

**CITY OF ST. CHARLES  
HISTORIC PRESERVATION COMMISSION  
KIMBERLY MALAY, CHAIR**

**WEDNESDAY, FEBRUARY 19, 2025 – 7:00 P.M.  
COUNCIL CHAMBERS  
2 E. MAIN ST., ST. CHARLES, IL 60174**

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Agenda**
- 4. Presentation of minutes of the February 5, 2025 meeting**
- 5. Certificate of Appropriateness (COA) applications**
  - a. 213 S. 3<sup>rd</sup> St.**
  - b. 216 Riverside Ave.**
- 6. Grant Applications**
- 7. Landmark Applications**
- 8. Preliminary Reviews-** Open forum for questions or presentation of preliminary concepts to the Commission for feedback
- 9. Other Commission Business**
- 10. Public Comment**
- 11. Additional Business and Observations from Commissioners or Staff**
- 12. Meeting Announcements: March 5, 2025**
- 13. Adjournment**

***ADA Compliance***

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at [jmcmahon@stcharlesil.gov](mailto:jmcmahon@stcharlesil.gov). Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).

**MINUTES**  
**CITY OF ST. CHARLES**  
**HISTORIC PRESERVATION COMMISSION**  
**WEDNESDAY, FEBRUARY 5, 2025**

**Members Present:** Smunt, Kessler, Pretz, Malay

**Members Absent:** Rice, Morin

**Also Present:** Russell Colby, Director of Community Development

**1. Call to Order**

Ms. Malay called the meeting to order at 7:00 P.M.

**2. Roll Call**

Mr. Colby called Roll with 4 members present. There was a quorum.

**3. Approval of Agenda**

Mr. Pretz requested additions under Additional Business and Observations from Commissioners or Staff, 11a. 2025 Project and 11b. Financial Considerations.

**A motion was made by Dr. Smunt and seconded by Mr. Pretz with a unanimous voice vote to approve the revised agenda.**

**4. Presentation of minutes of the January 8, 2025 meeting**

**A motion was made by Dr. Smunt and seconded by Mr. Kessler with a unanimous voice vote to approve the minutes.**

**5. Certificate of Appropriateness (COA) applications**

**a. 208 W. Main St.**

Tyler Rudowicz, owner representative, presented COA to install wall sign for Rud Dogs hot dogs. The business will be oriented to the evening and late night customers. The Commission confirmed the sign will have the same placement as the Rudy's sign.

**A motion was made by Mr. Pretz and seconded by Dr. Smunt, with unanimous voice vote, to approve the COA as presented.**

**b. 213 S 3<sup>rd</sup> St.**

Mr. Colby stated that since a COA was approved previously, the applicant has submitted architectural plans for permit, and there are some discrepancies vs. the Commission conditions. Mr. Colby noted the decking material and orientation are incorrect and the side rails shown do not matching existing. Also, the railing will need to meet current standards for opening size, which may make replicating the existing design difficult.

Maria Munoz, applicant, said that they were trying to match the Commission recommendation but were seeking clarification.

Mr. Kessler referred to information on proper historical deck design, including decking running perpendicular to the building, and use of tongue-in-groove decking. He also located product examples, including a prefabricated railing system that replicates the existing design. He shared the product information with Ms. Munoz.

The Commission discussed that they would like to see the revised plans before approving any changes. The lattice noted on the plans will need to be framed.

Ms. Munoz indicated she will revise the plan to match the Commission direction and return at the next meeting.

**A motion was made by Dr. Smunt and seconded by Mr. Pretz, with a unanimous voice vote, to table the COA.**

**6. Grant Applications**

None.

**7. Landmark Applications**

None.

**8. Preliminary Reviews-** Open forum for questions or presentation of preliminary concepts to the Commission for feedback

None.

**9. Other Commission Business**

None.

**10. Public Comment**

None.

**11. Additional Business and Observations from Commissioners or Staff**

**a. 2025 Project**

Mr. Pretz discussed the concept of a National Register Historic District designation within the existing Central District and conversation with the State Historic Preservation Agency. They discussed the process and the potential for utilizing grant funds for a survey to identify the appropriate district boundaries based on time period of significance. Mr. Colby indicated a survey expense, even with a grant, would first need to be budgeted, which may need to wait until the next fiscal year. The Commission discussed the property owner notification process and sharing the potential benefits of the designation.

**b. Financial Considerations**

Mr. Pretz noted that with a recent COA review, it may have been a challenge to separate the objective review vs. the financial considerations. He suggested that the Commission should first focus on the objective decision regarding removal vs. replacement of a material first, and once a decision is reached, then consider the cost implications of the


replacement options.

**12. Meeting Announcements: Feb. 19, 2025**

**13. Adjournment**

With no further business to discuss the meeting adjourned at 7:35 p.m.



|  |   |  |   |                           |
|--|---|--|---|---------------------------|
|  <p><b>CITY OF<br/>ST. CHARLES</b><br/>ILLINOIS • 1834</p>  | <b>HISTORIC PRESERVATION COMMISSION<br/>AGENDA ITEM EXECUTIVE SUMMARY</b> |  |   |                           |
|  | <b>Agenda Item Title/Address:</b>   |  | COA: 213 S 3 <sup>rd</sup> St.                      |                           |
|  | <b>Significance:</b>  |  | Contributing per Survey/ Significant per Commission |                           |
|  | <b>Petitioner:</b>  |  | Maria Munoz   |                           |
|  | <b>Project Type:</b>  |  | Porch reconstruction                                |                           |
|  | <b>PUBLIC HEARING</b>   |  |   | <b>MEETING<br/>2/5/25</b> |
| <b>Agenda Item Category:</b>   |   |  |   |                           |
|  | Preliminary Review  |  |   | Grant                     |
| X  | Certificate of Appropriateness (COA)                                      |  |   | Other Commission Business |
|  | Landmark/District Designation   |  |   | Commission Business       |
| <b>Attached Documents:</b>   |   |  | <b>Additional Requested Documents:</b>              |                           |
| Revised Plans, Approved COA  |   |  |   |                           |
| <b>Project Description:</b>  |   |  |   |                           |
| <p>On 2/5, the Commission reviewed permit drawings for this project and noted a number of changes needed on the plans to comply with the original COA approval. The Commission tabled the item and requested the applicant return with revised plans for approval.</p> <p>Revised plans are attached showing requested revisions:</p> <ul style="list-style-type: none"> <li>• Revised joist layout with 1x4 Fir Decking shown running perpendicular to the wall</li> <li>• Southern Cross PVC railing panel suggested by the Commission to replicate the existing style and meet current code</li> <li>• Stair guardrail/handrail shown on plans</li> <li>• Note added that lattice will be in framed panels</li> </ul> |   |  |   |                           |
| <b>Staff Comments:</b>   |   |  |   |                           |
|  |   |  |   |                           |
| <b>Recommendation / Suggested Action:</b>  |   |  |   |                           |
| <ul style="list-style-type: none"> <li>• Provide feedback and recommendation on approval of the COA</li> </ul>   |   |  |   |                           |

# FRONT PORCH REBUILT

## 213 S. 3RD ST. CHARLES, IL



1 PHOTOS OF EXISTING PORCH



### CITY OF ST. CHARLES BUILDING CODES

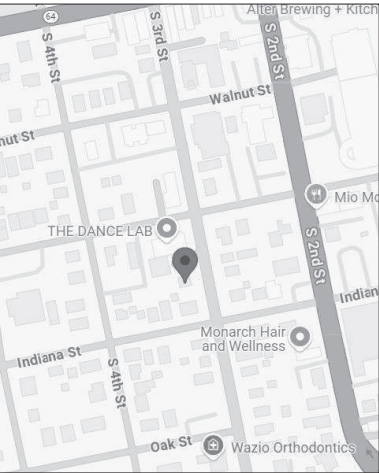
2021 International Residential Code W/Amendments  
2021 International Existing Building Code W/Amendments  
2021 International Fire Code W/Amendments  
2018 State of Illinois Accessibility Code  
2021 [NFPA 101] LIFE SAFETY CODE W/Amendments

### SHEET INDEX

| NO.  | SHEET TITLE                              |
|------|--|
| T1.0 | COVER SHEET & EXISTING PHOTOS            |
| A1.0 | FLOOR PLAN, FRAMING PLAN, SECTION DETAIL |

### GENERAL NOTES

- DO NOT SCALE DRAWINGS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- NOTES WHICH APPLY AT ALL SIMILAR CONDITIONS SHALL GOVERN WHETHER REPEATED OR NOT.
- ALL WORK TO BE PERFORMED TO BE IN COMPLIANCE WITH ALL APPLICABLE CODES REGULATORY AGENCIES, STATUTES AND RECOGNIZED INDUSTRY STANDARDS.
- ALL WORK SHALL BE PERFORMED IN A TRADESMAN-LIKE MANNER AND SHALL CONFORM TO THE BEST STANDARD PRACTICES OF THE TRADE INVOLVED.
- ALL PERMITS TO BE BY OWNER
- ALL CONTRACTORS SHALL BE REQUIRED TO PURCHASE A BUSINESS LICENSE SHALL IT BE REQUIRED BY VILLAGE.
- LUMBER TO BE GRADE #2 SPRUCE / PINE / FIR / TREATED



2 LOCATION MAP

| REVISION TABLE |      |             |             |
|----------------|------|-------------|-------------|
| NUMBER         | DATE | REVISION BY | DESCRIPTION |
|                |      |             |             |
|                |      |             |             |
|                |      |             |             |

FRONT PORCH REBUILT  
213 S. 3RD ST. CHARLES, IL.

DRAWINGS PROVIDED BY:  
CESAR RIVERA  
PHONE: 708.323.6497  
EMAIL: CRIVERA303@GMAIL.COM

DATE:

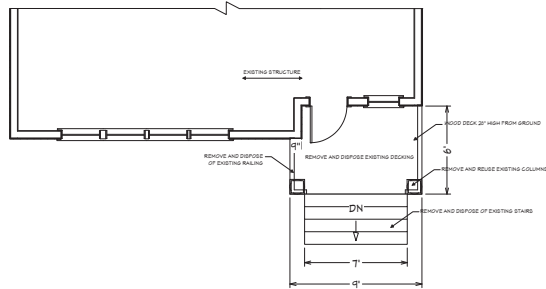
2/14/2025

SCALE:

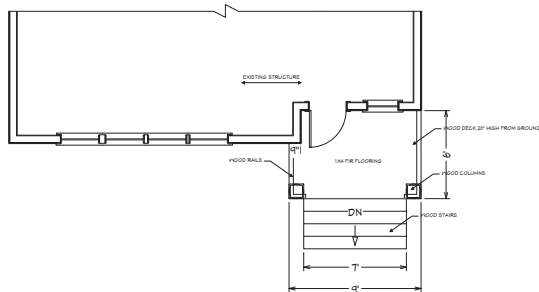
1/4"=1'-0"

SHEET:

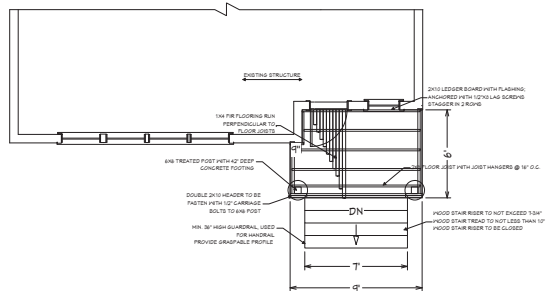
T1.0



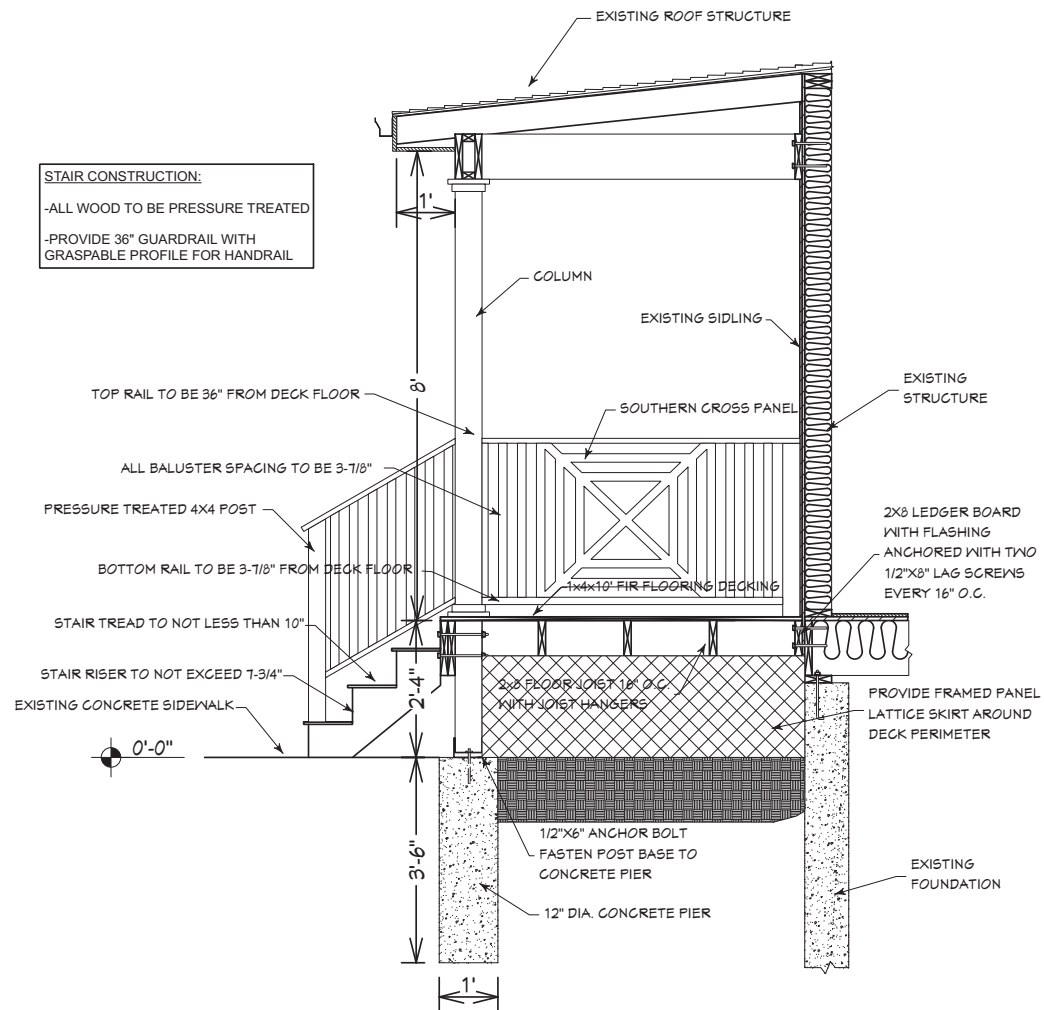
**1 EXISTING PORCH FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**2 PORCH FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**3 PORCH FRAMING PLAN**  
SCALE: 1/4"=1'-0"



