

DOWNTOWN SITE FEASIBILITY STUDY

ST CHARLES, IL

September 2025



TABLE OF CONTENTS

EXECUTIVE SUMMARY	5
INTRODUCTION & SITE CONTEXT	7
EXISTING SITE CONSIDERATIONS	17
DEVELOPMENT SCENARIOS	33
RECOMMENDATIONS & NEXT STEPS	69



EXECUTIVE SUMMARY

As a riverfront site adjacent to a thriving downtown, the former Police Department facility represents a remarkable asset for the City of St. Charles. Currently occupied by a vacant building, the site stands as a prime opportunity for redevelopment with significant potential to meet the evolving needs and aspirations of the St. Charles community. This study investigates that opportunity while also documenting the challenges that any future effort must address to successfully redevelop the site.

As detailed in the first two chapters, the report documents a comprehensive set of opportunities and constraints. Its riverfront location provides exceptional views and access to recreation, enhancing its appeal as a destination and community gathering place. At the same time, the proximity to the river brings inherent flood risks that must be thoughtfully managed. Similarly, the site's location near downtown creates strong market potential and connectivity benefits but also means it is traversed by extensive regional utility infrastructure that will influence redevelopment approaches. Successfully balancing these opportunities and constraints will be essential for any future project.

Building on this foundation, the third chapter of the study explores a series of conceptual development scenarios. Each scenario was carefully crafted to address the site's unique

constraints while capitalizing on its many advantages, testing a variety of potential land uses. Given the wide range of possibilities considered, the study includes a scoring matrix to systematically compare the relative merits, trade-offs, and challenges of each option. This structured approach provides a clear framework for evaluating which concepts best align with the community's goals and the site's realities.

In the final chapter, the study makes a set of recommendations to help advance the redevelopment effort. First among them is the suggestion that the City of St. Charles use the findings of this study to narrow the range of potential uses. While it may not be necessary

to select a single scenario at this stage, identifying a smaller set of preferred concepts will help focus future efforts and sustain momentum. This clarity will also better position the City to engage developers, secure funding, and coordinate necessary infrastructure planning.

One valuable next step in this process would be to undertake a robust community engagement effort. Broadening the dialogue to include residents, local businesses, and other stakeholders will bring diverse perspectives to the table, tapping into the community's deep knowledge of the site. Such engagement not only enriches the planning process but

also helps cultivate local advocates and ambassadors who can champion the project through implementation.

Ultimately, this study demonstrates that the former police station site has the potential to become a vibrant, dynamic addition to Downtown St. Charles. By thoughtfully navigating the site's challenges and opportunities while inviting the community to help shape its future, the City has an opportunity to create a lasting legacy along the riverfront. One that enhances quality of life, supports economic vitality, and reflects the shared vision and pride of St. Charles.



CHAPTER 1

INTRODUCTION & SITE CONTEXT

PROJECT INTRODUCTION

As part of its commitment to strategic reinvestment and economic development, the City of St Charles has initiated a feasibility study to explore the redevelopment potential of the former police station site located in the heart of the city. This report presents the findings of that study, including an assessment of existing conditions, an exploration of land use scenarios, and a series of tailored recommendations designed to guide future decision-making.

Located within the vibrant context of downtown St. Charles, the former police station site offers a unique opportunity to advance community objectives. The site's proximity to key civic, commercial, and recreational amenities makes it an attractive candidate for redevelopment. However, realizing its full potential requires a comprehensive understanding of the site's constraints and opportunities, careful alignment with the City's vision and policies, and an objective approach to evaluating viable land uses.

The purpose of this study is to provide the City of St. Charles with a clear, objective framework for considering the redevelopment of the former police station site. This process included a thorough review of previous planning efforts, an inventory and analysis of current infrastructure and utilities, the development of multiple land use scenarios, and the formulation of strategic recommendations. Each step was guided

by the overarching goal of ensuring that any redevelopment effort contributes meaningfully to the long-term health and vibrancy of the community.

To establish a foundation for this study, our team conducted a comprehensive review of all relevant planning documents, policies, and past studies that impact the site and surrounding area. This included the City's comprehensive plan, downtown subarea studies, zoning ordinances, and economic development strategies. By synthesizing these materials, we were able to identify key themes, priorities, and regulatory considerations that would inform the feasibility analysis. This review also ensured that any proposed redevelopment scenarios would be consistent with the City's broader planning objectives.

In addition to a comprehensive review of all relevant planning efforts, documents and policies, an in-depth assessment of existing site conditions was also completed. This included a detailed survey of the existing infrastructure, such as roadway access, utilities (water, sanitary, stormwater, and electrical systems), and other physical features. The analysis also took into account environmental factors and adjacent land uses that could influence redevelopment potential. This survey helped identify both site constraints that would need to be addressed and assets that could be leveraged to support future development.



With a solid understanding of the site’s context, our team developed a series of preliminary land use scenarios that explored a range of redevelopment possibilities. These scenarios considered diverse uses, including residential, commercial, mixed-use, and civic spaces, each evaluated against key performance indicators such as market viability, compatibility with surrounding uses, traffic and parking considerations, and alignment with community

goals. This iterative process allowed for a comparative analysis of benefits and trade-offs, ultimately narrowing the focus to the most promising approaches.

Based on this analysis, the study concludes with a set of strategic recommendations tailored to the unique characteristics of the site and the aspirations of the City. These recommendations address both the physical

development concepts and the policy or process considerations necessary to implement them. By outlining actionable next steps, this study serves as a roadmap for moving forward with the site redevelopment.

This report is organized to provide a clear narrative of the study process and its outcomes. Following this introduction, the report presents the findings from the

