

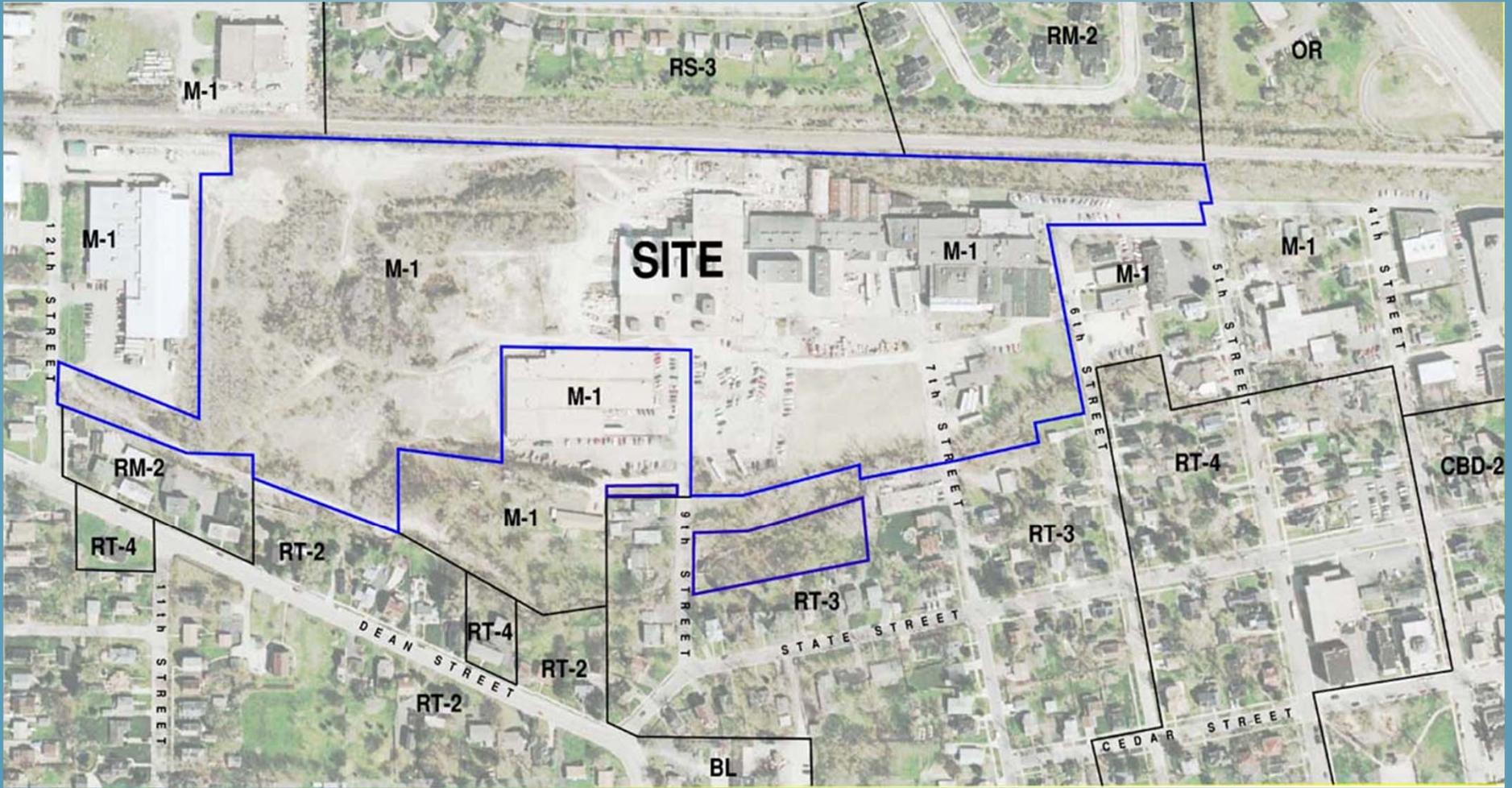
Presentation to Planning Commission
September 20 2011

LEXINGTON CLUB
LEXINGTON HOMES

LEGAL
HANK STILLWELL

PROJECT TEAM

- Developer:
Lexington Homes
- Legal:
Rathje & Woodward, LLC
- Environmental:
Huff & Huff, Inc.
- Planner & Architect:
BSB Design, Inc.
- Landscape Architect:
Pugsley & La Haie, Ltd.
- Civil Engineer:
Wills Burke Kelsey Associates, Ltd. (WBK)
- Traffic Engineer:
Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA)





