

**CITY OF ST. CHARLES
HISTORIC PRESERVATION COMMISSION
KIMBERLY MALAY, CHAIR**

**WEDNESDAY, FEBRUARY 19, 2025 – 7:00 P.M.
COUNCIL CHAMBERS
2 E. MAIN ST., ST. CHARLES, IL 60174**

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Agenda**
- 4. Presentation of minutes of the February 5, 2025 meeting**
- 5. Certificate of Appropriateness (COA) applications**
 - a. 213 S. 3rd St.**
 - b. 216 Riverside Ave.**
- 6. Grant Applications**
- 7. Landmark Applications**
- 8. Preliminary Reviews-** Open forum for questions or presentation of preliminary concepts to the Commission for feedback
- 9. Other Commission Business**
- 10. Public Comment**
- 11. Additional Business and Observations from Commissioners or Staff**
- 12. Meeting Announcements: March 5, 2025**
- 13. Adjournment**

ADA Compliance

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at jmcmahon@stcharlesil.gov. Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).

MINUTES
CITY OF ST. CHARLES
HISTORIC PRESERVATION COMMISSION
WEDNESDAY, FEBRUARY 5, 2025

Members Present: Smunt, Kessler, Pretz, Malay

Members Absent: Rice, Morin

Also Present: Russell Colby, Director of Community Development

1. Call to Order

Ms. Malay called the meeting to order at 7:00 P.M.

2. Roll Call

Mr. Colby called Roll with 4 members present. There was a quorum.

3. Approval of Agenda

Mr. Pretz requested additions under Additional Business and Observations from Commissioners or Staff, 11a. 2025 Project and 11b. Financial Considerations.

A motion was made by Dr. Smunt and seconded by Mr. Pretz with a unanimous voice vote to approve the revised agenda.

4. Presentation of minutes of the January 8, 2025 meeting

A motion was made by Dr. Smunt and seconded by Mr. Kessler with a unanimous voice vote to approve the minutes.

5. Certificate of Appropriateness (COA) applications

a. 208 W. Main St.

Tyler Rudowicz, owner representative, presented COA to install wall sign for Rud Dogs hot dogs. The business will be oriented to the evening and late night customers. The Commission confirmed the sign will have the same placement as the Rudy's sign.

A motion was made by Mr. Pretz and seconded by Dr. Smunt, with unanimous voice vote, to approve the COA as presented.

b. 213 S 3rd St.

Mr. