE), FA-6 (CLEAN BEACH SAND) MATERIAL SHALL BE USED IN ALL OTHER UNPAVED LOCATIONS. ALL BACKFILL MATERIAL SHALL BE PROPERLY COMPACTED UNLESS OTHERWISE DIRECTED BY THE APPROPRIATE ENGINEERING DIVISION. BACKFILL UNDER EXISTING PAVEMENTS, WHERE AN OPEN CUT OF THE PAVEMENT HAS BEEN APPROVED, SHALL BE FLOWABLE FILL THAT MEETS THE DOT STANDARDS OF CONTROLLED LOW STRENGTH MATERIAL (CLSM) MIXTURE #1. NO FLY ASH WILL BE PERMITTED IN THIS MIX (REFER TO CITY PIPE TRENCH DETAIL).
3. WATER MAINS – HORIZONTAL CLEARANCE.
1.1. WHENEVER POSSIBLE, A WATER MAIN SHOULD BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN OR SEWER LINE.
1.2. SHOULD LOCAL CONDITIONS PREVAIL WHICH WOULD PREVENT A LATERAL SEPARATION OF TEN FEET, A WATER MAIN MAY BE LAID CLOSER THAN TEN FEET TO, OR IN THE SAME TRENCH AS, A STORM OR SANITARY SEWER, PROVIDED THE MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER AND AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST EIGHTEEN INCHES ABOVE THE TOP OF THE SEWER. THIS DEVIATION MUST BE APPROVED IN WRITING BY THE CITY ENGINEER.
1.3. IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED IN SUBPARAGRAPH 1 AND 2 OF THIS SUBSECTION, BOTH THE WATER MAIN AND SEWER SHOULD BE CONSTRUCTED OF DUCTILE-IRON PIPE AND BE PRESSURE-TESTED TO ASSURE WATERTIGHTNESS BEFORE BACKFILLING. SUCH TESTS TO BE CONDUCTED IN THE PRESENCE OF THE CITY ENGINEER.
2. WATER MAINS – VERTICAL CLEARANCE.
1.1. WHENEVER WATER MAINS MUST CROSS HOUSE SEWERS, STORM DRAINS, OR SANITARY SEWERS, THE WATER MAIN SHOULD BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS EIGHTEEN INCHES ABOVE THE TOP OF THE DRAIN OR SEWER. THIS VERTICAL SEPARATION SHOULD BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN FEET, HORIZONTALLY, OF ANY SEWER OR DRAIN CROSSED, SAID TEN FEET TO BE MEASURED AS THE NORMAL DISTANCE FROM THE WATER MAIN TO THE DRAIN OR SEWER.
1.2. WHERE CONDITIONS EXIST THAT THE MINIMUM VERTICAL SEPARATION SET FORTH IN SUBPARAGRAPH 1 OF THIS SUBSECTION CANNOT BE MAINTAINED, OR IT IS NECESSARY FOR THE WATER MAIN TO PASS UNDER A SEWER OR DRAIN, THE SEWER MAIN SHOULD BE LAID WITH DUCTILE-IRON PIPE, AND THE PIPE SHOULD EXTEND ON EACH SIDE OF THE CROSSING UNTIL, THE NORMAL DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET. IN MAKING SUCH CROSSINGS, IT IS PREFERABLE TO CENTER A LENGTH OF WATER MAIN PIPE OVER THE SEWER TO BE CROSSED SO THAT THE JOINTS WILL BE EQUIDISTANT FROM THE SEWER AND AS REMOTE THEREFROM AS POSSIBLE. WHERE A WATER MAIN MUST CROSS UNDER A SEWER, A VERTICAL SEPARATION OF EIGHTEEN INCHES BETWEEN THE BOTTOM OF THE SEWER AND THE TOP OF THE WATER MAIN SHOULD BE MAINTAINED, ALONG WITH MEANS TO SUPPORT THE LARGER-SIZED SEWER LINES TO PREVENT THEIR SETTLING AND BREAKING THE WATER MAIN.
2. WATER SERVICE LINES – CLEARANCES. THE HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATER SERVICE LINES AND ALL SANITARY SEWERS, STORM SEWERS, OR ANY DRAIN SHOULD BE THE SAME AS FOR WATER MAINS, AS DETAILED IN SUBSECTIONS A AND B OF THIS SECTION, EXCEPT THAT WHEN MINIMUM HORIZONTAL AND VERTICAL SEPARATION CANNOT BE MAINTAINED, BRASS, COPPER OR DUCTILE-IRON PIPE SHALL BE USED FOR WATER SERVICE LINES.



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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Water & Natural Resources



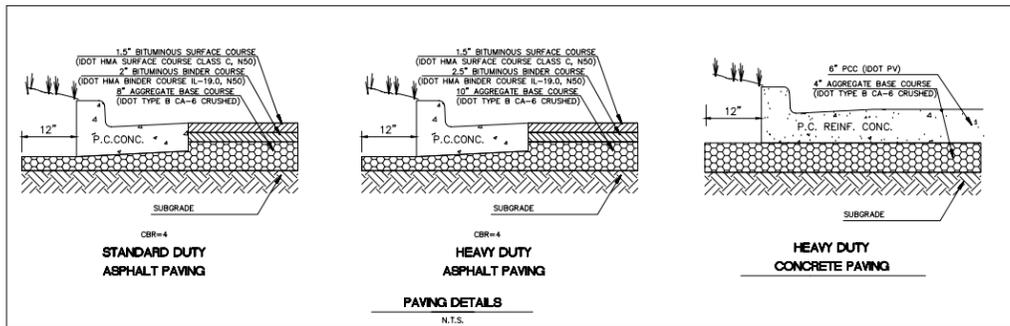
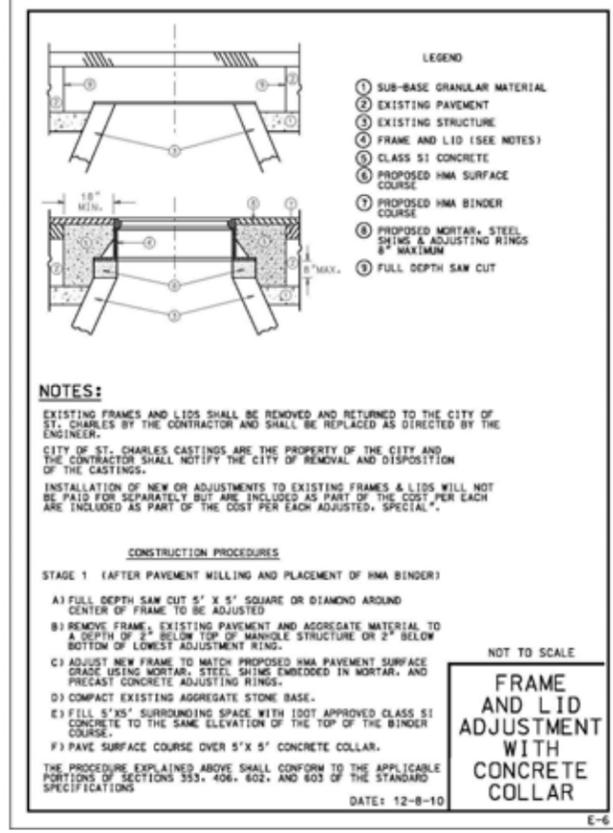
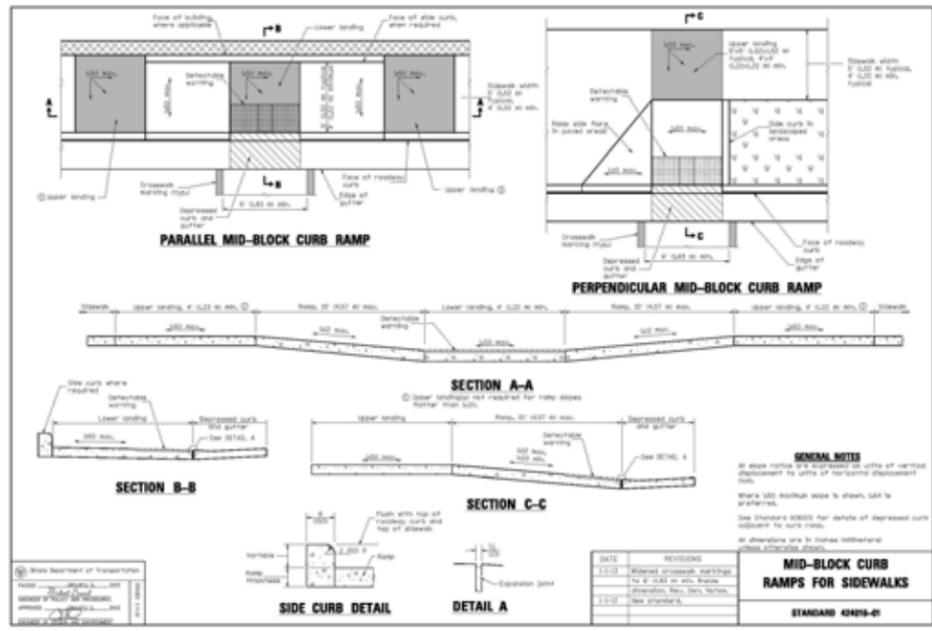
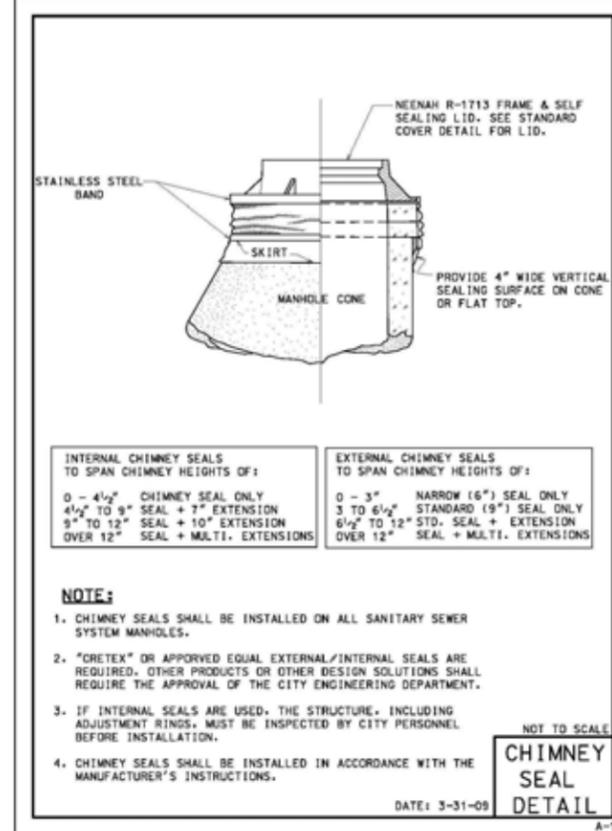
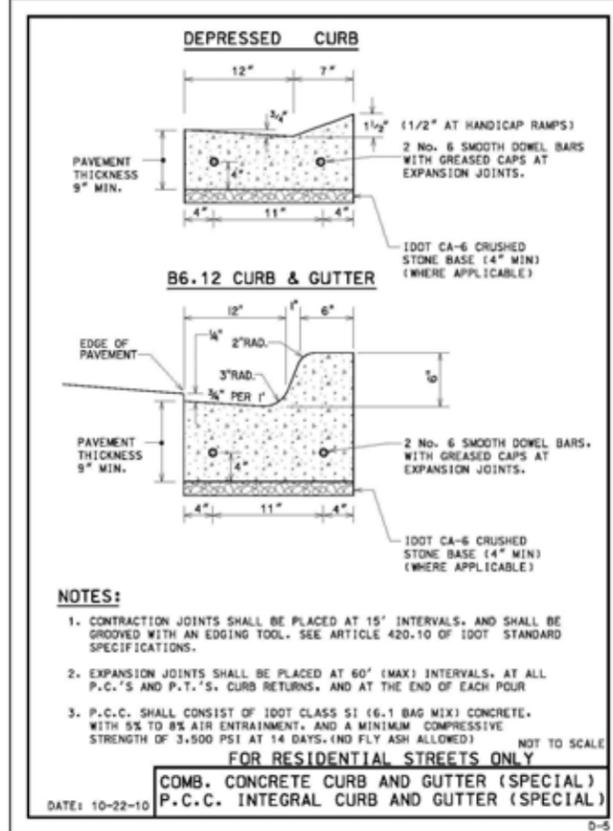
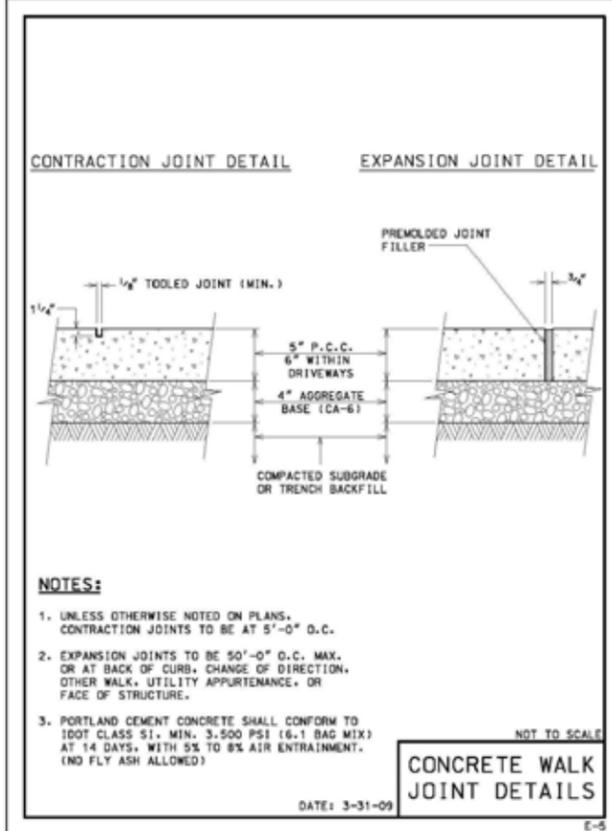
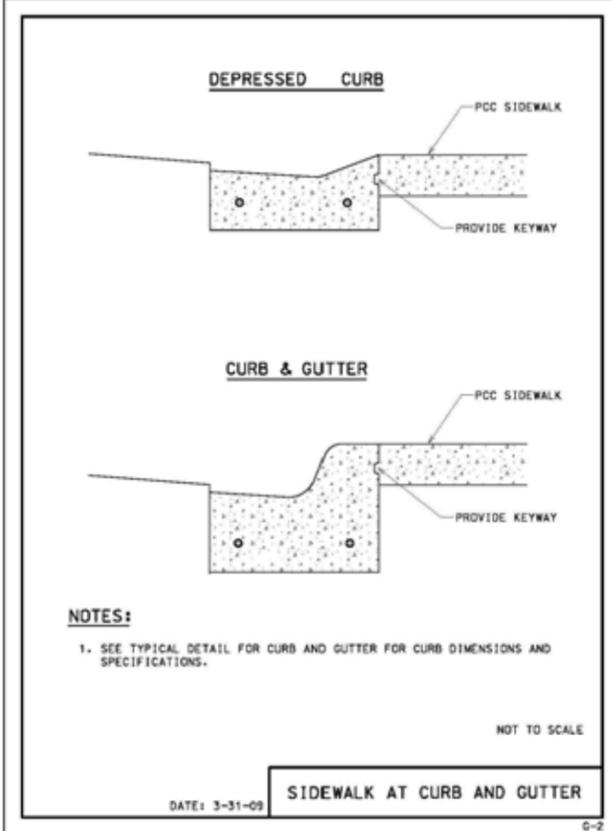
SECTION 32
TOWN 40 NORTH, RANGE 8 EAST
CITY OF ST. CHARLES
KANE COUNTY, ILLINOIS