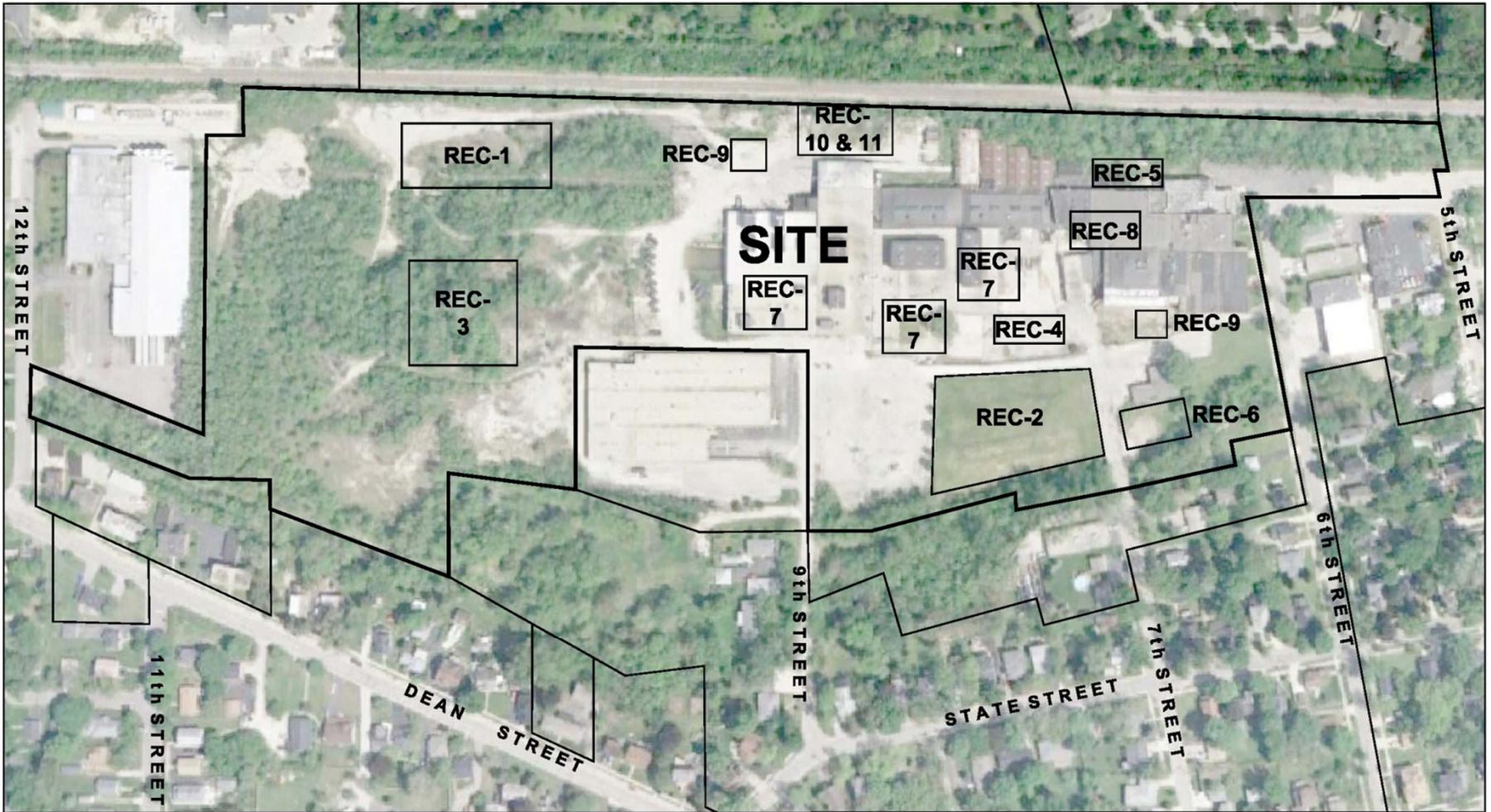
ENVIRONMENTAL
JIM HUFF

BACKGROUND

- *Huff & Huff has worked for the City of St. Charles for over 25 years.*
 - *Consultant of Record for the First Street Redevelopment remediation*
 - *Just completed a remediation of a LUST at the St. Charles CC*
 - *Completed the environmental work on the new Red Gate Bridge*
- *Huff & Huff, Inc. has been involved with this site since 2006. We have:*
 - *Reviewed previous reports*
 - *Conducted soil borings*
 - *Conducted a series of test pits across the site*

SITE HISTORY

- *Original Manufacturing Buildings constructed in early 1900s.*
- *Rope nets and hammocks were manufactured from early 1900s into the late 1920s.*
- *From the late 1920s to 2005, pressed wood pulp and fibrous composite products were manufactured. Large Quantity Generator of Hazardous Waste.*
- *Had coal-fired boiler at one time.*



RECOGNIZED ENVIRONMENTAL
CONDITIONS (RECs)

*IDENTIFIED
RECOGNIZED
ENVIRONMENTAL
CONDITIONS*

- *REC-1: Former Buried Drum Area*
- *REC-2: Former Settling Lagoons*
- *REC-3: Mounds on Western Portion of Property*
- *REC-4: Former Leaking Gasoline UST*
- *REC-5: Former Panapol UST*
- *REC-6, 7, 8 & 9:
Former Heating Oil UST and Press Pits*
- *REC-10: Abandoned Phenol UST*
- *RC-11: Former Lacquer AST and Peroxide Storage Shed*

