

**402 - 542 SOUTH 1ST STREET
ST. CHARLES, KANE COUNTY, ILLINOIS**

ALL ITEMS OF THIS PROJECT SHALL BE GOVERNED BY SPECIFICATIONS INCLUDED IN THE DOCUMENTS LISTED BELOW:

- A. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" PREPARED BY THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS AND ADOPTED BY SAID DEPARTMENT
- B. "LATEST REVISION" OF THE HEREINFTER REFERRED TO AS "THE STANDARD SPECIFICATIONS"
- C. "SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS" ADOPTED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION
- D. "ILLINOIS MANUAL" (LATEST REVISION) BY ASSOCIATION OF ILLINOIS SOIL & WATER CONSERVATION DISTRICTS
- E. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", BY ILLINOIS ENVIRONMENTAL PROTECTION AGENCY
- F. "ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS" BY ILLINOIS DEPARTMENT OF TRANSPORTATION
- G. "ILLINOIS ACCESSIBILITY CODE", (LATEST EDITION).

"LATEST REVISION IN EFFECT ON THE DATE OF THESE PLANS

2. PRIOR TO BID, THE CONTRACTOR SHALL VERIFY CONFORMANCE BETWEEN PLANS AND THE ABOVE REFERENCED CODES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BID.
3. IN THE EVENT OF A CONFLICT BETWEEN THESE VARIOUS STANDARDS, MUNICIPAL STANDARDS SHALL APPLY.
4. ALL TRAFFIC CONTROL AND OTHER ADVISORY SIGNS NEEDED FOR CONSTRUCTION ARE TO BE FURNISHED BY THE CONTRACTOR IN ACCORDANCE WITH SECTION 701 OF THE STANDARD SPECIFICATIONS.
5. ALL WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS OF OSHA.
6. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING JULIE 1-800-892-0123 AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS. ALL UTILITIES MUST BE STAKED/LOCATED BY THE CONTRACTOR BEFORE CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
7. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE MUNICIPALITY PUBLIC WORKS DEPARTMENT 630-337-4405 A MINIMUM OF 48 HOURS BEFORE CONSTRUCTION ACTIVITIES. A 24 HOUR NOTICE MUST BE PROVIDED FOR INSPECTIONS AND TESTS. MUNICIPAL STAFF MUST OPERATE ALL WATERMAIN VALVES AND HYDRANTS ONLY.

THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL SURVEYING MONUMENTS UNTIL THE OWNER, THEIR AGENT OR A LICENSED SURVEYOR HAS WITNESSED OR OTHERWISE REFERENCED THEIR LOCATIONS.

THE CONTRACTOR SHALL BE AWARE OF POTENTIAL CONFLICTS WITH EXISTING UTILITIES AS MAY BE INDICATED ON THE PLANS. THESE AREAS SHALL BE EXCAVATED TO DETERMINE ELEVATIONS BEFORE BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

8. SAVING OF REMOVAL ITEMS AS NOTED IN THE PLANS OR AS REQUIRED BY THE ENGINEER SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT OF THE ITEM BEING REMOVED AND NO EXTRA COMPENSATION WILL BE ALLOWED.
9. ALL ROAD SIGNS, STREET SIGNS AND TRAFFIC SIGNS WHICH NEED TO BE RELOCATED, OR MOVED DUE TO CONSTRUCTION SHALL BE TAKEN DOWN AND STORED BY THE CONTRACTOR AT HIS OWN EXPENSE EXCEPT THOSE WHICH THE PERMIT AGENCY SHALL REQUIRE TO BE TEMPORARILY RESET UNTIL COMPLETION OF CONSTRUCTION OPERATIONS. AFTER COMPLETION OF THE WORK, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, RESET ALL ROAD SIGNS AT THE LOCATIONS DESIGNATED BY THE PERMIT AGENCY ENGINEER.
10. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE OWNER'S ENGINEER AT A COST TO BE BORNE BY THE CONTRACTOR.
11. A CONTRACTOR SHALL USE CARE NEAR ANY AND ALL EXISTING ITEMS WHICH ARE NOT INDICATED TO BE REMOVED OR MODIFIED. ANY DAMAGE DONE TO THESE ITEMS BY CONTRACTORS OPERATIONS SHALL BE REPAIRED AND/OR RESTORED BY THE CONTRACTOR AT THE CONTRACTORS OWN EXPENSE.
12. THE CONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS THE OWNER, THE PERMIT AGENCY AND ITS OFFICERS, EMPLOYEES, AND AGENTS, AND THE OWNERS ENGINEERS, FROM AND AGAINST ALL LOSSES, CLAIMS, DAMAGES, PAYMENTS, AND COSTS OF LITIGATION, INCLUDING REASONABLE ATTORNEY'S FEES OF EVERY NATURE AND DESCRIPTION BROUGHT OR RECOVERED AGAINST THEM BY REASON OF ANY ACT OR OMISSION OF SAID CONTRACTOR, HIS AGENTS OR EMPLOYEES, IN THE EXECUTION OF THE WORK OR IN THE GUARDING OF IT.
13. BURNING ON THE SITE IS NOT PERMITTED.
14. ALL IMPROVEMENTS SHOWN ON THE PLANS ARE THE RESPONSIBILITY OF THE CONTRACTOR.



OVERALL SUBDIVISION:
29,385 SF 0.675 AC

RIGHT-OF-WAY TO BE DEDICATED
947 SF 0.022 AC

TOTAL LOTS:
28,438 SF 0.653 AC

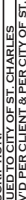
	PROPERTY LINE	
=====	BUILDING SETBACK LINE	=====
=====	EASEMENT LINE	=====
=====	DEPRESSED CURB	=====
-C	STORM SEWER	-C
<	SANITARY SEWER	<
W	WATER MAIN	W
G	GAS LINE	G
E	ELECTRIC LINE	E
T	TELEPHONE LINE	T
F0	FIBER OPTIC	F0
CA	COMMUNICATION	CA
OH	OVERHEAD WIRE	OH
=====	FENCE LINE	=====
=====	BILT FENCE	=====
=====	GRADING CONTOUR	=====
●	MANHOLE	□
■	STORM CURB FRAME & GRATE	□
■	STORM MANHOLE	□
■	STORM CATCH BASIN	□
■	STORM FLARED END SECTION	□
●	SANITARY MANHOLE	□
●	VALVE VAULT	□
●	FIRE HYDRANT	□
●	BUFFALO BOX	□
●	GAS VALVE	□
●	ELECTRIC STRUCTURE	□
●	TRANSFORMER	□
●	POWER POLE	□
●	PEDESTAL	□
●	TRAFFIC SIGNAL MANHOLE	□
●	DRAINAGE FLOW ARROW	→
→	OVERFLOW ROUTE	→
→	AIR CONDITIONER	→
→	SINGLE POLE SIGN	→
→	DOUBLE POLE SIGN	→
→	STREET LIGHT	→
→	BOLLARD	→
→	CLEAN OUT	→
→	DOWN SPOUT	→
→	TREE	→
→	EROSION CONTROL BLANKET (SEE DETAIL SHEET)	→
→	FINAL STABILIZATION (SEED) (SEE DETAIL SHEET)	→
→	CONCRETE SIDEWALK	→
→	NEW HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL SHEET)	→
→	STANDARD DUTY ASPHALT PAVEMENT (SEE DETAIL SHEET)	→
→	DETECTABLE WARNING (SEE DETAIL SHEET)	→

<u>SHEET NO.</u>	<u>SHEET NAME</u>
C1	TITLE SHEET
C2	EXISTING CONDITIONS PLAN
C3	DEMOLITION AND REMOVALS
C4	PROPOSED GEOMETRY
C5	PROPOSED UTILITY PLAN
C6	PROPOSED GRADING PLAN

<u>SHEET NO.</u>	<u>SHEET NAME</u>
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C4	PROPOSED GEOMETRY
C5	PROPOSED UTILITY PLAN
C6	PROPOSED GRADING PLAN



PROJECT TEAM		NOTE	BENCHMARKS	ABBREVIATIONS
OWNER	RIVER 504, LLC 505 S. RIVER RD. UNIT P ST. CHARLES, IL 60174 PH: (630)587.9900	1. DETAILS & NOTES WITHIN THESE PLANS, ALONG WITH NOTATIONS TO SUPPLEMENT SAME ARE CRUCIAL TO THE PROPER CONSTRUCTION OF THE DESIGN CONTAINED HEREIN. 2. CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH ALL CONDITIONS PRIOR TO ENGAGING IN A CONTRACT TO PERFORM WORK AS PROPOSED HEREIN. 3. PLANS ARE NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL OF THE ENGINEER.	NAVD83, AS ESTABLISHED BY TRIMBLE VRS NETWORK AT TIME OF TOPGRAPHY SURVEY. HORIZONTAL DATUM IS REFERENCING NAD'83	A ADJUSTED ALT ALTIMETER B BACK SIGHT C CLOSURE D DISTANCE E ELEVATION F FACE G GROUND H HORIZONTAL I INTERMEDIATE J JAW K KNOTS L LEVEL M MILE N NORTH O OBTUSE P POINT Q QUADRANT R RANGE S SIGHT T TANGENT U UTM V VERTICAL W WIND X X-AXIS Y Y-AXIS Z Z-AXIS
ARCHITECT	ALLEN+PEPPA 215 RULIFSON STREET GENEVA, IL 60134 PH: (630)378.1105		SITE BENCHMARK #1: TAG BOLT ON FIRE HYDRANT LOCATED AT SOUTHWESTERLY CORNER OF SITE. N 1,900,513.9' E 989,773.6' EL 697.17'	R READING S SENSITIVE T TANGENT U UTM V VERTICAL W WIND X X-AXIS Y Y-AXIS Z Z-AXIS
CIVIL ENGINEER	MeritCorp Group, LLC 4222 MERIDIAN PARKWAY STE 112 AURORA, IL 60504 PH: (630)554.6555		SITE BENCHMARK #2: NW BOLT ON FIRE HYDRANT LOCATED APPROXIMATELY 635' SE OF SITE. N 1,908,946.5' E 990,004.4' EL 697.17'	A ADJUSTED ALT ALTIMETER B BACK SIGHT C CLOSURE D DISTANCE E ELEVATION F FACE G GROUND H HORIZONTAL I INTERMEDIATE J JAW K KNOTS L LEVEL M MILE N NORTH O OBTUSE P POINT Q QUADRANT R RANGE S SIGHT T TANGENT U UTM V VERTICAL W WIND X X-AXIS Y Y-AXIS Z Z-AXIS

RIVER 504 ROWHOMES 402 - 542 SOUTH 1ST STREET ST. CHARLES, ILLINOIS				DATE: 03/10/25 ISSUED TO CITY OF ST. CHARLES REV'D PER CLIENT & PER CITY OF ST. CHARLES REV'D PER CITY OF ST. CHARLES 05/22/25 07/17/25	
PROJECT NO. M24183		PRELIMINARY PLANNING SURVEYING ENGINEERING, P.C. 4222 Meridian Parkway, Suite 112 Aurora, IL 60094 Office 630.554.6555 Lic. No. 184-003860 www.meritcorp.com		Other Office Locations: Gurnee, IL	
DRAWN BY: ZDS					
CHECKED BY: TDR					
SHEET NO. C1 / 6					
PRELIMINARY ENGINEERING PLANS					
TITLE SHEET					
NOT FOR CONSTRUCTION					

U
R
S
3

NOT FOR CONSTRUCTION

LEGEND

	EXISTING HANDHOLE
	EXISTING CURB
	EXISTING MANHOLE
	EXISTING CABLE TV PEDISTAL
	EXISTING ELECTRIC PEDISTAL
	EXISTING TELEPHONE PEDISTAL
	EXISTING MANHOLE
	EXISTING STORM CATCH BASIN
	EXISTING STORM INLET
	EXISTING STORM MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER BUFFALO BOX
	EXISTING WATER VALVE
	EXISTING WATER VALVE & VAULT
	EXISTING DEAD-END TREE (LEAF TREE)
	EXISTING CONSERVING TREE (NON-LEAF TREE)
	EXISTING ELECTRIC HANDHOLE
	EXISTING ELECTRIC MANHOLE
	EXISTING ELECTRIC TRANSFORMER
	EXISTING BEER OPTICS HANDHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING POWER POLE
	EXISTING GUY WIRE
	CONTROL POINT - CROSS CUT

	PARCEL LINE
	EASEMENT
	CENTER LINE OF RIGHT OF WAY
	EXISTING SANITARY LINE
	EXISTING STORM LINE
	EXISTING WATERMAIN LINE
	EXISTING ELECTRIC LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING BEER OPTICS LINE
	EXISTING COMMUNICATION LINE
	EXISTING CONTOUR (MAJOR 5 FOOT)
	EXISTING CONTOUR (MINOR 1 FOOT)
	EXISTING BUILDING
	EXISTING CONCRETE PAVEMENT
	EXISTING ASPHALT PAVEMENT

BENCHMARKS

SOURCE: NAVD83, AS ESTABLISHED BY TRIMBLE VRS NETWORK AT TIME OF TOPOGRAPHIC SURVEY.
HORIZONTAL DATUM IS REFERENCING NAD 83

SITE BENCHMARK #1:
TAG BOLT ON FIRE HYDRANT LOCATED AT SOUTHWESTERLY CORNER OF SITE.
N 1.900.513.9' E 995.773.9'
EL 697.17'

SITE BENCHMARK #2: (SEE SITE KEY FOR LOCATION OF OFF-SITE BM2)
NAIL BOLT ON FIRE HYDRANT LOCATED APPROXIMATELY 630' SE OF SITE.
N 1.900.046.9' E 995.066.4'
EL 701.40'

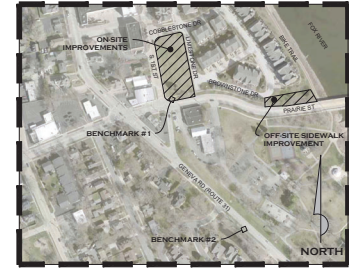
TOPOGRAPHIC SURVEY INFORMATION SHOWN FOR ON-SITE IMPROVEMENTS WAS COMPLETED BY
REGIONAL LAND SERVICES. BENCHMARK INFORMATION IS SHOWN PER SAID SURVEY, AND WAS NOT
COMPLETED BY MERITCORP GROUP, LLC.