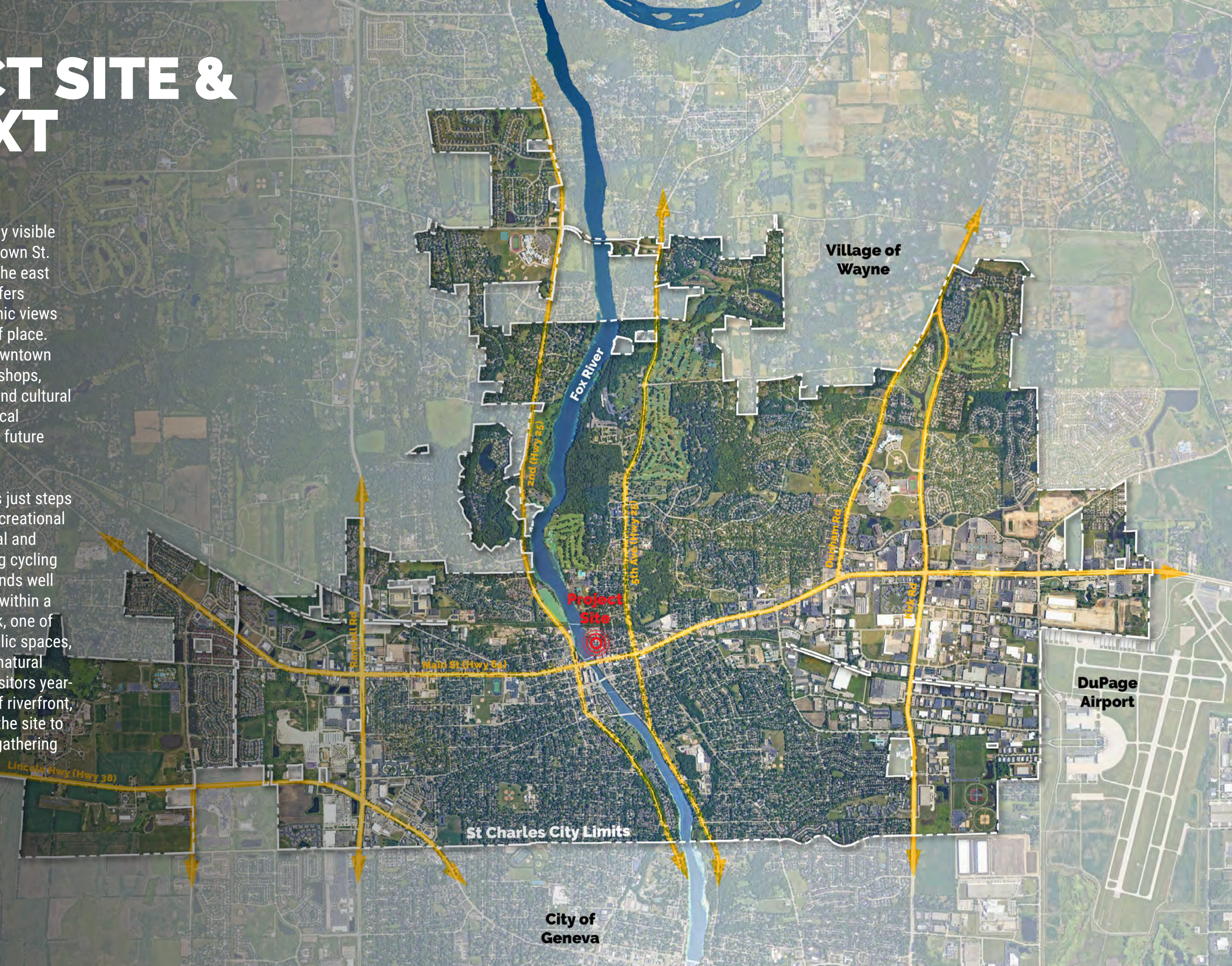
infrastructure and site assessments, describes the land use scenarios evaluated, and concludes with the recommendations for next steps in the process. Together, these sections provide a comprehensive framework to guide the City of St. Charles as it considers the next chapter for this important community asset.



PROJECT SITE & CONTEXT

The project site occupies a highly visible and prominent location in downtown St. Charles, Illinois. Situated along the east bank of the Fox River, the site offers direct riverfront access and scenic views that reinforce its strong sense of place. Its central position within the downtown core ensures close proximity to shops, restaurants, civic destinations, and cultural amenities, making it a natural focal point for community activity and future investment.

Adding to its appeal, the site lies just steps from major regional and local recreational assets. It connects easily to local and regional bicycle trails, supporting cycling and pedestrian activity that extends well beyond the city. The site is also within a short walk of Pottawatomie Park, one of St. Charles' most significant public spaces, offering recreation, events, and natural areas that draw residents and visitors year-round. This unique confluence of riverfront, trail, and park access positions the site to serve as a vibrant gateway and gathering place.



PROJECT SITE & CONTEXT

However, redevelopment will need to carefully address existing infrastructure conditions. The site includes existing utility systems such as water, sanitary, storm, and electrical lines in addition to regional assets and services that must be maintained throughout the redevelopment. Upgrades, relocations, or creative design solutions may be required to accommodate new uses.

In all, the site's rare combination of riverfront setting, trail and park connectivity, and embedded downtown location creates a compelling opportunity. With thoughtful planning and strategic investment, this property can become a transformative catalyst that enhances community life and advances St. Charles' long-term vision for its downtown.





CHAPTER 2

EXISTING SITE CONSIDERATIONS

ABOVE GRADE DEVELOPMENT CONSIDERATIONS

Our site investigation began by researching the existing zoning regulations and conducting a site visit to observe any above grade conditions. After followup research and analysis of the various opportunities and constraints on the site, the team created the adjacent diagram to show the realistic site available for development. The major contributing factors to that analysis are detailed below.

- 1 MAINTAIN UTILITY ACCESS ALONG RIVERSIDE**
There are a variety of utility and infrastructure facilities located to the north of the site that are primarily accessed via Riverside Ave.
- 2 60' RIVERFRONT BUFFER**
Per an amendment to the Comprehensive Plan and in order to ensure public access to the river, a continuous 60' buffer should be maintained throughout the site.
- 3 MAINTAIN STATE AVE VIEW CORRIDOR**
Per an amendment to the Comprehensive Plan, a visual connection along State Ave to the river should be maintained.

- 4 ACCOMMODATE FIRE STATION TRAFFIC**
There is an existing fire station on the east side of Riverside. Any future development should be careful not to create any conflict with its operations.
- 5 OVERHEAD ELECTRICAL**
There are currently two sets of overhead electrical lines that run just to the east of Riverside Ave as shown. The upper set runs to the substation to the north and the lower lines are for local distribution.
- 6 MAINTAIN WELL STRUCTURE & ACCESS**
The deep water supply well currently located in the existing courtyard is a critical piece of the regional water supply. Water is pumped through a line that runs north from the building to a treatment facility just northeast of the site. It would be impractical to move either of these elements and any proposed development would need to ensure that its operation isn't impacted.



PARKING CONSIDERATIONS

Parking is always a key consideration in site redevelopment, and it becomes even more critical on a site like this one due to the limited space and adjacent land uses. The adjacent map shows all the parking assets near the site according to a parking study that was conducted by the City in 2024.

The study conducted a variety of parking counts to measure usage for both on and off street parking facilities. Through these counts, it established a peak usage of 88% on a typical Saturday evening for off street parking lots on the east side of the Fox River. For on street spaces, it found a peak usage of 76% but noted many available spaces along Riverside north of State. Overall, the study found that the City has adequate downtown parking supply for the current conditions but that future demand may change due to a variety of factors.

Based on these findings, this study preserved as much of the existing parking supply as possible and attempted to incorporate all required parking on site so as not to create additional demand on the existing parking assets. The adjacent map shows that this study only considers impacting two lots that are directly connected to the existing Police facility. It was assumed that the remaining lots/spaces would continue to operate as they do today.

It should be noted that parking in this area is used by municipal employees, including

emergency services personnel, as well as visitors to City Hall. Adequate parking must be maintained to ensure continued accessibility to this essential public facility.