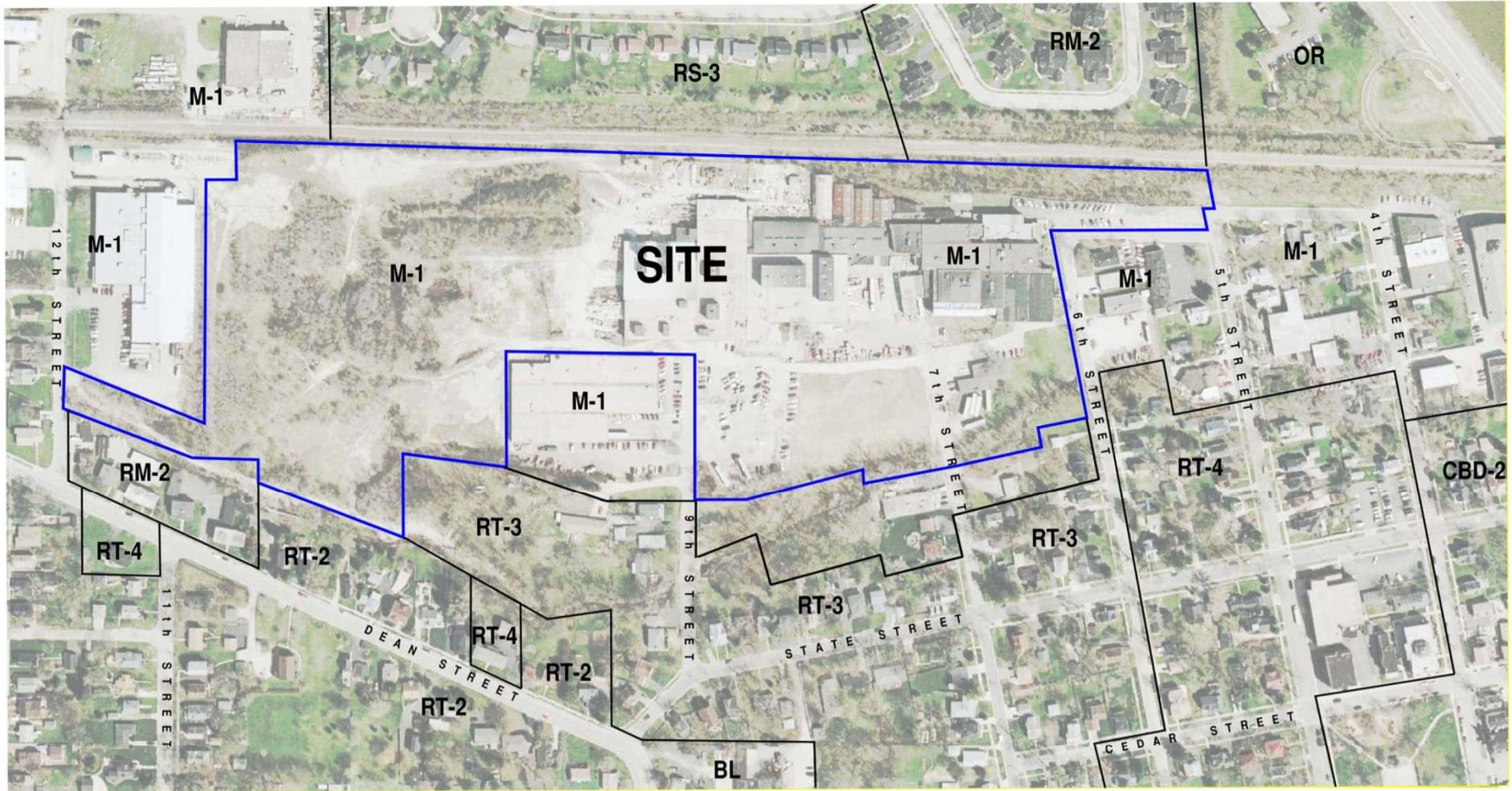
REMEDICATION APPROACH

- *Install Monitoring wells at RECs and at perimeter of site*
- *Remove all pits and sumps and associated impacted soil and sample*
- *Enroll in IEPA Site Remediation Program for focused No Further Remediation Letter for Contaminants associated with this site*
- *Prioritize RECs by location*
- *Complete delineation and remediation by REC*
- *Prepare Reports by REC, including Site Investigation Report, Risk Assessment, Remedial Action Plan, and Remedial Action Completion Reports and submit to IEPA for review*

ESTIMATED REMEDICATION

- *Based on work completed to date, an estimated 8,000 to 9,000 cubic yards of impacted soil will need to be removed and landfilled.*
- *Our goal is to remediate the site so as not require any engineered barriers or construction worker cautions.*