TOPOGRAPHIC SURVEY INFORMATION SHOWN FOR OFF-SITE IMPROVEMENTS WAS COMPLETED BY
MERITCORP GROUP, LLC ON 03/10/25

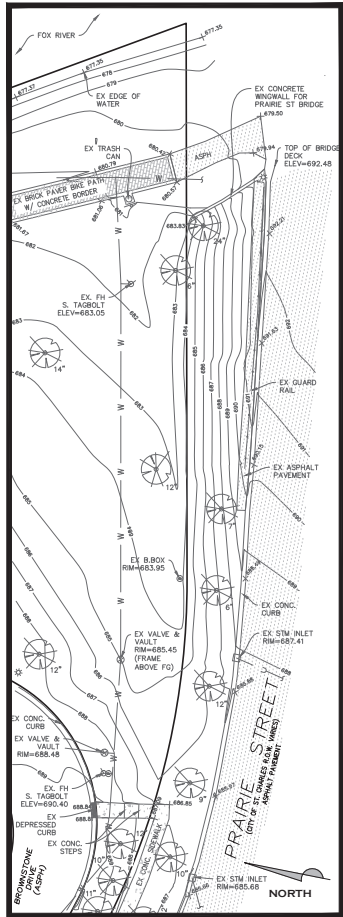
UTILITY LOCATE INFO

JULIE DESIGN STAGE TICKET NUMBER: A25091350-004

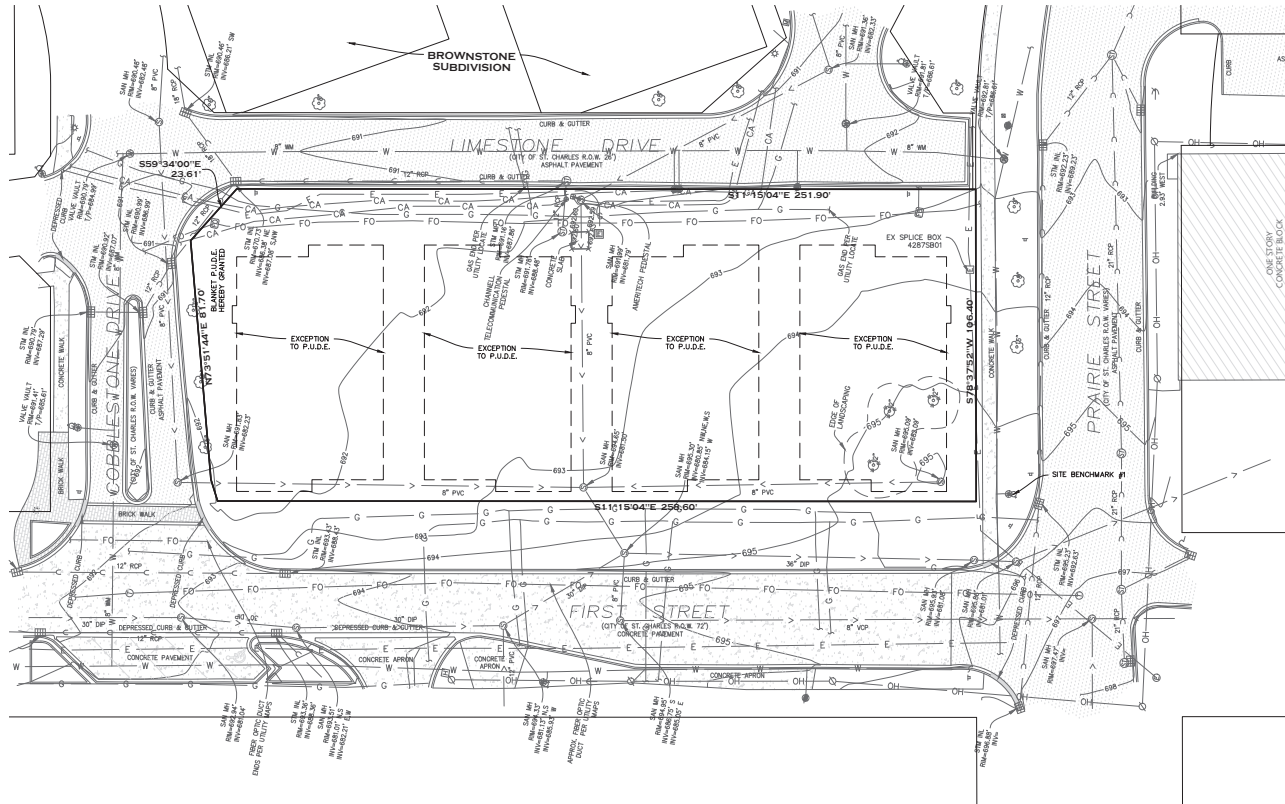
CONTACTS:
ATTOSIA AT DISTRIBUTION, 800-800-0000, J11629@ATT.COM
COMCAST CABLE (INFINITY), MARTHA GERAS, 224-225-5862, MARTHA.GERAS@CABLE.COMCAST.COM
MIRADA METRO FIBERNET, LLC, 903-213-1100, BLISS@MIRADAFIBERNET.COM
NORIDA NORIS GAS, UTILITY CONSULTANT GROUP, 630-388-2362
SCHIBA ST. CHARLES, CITY OF, ERIC CREIGHTON, 630-762-7075, MAM@STCHARLES.IL.GOV



SITE KEY
NTS



OFF-SITE SIDEWALK IMPROVEMENT
SCALE: 1"=20'



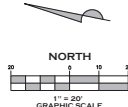
ON-SITE IMPROVEMENTS
SCALE: 1"=20'

NOTE

EXISTING ON-SITE TOPOGRAPHIC SURVEY WAS COMPLETED BY
REGIONAL LAND SERVICES ON 12/21/21

EXISTING OFF-SITE TOPOGRAPHIC SURVEY WAS COMPLETED BY
MERITCORP GROUP, LLC ON 03/10/25

EXISTING UTILITY SURVEY WAS UPDATED BY
MERITCORP GROUP, LLC ON 02/06/25



GIVEN UNDER MY HAND AND SEAL ON THIS 5TH DAY OF MARCH,
2025.

John D. Spink
JOHN D. SPINK
ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3868
CURRENT LICENSE EXPIRES NOVEMBER 30, 2026.



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DATE	DESCRIPTION
05/22/25	REV'D PER CLIENT & PER CITY OF ST. CHARLES
07/11/25	REV'D PER CITY OF ST. CHARLES

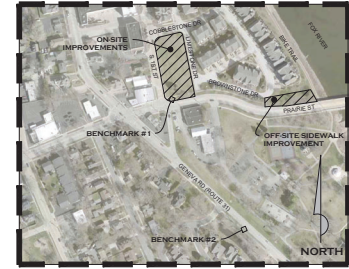
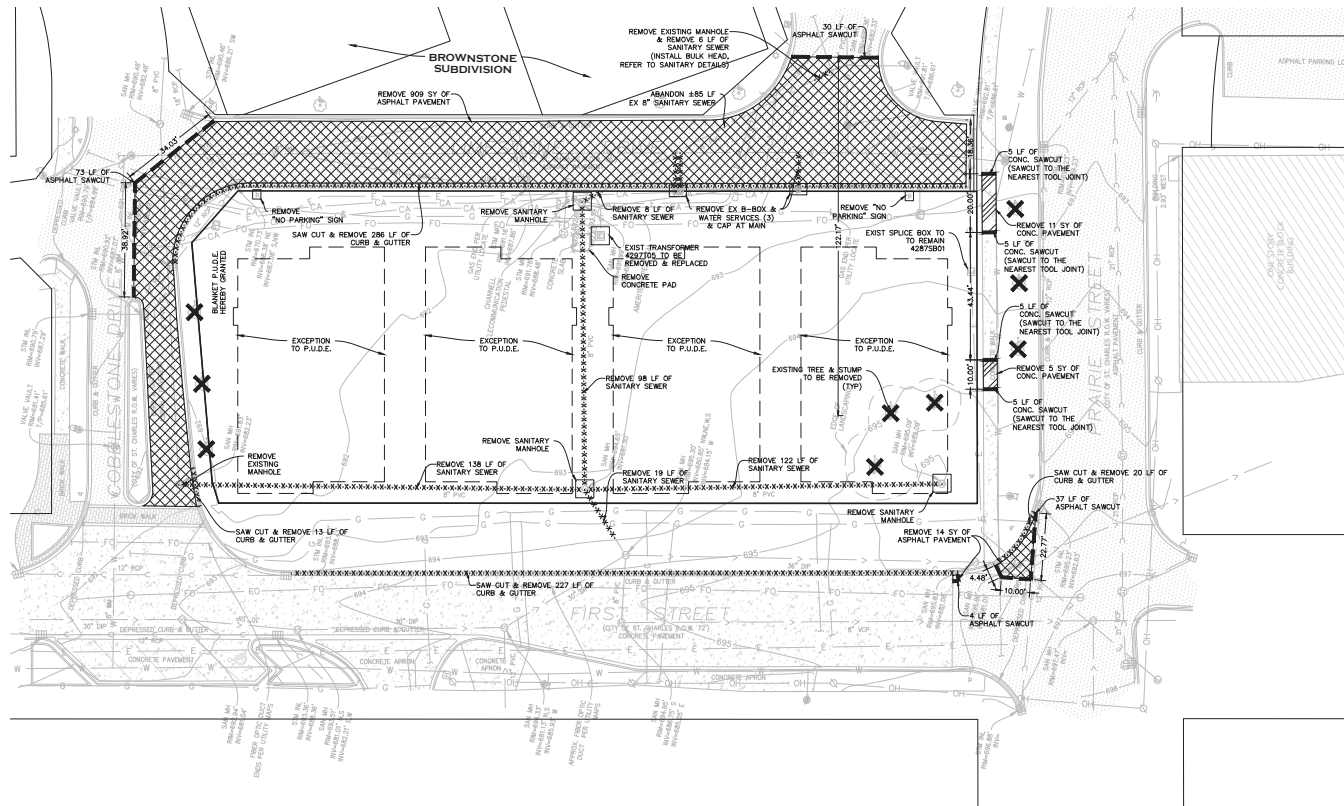
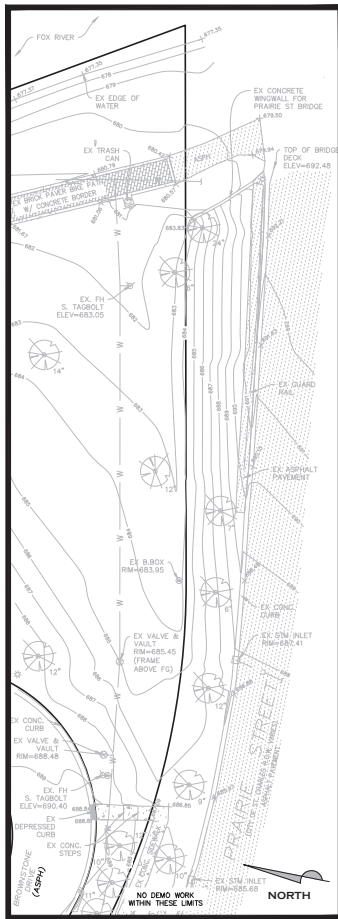
MeritCorp
Engineering, Planning, Surveying, Environmental
4222 Meridian Parkway, Suite 112
Aurora, IL 60594
Office 630.554.6655
Lic. No. 184-008980
www.meritcorp.com
Other Office Locations:
Gurnee, IL