CLIENT DISCOUNT TIRE COMPANY
131 SOUTH RANDALL ROAD
ST. CHARLES, IL
PRELIMINARY ENGINEERING
CITY SPECIFICATIONS

DATE 09/13/2012
10/09/2012
REVISED/REVISION
11/09/2012
CITY SUBMITTAL



SCALE NTS
DR. REK
CH. BH
P.M. T. MOSHER
CAD FILE: 12001457C-10-NT.DWG
JOB 12001457
FILE CODE: --
SHEET NO. C-10



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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Local Development & Real Estate
Power & Energy
Telecommunications
Infrastructure & Transportation
Environmental & Solid Waste
Water & Natural Resources



1245 EAST DELHI ROAD, SUITE 100
NAPERVILLE, IL 60563
DESIGN FIRM #84-008976

SECTION 32

TOWN 40 NORTH, RANGE 8 EAST

CITY OF ST. CHARLES

KANE COUNTY, ILLINOIS

CLIENT DISCOUNT TIRE COMPANY

131 SOUTH RANDALL ROAD
ST. CHARLES, IL

PRELIMINARY ENGINEERING

STANDARD DETAILS

DATE

09/13/2012

REVISIONS

10/07/2012

REVISED LAYOUT

11/05/2012

CITY SUBMITTAL

REVISIONS



SCALE

NTS

DR. REK

CH. BH

P.M. T. MOSHER

CAD FILE:

