# CITY OF ST. CHARLES HISTORIC PRESERVATION COMMISSION KIMBERLY MALAY, CHAIR

# WEDNESDAY, FEBRUARY 19, 2025 – 7:00 P.M. COUNCIL CHAMBERS 2 E. MAIN ST., ST. CHARLES, IL 60174

- 1. Call to Order
- 2. Roll Call
- 3. Approval of Agenda
- 4. Presentation of minutes of the February 5, 2025 meeting
- 5. Certificate of Appropriateness (COA) applications
  - a. 213 S. 3rd St.
  - b. 216 Riverside Ave.
- 6. Grant Applications
- 7. Landmark Applications
- **8. Preliminary Reviews-** Open forum for questions or presentation of preliminary concepts to the Commission for feedback
- 9. Other Commission Business
- 10. Public Comment
- 11. Additional Business and Observations from Commissioners or Staff
- 12. Meeting Announcements: March 5, 2025
- 13. Adjournment

#### ADA Compliance

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at <a href="mailto:immahon@stcharlesil.gov">immahon@stcharlesil.gov</a>. Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).

## **MINUTES**

# CITY OF ST. CHARLES HISTORIC PRESERVATION COMMISSION WEDNESDAY, FEBRUARY 5, 2025

**Members Present:** Smunt, Kessler, Pretz, Malay

**Members Absent:** Rice, Morin

**Also Present:** Russell Colby, Director of Community Development

#### 1. Call to Order

Ms. Malay called the meeting to order at 7:00 P.M.

#### 2. Roll Call

Mr. Colby called Roll with 4 members present. There was a quorum.

# 3. Approval of Agenda

Mr. Pretz requested additions under Additional Business and Observations from Commissioners or Staff, 11a. 2025 Project and 11b. Financial Considerations.

A motion was made by Dr. Smunt and seconded by Mr. Pretz with a unanimous voice vote to approve the revised agenda.

4. Presentation of minutes of the January 8, 2025 meeting

A motion was made by Dr. Smunt and seconded by Mr. Kessler with a unanimous voice vote to approve the minutes.

## 5. Certificate of Appropriateness (COA) applications

#### a. 208 W. Main St.

Tyler Rudowicz, owner representative, presented COA to install wall sign for Rud Dogs hot dogs. The business will be oriented to the evening and late night customers. The Commission confirmed the sign will have the same placement as the Rudy's sign.

A motion was made by Mr. Pretz and seconded by Dr. Smunt, with unanimous voice vote, to approve the COA as presented.

# b. 213 S 3rd St.

Mr. Colby stated that since a COA was approved previously, the applicant has submitted architectural plans for permit, and there are some discrepancies vs. the Commission conditions. Mr. Colby noted the decking material and orientation are incorrect and the side rails shown do not matching existing. Also, the railing will need to meet current standards for opening size, which may make replicating the existing design difficult.

Maria Munoz, applicant, said that they were trying to match the Commission recommendation but were seeking clarification.

Historic Preservation Commission February 5, 2025 Page 2

Mr. Kessler referred to information on proper historical deck design, including decking running perpendicular to the building, and use of tongue-in-grove decking. He also located product examples, including a prefabricated railing system that replicates the existing design. He shared the product information with Ms. Munoz.

The Commission discussed that they would like to see the revised plans before approving any changes. The lattice noted on the plans will need to be framed.

Ms. Munoz indicated she will revise the plan to match the Commission direction and return at the next meeting.

A motion was made by Dr. Smunt and seconded by Mr. Pretz, with a unanimous voice vote, to table the COA.

# 6. Grant Applications

None.

# 7. Landmark Applications

None.

**8. Preliminary Reviews-** Open forum for questions or presentation of preliminary concepts to the Commission for feedback

None.

#### 9. Other Commission Business

None.

## 10. Public Comment

None.

#### 11. Additional Business and Observations from Commissioners or Staff

## a. 2025 Project

Mr. Pretz discussed the concept of a National Register Historic District designation within the existing Central District and conversation with the State Historic Preservation Agency. They discussed the process and the potential for utilizing grant funds for a survey to identify the appropriate district boundaries based on time period of significance. Mr. Colby indicated a survey expense, even with a grant, would first need to be budgeted, which may need to wait until the next fiscal year. The Commission discussed the property owner notification process and sharing the potential benefits of the designation.

#### **b.** Financial Considerations

Mr. Pretz noted that with a recent COA review, it may have been a challenge to separate the objective review vs. the financial considerations. He suggested that the Commission should first focus on the objective decision regarding removal vs. replacement of a material first, and once a decision is reached, then consider the cost implications of the

Historic Preservation Commission February 5, 2025 Page 3

replacement options.

# 12. Meeting Announcements: Feb. 19, 2025

# 13. Adjournment

With no further business to discuss the meeting adjourned at 7:35 p.m.

CITY OF ST. CHARLES ILLINOIS • 1834

HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY				
Agenda Item Title/Address:				
Significance:	Contributing per Survey/ Significant per Commission			
Petitioner:	Maria Munoz			
Project Type:	Porch reconstruction			

PUBLIC HEARING	MEETING 2/5/25	X
	2/3/23	

# **Agenda Item Category:**

	Preliminary Review		Grant
X	Certificate of Appropriateness (COA)		Other Commission Business
	Landmark/District Designation		Commission Business
<b>Attached Documents:</b>		Add	itional Requested Documents:
Revis	sed Plans, Approved COA		

# **Project Description:**

On 2/5, the Commission reviewed permit drawings for this project and noted a number of changes needed on the plans to comply with the original COA approval. The Commission tabled the item and requested the applicant return with revised plans for approval.

Revised plans are attached showing requested revisions:

- Revised joist layout with 1x4 Fir Decking shown running perpendicular to the wall
- Southern Cross PVC railing panel suggested by the Commission to replicate the existing style and meet current code
- Stair guardrail/handrail shown on plans
- Note added that lattice will be in framed panels

# **Staff Comments:**

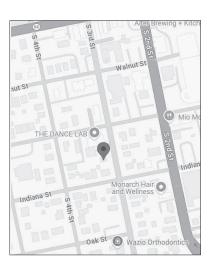
# **Recommendation / Suggested Action:**

• Provide feedback and recommendation on approval of the COA

# **FRONT PORCH REBUILT** 213 S. 3RD ST. CHARLES, IL



1 PHOTOS OF EXISTING PORCH



2 LOCATION MAP





2021 International Residential Code W/Amendments 2021 International Existing Building Code W/Amendments 2021 International Fire Code W/Amendments 2018 State of Illinois Accessibility Code 2021 [NFPA 101] LIFE SAFETY CODE W/Amendments

#### GENERAL NOTES

1. DO NOT SCALE DRAWINGS

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- 3. NOTES WHICH APPLY AT ALL SIMILAR CONDITIONS SHALL GOVERN WHETHER REPEATED OR NOT.
- ALL WORK TO BE PERFORMED TO BE IN COMPLIANCE WITH ALL APPLICABLE CODES REGULATORY AGENCIES, STATUTES AND RECOGNIZED INDUSTRY

  ACADEMICS

  AND RECOGNIZED INDUSTRY

  OF STANDARDS.
- 5. ALL WORK SHALL BE PERFORMED IN A TRADESMAN-LIKE MANNER AND SHALL CONFORM TO THE BEST STANDARD PRACTICES OF THE TRADE INVOLVED.
- 6. ALL PERMITS TO BE BY OWNER
- 7. ALL CONTRACTORS SHALL BE REQUIRED TO PURCHASE A BUSINESS LICENSE SHALL IT BE REQUIRED BY VILLAGE.
- 8. LUMBER TO BE GRADE #2 SPRUCE / PINE / FIR / TREATED

CITY OF ST. CHARLES BUILDING CODES



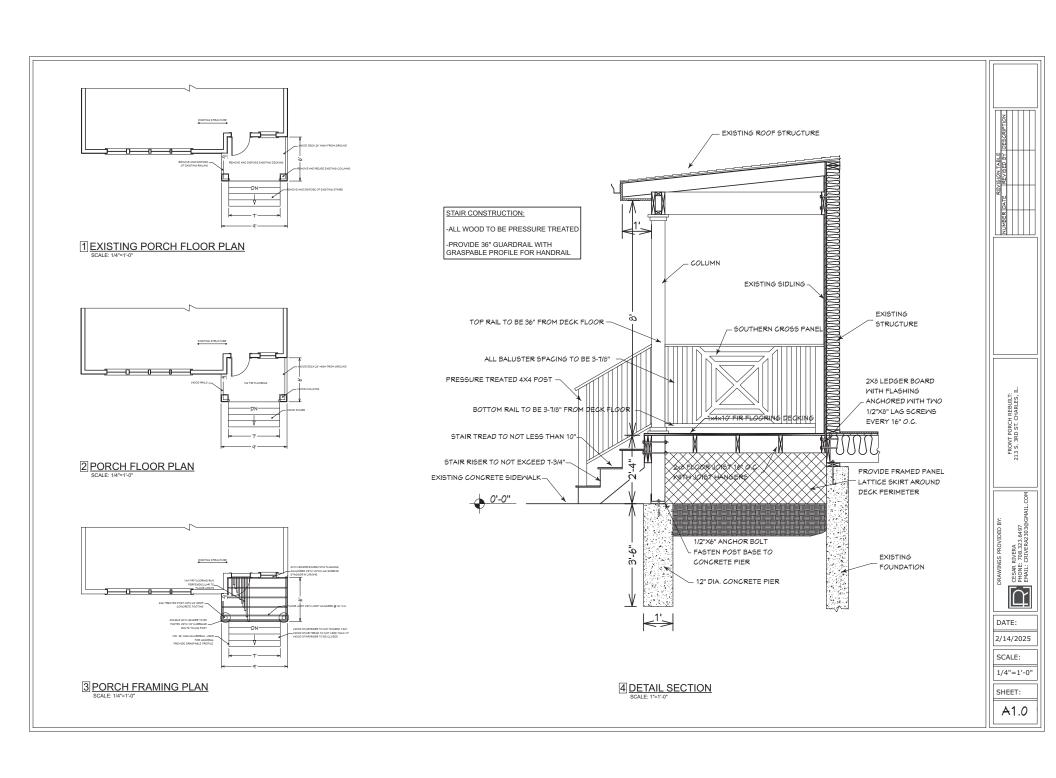
2/14/2025

SCALE:

1/4"=1'-0"

SHEET:

T1.0



# APPLICATION FOR COA REVIEW

HISTORIC PRESERVATION "CERTIFICATE OF APPROPRIATENESS"



COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT / CITY OF ST. CHARLES

(630) 377-4443

To be filled out by City Staff		2 .
Permit #: 2024 - 01	919 Date Submitted: 11 18 124 COA# 24_3	Admin. Approval:
APPLICATION INFORM	MATION	
Address of Property:	213 S. 3rd St. St. Chates 7	LL, 60174
Use of Property:	□Commercial, business name:	
	☐ Residential ☐ Other:	
<b>Project Type:</b>		
✓ Exterior Altera  □Windows  ☑ Poors  □ Siding - Typ  □ Masonry Re  □ Other  □ Awnings/Signs	□ New Construction □ Primary Structure  □ □ Additions  □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □	☐ Demolition ☐ Primary Structure ☐ Garage/Outbuilding ☐ Other ☐ Relocation of Building
Description:	ing 4 extensor Doors.	
	will be getting completely repo	aiced
	rebuilding the whole structure for s	
	orch 19 in very bad contions, steps use and the rest area has loose beam	
Name (print):	Modern Walls painting and Design	Applicant is (check all that apply):
Address:	765 four Scasons blvd.	☐ Property Owner ☐ Business Tenant
Phone:	(630) 440-268Ce	☐ Project contractor☐ Architect/Designer
Email:	modernwalk pnd@gmail.com	
Property Owner Inform	nation (if not the Applicant)	
Name (print):	Donn Valentine	
Address:	213 8. 3/3 st. St. charles II	-,60174
Signature:	Hoff	
APPLICANT/AUTHORIZE I agree that all work sh I have read and under	D AGENT SIGNATURE  THE PROPERTY OF THE PROPERT	ions which accompany this application, and
Signature:	Date:	

3

# THIS PAGE IS TO BE FILLED OUT AT THE HISTORIC COMMISSION MEETING

# HISTORIC COMMISSION APPROVAL:

The Historic Preservation Commission hereby issues a Certificate of Appropriateness (COA) authorizing the issuance of a building permit for the proposed work in accordance with the attached plans and any approval conditions, if attached hereto.

Approved:

As presented
Subject to conditions below
Complete project scope only
(all elements must be included)

Project Specific Conditions:

1. Archy of wood identical to council
2. Railings same as existing

3. Lattice to be framed to comply w/gvidelines

4. Curent exists columns to be restared.

General Conditions:

- 1. The person signing this form is responsible for communicating the Terms and Conditions listed herein to all contractors for the project.
- 2. Design, materials and construction methods shall be as shown on the COA, either in the conditions or on the attached plans.
- 3. The COA approval is limited to the scope of work documented in the plans.
- 4. No visible or concealed structural elements or historic features may be modified or removed unless identified in the COA approval.
- 5. Any historic materials that are inadvertently lost or damaged during construction without COA approval must be replaced to the preconstruction condition at the expense of the owner.

# What to do if you encounter unforeseen issues during construction, or if a change to the project is being considered:

- 1. Stop work until a revised COA approval is received. Do not discard any materials- All materials must be stored on site until a new COA review is conducted.
- 2. Contact the City of St. Charles Community Development Division immediately- 630-377-4443. City staff can contact the Historic Preservation Commission Chairman to seek direction. If the issue is of an urgent nature, a special commission meeting can be scheduled at the discretion of the Chairman. The Historic Commission can meet with a minimum of 48 hour notice.
- 3. Removal of structural elements or historic features without a COA approval is only permitted where the City has determined there is an imminent safety risk. This determination must be made by the City's Building and Code Enforcement Division- 630-377-4406.
- 4. In the event that any structural elements or historic features must be, or have been removed or dismantled for safety reasons:
  - a. Any deterioration of structural elements or historic features shall be documented by physical or photographic evidence.
  - b. All materials shall be stored on site until a COA review is conducted do not discard any materials.

# APPLICANT/AUTHORIZED AGENT SIGNATURE

I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA General and Project Specific Conditions.

Signature:

Date: 12 18 24

If you have any questions on the information listed above, contact the Community Development Division at 630-377-4443.

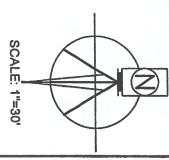
# ALTA/NSPS LAND TITLE SURVEY

D.F.L.S.

DALE FLOYD LAND SURVEYING L.L.C.