RIVER 504 ROWHOMES
402 - 542 SOUTH 1ST STREET
ST. CHARLES, ILLINOIS
PRELIMINARY ENGINEERING PLANS
EXISTING CONDITIONS PLAN
NOT FOR CONSTRUCTION

PROJECT NO.	M24183
DRAWN BY:	ZDS
CHECKED BY:	ZDS
SHEET NO.	C2 / 6

LEGEND

- XXXXXXXXXXXXXXXXXXXX
- REMOVE ITEM
- SAWCUT BACK OF CURB
- FULL DEPTH SAWCUT PAVEMENT
- REMOVE ASPHALT PAVEMENT
- REMOVE CONC. PAVEMENT
- REMOVE TREE



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DATE	DESCRIPTION
07/07/25	REVISED PER CLIENT OF ST. CHARLES
09/22/25	REVISED PER CLIENT OF ST. CHARLES
07/11/25	REVISED PER CLIENT OF ST. CHARLES

MeritCorp
4222 Meridian Parkway, Suite 112
Aurora, IL 60594
Office 630.554.6655
Lic. No. 184-006860
www.meritcorp.com
Other Office Locations: Gurnee, IL



RIVER 504 ROWHOMES
402-542 SOUTH 1ST STREET
ST. CHARLES, ILLINOIS
PRELIMINARY ENGINEERING PLANS
DEMOLITION AND REMOVALS
NOT FOR CONSTRUCTION

PROJECT NO.	M24183
DRAWN BY:	ZDS
CHECKED BY:	TDR
SHEET NO.	C3 / 6

LEGEND

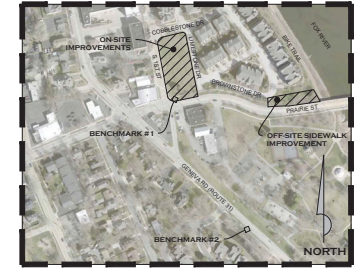
	DEPRESSED CURB AND GUTTER (SEE DETAIL SHEET)
	REVERSE PITCH CURB AND GUTTER (SEE DETAIL SHEET)
	HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL SHEET)
	STANDARD DUTY ASPHALT PAVEMENT (SEE DETAIL SHEET)
	CONCRETE PAVEMENT (SEE DETAIL SHEET)
PL	PROPERTY LINE
ES	EDGE OF STRIPE
CS	CENTER OF STRIPE
B	BUILDING
BC	BACK OF CURB
EW	EDGE OF WALK
R	RADIUS

NOTES

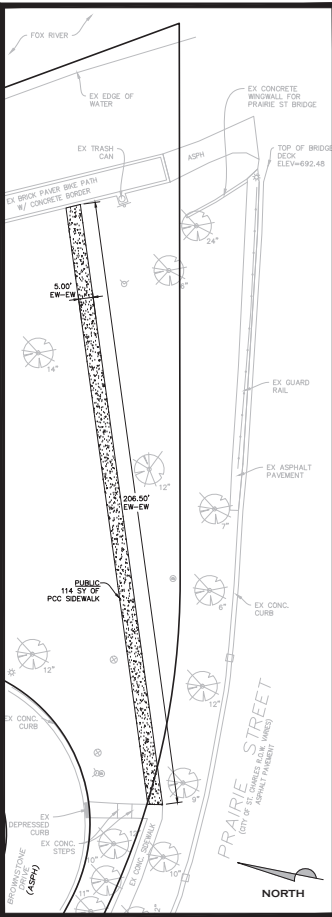
1. REFER TO CITY OF ST. CHARLES ENGINEERING DESIGN DETAILS FOR ALL SIDEWALK, PAVEMENT AND UTILITY DETAILS.
2. REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND PRIVACY WALL DETAILS.
3. REFER TO PRELIMINARY PLAT FOR LOT DIMENSIONS & ZONING.
4. TRENCHBOX MAY BE REQUIRED TO CONSTRUCT PORTIONS OF THE SANITARY SEWER IN THE PRAIRIE STREET RIGHT-OF-WAY.

PE CALC

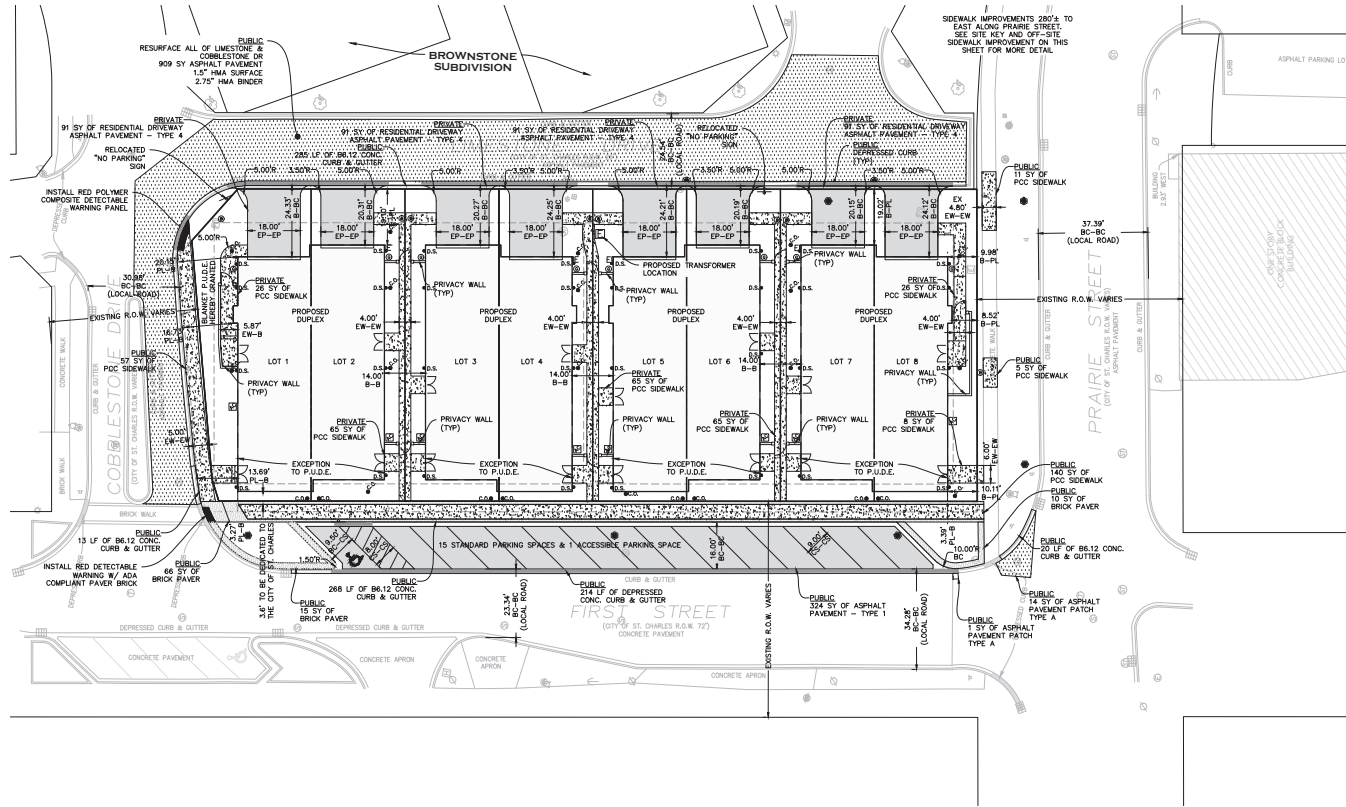
USING THE "SINGLE FAMILY HOME" DESIGNATION FROM THE IEPA @ 3.5 CAPITA * 100 GPD/CAPITA.
THE PE FOR EACH OF THE UNITS (1 THRU 8) = 350 GPD EACH FOR A TOTAL OF 2,800 GPD



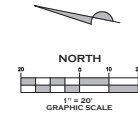
SITE KEY
NTS



OFF-SITE SIDEWALK IMPROVEMENT
SCALE: 1"=20'



ON-SITE IMPROVEMENTS
SCALE: 1"=20'



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DATE	DESCRIPTION
07/07/25	REVISED PER CITY OF ST. CHARLES
09/22/25	REVISED PER CLIENT & PER CITY OF ST. CHARLES
07/11/25	REVISED PER CITY OF ST. CHARLES

MeritCorp
4222 Meridian Parkway, Suite 112
Aurora, IL 60594
Office: 630.554.6655
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Other Office Locations:
Gurnee, IL



RIVER 504 ROWHOMES
402 - 542 SOUTH 1ST STREET
ST. CHARLES, ILLINOIS
PRELIMINARY ENGINEERING PLANS
PROPOSED GEOMETRY
NOT FOR CONSTRUCTION

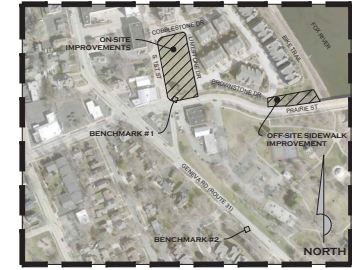
PROJECT NO.	M24183
DRAWN BY:	ZDS
CHECKED BY:	TDR
SHEET NO.	C4 / 6

LEGEND

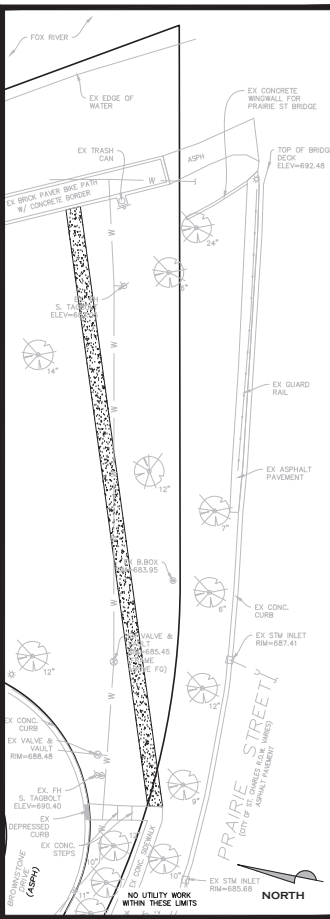
OH	OVERHEAD WIRES
FO	FIBER OPTIC
CA	COMMUNICATION LINE
T	TELEPHONE LINE
E	ELECTRIC LINE
G	GAS LINE
S	SANITARY LINE
C	STORM SEWER
W	WATER LINE
●	SANITARY MANHOLE
○	CLEAN OUT
○	DOWNSPOUT
○	VALVE VAULT
○	FIRE HYDRANT
○	BUFFALO BOX
○	GAS METER
○	ELECTRIC METER (BY OTHERS)

NOTES

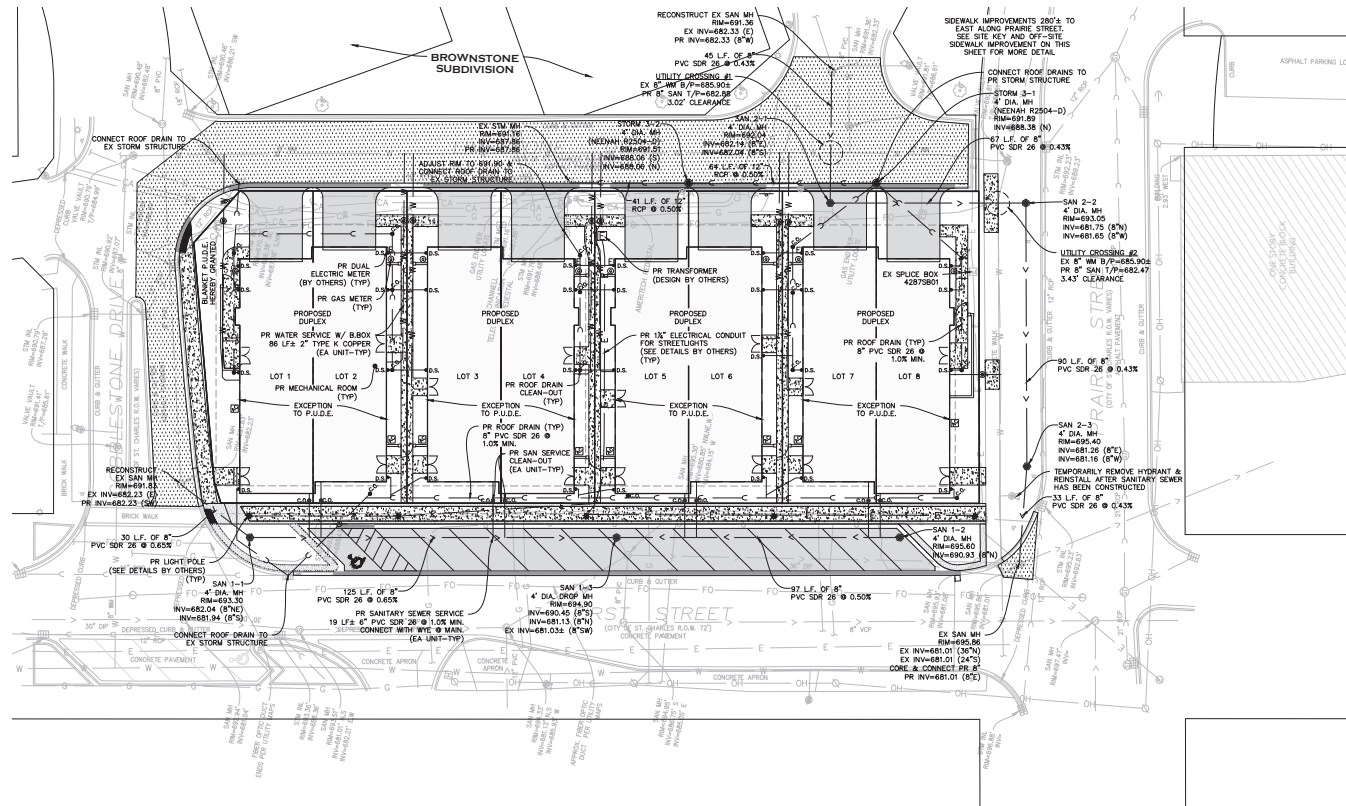
1. REFER TO CITY OF ST. CHARLES ENGINEERING DESIGN DETAILS FOR ALL SIDEWALK, PAVEMENT AND UTILITY DETAILS.
2. REFER TO ARCHITECTURAL & MEP PLANS FOR ADDITIONAL DETAILS.
3. REFER TO PRELIMINARY PLAT FOR PROPOSED EASEMENTS & DESCRIPTIONS.
4. REFER TO ELECTRICAL PLANS FOR ELECTRICAL DESIGN AND CONDUIT ROUTING.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF DOWNSPOUTS.