PLANNING
TERRY SMITH



Lexington Homes
 1731 North Marcey Suite 200
 Chicago, IL 60614
 312-280-0980

Zoning Exhibit

The Lexington Club
 St. Charles, Illinois

Date: July 21, 2011
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The drawings presented are illustrations of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)





SITE DATA

| | |
|-------------------------|------------|
| Total Acres | 27.8ac |
| Residential Acres | 19.7ac |
| Private Open Space | 2.3 |
| Storm Water Mgmt | 4.9 |
| Public Park | 0.9 |
| Environmental | 5.1 |
| Single Family Homesites | 53 |
| Townhouse | 122 |
| TOTAL UNITS | 175 |

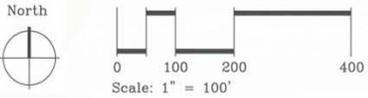


Exhibit 3

Site Plan
the Lexington Club
 St. Charles, Illinois



August 2008

lexington Homes
 Chicago, Illinois

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SITE INFORMATION

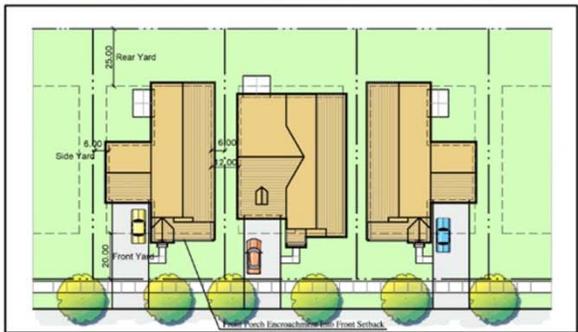
26.95 acres -Gross Total
 20.05 acres -Net Residential
 6.90 acres -Storm Water/Open Space

Residential Data

28 - Single Family Lots (56', 58' x 110')
 102 - Townhomes
 12 - Row Homes
 142 Total Units

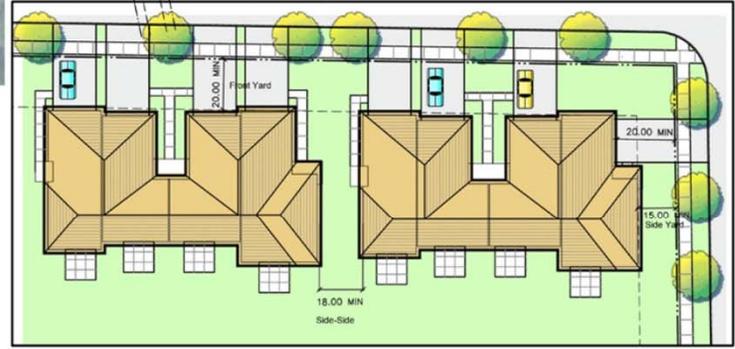
Total Parking

260 Off-Street Guest Spaces
 284 Garage Spaces
 62 Garage Spaces per Unit
 544 Total Spaces (3.82:1)



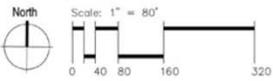
Typical Single Family Lot Layout

Scale: 1"=20'



Typical Townhome Layout

Scale: 1"=20'



Concept Site Plan

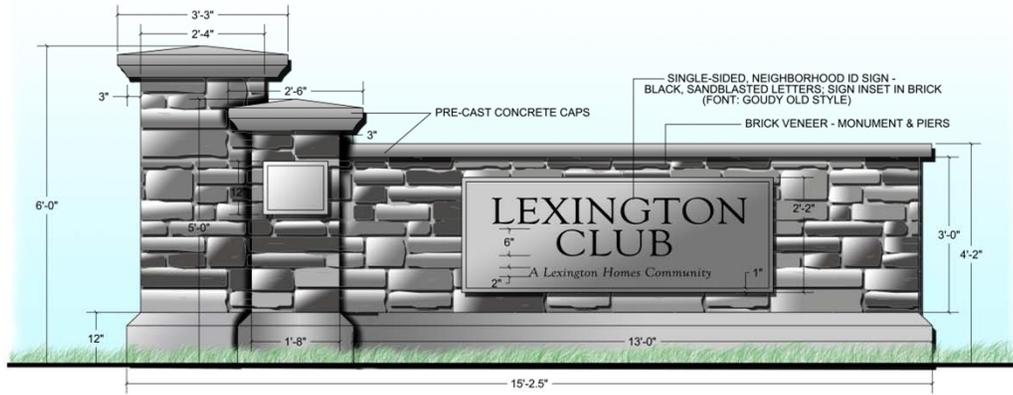
The Lexington Club
 St. Charles, Illinois