**4 DETAIL SECTION**  
SCALE: 1"=1'-0"

**STAIR CONSTRUCTION:**  
-ALL WOOD TO BE PRESSURE TREATED  
-PROVIDE 36" GUARDRAIL WITH GRASPABLE PROFILE FOR HANDRAIL

| REVISION TABLE | NUMBER | DATE | REVISION BY | DESCRIPTION |
|----------------|--------|------|-------------|-------------|
|                |        |      |             |             |
|                |        |      |             |             |
|                |        |      |             |             |
|                |        |      |             |             |

FRONT PORCH REBUILD  
213 S. 3RD ST. CHARLES, IL.

DRAWINGS PROVIDED BY:

CESAR RIVERA  
PHONE: 708.323.6497  
EMAIL: CRIVERA303@GMAIL.COM



DATE:  
2/14/2025

SCALE:  
1/4"=1'-0"

SHEET:  
A1.0

# APPLICATION FOR COA REVIEW

## HISTORIC PRESERVATION "CERTIFICATE OF APPROPRIATENESS"



ST. CHARLES  
SINCE 1834

COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT / CITY OF ST. CHARLES

(630) 377-4443

To be filled out by City Staff

Permit #: 0024 - 01919 Date Submitted: 11/13/24 COA # 24-36 Admin. Approval: \_\_\_\_\_

### APPLICATION INFORMATION

Address of Property: 213 S. 3rd St. St. Charles IL 60174

Use of Property: ☐ Commercial, business name: \_\_\_\_\_  
☐ Residential ☐ Other: \_\_\_\_\_

### Project Type:

- |  |  |   |
|--|--|---|
| <input checked="" type="checkbox"/> Exterior Alteration/Repair | <input type="checkbox"/> New Construction      | <input type="checkbox"/> Demolition             |
| <input type="checkbox"/> Windows                               | <input type="checkbox"/> Primary Structure     | <input type="checkbox"/> Primary Structure      |
| <input checked="" type="checkbox"/> Doors                      | <input type="checkbox"/> Additions             | <input type="checkbox"/> Garage/Outbuilding     |
| <input type="checkbox"/> Siding - Type: _____                  | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Other _____            |
| <input type="checkbox"/> Masonry Repair                        | <input type="checkbox"/> Garage/Outbuilding    | <input type="checkbox"/> Relocation of Building |
| <input type="checkbox"/> Other _____                           | <input type="checkbox"/> Other _____           |   |
| <input type="checkbox"/> Awnings/Signs                         |  |   |

Description: Replacing 4 exterior doors.

Front porch will be getting completely repaired,  
we will be rebuilding the whole structure for safety

matters. The porch is in very bad condition, steps are weak, handrails and  
spindles are loose and the rest area has loose beams.

### Applicant Information:

Name (print): Modern Walls painting and Design.

Address: 7165 four Seasons Blvd.

Phone: (630) 440-2686

Email: modernwallsprnd@gmail.com

Applicant is (check all that apply):

- ☐ Property Owner  
☐ Business Tenant  
☒ Project contractor  
☐ Architect/Designer

### Property Owner Information (if not the Applicant)

Name (print): Donn Valentine

Address: 213 S. 3rd St. St. Charles IL, 60174

Signature: \_\_\_\_\_

### APPLICANT/AUTHORIZED AGENT SIGNATURE

I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA General Conditions.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**THIS PAGE IS TO BE FILLED OUT AT THE HISTORIC COMMISSION MEETING**

**HISTORIC COMMISSION APPROVAL:**

The Historic Preservation Commission hereby issues a Certificate of Appropriateness (COA) authorizing the issuance of a building permit for the proposed work in accordance with the attached plans and any approval conditions, if attached hereto.

  
Chairman Signature

12-18-24  
Date

**Approved:**

- ☐ As presented  
☒ Subject to conditions below  
☐ Complete project scope only  
(all elements must be included)

**CONDITIONS OF APPROVAL**

**Project Specific Conditions:**

1. Direction of wood identical to current
2. Railings same as existing
3. Lattice to be framed to comply w/ guidelines
4. Current existing columns to be restored.

**General Conditions:**

1. The person signing this form is responsible for communicating the Terms and Conditions listed herein to all contractors for the project.
2. Design, materials and construction methods shall be as shown on the COA, either in the conditions or on the attached plans.
3. The COA approval is limited to the scope of work documented in the plans.
4. No visible or concealed structural elements or historic features may be modified or removed unless identified in the COA approval.
5. Any historic materials that are inadvertently lost or damaged during construction without COA approval must be replaced to the preconstruction condition at the expense of the owner.

**What to do if you encounter unforeseen issues during construction, or if a change to the project is being considered:**

1. Stop work until a revised COA approval is received. Do not discard any materials- All materials must be stored on site until a new COA review is conducted.
2. Contact the City of St. Charles Community Development Division immediately- 630-377-4443. City staff can contact the Historic Preservation Commission Chairman to seek direction. If the issue is of an urgent nature, a special commission meeting can be scheduled at the discretion of the Chairman. The Historic Commission can meet with a minimum of 48 hour notice.
3. Removal of structural elements or historic features without a COA approval is only permitted where the City has determined there is an imminent safety risk. This determination must be made by the City's Building and Code Enforcement Division- 630-377-4406.
4. In the event that any structural elements or historic features must be, or have been removed or dismantled for safety reasons:
  - a. Any deterioration of structural elements or historic features shall be documented by physical or photographic evidence.
  - b. All materials shall be stored on site until a COA review is conducted – do not discard any materials.

**APPLICANT/AUTHORIZED AGENT SIGNATURE**

I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA General and Project Specific Conditions.

Signature: 

Date: 12/18/24

**If you have any questions on the information listed above, contact the Community Development Division at 630-377-4443.**



**D.F.L.S.**

2600 KESLINGER ROAD SUITE A

GENEVA, ILLINOIS 60134

PHONE: 630-232-7705 FAX: 630-232-7725

**E-MAIL: [DFLS@SBCGLOBAL.NET](mailto:DFLS@SBCGLOBAL.NET)**



COMMONLY KNOWN AS: 213 S. 3RD STREET, ST. CHARLES, ILLINOIS














































|  <p><b>CITY OF<br/>ST. CHARLES</b><br/>ILLINOIS • 1834</p>   | <b>HISTORIC PRESERVATION COMMISSION<br/>AGENDA ITEM EXECUTIVE SUMMARY</b> |  |                            |          |
|---|---|--|----------------------------|----------|
|   | <b>Agenda Item Title/Address:</b>   | COA: 216 Riverside Ave                 |                            |          |
|   | <b>Significance:</b>  | Contributing                           |                            |          |
|   | <b>Petitioner:</b>  | Curt Hurst                             |                            |          |
|   | <b>Project Type:</b>  | Exterior changes, windows and doors    |                            |          |
|   | <b>PUBLIC HEARING</b>   |  | <b>MEETING<br/>2/19/25</b> | <b>X</b> |
| <b>Agenda Item Category:</b>  |   |  |                            |          |
|   | Preliminary Review  |  | Grant                      |          |
| X   | Certificate of Appropriateness (COA)                                      |  | Other Commission Business  |          |
|   | Landmark/District Designation   |  | Commission Business        |          |
| <b>Attached Documents:</b>  |   | <b>Additional Requested Documents:</b> |                            |          |
| Plans, Photos, Survey   |   |  |                            |          |
| <b>Project Description:</b>   |   |  |                            |          |
| <p>The 216 Riverside building is proposed to be remodeled, with a number of changes to the exterior:</p> <ul style="list-style-type: none"> <li>• Removal of all exterior mansard awnings and wood boxed window structures</li> <li>• Replacement of windows and doors with an aluminum window and door system throughout</li> <li>• Replace entry stairwell and landing at the Riverside Ave. entrance</li> <li>• Adding a new window storefront in a previously brick-enclosed overhead door opening on the west elevation</li> <li>• Adding new stairs with railings to access the north elevation from Riverside</li> <li>• Add combination entry door and bifold door units on the north elevation in place of two existing window openings</li> <li>• Adding a narrow overheard door and entry door in an existing opening on the east elevation.</li> <li>• Switching a door on the east elevation to another opening location.</li> </ul> <p>The COA application also proposes to remove the chimney stack.</p> |   |  |                            |          |
| <b>Staff Comments:</b>  |   |  |                            |          |
|   |   |  |                            |          |
| <b>Recommendation / Suggested Action:</b>   |   |  |                            |          |
| <ul style="list-style-type: none"> <li>• Provide feedback and recommendation on approval of the COA</li> </ul>  |   |  |                            |          |

# APPLICATION FOR COA REVIEW

## HISTORIC PRESERVATION "CERTIFICATE OF APPROPRIATENESS"



COMMUNITY DEVELOPMENT DEPARTMENT / CITY OF ST. CHARLES

[CD@STCHARLESIL.GOV](mailto:CD@STCHARLESIL.GOV) / (630) 377-4443

To be filled out by City Staff

Permit #: \_\_\_\_\_ -- \_\_\_\_\_ Date Submitted: 2 / 17 / 2025 COA # \_\_\_\_\_ -- \_\_\_\_\_ Admin. Approval: \_\_\_\_\_

### APPLICATION INFORMATION

Address of Property: 216 Riverside Ave

Use of Property: ☒ Commercial, business name: STC 216 LLC

☐ Residential ☐ Other: \_\_\_\_\_

### Project Type:

☐ Exterior Alteration/Repair

☒ Windows

☒ Doors

☐ Siding - Type: \_\_\_\_\_

☒ Masonry Repair

☒ Other chimney removal

☐ Awnings/Signs

☐ New Construction

☐ Primary Structure

☐ Additions

☐ Deck/Porch

☐ Garage/Outbuilding

☐ Other \_\_\_\_\_

☐ Demolition

☐ Primary Structure

☐ Garage/Outbuilding

☐ Other \_\_\_\_\_

☐ Relocation of Building

### Description:

Remove all exterior (failing/rotted) wood window trim and windows and replace with new aluminum storefront windows per plans. Remove failing chimney. Both windows and chimney were noted in city violation notice for replace or repair.

### Applicant Information:

Name (print): STC 216 LLC

Address: 216 Riverside Ave

Phone: (630) 330-7215

Email: curt@frontierdevelopmentgroup.com

Applicant is (check all that apply):

☒ Property Owner

☐ Business Tenant

☐ Project contractor

☐ Architect/Designer

### Property Owner Information (if not the Applicant)

Name (print): SAA

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

### APPLICANT/AUTHORIZED AGENT SIGNATURE

I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA General Conditions.