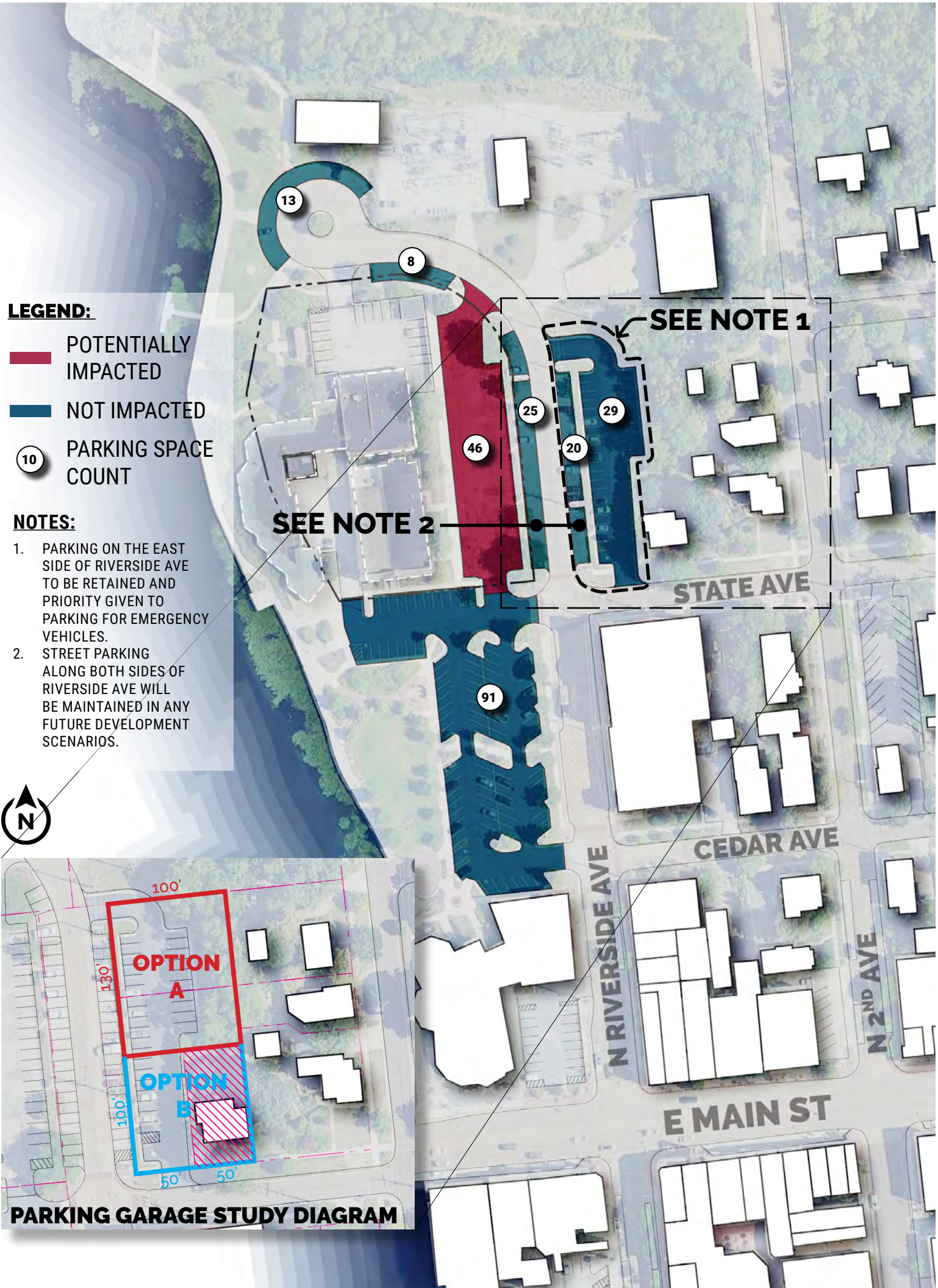
PARKING GARAGE STUDY:

In order to potentially increase the parking supply in the area, the study looked at the possibility of building a parking garage east of Riverside Ave over the existing lot.

The 2024 Parking study lists the ideal size for a parking garage as 125' x 300' and a minimum size of 90' x 160'. Based on these dimensions, we studied two options. Option A considers the 100' x 130' north half of the site while Option B includes the site all the way south to State Ave and includes the acquisition of the adjacent property (shown hatched below).

Neither option is ideal and both would be complicated and expensive to build. However, there is a 30' grade difference between Riverside and 2nd Avenues which could help mitigate the visual impact of a garage structure.

After considering the necessary ramping it was estimated Option A would yield ~30 spaces/floor and Option B would yield ~60 spaces. Assuming 3 floors above grade, this site would yield somewhere between 90 and 180 spaces. With a three-story garage there is also a possibility of an additional access point off of Chestnut Ave. This would, however, require acquiring additional land and may not be worth the increase in parking yields.



BELOW GRADE CONSIDERATIONS

For this site, the below grade development considerations are just as important, if not more so, than the above grade considerations. There are a lot of utilities that run through the site and many of them are main lines that are connected to larger, regional systems. Therefore it was necessary to conduct a full review of all the utilities that run through the site and how they fit into the larger system.

This enabled us to determine which elements could move and which ones would be very difficult and/or expensive to move. To facilitate development, building footprints should avoid existing utilities and be set back a sufficient distance to ensure safe access for maintenance. The adjacent diagram shows the underground utility network and our high level guidance.

- 1

MAINTAIN WELL STRUCTURE AND ACCESS
The deep water supply well currently located in the existing courtyard is a critical piece of the regional water supply. Water is pumped through a line that runs north from the building to a treatment facility just northeast of the site. It would be impractical to move either of these elements and any proposed development would need to ensure that its operation isn't impacted.
- 2

UNDERGROUND WATER LINES
Water mains currently run north south through the site as shown. Because they connect to downstream infrastructure, moving these lines would be costly and should be avoided.

- 3

UNDERGROUND ELECTRICAL & TRANSFORMER PAD
Currently there are underground electrical lines that run to a transformer pad located adjacent to the existing facility. This transformer and service would likely need to be relocated in any proposed development.
- 4

UNDERGROUND SANITARY LINE
A sanitary line runs underground just to the west of Riverside Ave. This trunk line is part of a larger network that runs from a pump station that crosses under the river. Relocating this line is impractical and it should be avoided.

LEGEND:

- WATER SUPPLY LINE
- SANITARY LINE
- UNDERGROUND ELECTRICAL LINE



TOPOGRAPHY, BEDROCK & FLOODPLAIN

As a riverfront site, the topography, depth of bedrock and potential flooding will all play a significant role in any potential redevelopment of the site. All three of these were investigated by the team and the adjacent map illustrates our findings.

First, the topography is illustrated with the colored shading. The site gently slopes up from the river at +688' to +715' along the eastern edge of the site.

Shallow bedrock is also known to be a factor in the area and a series of soil borings were conducted to understand this condition better. In general, bedrock was found between 4' and 7' below the surface which significantly reduces the possibility of any below grade construction.