12001457C-11-DT.DWG

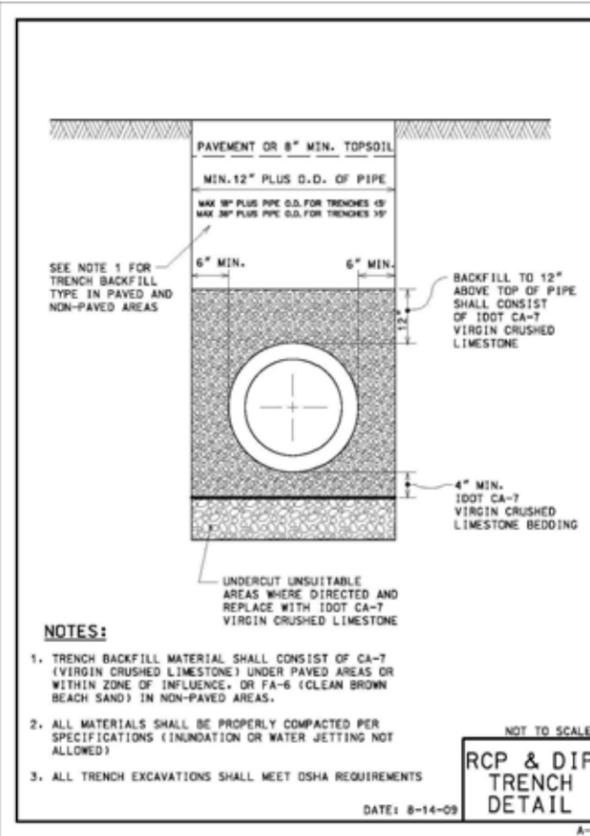
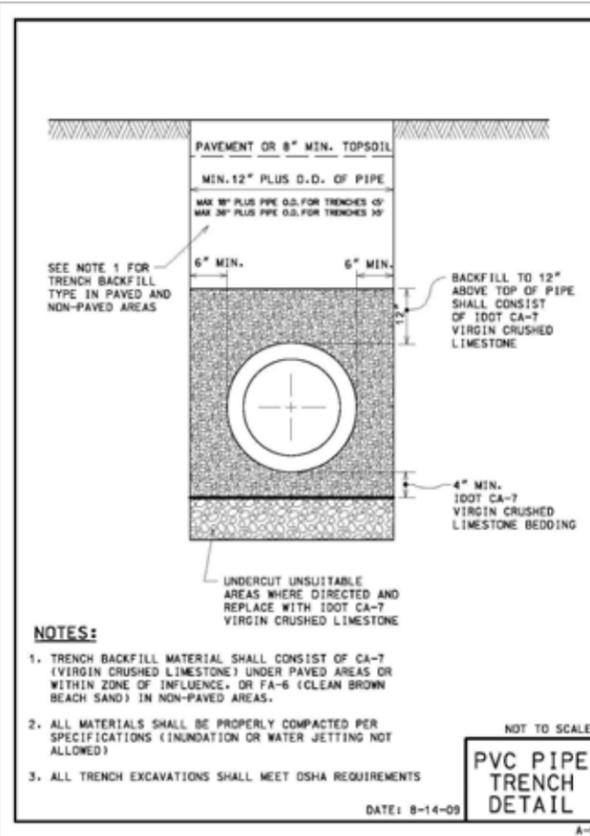
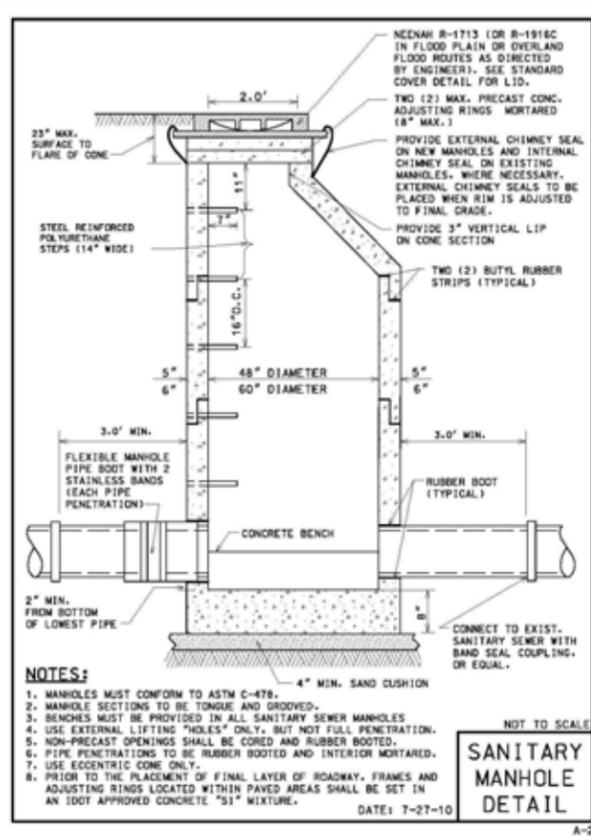
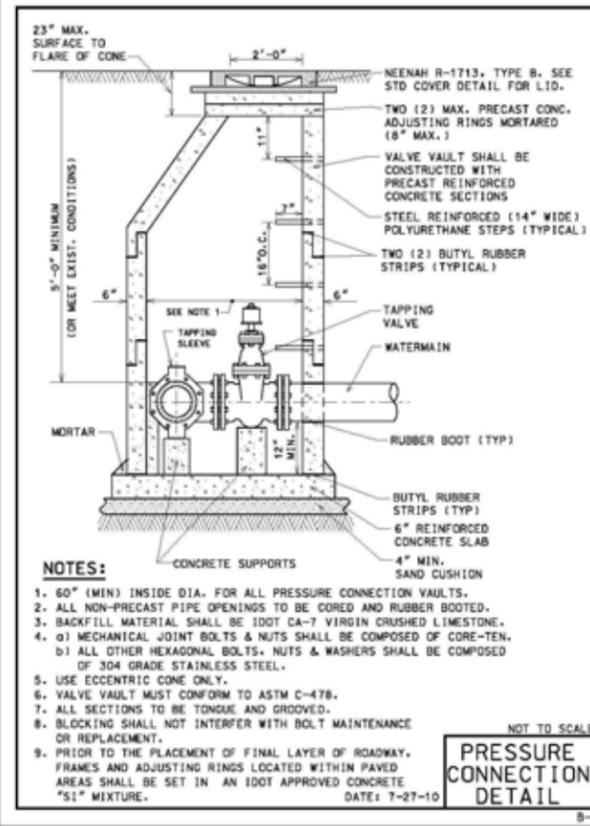
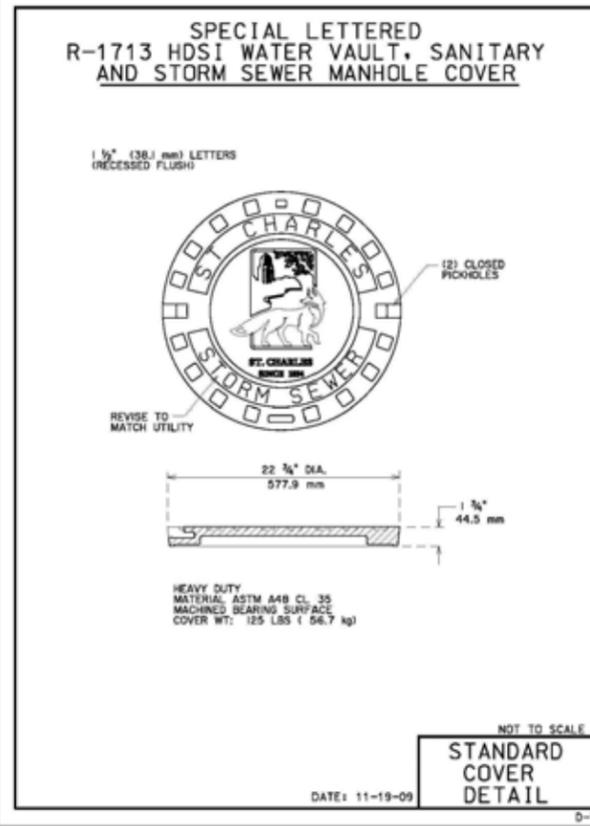
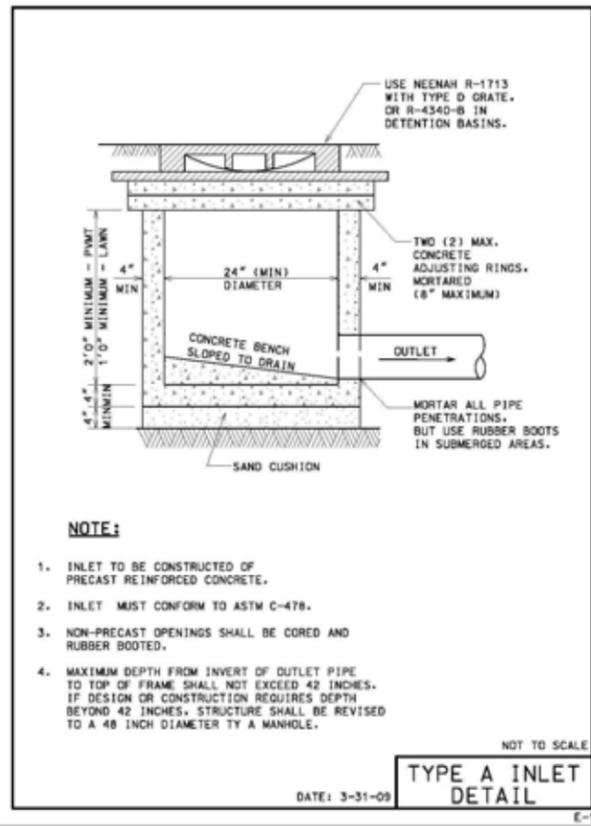
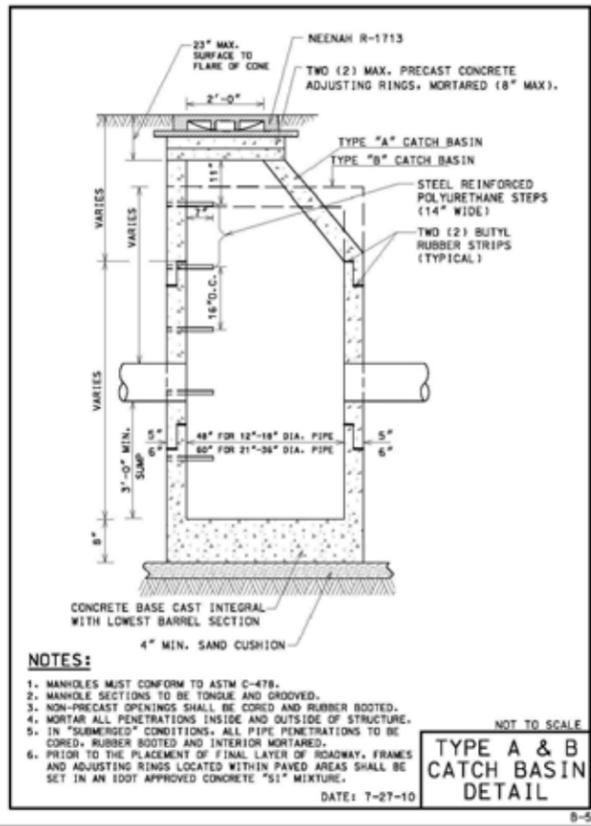
JOB

12001457

FILE CODE:

SHEET NO.