Signature:  Date: 02/14/2025

CITY OF ST. CHARLES  
BUILDING AND CODE ENFORCEMENT  
2 EAST MAIN STREET  
ST. CHARLES, IL 60174  
PHONE: 630-377-4406

- 2021 INTERNATIONAL BUILDING CODE IV AMENDMENTS
- 2020 NATIONAL ELECTRICAL CODE, NFPA 70 IV AMENDMENTS
- 2021 INTERNATIONAL FIRE CODE IV
- 2021 INTERNATIONAL FUEL GAS CODE IV AMENDMENTS
- 2021 INTERNATIONAL MECHANICAL CODE IV AMENDMENTS
- 2014 ILLINOIS STATE PLUMBING CODE IV AMENDMENTS
- 2018 ILLINOIS ACCESSIBILITY CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2021 NFPA 101 LIFE SAFETY CODE
- 2021 INTERNATIONAL EXISTING BUILDING CODE

REMODEL OF EXISTING SINGLE STORY BUILDING FOR OFFICE AND  
RETAIL USE

CONSTRUCTION TYPE CLASSIFICATION:  
TYPE VB - NOT SPRINKLED

(TYPE VB CONSTRUCTION - (TABLE 601))

- |    |   |       |
|----|---|-------|
| 1. | EXTERIOR BEARING WALLS .....                              | 0 HRS |
| 2. | INTERIOR BEARING WALLS, COLUMNS<br>GIRDERS, FRAMING ..... | 0 HRS |
| 3. | FLOOR CONSTRUCTION .....                                  | 0 HRS |
| 4. | ROOF CONSTRUCTION .....                                   | 0 HRS |

## OCCUPANCY CLASSIFICATION: (PER SECTION 302)

GROUP B: OFFICE 3,180 SF  
GROUP M: RETAIL 2,031 SF  
NO SEPARATION REQUIRED PER TABLE 508.4

GROUP B: BUSINESS 1/150 GROSS (3,180/150=21)  
OCCUPANT LOAD ALLOWED: 21  
ACTUAL OCCUPANT LOAD: 12

GROUP 1: MERCHANDISE 1/60 GROSS (2,051/60=34)  
OCCUPANT LOAD ALLOWED: 34  
ACTUAL OCCUPANT LOAD: 3

TOTAL ACTUAL OCCUPANT LOAD: 15

|                   |                                    |
|-------------------|------------------------------------|
| GROUP B: BUSINESS | 200 FEET ALLOWED<br>61 FEET ACTUAL |
| GROUP M:          | 200 FEET ALLOWED<br>74 FEET ACTUAL |

EGRESS UNITS REQUIRED: 2  
EGRESS UNITS PROVIDED: 5

LOCKS AND LATCHES (IBC SECTION 10) ALL MEANS OF EGRESS DOORS SHALL BE READILY OPERABLE FROM THE SIDE WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

|                                    |                 |
|------------------------------------|-----------------|
| MAXIMUM BUILDING HEIGHT PERMITTED: | 1 STORY/40 FEET |
| ACTUAL BUILDING HEIGHT:            | 1 STORY/30 FEET |
| MAXIMUM AREA PERMITTED:            | 9,000 SF        |
| ACTUAL BUILDING AREA:              | 5,758 SF        |

OFFICE  
OFFICE BUILDING OCCUPANT LOAD ALLOWED: 200 SF PER  
PERSON:  $3,180/200 = 16$  (8M/8F)  
ACTUAL OCCUPANT LOAD: 12

**FIXTURES REQUIRED:**  
**WATER CLOSET** - 1 MALE/1 FEMALE (2 PROVIDED)  
**LAVATORIES** - 1 MALE/1 FEMALE (2 PROVIDED)  
**SERVICE SINK** - 1 PER FLOOR (1 PROVIDED)

MERCANTILE UNIT  
MERCANTILE UNIT OCCUPANT LOAD ALLOWED: 100 SF PER  
PERSON:  $2,031/100 = 20$  [10M/10F]  
ACTUAL OCCUPANT LOAD: 3

FIXTURES REQUIRED:  
WATER CLOSET - 1 MALE/1 FEMALE (1 PROVIDED)  
LAVATORIES - 1 MALE/1 FEMALE (1 PROVIDED)

216. S. RIVERSIDE AVENUE  
ST. CHARLES, IL 60174

## OWNER:

CURT HURST  
FRONTIER DEVELOPMENT, LLC  
PHONE:  
curt@frontierdevelopmentgroup.com

BATIR ARCHITECTURE  
1121 E. MAIN STREET  
SUITE #220  
ST. CHARLES, IL 60174



## SCALE-NTS

[illegible]

**NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING COMPLETE SETS OF THESE PLANS AND PROJECT SPECIFICATIONS TO ALL SUB CONTRACTORS INVOLVED IN THIS PROJECT. A COMPLETE COPY OF THESE PLANS AND PROJECT SPECIFICATIONS SHALL BE IN THE POSSESSION OF THE CONTRACTOR AND ALL SUB CONTRACTORS ON THE PROJECT AT ALL TIMES.



PAULA A. PRICE, BATIR ARCHITECTURE, LTD.  
ILLINOIS REGISTERED ARCHITECT NO. 001-018648 EXP. DATE: 11-30-2026  
ILLINOIS DEPARTMENT OF PROFESSIONAL REGULATION FIRM NUMBER: 184-004125

|                   |
|-------------------|
| PROJECT:<br>24042 |
|-------------------|

216 RIVERSIDE  
REMODELREMODELLE  
116, 5 BIVERSCIDE AVENUE SAINT-CHAMAS 26174

WATIR ARCHITECTURE, LTD.  
14 ST. SUITE 220, ST. CHARLES  
MO. 630-513-5100 FAX: 630-513-5101

BATR ARCHITECTURE, LTD.  
121 E. MAIN ST., SUITE 220, ST. CHARLES, IL 60174  
PHONE: 630-513-5109 FAX: 630-513-5909

COVER SHEET

ISSUED:

|                               |
|-------------------------------|
| 08-30-24<br>ISSUED FOR REVIEW |
| 11-11-24 ISSUE FOR<br>REVIEW  |
| 12-27-24 ISSUE FOR<br>PERMIT  |

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BATIR ARCHITECTURE, LTD.

SCALE  
1/4" = 1'-0"  
UNLESS NOTED OTHERWISE

A001

PROJEC  
24042

SCALE  
1/4" = 1'-0"

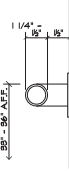
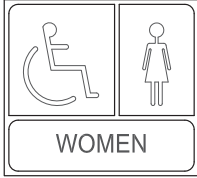
A002



# CODE COMPLIANCE SHEET

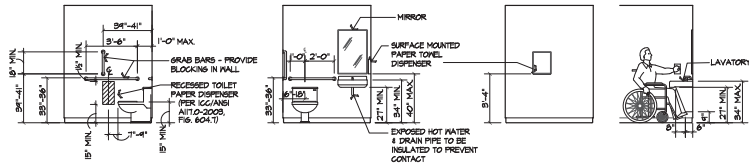
## SIGNAGE

THE BATH ROOM SHALL BE IDENTIFIED WITH AN INTERNATIONAL SYMBOL OF COMPLIANCE AND A TACTILE SIGN WITH 18 IN COMPLIANCE WITH ADA SECTION 430 AND WHICH HAS A MINIMUM LETTER HEIGHT OF 3/8" AND A MAXIMUM HEIGHT OF 2". THE SYMBOLS OF COMPLIANCE SHALL BE PLACED NOT LESS THAN 60" AND NO MORE THAN 66" ABOVE THE FLOOR. TACTILE SIGNS SHALL BE MOUNTED 60" TO THE CENTERLINE ABOVE THE FLOOR ADJACENT TO THE LATCH SIDE OF THE DOOR.



## GRAB BAR & HANDRAIL SIZE AND SPACING

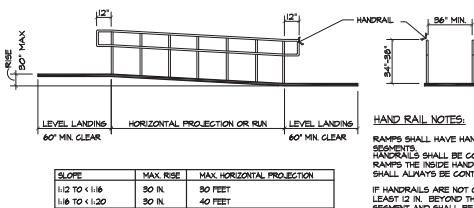
SCALE: 3/4"=1'-0"



NOTE:  
ALL CONTROLS AND OPERATING MECHANISMS FOR THE ACCESSIBLE BATHROOM DEVICES SHALL BE OPERABLE WITH ONE (1) HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS FORCE (5 LBF).

## TOILET ROOM TYPICAL ADA REQUIREMENTS

SCALE: 1/4"=1'-0"



### HAND RAIL NOTES:

RAMPS SHALL HAVE HANDRAILS AT BOTH SIDES OF ALL RAMP SEGMENTS.  
HANDRAILS SHALL BE CONTINUOUS ALONG BOTH SIDES OF RAMPS THE INSIDE HANDRAIL ON SWITTBACK OR DOGLEG RAMPS SHALL ALWAYS BE CONTINUOUS.  
IF HANDRAILS ARE NOT CONTINUOUS, THEY SHALL EXTEND AT LEAST 12 IN. BEYOND THE TOP AND BOTTOM OF THE RAMP SEGMENT AND SHALL BE PARALLEL WITH THE FLOOR OR GROUND.  
HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.  
THE CLEAR SPACE BETWEEN HANDRAILS AND WALL SHALL BE 1 1/2" (SEE DETAIL THIS SHEET).  
GRIPPING SURFACES SHALL BE CONTINUOUS.  
TOP OF HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34" - 38" ABOVE RAMP SURFACES.  
ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST.

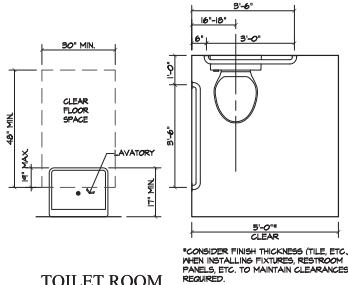
## RAMP STANDARDS

SCALE: 1/4"=1'-0"

## TYPICAL ADA REQUIREMENTS

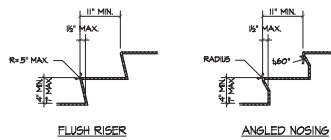
BATH ROOMS REQUIRED TO BE ACCESSIBLE SHALL CONFORM TO ALL ACCESSIBILITY REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT WHICH INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:

- WATER CLOSET SEAT HEIGHT 17" TO 19" A.F.F.
- CENTERLINE OF WATER CLOSET 16"-18" FROM SIDE WALL.
- GRAB BAR BEHIND WATER CLOSET - 24" MIN, 56" LONG MAX, MOUNTED 33" - 36" A.F.F.
- GRAB BARS AT SIDE OF WATER CLOSET - 42" LONG MOUNTED 33" - 36" A.F.F. (TO TOP OF BAR)
- GRAB BAR DIAMETER 1 1/4" TO 1 1/2" DIAMETER
- SPACE BETWEEN WALL AND GRAB BAR - 1 1/2" TOILET PAPER DISPENSER - 36" MAX FROM REAR WALL, MOUNTED 41" A.F.F.
- KNEE CLEARANCE AT LAVATORY - AFFRON 24" MIN HEIGHT, 8" MIN DEPTH
- LAVATORY DEPTH - 17" MINIMUM
- LAVATORY HOT WATER AND DRAIN PIPES TO BE INSULATED WHERE EXPOSED
- LAVATORY RINSE WATER 2'-0" A.F.F. MAX
- MIRROR BOTTOM EDGE 40" A.F.F.
- 2 BRAILLE: PICTORIAL SYMBOLS ARE AT LEAST 8" HIGH AND INCLUDE VERBAL DESCRIPTION. ROOM IDENTIFICATION SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE ROOM DOOR AT A HEIGHT OF 60". PROVIDE CLEAR FLOOR SPACE AT SIGN. INTERNATIONAL SYMBOL OF ACCESSIBILITY TO BE INSTALLED ON EXTERIOR OF THE BATH ROOM DOOR IDENTIFICATION SIGNS ARE RAISED SANS SERIF OR SIMPLE SERIF AND ALSO HAVE GRADE.
- TACTILE EXT. SIGN MOUNTING HEIGHTS: TACTILE CHARACTERS SHALL BE 48" MINIMUM A.F.F. MEASURED TO THE BASE LINE OF THE LOWEST TACTILE CHARACTER AND 60" MAX. A.F.F. MEASURED TO THE BASELINE OF THE HIGHEST TACTILE CHARACTER (ICC/ANSI A117-2.0005 1008.10).
- WHERE A TACTILE SIGN IS PROVIDED AT THE DOOR, THE SIGN SHALL BE ALONGSIDE THE DOOR AT THE LATCH SIDE. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAVES, THE SIGN SHALL BE TO THE RIGHT OF THE RIGHT HAND DOOR, WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF A SINGLE DOOR, OR TO THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18" MIN. X 18" MIN. CENTERED ON THE TACTILE CHARACTERS IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREES OPEN POSITION. SIGNS WITH TACTILE CHARACTERS ARE PERMITTED ON THE PUSH SIDE OF DOORS WITH CLOSERS AND WITHOUT HOLD-OPEN DEVICES.



## TOILET ROOM TYPICAL ADA REQUIREMENTS

SCALE: 1/2"=1'-0"



### GENERAL STAIR NOTE:

ON ANY GIVEN FLIGHT OF STAIRS, ALL STEPS SHALL HAVE UNIFORM RISER HEIGHTS AND UNIFORM TREAD WIDTHS.

### HAND RAIL NOTES:

STAIRWAYS SHALL HAVE HANDRAILS AT BOTH SIDES OF ALL STAIRS.  
HANDRAILS SHALL BE CONTINUOUS ALONG BOTH SIDES OF STAIRS. THE INSIDE HANDRAIL ON SWITTBACK OR DOGLEG STAIRS SHALL ALWAYS BE CONTINUOUS.

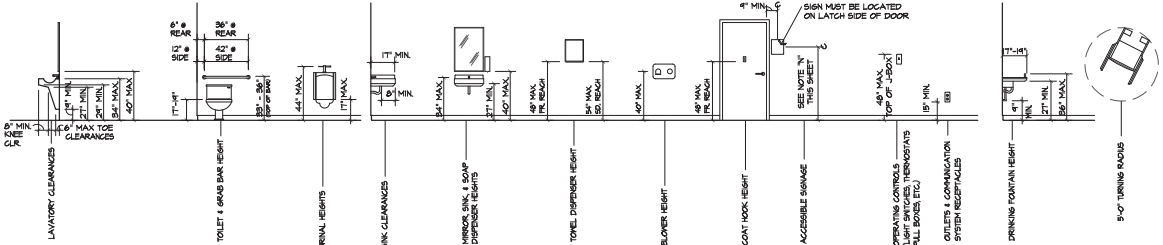
IF HANDRAILS ARE NOT CONTINUOUS, THEY SHALL EXTEND AT LEAST 12 IN. BEYOND THE TOP RISER AND AT LEAST 12 IN. PLUS THE WIDTH OF ONE TREAD BEYOND THE BOTTOM RISER. AT THE TOP THE EXTENSIONS SHALL BE PARALLEL WITH THE FLOOR OR GRADING SURFACE. AT THE BOTTOM, THE HANDRAIL SHALL CONTINUE TO SLOPE FOR A DISTANCE OF THE WIDTH OF ONE TREAD FROM THE BOTTOM RISER, THE REMAINDER OF THE EXTENSION SHALL BE HORIZONTAL.  
THE CLEAR SPACE BETWEEN HANDRAILS AND WALL SHALL BE 1 1/2" (SEE DETAIL THIS SHEET).