Lastly, the extent of the existing floodplain is shown with the red dashed line. Any construction in this area should carefully consider how it is addressing this condition.

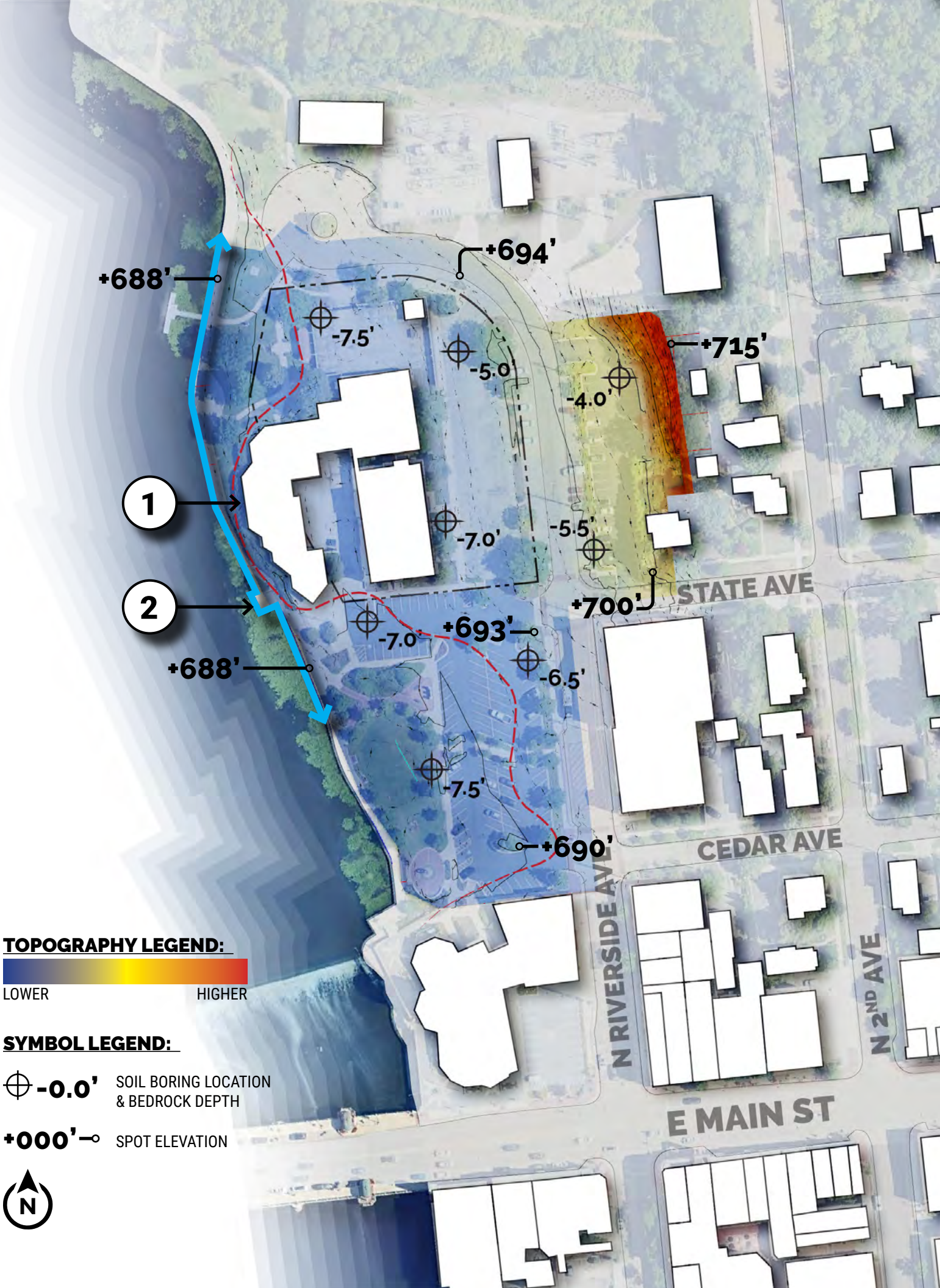
For example, to accommodate the existing police station, a retaining wall was built along the western edge (See Note 1 and photos on the next page). If this wall was removed and the grade not maintained, the floodplain would likely move further into the site and potentially impact development.

It should also be noted that the existing river edge is maintained by a concrete wall that is likely in need of improvement. See photos on the next page for more information on both of these elements. Buildings in designated floodplains require floodproofing measures which may include elevated construction, waterproof materials, and additional structural reinforcements, all of which represent a substantial added expense to the overall project cost.

- 1

MAINTAIN EXISTING RETAINING WALL
The existing retaining wall should be maintained to ensure that the current building is kept out of the flood plain.
- 2

RIVERFRONT SEAWALL REPAIR
Approximately 1,100 linear feet of seawall along the riverfront is in need of repair. The City should consider incorporating these repairs into the broader downtown redevelopment plans. An updated assessment of the seawall's condition is necessary to determine the precise cost; however, based on past estimates, the cost is likely to be quite expensive.