C-11



811 Know what's below. Call before you dig.

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Water & Natural Resources



SECTION 32
TOWN 40 NORTH, RANGE 8 EAST
CITY OF ST. CHARLES
KANE COUNTY, ILLINOIS

CLIENT: DISCOUNT TIRE COMPANY
131 SOUTH RANDALL ROAD
ST. CHARLES, IL
PRELIMINARY ENGINEERING
STANDARD DETAILS

DATE: 09/13/2012
10/09/2012
REVISED LAYOUT
11/05/2012
CPL SUBMITAL

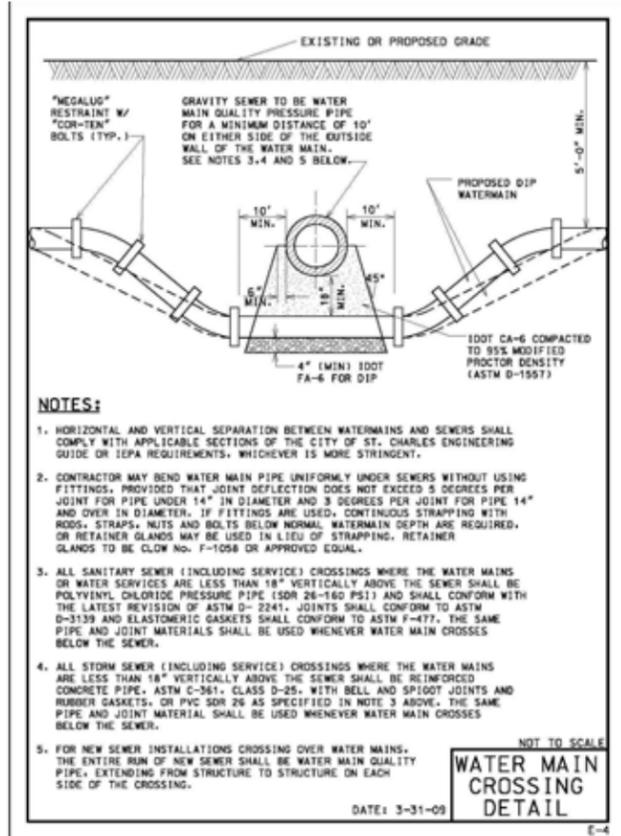
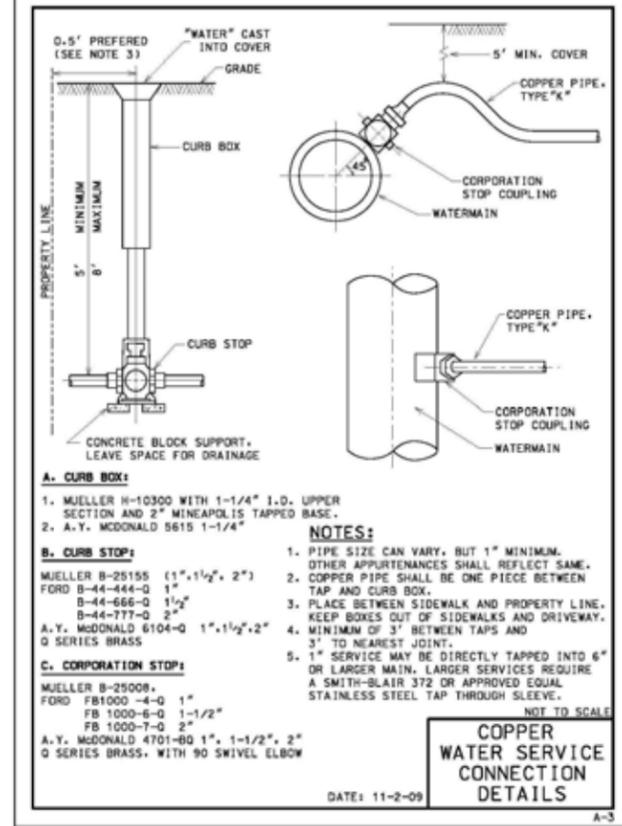
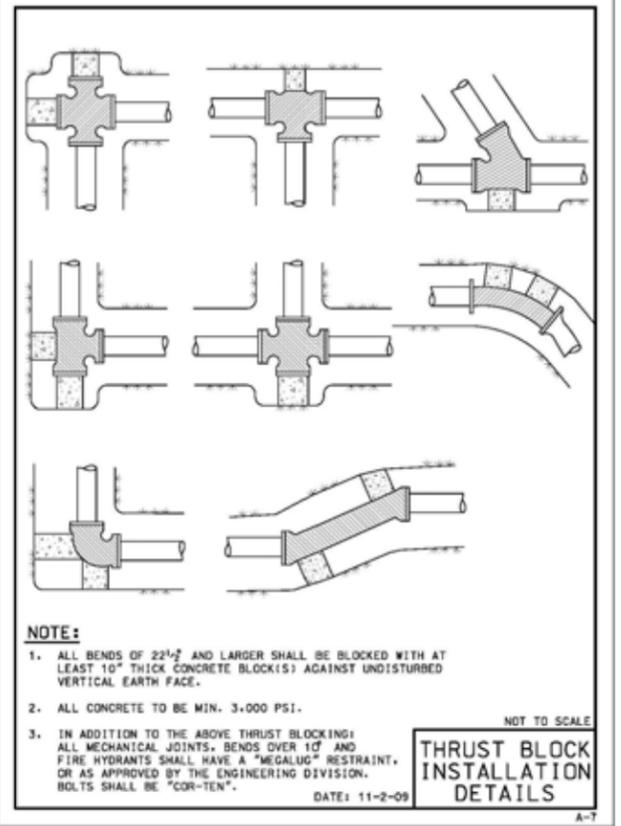
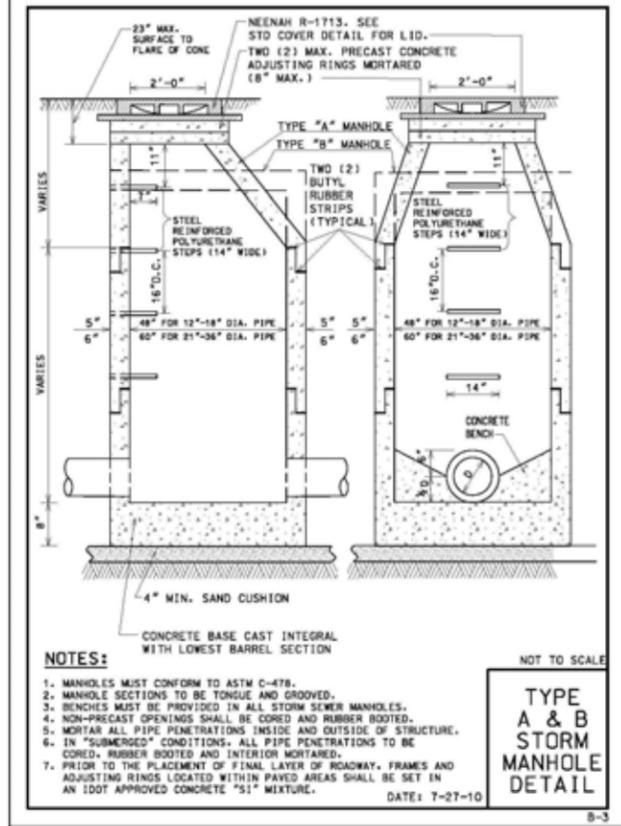
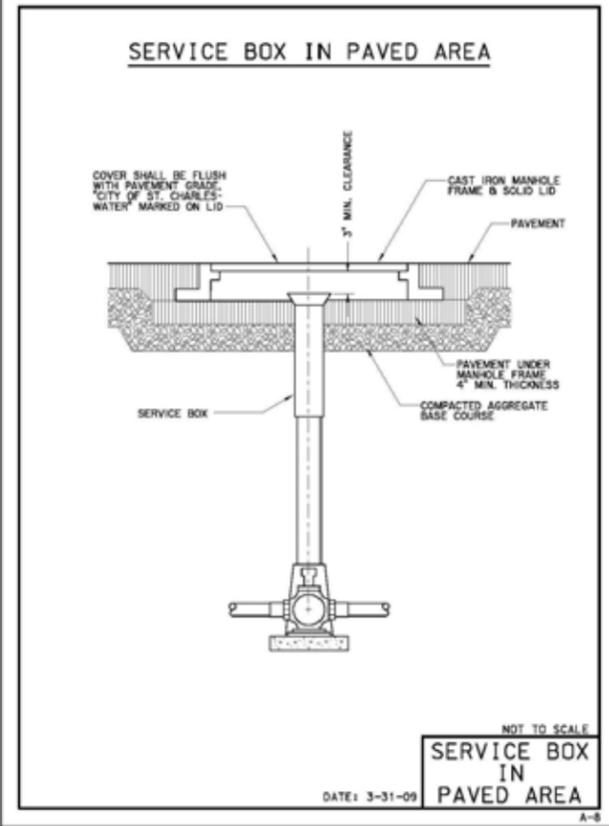
REVISIONS

ATWELL

SCALE: NTS

DR. REK
CH. BH
P.M. T. MOSHER

CAD FILE: 12001457C-11-DT.DWG
JOB: 12001457
FILE CODE: --
SHEET NO. C-12



Minimum Restrained Lengths (in feet) back from both sides of fitting

Fitting type/nominal size	4"	6"	8"	10"	12"	16"
90 Degree Bend	17	25	32	38	45	59
45 Degree Bend	7	10	13	16	19	24
22.5 Degree Bend	3	5	6	8	9	12
11.25 Degree Bend	2	2	3	4	4	6
Dead End	39	55	73	87	103	134
Top Side Vertical Offset * (45 Degree)	16	23	30	36	43	55
Bottom Side Vertical Offset * (45 Degree)	4	6	8	10	11	15
Tee Run X Branch **	6" by	1	17			
Tee Run X Branch **	8" by	1	5	34		
Tee Run X Branch **	10" by	1	1	24	49	
Tee Run X Branch **	12" by	1	1	15	41	65
Tee Run X Branch **	16" by	1	1	1	26	52
Reducer ***	6" by	28				
Reducer ***	8" by	52	30			
Reducer ***	10" by	71	54	29		
Reducer ***	12" by	90	75	55	51	
Reducer ***	16" by	123	113	97	94	54

* Vertical offset with minimum 10' of solid pipe between upper and lower bend.
 ** Tee with MINIMUM 10' solid pipe on both sides of run. Number indicates length of branch to be restrained.
 *** Length back from Large End of Reducer.

NOT TO SCALE

WATER MAIN RESTRAINT

DATE: 3-31-09

C-7

811 Know what's below. Call before you dig.

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ATWELL
 1245 EAST DELHI ROAD, SUITE 100
 NAPERVILLE, IL 60563
 DESIGN FIRM #84-006876

SECTION 32
 TOWN 40 NORTH, RANGE 8 EAST
 CITY OF ST. CHARLES
 KANE COUNTY, ILLINOIS

CLIENT: DISCOUNT TIRE COMPANY
 131 SOUTH RANDALL ROAD
 ST. CHARLES, IL
 PRELIMINARY ENGINEERING
 STANDARD DETAILS

DATE: 09/13/2012

10/07/2012
 REVISED LAYOUT
 11/05/2012
 CTR - SUBMITTAL

REVISIONS

ATWELL

SCALE: NTS

DR. REK
 CH. BH
 P.M. T. MOSHER

CAD FILE:
 12001457C-11-DT.DWG

JOB: 12001457

FILE CODE: --

SHEET NO. C-13



WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION (Randall Road)

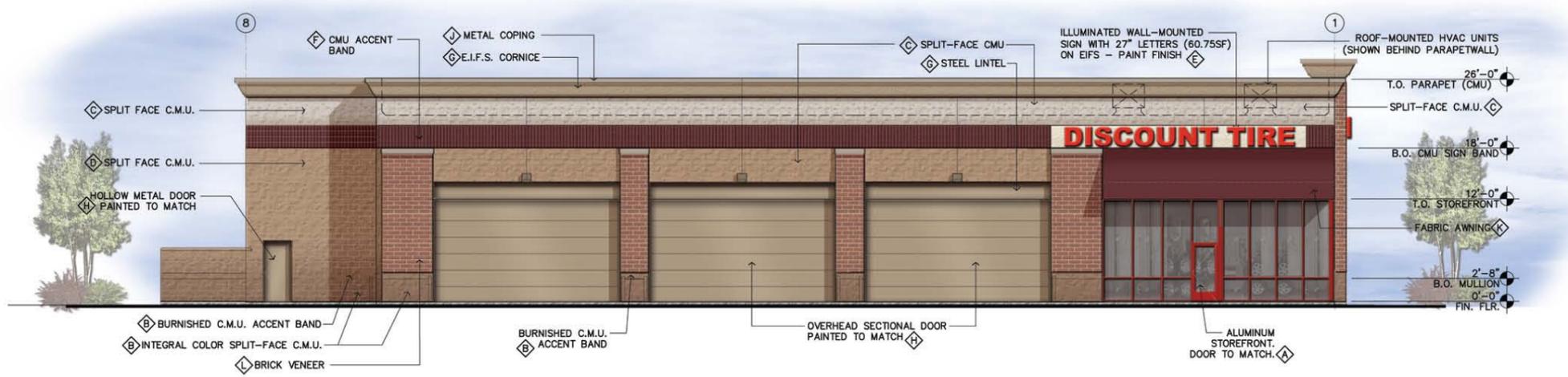
SCALE: 1/8" = 1'-0"