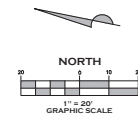
SITE KEY
NTS



OFF-SITE SIDEWALK IMPROVEMENT
SCALE: 1"=20'



ON-SITE IMPROVEMENTS
SCALE: 1"=20'



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DATE: 07/25	DESCRIPTION: IMPROVEMENTS OF ST. CHARLES
DATE: 09/22/25	REV'D PER CLIENT & PER CITY OF ST. CHARLES
DATE: 07/11/25	REV'D PER CITY OF ST. CHARLES
ENGINEERING: PLANNING, SURVEYING, ENVIRONMENTAL	
4222 Meridian Parkway, Suite 112	
Aurora, IL 60594	
Office: 630.554.6655	
Lic. No. 184-008880	
www.meritcorp.com	
Other Office Locations: Gurnee, IL	
RIVER 504 ROWHOMES 402 - 542 SOUTH 1ST STREET ST. CHARLES, ILLINOIS	
PRELIMINARY ENGINEERING PLANS	
PROPOSED UTILITY PLAN	
NOT FOR CONSTRUCTION	
PROJECT NO. M24183	DRAWN BY: ZDS
CHECKED BY: TDR	SHEET NO. C5 / 6

LEGEND

	DEPRESSED CURB AND GUTTER (SEE DETAIL SHEET)
	REVERSE PITCH CURB AND GUTTER
	GRADING CONTOUR
	EMERGENCY OVERLAND FLOOD ROUTE
	DRAINAGE FLOW ARROW
	TOP OF FOUNDATION
	GARAGE FLOOR
	TOP OF STEP
	BOTTOM OF STEP
	EDGE OF PAVEMENT
	TOP OF CURB
	TOP OF DEPRESSED CURB
	MATCH EXISTING
	TOP OF WALL
	BOTTOM OF WALL
	HIGH WATER LEVEL
	NORMAL WATER LEVEL

BENCHMARKS

SOURCE: NAVD83, AS ESTABLISHED BY TRIMBLE VRS NETWORK AT TIME OF TOPOGRAPHIC SURVEY. HORIZONTAL DATUM IS REFERENCING NAD 83

SITE BENCHMARK #1:
TAG BOLT ON FIRE HYDRANT LOCATED AT SOUTHWESTERLY CORNER OF SITE.
N 1,900.513.9' E 988.773.9'
EL 697.17'

SITE BENCHMARK #2: (SEE SITE KEY FOR LOCATION OF OFF-SITE BENCHMARK)

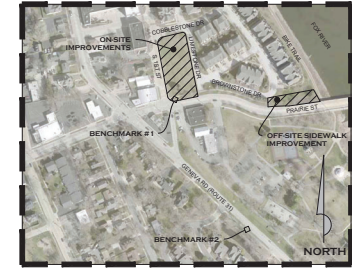
NW BOLT ON FIRE HYDRANT LOCATED APPROXIMATELY 630.56' SE OF SITE.
N 1,908.046.9' E 988.080.4'
EL 701.40'

TOPOGRAPHIC SURVEY INFORMATION SHOWN FOR ON-SITE IMPROVEMENTS WAS COMPLETED BY REGIONAL LAND SERVICES. BENCHMARK INFORMATION IS SHOWN PER SAID SURVEY, AND WAS NOT COMPLETED BY MERITCORP GROUP, LLC.

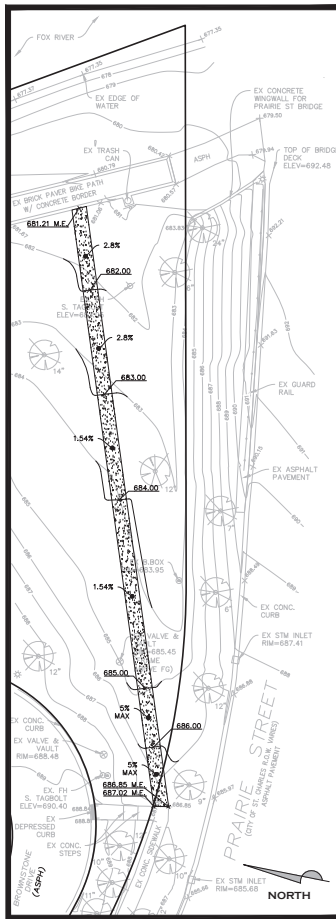
TOPOGRAPHIC SURVEY INFORMATION SHOWN FOR OFF-SITE IMPROVEMENTS WAS COMPLETED BY MERITCORP GROUP, LLC ON 03/01/25

NOTES

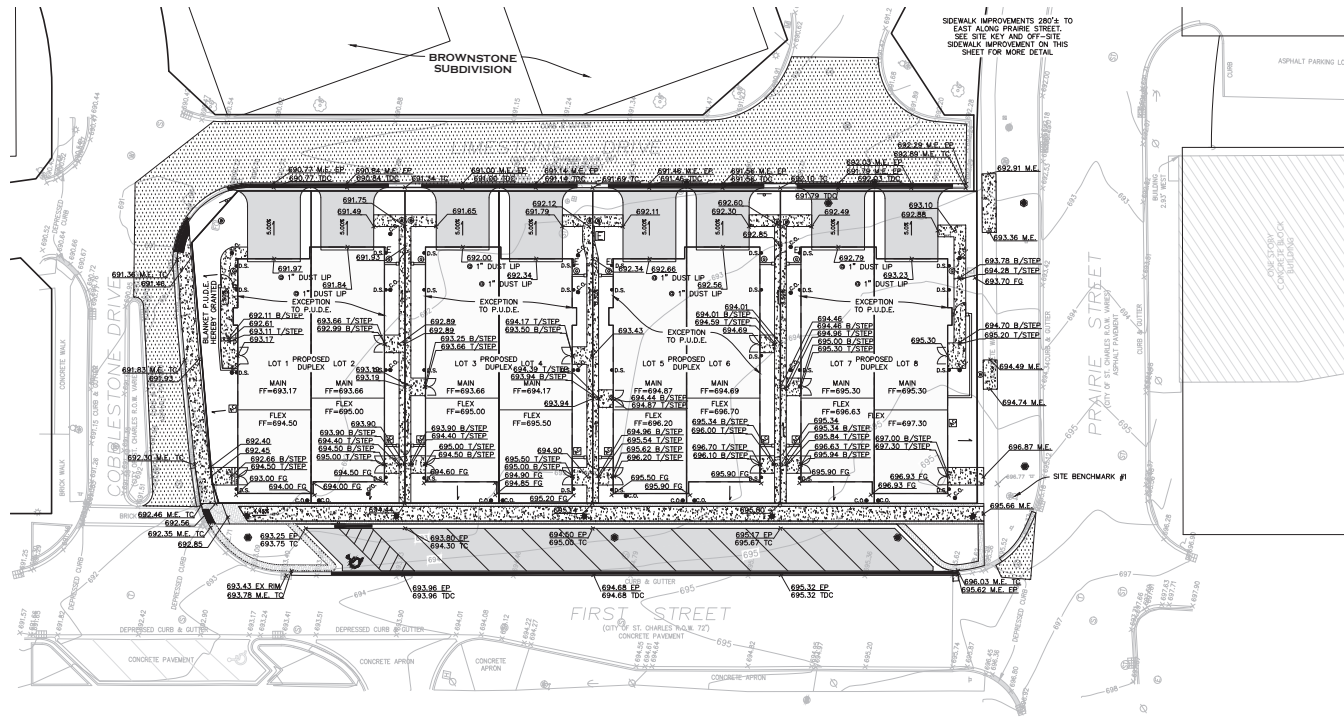
1. STORMWATER MANAGEMENT FACILITIES INCLUDING DETENTION, BMP'S ARE NOT REQUIRED FOR THIS DEVELOPMENT.



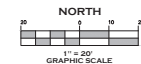
SITE KEY
NTS



OFF-SITE SIDEWALK IMPROVEMENT
SCALE: 1"=20'



ON-SITE IMPROVEMENTS
SCALE: 1"=20'



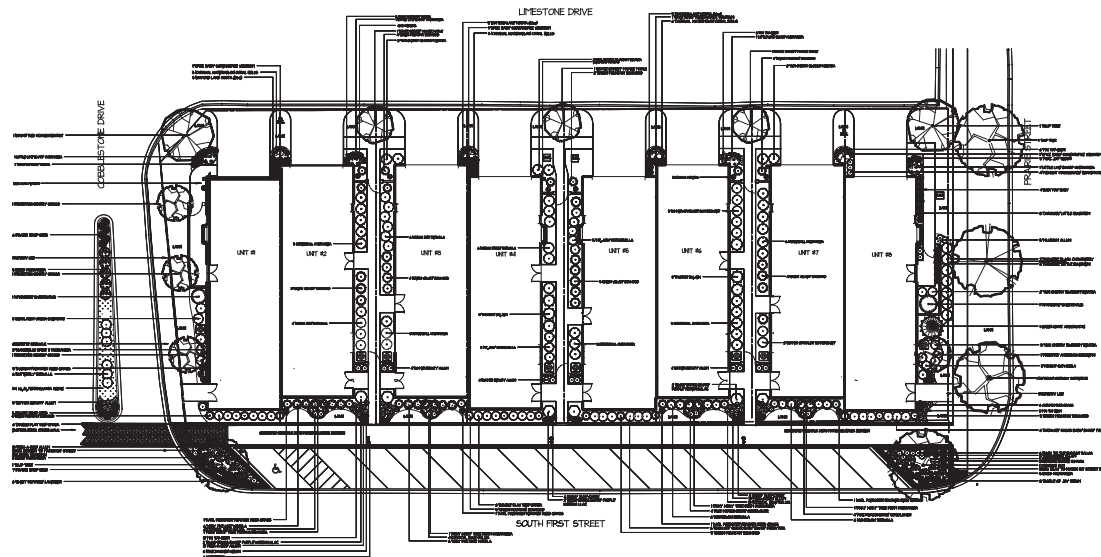
COPYRIGHT © 2025	
MeritCorp	
DATE: 07/25	DESCRIPTION: RIVER 504 ROWHOMES
09/22/25	REV'D PER CLIENT & PER CITY OF ST. CHARLES
07/11/25	REV'D PER CITY OF ST. CHARLES
MeritCorp ENGINEERING: PLANNING, SURVEYING, ENVIRONMENTAL 4222 Meridian Parkway, Suite 112 Aurora, IL 60594 Office: 630.554.6655 Lic. No. 184-008860 www.meritcorp.com Other Office Locations: Gurnee, IL	
PROJECT NO. M24183 DRAWN BY: ZDS CHECKED BY: TDR SHEET NO. C6 / 6	