GRIPPING SURFACES SHALL BE UNINTERRUPTED BY NEEVEL POSTS, OTHER CONSTRUCTION ELEMENTS OR OBSTRUCTIONS.

TOP OF HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34" - 38" ABOVE STAIR NOSING.  
ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST.

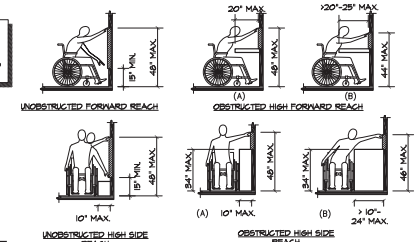
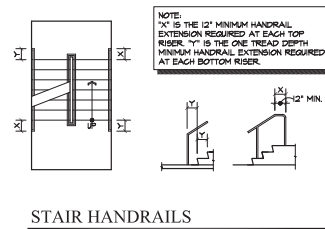
## STAIR DETAILS

SCALE: 3/4"=1'-0"



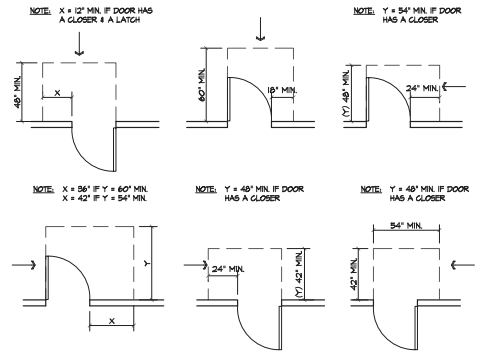
## STAIR HANDRAILS

SCALE: 3/8"=1'-0"



## REACH RANGE REQUIREMENTS

SCALE: 1/4"=1'-0"



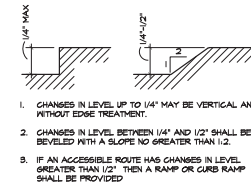
DOOR HARDWARE SHALL BE CAPABLE OF OPERATION WITH THE USE OF ONE (1) HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT GRASPING OR TWISTING OF THE WRIST TO OPERATE. THUMB TURN DEADBOLTS ARE PROHIBITED LEVER OR PADDLE DEADBOLT RELEASES ARE ACCEPTABLE. DOOR THRESHOLD SHALL NOT EXCEED ONE-HALF (1/2) IN. HEIGHT. THRESHOLDS EXCEEDING ONE-QUARTER (1/4) IN. HEIGHT SHALL HAVE A 1/2 BEVEL. DOOR CLOSERS SHALL MEET OPENING FORCE AND SWEEP PERIOD REQUIREMENTS.

## MANEUVERING CLEARANCE AT DOORS

SCALE: 1/4"=1'-0"

## CHANGES IN LEVEL (THRESHOLD) ADA REQUIREMENTS

SCALE: NONE



## ADA INSTALLATION REQUIREMENTS

SCALE: 1/4"=1'-0"



DRINKING FOUNTAIN NOTES:  
ALL DRINKING FOUNTAINS SPOUT HEIGHTS TO STANDARD FOR ONE DRINKING FOUNTAIN SPOUT AT A MAXIMUM OF 36" AND ONE SPOUT AT STANDARD HEIGHT, IF ONLY ONE D.F. ON FLOOR PROVIDE 4'-0" UNIT

PROJECT:  
24042



216 RIVERSIDE  
REMODEL

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ADA COMPLIANCE

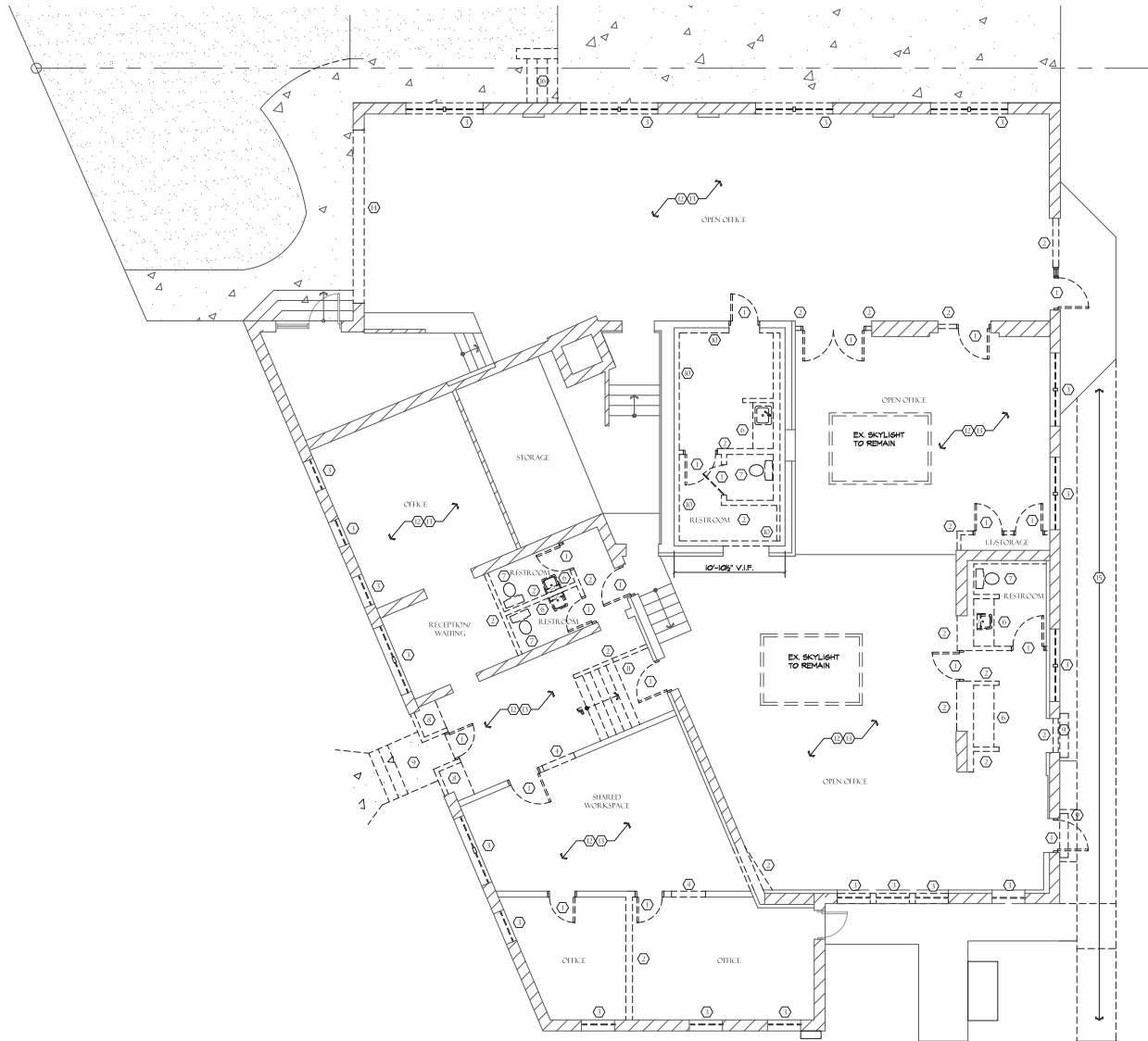
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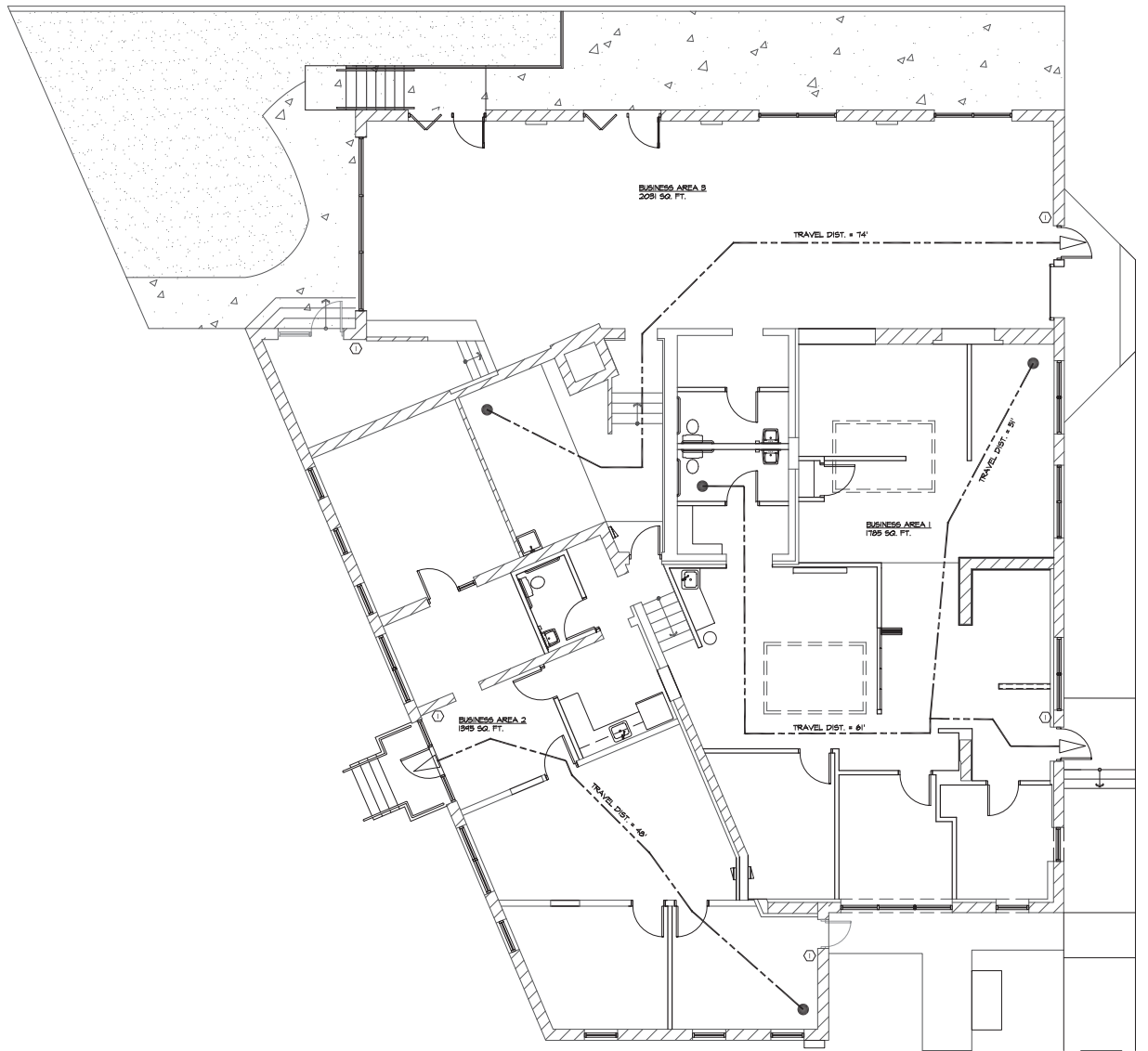
A003



# DEMOLITION PLAN

SCALE: 3/16" = 1'-0"

|  |   |
|--|---|
| <b>DEMOLITION LEGEND</b><br>——— EXISTING TO REMAIN<br>- - - - - EXISTING TO BE REMOVED   | <b>PROJECT:</b><br>24042<br>   |
| <b>DEMOLITION PLAN KEY NOTES</b><br>① REMOVE/DISCARD EXISTING DOOR, FRAME & HARDWARE.<br>② REMOVE EXISTING WALL AND ASSOCIATED ELECTRICAL.<br>③ REMOVE EXISTING WINDOW & AWNING WHERE APPLICABLE.<br>④ CUT OPENING IN EXISTING WALL FOR NEW DOOR.<br>⑤ CUT OPENING IN EXISTING WALL FOR NEW WINDOW.<br>⑥ REMOVE/DISCARD EXISTING MILLWORK AND SINK.<br>⑦ REMOVE/DISCARD EXISTING TOILET.<br>⑧ REMOVE EXISTING STOREFRONT.<br>⑨ REMOVE EXISTING CONCRETE STOOP AND/OR STAIRS HANDRAILS.<br>⑩ REMOVE EXISTING INSULATION TO FACE OF EXISTING CMU BLOCK WALL.<br>⑪ REMOVE EXISTING WOOD STAIRS.<br>⑫ ALL EXISTING CEILING GRID/STILES/LIGHTS INCLUDING HEADERS/SOFFITS TO BE REMOVED THROUGHOUT EXCEPT AT ROOMS NOTED FOR "NO WORK".<br>⑬ ALL EXISTING FLOORING FINISHES TO BE REMOVED THROUGHOUT AND PREPARED FOR NEW FLOOR FINISH EXCEPT AT ROOMS NOTED FOR "NO WORK".<br>⑭ REMOVE EXISTING MASONRY INFILL AT FORMER OVERHEAD DOOR OPENING (200' X 10' V.I.F.). EXISTING LINTEL TO REMAIN.<br>⑮ REMOVE EXISTING CONCRETE SIDEWALK.<br>⑯ REMOVE EXISTING CONCRETE WALL & STAIRS. | <b>216 RIVERSIDE REMODEL</b><br>216 S. RIVERSIDE AVENUE SAINT CHARLES, IL 60174<br><br>BÂTIR ARCHITECTURE LTD.<br>1121 E. MAIN ST. SUITE 220 ST. CHARLES, IL 60174<br>PHONE: 630-555-5595<br>WWW.BATIRARCH.COM |
|  | <b>DEMOLITION PLAN</b>  |
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|  | <b>D201</b>   |



**EGRESS PLAN**  
SCALE: 3/16" = 1'-0"

**PLAN KEY NOTES:**

- ① PROVIDE WALL MOUNTED FIRE EXTINGUISHER 5A:12B:C WITH HALL BRACKET. VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES.