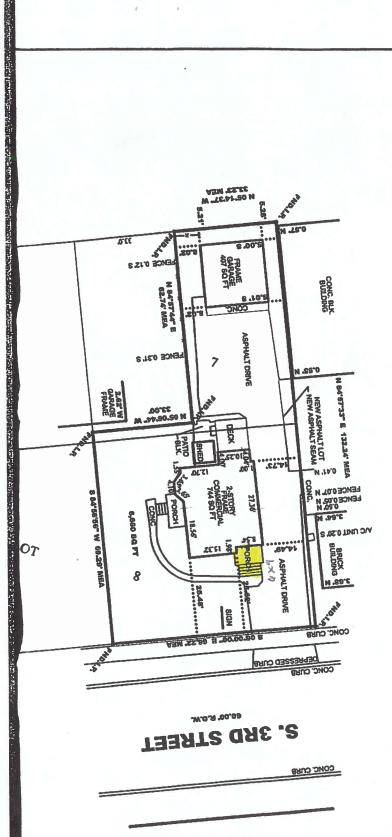
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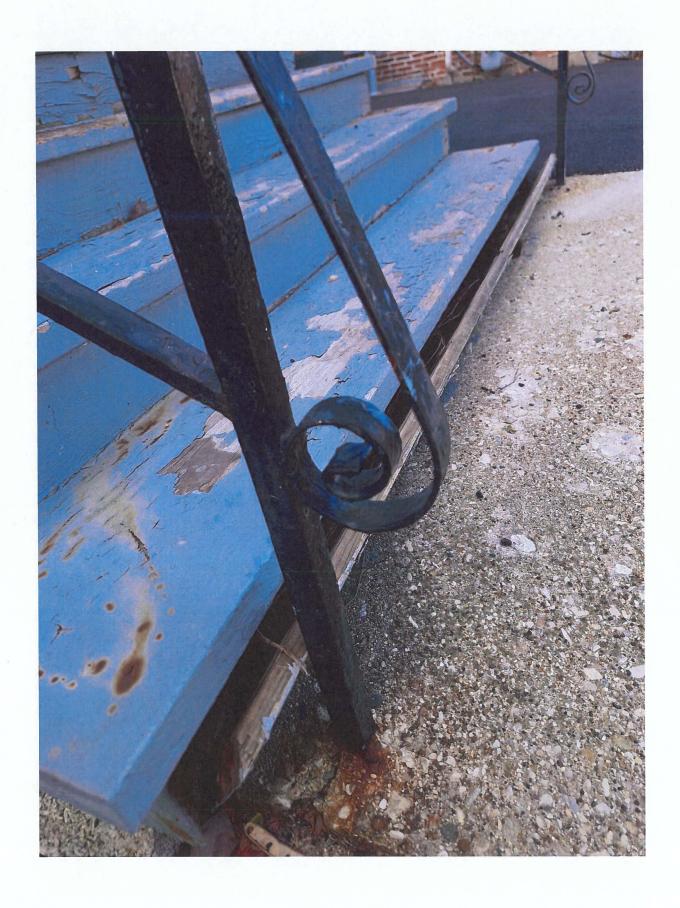
2600 KESLINGER ROAD SUITE A
GENEVA, ILLINOIS 60134
PHONE:630-232-7705 FAX:630-232-7725
E-MAIL: DFLS @SBCGLOBAL.NET

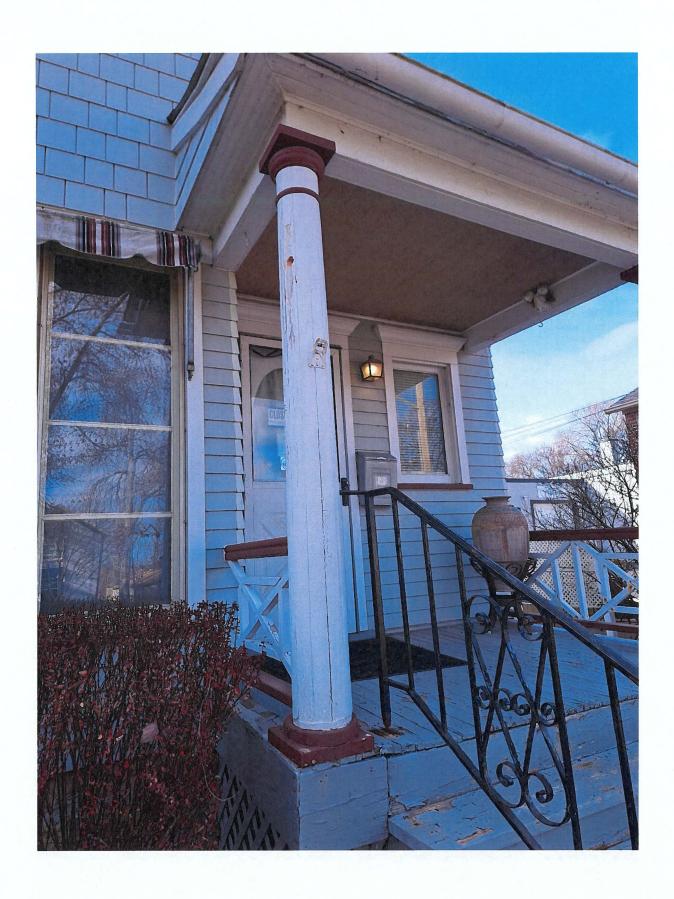


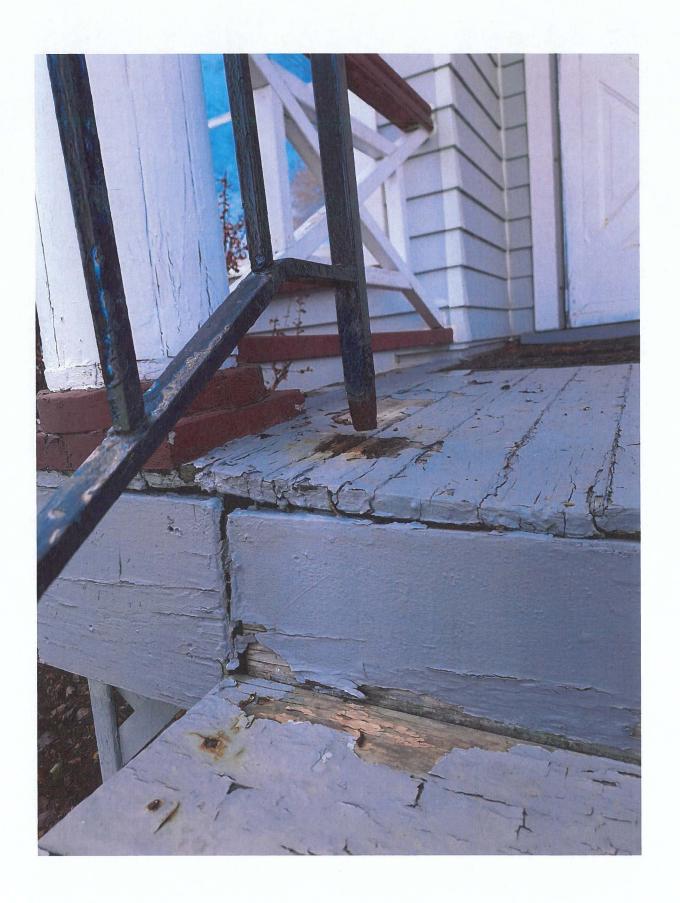
CHARLES, KANE COUNTY, ILLINOIS THE NORTHERLY HALF OF LOT 8 IN BLOCK 51 OF THE ORIGINAL TOWN OF ST. CHARLES, IN THE CITY OF ST. THE NORTHERLY HALF OF LOT 7 (EXCEPT THE WESTERLY 63 FEET OF THE SOUTHERLY 33 FEET THEREOF) AND

COMMONLY KNOWN AS: 213 S. 3RD STREET, ST. CHARLES, ILLINOIS

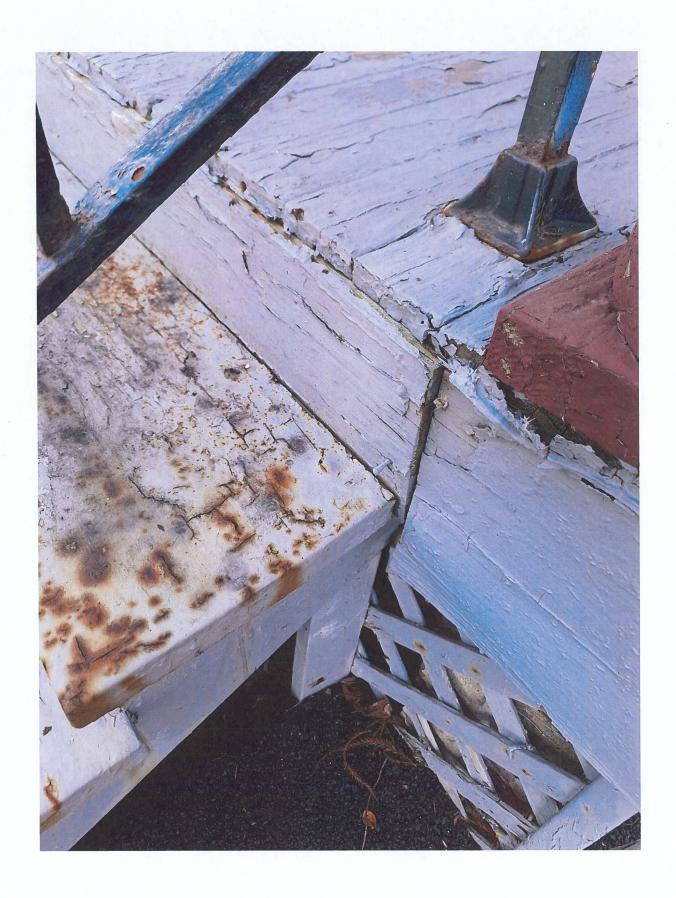




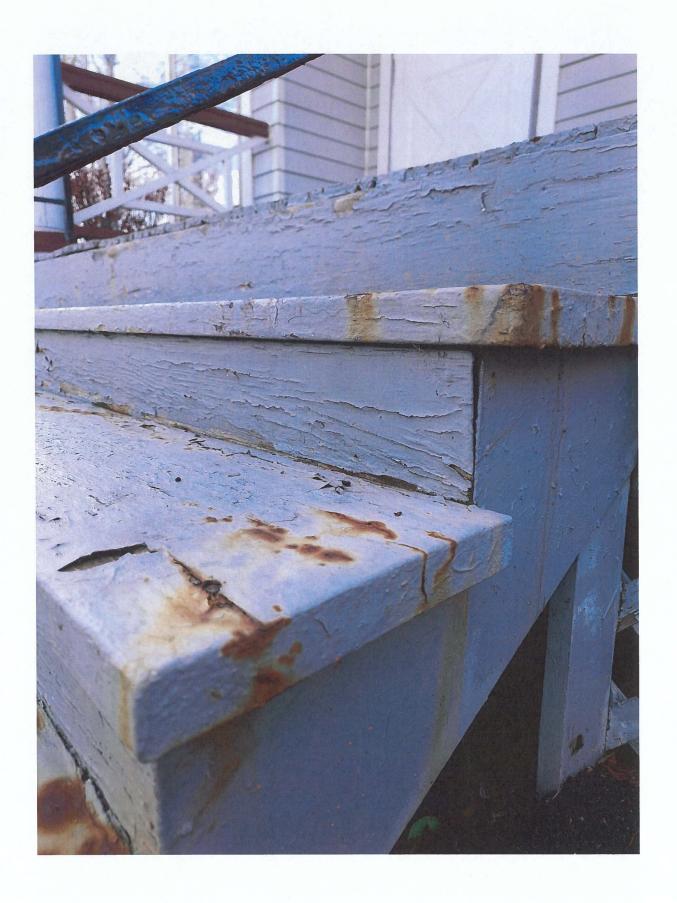


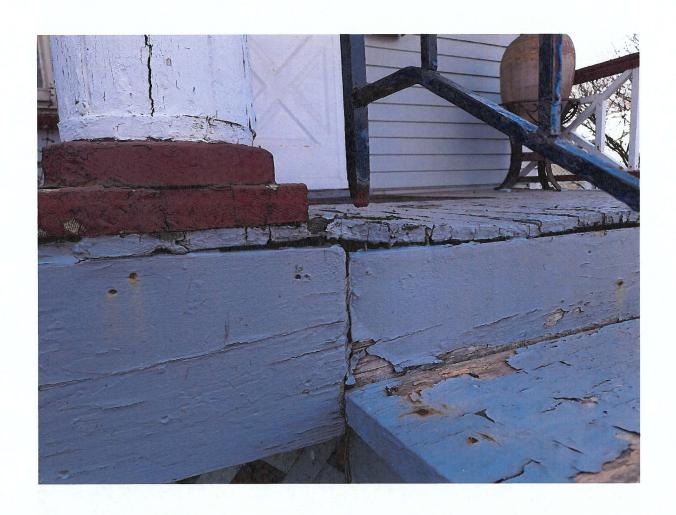


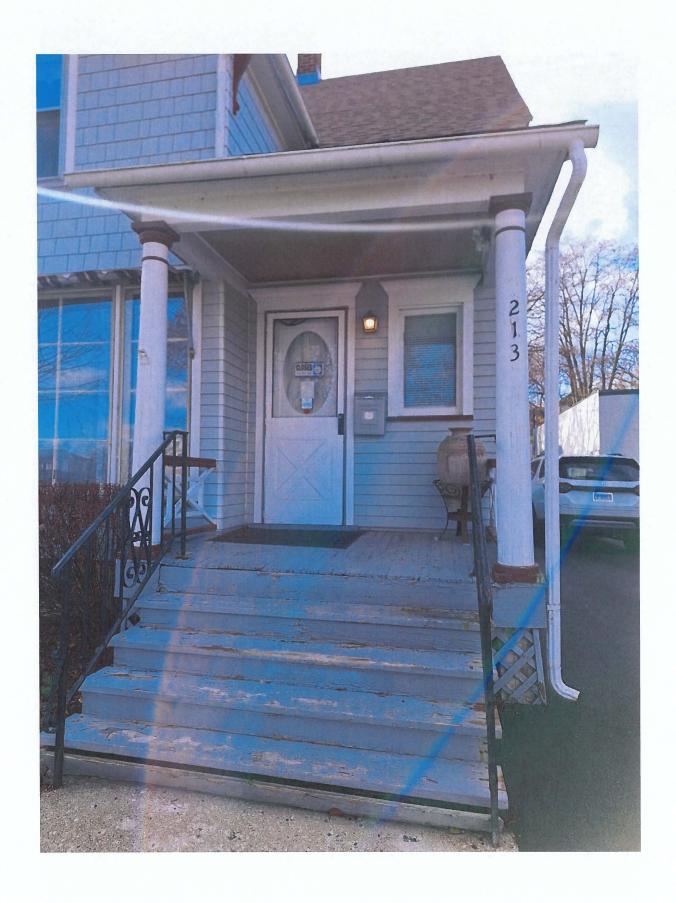














				ATION COMMISSION ECUTIVE SUMMARY	
	Agenda Item Title/Address:	COA: 2	16 Rivers	ide Ave	
	Significance:	Contributing			
CITY OF	Petitioner:	Curt Hurst			
	<b>Project Type:</b>	Exterior changes, windows and doors			
ST. CHARLES ILLINOIS • 1834	PUBLIC HEA	RING		MEETING 2/19/25	

# **Agenda Item Category:**

	Preliminary Review		Grant
X	Certificate of Appropriateness (COA)		Other Commission Business
	Landmark/District Designation		Commission Business
Attached Documents:		Add	litional Requested Documents:
Plans, Photos, Survey			

X

# **Project Description:**

The 216 Riverside building is proposed to be remodeled, with a number of changes to the exterior:

- Removal of all exterior mansard awnings and wood boxed window structures
- Replacement of windows and doors with an aluminum window and door system throughout
- Replace entry stairwell and landing at the Riverside Ave. entrance
- Adding a new window storefront in a previously brick-enclosed overhead door opening on the west elevation
- Adding new stairs with railings to access the north elevation from Riverside
- Add combination entry door and bifold door units on the north elevation in place of two existing window openings
- Adding a narrow overheard door and entry door in an existing opening on the east elevation.
- Switching a door on the east elevation to another opening location.