TOPOGRAPHY, BEDROCK & FLOODPLAIN



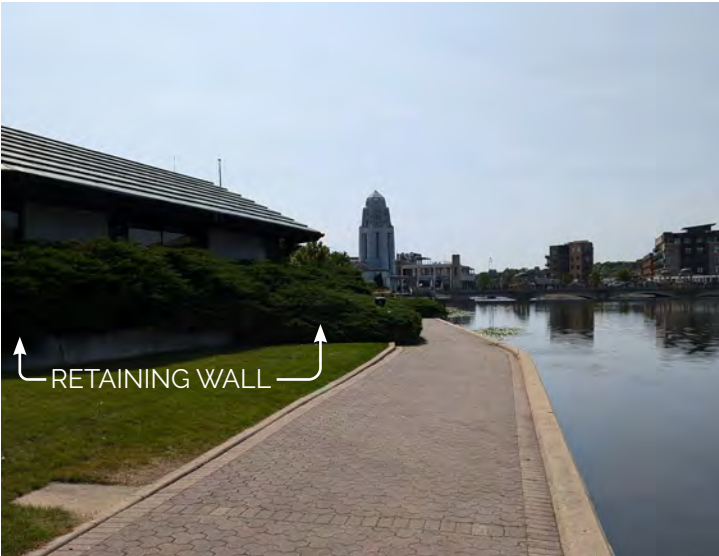
1 VIEW OF RIVER EDGE WALL



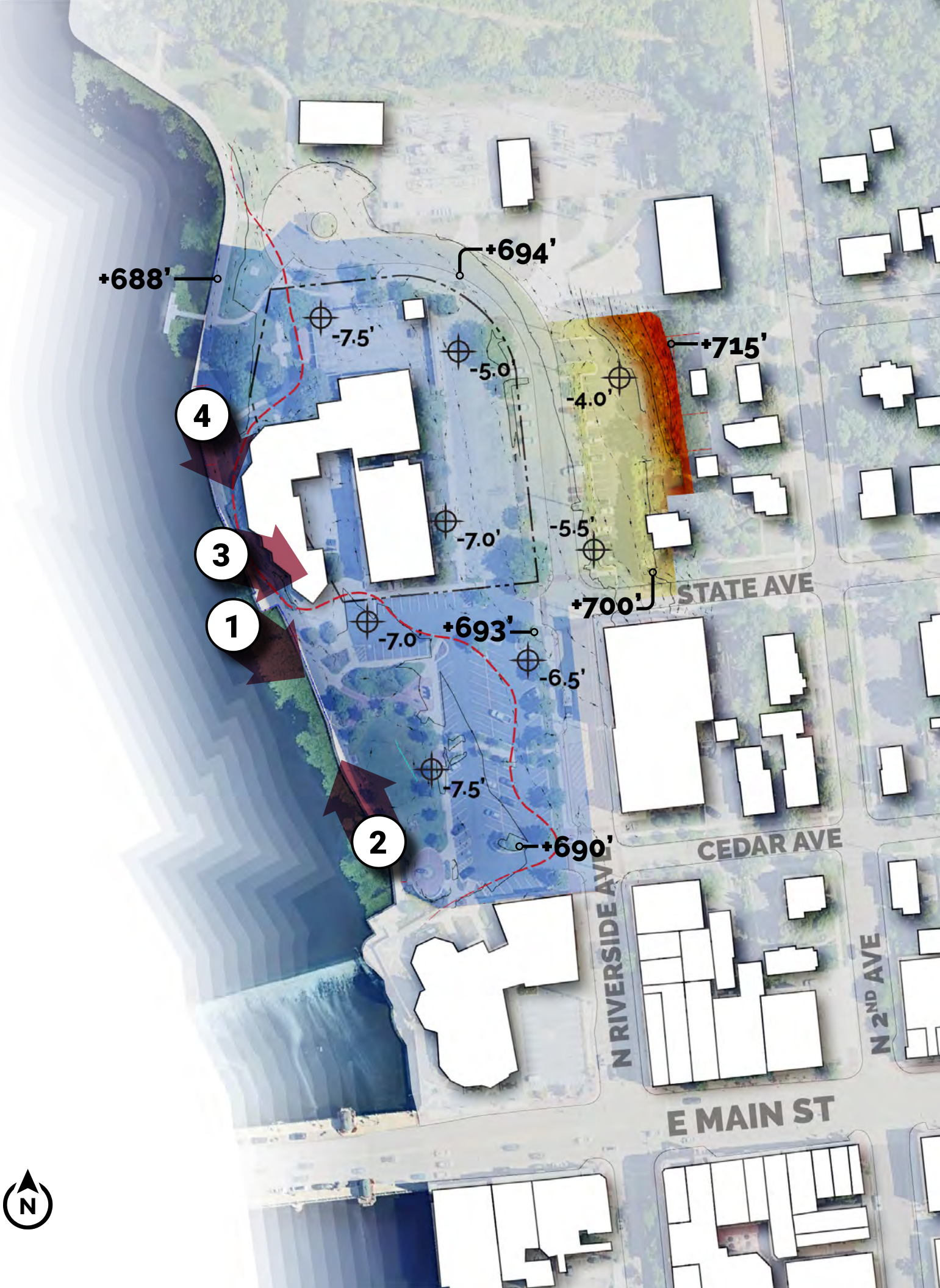
2 VIEW OF RIVER EDGE WALL



3 VIEW OF RETAINING WALL (behind planting)



4 VIEW OF RETAINING WALL



RIVERFRONT & OPEN SPACE CONSIDERATIONS

As continuation of the riverfront, this section plays an important role in connecting Pottawatomie Park to the north with Main Street and City Hall to the south. Another important connection is to the Great Western Trail Bridge which is just north of the site. Pictured here are some of the highlighted elements along the riverfront.

For the purposes of this study, only the Freedom Shrine is being considered for relocation based on its proximity to the existing building. However, any final relocation would be contingent on ongoing conversations with the appropriate organizations and finding a suitable future home for the exhibit. The Freedom Shrine could also be incorporated into any new development scenario.



1 PUBLIC BOAT / KAYAK LAUNCH



2 FREEDOM SHRINE



3 EKWABET STATUE



4 FREEDOM SHRINE



5 EXISTING PUBLIC PARK



DEMOLITION CONSIDERATIONS

As part of this study, the team analyzed the potential demolition of the former police station. The structure, originally built in the 1950s, includes one- and two-story sections constructed primarily of masonry, wood, and light steel. There are no basements, but areas such as the former jail cells are expected to require heavier-duty removal due to reinforced construction.

A comprehensive plan for the safe and efficient demolition was created by the team. Demolition will be completed using excavators, with dust suppression measures in place, and all debris will be sorted and recycled or disposed of at licensed facilities. Care will be taken to protect a nearby city well and to manage potential risks associated with pedestrian and emergency

vehicle traffic along adjacent roads and nearby bike paths. Care will also be taken to protect and preserve as many trees as possible.

Before demolition begins, all utilities will be disconnected, and any hazardous materials—such as asbestos, lead, and universal waste—will be removed by certified abatement contractors. A full erosion control plan will also be implemented to ensure environmental compliance throughout the process.

Two cost scenarios have been proposed: full demolition at \$575,200 and a reduced-scope option preserving the west building for \$407,320. Based on these estimates it is likely a potential developer would request financial assistance if required to demolish the building.

1 PRESERVE INTEGRITY OF WELL BUILDING & OPERATIONS

Structural integrity, operations and access to the well building needs to be maintained during and after demolition activities.

2 MAINTAIN FLOOD WALL DURING DEMOLITION

Structural integrity of the flood wall west of the facility needs to be maintained during and after demolition unless an appropriate flood mitigation plan has been developed.

3 RIVERFRONT ACCESS

To the extent possible, public access along the riverfront should be maintained during and after demolition activities.

4 PROTECT FREEDOM SHRINE & EKWABET STATUE

A plan to protect the Ekwabet Statue needs to be implemented before demolition activities can begin. In coordination with the appropriate stakeholders, a plan to preserve, protect and/or relocate the Freedom Shrine also needs to be developed prior to any demolition activities.





CHAPTER 3
**DEVELOPMENT
SCENARIOS**

DEVELOPMENT SCENARIOS

As a part of the study the team looked at a series of development scenarios to investigate the various land uses that might be viable on the site. These scenarios focused on accommodating the physical constraints of the site and should be considered preliminary and conceptual. No market or financial feasibility analysis was conducted for this exercise.

ADAPTIVE REUSE:

An adaptive reuse of the existing structure was considered. Based on the size, configuration and condition of the existing structure, a variety of potential uses were investigated.



PROGRAMMED OPEN SPACE:

The riverfront provides an essential amenity to the community and this site could be used to increase access to the river and host community events.