FINISH LEGEND	
Ⓐ	ANODIZED ALUMINUM STOREFRONT SYSTEM - MANUFACTURER'S STANDARD COLOR TO MATCH "BANNER RED"
Ⓑ	INTEGRAL COLOR C.M.U. ACCENT BAND (BURNISHED AS NOTED) FEATHERLITE, SAHARA SAND
Ⓒ	INTEGRAL COLOR SPLIT FACE C.M.U. BY FEATHERLITE COLOR: PADRE ISLAND SAND
Ⓓ	INTEGRAL COLOR SPLIT FACE C.M.U. BY FEATHERLITE COLOR: SAHARA SAND
Ⓔ	PAINT - SHERWIN WILLIAMS SW 6119 "ANTIQUE WHITE"
Ⓕ	INTEGRAL COLOR FLUTED C.M.U. ACCENT BAND BY FEATHERLITE COLOR: CARDINAL RED
Ⓖ	PAINT - SHERWIN WILLIAMS TO MATCH "WORSTED TAN"
Ⓗ	METAL DOORS PAINTED TO MATCH "WORSTED TAN"
Ⓙ	METAL COPING - FACTORY PAINTED / INTEGRAL COLOR TO MATCH "SIERRA TAN" COLOR
Ⓚ	FABRIC AWNING BY SUNBRELLA, COLOR: BURGUNDY
Ⓛ	BRICK VENEER - FACE BRICK BY QUIK-BRIK COLOR: "RICHFIELD"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

ALT - 1R



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CONCEPTUAL ELEVATIONS

**131 S. Randall Road
ST. CHARLES, IL 60174**

JOB # A.120946

Date: 09.28.12



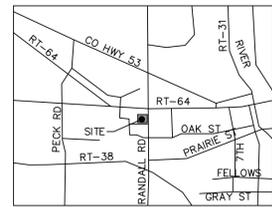
Sheet No.

A.3

FINAL PLAT OF ZYLSTRA CENTER FIRST RE-SUBDIVISION

PART OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS

PROPERTY INDEX NUMBERS
09-32-230-005
09-32-230-009



VICINITY MAP
NOT TO SCALE

LEGEND

- SET CONCRETE MONUMENT
- S SET 5/8" REBAR
- × F FOUND PK NAIL
- F FOUND IRON PIPE
- + F FOUND CUT CROSS
- (R+M) RECORD AND MEASURED
- (R) RECORD
- (M) MEASURED
- EXISTING BOUNDARY LINE
- - - EXISTING BOUNDARY ADJACENT LINE
- - - EXISTING EASEMENT LINE
- - - EXISTING BUILDING SETBACK LINE
- ▨ PORTION OF 10' WIDE UTILITY EASEMENTS PER DOC. NO. 2006K035709 HEREBY VACATED

SURVEYOR

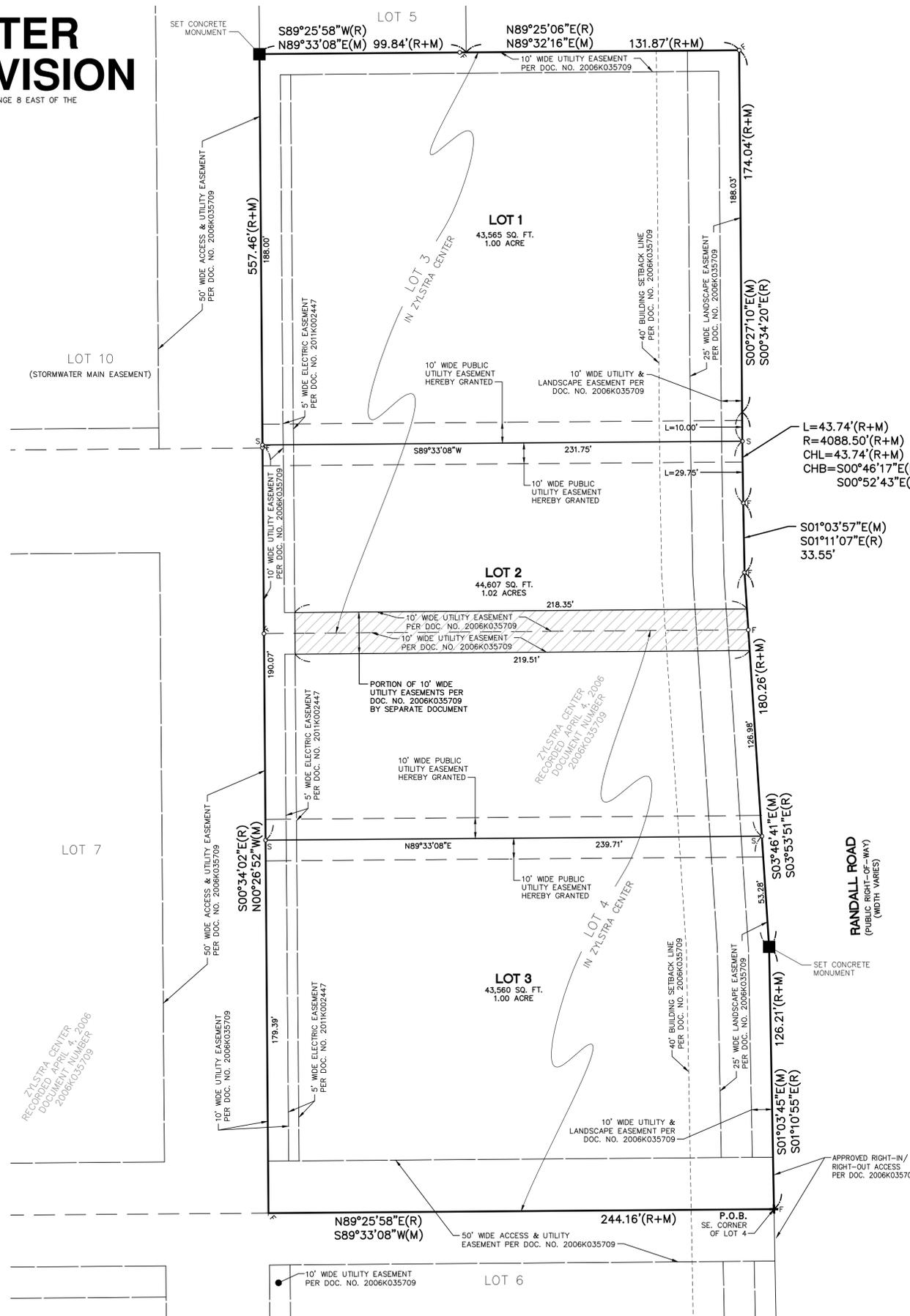
ATWELL, LLC.
1245 EAST DIEHL ROAD, SUITE 100
NAPERVILLE, IL 60563
PHONE: (630) 577-0800
FAX: (630) 577-0900

DEVELOPER

HALLE PROPERTIES, LLC
20225 NORTH SCOTTSDALE ROAD
SCOTTSDALE, AZ 85255
PHONE: (480) 606-6000
FAX: (480) 606-4370

OWNER

PHONE: _____
FAX: _____



AREA TABLE	
LOT 1	43,565 SQ. FT. / 1.00 ACRE(S)
LOT 2	44,607 SQ. FT. / 1.02 ACRE(S)
LOT 3	43,560 SQ. FT. / 1.00 ACRE(S)
TOTAL	131,732 SQ. FT. / 3.02 ACRES

ACCESS NOTES

THERE SHALL BE NO DIRECT ACCESS TO RANDALL ROAD FROM LOTS 1 AND 2. RIGHT-IN/RIGHT-OUT ACCESS TO RANDALL ROAD SHALL BE THROUGH THE ACCESS EASEMENT LOCATED ON LOTS 7 AND 10 IN ZYLSTRA CENTER AND THE ACCESS EASEMENT LOCATED ALONG THE COMMON LINE OF LOT 3 OF THE ZYLSTRA CENTER FIRST RESUBDIVISION AND LOT 6 IN ZYLSTRA CENTER.

THERE SHALL ONLY BE ONE RIGHT-IN/RIGHT-OUT ACCESS TO RANDALL ROAD OF ZYLSTRA CENTER FIRST RESUBDIVISION THROUGH THE ACCESS EASEMENT LOCATED ALONG THE COMMON LINES OF LOT 3 AND LOT 6 IN ZYLSTRA CENTER.

COUNTY ENGINEER'S CERTIFICATE

THIS PLAT HAS BEEN APPROVED THE BY KANE COUNTY ENGINEER WITH RESPECT TO

ROADWAY ACCESS TO _____ PURSUANT TO ILCS CHAPTER 765 PARAGRAPH 205/2.

DATED AT _____ THIS _____ DAY OF _____

_____, A.D., 2012.

COUNTY ENGINEER _____



Land Development & Real Estate
Power & Energy
Telecommunications
Infrastructure & Transportation
Environmental & Solid Waste
Water & Natural Resources



SECTION 32

TOWN 40 NORTH, RANGE 8 EAST
CITY OF ST. CHARLES
KANE COUNTY, ILLINOIS

CLIENT DISCOUNT TIRE COMPANY

FINAL PLAT OF RESUBDIVISION

DATE 11/02/2012

REVISIONS



SCALE 0 15 30

1" = 30 FEET

DR. JER

CH. REW

P.M. E. BRAND

CAD FILE:

12001457FPP-001.DWG

JOB 12001457

FILE CODE: FPP-0-01

SHEET NO.