RIVER 504 ROWHOMES
402 - 542 SOUTH 1ST STREET
ST. CHARLES, ILLINOIS

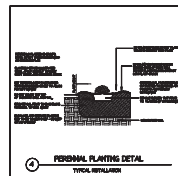
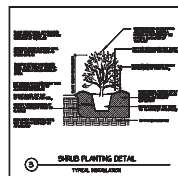
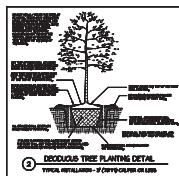
PRELIMINARY ENGINEERING PLANS

PROPOSED GRADING PLAN

NOT FOR CONSTRUCTION



1 LANDSCAPE PLAN
SCALE: 1" = 10'



Qty	Standard Name	Common Name	Plant Code
1	Black Walnut	JUGLANS NIGRA	100-000
2	Red Maple	ACER RUBRA	100-000
3	White Birch	BETULA PULCHRA	100-000
4	White Birch	BETULA PULCHRA	100-000
5	White Birch	BETULA PULCHRA	100-000
6	White Birch	BETULA PULCHRA	100-000
7	White Birch	BETULA PULCHRA	100-000
8	White Birch	BETULA PULCHRA	100-000
9	White Birch	BETULA PULCHRA	100-000
10	White Birch	BETULA PULCHRA	100-000
11	White Birch	BETULA PULCHRA	100-000
12	White Birch	BETULA PULCHRA	100-000
13	White Birch	BETULA PULCHRA	100-000
14	White Birch	BETULA PULCHRA	100-000
15	White Birch	BETULA PULCHRA	100-000
16	White Birch	BETULA PULCHRA	100-000
17	White Birch	BETULA PULCHRA	100-000
18	White Birch	BETULA PULCHRA	100-000
19	White Birch	BETULA PULCHRA	100-000
20	White Birch	BETULA PULCHRA	100-000
21	White Birch	BETULA PULCHRA	100-000
22	White Birch	BETULA PULCHRA	100-000
23	White Birch	BETULA PULCHRA	100-000
24	White Birch	BETULA PULCHRA	100-000
25	White Birch	BETULA PULCHRA	100-000
26	White Birch	BETULA PULCHRA	100-000
27	White Birch	BETULA PULCHRA	100-000
28	White Birch	BETULA PULCHRA	100-000
29	White Birch	BETULA PULCHRA	100-000
30	White Birch	BETULA PULCHRA	100-000
31	White Birch	BETULA PULCHRA	100-000
32	White Birch	BETULA PULCHRA	100-000
33	White Birch	BETULA PULCHRA	100-000
34	White Birch	BETULA PULCHRA	100-000
35	White Birch	BETULA PULCHRA	100-000
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39	White Birch	BETULA PULCHRA	100-000
40	White Birch	BETULA PULCHRA	100-000
41	White Birch	BETULA PULCHRA	100-000
42	White Birch	BETULA PULCHRA	100-000
43	White Birch	BETULA PULCHRA	100-000
44	White Birch	BETULA PULCHRA	100-000
45	White Birch	BETULA PULCHRA	100-000
46	White Birch	BETULA PULCHRA	100-000
47	White Birch	BETULA PULCHRA	100-000
48	White Birch	BETULA PULCHRA	100-000
49	White Birch	BETULA PULCHRA	100-000
50	White Birch	BETULA PULCHRA	100-000



NOTES

ALL LANDSCAPE BEDS TO BE FILLED WITH PREMIUM HARDWOOD SPLITTED MULCH

ALL EVERGREENS AND ORNAMENTAL TREES TO HAVE A MINIMUM HEIGHT OF 6 FEET AT PLANTING

ALL SHRUBS TO HAVE A MINIMUM HEIGHT OF 24 INCHES AT PLANTING

SEE CIVIL DRAWINGS FOR SIDEWALK AND PAVEMENT LAYOUT

CIVIL DRAWINGS TO BE FOLLOWED SHOULD THERE BE ANY DISCREPANCIES RELATED TO SIDEWALK, PAVEMENT, OR UTILITY LOCATIONS

ALL UTILITIES TO BE MARKED BY JULIE BEFORE ANY PLANTING TAKES PLACE

PLANTS WILL BE ADJUSTED FOR UTILITIES AS NEEDED



2	05/05	REMOVE MULCH, ADD UTILITIES
1	05/05	CHANGE DOOR & WALK LAYOUTS
1	05/05	CHANGE DOOR & WALK LAYOUTS

DESIGNED BY
MEAGAN PROVENCHER
SENIOR LANDSCAPE DESIGNER
LANDSCAPE CERTIFIED NURSERY PROFESSIONAL

WASCO NURSERY & GARDEN CENTER
4070 ROUTE 64
SAINT CHARLES, IL 60175
630-554-4024
DESIGN@WASCONURSERY.COM
WASCONURSERY.COM

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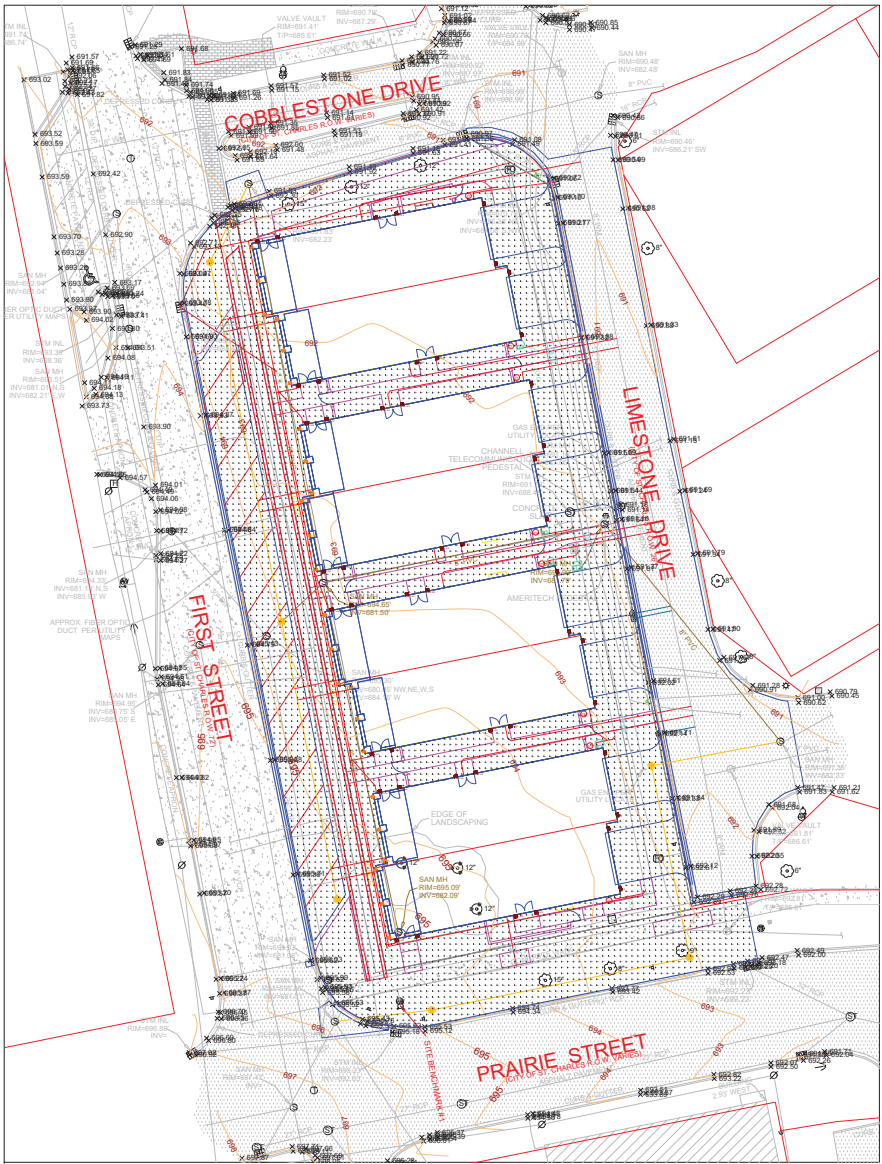
RIVER 504 ROW HOMES
504 LIMESTONE DRIVE
ST. CHARLES, IL 60174

J & B BUILDERS

SCALE 1" = 20'

DATE February 2025

1 of 1



Luminaire Schedule							
Symbol	Qty	Label	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	48	WAC LIGHTING WS-W230411	WS-W230411-CS(3000K)	0.850	476	16.4157	787.954
	24	WAC LIGHTING WS30405	WS-W230405-CS(3000K)	0.850	444	16.3008	391.219

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground_Planar	Illuminance	Fc	0.16	0.5	0.0	N.A.	N.A.

Notes:

- Mount Heights = MH as shown
- No minor obstructions included in calculations
Obstructions will affect footcandle levels

The Lighting Digest
210 W. State Street
Gainesville, IL 60134
(833) 568-2274
Email Address: info@TheLightingDigest.com

Project:
Rowhome Development

Drawn By:
Jeff Cascarelli

Project No:
250275

Date:
7/17/2025

Scale:
1" = 20ft

Disclaimer:
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ELECTRICAL LEGEND

POWER	FIRE ALARM	ELECTRICAL ABBREVIATIONS
DUPLEX RECEPTACLE	FIRE ALARM SMOKE DETECTOR	ACP ACCESS CONTROL PANEL
ABOVE COUNTER DUPLEX RECEPTACLE	FIRE ALARM STAND ALONE SMOKE DETECTOR	ADR AREA OF RESCUE
DOUBLE DUPLEX RECEPTACLE		AFF ABOVE FINISHED FLOOR
ABOVE COUNTER DOUBLE DUPLEX RECEPTACLE		BCH BACK OF HOUSE
FLOOR DUPLEX RECEPTACLE		C CEILING MOUNTED
FLOOR DOUBLE DUPLEX RECEPTACLE		CL CENTER LINE
SPECIAL RECEPTACLE		CKT CIRCUIT
PANEL BOARD		CP DISTRIBUTION PANEL
E-CONNECTION - CEILING / WALL		EC ELECTRICAL CONTRACTOR
SURGE PROTECTION DEVICE		EM EMERGENCY
DIRECT EQUIPMENT CONNECTION WITH THERMAL RATED DISCONNECT SWITCH		EX EXISTING

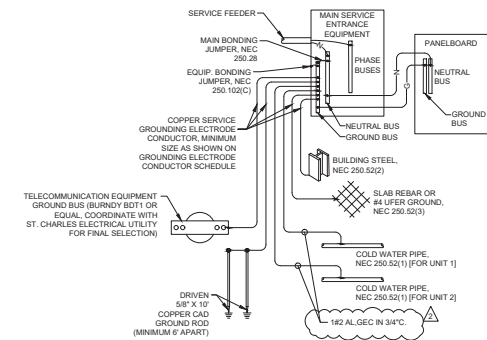
LOW VOLTAGE
VOICE/DATA OUTLET
ABOVE COUNTER VOICE/DATA OUTLET
FLOOR / CEILING VOICE/DATA OUTLET
DATA OUTLET
FLOOR / CEILING VOICE/DATA OUTLET
VOICE OUTLET
FLOOR / CEILING VOICE OUTLET

LIGHTING
SWITCH
DIMMER SWITCH
3-WAY SWITCH
4-WAY SWITCH
VACANCY SENSOR (WALL MOUNT)
OCCUPANCY SENSOR (WALL MOUNT)
LOW VOLTAGE MOMENTARY CONTACT SWITCH
TIME CLOCK OVER RIDE SWITCH
VACANCY SENSOR (CEILING)
OCCUPANCY SENSOR (CEILING)
DAYLIGHT SENSOR (CEILING)
BATTERY EMERGENCY LIGHT (WALL MOUNT)
BATTERY EMERGENCY LIGHT (CEILING MOUNT)
EXIT SIGN
UPPER CASE LETTER DENOTES FIXTURE TAG
LOWER CASE LETTER DENOTES SWITCH DESIGNATION

ANNOTATION
KEYED NOTE TAG
KEYED NOTE TAG
REVISION NOTE TAG

LINE WEIGHT LEGEND
NEW
EXISTING
DEMO

MISCELLANEOUS
JUNCTION BOX - CEILING/WALL MOUNTED
PULL BOX
CONDUIT CONCEALED IN WALL, CEILING OR UNDERGROUND.
CENTER LINES DENOTE UNDERGROUND/FLOOR CONDUIT.
DASHED LINES DENOTE DEMOLITION.
ARROWHEAD DENOTES HOMERUN TO PANEL.
SLASHED DENOTE QUANTITY OF CONDUCTORS.
DOT DENOTES GROUND.
LONG SLASH DENOTES NEUTRAL CONDUCTOR.
SHORT SLASH DENOTES PHASE CONDUCTOR.
SWITCH LEG OR CONTROL.
FLEXIBLE CONDUIT WHIP - MAX 6'-0" IN LENGTH
METER
FUSED SWITCH
CIRCUIT BREAKER
ENCLOSED CIRCUIT BREAKER
FUSED SWITCH
DISCONNECT SWITCH
FUSED DISCONNECT SWITCH
COMBINATION STARTER DISCONNECT SWITCH W/ H.O.A.