ENTERTAINMENT / FOOD & BEVERAGE BUSINESS:

The site’s riverfront location and proximity to downtown make it an opportunity for an entertainment use. This could include anything from food and beverage establishments to event spaces.



TOWNHOME:

One type of residential use that was considered is Townhomes. These lower scale developments usually bring a unique characteristic to market while still taking advantage of the potential of the site.



HOTEL:

Another potential use to consider based on the site context and location is some form of hotel. Future visitors would be able to easily enjoy all the activities along the river in close proximity to the downtown area.



MIXED USE:

Vibrant downtown developments often times include a mix of uses like residential, office, retail or other community amenity. The 1st Street Redevelopments just to the south of the project site are prime examples of this type of development.



MULTIFAMILY RESIDENTIAL:

Given the prominent downtown location along the river, multifamily residential is an appropriate and easily accommodated use. Potential residents would have great access to both the amenities of the downtown area and the riverfront.



ASSESSMENT METHODOLOGY

When assessing various potential land uses, it is helpful to create a set of individual criteria that can be analyzed and compared independently of other factors. When visualized in a matrix, this framework is a valuable tool for decision making.

For this report, we created the criteria described below along with the adjacent matrix to help visualize the results.

Financial Feasibility:

The financial viability of the land uses was assessed through a high level estimate of the likely development costs and return on investment. Additionally, the need for financial incentives was considered. A land use with strong financial viability will be rated higher on our scale of 1 to 5 while a land use requiring incentives will be rated lower.

Density & Use Intensity:

The potential land uses were assessed based on allowable building height, density, and intensity of use as defined by zoning regulations and other policies. This includes evaluating the feasibility of achieving desired development scales and the corresponding floor area ratios (FAR) or dwelling units per acre. Consideration was also given to how the proposed intensity of use might be compatible or conflict with the surrounding context. Uses with a higher density and intensity of use were rated lower.

Site Activation:

The potential for a land use to create an active, engaging and dynamic environment will be a key evaluation criteria. This includes assessing how the proposed land use encourages foot traffic, fosters social interaction and contributes to a lively public realm. Pedestrian-friendly design, and placemaking elements—such as open spaces, retail frontages, and cultural or recreational amenities— will be considered. Uses that had greater potential to create a place that is welcoming and vibrant were rated higher.

Parking:

Parking demand always has a significant impact on developments and will be carefully evaluated for each use. Land uses that can easily accommodate the parking demands on site will be rated higher.

Traffic:

The impact of a proposed land use on local traffic patterns and parking demand will be carefully evaluated to ensure accessibility and minimize congestion. Land uses that effectively balance mobility needs and parking requirements with efficient land use will be rated higher.

Site Maintenance:

The sustainability and upkeep of a development over time will be a key factor in site evaluation. This includes assessing the maintenance requirements for infrastructure and public spaces and any coordination with future property management. Land uses that are likely to have a clear long-term plan that minimizes City resources were rated higher.

Potential Revenue:

The financial sustainability of a development will be assessed based on its ability to generate long-term revenue for the City and community through property value appreciation, tax contributions, and economic activity. Consideration will also be given to job creation and the broader economic benefits to the community. Developments with the potential to provide stable revenue streams for both private stakeholders and public entities were rated higher.

RATING SCALE:



BUILDING REUSE SCENARIO

This scenario looks at the possibilities of reusing and repurposing the existing structure. The interior spaces are all unremarkable and lack any significant characteristics. The most interesting feature is the south facade that was added to the existing structures after their original construction.

Any reuse would likely need significant improvements to adapting the aging systems to a new use. The internal layouts are all small and not conducive to reorganization which only adds to the difficulty and cost of adapting the building. It is also likely that some hazardous materials will need to be remediated before any construction could begin. This would only further add cost to the project.

The most likely possible uses would be some form of community center or arts center. However, these organizations are typically not for profits and would require significant financial assistance even for a modest renovation and adaptation of the structure to usable state.

Lastly, based on position and size of the existing structure, it is unlikely that any other complementary use could be accommodated on the site.

Building Reuse Scenario Assessment Matrix:

Financial Feasibility	1
Density & Use Intensity	3
Site Activation	1
Parking	4
Site Traffic	4
Site Maintenance	2
Potential Revenue	1



VIEW OF SOUTH FACADE



PROGRAMMED OPEN SPACE

Expanding the open space along the river is always a viable option. However, balancing the activities possible on this site with other nearby parks will be challenging. Initial funding and ongoing maintenance will also be needed.

KEY CONSIDERATIONS:

- Would take advantage of the river frontage.
- Least impact on utilities, traffic and parking.
- Would likely require City resources to build, maintain and administer programming throughout the year.
- Might struggle to provide something unique from Pottawatomie Park just to the north or Mount St. Mary's park to the south. Ensuring this space has a unique programmed function will be essential.

PROGRAMMED OPEN SPACE SCALE COMPARISONS



PROJECT SITE
St Charles, IL



MEMORIAL PARK
Wheaton, IL

- Includes performance stage, parking and activities building.
- Situated within a large neighborhood context makes it easily accessible.



RIVERFRONT PARK
Winfield, IL

- Small bandshell and lawn with plenty of walking paths along the river and through landscaping.
- Disconnected from neighborhood context but adjacent to regional medical center.



RIVERSIDE PARK
Batavia, IL

- Includes stage and lawn area along with playground and services building.
- Adjacent to other civic amenities and services.

PROGRAMMED OPEN SPACE

This scenario treats the site as an extension of the riverfront and includes a performance stage along with some small vendor booths. It also looks at the potential to reuse part of the former Police Station to support the operations of the site. This would be a unique addition to St Charles and would help bring additional visitors and economic activity to the area.

Since this would likely be a public facility, the initial funding would need to come from the City of St Charles or other governmental entities. Additionally, the entity responsible for ownership and operations would incur ongoing annual costs, including staffing, program funding, maintenance and insurance. The City could also seek sponsorships to in order to fund upfront costs.

Programmed Open Space Assessment Matrix:

Financial Feasibility	1
Density & Use Intensity	4
Site Activation	3
Parking	2
Site Traffic	3
Site Maintenance	1
Potential Revenue	2

- 1

PUBLIC PLAZA SPACE
A combination of lawn and plaza space to serve the performance venue and should be designed to potentially host farmer’s markets or other temporary events. Design could also include a covered pavilion.
- 2

SMALL OUTDOOR PERFORMANCE VENUE
This proposal includes a small outdoor stage and green lawn area for occasional performances, concerts or movie nights.
- 3

SMALL VENDOR SHOPS
As an additional program element, we included a series of small booths that could be used by individual retailers or artists on a rotating basis.
- 4

PRESERVE PORTION OF POLICE STATION
Support for the operations for the venue (e.g. bathrooms, concessions, offices, etc.) and vendor shops, could be retrofitted into part of the former Police Station. The would also include the well building. The City could also consider selling/leasing the building to a business that offers a complementary service.