Date: July 21, 2011

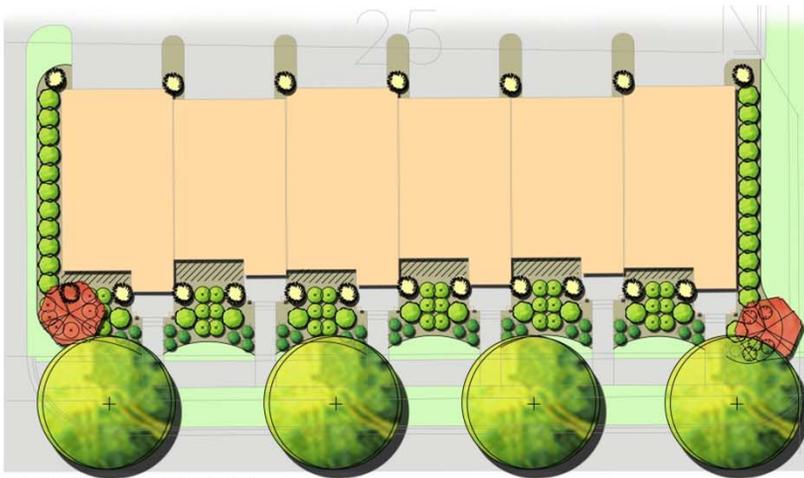


*LANDSCAPE
ARCHITECTURE
SHARON DICKSON*





ENTRANCE MONUMENT - PLAN & ELEVATION VIEWS (7TH STREET)
SCALE: 1/2" = 1'-0"



TYPICAL FOUNDATION LANDSCAPE PLAN - ROW HOUSES
SCALE: 1" = 10'-0"



TYPICAL FOUNDATION LANDSCAPE PLAN - TOWN HOUSES
SCALE: 1" = 10'-0"

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PUGSLEY & LAHAIE LTD.
 LANDSCAPE ARCHITECTS AND CONTRACTORS
 2414 N. Old McHenry Rd., Lake Zurich, Illinois 60047-8804
 Tel: 847-382-8273 Fax: 847-382-8274 Email: pugsley@pugsley.com

LEXINGTON CLUB
 Preliminary Landscape Plan Exhibit
 LEXINGTON HOMES
 Chicago, IL

DATE: 09/25/11
 SHEET: 1 OF 1
 JOB NO.: 093703

ARCHITECTURE
JOE SAFIN





- Asphalt Shingles
- Aluminum Fascia & Soffit
- Smart Trim Panels
- Brick Veneer
- Smart Trim
- Designer Series
- Garage Doors

Plan 500 & 503: Prairie
scale: 3/16" = 1'-0"



- Asphalt Shingles
- Decorative Brackets
- Vinyl Accent Siding
- Smart Trim
- Aluminum Fascia & Soffit
- Smart Trim Columns
- Stone Veneer
- Designer Series
- Garage Doors

Plan 500: Craftsman
scale: 3/16" = 1'-0"



- Asphalt Shingles
- Decorative Louvers
- Vinyl Horizontal Siding
- Smart Trim
- Typical Shutters
- Aluminum Fascia & Soffit
- Smart Trim Columns
- Designer Series
- Garage Doors

Plan 501: Farmhouse
scale: 3/16" = 1'-0"



- Asphalt Shingles
- Aluminum Fascia & Soffit
- Smart Trim Panels
- Typical Shutters
- Smart Trim
- Decorative Brackets
- Smart Trim Columns
- Stone Veneer
- Designer Series
- Garage Doors

Plan 501: French Country
scale: 3/16" = 1'-0"

Character Elevations

Lexington Homes
Chicago, IL

bsbdesign.com
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Lexington Club
St. Charles, IL



July 21, 2011
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- Asphalt Shingles
- Aluminum Fascia & Soffit
- Smart Trim Panels
- Typical Shutters
- Decorative Brackets
- Smart Trim
- Brick Veneer
- Smart Trim Columns
- Designer Series Garage Doors

Plan 502: Tudor
scale: 3/16" = 1'-0"



- Asphalt Shingles
- Decorative Louver
- Vinyl Accent Siding
- Aluminum Fascia & Soffit
- Typical Shutters
- Vinyl Horizontal Siding
- Smart Trim
- Smart Trim Columns
- Brick Veneer
- Designer Series Garage Doors

Plan 502: Victorian
scale: 3/16" = 1'-0"



- Asphalt Shingles
- Typical Shutters
- Smart Trim
- Vinyl Horizontal Siding
- Aluminum Fascia & Soffit
- Smart Trim Columns
- Brick Veneer
- Designer Series Garage Doors

Plan 503: Four Square
scale: 3/16" = 1'-0"



- Asphalt Shingles
- Aluminum Fascia & Soffit
- Smart Trim Panels
- Typical Shutters
- Brick Veneer
- Smart Trim
- Smart Trim Columns
- Designer Series Garage Doors

Plan 503: Old English
scale: 3/16" = 1'-0"

Character Elevations

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Chicago, IL

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St. Charles, IL

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Plan 500 & 503: Prairie - Side Elevation
 scale: 3/16" = 1'-0"



Plan 500: Craftsman - Side Elevation
 scale: 3/16" = 1'-0"



Plan 501: Farmhouse - Side Elevation
 scale: 3/16" = 1'-0"