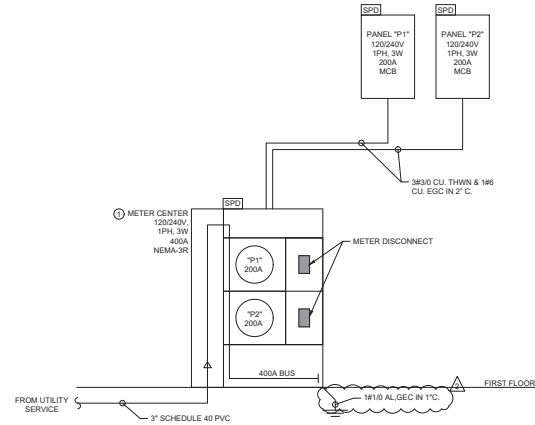
2

SERVICE GROUNDING SYSTEM DIAGRAM

SCALE: N.T.S.

ELECTRICAL SHEET INDEX

SHEET NO.	SHEET NAME	SCALE
E0.0	ELECTRICAL COVER SHEET	N.T.S.
E1.0	ELECTRICAL SITE PLAN	1/16" = 1'-0"
E2.0	ELECTRICAL SCHEDULES	N.T.S.



1

ELECTRICAL ONE-LINE DIAGRAM (TYP. FOR 4)

SCALE: N.T.S.

ELECTRICAL ONE - LINE DIAGRAM GENERAL NOTES:

- PROVIDE NECESSARY METERING FACILITIES INCLUDING METER SOCKET, CURRENT-TRANSFORMER (CT) CABINET, COORDINATE WITH LOCAL UTILITY: CONDUIT, AND OTHER WORK FOR METERING REQUIRED BY THE LOCAL UTILITY COMPANY.
- UPON SUBSTANTIAL COMPLETION, THE ELECTRICAL CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL ALLOW, AT THE ENGINEER'S DISCRETION, FOR THE INSPECTION OF NEW WORK BEFORE ENERGIZING.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE MAXIMUM AVAILABLE FAULT CURRENT FIELD LABELING TO SERVICE EQUIPMENT IN ACCORDANCE WITH NEC 110.24. REFER TO PANEL SCHEDULE ON SHEET E5.0 FOR THE KAIC RATING OF THE PANEL.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL INDICATED EQUIPMENT TO CODE-COMPLIANT CLEARANCES. PROVIDE SUBMITTALS AS INDICATED ON SPECIFICATIONS TO PROPERLY COORDINATE PHYSICAL LOCATIONS OF NEW AND/OR EXISTING EQUIPMENT.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE CIRCUIT DIRECTORY OR CIRCUIT IDENTIFICATION FOR PANELBOARDS AND SOURCE OF SUPPLY FOR SWITCHBOARDS AND PANELBOARDS SUPPLIED BY A FEEDER.
- ELECTRICAL EQUIPMENT SUCH AS SWITCHBOARDS, PANELBOARDS, INDUSTRIAL CONTROL, PANELS, METER SOCKET ENCLOSURES AND MOTOR CONTROL CENTERS SHALL BE FIELD-MARKED WARNING QUALIFIED PERSONNEL OF THE POTENTIAL ARC FLASH HAZARD AND APPROPRIATE PPE IS REQUIRED PER NEC ART. 110 AND NFPA-70E-2000.
- PANELBOARD MOUNTING HEIGHT SHALL NOT EXCEED 6'-6" FROM FINISHED FLOOR TO CENTER OF TOP BREAKER.
- ALL FLOOR MOUNTED EQUIPMENT INCLUDING SWITCHBOARDS, DISTRIBUTION PANELS, TRANSFORMERS, AND TRANSFER SWITCHES SHALL BE MOUNTED ON 4" CONCRETE PADS.
- VOLTAGE DROP FOR BRANCH CIRCUITS AND FEEDERS SHALL NOT EXCEED 3% FROM SOURCE OF ORIGIN TO FURTHEST TERMINATION POINT.
- ALL NEW ELECTRICAL EQUIPMENT SHALL BE UL LISTED OR APPROVED BY CITY RECOGNIZED ELECTRICAL TESTING COMPANY.
- FEEDER LENGTHS ARE SHOWN FOR VOLTAGE DROP AND FAULT CURRENT CALCULATIONS PURPOSES ONLY. DO NOT USE FOR BIDDING PURPOSES. CONTRACTOR SHALL FIELD VERIFY ACTUAL PATH OF ANY AND ALL FEEDER LENGTHS PRIOR TO BID.
- TERMINATION PROVISIONS FOR ELECTRICAL EQUIPMENT SHALL COMPLY WITH NEC 110.14(C)(1).
- SURGE PROTECTIVE DEVICE IN SERVICE ENTRANCE PANEL SHALL BE UL 1449 3RD EDITION TYPE-2 FOR SERVICE ENTRANCE.
- TO MEET REQUIREMENTS FOR A MASTER-LABELLED INSTALLATION, FURNISH AND INSTALL SURGE PROTECTIVE DEVICES ON BUILDING POWER INCOMING AND OUTGOING CIRCUITS, COMMUNICATION, AND SIMILAR SYSTEMS PROTECTORS AS NECESSARY PER STANDARDS.
- COORDINATE CIRCUIT BREAKER AND BRANCH CIRCUIT SIZES WITH SPD MANUFACTURER REQUIREMENTS BASED ON NEC 280.67.

ELECTRICAL ONE - LINE DIAGRAM KEY NOTES:

- MC (METER CENTER) SHALL BE APPROVED BY ST. CHARLES MUNICIPAL ELECTRIC UTILITY COMPANY. COORDINATE EXACT LOCATION & MOUNTING HEIGHT ON FIELD WITH ST. CHARLES MUNICIPAL ELECTRIC UTILITY COMPANY.

ALLEN PEPA
ARCHITECTSINFO@ALLENPEPA.COM
TEL: (833) 972-1400
TEL: (630) 572-1400
216 FULTON ST., GENEVA, IL 60134

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SEAL & SIGN



RIVER 504 ROW HOMES

402-542 SOUTH 1ST STREET
ST CHARLES, ILLINOIS

Submittal Design:

Design Development

Bidding

Permit

ISSUE DATE:

POST BID/PERMIT REVISIONS:

No.	Date	Description
0	06.10.25	ISSUED FOR PERMIT
1	07.11.25	PERMIT REVISION #1
2	08.28.25	PERMIT REVISION #2

PROJECT NO. 24-013

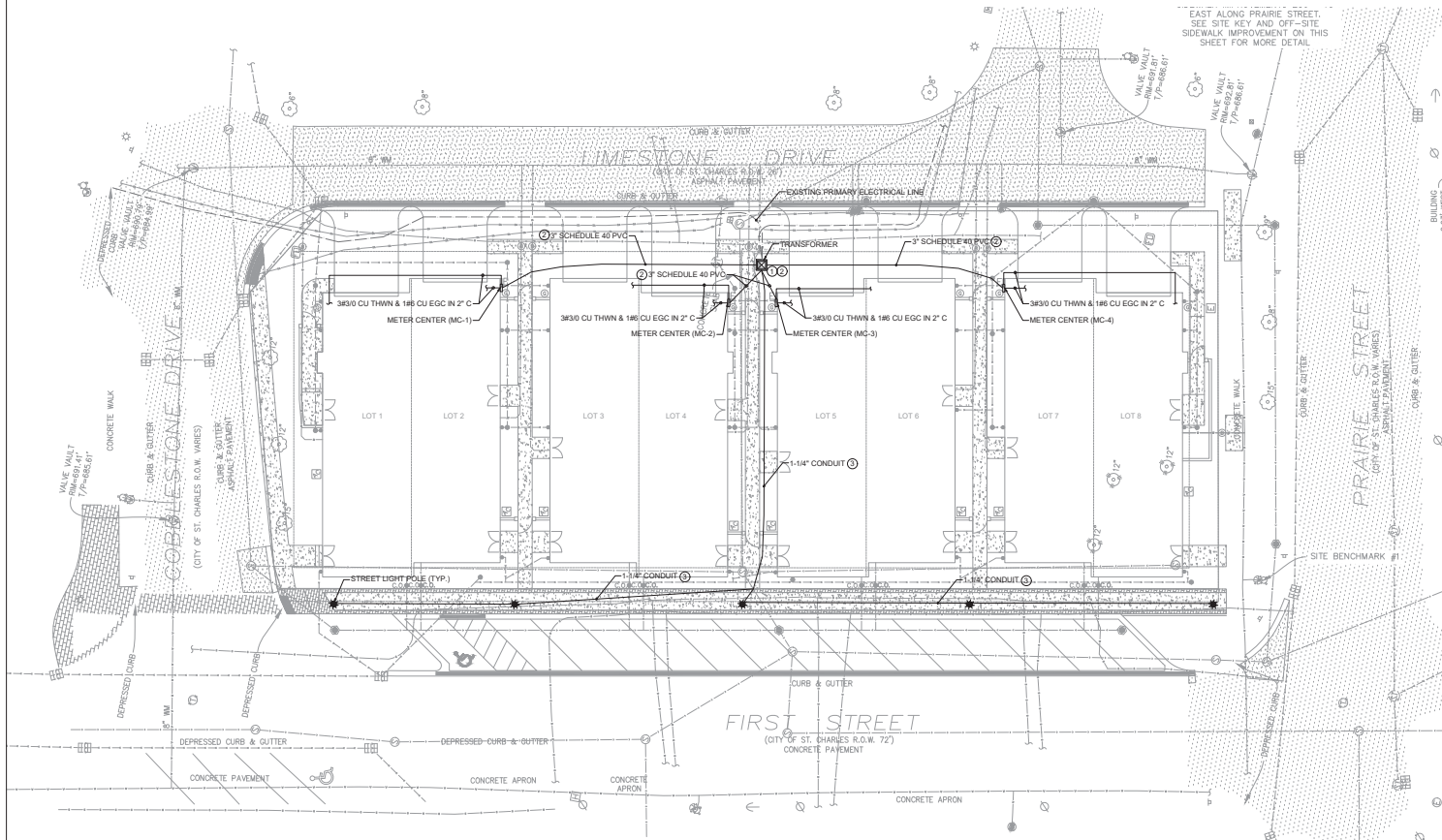
DRAWN BY D.P.

CHECKED BY S.B.

SHEET 3 OF 3

ELECTRICAL
COVER SHEET

E0.0



ELECTRICAL SITE PLAN
SCALE: 1/16" = 1'-0"