ENTERTAINMENT / FOOD & BEVERAGE SPACE

A free standing retail development or food & beverage space is also a possibility. This would take full advantage of the riverfront access as well as the adjacency to other downtown activities. Finding the right concept and partner would be critical.

KEY CONSIDERATIONS:

- Great way to leverage the site.
- Challenging financing environment for new construction projects
- Utilities and adjacencies would need to be carefully managed.
- Parking and traffic would be challenging.
- Market analysis would be needed to ensure demand exists without impacting other businesses.

ENTERTAINMENT / F&B SCENARIO

This scenario activates the site with a food and beverage establishment and an optional event space attached. Each of these is shown with an approximately 5,000 sf footprint and an associated outdoor patio area. Access would be via Riverside and parking would be accommodated by sharing the existing lots to the south and on the east side of Riverside Ave.

1 FOOD & BEVERAGE ESTABLISHMENT

This is the proposed location of a 5,000 sf food and/or beverage establishment. A patio area is located just to the west to take advantage of the river views.

Entertainment Scenario Assessment Matrix:

Financial Feasibility	3
Density & Use Intensity	4
Site Activation	3
Parking	1
Site Traffic	1
Site Maintenance	4
Potential Revenue	3

- 2 OPTIONAL EVENT SPACE**

As a complement to the F&B establishment, this proposal includes a 5,000 sf event space with an adjacent patio space for outdoor events on the river.
- 3 OPEN SPACE AND PARKS CONNECTED TO RIVERFRONT**

Surrounding open spaces around the building footprints would consist of landscapes designed to be integrated into and enhance the river walk and park.
- 4 LANDSCAPE SCREENING AROUND WELL BUILDING TO MAINTAIN ACCESS**

Access to the well building needs to be maintained via the route shown but should be incorporated into the landscape design. Landscape screening of the building should also be incorporated to minimize its visual impact.
- 5 PRESERVE EXISTING PARKING LOT**

The proposed layout considers preserving the existing lot west of Riverside to accommodate the demand coming from the establishment.



TOWNHOMES

Another residential land use to consider would be townhomes. This would provide a relatively flexible option to bring additional residents to the downtown area.

KEY CONSIDERATIONS:

- Likely strong demand for product
- Less dense than multifamily
- Take advantage of downtown location
- Utilities and adjacencies would need to be carefully managed
- Adds to downtown population which would better support downtown businesses.

Townhome Scenario

Townhomes could be a viable option that does not have any significant disadvantages. However, they also may not be the most inspiring use of such a prominent site. The 25'x45' footprints can be very flexible in how they are arranged on the site to avoid constraints while still taking advantage of the site's opportunities.

A key consideration is how to provide access to internal parking garages that are typically on the ground floor. Similar to the multifamily scenario, this is accomplished via an internal access drive that connects State Street to Riverside at the north end. Another key consideration will be how to screen the water well building with landscaping while maintaining access to it for services.

Townhome Scenario
Assessment Matrix:

Financial Feasibility	2
Density & Use Intensity	3
Site Activation	2
Parking	3
Site Traffic	3
Site Maintenance	5
Potential Revenue	2

- 1

PARKING ACCESS VIA STATE AVE & RIVERSIDE AVE

Ground floor parking garages for each unit are accessed via an internal drive that connects between the existing parking to the south and Riverside Ave on the north.
- 2

OPEN SPACE AND PARKS CONNECTED TO RIVERFRONT

Surrounding open spaces around the building footprints would consist of landscapes designed to be integrated into and enhance the river walk and park. Careful attention should be paid to separate the public riverfront from the private spaces of each unit.
- 3

LANDSCAPE SCREENING AROUND WELL BUILDING TO MAINTAIN ACCESS

Access to the well building needs to be maintained via the route shown but should be incorporated into the landscape design. Landscape screening of the building should also be incorporated to minimize its visual impact.



HOTEL

Hotel is a possible land use to consider based on the downtown location. Market potential and size would need to be confirmed by a market analysis but this would potentially bring additional visitors and vitality to Downtown St Charles.

KEY CONSIDERATIONS:

- Potentially would bring additional visitors and economic activity to the downtown area
- Challenging financing environment for new construction projects
- Would introduce density to the site.
- Utilities and adjacencies would need to be carefully managed.
- Parking and traffic would be challenging.
- Market analysis would be needed to ensure demand exists without impacting other businesses.



HOTEL SCENARIO

For this scenario, a single bar is shown to take advantage of the river views. A larger ground floor accommodates common hotel spaces like a lobby or restaurant while a patio and green roof amenity space are shown on the west side of the building to overlook the river. Based on site and traffic considerations, including any kind of conference or large venue space was not considered feasible.

General building dimensions are approximately 60' wide by 175' long. Across 4 floors we are estimating about 50,000 sf which would translate to approximately 60-70 rooms. It is recommended that a comprehensive market analysis be conducted to assess the impact a new hotel would have on the St Charles market.

Hotel Scenario
Assessment Matrix:

Financial Feasibility	4
Density & Use Intensity	1
Site Activation	4
Parking	1
Site Traffic	2
Site Maintenance	4
Potential Revenue	4

- 1

HOTEL DROP OFF ACCESSED VIA STATE
A drop off located under a canopy was provided on the south side of the building and accessed via Riverside through the existing parking lot.
- 2

PRESERVE EXISTING PARKING LOT
The proposed layout considers preserving the existing lot west of Riverside to accommodate any additional demand coming from the hotel.
- 3

OPEN SPACE AND PARKS CONNECTED TO RIVERFRONT
Surrounding open spaces around the hotel would consist of landscapes designed to be integrated into and enhance the river walk and park. There is a potential to create a shared landscape space between the public riverfront and a hotel.
- 4

LANDSCAPE SCREENING AROUND WELL BUILDING TO MAINTAIN ACCESS
Access to the well building needs to be maintained via the route shown but should be incorporated into the landscape design. Landscape screening of the building should also be incorporated to minimize its visual impact.



MIXED USE

A possible mixed use development should also be considered. Modest amounts of residential, commercial, hotel or retail could be viable.

KEY CONSIDERATIONS:

- Synergies between uses could create unique experiences.
- Ability to appeal to different markets and consumers. Most complex use type that would need to be carefully balanced.
- Would likely introduce the most density.
- Challenging financing environment for new construction projects
- Utilities and adjacencies would need to be carefully managed.
- Parking and traffic would be challenging.
- Market analysis would be needed to ensure demand exists without impacting other businesses.

MIXED USE SCENARIO

The mixed use scenario considers a single, residential bar building with a community focused use on the south side of the ground floor. This use could be a traditional retailer or some other community organization or arts group. Parking would be accessed from Riverside to the north and partially tucked under the building above.