Plan 501: French Country - Side Elevation
 scale: 3/16" = 1'-0"

Character Elevations

Lexington Homes
 Chicago, Illinois

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Typical Streetscapes

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Chicago, IL

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- Asphalt Shingles
- Vinyl Horizontal Siding
- Aluminum Fascia & Soffit
- Typical Shutters
- Brick Veneer
- Smart Trim Columns

Front Elevation - 4 Unit Building

scale: 3/16" = 1'-0"

Designer Series Garage Doors



- Asphalt Shingles
- Vinyl Vertical Siding
- Aluminum Fascia & Soffit
- Typical Shutters
- Vinyl Horizontal Siding
- Stone Veneer
- Smart Trim Columns

Front Elevation - 5 Unit Building

scale: 3/16" = 1'-0"

Designer Series Garage Doors

Character Elevations

Lexington Homes
Chicago, IL

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St. Charles, IL

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Side Elevation - Unit B

scale: 3/16" = 1'-0"



Side Elevation - Unit C

scale: 3/16" = 1'-0"

Asphalt Shingles

Aluminum Fascia
& Soffit
Typical Shutters

Vinyl Horizontal
Siding
Brick Veneer

Smart Trim Columns

Designer Series Garage Doors



Rear Elevation - 4 Unit Building

scale: 3/16" = 1'-0"

Asphalt Shingles

Aluminum Fascia
& Soffit

Vinyl Horizontal
Siding

Brick Veneer

Smart Trim Columns

Character Elevations

Lexington Homes
Chicago, IL

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St. Charles, IL

July 21, 2011

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Rear-Load Row Homes

Lexington Homes
Chicago, Illinois

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Rear-Load Row Homes

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 Chicago, Illinois

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 St. Charles, Illinois

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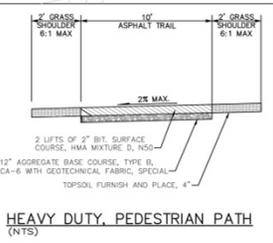
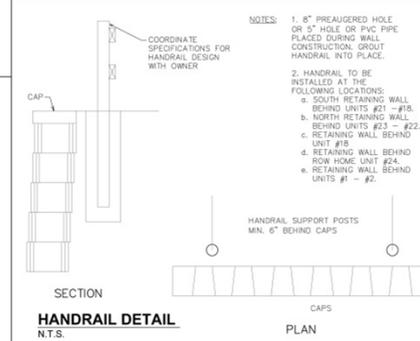
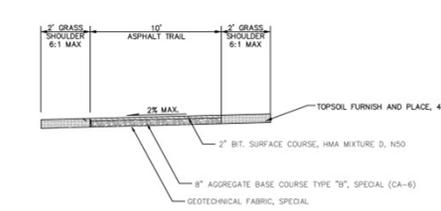
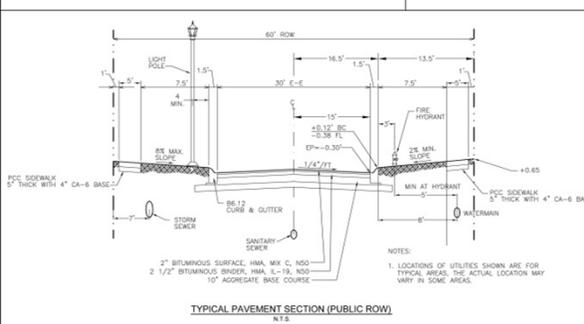
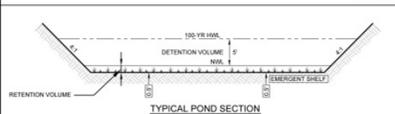
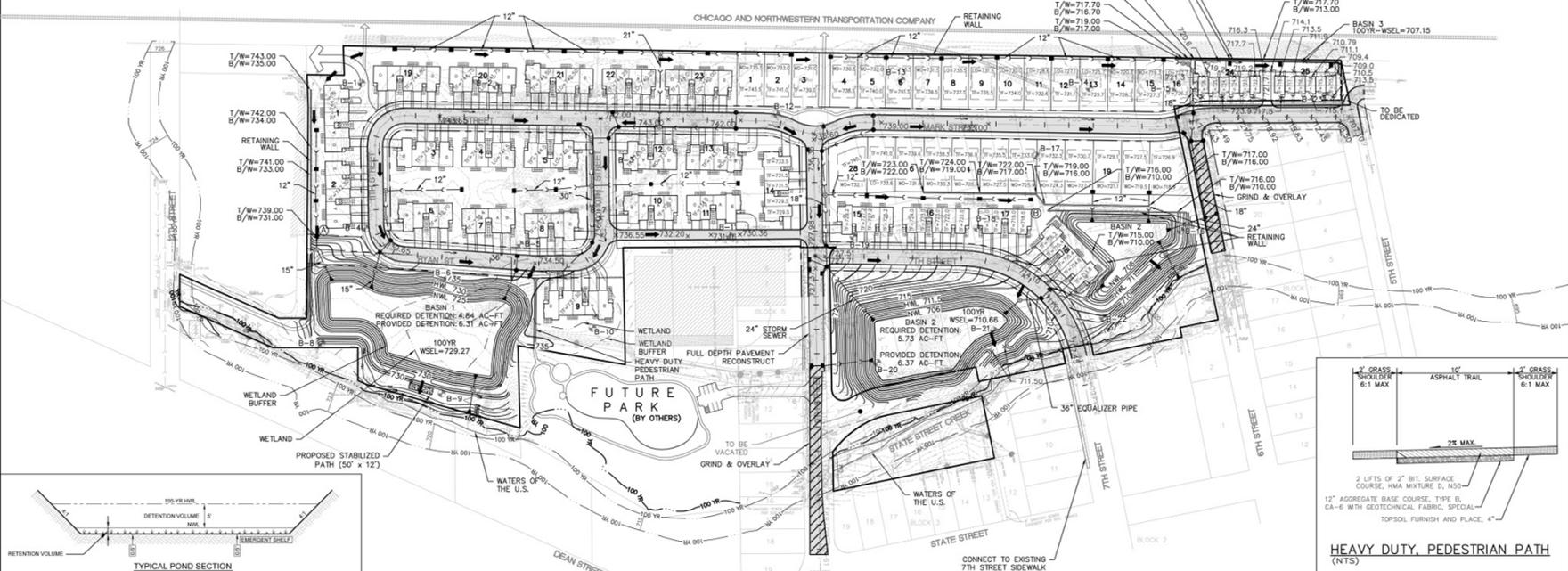
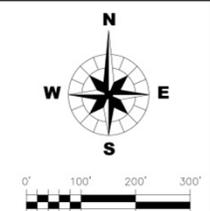
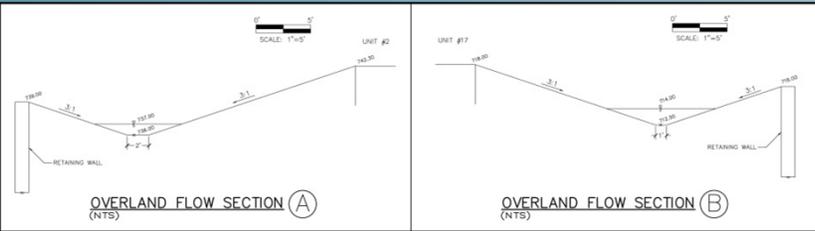