- GENERAL NOTES**
1. ALL ELECTRIC SERVICE WORK SHALL CONFORM TO CITY OF ST. CHARLES ELECTRIC UTILITY STANDARDS.
 2. A COMPLETED ELECTRIC SERVICE APPLICATION SHALL BE SUBMITTED FOR EACH NEW OR MODIFIED SERVICE. COORDINATE SERVICE VOLTAGE, LOAD REQUIREMENTS, AND METER LOCATION WITH THE ELECTRIC UTILITY DIVISION PRIOR TO INSTALLATION.
 3. TRANSFORMERS SHALL BE PAD-MOUNTED WITH A MINIMUM 10' CLEAR WORKING SPACE AT THE FRONT AND 3' ON ALL OTHER SIDES. TRANSFORMER PAD SHALL BE INSTALLED LEVEL AND PER CITY STANDARDS.
 4. TRANSFORMERS MUST BE FULLY ACCESSIBLE TO UTILITY PERSONNEL AND SERVICE VEHICLES AT ALL TIMES. NO FENCES, STRUCTURES, OR LANDSCAPING SHALL OBSTRUCT ACCESS OR REQUIRED CLEARANCES.
 5. THE OWNER/DEVELOPER SHALL PROVIDE AND INSTALL ALL REQUIRED CONDUITS, TRANSFORMER PAD, PULL BOXES, AND RACEWAYS PER CITY REQUIREMENTS. CONDUIT SYSTEM SHALL BE INSTALLED TO CITY-SPECIFIED DEPTHS AND CONSTRUCTION METHODS.
 6. ELECTRICAL SERVICE CONDUITS SHALL BE SHOWN ON THE SITE PLAN, INCLUDING PRIMARY AND SECONDARY ROUTING, WITH ALL REQUIRED EASEMENTS.
 7. A MINIMUM 10' UTILITY EASEMENT SHALL BE PROVIDED AROUND ALL PAD-MOUNTED EQUIPMENT. NO PERMANENT STRUCTURES OR OBSTRUCTIONS ARE PERMITTED IN EASEMENTS.
 8. SITE PLAN SHALL INCLUDE PROPERTY LINES, STRUCTURES, SETBACKS, EASEMENTS, TRANSFORMER LOCATIONS, METER LOCATIONS, AND ELECTRIC SERVICE ENTRANCES AT A MINIMUM SCALE OF 1" = 20'.
 9. A PRE-CONSTRUCTION MEETING WITH THE ELECTRIC UTILITY IS REQUIRED PRIOR TO BEGINNING INSTALLATION.
 10. FINAL INSPECTION AND ELECTRIC SERVICE ENERGIZATION WILL BE SUBJECT TO APPROVAL OF ALL ELECTRICAL INSTALLATIONS, CONFORMANCE WITH CITY STANDARDS, AND SUBMISSION OF AN APPROVED AS-BUILT SURVEY.
 11. CALL J.U.L.I.E. AT 811 TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
 12. J.U.L.I.E. NOTIFICATION: PRIOR TO ANY DIGGING, CONTACT THE JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS (J.U.L.I.E.) AT 811 OR (800) 892-0123 TO LOCATE UNDERGROUND UTILITIES.
 13. IF THE DEVELOPER WISHES TO PROVIDE PRIVATE STREET LIGHTING, ANY PRIVATE LIGHTING CONDUIT AND CABLE ARE NOT ALLOWED WITHIN THE PRIMARY OR SECONDARY ELECTRIC CONDUIT TRENCH. FURTHERMORE, PRIVATE LIGHT ROUTING SHOULD MAINTAIN A FIVE (5) FOOT CLEARANCE TO THE PRIMARY MAINLINE OR SECONDARY SERVICE MAINS TO AVOID FUTURE LOCATING CONFUSION. IF THERE IS GOING TO BE PRIVATE LIGHTING, SUCH WILL HAVE TO BE ON A METER SEPARATE FROM THE BUILDINGS. THIS METER SHOULD BE ON A SEPARATE SERVICE FROM THE TRANSFORMER.
 14. FOR QUESTIONS OR COORDINATION, CONTACT: STEVE SHROBA
CITY OF ST. CHARLES ELECTRIC UTILITY DIVISION
PHONE: (330) 377-4407
ADDRESS: 2 EAST MAIN STREET, ST. CHARLES, IL 60174
 15. THE ELECTRIC MAINLINE CABLE ROUTE SHOULD BE SEPARATE OF AT LEAST FIVE FEET FROM SEWER, WATER & GAS, EXCEPT AT LOCATION WHERE THEY CROSS. COORDINATE WITH THE CITY OF ST. CHARLES ELECTRIC UTILITY DIVISION PRIOR TO INSTALLATION.

- ELECTRICAL SITE PLAN KEYED NOTES**
1. TRANSFORMER LOCATION SHOWN IS APPROXIMATE. CONTRACTOR SHALL COORDINATE AND VERIFY FINAL TRANSFORMER LOCATION WITH THE CITY OF ST. CHARLES ELECTRIC UTILITY DIVISION PRIOR TO INSTALLATION.
 2. UNDERGROUND CONDUIT ROUTING SHOWN ON THE DRAWINGS IS DIAGRAMMATIC ONLY. CONTRACTOR SHALL VERIFY FINAL ROUTING AND INSTALLATION DETAILS IN FIELD BASED ON EXISTING CONDITIONS, UTILITY COMPANY REQUIREMENTS, AND LOCAL CODES.
 3. STREETLIGHTS SHALL BE CONNECTED IN "DAISY CHAIN" CONFIGURATION AS REQUIRED BY THE CITY OF ST. CHARLES ELECTRIC UTILITY DIVISION. COORDINATE AND GET APPROVAL FROM CITY INSPECTOR BEFORE INSTALLATION.

ALLEN PEPA ARCHITECTS
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ST. CHARLES, ILLINOIS

Schematic Design	
Design Development	
Bidding	
Permit	
ISSUE DATE	
POST BID/PERMIT REVISIONS:	
No.	Date Description
0.	06.10.25 ISSUED FOR PERMIT
1.	07.11.25 PERMIT REVISION #1
2.	08.28.25 PERMIT REVISION #2
PROJECT NO.	24-013
DRAWN BY	D.P.
CHECKED BY	S.B.
SHEET	2 OF 3

ELECTRICAL SITE PLAN
E1.0

LOAD CALCULATION (120/240 V, 1 Phase)			
BUILDING TYPE A (UNIT-1)- LOAD CALCULATION			
GENERAL LOADS:			
Square Foot Area Per Unit	4986 Square Feet		
Watts per Square Foot	3 VA/SF		
Total General Lighting VA	14958 VA		
2 Appliance Circuits @ 1500VA Each	3000 VA		
1 Laundry appliance @ 1500VA Each	1500 VA		
1 Range	1800 VA		
1 Garbage Disposal	500 VA		
1 Dishwasher	1440 VA		
1 Refrigerator	1800 VA		
1 Gas Dryer	1800 VA		
1 Elevator	11500 VA		
1 EVC	9600 VA		
1 Microwave	1800 VA		
Total General Load:	49698 VA		
DEMAND:			
FIRST 10KVA @ 100%	10000 VA		
REMAINDER @ 40%	15879 VA		
Sub-Total	25879 VA		
MECHANICAL LOAD			
1 CU	4896 VA		
2 FU	2189 VA		
1 GWH	500 VA		
1 Hood	444 VA		
Total Connected VA:	57727 VA		
Total Demand VA:	33908 VA		
Total AMPS: Total Connected VA / 240	240.53 AMPS		
Total AMPS: Total Demand VA / 240	141.28 AMPS		
Total AMPS *1.25	176.60 AMPS		

LOAD CALCULATION (120/240 V, 1 Phase)			
BUILDING TYPE A (UNIT-2)- LOAD CALCULATION			
GENERAL LOADS:			
Square Foot Area Per Unit	4958 Square Feet		
Watts per Square Foot	3 VA/SF		
Total General Lighting VA	14874 VA		
2 Appliance Circuits @ 1500VA Each	3000 VA		
1 Laundry appliance @ 1500VA Each	1500 VA		
1 Range	1800 VA		
1 Garbage Disposal	500 VA		
1 Dishwasher	1440 VA		
1 Refrigerator	1800 VA		
1 Gas Dryer	1800 VA		
1 Elevator	11500 VA		
1 EVC	9600 VA		
1 Microwave	1800 VA		
Total General Load:	49614 VA		
DEMAND:			
FIRST 10KVA @ 100%	10000 VA		
REMAINDER @ 40%	15846 VA		
Sub-Total	25846 VA		
MECHANICAL LOAD			
1 CU	4896 VA		
2 FU	2189 VA		
1 GWH	500 VA		
1 Hood	444 VA		
Total Connected VA:	57643 VA		
Total Demand VA:	33874 VA		
Total AMPS: Total Connected VA / 240	240.18 AMPS		
Total AMPS: Total Demand VA / 240	141.14 AMPS		
Total AMPS *1.25	176.43 AMPS		

LOAD CALCULATION (120/240 V, 1 Phase)			
BUILDING TYPE B (UNIT-1)- LOAD CALCULATION			
GENERAL LOADS:			
Square Foot Area Per Unit	4911 Square Feet		
Watts per Square Foot	3 VA/SF		
Total General Lighting VA	14733 VA		
2 Appliance Circuits @ 1500VA Each	3000 VA		
1 Laundry appliance @ 1500VA Each	1500 VA		
1 Range	1800 VA		
1 Garbage Disposal	500 VA		
1 Dishwasher	1440 VA		
1 Refrigerator	1800 VA		
1 Gas Dryer	1800 VA		
1 Elevator	11500 VA		
1 EVC	9600 VA		
1 Microwave	1800 VA		
Total General Load:	49473 VA		
DEMAND:			
FIRST 10KVA @ 100%	10000 VA		
REMAINDER @ 40%	15789 VA		
Sub-Total	25789 VA		
MECHANICAL LOAD			
1 CU	4896 VA		
2 FU	2189 VA		
1 GWH	500 VA		
1 Hood	444 VA		
Total Connected VA:	57502 VA		
Total Demand VA:	33818 VA		
Total AMPS: Total Connected VA / 240	239.59 AMPS		
Total AMPS: Total Demand VA / 240	140.91 AMPS		
Total AMPS *1.25	176.14 AMPS		

LOAD CALCULATION (120/240 V, 1 Phase)			
BUILDING TYPE B (UNIT-2)- LOAD CALCULATION			
GENERAL LOADS:			
Square Foot Area Per Unit	4898 Square Feet		
Watts per Square Foot	3 VA/SF		
Total General Lighting VA	14694 VA		
2 Appliance Circuits @ 1500VA Each	3000 VA		
1 Laundry appliance @ 1500VA Each	1500 VA		
1 Range	1800 VA		
1 Garbage Disposal	500 VA		
1 Dishwasher	1440 VA		
1 Refrigerator	1800 VA		
1 Gas Dryer	1800 VA		
1 Elevator	11500 VA		
1 EVC	9600 VA		
1 Microwave	1800 VA		
Total General Load:	49434 VA		
DEMAND:			
FIRST 10KVA @ 100%	10000 VA		
REMAINDER @ 40%	15774 VA		
Sub-Total	25774 VA		
MECHANICAL LOAD			
1 CU	4896 VA		
2 FU	2189 VA		
1 GWH	500 VA		
1 Hood	444 VA		
Total Connected VA:	57463 VA		
Total Demand VA:	33802 VA		
Total AMPS: Total Connected VA / 240	239.43 AMPS		
Total AMPS: Total Demand VA / 240	140.84 AMPS		
Total AMPS *1.25	176.05 AMPS		

TOTAL RESIDENTIAL UNITS LOAD CALCULATIONS (NEC 220.84)(TYPICAL BUILDING TYPE A)					
PROJECT NAME: RIVER 504 ROW HOMES					
TOTAL NO. OF UNITS/APTS: 2					
TYPE OF SERVICE: 120/240, 1 PHASE, 3W					
TOTAL LOAD BUILDING					
TYPE A UNIT 1	33,908	VA	1	33,908	VA
TYPE A UNIT 2	33,874	VA	1	33,874	VA
TOTAL LOAD =				67,782	VA
TOTAL DEMAND LOAD =				67,782	VA
TOTAL AMPS = TOTAL DEMAND VA / 240V				282.43	A

TOTAL RESIDENTIAL UNITS LOAD CALCULATIONS (NEC 220.84)(TYPICAL BUILDING TYPE B)					
PROJECT NAME: RIVER 504 ROW HOMES					
TOTAL NO. OF UNITS/APTS: 2					
TYPE OF SERVICE: 120/240, 1 PHASE, 3W					
TOTAL LOAD BUILDING					
TYPE A UNIT 1	33,818	VA	1	33,818	VA
TYPE A UNIT 2	33,802	VA	1	33,802	VA
TOTAL LOAD =				67,620	VA
TOTAL DEMAND LOAD =				67,620	VA
TOTAL AMPS = TOTAL DEMAND VA / 240V				281.76	A

ALLEN PEPA
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ENGINEERS
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WWW.ALLENPEPA.COM
216 RULTON ST., GENEVA, IL 60134

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www.3sdesign.com
1000 W. 10TH STREET, SUITE 100
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T: 312.371.4400