Mixed Use Scenario
Assessment Matrix:

Financial Feasibility	2
Density & Use Intensity	1
Site Activation	4
Parking	1
Site Traffic	3
Site Maintenance	4
Potential Revenue	3

- 1

PARKING ACCESS VIA RIVERSIDE AVE

Parking is accessed via Riverside Ave on the north and tucked under the building. It is anticipated that all of the parking demand could be accommodated on site.
- 2

OPEN SPACE AND PARKS CONNECTED TO RIVERFRONT

Surrounding open spaces around the building footprints would consist of landscapes designed to be integrated into and enhance the river walk and park. Careful attention should be paid to separate the public riverfront from the private uses associated with the development.
- 3

LANDSCAPE SCREENING AROUND WELL BUILDING TO MAINTAIN ACCESS

Access to the well building needs to be maintained via the route shown but should be incorporated into the landscape design. Landscape screening of the building should also be incorporated to minimize its visual impact.



MULTIFAMILY RESIDENTIAL

Based on current and projected market conditions, multifamily residential should be considered an appropriate land use for the site. Current and past planning efforts, point toward a development in the 3-4 story and 60-80 unit range.

KEY CONSIDERATIONS:

- Likely strong demand for product
- Take advantage of downtown location
- Challenging financing environment for new construction projects
- Even a small development would introduce density to the site.
- Utilities and adjacencies would need to be carefully managed.
- Parking would be challenging.
- A multifamily development would be subject to the City's Inclusionary Zoning ordinance.

BOULDER VIEW APARTMENTS
Boulder, CO

MULTIFAMILY SCENARIO

For the purposes of this diagram, two residential bar buildings were arranged on the site as shown to the right. Each footprint is approximately 60’ wide and 170’ long with an area of ~10,000 sf per building per floor. It was assumed that each building would be between 3 and 4 floors. This results in approximately 70-80,000 gsf of space that could potentially accommodate approximately 70 units. All required on site parking was assumed to be provided on grade and tucked under the upper floors of the building. It is worth noting that a residential development of this size would need to comply with the city’s Inclusionary Zoning ordinance.

Multifamily Scenario
Assessment Matrix:

Financial Feasibility	3
Density & Use Intensity	2
Site Activation	3
Parking	1
Site Traffic	2
Site Maintenance	5
Potential Revenue	3

- 1

PARKING ACCESS VIA STATE AVE & RIVERSIDE AVE

Parking is accessed via an internal drive that connects between the existing parking to the south and Riverside Ave on the north. It is anticipated that all of the parking demand could be met on site.
- 2

OPEN SPACE AND PARKS CONNECTED TO RIVERFRONT

Surrounding open spaces around the building footprints would consist of landscapes designed to be integrated into and enhance the river walk and park. Careful attention should be paid to delineating between public riverfront and private space for the residents.
- 3

LANDSCAPE SCREENING AROUND WELL BUILDING TO MAINTAIN ACCESS

Access to the well building needs to be maintained via the route shown but should be incorporated into the landscape design. Landscape screening of the building should also be incorporated to minimize its visual impact.



ASSESSMENT METHODOLOGY

As a summary to the process, below are all the individual assessment matrices shown side by side. This is not intended to make the final decision but to be used as framework to understand the relative strengths and weaknesses of each unique scenario.

	Multifamily	Townhome	Hotel	Mixed Use	F&B / Event	Open Space	Building Reuse
Financial Feasibility	3	2	4	2	3	1	1
Density & Use Intensity	2	3	1	1	4	4	3
Site Activation	3	2	4	4	3	3	1
Parking	1	3	1	1	1	2	4
Site Traffic	2	3	2	3	1	3	4
Site Maintenance	5	5	4	4	4	1	2
Potential Revenue	3	2	4	3	3	2	1

LEGEND:



MORE IMPACT/COSTLY

LESS IMPACT/ COSTLY

PAGE INTENTIONALLY
LEFT BLANK

CHAPTER 4

RECOMMENDATIONS & NEXT STEPS

RECOMMENDATIONS & NEXT STEPS

So far this report has established the foundation for understanding the redevelopment potential of the former police station site. By integrating insights from existing plans and policies, detailed infrastructure assessments, and a careful evaluation of alternative land use scenarios, this study has identified both the opportunities to be seized and the challenges to be addressed. Building on this comprehensive groundwork, the following recommendations are designed to provide the City of St. Charles with clear, actionable guidance to advance the redevelopment process.

These recommendations focus on aligning future development with the City's strategic objectives, optimizing the site's economic and community value, and ensuring that implementation efforts are practical and responsive to community's needs. Together, they form a coordinated roadmap intended to support the City in realizing a vibrant, functional, and context-sensitive redevelopment of this important site.

CREATE A SHORT LIST OF PREFERRED SCENARIOS.

Multiple redevelopment scenarios were explored in this study to evaluate a range of potential land uses, site configurations, and market opportunities. While this broad analysis

was essential to fully understand the site's possibilities, it is recommended that the City now refine its focus by reducing the number of scenarios under consideration.

By narrowing to the most viable and strategically aligned concepts, the City can more effectively direct resources, engage potential development partners, and streamline community discussions. This targeted approach will help build consensus around a clear vision for the site, accelerate the planning process, and ultimately improve the feasibility and success of implementation efforts.

CONDUCT A COMMUNITY ENGAGEMENT PROCESS

To ensure that the redevelopment of the former police station site reflects the values and needs of the St. Charles community, it is recommended that the City undertake a comprehensive community engagement process. By actively seeking input from a broad and diverse cross-section of the community, the City can build stronger public support and foster a sense of shared ownership in the future of the site. It is also quite possible to generate new and creative ideas that can be incorporated into the process

Typical engagement activities include public workshops, stakeholder interviews, surveys, and interactive design sessions, all aimed at gathering meaningful feedback that can inform and refine the preferred redevelopment direction. A well-structured engagement effort will not only lead to a more responsive and inclusive outcome but also strengthen trust and transparency throughout the planning process.

SEARCH FOR POTENTIAL DEVELOPMENT PARTNERS

To advance the redevelopment of the site, it is recommended that the City begin proactively identifying and engaging potential development partners. This process could include informal discussions with a variety of developers or business owners that align with the preferred development scenarios. Additionally, the City may benefit from retaining a development advisor or consultant who can help refine the project parameters, identify partnership opportunities and navigate discussions.

By taking early steps to establish relationships with qualified development teams, the City can better position the site for successful redevelopment, leverage private investment, and ensure that future proposals are financially feasible, context-sensitive, and responsive to community priorities.

ACTIVATE THE SITE WITH TEMPORARY USES AND EVENTS

While long-term redevelopment plans are being refined, it is recommended that the City explore opportunities to activate the former police station site through temporary uses and community-focused events. Initiatives such as pop-up markets, food truck gatherings, outdoor performances or seasonal festivals can draw residents and visitors to the site, showcase its potential, and build positive momentum for its future redevelopment.

These interim activations not only help keep the site lively and well-used but also provide a low-risk way to test different programming ideas and gather public feedback. By creating a sense of place and generating ongoing interest, temporary events can serve as a bridge to permanent investment and helps maintain the momentum during the planning and pre-development phases.