The COA application also proposes to remove the chimney stack.

# **Staff Comments:**

# **Recommendation / Suggested Action:**

• Provide feedback and recommendation on approval of the COA

# **APPLICATION FOR COA REVIEW**

# HISTORIC PRESERVATION "CERTIFICATE OF APPROPRIATENESS"



COMMUNITY DEVELOPMENT	DEPARTMENT/CITY OF ST. CHARLES	CD@STCHARLESIL.GOV / (630) 377-4443 ST. CHARLE
To be filled out by City Staff	0 47 0005	
Permit #:	Date Submitted: 2 / 17 / 2025 COA #	Admin. Approval:
APPLICATION INFORM	<u>ATION</u>	
Address of Property:	216 Riverside Ave	
Use of Property:	☑Commercial, business name: STC 216 LLC	
	□ Residential □Other:	
Project Type:		
☐ Exterior Alteration ☐ Windows ☐ Doors ☐ Siding - Type ☐ Masonry Rep ☐ Other chimned ☐ Awnings/Signs	□ New Construction □ Primary Structure : □ □ Additions pair □ □ Deck/Porch	<ul><li>□ Demolition</li><li>□ Primary Structure</li><li>□ Garage/Outbuilding</li><li>□ Other</li><li>□ Relocation of Building</li></ul>
Description:		
aluminum storefront	failing/rotted) wood window trim and windows a windows per plans. Remove failing chimney. I in city violation notice for replace or repair.	and replace with new Both windows and
Applicant Information:		
Name (print):	STC 216 LLC	Applicant is (check all that apply):
Address:	216 Riverside Ave	✓ Property Owner  ☐ Business Tenant
Phone:	(630) 330-7215	☐ Project contractor ☐ Architect/Designer
Email:	curt@frontierdevelopmentgroup.com	
Property Owner Informa	tion (if not the Applicant)	
Name (print):	SAA	
Address:		
Signature:		
APPLICANT/AUTHORIZED	AGENT SIGNATURE	
I agree that all work sha	II be in accordance with the plans, specifications and	conditions which accompany this application, and

I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA General Conditions.

Signature: Date: 02/14/2025	
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CITY OF ST. CHARLES BUILDING AND CODE ENFORCEMENT 2 EAST MAIN STREET ST. CHARLES, IL 60174

#### APPLICABLE CODES

- 2021 INTERNATIONAL BUILDING CODE W AMENDMENTS
   2020 NATIONAL ELECTRICAL CODE, NFPA TO W AMENDMENTS
   2021 INTERNATIONAL FIRE CODE W AMENDMENTS
- 2021 INTERNATIONAL FUEL GAS CODE W/ AMENDMENTS
   2021 INTERNATIONAL MECHANICAL CODE W/ AMENDMENTS
   2014 ILLINOIS STATE PLUMBING CODE W/ AMENDMENTS
- 2018 ILLINOIS ACCESSIBILITY CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE.
- 2021 NERNATIONAL ENERGY CONSERVATION
   2021 NEPA IOI LIFE SAFETY CODE
   2021 INTERNATIONAL EXISTING BUILDING CODE

#### PROJECT DESCRIPTION

REMODEL OF EXISTING SINGLE STORY BUILDING FOR OFFICE AND RETAIL USE

#### **BUILDING DATA**

CONSTRUCTION TYPE CLASSIFICATION: TYPE VB - NOT SPRINKLED

FIRE RESISTANCE OF STRUCTURAL ELEMENTS - REQUIRED (TYPE VB CONSTRUCTION - (TABLE 601)

- EXTERIOR BEARING WALLS ...
- INTERIOR BEARING WALLS, COLUMNS
- GIRDERS, FRAMING ... O HRS
- FLOOR CONSTRUCTION O HRS
- ROOF CONSTRUCTION ..

#### CODE ANALYSIS

#### OCCUPANCY CLASSIFICATION: (PER SECTION 302)

MIXED USE GROUP: GROUP B: OFFICE 3,180 SF GROUP M: RETAIL 2,031 SF NO SEPARATION REQUIRED PER TABLE 506.4

#### OCCUPANT LOAD: (PER TABLE 1004.1.2)

GROUP B: BUSINESS 1/15 OCCUPANT LOAD ALLOWED: 21

ACTUAL OCCUPANT LOAD: 12

GROUP M: MERCANTILE 1/60 6R055 (2.031/60=34)

OCCUPANT LOAD ALLOWED: 34 ACTUAL OCCUPANT LOAD: 3

TOTAL ACTUAL OCCUPANT LOAD: 15

#### EGRESS TRAVEL DISTANCE: (PER TABLE 1016.2)

GROUP B: BUSINESS 200 FEET ALLOWED 61 FEET ACTUAL GROUP M:

200 FEET ALLOWED 14 FEET ACTUAL

EGRESS UNITS REQUIRED: 2 EGRESS UNITS PROVIDED: 5

LOCKS AND LATCHES (IBC SECTION (O) ALL MEANS OF EGRESS DOORS HALL BE READLY OPERABLE FROM THE SIDE WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

#### GENERAL BUILDING LIMITATIONS: (IBC SECTION 504 AND 506)

MAXIMUM BUILDING HEIGHT PERMITTED: | STORY/40 FEET ACTUAL BUILDING HEIGHT: MAXIMUM AREA PERMITTED: ACTUAL BUILDING AREA:

#### RESTROOM FIXTURES REQUIRED: (PER ILLINOIS PLUMBING CODE)

OFFICE BUILDING OCCUPANT LOAD ALLONED: 200 SF PER PERSON: 3,180/200 = 16 [8M/8F]
ACTUAL OCCUPANT LOAD: 12

FIXTURES REQUIRED:
MATER CLOSET - | MALE/I FEMALE (2 PROVIDED)
LAVATORIES - | MALE/I FEMALE (2 PROVIDED)
SERVICE SINK - | PER FLOOR (I PROVIDED)

MERCANTILE UNIT OCCUPANT LOAD ALLOMED: 100 SF PER
PERSON: 2,031/100 = 20 [10M/10F]
ACTUAL OCCUPANT LOAD: 3

FIXTURES REQUIRED: WATER CLOSET - I MALE/I FEMALE (I PROVIDED) LAVATORIES - I MALE/I FEMALE (I PROVIDED)

# 216 RIVERSIDE

# REMODEL

216. S. RIVERSIDE AVENUE ST. CHARLES, IL 60174

#### CONTACT INFORMATION

FRONTIER DEVELOPMENT, LLC

#### ARCHITECT:

BATIR ARCHITECTURE 1121 E. MAIN STREET SUITE #220 ST. CHARLES, IL 60174







SE	IEET INDEX							
		REVIEW SET II-II-2024	PERMIT SET 12-27-2024					
SHEET	SHEET DESCRIPTION	Ą	ğ.			L	Ш	L
<u> </u>	ARCHITECTURAL	╙	╙	╙	L	┕	Ш	
AOOI	COVER SHEET/CODE COMPLIANCE	0						
A002	GENERAL NOTES	0						
A003	ADA COMPLIANCE STANDARDS	0						
D201	DEMOLITION PLAN							
Aloo	EGRESS PLAN							
A201	FLOOR PLAN & NOTES							
A2II	REFLECTED CEILING PLAN							
A23I	ELECTRICAL PLAN		•					
A3OI	EXTERIOR ELEVATIONS							
A401	ENLARGED PLAN-DETAILS							
A501	DOOR SCHEDULE-WALL TYPES							
A502	WINDOW SCHEDULE							
		Ι_						

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING COMPLETE SETS OF THESE PLANS AND PROJECT SPECIFICATIONS TO ALL SUB CONTRACTORS INVOLVED IN THIS PROJECT. A COMPLETE COPY OF THESE PLANS AND PROJECT SPECIFICATIONS SHALL BE IN THE POSSESSION OF THE CONTRACTOR AND ALL SUB CONTRACTORS ON THE PROJECT AT ALL TIMES.

I HEREBY CERTIFY THAT THE PLANS WITH THE FIRM'S NAME LISTED BELOW WERE PREPARED UNDER MY DIRECT SUPERVISION DATED AT 5T CHARLES, ILLINOIS THIS 27th DAY OF DECEMBER, 2024



PROJECT:

RIVERSID **REMODE** 9

N

SHEET

ISSUED: 08-80-24 ISSUED FOR REVIEW II-II-24 ISSUE FOR REVIEW 12-27-24 ISSUE FOR PERMIT

SCALE 1/4" = 1'-0"

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- CONSIDERED ONLY IF BETTER SERVICE FACILITIES, A MORE ADVANTAGEOUS DELIVERY DATE, OR A LOWER PRICE WITH CREDIT TO THE OWNER! TENANT WILL BE PROVIDED WITHOUT SACRIFICING OUALITY. APPEARANCE, AND FUNCTION, UNDER NO GEOLINISTANCES WILL THE ARCHITECT BE REQUIRED TO PROVE
- DUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT ). TIONS FOR ANY SPECIFIED MATERIALS REQUIRE THE WRITTEN APPROVAL FROM THE ARCHITECT
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  PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE APPLICANT SHALL HAVE EVIDENCE OF CURRENT.
- PRIOR TO THE ISSUMED OF A BUILDING PERMIT, THE APPLICANT SMILE WAVE EVIDENCE OF CONTROL WORKMAN'S COMPENSATION INSUIVANCE COVERAGE ON FILE WITH THE STATE LABOR DEPARTMENT IN COMPLIANCE WITH CURRENT LABOR CODES. PROVIDE CONTROLLOR INSPECTIONS AS SET FORTH IN STATE AND LOCAL CODES AND PER CONTRACT
- OCUMENTS AS NEEDEL
  OWNERCOR SHALL PERPY ALL BUILDING STANDARDS WITH BUILDING LAKILORD PRICE TO BEGINNING
  INV WORK, KAMENER, THERE SHALL BE NO DEMATICIS WHATSOEVER FROM THE CONTRACTOR
  COLMENTS WITHOUT THE ARCHITECTS WRITTEN APPROVAL THEREOF, THE CONTRACTOR AGREES TO
  FERDIN TOWN AND THE ARCHITECTS WRITTEN APPROVAL THE ARCHITECT WRITE AS FROM ANY CLAMES AND AND AS RESILL OF
- UNAPPROVED CHANGES.

  UPON NOTIFICATION BY THE GENERAL CONTRACTOR THAT THE WORK IS SUBSTANTIALLY COMPLETE, THE ER'S REPRESENTATIVE SHALL PREPARE A PUNCH LIST OF THE PROJECT AND THE GENERAL IRACTOR SHALL MAKE GOOD ALL PUNCH LIST ITEMS TO THE SATISFACTION OF THE OWNERS ESENTATIVE PRIOR TO FAVIL PAYMENT.
- REPRESENTATION FOR THE PARMET.

  WHERE ELECTRICAL PROMISERS AND ASSESSED FOR LIGHTS DUCTS. PRING.
  DOMINATORS, IT.C. ARE TO PRESENTE AND ELLIPISE TOOTISS, SLASE, FLOORS, STRUCTURE, FRANKE,
  DOMINATORS, IT.C. ARE TO PRESENTE AND ELLIPISE TOOTISS, SLASE, FLOORS, STRUCTURE, FRANKE,
  LOCALIZATION FOR THE PARMET AND ELLIPISE TO THE PRINCIPAL P
- ACCESS PAMEL LOCATIONS TO ARROHIDE FOR PHYSIONAL PRODUCT OT INSTALLATION.
  ALL PENETRATIONS AT PATED CONSTRUCTION SHALL BE PROTECTED TO MARTIAN RATING.
  WHERE OCCURS, CONTRACTOR SHALL PATCH ANY EXISTING WALLS ANDOR CELINGS AS NEEDED TO
  REFURBISH THE LEASE SPACE AND REPAIR ALL DUMAGES CAUSED BY CONTRACTOR.
- 28. INTERIOR WALLS AND CELLINGS SHALL BE INSTALLED IN ACCORDANCE TO STATE & LOCAL CODES, NUCLUCING RECUIREMENTS FOR FLAME SPREAD AND SMOKE DENSITY RATINGS FOR FINSH MATER 30. WHEN USED ALL NOISE BARRER BATTS SOUND INSULTION AND INSULTATION FOR SHALL BE
- NON-COMBUSTIBLE AND SHALL NOT CONTAIN OR UTILIZE OZONE DEPLETING COMPOUNDS.

  31. ALL NEW CONSTRUCTION MATERIALS SHALL BE 100% ASSESTOS-FREE.

#### DRAWING NOTES UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ON THESE DOCUMENTS SHALL BE TO FACE OF CHIEF OR CANDED TO BE ASSOCIATED IN A DESCRIPTION OF CHIEF OR CANDED TO BE ASSOCIATED IN A DESCRIPTION OF CHIEF OR CANDED TO BE ASSOCIATED IN A DESCRIPTION OF CHIEF OR CANDED TO BE ASSOCIATED IN A DESCRIPTION OF CHIEF OR CANDED TO BE ASSOCIATED IN A DESCRIPTION OF CHIEF OR CANDED TO BE ASSOCIATED IN A DESCRIPTION OF CHIEF OR CANDED TO BE ASSOCIATED IN A DESCRIPTION OF CHIEF OR CANDED TO BE ASSOCIATED IN A DESCRIPTION OF CHIEF OR CANDED TO BE ASSOCIATED IN A DESCRIPTION OF CHIEF OR CANDED TO BE ASSOCIATED IN A DESCRIPTION OF CHIEF OR CANDED TO BE ASSOCIATED IN A DESCRIPTION OF CHIEF OR CANDED TO BE ASSOCIATED TO BE ASSOCIATED.

- CURB, FAGE OF CONCRETE OR MASONRY, FAGE OF FINISH OR CENTERLINE OF GRIDS.