PROJECT:  
24042



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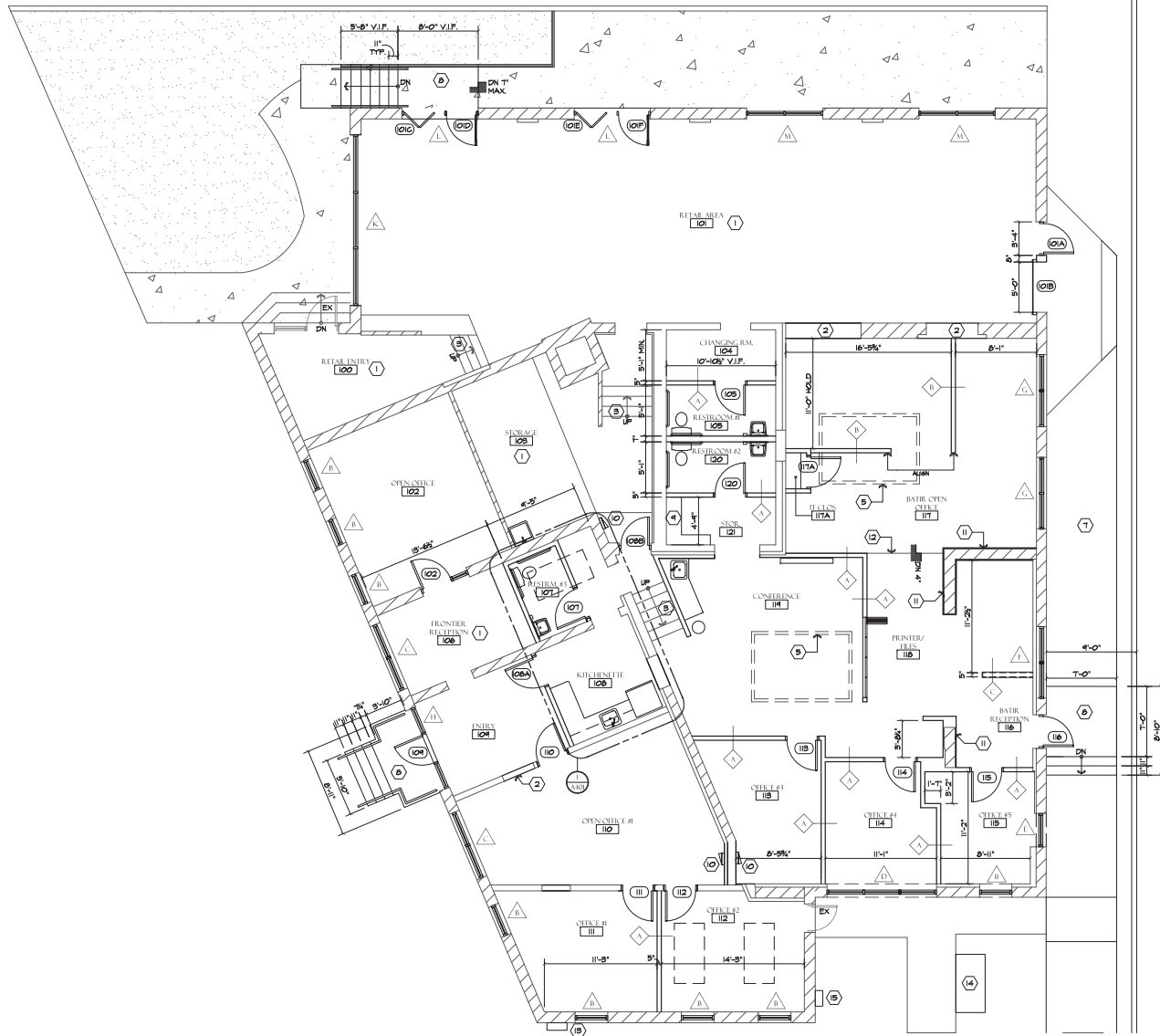
EGRESS PLAN

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**SCALE**  
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**A100**



**FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

| FLOOR PLAN LEGEND: |                           |
|--------------------|---------------------------|
|                    | EXISTING TO REMAIN        |
|                    | NEW PARTITION             |
|                    | WALL TYPE. SEE SHEET A501 |
|                    | KEY NOTE                  |
|                    | DOOR NUMBER               |
|                    | ROOM NUMBER               |
|                    | WINDOW TAG                |

| PLAN NOTES: |   |
|-------------|---|
|             | REPAIR EXISTING DRYWALL ONLY THIS ROOM  |
|             | INFILL WALL OPENINGS WITH METAL STUDS AND 5/8" DRYWALL                                  |
|             | EXISTING STAIRS TO REMAIN   |
|             | SHADED AREA INDICATES AREA TO BUILD FLOOR UP 4"   |
|             | EXISTING SKYLIGHT TO REMAIN   |
|             | NOT USED  |
|             | CONNECT LANDING OUTSIDE NEW DOOR TO EXISTING ACCESSIBLE SIDEWALK. SLOPE TO BE 1:12 MAX. |
|             | NEW CONCRETE STEPS AND LANDINGS. SEE CIVIL DRAWINGS FOR ADDITIONAL INFO                 |
|             | STORAGE SHELVING  |
|             | 200A ELECTRICAL PANEL - DESIGN BUILD BY GENERAL CONTRACTOR                              |
|             | FURR OUT EXISTING BRICK WITH 1/2" FURRING STRIPS AND 5/8" DRYWALL                       |
|             | EXISTING 4" STEP TO REMAIN  |
|             | 6AS METER - SEE CIVIL DRAWINGS  |
|             | ELECTRICAL TRANSFORMER - SEE CIVIL DRAWINGS   |
|             | ELECTRICAL METER - SEE CIVIL DRAWINGS   |

PROJECT:  
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


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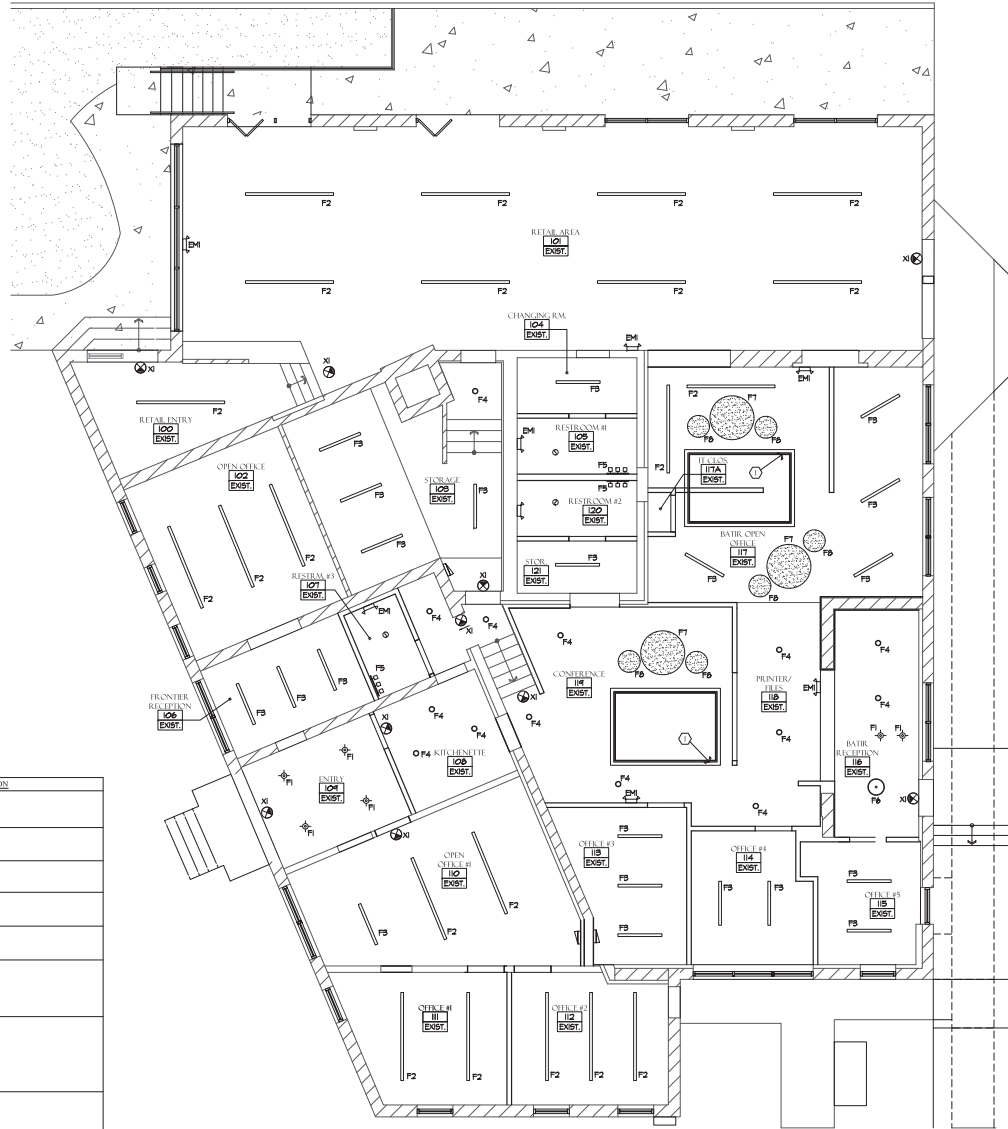
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A201



CEILING FIXTURE SCHEDULE

| SYMBOL  | DESCRIPTION   | SPECIFICATION |
|---|---|---------------|
|    | LED DIMMABLE PENDANT  |               |
|    | 8' LONG LED SUSPENDED LINEAR  |               |
|    | 4' LONG LED SUSPENDED LINEAR  |               |
|  | 6" LED RECESSED CAN HIDE FLOOD  |               |
|    | WALL MOUNTED LED BATH LIGHT   |               |
|    | LARGE LED PENDANT LIGHT   |               |
|    | 4' DIA. SUSPENDED ACOUSTICAL CLOUD  |               |
|    | 2' DIA. SUSPENDED ACOUSTICAL CLOUD  |               |
|    | EXIT SIGN UNIVERSAL MOUNT, SHADED AREA INDICATES PAGE, ARROWS AS REQUIRED |               |
|    | EMERGENCY LIGHTING FIXTURE WITH BATTERY BACKUP                            |               |



REFLECTED CEILING PLAN  
SCALE: 3/16"=1'-0"

CEILING PLAN GENERAL NOTES

1. VERIFY HEIGHT A/F/F FOR ALL HANGING LIGHT FIXTURES WITH TENANTS.
2. EXISTING HARD LID CEILINGS TO REMAIN, PATCH AND REPAIR AS REQUIRED.