TRAFFIC ENGINEERING

LUAY ABOONA



CIVIL ENGINEERING
CHRIS LINDLEY



LEXINGTON CLUB

GRADING PLAN

TITLE:

| | | | |
|--------|------|-----|-----|
| DESIGN | VRD | EAM | JCL |
| DRAWN | CHND | JCL | JCL |

SCALE: 1" = 80'

DATE: 12/17/2010

PROJECT NO. 08-9410

DATE: 12/17/2010

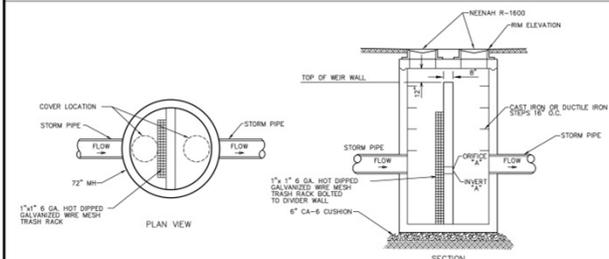
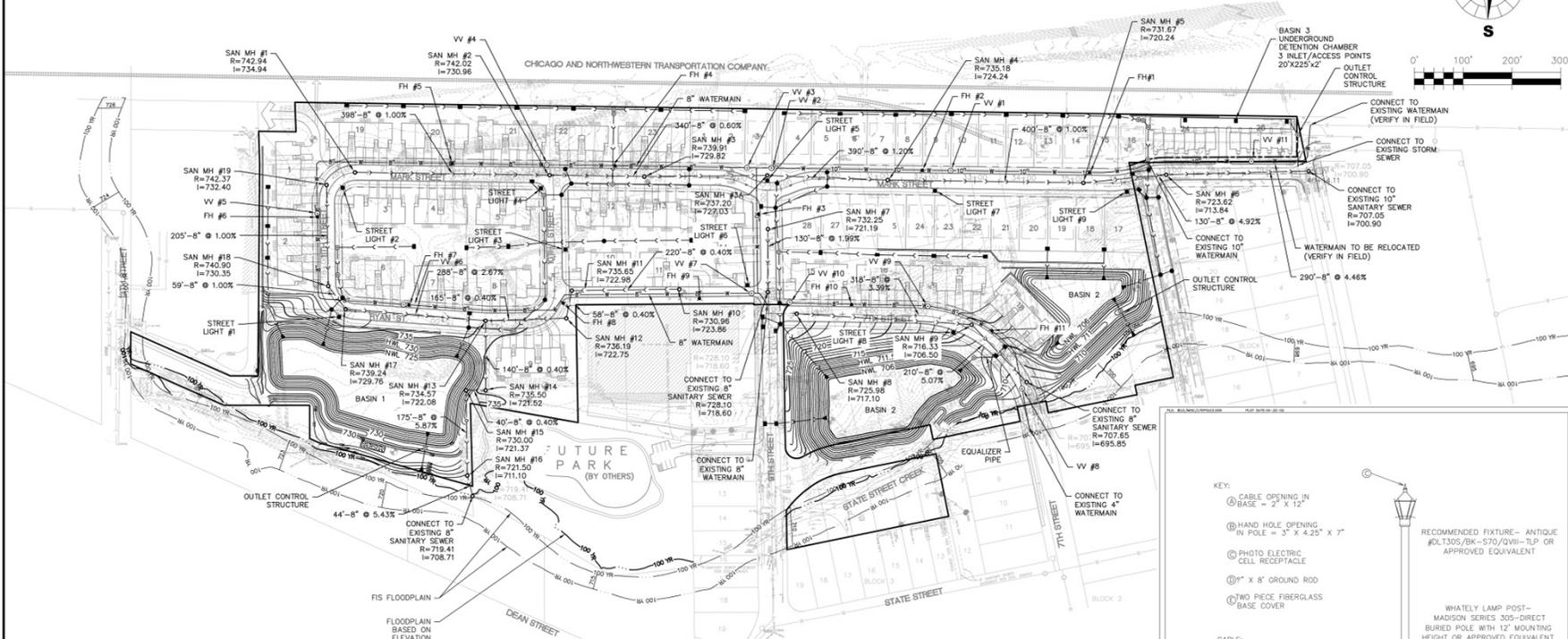
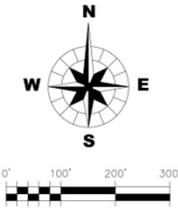
SHEET 3 OF 10

DRAWING NO. GR1

WILLS BURKE KEELSEY ASSOCIATES LTD
116 West Main Street, Suite 201
St. Charles, Illinois 60174
(630) 443-7755

LEXINGTON HOMES
1731 N. MARCEY ST., SUITE 200
CHICAGO, IL 60614
(773) 360-0300

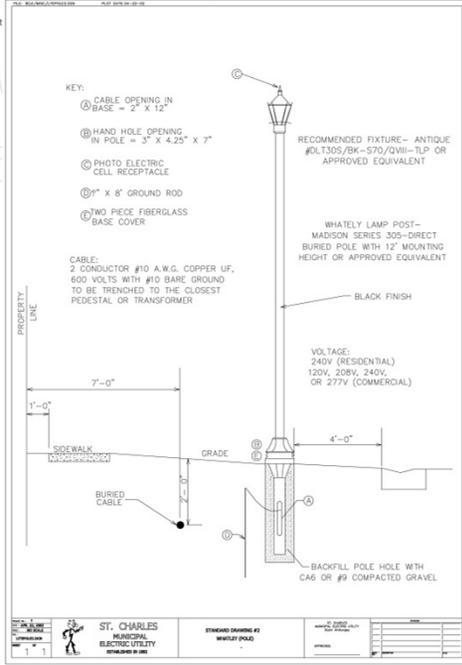
NOTE:
 * ALL SANITARY SEWER TO BE 8" PVC SDR26.



DETENTION BASIN CONTROL STRUCTURE
 NOT TO SCALE

| SUMMARY TABLE | | | |
|---------------|------------------|------------|------------|
| BASIN NUMBER | TOP OF WEIR WALL | INVERT "A" | ORFICE "A" |
| #1 | 730.00 | 729.00 | 4.44" |
| #2 | 711.00 | 710.90 | 4.56" |
| #3 | 708.00 | 705.30 | 1.2" |

NOTES:
 1. ALL SANITARY SEWER MANHOLES AS POINTS OF CONNECTION SHALL BE REPLACED.



LEXINGTON CLUB
 UTILITY PLAN

| DESIGN | VRD | EAM | JCL |
|--------|-----|-----|-----|
| | | | |

SCALE: 1" = 80'
 PREPARED BY: J. CHARLES
 CHECKED BY: J. CHARLES
 DATE: 12/17/2010
 NO. OF REVISIONS: 0

CLIENT:
LEXINGTON HOMES
 1731 N. MARCEY ST., SUITE 200
 CHICAGO, IL 60614
 (773) 360-0300

CLIENT:
WILLS BURKE KEISLEY ASSOCIATES LTD
 116 West Main Street, Suite 201
 St. Charles, Illinois 60174
 (630) 443-7755

PROJECT NO. 06-941D
 DATE: 12/17/2010
 SHEET 4 OF 10
 DRAWING NO.

UT1