  THE TERM "ALIGN", AS USED IN THESE DOCUMENTS, SHALL MEAN TO ACCURATELY LOCATE FINISHES IN THE
- SAME PLANE.
  "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR

- "TYPELY AS USED IN THE COUNTRY'S SHALL MEAN THAT THE CONDITION IS THE SAME OR PREPRESENTING FOR ALL SHALL OR CONDITIONS IN FROUNDING TO LOT THEY FIRST COUR AND ARE REPRESENTATION OF ALL SHALLO CONDITIONS THROUGHOUT LOW. ALL VERTILLO MEMBEROS SHOWN ARE FROM FLOOR SHALL U.O.N. DIMENSIONS SHOWN THE FURTHER THAT FROM SHALL U.O.N. DIMENSIONS SHOWN THE FURTHER THAT FROM SHALL U.O.N. CALLE DIMENSIONS DO DETAILS THAT PRECEDENCY OFFER MEMBEROS SCALE DRAWNINGS. LANGE SCALE DRAWNINGS AND DETAILS THAT PRECEDENCY OFFER MEMBEROS AND EXCLUSION OF CALLE DRAWNINGS AND DETAILS THAT PRECEDENCY OFFER MEMBEROS AND SOLLED FROM THE CALLED SHALLONG AND DETAILS THAT PRECEDENCY OFFER MEMBEROS AND SOLLED FROM THE CALLED SHALLONG AND DETAILS THAT PROVIDENCY OFFER THAT THE CALLED SHALLONG AND DETAILS THAT PROVIDENCY OFFER THAT THE CALLED SHALLONG AND THAT THE CALLED SHALLONG AND

#### JOB SITE NOTES

- CONSTRUCTION DESRIS AND WASTES SHALL BE DEPOSITED AT AN APPROPRIATE SITE. THE CONTRACTOR SHALL INFORM THE BILLION OR REPRESENTANTO OF THE LOCATION OF DEPOSAL, SITES. OCCUPRACTORS SHALL BE REPROVISED. FOR THE CONTRACTOR SHALL ON AFTERITIS COMPLETION WHERE WITH LOCATION OF THE JUD AFTERITIS COMPLETION WHERE WITH LOCATION OF THE JUD AFTERITIS COMPLETION WHERE WITH LOCATION OF THE SHALL PROPERTY AND THE MITTERIAN OF THE HIGH AND THE ANTICIPATION OF THE SHALLON, THE PARTION OF THE WITHOUT COMPLETION OF THE SHALLON, THE PARTION OF THE WITHOUT COMPLETION OF THE SHALLON, THE PARTION OF THE WITHOUT COMPLETION OF THE SHALLON, THE PARTION OF THE WITHOUT COMPLETION OF THE SHALLON, THE PARTION OF THE WITHOUT COMPLETION OF T
- RACTOR SHALL PROVIDE PEDESTRIAN PROTECTION, WHERE REQUIRED PER STATE AND LOCAL
- CODES. WHERE EXISTING TENANTISBUSINESSES ARE ADJACENT TO THE JOB SITE/TENANT, THE CONTRACTOR SHALL MINUSE CONSTRUCTION NOISE EXTENDE MOSE CONSTRUCTION SHALL OCCUR AT NON-TYPEAU. MINUSES HOUSE, CONTRACTOR SHALL MODIFIED TO SUBJECT OF THE STATE OF THE IN ADVANCE PRIOR TO WORK.
  THE CONTRACTOR AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND SURROUNDING AREA FREE FROM
- 5. THE CONTINUED AN INFO MONEPORES, BAUL, KEEP THE PROCECT AND SERROUNDEN AREA PREEF FROM DIST AND ERROR. THE MOVE SHALL BEEN CONTINUED FOR FROM THE PROCESS AND THE STATE CONTINUED FOR THE STATE OF THE COURTE FEED FROM THE STATE OF THE COURTE FEED FROM THE STATE OF THE STA

#### DEMOLITION NOTES

- THE DEMOLITION PLAN KEYNOTES ARE DIAGRAMMATIC AND GENERAL IN NATURE. THE INTENT IS TO LLUSTRATE THE COMPLETE DEMOLITION OF THE SPACES INDICATED LINLESS NOTED OTHERWISE. F VERIFICATION OF EXISTING CONDITIONS AND SPECIFIC QUANTITIES IS THE RESPONSIBILITY OF THE
- CONTROLLED AND DISPOSAL OF DEMOLITION DEBRIS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY THE HAVILING ROUTE THROUGH THE BUILDING, THE DEMOLITION STAGEN, AREA, AND THE LOCATION OF DUMPSTERS WITH THE COWNER THE TO THE STAFT OF DEMOLITION, DISPOSAL OF RUBBISH SHALL BE
- DOME HA LEGAL MANNER.
  THE COMBER RESERVES THE RIGHT TO SALVAGE ANY DEMOLISHED ITEM, VERIFY ITEMS TO BE SALVAGED

  \*\*\*THE OWNER RESERVES THE RIGHT TO SALVAGE ANY DEMOLISHED ITEM, VERIFY ITEMS TO BE SALVAGED

  \*\*\*THE OWNER PRIOR TO THE START OF DEMOLITION, REMOVE, PROTECT, CLEAN, REPAIR FOR REUSE
- MD TURN DIVER SUCH ITEMS AS DIRECTED BY THE OWNER.
  HE CONTRACTOR SHALL RELD VERFY ALL EXISTING CONDITIONS AND NOTFY THE ARCHTECT
  MINEDIATELY OR MY DISCREPACIES OR CONFLICTS THAT MIGHT ARISE IN THE COURSE OF THE
- INDEPENTATION AND TISSUEPHINESS OR CONFLICTS THAT MORE ARREST THE CLUMPACE OF THE BORKLINDHINGS.

  VERBY LOCATIONS OF SERVING RECOVERED, PLANIERS AND ESCENDELL UTILITIES. LOCATE AND PROTECTION THESE TO RESIDENT, RESCORES TEMPORE SHOCK TO REASEST JUNCTIFIC SHOWN FOR A PROTECTION AND THE SERVING AND THE
- REROUTING OF UTILITIES SERVING ADJACENT AREAS THAT ARE TO MAINTAIN UNINTERRUPTED SERVICE.

  ANY TEMPORARY SUSPENSION OF SERVICE SHALL BE COORDINATED AND APPROVED BY THE FACILITY

  MAINAGED MOT LESS TAILAY LAW TURE IN A POWER.
- IMMODIES NOT LESS TIMM SEMENTS IN AUTOMOST.

  THE CONTINUTION BUT WHEN YOU CONSIDER TO TALL WE EQUIPMENTS OF ALL UTILITY COMPANES UNLESS IN CORRECT ON SEMENT SEMENTS. OF ALL UTILITY COMPANES UNLESS IN CORRECT ON INSTALL SOME OF THE SEW YOUR PROJUMEN, BUT NOT IMMITTO TO MICHINARY, AUTOMOST.

  BE CERTIFICATE, IT THE EMPOSSION FOR THE CONTINUTION AND INSCRIPTION OF THE PROJECT OF SEMENTS. OF THE PROJECT OF THE PR THER SHOWN ON THESE PLANS OR NOT. TECT ADJACENT SPACES NOT SCHEDULED FOR DEMOLITION, PATCH AND REPAIR DAMAGED FINISHES,
- PROTECT ADJUSTED 1597/ESS TOT SCHEDULED FOR CENTURITION OF THE THIRD THAT WAS THE PROTECTION OF THE STAND FOR THE STAND FROM DIAMAGE CURRING THE PROCRESS OF THE WORK, PROVIDE TEMPORARY SAFETY BERRIERS REQUIRED BY CODE AND AS INDICATED TO SISSEE PLEED SAFETY AND TO ALLOW BULLENIS COURMEY. CONTRACTOR TO SUBMIT FOR APPROVIA, BARRIER LOCATIONS, AND METHOD OF CONSTRUCTION TO THE BUILDING OWNERMANAGER EDITED TO SERVICE AND THE STANDARD SAFETY AND THE STANDARD SAFETY AND THE SAFETY AND TH O INSTALLATION. 3 ELECTRICAL AND TELEPHONE OUTLETS LOCATED ON DEMOLISHED WALLS ARE TO BE REMOVED
- INCLIDING CONDUIT AND VIRING BACK TO JUNCTION BOX. LOCATIONS ARE TO BE PATCHED AND REPARED TO BE FLUSH WITH ADJACENT WALL SHAPE.

  WHERE PLUINENS FATURES ARE BEING REMOVED OR WHERE EXPOSED PLUINBING PIPES COCUR. CAP
- weeter Lusepar Fromes and explored to which a Country Lusepar Profession (Lusepar Profession Country Lusepar Profession Country L
- LOCATIONS TO THE BUILDING OWNER MANAGER FOR APPROVAL PRIOR TO INSTALLATION. PROVIDE ADEQUATE SHORING, BRACING, BARRICADES MID PROTECTIVE MEASURES AS REQUI
- CONSTRUCTION AREA. CASE OPERATIONS AND NOT PY THE BUILDING OWNERWAYAGES INMEDIATELY IF THE STRUCTURE APPEARS TO BE ENDANGERED. DO NOT RESUME OPERATIONS UNTIL CORRECTIVE MEASURES HAVE BEPLY TAKEN.
- MEASURES HAVE BEST TAKEN.

  CONTRACTOR SHALL WITH AN EQUIPED MEANS OF EXPRESS AND ENSURE THAT EXIT ROUTES ARE SIDNED.

  LIMITED AN PROTECTION IN ACCORDANCE WITH CODE REQUIREMENTS. REQUARE EXPRISE AMONG PROTECTION AND USE WAS TO COMMENTED FOR ACCORDING.

  FOR THE SHALL PROTECTION OF THE WASHINGTON FOR THE REQUIRED OF CODE AND THE CONTRACTOR FOR AUTHORITY LANGUAGEMENTS.

  A FULL HEART HAVE ALTON HOLD TO COLUMN.

  A STUDIA AT 2" COLUMN FOR THE YOU'R ON THE WASHINGTON COLORS.

  \*\*CHARCH BEST ACCESS TOOM WITH OWNERS AND SPANIS CLOSES.
- 18. SURVEY EXISTING FLOORS AND CLEARLY IMPRION FLOOR SURFACE THE LOCATIONS OF ALL BEAMS AND JOISTS. MARK ALL DORE DRILL PENETRATIONS AND RECEIVE STRUCTURAL ENGINEER'S APPROVAL PRIOR TO PRILLING CONCRETE.
- TO DRIELING CONCRETE. CUT RIGID INTERIALS USING MASONRY SAW OR CORE DRILL. PNEUMATIC TOOLS ARE NOT ALLOWED.
- NTHOUT PRIOR APPROVAL. ILL CORE DRILLING OR OTHER NOISY WORK SHALL BE SCHEDULED 48-HOURS IN ADVANCE WITH THE
- OWNER.
  APPLY CEMENT BASE FLOOR PATCH AS REQUIRED TO FILL BRIOS, NAIL HOLES, CHIPS AND CRACKS.
  AT HOLD READS SCHEALED TO RECEIVE BRY HOLD ROCKERING, REMOVE EXTRING FLOOR COVERING
  AND REPERFECT STRANGE FOR REATH OF COVERING FOR THE STEET AND ROM OWNERFOR CHIPS AND THE PARK OF THE PAR
- ACTION FOR DIRECTLY CONTROLLING WITH A COMBALITATION OF REQUIRET. LICENSES BY THE STATE. A
  FIRST PART OF THE STATE OF THE
- THAT SHALL MATCH EDUCED THE ORDINAL PER MESSANCE PATRICISION OF THE SECTION BLOOMS.

  AT ADMINIOSING PERSTENSIVES OF THE SECTION MESSANCE PATRICISION OF THE SECTION BLOOMS.

  AT ADMINIOSING PERSTENSIVES OF THE SECTION MESSANCE OF THE PRESTENCE DEBORN, ALL MYCHOME
  SEAT OF THE PERSTENSIVE OF THE SECTION OF TH

- 30. EXISTING DOORS TO REMAIN U.O.N.

#### PARTITION NOTES

- CONTRACTOR AND OWNER/MANAGER TO REVIEW & APPROVE CHALK LINES OF PARTITION LAYOUT PRIOR TO DMMENCEMENT OF PARTITION CONSTRUCTION
- CONTRACTOR TO VERIEY DIMENSIONS FOR ALL PLUMBING PARTITIONS.
  DOOR OPENINGS IN PARTITIONS NOT DIMENSIONED ARE TO BE LOCATED WITHIN 0"4" OF ADJACENT
  DEOPENING JA PADDITITIONS.
- LOCULAR PARTITION. ACTOR SHALL USE 548" METAL STUDS MINIMUM AT ALL PLUMBING WALLS. CONTRACTOR TO VERIFY. DEPTH REQUIRED, ANY DISCREPANCES SHALL BE REPORTED TO THE OWNERNAMAGER. THER RESISTANT OFPSUM BOARDIERE ROADE AT ALL AREAS SUBJECT TO MISSTURE OR WHERE
- TILE IS USED.

  WHERS OTHERWISE HOTED, ALL GYPSLIM BOARD SURFACES, WALLS, AND CELIMAS SHALL BE TAPED, SANCED SMOOTH TO A TEPLE. "FINEN! SO AS TO RECEIVE PAINT OR WALL COVERING WATERMA, CONTRIBUTED TO YEAR OF THE WATERMA, CONTRIBUTED TO YEAR OF THAIL CONTRIBUTED FOR CONTRIBUTED AND WHITE WAS ALL PRIMED LISE PORT THE SHOOTH SHAP THAIL CONTRIBUTED WATER SANCED WHITE WAS THAIL SHAP THAIL PROVIDE AND INSTALL ALL NECESSARY WALL BACKING, STIFFENERS, BRACING, BACK-UP PLATES AND/OR
- SUPPORTING BROCKETS AS REQUIRED FOR THE INSTALLATION OF WALL-MOUNTED OR SUSPENDED EXPENDED FOR THE TENS. VERBY REQUIRED FOR THE MAN THE MAN PROTOCOLOGY OF THE TENSOR OF THE STALLATION. SUPPLY CATAGO GUT SREETS FOR OWNERMANAGERS AFFROYAL. PROTOCOLOGY OF THE TENSOR O
- CONNECTORS TO COMPLETE INSTALLATION OF APPLIANCES A EQUIPMENT INDICATED ON FLAN. VEHIFY REQUIREMENTS WITH MAULEFICTERES PRICH TO INSTALLATION. SUPPLY CATALOG CUT SHEETS FOR DIVERNAMAGERS APPROVAL EVACULOCATION OF TIPE EXTINAVISHER A CABINETS TO BE CONFIRMED WITH CONNERMANAGER BEFORE INSTALLATION. FROMER ADDITIONAL FRE EXTINOVISHERS A CHIBNETS AS REQUIRED BY THE RICH INSTALLATION. FROMER ADDITIONAL FRE EXTINOVISHERS A CHIBNETS AS REQUIRED BY THE RICH AND THE PROVIDE ADDITIONAL FRE EXTINOVISHERS A CHIBNETS AS REQUIRED BY THE RICH AND THE PROVIDED AND THE P
- INSTRUCTATION TO THE TOTAL OF T
- PREPAIRS A TAILS LEGISLATION OF PERMETE AND TO RESTROOMS, LOBBY, STAIRS, AND ACROSS CEILING OF RESTROOMS, LOBBY, STAIRS, AND ACROSS CEILING OF RESTROOMS TO DEFAIT AN ACQUISITIC RIVER OPE 10 N
- PROVES CONDINIONAL PRIVATE PRI

#### **CEILING NOTES**

- EMERGENCY LIGHTING SHALL BE (2) SEPARATE SOURCES OF POWER AND SHALL COMPLY WITH THE NEC.
- DEPARTMENT.
  CONTRACTOR SHALL PROVIDE EMERGENCY LIGHTING. STROBE LIGHTS, AUDIO-VISUAL ALARMS AND
  COCUPANCY SENSORS TO MEET ALL APPLICABLE COOES.
  CONTRACTOR SHALL PROVIDE LAMPS WITH TYPE IS RATED HOUSING WHERE FIXTURES COME IN DIRECT
  CONTRACT WITH INSULATION.
- CONTACT WITH INSULATION.