CEILING PLAN NOTES

1. EXISTING SKYLIGHT TO REMAIN, INFILL WITH COVE LIGHTING AND CUSTOM ACRYLIC PANELS.

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24042



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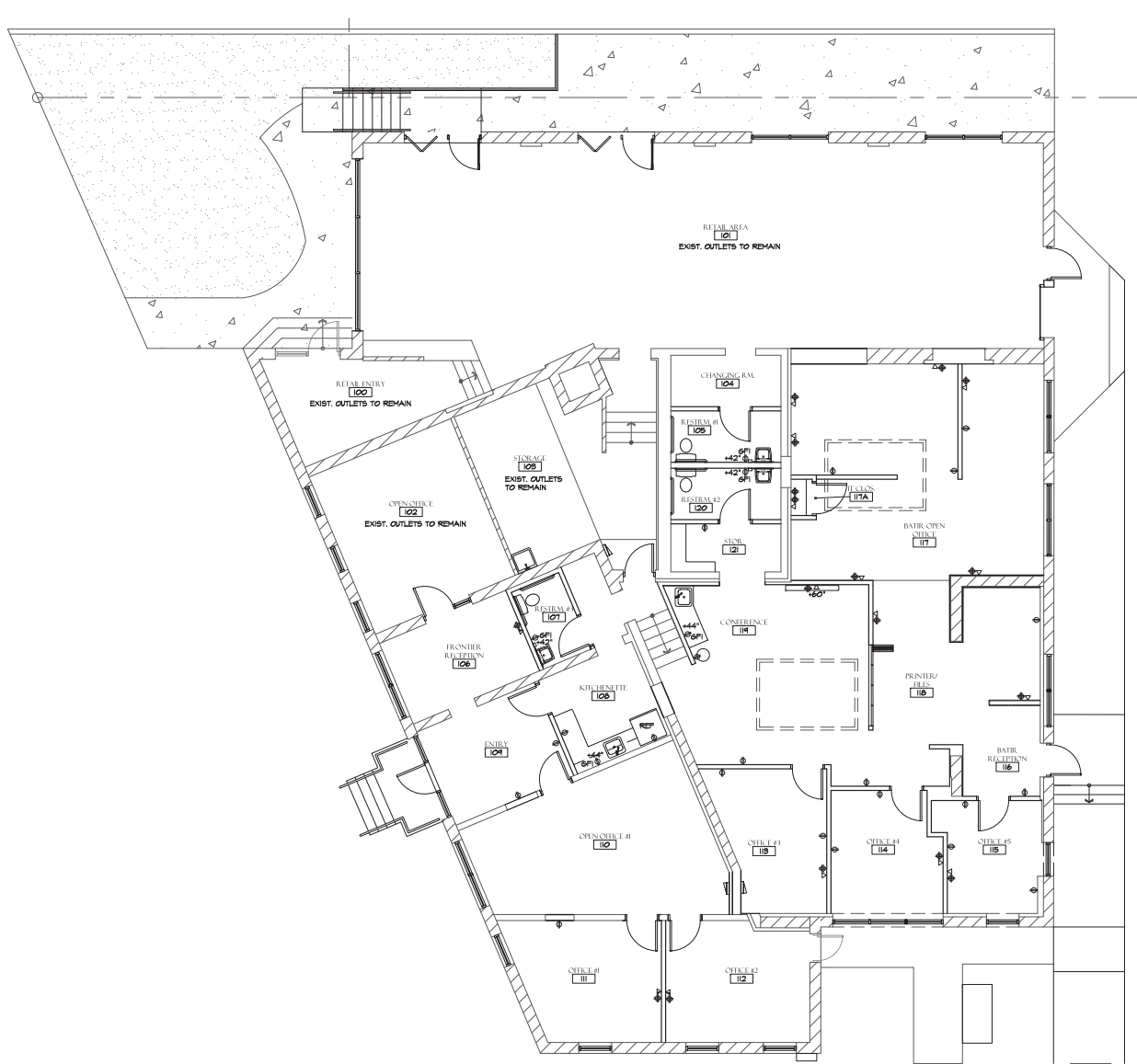
REFLECTED CEILING  
PLAN

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SCALE  
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A211



**POWER-DATA PLAN**  
SCALE: 3/16"=1'-0"

PROJECT:  
24042



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REMODEL**  
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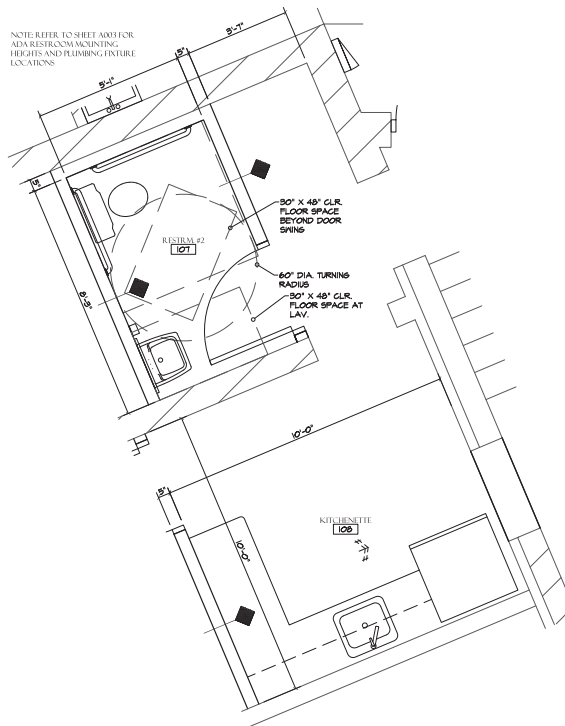
POWER-DATA PLAN

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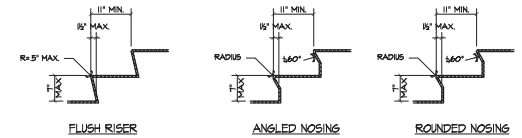
SCALE  
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A231



NOTE: REFER TO SHEET A401 FOR  
ADDITIONAL RESTROOMING,  
HEIGHTS AND PLUMBING, FIXTURE  
LOCATIONS

# 1 ENLARGED PLAN SCALE: 1/2" = 1'-0"



## GENERAL STAIR NOTE:

ON ANY GIVEN FLIGHT OF STAIRS, ALL STEPS  
SHALL HAVE UNIFORM RISER HEIGHTS AND  
UNIFORM TREAD DEPTHS.

## HAND RAIL NOTES:

STAIRWAYS SHALL HAVE HANDRAILS AT BOTH SIDES OF ALL  
STAIRS.  
HANDRAILS SHALL BE CONTINUOUS ALONG BOTH SIDES OF  
STAIRS. THE INSIDE HANDRAIL ON SWITCHBACK OR DOBLES  
STAIRS SHALL ALWAYS BE CONTINUOUS.

IF HANDRAILS ARE NOT CONTINUOUS, THEY SHALL EXTEND AT  
LEAST 12 IN. BEYOND THE TOP RISER AND AT LEAST 12 IN. PLUS  
THE WIDTH OF ONE TREAD BEYOND THE BOTTOM RISER. AT THE  
TOP, THE EXTENSIONS SHALL BE PARALLEL WITH THE FLOOR OR  
GROUND SURFACE. AT THE BOTTOM, THE HANDRAIL SHALL  
CONTINUE TO SLOPE FOR A DISTANCE OF THE WIDTH OF ONE  
TREAD FROM THE BOTTOM RISER; THE REMAINDER OF THE  
EXTENSION SHALL BE HORIZONTAL.  
THE CLEAR SPACE BETWEEN HANDRAILS AND WALL SHALL BE 1  
1/2" (SEE DETAIL THIS SHEET)

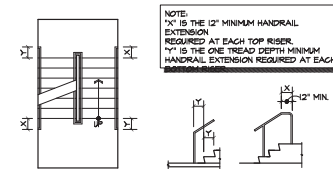
GRIPPING SURFACES SHALL BE UNINTERRUPTED BY LEVEL  
POSTS, OTHER CONSTRUCTION ELEMENTS OR OBSTRUCTIONS.

TOP OF HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED  
BETWEEN 34" - 38" ABOVE STAIR NOSINGS.

ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED  
SMOOTHLY TO FLOOR, WALL OR POST.

## STAIR DETAILS

SCALE: 3/4" = 1'-0"



## STAIR HANDRAILS

SCALE: 3/8" = 1'-0"

PROJECT:  
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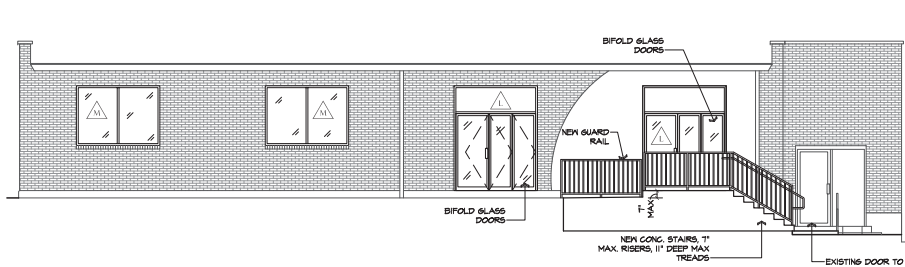
ENLARGED PLAN-DETAILS

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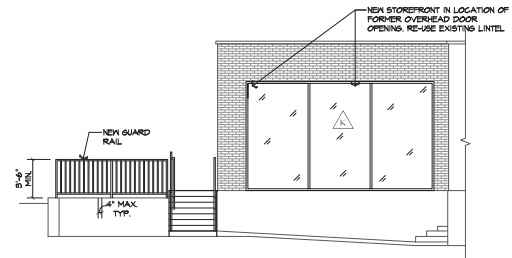
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SCALE  
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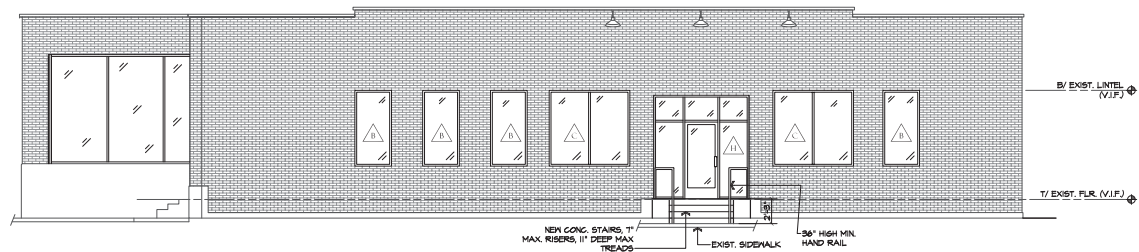
A401



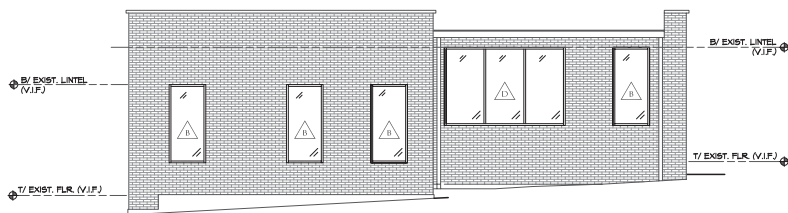
1 NORTH ELEVATION  
SCALE: 3/16"=1'-0"



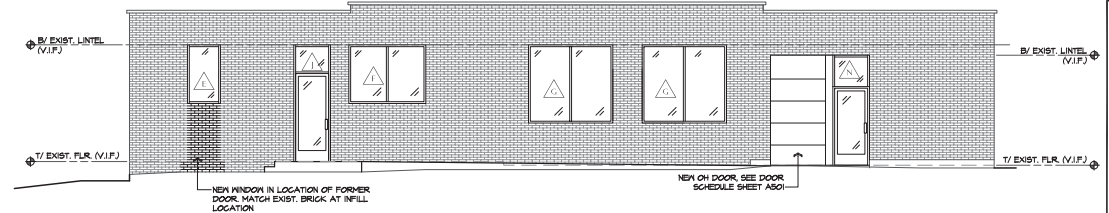
1A NORTHWEST ELEVATION  
SCALE: 3/16"=1'-0"



2 SOUTHWEST ELEVATION  
SCALE: 3/16"=1'-0"



3 SOUTH ELEVATION  
SCALE: 3/16"=1'-0"



4 EAST ELEVATION  
SCALE: 3/16"=1'-0"

- GENERAL NOTES
1. REFER TO WINDOW SCHEDULE ON SHEET A202 FOR WINDOW SIZES. UNLESS NOTED OTHERWISE, ALL WINDOWS WILL BE REPLACED IN EXISTING MASONRY OPENINGS. VERIFY EXISTING OPENINGS IN THE FIELD BEFORE ORDERING NEW WINDOWS.

PROJECT:  
24042



216 RIVERSIDE  
REMODEL  
216 S. RIVERSIDE AVENUE SAINT CHARLES, IL 60174

BÂTIR  
BATIR ARCHITECTURE LTD.  
1121 E. MAIN ST. SUITE 220 ST. CHARLES, IL 60174  
PH: 618-355-5549  
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EXTERIOR ELEVATIONS

ISSUED:  
08-30-24  
ISSUED FOR REVIEW  
11-11-24 ISSUE FOR REVIEW  
12-27-24 ISSUE FOR PERMIT

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SCALE  
1/4" = 1'-0"  
UNLESS NOTED OTHERWISE