1 OF 2

FINAL PLAT OF ZYLSTRA CENTER FIRST RE-SUBDIVISION

PART OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE
THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS

PROPERTY INDEX NUMBERS
09-32-230-005
09-32-230-009

OWNER'S CERTIFICATE

STATE OF _____)
COUNTY OF _____) SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

BY: _____

BY: _____

DATED AT _____, THIS _____ DAY OF _____, A.D., 2012.

NOTARY'S CERTIFICATE

STATE OF _____)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT

_____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO BE FOREGOING OWNER'S CERTIFICATE

AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE OR SHE SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT, FOR THE USES AND PURPOSES THEREIN SET FORTH.

DATED AT _____, THIS _____ DAY OF _____, A.D., 2012.

BY: _____
NOTARY PUBLIC

OWNER'S CERTIFICATE

STATE OF _____)
COUNTY OF _____) SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

BY: _____

BY: _____

DATED AT _____, THIS _____ DAY OF _____, A.D., 2012.

NOTARY'S CERTIFICATE

STATE OF _____)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT

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DATED AT _____, THIS _____ DAY OF _____, A.D., 2012.

BY: _____
NOTARY PUBLIC

DIRECTOR OF PUBLIC WORKS CERTIFICATE

STATE OF _____)
COUNTY OF _____) SS

I, _____ DO HEREBY CLARIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF PUBLIC WORKS _____

DATED AT _____, THIS _____ DAY OF _____, A.D., 2012.

COUNTY CLERK CERTIFICATE

STATE OF _____)
COUNTY OF _____) SS

I, _____ COUNTY CLERK OF KANE COUNTY ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THIS ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL AT _____

THIS _____ DAY OF _____, A.D., 2012.

COUNTY CLERK

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF _____)
COUNTY OF _____) SS

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS

DATED AT _____, THIS _____ DAY OF _____, A.D., 2012.

CITY COUNCIL CERTIFICATE

APPROVED AND ACCEPTED THIS _____ DAY OF _____, A.D., 2012.

CITY COUNCIL OF CITY OF ST. CHARLES, ILLINOIS.

MAYOR

ATTEST: _____
CITY CLERK

RECORDER CERTIFICATE

THIS INSTRUMENT NO. _____ WAS FILED FOR RECORD IN THE

RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS ON THE _____ DAY OF _____, 2012 AT _____ O'CLOCK _____M., AND

(COUNTY RECORDER)

PLAN COMMISSION CERTIFICATE

STATE OF _____)
COUNTY OF _____) SS

APPROVED THIS _____ DAY OF _____, A.D. 2012.

CITY OF ST. CHARLES PLAN COMMISSION

CHAIRMAN

SPECIAL FLOOD HAZARD AREA CERTIFICATE

THIS IS TO CERTIFY THAT THE PARCELS INCLUDED IN THIS RECORD OF DEED [ARE/ARE NOT] LOCATED IN THE SPECIAL FLOOD HAZARD AREA IDENTIFIED FOR THE [CITY/VILLAGE/

COUNTY] OF _____, ILLINOIS BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE FLOOD INSURANCE RATE MAP, PANEL NO. _____, DATED _____, A.D., _____

ATTEST _____

MORTGAGEE'S CERTIFICATE

ACCEPTED AND APPROVED BY _____, AS MORTGAGEE, DATED _____, ILLINOIS, THIS _____ DAY OF _____, A.D., 2012.

BY: _____
ATTEST

PUBLIC UTILITY EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATION UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERITECH AND NICOR AND TO THEIR SUCCESSORS AND ASSIGNS IN, UPON, ACROSS, OVER, UNDER AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENEWING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING UNDERGROUND ELECTRICAL, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), THE RIGHT IS ALSO HEREBY GRANTED TO SAID GRANTEEES TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SAID SEWERS, OR, WITHOUT LIMITATION, UTILITY INSTALLATIONS IN, ON, UPON OR ACROSS, UNDER, OR THROUGH SAID EASEMENTS, IN THE EVENT UTILITY MAINTENANCE IS PERFORMED WITHIN THE UTILITY EASEMENT, THE CITY OF ST. CHARLES WILL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEEES SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, PAVING, FENCES, SIDEWALKS, CURBING, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS, WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS. UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

THIS IS TO CERTIFY THAT I, ERIC W. BRAND, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3706, HAVE SURVEYED AND RESUBDIVIDED THE FOLLOWING PROPERTY:

LOTS 3 AND 4 IN ZYLSTRA CENTER, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 29 AND PART OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE RECORDED PLAT THEREOF RECORDED APRIL 4, 2006 AS DOCUMENT 2006K035709 AND CERTIFICATE OF CORRECTION RECORDED JUNE 26, 2008 AS DOCUMENT 2008K053274, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION AND IS WITHIN THE CITY OF ST. CHARLES, WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-5, AND THE PROPERTY FALLS WITHIN "OTHER AREAS: ZONE X" (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEFINED BY THE FLOOD INSURANCE RATE MAP, MAP NUMBER 17089C0262H, HAVING AN EFFECTIVE DATE OF AUGUST 3, 2009.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 2012.

ERIC W. BRAND
ILLINOIS PROFESSIONAL
LAND SURVEYOR NO. 035-3706
ATWELL, LLC
MY LICENSE EXPIRES 11/30/2014
"THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS
MINIMUM STANDARDS FOR A BOUNDARY SURVEY"



Land Development & Real Estate
Power & Energy
Telecommunications
Infrastructure & Transportation
Environmental & Solid Waste
Water & Natural Resources



SECTION 32
TOWN 40 NORTH, RANGE 8 EAST
CITY OF ST. CHARLES
KANE COUNTY, ILLINOIS

CLIENT
DISCOUNT TIRE COMPANY
FINAL PLAT OF RESUBDIVISION

DATE 11/02/2012

REVISIONS



SCALE 0 15 30
1" = 30 FEET

DR. JER
CH. REW
P.M. E. BRAND
CAD FILE:
12001457FPP-001.DWG
JOB 12001457
FILE CODE: FPP-0-01
SHEET NO.
2 OF 2



AGENDA ITEM EXECUTIVE SUMMARY

Title:	Recommendation to Approve General Amendments to Chapter 17.04 “Administration” and Chapter 17.18 “Inclusionary Housing” of Title 17 of the City Code (Zoning Ordinance)
Presenter:	Matthew O’Rourke

Please check appropriate box:

	Government Operations		Government Services
X	Planning & Development – (1/14/13)		City Council
	Public Hearing		

Estimated Cost:	NA	Budgeted:	YES		NO	
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If NO, please explain how item will be funded:

Executive Summary:

There were requests for deviations or complete waivers to the provisions of the Inclusionary Housing Ordinance as part of proposed residential Planned Unit Developments (PUDs).

In response, the Housing Commission proposed modifications to the Inclusionary Housing Ordinance to create criteria for evaluating future deviation requests and potential alternatives for providing affordable units.

Staff is presenting the following amendments that have been developed in coordination with the Housing Commission and Planning & Development Committee to address concerns with the current requirements:

1. Eliminate Chapter 17.18 “Inclusionary Housing” as eligible to be deviated from through the PUD process.
2. Create an Alternative Affordable Housing Plan option to be considered for development sites with significant development challenges such as blight, financial hardships, or environmental contamination.
3. Create a sliding scale that adjusts the number of required affordable housing units in new residential developments based on the percentage of the City’s housing stock that is considered affordable.

The Plan Commission held a Public Hearing and recommended approval of the application on 11/20/12, the vote was 3-aye to 1-nay.

Attachments: *(please list)*

Staff Report, dated 11/28/12

Recommendation / Suggested Action *(briefly explain):*

Recommend approval of the Application for a General Amendment to the Zoning Ordinance as presented.

For office use only:

Agenda Item Number: 4b

Community Development
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



ST. CHARLES
SINCE 1834

STAFF REPORT

TO: Chairman Cliff Carrignan
And the Members of the Planning & Development Committee

FROM: Matthew O'Rourke, AICP, Planner

RE: Proposed General Amendments to Tile 17 (Zoning Ordinance) Inclusionary Housing Ordinance and Administration

DATE: November 28, 2012

I. GENERAL INFORMATION

Project Name: General Amendment – Inclusionary Housing Ordinance and Administration

Applicant: City of St. Charles, Planning Division

Purpose: Ordinance amendments to Chapter 17.18 Inclusionary Housing and 17.04 Administration to create standards for an Alternative Affordable Housing Plan, to create a sliding scale for the number or required affordable units, and to remove Chapter 17.18 as eligible to be deviated from through the PUD process.

II. BACKGROUND

In 2011, there were requests for deviations or complete waivers to the provisions of the Inclusionary Housing Ordinance as part of proposed residential Planned Unit Developments (PUD). Since the Inclusionary Housing Ordinance is located within the Zoning Ordinance, Legal Counsel determined that deviations to the affordable housing requirements can be considered as part of a proposed PUD.

Since October of 2011, the Housing Commission has been discussing possible amendments to the Inclusionary Housing Ordinance (IHO) to create criteria for evaluating future deviation requests and potential alternatives for providing affordable units in St. Charles.

The first amendment that the Housing Commission discussed is the Alternative Affordable Housing Action Plan. This potential amendment proposes an alternative framework for properties that have significant hardships such as blight or environmental contamination. As part of this amendment, the provisions of the IHO will be removed as eligible deviations through the Planned Unit Development process.

Staff presented a draft of the Alternative Affordable Housing Plan amendment to the Planning & Development Committee on August 13, 2012. In addition to the Alternative Affordable Housing

Plan, the Committee suggested that the Housing Commission and Staff examine other amendments to the IHO. One specific proposal was to create a sliding scale that would adjust the number of required affordable housing units based on the percentage of St. Charles' housing stock that is considered affordable.

The sliding scale amendment was further discussed at the August 16, 2012 Housing Commission meeting, and the September 17, 2012 joint meeting of the Planning & Development Committee and Housing Commission. Since those discussions, Staff has prepared amendment language to incorporate a sliding scale into the IHO in addition to the proposed Alternative Affordable Housing Plan amendments. The Housing Commission reviewed the final version of these amendments at the October 18, 2012 Housing Commission meeting and recommended that Staff proceed with filing a General Amendment Application for the amendments as proposed in this Staff Report.

The following memo will explain these proposed amendments and how these amendments will fit into the Zoning Ordinance.