  FIELD VERBY NAL LEARNINGS OF BUCTS, PIPES, SPRINGERS, ETC., AND NOTIFY OWNERMANAGER OF ANY COXIETY SPRING TO INSTALLATION OF LIGHTS, ETC.

  FACCESSING OF BUTT RATIONES IN AGES, DIVERS ANY CAUSE INTERFERENCE MUST BE PACCESSING. TO BUT RATIONES IN AGES, DIVERS ANY CAUSE INTERFERENCE MUST BE NO COMMISTRE. WITH TRUNKS AND ASSOCIATION OF THE PACKET ASSOCIATI
- AUMANUS CORDUIT, AND FOT METAL CORRECTORS.

  PROVICE SITTORISE AND UNITED SERVISOR FOR FORM AREA MAD PRIVATE OFFICES.

  WHERE OIT SIGNED ARE REQUIRED PRESIDENT ALLOUAL COSSIS. THEY SHALL BE ILLUMINATED PRESIDENCE AND THE METAL COST AND THE MET

#### GLAZING NOTES

- ALL GLASS SHALL COMPLY WITH THE REQUIREMENTS OF STATE AND LOCAL CODES AND THE U.S. PRODUCT SAFETY COMMISSIONS: SAFETY STANDARDS FOR ARCHITECTURAL GLAZINS MATERIALS. SLASS SHALL BE FIRMLY SUPPORTED ON ALL FORE EGGES.
- FIELD MEASURE ALL OPENINGS PRIOR TO FABRICATION.
  ALL GUZZING WITHIN A 2" ARE OF EITHER EDGE OF A DOOR AND WITHIN 60" OF THE FLOOR SHALL BE
  TEMPERED, SHETT GUZZING
  EACH LIGHT SHALL BEAR THE MANUFACTURER'S LAGEL DESIGNATING THE TYPE AND THICKNESS OF THE
- S. RE JOINTS ARE REQUIRED IN MULTIPLE LITE SITUATIONS, SILICON IS TO BE PROVIDED U.O.N.

#### FINISH NOTES

- NO FINSH SUBSTITUTIONS MAY BE MADE UNLESS APPROVED BY BULLING OWNERWAYAGER.
  CONTRACTOR MUST NOTIFY THE BULDING OWNERWANAGER OF ANY DEOCREPANCY IN FLAKE, RINSHITEMS
  CLEARLY SHOWNIN FLAKE, BUT OMITEP FORM SCHEDULES MUST BUT LIBLE PROVIDED AND
  INSTALLED BY CONTRACTOR CONTRACTOR TO VERIFY OMITTED FINSHES WITH OWNERWAYAGER PRIOR TO
  DROTEGUE COPULING.
- ORDERING PRODUCTS. DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION. ALL PAINT FINISH OF METAL PARTS OF DOORS, HANDRALS, PERIMETER ENCLOSURES, ETC., SHALL BE

- ALL VIC. I OBENIALLED WITH FULL HILE PROMINING THRESHOLD SINEY AND FULL HILE PROMINIAL ADMOSTRY TO DOOR SWING, U.O.M. NISTALL MATERIALS ACCORDING TO MANUFACTURERS SUGGESTED INSTALLATION AND PREPARATIONAMINETWAYER SPECIFICATIONS OR BETTER, UNLESS OTHERWISE APPROVED OR NOTE APPLICATION OF CONTROLLED INTERIOR FINISHES SHALL BE IN CONFORMANCE WITH STATE & LOCAL CORP.
- ODES. ROWINF AND INSTALL SPECIFIED BASE FOR ALL AREAS TO RECEIVE FLOORING CONTRACTOR SHALL PROVIDE PRE-FORMED RUBBER BASE CORNERS. DO NOT CUT OR BEND STRAIGHT
- BASE TO MAKE CORNERS. ALL FLOORING TRANSITIONS AMONG ALL THE DIFFERING FLOORING MATERIAL SPECIFICATION TYPES ARE TO ISH TRANSITION: R SUB-FLOOR UP FOR A) TILE FLOORING TO CARPET AND B) VINYL FLOORING TO CARPET, FOR FLUSH
- LIATION. JORK LOWER CABINETS ARE TO RECEIVE WALL BASE WHERE HARD SURFACE IS INDICATED.
- (TLEUMANNEL OVER CHEEKE OWE OF RESERVE WALE DRES I WIND AND THE SENDING SEND SENDING INTO (TLEUMANNEL) ALL OTHERS TO HAVE CABINET BASE TO MATCH CARRETS (MODILAMINATE). FLOOR FINSHES TO CONTINE LUNCENREATH "OPEN FLOOR" AREAS OF MILLIORIS, INCLUDING SINK AREA AND AT ALL UNDECOUNTER ECUPIENT AREAS WHICH ARE OPEN TO THE FLOOR. FLOORS SHALL BE SLOPED TO FLOOR DRAINS WHERE APPLICABLE, COORDINATE WITH PLUMBING AND
- FLOURS SHALL BE SUPERLY TO THE OFFICE OF ROUTE WHITE AND APPLICABLE. DOUBLINAIS WITH FLOWING AND STRUCTURAL DRAWNINGS. IN RATED FLOOR COMDITIONS, COMPRIME REMAININGS, FLOOR THE CONSESS STILL CONFORMS TO MINIMUM RATING REQUIREMENT.

  CONTRACTOR TO RUN CALCIUM OFFICE TEST ON ALL EXISTING OR NEW CONCRETE SLABS PRIOR TO

- 6. CONTRACTOR TO RICH CALLESS AND CHOIGE TEST ON ALL ESTITION OF REVOCALCIESTES LASS PRINT TO RESTRICT AND CHOICE TEST ON ALL COSTRUCTORS AND CHOICE TO SERVICE AND CHOICE AN
- WITH DUST REMOVED PRIOR TO RECEIMING MORTAR BEDIBOND COAT AND WALL TILES.
  ALL WALL TILES ARE IN HAVE A MORTAR BEDBIBOND COAT THIORNESS TO ACCOMMONATE THE VARYING
  THIORNESSES OF ALL MATERIAL TYPES OF TILE SPECIFIED FOR WALL INSTALLING WITH A FLUSH FRONT
- FACE. WHERE MATERIALS ARE NOT RETURNABLE, SUBMIT SAMPLES TO BUILDING OWNER/MANAGER BEFORE
- FLACING PLILL ORDERS.
  NOTIFY OWNERSMANGER IMMEDIATELY OF TIEMS WITH LONG LEAD TIMES.
  FLODE COMERNIED INSTALLER TO FOLLOW MANUSACTURERS SPECIFIED CARPET INSTALLATION
  WISTRUCTIONS, USING AGNESINES AND INSTALLATION METHODS RECURRED INSTRUCTIONS TO MA
  PRODUCTS WARRANKTY. CONTROL CARPET SALES REPRESENTATIVE MITH DUESTIONS FROM TO
- PROCEEDING. FLOOR COVERING INSTALLER TO FOLLOW MANUFACTURER'S SPECIFIED CONTOURED RUBBER BASE METALLATION INSTRUCTIONS USING ADHESIVES AND INSTALLATION METHODS REQUIRED TO MAINTAIN.
- PRODUCTS WARRANTY.

  TO DROC OCCRETO HOTALIES REQUIRED TO PROVIDE MINIMAL SEAMEURITS AT ALL LOCATIONS FOR FLOOR
  FLOOR CONCRETO HOTALIES REQUIRED TO PROVIDE MINIMAL PRODUCTS WARRANTY.

  FROM TO THEFFIEL CARES AND TO MAINTAIN PRODUCTS WARRANTY.

  FROM TO MAINTAIN, WALL SHATE TE PROVIDED OF PROPISED. CLASH NAME ONLY AND PROVIDENT MEMBERSO

  THE TO MAINTAIN, WALL SHATE TE PROVIDE MOST PROVIDED OF THE PROVIDENCE AND THAT THE PROPISED CLASH NAME OF THE PROPISED CLASH NAME OF THE PROPISED CLASH NAME OF THE PROPISED WITH A DRIVEN CLASH THAT THE MAINTAIN PROPISED WITH A DRIVEN CLASH THAT THE MAI
- APPLICATION.
  WILLS TO HAVE AT LEAST ONE COAT OF COLORED PRIMER AND TWO COATS OF SPECIFIED PAINT FINISH
  TYPE, PAINT TO BE A LOW YOU CUNLESS U.O.H. HEAH TRAFFICWER A RELITY WITH GOOD SCRUB AND
  CLEANING ABLITY. WEREY ALL WITH TEAMORT OR OWNER PRIOR TO PURICHASING PAINT.
  PAINT ALL SPECKER COVERS AND HAVE ORILLS IN OTSPIAN BOARD WILLS AND CELLINGS TO MATCH
- ADJACENT PAINT COLOR AS SPECIFIED.

  32. ALL INTERIOR FINISHES SHALL MEET OR EXCEED CLASS II FLAME SPREAD REQUIREMENTS.

#### MILLWORK NOTES



U.S. RE PROVIDED FOR APPROVAL PRIOR TO FARRICATION TO THE OWNERWANAGER. SHOP DRAWNISS MUST BE PROVIDED FOR APPROVID PRICE TO FASSICATION TO THE OWNERNAMAGER CARBIETMARCE SHALL USE ON SITE FILED FRAWING DIBMENSOR FOR ALL SHOP PORMINGS AND FASSICATIONS, ANY SUBSTITUTIONS TO THE FOLLOWING SPECIFICATIONS MUST BE APPROVED BY THE OWNERMAMAGER FOR PRICE TO FASSICATION.

CABINET MAKER TO COORDINATE & VERIFY WITH CONTRACTIOR FINAL LOCATION FOR CANTELVERED.

OR BY LETTER. S TO HAVE ACCURRING OR APPROVED FOUNDLE FULL EXTENSION OF DES

ALL DAMESTS TO WER ACCURATE (OR APPROVED EQUAL—TILL EXTENSION CLIDES.

ALL COMMETS TO THE SE OF THE DIMESS OF THE OWNERS OF THE CHILD THE OWNERS OF THE OWNE

TO EACH JOB.

ALL INTERIORS OF CLOSED CABINETS TO BE WHITE MELAMINE OR APPROVED EQUAL, UNLESS OTHERWISE SPECIFIED.

SPECIFIED.

ALL OPEN CABINETS OR SHELVES TO HAVE PLASTIC LAWINATE TO MATCH EXTERIORS.

ALL DEPOLAPIES OR SEQUEST TO VIVE PLANTS. LAWRING TO INTO CHERRORS.

NOS "THIS COLD OF THE PROOF OF THE PROOF

#### FIRE AUTHORITY NOTES

- FINAL INSPECTION BY FIRE DEPARTMENT IS REQUIRED SCHEDULE 72 HOURS IN ADVANCE. FIRE PREVENTION WATER SERVICE SHALL BE IN SERVICE PRIOR TO DELIVERY OF COMBUSTIBLE BUILDING MATERIALS TO THE SITE.

  FIRE SPRINKER SYSTEM(S) SHALL MEET STATE & LOCAL FIRE CODES AND BE PROVIDED TO PROTECT ENTIRE BUILDING.
- ENTIRE BUILDING. FIRE SPRINKLER SYSTEMIS) AND ALL CONTROL VALVES, INCLUDING EXTERIOR SHALL BE SUPERVISED BY A
- FIRE SHYMILDER STOLENIES AND ALL CONTINUE VALUES INCLUDING EACHBRON SHALL BE SUFFICIENTED OF A LULL LISTED CENTRAL ARMISI ISTATION FOR FISTRE & LOCK HER CODES. ALL VALVES CONTROLLING THE WATER SUPPLY FOR ALL DIMANTE. SHYMILDER SYSTEMS AND WATER FLOW SHYMICHES ON ALL SHAMELER SYSTEMS EARL BE ELECTRICALLY KINNDTOBED HARRES THE MARKET OF SHIMMLERS IS 1000 OR MORE. LECTRICAL SUBSCRIPT SCHOOL STOLENIES AND ALL WIRTING FOR FIRE SPRINKLER. ALARIM BELL AND TELEPHONE LECTRICAL SUBSCRIPT SCHOOL STOLENIES AND ALL WATERS FOR FIRE SPRINKLER. ALARIM BELL AND TELEPHONE

- SPRINGERS IS 100 OR MORE LECTURE THE STREAM OF THE SPRINGER, ALAM BELL AND TELEPHONE LECTRICAL SECONDARY OF THE SPRINGER, ALAM BELL AND TELEPHONE LECTRICAL SECONDARY OF THE ALAM STREAM OF THE ALAM STREAM

- RATING. EXIT SKSMS AND ILLUMINATION SHALL CONFORM TO ALL APPLICABLE BUILDING AND FIRE CODES. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIA EATF DOORS SHALL BE UPPAYED FROM IT IN THAT AND AND SMOKE DETECTION SYSTEM PER APPLICABLE FORWARD OR MODIFY AS NEEDED SPRINGLER ALARM AND SMOKE DETECTION SYSTEM PER APPLICABLE CODES INCLUDING PLECESSARY FREE PRICES, STROBE LIGHTS, CONTROL PANEL CONNECTIONS, SMOKE DETECTORS, AUDIO VISINAL ALARMS, SUBMIT SHOP DRAWINGS TO THE FRE MARSHALL FOR APPROVAL.

#### **POWER & SIGNAL NOTES**

- COORDINATE TELEPHONEIDATA INSTALLATION WITH APPROPRIATE SUB-CONTRACTOR.
  ALL EXISTING ELECTRICAL DEVICES ARE TO REMAIN, UNLESS NOTED OTHERWISE.
  DIMENSIONAL OUTLETS FROM THE CENTERLINE OF THE OUTLET BOX, NON-XIMENSIONED OUTLETS ARE TO
- DIRESTIONAL OUTLETS FROM THE CENTRELINE OF THE CONTROL OF THE CONTROL OF THE MEAREST WALL STO.

  ALL NEED WAT THE MEAREST WALL STO.

  ALL HERE WALL MOUNTED COUTLETS RECEPTACLES TO BE CENTERED AT 1-18" A.F.F., LLO.N.