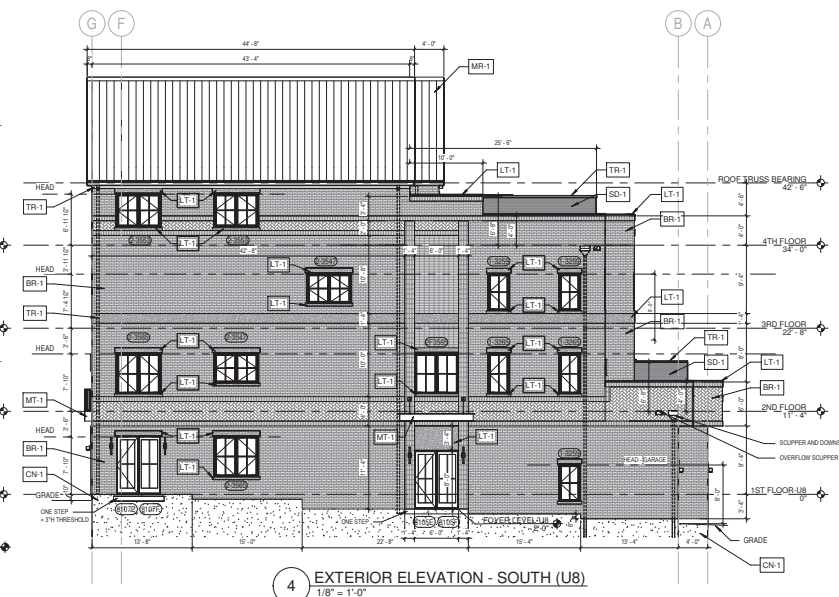
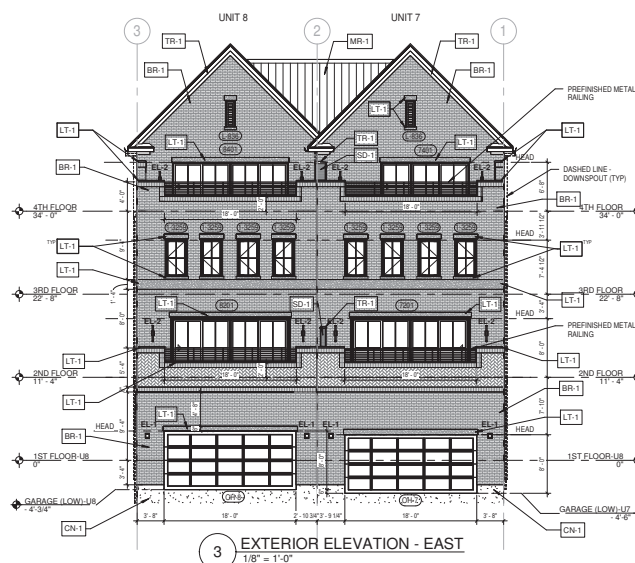
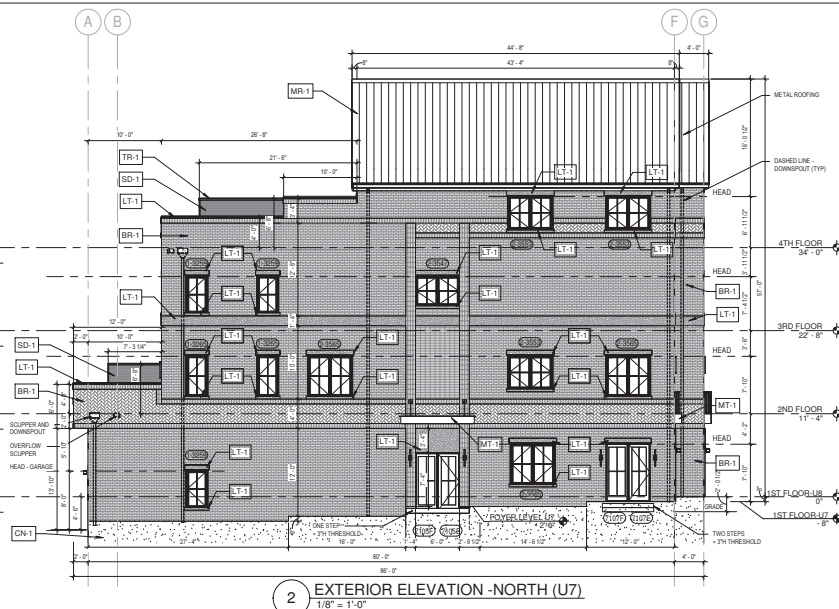
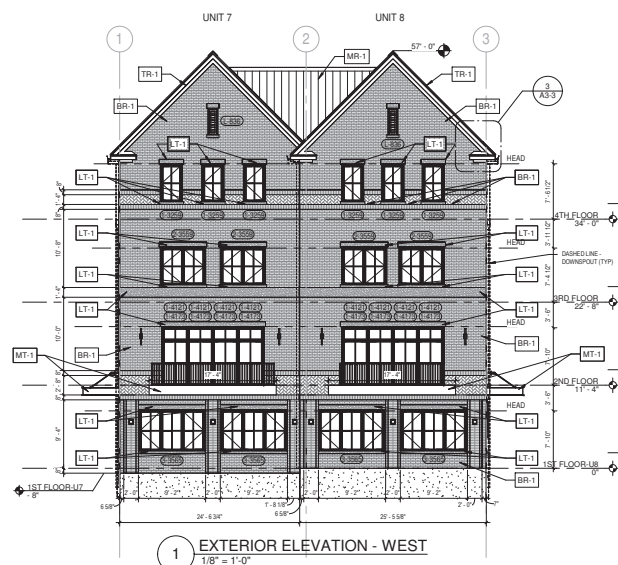
SEAL & SIGN
EXP-11.30.2025

RIVER 504 ROW HOMES
402-542 SOUTH 1ST STREET
ST CHARLES, ILLINOIS

Schematic Design
Design Development
Bidding
Permit
ISSUE DATE
POST BID/PERMIT REVISIONS:
No. Date Description
0. 06.10.25 ISSUED FOR PERMIT
1. 07.11.25 PERMIT REVISION #1
2. 08.28.25 PERMIT REVISION #2
PROJECT NO. 24-013
DRAWN BY D.P.
CHECKED BY S.B.
SHEET 3 OF 3

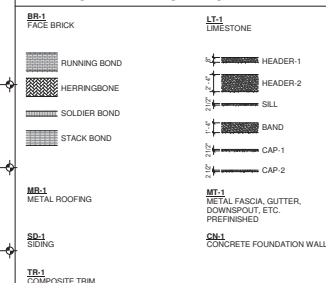
ELECTRICAL
SCHEDULES

E2.0

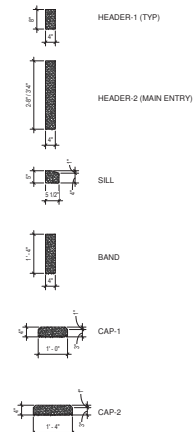


- | GENERAL EXTERIOR ELEVATION NOTES | |
|----------------------------------|---|
| 1. | PROVIDE SEALANT AROUND ALL NEW ELECTRICAL OUTLETS, OVERFLOW NOZZLES, AND FREEZE-PROOF HOSE-BIBBS |
| 2. | ALL WEATHER PROOF GFCI RECEPTACLES AND HOSE BIBBS UNITS TO BE MOUNTED AT 24" TO TOP OF UNIT. COMPLETELY SEAL PENETRATIONS. COORDINATE LOCATIONS WITH MEP DRAWINGS. VERIFY ALL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. |
| 3. | SEE STRUCTURAL DRAWINGS FOR FOUNDATIONS. |
| 4. | PROVIDE TEMPERED GLAZING AS REQUIRED. |

EXTERIOR ELEVATION LEGEND



LIMESTONE PROFILE - NOMINAL



PRELIMINARY PLAT OF RIVER 504 ROWHOMES SUBDIVISION

BEING A RE-SUBDIVISION OF LOT 14, 15 AND PARCEL 9 IN BROWNSTONE IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 2, 2001 AS DOCUMENT 2001K000149, ALL BEING A PART OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

SITE ACREAGE

OVERALL SUBDIVISION:
29,385 SF 0.675 AC
RIGHT-OF-WAY TO BE DEDICATED:
1,380 SF 0.032 AC
TOTAL LOTS:
28,005 SF 0.643 AC
*SEE LEFT FOR INDIVIDUAL LOT SIZES

PUBLIC UTILITY & DRAINAGE EASEMENT (P.U.D.E.) NOTES:

A BLANKET P.U.D.E. IS HEREBY GRANTED OVER LOTS 1 THROUGH 8, EXCEPT THOSE PORTIONS WITHIN THE BUILDING FOOTPRINT, AS CONSTRUCTED. THE APPROXIMATE LOCATION OF SAID EXCEPTIONS ARE SHOWN HEREBY, BUT SUBJECT TO CHANGE DUE TO BUILDING RE-DESIGN, AS-BUILT LOCATIONS, AND CONSTRUCTION TOLERANCES.

PUBLIC UTILITY & DRAINAGE EASEMENT (P.U.D.E.) PROVISION

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEIR EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERITCH AND NICOR AND TO THEIR SUCCESSORS AND ASSIGNS (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY AND DRAINAGE EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENEWING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGEWAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK. THE PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES AND THE RESPECTIVE SUCCESSORS AND ASSIGNS FOR MAINTAINING THE UNINTERRUPTED AND UNIMPEDED CONVEYANCE, FLOW AND RUNOFF OF SURFACE STORM WATER ACROSS AND UPON THE AREAS DESIGNATED ON THIS PLAT AS DRAINAGE EASEMENT. THE RIGHT IS HEREBY GRANTED TO SAID GRANTEES TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE DRAINAGEWAYS AND OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER, OR THROUGH SAID EASEMENTS.

NO PERMANENT BUILDINGS, TREES, GARDENS, SHRUBS, OR BERMING SHALL BE PLACED ON OR IN SAID EASEMENTS, EXCEPT AS OTHERWISE APPROVED BY THE CITY. BUT THE EASEMENT AREAS MAY BE USED FOR PAVING, FENCES, SIDEWALKS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS. UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES.

FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEES IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREIN, THE GRANTEES SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEES SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION.

SURVEYOR'S NOTES

1. SURVEY IS BASED ON FIELD WORK COMPLETED ON FEBRUARY 28, 2025.
2. ONLY THOSE EXISTING EASEMENTS PROVIDED BY CLIENT WERE REVIEWED FOR THIS SURVEY. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS. ADDITIONAL EASEMENTS MAY EXIST THAT ARE NOT DEPICTED HEREON.
3. BASIS OF BEARING: GRID NORTH - ILLINOIS EAST ZONE, STATE PLANE COORDINATE SYSTEM, NAD 83.

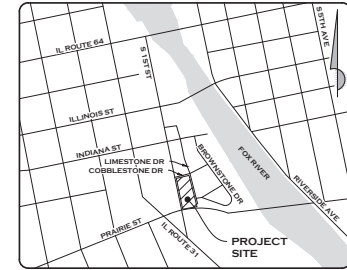
1. SUBDIVIDED PROPERTY LEGAL DESCRIPTION UTILIZED FOR THIS SURVEY WAS FROM WARRANTY DEED RECORDED 411/0022 AS DOCUMENT NUMBER 2022K019650.
2. IRON PIPES SET SHALL BE 3/4" DIAMETER, BY 24" LENGTH, WHICH EXCEEDS VILLAGE REQUIREMENTS AND MEETS THE STATE OF ILLINOIS REQUIREMENTS.

OWNER/SUBDIVIDER

J&B BUILDERS, INC.
525 S. Tyler Rd, Unit P
St. Charles, IL 60174
PH: (630) 587-9900

SURVEYOR

MeritCorp Group, LLC
4222 Meridian Parkway, Suite 112
Aurora, Illinois 60004
Ph: (330) 554-6655



VICINITY MAP
NOT TO SCALE

LEGEND

PROPERTY BOUNDARY
OFFSITE PROPERTY LINE
PROPOSED LOT LINE
EASEMENT LINE
RECORD DIMENSION
CONCRETE MONUMENT
FOUND IRON PIPE
FOUND IRON ROD
SET 3/4" IRON PIPE
SET CUT CROSS
EXCEPTION TO P.U.D.E.

ABBREVIATIONS

P.U.D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT
FND = FOUND
SF = SQUARE FOOTAGE
AC = ACREAGE

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

THIS IS TO CERTIFY THAT I, JONATHAN SPINAZZOLA, ILLINOIS LAND SURVEYOR NO. 3868, HAVE SURVEYED AND PROPOSES TO SUBDIVIDE THE FOLLOWING DESCRIBED PROPERTY:

LOT 14, 15 AND PARCEL 9 IN BROWNSTONE IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 2, 2001 AS DOCUMENT 2001K000149, ALL BEING A PART OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

AS SHOWN BY THE SUBDIVISION PLAT WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION, ALL DISTANCES ARE SHOWN IN FEET & DECIMALS THEREOF. THIS SUBDIVISION IS WITHIN THE CITY OF ST. CHARLES, ILLINOIS WHICH ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12.6 AS HERETOFORE AND HEREAFTER AMENDED, AND THIS SITE FALLS WITHIN "OTHER AREAS ZONE 'X' (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEFINED BY THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 170330002K, MAP NUMBER 17089C0202H, EFFECTIVE DATE OF AUGUST 3, 2009.

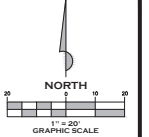
GIVEN UNDER MY HAND AND SEAL ON THIS 11TH DAY OF JULY, 2025.

JONATHAN D. SPINAZZOLA
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3868
CURRENT LICENSE EXPIRES NOVEMBER 30, 2026.

THIS PROFESSIONAL SERVICE CONFORMS TO THE MINIMUM STANDARDS FOR A BOUNDARY SURVEY IN THE STATE OF ILLINOIS.



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DESCRIPTION:
ISSUED TO CITY OF ST. CHARLES
REVISED PER CITY OF ST. CHARLES
DATE:
03/10/25
07/21/25
07/11/25

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Professional Land Surveyors International
4222 Meridian Parkway, Suite 112
Aurora, IL 60006
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Lic. No. 04-005860
www.meritcorp.com
Other Office Locations:
Gurnee, IL



RIVER 504 ROWHOMES
402-542 SOUTH 1ST STREET
ST. CHARLES, ILLINOIS
PRELIMINARY PLAT
OF RIVER 504 ROWHOMES
SUBDIVISION

PROJECT NO. M24183

DRAWN BY: JDS

CHECKED BY: JDS

SHEET NO. 1/1