III. PROPOSED AMENDMENTS

A. REMOVE INCLUSIONARY HOUSING AS AN ELIGIBLE DEVIATION THROUGH THE PUD

This first portion of this amendment proposes to remove the entirety of **Chapter 17.18 Inclusionary Housing** as an eligible deviation through the Planned Unit Development (PUD) process. In reviewing the factors and findings used to determine the validity of a proposed PUD, it was determined that these factors do not readily apply to deviations to the inclusionary housing requirements. Therefore, the amendment proposes that it be stated in **Section 17.04.400.B Conformance with Codes** that deviations from the Inclusionary Housing Ordinance are **not** permitted as part of a PUD request.

Section 17.04.400.B currently states:

“Unless otherwise approved in accordance with this Chapter, development within a PUD shall conform to the requirements applicable to the underlying zoning district or districts in which the PUD is located, and all Land Improvements shall be designed and constructed in accordance with the provisions of Title 16, Subdivisions and Land Improvement, of the St. Charles Municipal Code. PUD’s, however, may allow for relief from the minimum requirements applicable to the underlying zoning district and subdivision ordinance in situations where the City Council finds that:

- a) Conforming to the requirements would inhibit creative design that serves community goals, or*
- b) Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.”*

Staff is proposing the following amendment language:

- c) The provisions and requirements established in Chapter 17.18 entitled, “Inclusionary Housing” are not eligible deviations through a proposed PUD.**

B. ALTERNATIVE AFFORDABLE HOUSING PLAN AMENDMENT

As an alternative to deviation requests through the PUD, the Housing Commission is recommending that a new process, specifically for requests to deviate from the standards of **Chapter 17.18 Inclusionary Housing**, be created. This new process will list clear criteria and alternative options for developers to utilize that are specific to inclusionary housing.

The following process and criteria are proposed to be added to **Chapter 17.18 Inclusionary Housing**. The new process states that the City Council will directly consider the appropriateness of an Alternative Affordable Housing Plan submitted by a developer. These proposals will be submitted to Staff and forwarded directly to City Council through the Planning and Development Committee.

1. *Section 17.18.065 Alternative Affordable Housing Plan Criteria*

This new section is being created to establish the criteria that the City Council will use to weight the merits of a proposed Alternative Affordable Housing Plan. The proposed language for this section is as follows:

- A. As an alternative to compliance with the provisions of Section 17.18.040 or Section 17.18.050, the Developer may request the City Council to approve, concurrent with the approval of the overall development, one or more of the alternatives listed in Section 17.18.065.B. The City Council shall not approve an Alternative Affordable Housing Plan unless the Developer demonstrates and the City Council finds in the affirmative that the Alternate Affordable Housing Plan is justified based on one or more of the following criteria:**
- 1. That a demonstrated financial hardship exists that is not of the developer's own making. Items to be considered shall include but shall not be limited to:**
 - a. The financial hardship must be equal to or greater than 10% or more of the total project cost and purchase price, but cannot include any costs incurred as part of the normal and orderly development of the property.**
 - b. Environmentally sensitive or natural areas to be protected are equal to or greater than 20% of the total development site area (not including stormwater retention/detention facilities or park sites related to the construction of the project).**
 - 2. The development site does not allow for the density bonus as stated in Section 17.18.060 due to limitations on development capacity: Items to be considered shall include but shall not be limited to:**
 - a. Insufficient water or sewer utility capacities**
 - b. Unique parcel configurations including: steep slopes above an 8% grade or irregular shaped parcels that create unbuildable areas equal to or greater than 20% of the development site.**
 - 3. The development will fulfill an alternative City Policy or goal such as redevelopment of a vacant, underutilized, or blighted parcel *that cannot***

otherwise be readily redeveloped and comply with all other applicable requirements.

- 4. The creation of the Alternative Affordable Housing Plan represents an equal or greater opportunity to create Affordable Housing in the City. Examples of these greater opportunities shall include but shall not be limited to:**
 - a. Providing units below the maximum affordability thresholds established by Illinois Housing Development Authority for rental or owner-occupied units. (Example: Pricing rental units at or below 50% of area median income).**
 - b. Providing offsite affordable units in vacant or foreclosed homes.**
 - c. Providing affordable units for a period of time longer than the seven year minimum affordable period stated in Section 17.18.090 Maximum Price of Affordable Units.**

2. Alternative Affordable Housing Plan Specifics

Along with the deviation request, developers will be required to submit a detailed Alternative Affordable Housing Plan that states how they plan to provide affordable units in St. Charles utilizing one or a combination of the following options:

17.18.065.B Alternative Affordable Housing Plan

For instances in which the Developer is requesting to utilize an Alternative Affordable Housing Plan, the Developer shall submit the proposed Alternative Affordable Housing Plan. This plan shall detail the Developer’s course of action chosen to create Affordable Housing opportunities in St. Charles. This plan is required to be submitted in writing and must detail how the Alternative Affordable Housing Plan fulfills the criteria listed in Section 17.18.065.A.

One or more of the following options shall be utilized by the Developer:

- 1. External Funding Sources- The Developer will apply for grants, tax credits, and/or any other applicable funding mechanism, each year that the project is under construction. These funds will be used to subsidize the costs associated with the construction of onsite or offsite Affordable Housing Units.**
- 2. Purchase Offsite Units- The Developer shall purchase for-sale or foreclosure properties and then sell or rent them at the established Affordable Housing price.**
- 3. Construction of a portion of the required Affordable Units onsite and any combination of the two options listed above.**

3. Development Applications

Staff has created a new Subsection 5 to be inserted into **Section 17.18.110 Development Applications** of the Inclusionary Housing Ordinance. This new section clearly identifies what items are required at the time the initial applications are submitted by a developer intending to utilize the proposed Alternative Affordable Housing Plan.

(Current Ordinance)

17.18.110 Development Applications

As part of the application for approval of a Residential Development, the Developer shall submit information describing how the Residential Development will comply with the requirements of this Chapter. The Director of Community Development may require any or all of the following to be submitted for review:

A. Developments

- I. The number and rental/for sale status of Market-Rate Units and Affordable Units to be constructed including type of dwelling, number of bedrooms per unit, proposed pricing, and construction schedule, including anticipated timing of issuance of building permits and occupancy certificates.*
- II. Documentation and plans regarding locations of Affordable Units and Market-Rate Units, and their exterior appearance, materials, and finishes.*
- III. A description of the marketing plan that the Developer proposes to utilize and implement to promote the sale or rental of the Affordable Units within the development; and,*
- IV. Any proposal to pay fees in lieu of providing the required Affordable Unit, per section 17.18.050.*

(New Requirements per proposed amendment)

V. Alternative Affordable Housing Plan

- **The Applicant shall submit a financial statement or pro-forma including the following:**
 - 1. Purchase price of the property.**
 - 2. Identification of the financial hardship and cost estimates associated with absorbing and/or remediating the identified hardship.**
 - 3. All non-hardship development costs and expected profits.**
- **Application for External Funding Sources**
 - i. An action plan clearly identifying the external funding sources that will be applied for during the construction phase and frequency with which the Developer plans to apply for each funding source. The Developer shall clearly demonstrate that the project is eligible for the funding source that will be utilized.**
 - ii. The Developer will provide a copy of all grant applications at the same time the application is submitted to the funding authority.**
 - iii. The Developer shall state the number of Affordable Units targeted to be affordable.**
 - iv. Documentation and plans regarding locations of Affordable Units and Market-Rate Units onsite or offsite, and their exterior appearance, materials, and finishes should external funding be awarded.**
- **Purchase and Resale of Offsite Units**
 - i. An action plan or market study identifying the number of offsite units planned for purchase, the location of available offsite units, and purchase price of these units.**
 - ii. Any supplemental information necessary to support the proposed plan such as, anticipated cost of renovations for offsite properties.**

iii. The Developer shall state in writing the expected timing for the purchase of offsite units. The Developer will commit to submitting a copy of the home inspection report to the City for review. This report shall include the following:

- **Identification of the age and condition of all major systems (plumbing, HVAC, electrical, and structural)**
- **Identification and condition of all major appliances.**
- **The Developer shall provide a copy of this inspection report to the affordable household who has signed a contract to purchase the unit.**
- **As part of this report the Developer shall submit a list of all necessary repairs that the Developer proposed to perform before the offsite unit is resold to an Eligible Household.**

C. LEGAL REVIEW

Staff has had the proposed amendments reviewed by Robin Jones of the Law Offices of Gorski and Good. She has determined that there are no legal issues with this proposal.

IV. **SLIDING SCALE AMENDMENT**

A. PROPOSED AMENDMENT

Staff is proposing to amend **Section 17.18.030.B** of the IHO to create this sliding scale requirement. Section 17.18.030.B currently states:

“Notwithstanding the preceding paragraph, the construction of new Affordable Units and the payment of fee in-lieu of Affordable Units shall not be required for any new Residential Development following a determination by the Director that the percentage of the total number of Dwelling Units within the City of St. Charles that are Affordable Units is 25% or greater. Thereafter, the provisions of this Chapter shall apply following a determination by the Director that the percentage of Dwelling Units within the City of St. Charles that are Affordable Units has fallen below 15%.”

The sliding scale amendment proposes that four percentage categories be created to adjust the amount of affordable units required as part of new residential developments. These categories are divided into equal percentages between 10% (*the minimum percent of affordable units mandated in the Affordable Housing Planning and Appeal Act*) and 25% (*the point at which the current requirements of the IHO can be suspended by the Director of Community Development*). The per-unit fee-in-lieu amount will not be altered by the proposed amendment. However, the number of required units will decrease, which will lower the total fee-in-lieu amount paid by residential developers.

The draft amendment proposed by Staff is as follows:

Notwithstanding the preceding paragraph, the construction of new Affordable Units and the payment of fee in-lieu of Affordable Units shall be adjusted to account for the percentage of affordable housing in St. Charles as determined by the Director of Community Development. The rates of adjustment shall be as follows:

Percentage of Affordable Housing	Percentage of Affordable Units Required
13.75% or less	100%
13.76% to 17.5%	75%
17.51% to 21.25%	50%
21.26% to 24.99%	25%
25% of Greater	0%

No Affordable Units shall be required for any new Residential Development following a determination by the Director that the percentage of the total number of Dwelling Units within the City of St. Charles that are Affordable Units is 25% or greater. Thereafter, the provisions of this Chapter shall apply following a determination by the Director that the percentage of Dwelling Units within the City of St. Charles that are Affordable Units has fallen below 15%.