  ALL WALL COVER PLATES SHALL BE WATEL UNLESS BUILDING STANDARD B DIFFERENT, MATCH BUILDING CONTROL OF THE MEAN OF TH
- STANDARD, VERIFY WITH OWNERMANAGER.
  ALL SEPARATE CIRCUIT RECEPTACLES TO BE CRANGE COLOR WITH BUILDING STANDARD COLOR COVER.
- PLATE.

  ALL TELEPHONE AND DATA CABLE TO BE TER ON COATED PLENUM RATED CABLE. SUPPORTED INDEPENDENTLY FROM SUSPENCED CELING SYSTEM. CABLING TO BE SUPPLIED BY TENANT, ALL PULLS AND TERMINATIONS BY GENERAL CONTRACTOR.

  LOCATIONS OF PURMITURE POWER FEEDS SHALL ACCOMMIDIDATE CROLITS AND WIRE PER ELECTRICAL.
- RAWINGS. TENANT SHALL BE RESPONSIBLE FOR PROVIDING FURNITURE POWER FEED, GENERA

- DRAWING. TOWART SHALL BE RESPONDED FOR PROPRIED FORMULA FOUND FEED CREEKA, CONTRACTOR SHALL METALL BE PROPRIED FEED CREEK WHITE AND PROPRIED FEED CREEK WAS AND FUTURES ARE TO BE FROMEDO BY THE GENERAL CONTRACTOR.

  TO BE FROMEDO BY THE GENERAL CONTRACTOR.

  POWER FROM AND OWNER EXTEND EASING PARK ARE FOR THE GENERAL PROPRIED FOR THE GENERAL FOR THE GENERAL CONTRACTOR TO THE CONTRACTOR TO CONTRACTOR TO THE C

PROJECT: 24042



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NOTES

ISSUED: 08-90-24 ISSUED FOR REVIEW II-II-24 ISSUE FOR REVIEW

12-27-24 ISSUE FOR

SCALE 1/4" = 1'-0"

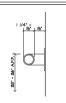
NOTE:

NOT ALL NOTES ON THIS SHEET MAY APPLY TO THIS PROJECT
PER SCOPE OF WORK, CONTRACTOR TO VENIFY SCOPE AND
ADHERE TO ALL NOTES THAT APPLY ACCORDINGLY.

#### SIGNAGE

THE BATH ROOM SHALL BE IDENTIFIED WITH AN INTERNATIONAL SYMBOL OF COMPLIANCE AND A TACKLE SHOW WHICH IS IN COMPLIANCE WITH AND A TACKLE SHOW WHICH IS IN COMPLIANCE SHITH AND A TACKLE SHOW WHICH IS IN COMPLIANCE SHALL BE PLACED OF THE SYMBOLS OF COMPLIANCE SHALL BE PLACED NOT LESS THAN 60" AND NO MORE THAN 40" A SOVET THE FLOOR, TACKLE SHOWS SHALL BE MAKED 60" TO THE LATE OF SHALL BE PLACED TO THE THAN 50" AND TH





GRAB BAR & HANDRAIL SIZE AND SPACING SCALE: S'al'-O'

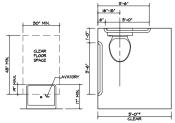
3'-6"

#### TYPICAL ADA REQUIREMENTS

BATH ROOMS REQUIRED TO BE ACCESSIBLE SHALL CONFORM TO ALL ACCESSIBILITY REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT WHICH INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING.

- B. CENTERLINE OF WATER CLOSET IS"-IS" FROM SIDE WALL
- C. GRAB BAR BEHIND MATER CLOSET 24" MIN, 96" LONG MAX, MOUNTED @ 99" 36" A.F.F.
- D. GRAB BARS AT SIDE OF WATER CLOSET 42" LONG MOUNTED 98" 96" A.F.F. (TO TOP OF BAR)
- E. GRAB BAR DIAMETER | I/4" TO | I/2" DIAMETER
- F. SPACE BETWEEN WALL AND GRAB BAR I I/2" TOILET PAPER DISPENSER 96" MAX. FROM REAR WALL, MOUNTED IN" A.F.F.
- 6. KNEE CLEARANCE AT LAVATORY APRON 24" MIN. HEIGHT, 8" MIN. DEPTH
- I. LAVATORY HOT WATER AND DRAIN PIPES TO BE INSULATED WHERE EXPOSED
- K. MIRROR BOTTOM EDGE 40" A.F.F.
- LE BRALLE PICTORIAL SHEWLS ARE AT LEAST & HIGH AND NELLES VERBAL DESCRIPTION GROWN DISTRICTIONS SEED SHALL BE REVALUED ON THE ADJACENT TO THE LATER SIZE OF THE ROOM DOOR AT A HEISEN OF SO. THE VICTOR SHALL BE SHALL SHEWLS AND SHEWLS SHEWLS OF SOME DISTRICTIONS SHALL SHEWLS SHALL SHEWLS SHEWLS SHEWLS SHEWLS SHEWLS DISTRICTIONS SHALL ARE RAISED SANS SERVE OR SHIPLE SERVE AND ALSO HAVE GRAZEL.
- TACTILE CHARACTER (CCCANS) ATTI-2003 TO33-(0).

  WERER A TACTILE SIGN IS PROVIDED AT THE DOOR THE SIGN SHALL BE ALMOSIDE THE DOOR AT THE LATCH SIDE PREFER A TACTILE SIGN IS PROVIDED AT THE ADDRESS DOORS WITH ONE ACTIVE LIEST, THE SIGN SHALL BE LOCATED ON THE ADDRESS DOORS WITH OR ACTIVE LIEST TO THE RIGHT OF THE RIGHT OF THE RIGHT SIDE OF THE RIGHT SIDE



CLEAR

\*CONSIDER FINISH THICKNESS (TILE, ETC.)
WHEN INSTALLING FIXTURES, RESTROOM
PARIELS, ETC. TO MAINTAIN CLEARANCES
REQUIRED.

ANGLED NOSING

#### TOILET ROOM TYPICAL ADA REQUIREMENTS



SCALE: 8/16"=1"-0"

STAIR HANDRAILS

ROUNDED NOSING



- - IF AN ACCESSIBLE ROUTE HAS CHANGES IN LEVEL GREATER THAN 1/2" THEN A RAMP OR CURB RAMP SHALL BE PROVIDED

ADA REQUIREMENTS



UNOBSTRUCTED HIGH SIDE REACH

OBSTRUCTED HIGH SIDE REACH

REACH RANGE REQUIREMENTS

MANEUVERING CLEARANCE AT DOORS

SLOPE	MAX, RISE	MAX, HORIZONTAL PROJECTION
1:12 TO < 1:16	30 IN.	SO PEET
1:16 TO < 1:20	30 IN	40 FEET

SESMENT AND STALL STALL NOT ROTATE WITHIN THEIR

GRIPPING SURFACES SHALL BE

TOP OF HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34" - 36" ABOVE RAMP SURFACES.

ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST.

ADA INSTALLATION REQUIREMENTS

ISSUED: 08-80-24 96UED FOR REVIEW II-II-24 ISSUE FOR REVIEW 12-21-24 ISSUE FOR PERMIT

PROJECT: 24042

RIVERSIDE REMODEL

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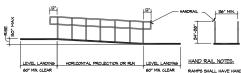
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SCALE 1/4" = 1'-0"

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TOILET ROOM TYPICAL ADA REQUIREMENTS



6 (8)

SLOPE	MAX. RISE	MAX, HORIZONTAL PROJECTION
1:12 TO < 1:16	30 IN.	SO PEET
1:16 TO < 1:20	30 IN.	40 PEET

RAMPS SHALL HAVE HANDRAILS AT BOTH SIDES OF ALL RAMP SEGMENTS.
HANDRAILS SHALL BE CONTINUOUS ALONG BOTH SIDES OF RAMPS THE INSIDE HANDRAIL ON SMITHBACK OR DOGLEG RAMPS SHALL ALMAYS BE CONTINUOUS.

IF HANDRAILS ARE NOT CONTINUOUS, THEY SHALL EXTEND AT LEAST 12 IN. BEYOND THE TOP AND BOTTOM OF THE RAMP SEGMENT AND SHALL BE PARALLEL WITH THE FLOOR OR GROUND

FITTINGS.
THE CLEAR SPACE BETWEEN HANDRAILS AND WALL SHALL BE I I/2" (SEE DETAIL THIS SHEET)

RAMP STANDARDS

NOTE:
ALL CONTROLS AND OPERATING MECHANISMS FOR THE ACCESSIBLE BATHROOM DEVICES SHALL BE OPERABLE WITH ONE (I) HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PRINCING, OR THISTING OF THE PREST, THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE OF MEARINET THAN SHOULDS FORCE (5 LB\*).

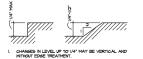
FINANCIALS ARE INTECONTRIBUTED. THE SHALL EXTERN AT INTHE PROPERTY OF THE PROPERTY OF THE STORT OF THE STORY OF THE STORT OF THE STORY OF THE STORT OF THE STORT OF THE STORT OF THE STORT OF THE STOR

FLUSH RISER

GENERAL STAIR NOTE:

ON ANY GIVEN FLIGHT OF STAIRS, ALL STEPS SHALL HAVE UNIFORM RISER HEIGHTS AND UNIFORM TREAD WIDTHS.

TOP OF HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34" - 39" ABOVE STAIR NOSINGS.



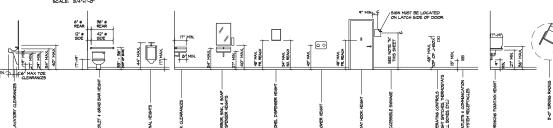
- CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.

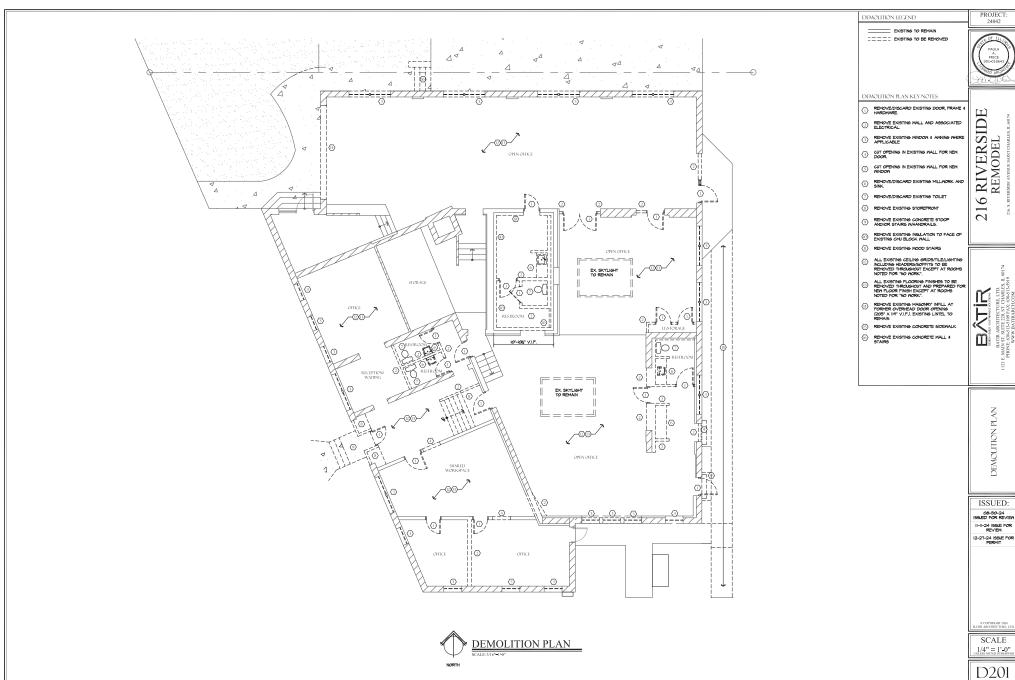
CHANGES IN LEVEL (THRESHOLD)

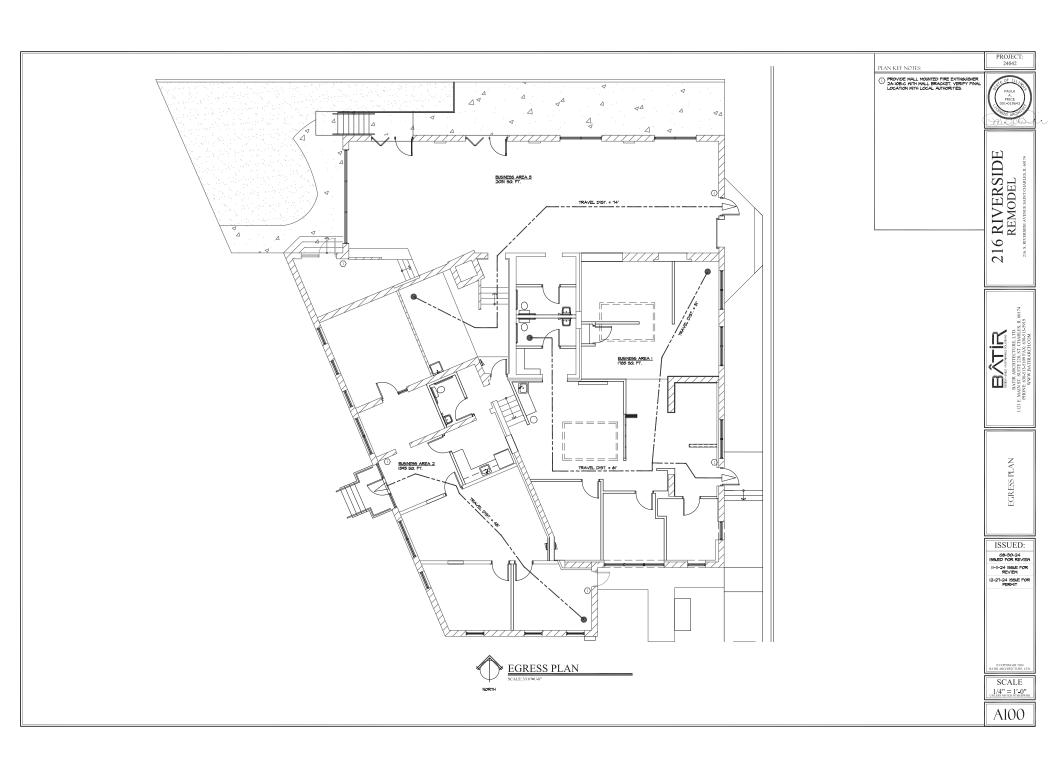


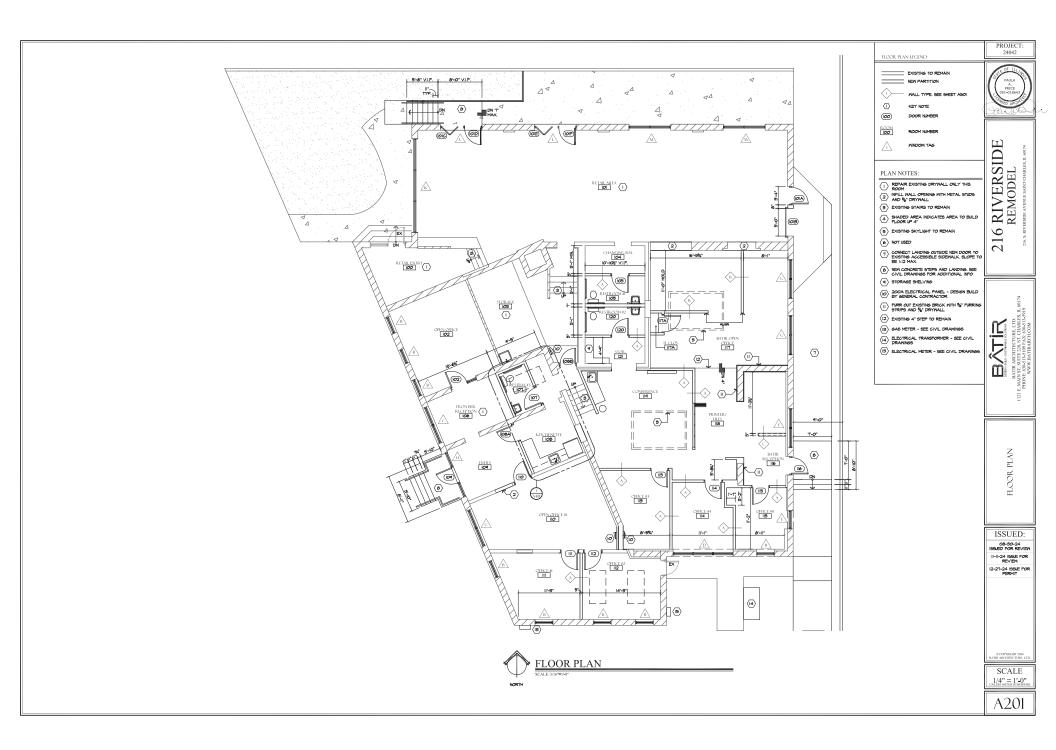
ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST.