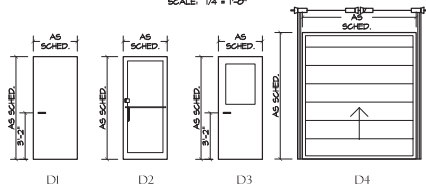
A301

# DOOR SCHEDULE, TYPES & HARDWARE

| DOOR SCHEDULE |                        |                |      |       |        |       |       |       |        |             |  |
|---------------|------------------------|----------------|------|-------|--------|-------|-------|-------|--------|-------------|--|
| DOOR #        | SIZE                   | LOC./A/CN      | DOOR |       |        |       | FRAME |       |        |             | NOTES  |
|               |                        |                | TYPE | MATL. | FINISH | LABEL | TYPE  | MATL. | FINISH | LABEL       |  |
|               |                        |                |      |       |        |       |       |       |        | HOWE. SET # |  |
| 101A          | 8'-0" X 1'-0"          | RETAIL AREA    | D2   | AL/SL | ANN    | --    | FI    | AL    | ANN    | --          | 5 SWING DOOR, NARROW STYLE 2 1/2" VERTICAL FACE DIMENSIONS       |
| 10B           | 8'-0" X 10'-0"         | RETAIL AREA    | D4   | STL   | --     | --    | --    | --    | --     | --          | NEW ON DOOR IN EXISTING OPENING - VERIFY HEIGHT & WIDTH IN FIELD |
| 101C          | 4'-8" X 1'-0"          | RETAIL AREA    | D5   | AL/SL | ANN    | --    | --    | AL    | ANN    | --          | AL/SL BI-FOLDING DOORS WITH INSULATED/TEMPERED GLASS             |
| 101D          | 8'-0" X 1'-0"          | RETAIL AREA    | D2   | AL/SL | ANN    | --    | FI    | AL    | ANN    | --          | 5 SWING DOOR, NARROW STYLE 2 1/2" VERTICAL FACE DIMENSIONS       |
| 101E          | 4'-8" X 1'-0"          | RETAIL AREA    | D5   | AL/SL | ANN    | --    | --    | AL    | ANN    | --          | AL/SL BI-FOLDING DOORS WITH INSULATED/TEMPERED GLASS             |
| 101F          | 8'-0" X 1'-0"          | RETAIL AREA    | D2   | AL/SL | ANN    | --    | FI    | AL    | ANN    | --          | 5  |
| 102           | 8'-0" X 7'-0" X 1-3/4" | OPEN OFFICE    | D1   | PD    | STN    | --    | F2    | HM    | PNT    | --          | 2  |
| 105           | 8'-0" X 7'-0" X 1-3/4" | RESTROOM #1    | D1   | PD    | STN    | --    | FI    | HM    | PNT    | --          | 4  |
| 101           | 8'-0" X 7'-0" X 1-3/4" | RESTROOM #3    | D1   | PD    | STN    | --    | FI    | HM    | PNT    | --          | 4  |
| 106A          | 8'-0" X 7'-0" X 1-3/4" | KITCHENETTE    | D3   | PD    | STN    | --    | FI    | HM    | PNT    | --          | 1  |
| 106B          | 8'-0" X 7'-0" X 1-3/4" | KITCHENETTE    | D1   | PD    | STN    | --    | FI    | HM    | PNT    | --          | 2  |
| 104           | 8'-0" X 7'-0" X 1-3/4" | ENTRY          | D2   | AL/SL | ANN    | --    | FI    | AL    | ANN    | --          | 5 SWING DOOR, NARROW STYLE 2 1/2" VERTICAL FACE DIMENSIONS       |
| 110           | 8'-0" X 7'-0" X 1-3/4" | OPEN OFFICE    | D3   | PD    | STN    | --    | FI    | HM    | PNT    | --          | 2  |
| 111           | 8'-0" X 7'-0" X 1-3/4" | OFFICE #1      | D1   | PD    | STN    | --    | FI    | HM    | PNT    | --          | 2  |
| 112           | 8'-0" X 7'-0" X 1-3/4" | OFFICE #2      | D1   | PD    | STN    | --    | FI    | HM    | PNT    | --          | 2  |
| 113           | 8'-0" X 7'-0" X 1-3/4" | OFFICE #3      | D1   | PD    | STN    | --    | FI    | HM    | PNT    | --          | 2  |
| 114           | 8'-0" X 7'-0" X 1-3/4" | OFFICE #4      | D1   | PD    | STN    | --    | FI    | HM    | PNT    | --          | 2  |
| 115           | 8'-0" X 7'-0" X 1-3/4" | OFFICE #5      | D1   | PD    | STN    | --    | FI    | HM    | PNT    | --          | 2  |
| 116           | 8'-0" X 8'-0" X 1-3/4" | BATH RECEPTION | D2   | AL/SL | ANN    | --    | FI    | AL    | ANN    | --          | 5  |
| 117A          | 8'-0" X 7'-0" X 1-3/4" | IT CLOSET      | D1   | PD    | STN    | --    | FI    | HM    | PNT    | --          | 1  |
| 120           | 8'-0" X 7'-0" X 1-3/4" | RESTROOM #2    | D1   | PD    | STN    | --    | FI    | HM    | PNT    | --          | 4 SWING DOOR, NARROW STYLE 2 1/2" VERTICAL FACE DIMENSIONS       |

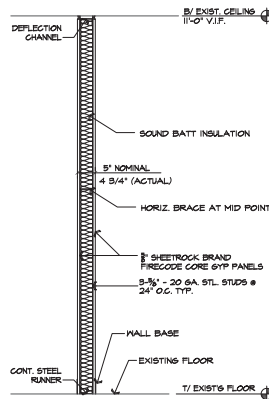
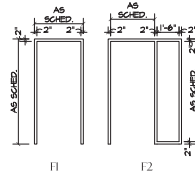
## DOOR TYPES

SCALE: 1/4" = 1'-0"

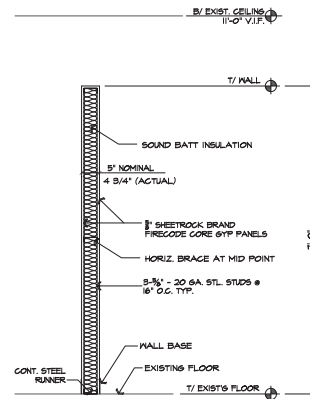


## FRAME TYPES

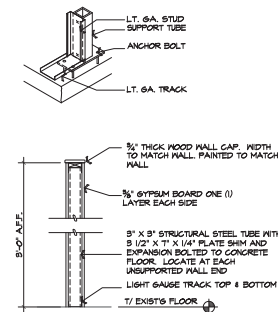
SCALE: 1/4" = 1'-0"



**A WALL TYPE A**  
SCALE: 3/4" = 1'-0"



**B WALL TYPE B**  
SCALE: 3/4" = 1'-0"



**C WALL TYPE C**  
SCALE: 3/4" = 1'-0"

## HARDWARE SETS

- SET 1. TYP. PASSAGE SET**
- 1 LATCH SET
  - 1 FRAME IV SILENCERS
  - 1 BUTT HINGE SET
  - 1 WALL MOUNTED DOOR STOP
- SET 2. TYP. ENTRANCE/OFFICE LOCKSET**
- 1 KEYED LATCH SET
  - 1 FRAME IV SILENCERS
  - 1 BUTT HINGE SET
  - 1 WALL MOUNTED DOOR STOP
- SET 3. TYP. ENTRANCE LOCKSET**
- 1 LATCH SET
  - 1 FRAME IV SILENCERS
  - 1 BUTT HINGE SET
  - 1 WALL MOUNTED DOOR STOP
- SET 4. TYP. PRIVACY WASHROOM LOCKSET**
- 1 PRIVACY LATCH SET
  - 1 FRAME IV SILENCERS
  - 1 BUTT HINGE SET
- SET 5. EXTERIOR ALUMINUM ENTRY/EGRESS DOOR**
- 1 PULL BAR
  - 1 PANIC EXIT DEVICE, PADDLE HANDLE
  - 1 FRAME IV SILENCERS
  - 1 EXPOSED OVERHEAD CLOSER
  - 1 THRESHOLD FOR FLOOR MATERIAL TRANSITION
  - 1 WEATHER-STRIPPING & SWEEP
- SET 6. HOLLOW METAL EXTERIOR DOOR**
- 1 SET BALL BEARING BUTT HINGES IV
  - 1 NON-RISING PIN
  - 1 SURFACE MOUNTED CLOSER
  - 1 FRAME IV SILENCERS
  - 1 WALL MOUNTED DOOR STOP
  - 1 THRESHOLD FOR FLOOR MATERIAL TRANSITION
  - 1 WEATHER-STRIPPING & SWEEP
  - 1 LATCH GUARD
  - 1 DRIP CAP

## HARDWARE ELEMENT DESCRIPTIONS

| HARDWARE               | DESCRIPTION  |
|------------------------|--|
| HINGES                 | MANUFACTURER: BOMMER<br>FINISH: 652<br>MODEL: 888000 4 3/8" X 4 3/8"<br>ACCEPTABLE MANUFACTURERS: BOMMER, HAGER, IVS   |
| CLOSERS WITH HOLD OPEN | MANUFACTURER: DORMA<br>FINISH: 654<br>MODEL: 888 PH REGULAR ARM OR PH PARALLEL ARM<br>ACCEPTABLE MANUFACTURERS: DORMA, LCA, NORTON                           |
| LEVER SETS             | MANUFACTURER: SCHLAGE COMMERCIAL GRADE 2 JUPITER PASSAGE DOOR<br>FINISH: US26D<br>VERIFY LEVER STYLE AND FINISH WITH TENANT BEFORE ORDERING                  |
| LOCK SET               | MANUFACTURER: SCHLAGE COMMERCIAL GRADE 2 JUPITER KEYED ENTRANCE/OFFICE DOOR<br>FINISH: US26D<br>VERIFY LEVER STYLE AND FINISH WITH TENANT BEFORE ORDERING    |
| LEVER SET - PRIVACY    | MANUFACTURER: SCHLAGE COMMERCIAL GRADE 2 JUPITER PRIVACY LEVER SET<br>FINISH: US26D<br>VERIFY LEVER STYLE AND FINISH WITH TENANT BEFORE ORDERING             |
| EXIT DEVICES           | TYPE: PUSH PADDLE<br>MANUFACTURER: GLOBAL DOOR CONTROLS (OR EQ.) - TH100-PUSH-DU   |
| WALL STOP              | MOUNTING: SURFACE<br>FINISH: 608<br>MANUFACTURER: HANATHA<br>MODEL: 401T X 118<br>ACCEPTABLE MANUFACTURERS: HANATHA, ROCKWOOD, TRINCO                        |
| PUSH PLATES            | MOUNTING: SURFACE<br>MANUFACTURER: HAGER 305 SG CORNER BEVELED PUSH PLATE<br>FINISH: US26D   |
| DOOR PULL              | MANUFACTURER: HAGER IE<br>FINISH: US26D  |
| THRESHOLDS             | MOUNTING: SURFACE<br>FINISH: 628<br>MANUFACTURER: PEKKO<br>MODEL: 171A X 5" WIDE X 3 1/2" HIGH X 55MS/ES<br>ACCEPTABLE MANUFACTURERS: PEKKO, KN CROWDER, N6P |
| KICK PLATES            | MOUNTING: SURFACE<br>FINISH: USED<br>MANUFACTURER: HAGER<br>MODEL: H445 - 10" HIGH   |
| HEADJAMB SEALS         | MOUNTING: SURFACE<br>COLOR: BLACK<br>MANUFACTURER: PEKKO<br>MODEL: 588S ACQUISTICAL<br>ACCEPTABLE MANUFACTURERS: PEKKO, KN CROWDER, N6P                      |
| DOOR SILENCERS         | MOUNTING: SURFACE<br>COLOR: GREY<br>MANUFACTURER: HANATHA<br>MODEL: 601 (FOR HOLLOW METAL FRAME)   |
| LEAD LINED ROTON HINGE | MANUFACTURER: HAGER<br>MODEL: 780 SERIES CONCEALED LEAF 780-112LL<br>85" LENGTH  |

## DOOR AND FRAME ABBREVIATION KEY

- PD = PWOOD DOOR (BURCH)  
STN = STAIN (COLOR TBD)  
GL = GLASS  
PNT = PAINT (SEE FINISH PLAN SHEET A221)  
HM = HOLLOW METAL  
AL/SL = ALUMINUM/SLASS  
ANN = ANODIZED ALUMINUM

## DOOR GENERAL NOTES

- DOOR HARDWARE SHALL BE CAPABLE OF OPERATION WITH THE USE OF ONE (1) HAND AND SHALL NOT REQUIRE TIGHT PINCHING, TIGHT GRASPING OR TWISTING OF THE FIRST TO OPERATE. THUMB TURN DEADBOLTS ARE PROHIBITED. LEVER OR PADDLE DEADBOLT RELEASES ARE ACCEPTABLE. DOOR THRESHOLD SHALL NOT EXCEED ONE-HALF (1/2") IN HEIGHT. THRESHOLDS EXCEEDING ONE-QUARTER (1/4") IN HEIGHT SHALL HAVE A 1/2 BEVEL. DOOR CLOSERS SHALL MEET OPENING FORCE AND SLEEP PERIOD REQUIREMENTS. INTERIOR HINGED DOORS SHALL HAVE A 5 LB FORCE FOR PUSHING OR PULLING OPEN.

## DOOR AND FRAME NOTES

- PROVIDE ALL HM DOORS WITH (1) COAT PRIMER & (2) COATS PAINT.
- ALL DOORS AND FRAMES TO BE REINF. & PREPARED FOR HARDWARE.
- ALL EXTERIOR DOORS SHALL BE PROVIDED WITH WEATHER STRIPPING.
- ALL DOOR THRESHOLDS SHALL NOT EXCEED 3/4" IN HEIGHT.
- ALL DOORS SHALL MEET A.D.A. REQUIREMENTS.
- ALL HM DOORS SHALL BE 16 GA. (MIN).
- ALL HELPED FRAMES SHALL BE 16 GA. (MIN).
- ALL SIGNAGE TO BE MOUNTED AT A.D.A. HEIGHT.
- PROVIDE GASKETING AT ALL DOOR FRAMES, WINDOWS AND WHERE NOTED ON PLANS.
- PROVIDE LEVER TYPE HANDLES ON ALL DOORS.
- HARDWARE SCHEDULE TO BE SUPPLIED BY HARDWARE SUPPLIER FOR A/E REVIEW.
- VERIFY ALL HARDWARE, KEYING, FINISHES WITH OWNER BEFORE ORDERING.
- HM DOOR & FRAME MANUFACTURER TO BE GURRIES, STEEL GRANT, OR EQUAL.
- EXTERIOR HM DOORS AND FRAMES TO BE INSULATED.
- PROVIDE DOOR JAMB SILENCERS TYPICAL ALL METAL DOOR FRAMES.
- VERIFY DOOR UNDERCUT & GRILLE REQUIREMENTS WITH H.V.A.C. REQUIREMENTS BEFORE ORDERING.
- DOOR CLOSERS SHALL MEET OPENING FORCE AND SLEEP PERIOD REQUIREMENTS.
- ALL MEANS OF EGRESS DOORS TO BE KEYLESS IN THE DIRECTION OF EGRESS AND OPERATE WITHOUT THE USE OF ANY SPECIAL KNOWLEDGE OR TOOLS.