B. HYPOTHETICAL DEVELOPMENT EXAMPLES

Staff has prepared the following hypothetical development examples to illustrate how the proposed changes to the IHO would be reflected in residential developments.

The IHO requires the following percentage of affordable units for different sized developments:

- 10 units or less – 5% of total units are required to be affordable (100% can be provided as fee-in-lieu).
- 11 units to 49 – 10% of total units are required to be affordable (50% can be provided as fee-in-lieu).
- 50 units or more – 15% of total units are required to be affordable (50% can be provided as fee-in-lieu).

Table 1 shows three different development scenarios. The number of units shown in the following hypothetical developments has been chosen to represent all three of the requirement categories listed above. The table also illustrates how the number of required affordable units and/or fee-in-lieu would be adjusted based on the proposed sliding scale categories.

Table 1: Sliding Scale – Development Examples

Proposed Developments			
	Small Development	Mid-Sized Development	Large Development
Total Number of Units Proposed	6	30	350
% of Affordable Units Required	0.05	0.1	0.15
Number of Affordable Units Required	0.3	3	52.5
Sliding Scale	Affordable Units Required		
13.75% or less = 100%	0.3	3.0	52.5
13.76% to 17.5% = 75%	0.2	2.3	39.4
17.51% to 21.25% = 50%	0.2	1.5	26.3
21.26% to 24.99% = 25%	0.1	0.8	13.1
Minimum Units Required Onsite			
13.75% or less = 100%	0	1.5	26.3
13.76% to 17.5% = 75%	0	1.1	19.7
17.51% to 21.25% = 50%	0	0.8	13.1
21.26% to 24.99% = 25%	0	0.4	6.6
Fee-In-lieu Based on Current Per Unit Amount (\$104,500)			
13.75% or less	\$31,350	\$156,750	\$2,743,125
13.76% to 17.5%	\$23,513	\$117,563	\$2,057,344
17.51% to 21.25%	\$15,675	\$78,375	\$1,371,563
21.26% to 24.99%	\$7,838	\$39,188	\$685,781

V. PLAN COMMISSION RECOMMENDATION

The Plan Commission held a public hearing to receive testimony and offer comments regarding the proposed amendments on 11/20/12.

The Plan Commission recommended approval of the application for a General Amendment on 11/20/12. The vote was 3-Aye to 1-Nay.

VI. RECOMMENDATION

Review and recommend approval of the proposed amendments.

Staff recommends approval of the Application for a General Amendment to the text of the Zoning Ordinance as it relates to removing Chapter 17.18 Inclusionary Housing as an eligible deviation through PUD process, to creating an Alternative Affordable Housing Plan process and requirements, and to create a sliding scale to adjust the number of required affordable units based on the percentage of the City’s housing stock that is considered affordable.

Staff has provided draft Findings of Fact to support the positive recommendation for the General Amendment Application.

VI. ATTACHMENTS

- Draft Finding of Fact for a General Amendment

FINDINGS OF FACT
GENERAL AMENDMENT

(Inclusionary Housing and Administration)

1. The consistency of the proposed amendment with the City’s Comprehensive Plan.

This amendment will not supersede or alter the land use recommendations contained in Chapter 13 Land Use of the City’s Comprehensive Plan. Chapter 8 Housing of the Comprehensive Plan does not address affordable housing requirements.

2. The consistency of the proposed amendment with the intent and general regulations of this Title.

The intent of this amendment is to continue to encourage the development of affordable housing units by creating flexibility in the ordinance to adjust to market conditions and create a new Alternative Affordable Housing Plan to be utilized on properties that have substantial barriers to development such as blight, financial constraints, and/or environmental contamination.

Removing these requirements as eligible deviations through the PUD will remove the conflict between requesting deviations to Chapter 17.18 “Inclusionary Housing” and factor #8 of Section 17.04.400.B of the Zoning Ordinance used to determine if a proposed PUD merits a deviation from the standards of the Zoning Ordinance. Factor # 8 states, “The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and Ordinances”. Requesting a deviation through the PUD to the requirements of the Inclusionary Housing Ordinance is in direct conflict with this factor.

3. Whether the proposed amendment corrects an error or omission, adds clarification to existing requirements, is more workable than the existing text, or reflects a change in policy.

The proposed amendments are more workable than the existing text contained in both Chapter 17.18 “Inclusionary Housing” and 17.04 “Administration” of the Zoning Ordinance. The proposed amendment creates a more flexible ordinance that will ebb and flow with regional economic circumstances and accommodates properties that contain large financial or physical hardships. The proposed amendment also eliminates an existing conflict between the factors used to judge the merit of a proposed PUD and deviations to Chapter 17.18 “Inclusionary Housing”. Eliminating Chapter 17.18 as being an eligible deviation from the PUD will eliminate this discrepancy.

4. The extent to which the proposed amendment would be in the public interest and would not serve solely the interest of the applicant.

The amendments will apply to all new residential development within the City of St. Charles.

5. The extent to which the proposed amendment creates nonconformities.

The proposed General Amendments to Chapter 17.18 “Inclusionary Housing” and Chapter 17.04 “Administration” of the Zoning Ordinance will only be applied to future residential development proposals. This amendment will not create any new nonconformities on existing properties.

6. The implications of the proposed amendment on all similarly zoned property in the City.

The proposed General Amendments to Chapter 17.18 “Inclusionary Housing” and Chapter 17.04 “Administration” of the Zoning Ordinance will be applied evenly to all new residential development within the City of St. Charles.



ST. CHARLES
S I N C E 1 8 3 4

AGENDA ITEM EXECUTIVE SUMMARY

Title:	Recommend that the City Council direct staff and the City Attorney to draft an Economic Development Incentive Agreement with US Adventure RV (131 S. Randall Rd.)
Presenter:	Chris Aiston

Please check appropriate box:

	Government Operations		Government Services
X	Planning & Development (1/14/13)		City Council

Estimated Cost:	NA	Budgeted:	YES		NO	
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If NO, please explain how item will be funded:

Executive Summary:

US Adventure RV (hereafter, "USARV"), a recreational vehicle sales, leasing and service enterprise headquartered in Davenport Iowa, is now considering a dealership point relocation in St. Charles. The company is currently considering leasing approximately 8,000 square feet of space in the southerly portion of the Fox River Harley-Davidson building at 120 S. Randall Road. The proposal would bring a new product to the retail mix in St. Charles and would result in improved utilization of an existing retail location.

Within five years of opening in St. Charles, USARV expects to employ 21 people, with total payroll over the period estimated to be \$3.5 million. The dealership is projected to create another 8 indirect and induced jobs (total payroll of \$900,000) in the area over this period.

More importantly, five-year total sales figures for the St. Charles store are estimated to be approximately \$45 million. This includes vehicle sales & rentals, parts sales, and vehicle service.

US Adventure RV has estimated the costs associated with this relocation to be approximately \$590,000 and has requested that the City consider providing some financial support to reduce these costs. In reviewing these figures, staff is recommending the City reimburse the dealership a portion of anticipated sales tax revenues in a total amount not to exceed \$250,000, or for a period of six years, whichever occurs first.

The proposed disbursement schedule is as follows: Year 1 - 75%; Year 2 - 70%; Year 3 - 65%; Year 4 - 60%; Year 5 - 50%; and Year 6 - 50%. For its part, USARV will establish the proposed St. Charles dealership and agree to maintain such an enterprise in St. Charles for a period of no less than ten years. Failure to do so shall result in the company having to repay the City all disbursed reimbursement monies.

Attachments: *(please list)*

Proposed terms of economic incentive agreement

Recommendation / Suggested Action *(briefly explain):*

Recommend that the City Council direct staff and the City Attorney to draft an Economic Development Incentive Agreement with US Adventure RV (131 S. Randall Rd.).

For office use only

Agenda Item Number: 5a

US Adventure RV and City of St. Charles Sales Tax Reimbursement Agreement

City of St. Charles ("City") Obligations

1. Reimburse US Adventures RV ("Company") for certain costs associated with the company's establishing a dealership enterprise (sale and rental) at 120 S. Randall Road, St. Charles, Illinois as generally set forth below (see "US Adventure RV Obligations", below) and under the following reimbursement program/schedule:
 - a. All reimbursement disbursements shall be from the City's 1% Municipal Sales Tax Revenues
 - b. Total of reimbursement disbursements shall not exceed \$250,000 and shall cease once that figure has been reached or after a period of six (6) years have passed since the commencement date, whichever comes first.
 - c. Percent of City's Municipal Sales Tax to be reimbursed to Company shall be as scheduled below (actual percent of final year shall be determined, based on total maximum dollar amount of all disbursements not exceeding \$250,000):
 - i. Year 1 – 75%
 - ii. Year 2 – 70%
 - iii. Year 3 – 65%
 - iv. Year 4 – 60%
 - v. Year 5 – 50%
 - vi. Year 6 – 50%
2. City shall not unreasonably prohibit the transference of reimbursement agreement to a successor owner/operator conducting similar recreational vehicle dealership/leasing operations.
3. City shall not unreasonably deny or delay building permitting and occupancy permits, provided plans and applications for same are submitted by Company in timely fashion and according to applicable City code.

US Adventure RV Obligations

1. Execute lease to occupy no less than 7500 square feet and establish a US Adventure RV dealership at 120 S. Randall Road, St. Charles with opening date no later than June 1, 2013
2. Remain and continue business operations at above-referenced location, or elsewhere within the City of St. Charles, for a period of no less than ten (10) years from June 1, 2013.
3. Make certain improvements to above-referenced property, including but not limited to the following activities and associated cost estimates:
 - a. Demising Walls - \$50,000
 - b. Dock Fill in - \$8,000
 - c. Wash Bay - \$25,000
 - d. Overhead Doors - \$42,000
 - e. Lift - \$10,000
 - f. LP Gas Fill Station - \$7,000
 - g. RV Dump Station - \$8,000
 - h. Signage - \$35,000
4. Make certain additional investments per business plan and relocation expenses, to include but not limited to the following activities and associated cost estimates:
 - a. Furniture and fixtures - \$15,000
 - b. Comprehensive advertising and marketing effort - \$60,000
 - c. Employee relocations, hiring and training - \$95,000
 - d. Other miscellaneous moving expenses - \$30,000