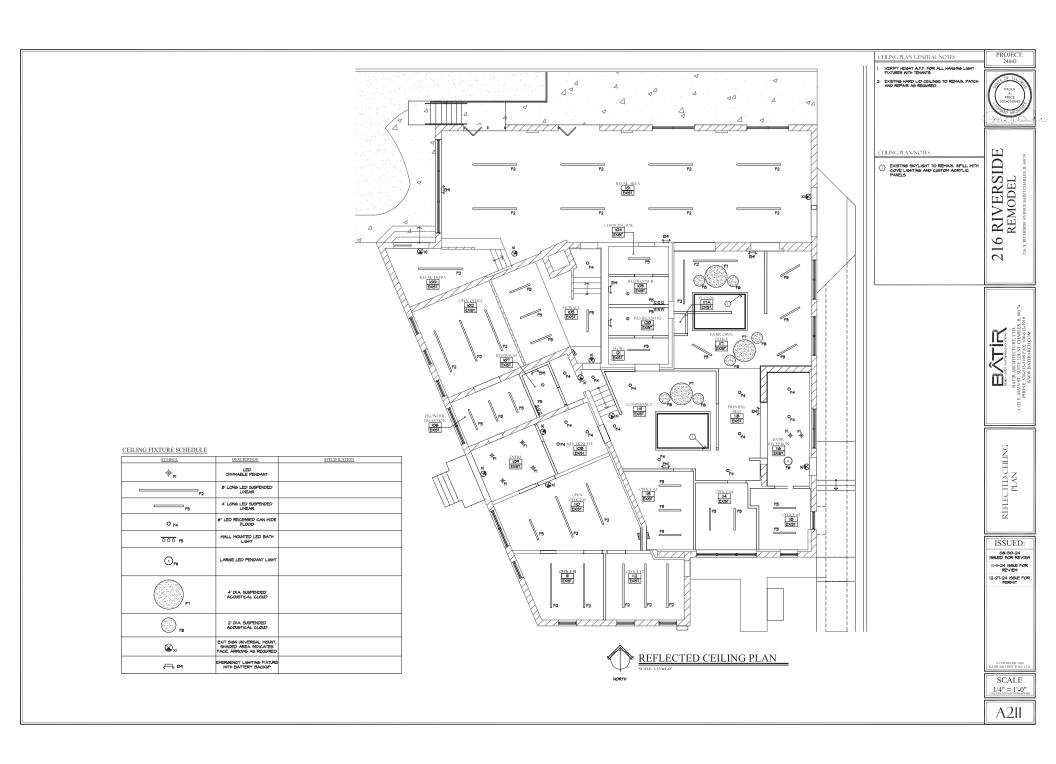
# STAIR DETAILS

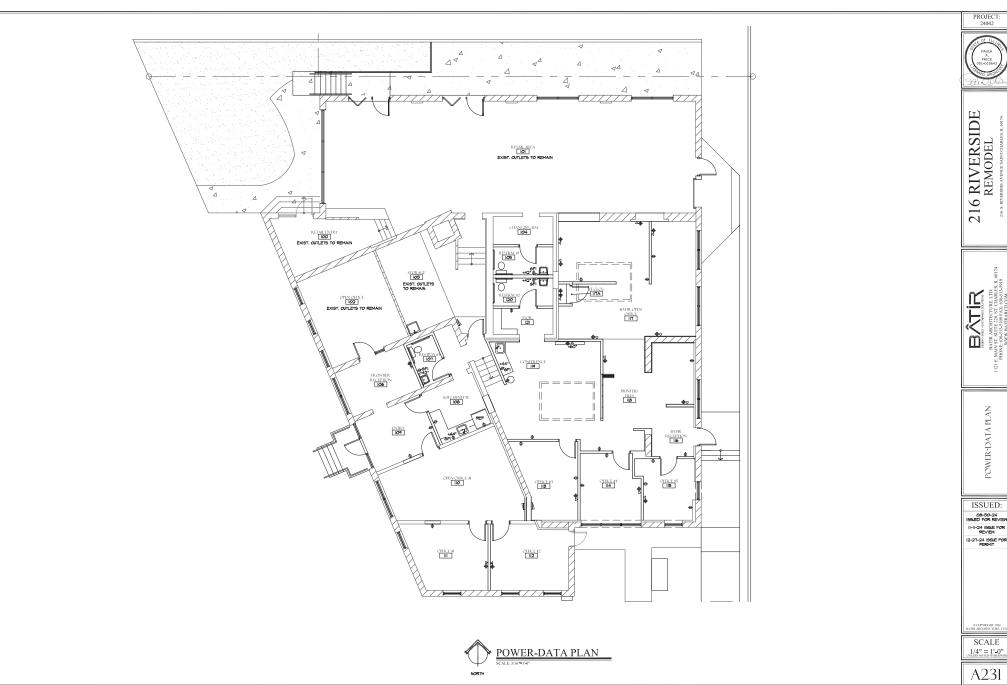






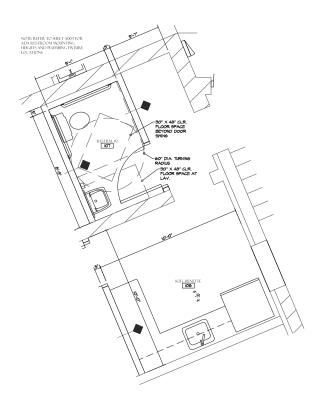




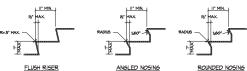




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FLUSH RISER

ANGLED NOSING

GENERAL STAIR NOTE:

ON ANY GIVEN PLIGHT OF STAIRS, ALL STEPS SHALL HAVE UNIFORM RISER HEIGHTS AND UNIFORM TREAD WIDTHS.

HAND RAIL NOTES:

STAIRWAYS SHALL HAVE HANDRAILS AT BOTH SIDES OF ALL STAIRS. HANDRAILS SHALL BE CONTINUOUS ALONS BOTH SIDES OF STAIRS. HE INSIDE HANDRAIL ON SYTHBACK OR DOSLES STAIRS SHALL AUTHAYS BE CONTINUOUS.

I FANDRAI SANTO DE CONTINUOS.

FANDRAIS AND FAT CADINIQUÍS, TREY SHALL EXTERO AT
LEAST IZ IN BEYORD THE TOP RISER AND AT LEAST IZ IN FLIS

FANDRAIS AND TEACH DE PROPER AND AT LEAST IZ IN FLIS

FOR THE EXTENCIOS SHALL BE PARALLEL MITH THE FLOOR OF

CONTINE. TO SANTO FROM DESTROY OF THE MOTH OF ONE

TREAD FROM THE BOTTOM RISER, THE REPARADER OF THE

THE CLARA SPACE SETTIME HAVERALLS AND WALL SHALL BE I

FOR CHEE THE MEETING.

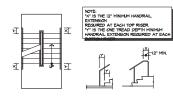
GRIPPING SURFACES SHALL BE UNINTERRUPTED BY NEWEL POSTS, OTHER CONSTRUCTION ELEMENTS OR OBSTRUCTIONS

TOP OF HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34" - 38" ABOVE STAIR NOSINGS.

ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST.

#### STAIR DETAILS

SCALE: 8/4\*=1'-0\*



STAIR HANDRAILS

9CALE: 3/16"=1'-0"

PROJECT: 24042



216 RIVERSIDE REMODEL

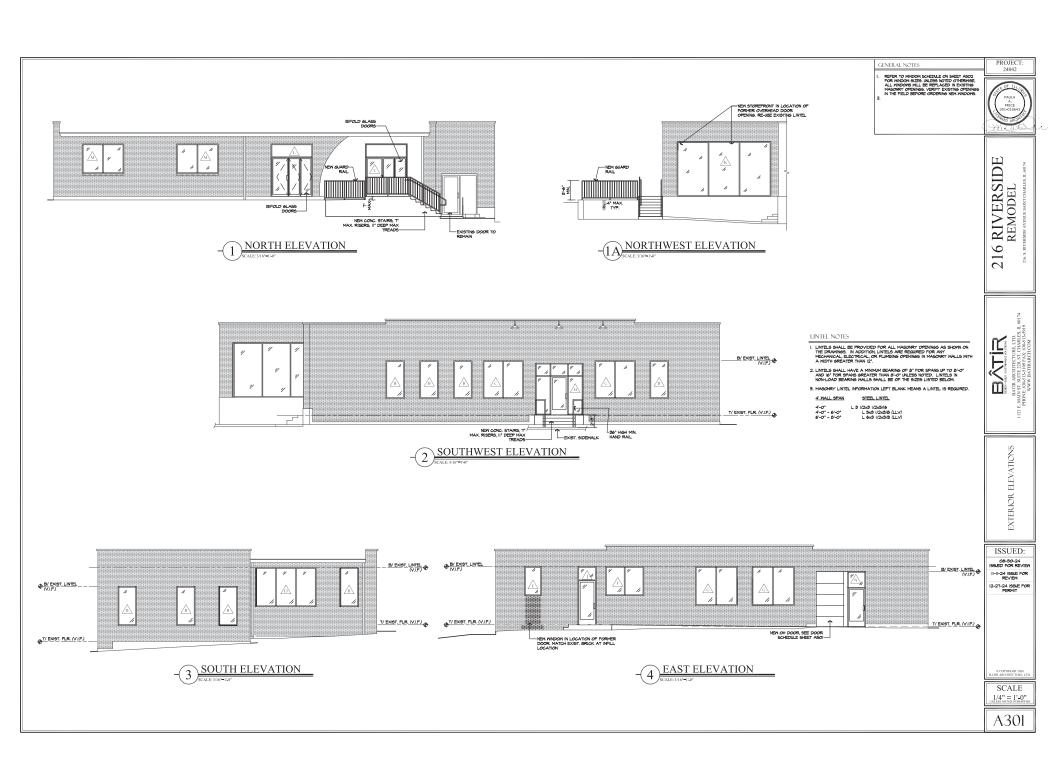
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ENLARGED PLAN-DETAILS

ISSUED:

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SCALE 1/4" = 1'-0"



#### DOOR SCHEDULE, TYPES & HARDWARE

DOOR SCHEDULE												
DOOR #	SIZE	LOCATION			OOR			B	CAME	_		NOTES
			TYPE	MATL	HINE.	LABEL	TYPE	MATL	HINEH	LABEL	HDWR.	
IOIA	3'-0" X T'-0"	RETAIL AREA	D2	AL/GL	ANN		FI	AL	ANN		5	SMING DOOR, NARROW STILE 2 1/2" VERTICAL FACE DIMENSIONS
ЮВ	5'-0" x 10'-0"	RETAIL AREA	D4	STL		-					-	NEW OH DOOR IN EXISTING OPENING - VERIFY HEIGHT & WIDTH IN FIELD
юю	4'-8" x T'-0"	RETAIL AREA	D5	AL/GL	ANN		-	AL	ANN			AL/GL BI-FOLDING DOORS WITH INSULATED/TEMPERED GLASS
IOID	3'-0" x 7'-0"	RETAIL AREA	D2	AL/GL	ANN		FI	AL	ANN		5	SHING DOOR, NARROW STILE 2 1/2" VERTICAL FACE DIMENSIONS
IOIE	4'-3" x T'-0"	RETAIL AREA	D5	AL/GL	ANN		-	AL	ANN			AL/GL BI-POLDING DOORS WITH INSULATED/TEMPERED GLASS
IOIF	8'-0" X T'-0"	RETAIL AREA	D2	AL/GL	ANN		m	AL	ANN		5	
102	3'-0" X T'-0" X I-3/4"	OPEN OFFICE	DI	MD	STN		F2	нм	PNT		2	
105	3'-0" X T'-0" X I-3/4"	RESTROOM #	DI	MD	STN		FI	нм	PNT		4	
107	8'-0" X T-0" X I-9/4"	RESTROOM #3	DI	MD	STN	-	m	нм	PNT		4	
IOBA	3'-0" X T'-0" X I-3/4"	KITCHENETTE	DВ	MD	STN		FI	нм	PNT		- 1	
IO8B	3'-0" X T'-0" X I-3/4"	KITCHENETTE	DI	MD	STN		FI	нм	PNT		2	
104	8'-0" X T'-0" X I-9/4"	ENTRY	D2	AL/GL	ANN		FI	AL	ANN		5	SHING DOOR, NARROW STILE 2 1/2" VERTICAL FACE DIMENSIONS
110	3'-0" X T'-0" X I-3/4"	OPEN OFFICE	DB	MD	STN		FI	нм	PNT		2	
III	3'-0" X T'-0" X I-3/4"	OFFICE #I	DI	MD	STN		FI	нм	PNT		2	
II2	8'-0" X T'-0" X I-8/4"	OFFICE #2	DI	MD	STN		FI	нм	PNT		2	
113	3'-0" X T'-0" X I-3/4"	OFFICE #3	DI	MD	STN		FI	нм	PNT		2	
114	3'-0" X T'-0" X I-3/4"	OFFICE #4	DI	MD	STN		FI	нм	PNT		2	
115	8'-0" X T'-0" X I-8/4"	OFFICE #5	DI	MD	STN		FI	нм	PNT		2	
116	3'-0" × 8'-0" × 1-3/4"	BATIR RECEPTION	D2	AL/GL	ANN		FI	AL	ANN		5	
IITA	3'-0" X T'-0" X I-3/4"	IT GLØSET	DI	MD	STN		FI	нм	PNT		- 1	
120	8'-0" X T'-0" X I-8/4"	RESTROOM #2	DI	MD	STN	_	FI	нм	PNT		4	SWING DOOR, NARROW STILE 2 1/2" VERTICAL FACE DIMENSIONS

DOOR TYPES

SCALE: 1/4 = 1'-0"

SCHED.