PROJECT:  
24042



216 RIVERSIDE  
REMODEL

216 S. RIVERSIDE AVENUE, SAINT CHARLES, IL 60174

**BATIR**  
BATIR ARCHITECTURE LTD.  
1121 E. MAIN ST. SUITE 220 ST. CHARLES, IL 60174  
PH: 630-555-5555  
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DOOR & HARDWARE  
SCHEDULES: WALL TYPES

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SCALE  
1/4" = 1'-0"  
UNLESS NOTED OTHERWISE

A501

| WINDOW SCHEDULE   |        |                 |           |               |                   |                      |       |           |       |                 |                         |         |                            |              |
|---|--------|-----------------|-----------|---------------|-------------------|----------------------|-------|-----------|-------|-----------------|-------------------------|---------|----------------------------|--------------|
| WINDOW MARKS  | WIDTH  | SIZES<br>HEIGHT | THICKNESS | WINDOW FRAMES |                   |                      |       |           |       | GLAZING<br>TYPE | FIRE<br>RATING<br>(HR.) | REMARKS |                            |              |
|   |        |                 |           | MATERIAL      |                   | FINISHES             |       | OPERATION |       |                 |                         |         |                            |              |
|   |        |                 |           | ALUMINUM      | ALUMINUM VERTICAL | CLEAR ANODIZED ALUM. | PAINT | WOOD      | OTHER |                 |                         |         | 1" THICK BULLETPROOF GLAZE | UNITED GLASS |
| EXTERIOR LOCATIONS  |        |                 |           |               |                   |                      |       |           |       |                 |                         |         |                            |              |
| B   | 5'-4"  | T-0"            |           | ●             |                   |                      | ●     |           | ●     |                 | ●                       | ●       |                            | 1,2          |
| C   | T-4"   | T-0"            |           |               |                   |                      |       |           |       |                 |                         |         |                            | 1,2          |
| D   | 11'-0" | T-0"            |           | ●             |                   |                      | ●     |           | ●     |                 | ●                       | ●       |                            | 1,2          |
| E   | 5'-0"  | 5'-4"           |           | ●             |                   |                      | ●     |           | ●     |                 | ●                       | ●       |                            | 1,2          |
| F   | T-0"   | 5'-4"           |           | ●             |                   |                      | ●     |           | ●     |                 | ●                       | ●       |                            | 1,2          |
| G   | T-8"   | T-0"            |           | ●             |                   |                      | ●     |           | ●     |                 | ●                       | ●       |                            | 1,2          |
| H   | T-1"   | 5'-8"           |           | ●             |                   |                      | ●     |           | ●     |                 |                         |         |                            | 1,2          |
|   |        |                 |           |               |                   |                      |       |           |       |                 |                         |         |                            |              |
|   |        |                 |           |               |                   |                      |       |           |       |                 |                         |         |                            |              |
|   |        |                 |           |               |                   |                      |       |           |       |                 |                         |         |                            |              |
| REMARKS   |        |                 |           |               |                   |                      |       |           |       |                 |                         |         |                            |              |
| 1- PROVIDE SHOP DRAWINGS PRIOR FABRICATING WINDOWS.<br>2- WINDOWS TO FIT WITHIN EXISTING MASONRY OPENINGS. FIELD VERIFY EXISTING CONDITIONS PRIOR TO PREPARING SHOP DRAWINGS. |        |                 |           |               |                   |                      |       |           |       |                 |                         |         |                            |              |

Figure 1: Window types. The figure shows six window configurations labeled A through F. A scale of 1/4" = 1'-0" is indicated. Each window has a height of 6'-0" and a width of 9'-0". The configurations are: A (single pane), B (two panes), C (three panes), D (four panes), E (five panes), and F (six panes). The panes are labeled "EQ" for equalized and "V.I.P." for variable impedance. The windows are shown in a perspective view with dimensions and labels.

1. FINISH: SEE SCHEDULE
2. GLAZING: SEE SCHEDULE
3. INSTALLER QUALIFICATIONS: AN INSTALLER WHICH HAS HAD SUCCESSFUL EXPERIENCES WITH INSTALLATION OF THE SAME OF SIMILAR WITH LIMITED FOR THE SAME OR OTHER PROJECTS OF SIMILAR SIZE AND SCOPE
4. OBTAIN ALUMINUM WINDOWS THROUGH ONE SOURCE FROM A SINGLE MANUFACTURER.
5. DRAINAGING INDICATE SIZE, PROFILES AND DIMENSIONAL REQUIREMENTS OF ALUMINUM WINDOWS AND ARE BASED UPON THE SPECIFIC SYSTEM INDICATED. DO NOT MODIFY SIZE AND DIMENSIONAL REQUIREMENTS EXCEPT WITH THE APPROVAL OF THE ARCHITECT.
6. PROVIDE SAMPLES FOR VERIFICATION. FOR ALL ALUMINUM WINDOWS AND COMPONENTS REQUIRED.
7. FIELD MEASUREMENTS - VERIFY ALUMINUM WINDOW OPENINGS BY FIELD MEASUREMENTS BEFORE FABRICATION AND INDICATE MEASUREMENTS ON SHOP DRAWINGS.
8. SHOP DRAWINGS INCLUDE PLANS, ELEVATIONS, SECTIONS, DETAILS, HARDWARE, AND DATA TO OTHER WORK, OPERATIONAL CLEARANCES AND INSTALLATION DETAILS.
9. SUBMIT, FOR OWNER'S ACCEPTANCE, MANUFACTURER'S STANDARD WARRANTY. WARRANTY PERIOD SHALL BE THE SAME FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT PROVIDED HOWEVER THAT THE LIMITED WARRANTY SHALL BE NO EVENT LATER THAN SIX MONTHS FROM THE DATE OF SHIPMENT BY THE MANUFACTURER.
10. TINTED GLASS IS REQUIRED ABUTTING ALL DOORS.
11. TINTED GLASS IS REQUIRED WITHIN 24" VERTICAL OF ALL WALKWAYS.



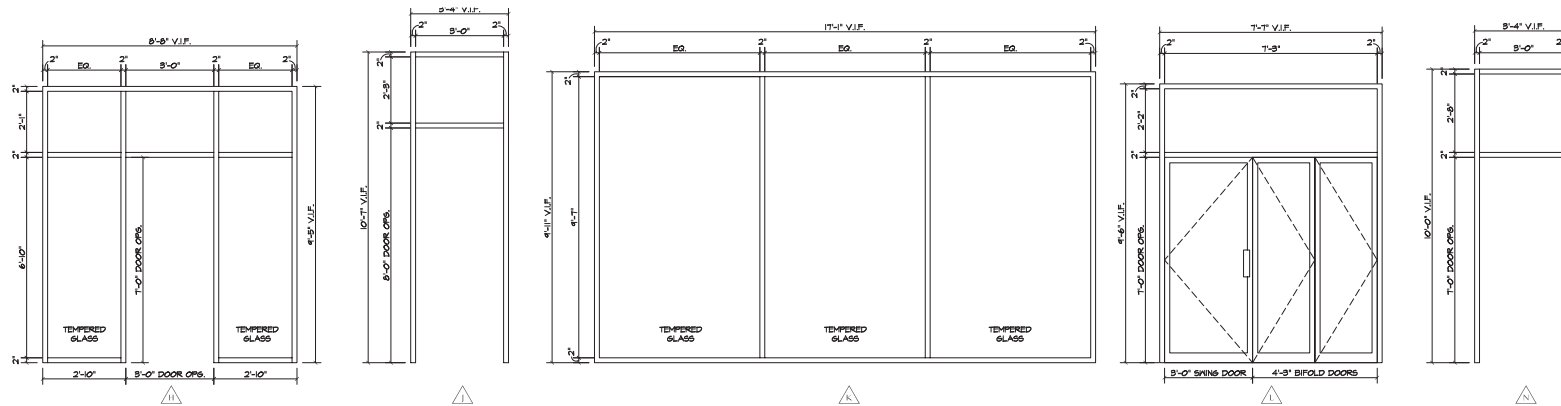
216, S. RIVERSIDE AVENUE SAINT CHARLES, IL 60174

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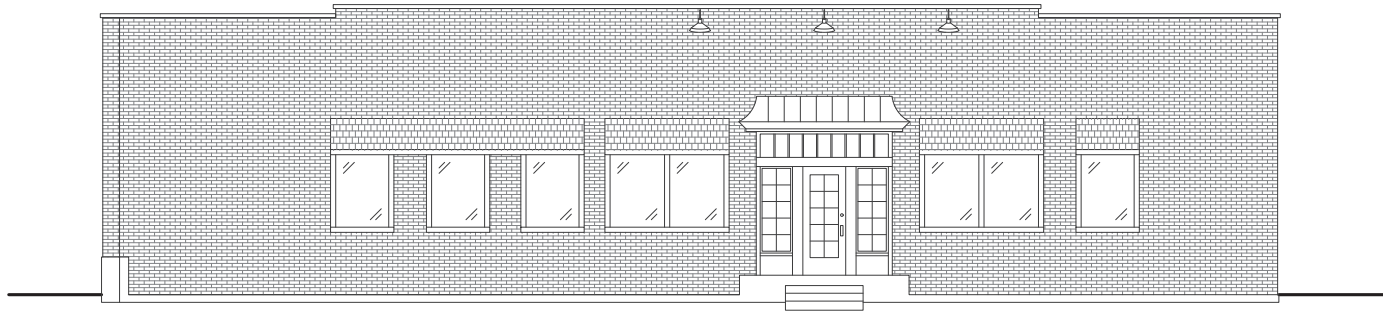
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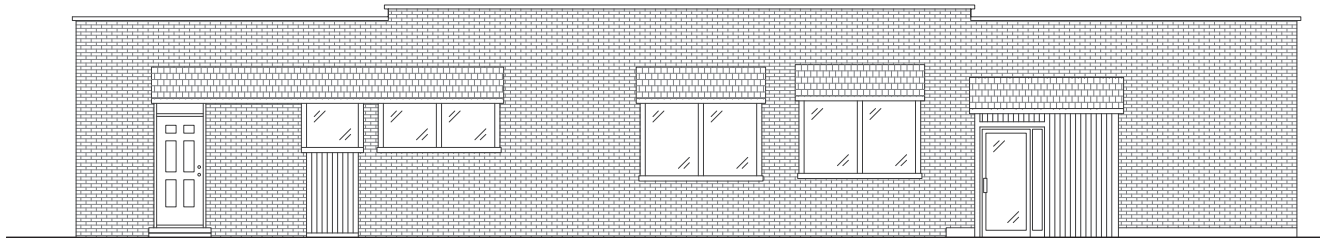


# 1 STOREFRONT ELEVATIONS

SCALE: 1/2"=1'-0"



**1 EXISTING WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**2 EXISTING EAST ELEVATION**  
SCALE: 1/8"=1'-0"

## 216 RIVERSIDE ELEVATIONS

SCALE: 1/8"=1'-0"

LOCATION: 216 S. RIVERSIDE AVE.  
ST. CHARLES, IL 60174

PLAN #: 1  
PROJECT#: 24042

**BÂTIR**  
DESIGN • BUILD • SUSTAINABLE SOLUTIONS

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## Recent Photos – 216-218 Riverside Ave

West Elevation (Riverside)



North Elevation





East Elevation (2<sup>nd</sup> Ave.)



South Elevation (Indiana)





ST. CHARLES HISTORIC PRESERVATION COMMISSION

# ARCHITECTURAL SURVEY

## ST. CHARLES CENTRAL DISTRICT

### ST. CHARLES, ILLINOIS

DIXON ASSOCIATES / ARCHITECTS

#### ARCHITECTURAL INTEGRITY

|  | 1                                   | 2                        | 3                        |
|--|-------------------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> Unaltered                   | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Minor Alteration | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Major Alteration            | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Additions                   | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/> |
| Sensitive to original                                | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/> |
| Insensitive to original                              | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/> |

1: first floor; 2: upper floors; 3: roof/cornice

#### ARCHITECTURAL SIGNIFICANCE

☐ Significant

☒ Contributing

☐ Non-Contributing

#### BUILDING CONDITION

☐ Excellent: Well-maintained

☒ Good: Minor maintenance needed

☐ Fair: Major repairs needed

☐ Poor: Deteriorated

#### ARCHITECTURAL DESCRIPTION

**Style:** Utilitarian

**Date of Construction:** 1900-1920

**Source:** A Field Guide to American Architecture

**Features:**

Former daily building of brick, one story with wood tower and brick chimney.



**Address:**

216-218 South 1st Avenue

**Representation in Existing Surveys:**

☐ Federal

☐ State

☐ County

☐ Local

**Block No.** 57

**Building No.** 1

**SURVEY DATE:**

MAY 1994

**ROLL NO.** 7

**NEGATIVE NO.** 3



ST. CHARLES HISTORIC PRESERVATION COMMISSION

**ARCHITECTURAL SURVEY**  
**ST. CHARLES CENTRAL DISTRICT**  
**ST. CHARLES, ILLINOIS**

DIXON ASSOCIATES / ARCHITECTS

CONTINUATION SHEET NO: 1



ROLL NO. 7

NEGATIVE NO. 2

**Address:**

216-218 South 1st Avenue

**Remarks:**

South Elevation.

**Block No. 57**

**Building No. 1**



ROLL NO. 6

NEGATIVE NO. 36

**Address:**

216-218 South 1st Avenue

**Remarks:**

East Elevation.

**Block No. 57**

**Building No. 1**