FRAME TYPES

SCALE: 1/4 = 1'-0"

FI

A5 SCHED. 1-2' 2'-1'-6'1-2'

F2

⊢sched. →

SCHED.

HARDWARE SETS		HARDWARE ELEMENT DESCRIPTIONS				
SET I: TYP. PASSAGE SET	HARDWARE	DESCRIPTION				
I LATCH SET I PRAME W SILENCERS I BUTH HINGE SET I MALL MOWNED DOOR STOP	HIN6E5	MANUFACTURER: BOMMER FINISH: 652 MODEL: BBBOOO 4.5" X 4.5" ACCEPTABLE MANUFACTURERS: BOMMER, HAGER, IVES				
2: TYP, ENTRANCE/OFFICE LOCKSET KEYED LATCH SET FRAME W SILENCERS BUTT HINGE SET	CLOSERS WITH HOLD OPEN	MANUFACTURER: DORMA FINISH: 684 MODEL: 566 FH REGUALR ARM OR FHP PARALLEL ARM ACCEPTABLE MANUFACTURERS; DORMA, LCN, NORTON				
I WALL MOUNTED DOOR STOP  ET 3: TYP, ENTRANCE LOCKSET  I LATCH SET	LEVER SETS	MANUFACTURER: SCHLAGE COMMERCIAL GRADE 2 JUPITER PASSAGE DOOR FINISH: US26D VERIEY LEVER STYLE AND FINISH WITH TENANT BEFORE ORDERING				
I FRAME W SILENCERS I BUTT HINGE SET I WALL MOUNTED DOOR STOP SET 4: TYP, PRIVACY WASHROOM LOCKSET	LOCK SET	MANUFACTURER: SCHLAGE COMMERCIAL GRADE 2 JUPITER KEYED ENTRANCE/OFFICE PINISH: US26D  YERIPY LEVER STYLE AND FINISH WITH TENANT BEFORE ORDERING				
PRIVACY LATCH SET  PRAME W SILENCERS BUT HINGE SET  SET 5, EXTERIOR ALIMINUM ENTRY/EGRESS	LEVER SET - PRIVACY	MANUFACTURER: SCHLAGE COMMERCIAL GRADE 2 JUPITER PRIVACY LEVER SET FINISH: US260 VERIFY LEVER STYLE AND FINISH WITH TENANT BEFORE ORDERING				
DOOR I PULL BAR I PANG EXIT DEVICE, PADDLE HANDLE	EXIT DEVICES	TYPE: PUSH PADDLE MANUFACTURER GLOBAL DOOR CONTROLS (OR EQ.) - THIOO-PUSH-DU				
FRAME W SILENCESS     BUTH HINGE SET OR PIVOTS     EXPOSED OVERHEAD CLOSER     THRESHOLD FOR FLOOR MATERIAL TRANSITION     WEATHER-STRIPPING & SMEEP	MALL STOP	MOUNTING. SURFACE FINGH 626 MANAPACTURER. HAPVATHA MODEL. WIT X F.B. ACCEPTABLE MANAPACTURERS. HAPVATHA, ROCKHOOD, TRIMCO				
SET 6: HOLLOW METAL EXTERIOR DOOR  I SET BALL BEARING BUTT HINGES W NON-RISING PINS	PUSH PLATES	MOUNTING, SURFACE MANUFACTURER, HAGER BOS SQ. CORNER BEVELED PUSH PLATE FINISH: USGED				
I SURFACE MOUNTED CLOSER I FRAME W SILENCERS I WALL MOUNTED DOOR STOP	DOOR PULL	MANIFACTURER: HAGER IE FINISH: US26D				
THRESHOLD FOR FLOOR MATERIAL TRANSITION   MEATHER-STRIPPING & SMEEP   LATCH GUARD   DRIP CAP	THRESHOLDS	MONTING: SURFACE				
	KICK PLATES	MOUNTING SURFACE FINSH. USB2D MANUFACTURER: HAGER MODEL: 1946 - 10" HIGH				
	HEAD/JAMB SEALS	MOUNTING: SURFACE COLOR: BLACK MANUFACTURER: PENKS MODEL: SABB ACOUSTICAL ACCEPTABLE MANUFACTURERS: PENKS, KN GROWDER, NSP				
	DOOR SILENCERS	MOUNTING: SURFACE COLOR: GREY HAVATHA MODEL: 601 (FOR HOLLOW METAL FRAME)				
	LEAD LINED ROTON HINSE	MANFACTURER: HAGER MODEL: 180 SERIES CONCEALED LEAF 180-112LL 88' LENGTH				

DOOR AND FRAME ABBREVIATION KEY

PROJECT:

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ND = NOOD DOOR (BIRCH)

STN = STAIN (COLOR TED)

GL = GLASS

PNT = PAINT (SEE FINISH PLAN SHEET A22I)

HM = HOLLOW METAL

AL/GL = ALIMINUM/GLASS ANN = ANODIZED ALLMINUM

DOOR GENERAL NOTES:

DOR HARWARE SHALL BE CAPABLE OF OFFICE AND THE MEDICAL PROPERTY OF THE MEDICAL

DOOR, AND ER AME NOTES:

PROVIDE ALL H.M. DOORS WITH (I) COAT PRIMER \$ (2) COATS PAINT.

ALL DOORS AND FRAMES TO BE REINF. 8 PREPARED FOR HARDWARE.

ALL EXTERIOR DOORS SHALL BE PROVIDED WITH MEATHER STRIPPINS.

ALL DOOR THRESHOLDS SHALL NOT EXCEED
 Y IN HEIGHT.

ALL DOORS SHALL MEET A.D.A. REQUIREMENTS.

6. ALL H.M. DOORS SHALL BE IS GA. (MIN.)

7. ALL MELDED FRAMES SHALL BE I6 GA. (MIN.)

ALL SIGNAGE TO BE MOUNTED AT A.D.A.
HEIGHT.

IO. PROVIDE LEVER TYPE HANDLES ON ALL DOORS.

HARDWARE SCHEDULE TO BE SUPPLIED BY HARDWARE SUPPLIER FOR A/E REVIEW.

VERIFY ALL HARDWARE, KEYING, FINISHES WITH OWNER BEFORE ORDERING.

IB. H.M. DOOR & FRAME MANUFACTURER TO BE "CURRIES", "STEEL CRAFT" OR EQUAL.

EXTERIOR HM. DOORS AND FRAMES TO BE INSULATED.

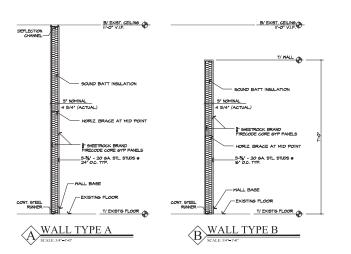
PROVIDE DOOR JAMB SILENCERS TYPICAL ALL METAL DOOR FRAMES.

VERIFY DOOR UNDERCUT & GRILLE REQUIREMENTS WITH H.V.A.C. REQUIREMENTS BEFORE ORDERING.

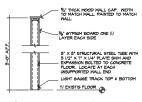
DOOR CLOSERS SHALL MEET OPENING FORCE AND SMEEP PERIOD REQUIREMENTS.

ALL MEANS OF EGRESS DOORS TO BE KEYLESS IN THE DIRECTION OF EGRESS AND OPERATE WITHOUT THE USE OF ANY SPECIAL KNOWLEDGE OR TOOLS.









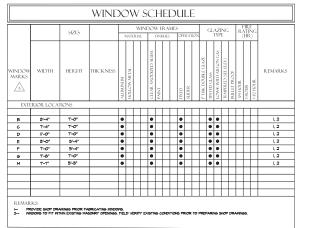


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DOOR & HARDWARE SCHEDULES; WALL TYPES

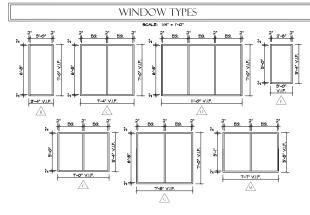
II-II-24 ISSUE FOR REVIEW 12-21-24 ISSUE FOR PERMIT

SCALE 1/4" = 1'-0"



2'-10"

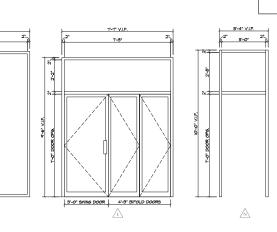
8'-0"



WINDOW NOTES:

- I. FINISH: SEE SCHEDULE
- 2. GLAZING: SEE SCHEDULE

- DRANNSS INDICATE SIZE, PROFILES AND DIMESSIONAL REQUIREMENTS OF ALLMINM INDIONS AND ARE BASED UPON THE SPECIFIC SYSTEM INDICATED. DO NOT MODIFY SIZE AND DIMESSIONAL. REQUIREMENTS EXCEPT NITH THE APPROVAL OF THE ARCHITECT.
- PROVIDE SAMPLES FOR VERIFICATION. FOR ALL ALIMINIM WINDOWS AND COMPONENTS REQUIRED.
- FIELD MEASUREMENTS. VERIFY ALLMINAM WINDOM OPENINGS BY FIELD MEASUREMENT BEFORE FABRICATION AND INDICATE MEASUREMENTS ON SHOP DRAWINGS.
- SHOP DRAWINGS: INCLUDE PLANS, ELEVATIONS, SECTIONS, DETAILS, HARDWAR ATTACHMENT TO OTHER WORK, OPERATION, CLEARANCES AND INSTALLATION DETAILS.
- SUBMIT, FOR OWNER'S ACCEPTANCE,



STOREFRONT ELEVATIONS

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PROJECT: 24042

RIVERSIDE REMODEL

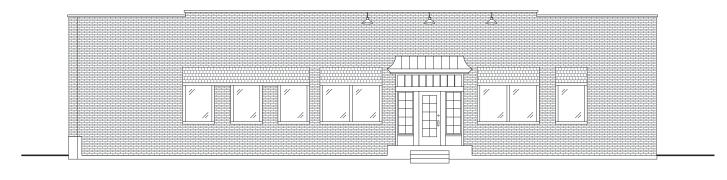
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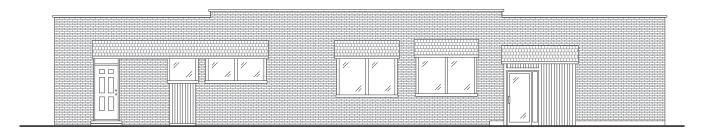
WINDOW SCHEDULES

ISSUED: 08-80-24 ISSUED FOR REVIEW II-II-24 ISSUE FOR REVIEW 12-27-24 ISSUE FOR PERMIT

SCALE 1/4" = 1'-0"



# EXISTING WEST ELEVATION SCALE: 1/8"=1'-0"



# EXISTING EAST ELEVATION SCALE: 1/8"=1'-0"

# <u>216 RIVERSIDE ELEVATIONS</u>

SCALE: 1/8"=1'-0"

LOCATION: 216 5. RIVERSIDE AVE. 5T. CHARLES, IL 60174 PLAN #. | PROJECT#: 24042



# Recent Photos – 216-218 Riverside Ave

West Elevation (Riverside)



North Elevation



# East Elevation (2<sup>nd</sup> Ave.)



South Elevation (Indiana)





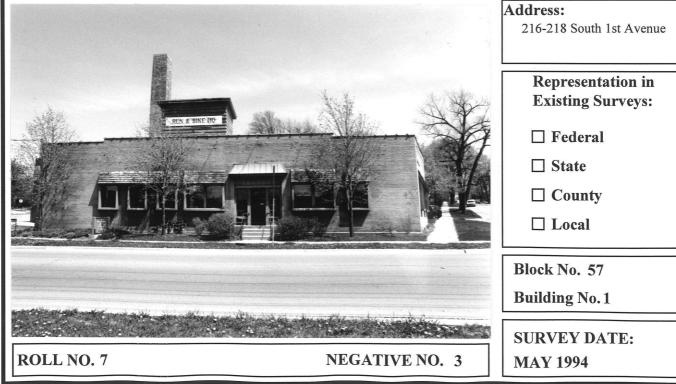
# ARCHITECTURAL SURVEY

ST. CHARLES CENTRAL DISTRICT ST. CHARLES, ILLINOIS

ST. CHARLES HISTORIC PRESERVATION COMMISSION

DIXON ASSOCIATES / ARCHITECTS

ARCHITECTURAL I	NTE	GRI	ΓY	BUILDING CONDITION		
	1	2	3	☐ Excellent: Well-maintained		
□ Unaltered				☐ Good: Minor maintenance needed		
☐ Minor Alteration				☐ Fair: Major repairs needed		
☐ Major Alteration				☐ Poor: Deteriorated		
☐ Additions  Sensitive to original  Insensitive to original  1: first floor; 2: upper floors		□ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □	□ □ □	ARCHITECTURAL DESCRIPTION  Style: Utilitarian  Date of Construction: 1900-1920  Source: A Field Guide to American Architecture  Features:		
ARCHITECTURAL SIGN	VIFIC	CANC	E	Former daily building of brick, one story with wood tower and brick chimney.		
☐ Significant						
☐ Contributing						
☐ Non-Contributing						





# ARCHITECTURAL SURVEY

ST. CHARLES CENTRAL DISTRICT ST. CHARLES, ILLINOIS

DIXON ASSOCIATES / ARCHITECTS

ST. CHARLES HISTORIC PRESERVATION COMMISSION

#### **CONTINUATION SHEET NO: 1**



Address:

216-218 South 1st Avenue

Remarks:

South Elevation.

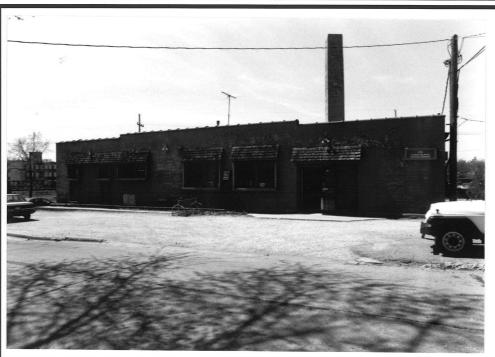
**ROLL NO. 7** 

**NEGATIVE NO. 2** 

Block No. 57

**Building No. 1** 

216-218 South 1st Avenue



East Elevation.

Remarks:

Address:

**ROLL NO. 6** 

**NEGATIVE NO. 36** 

Block No. 57

**Building No. 1**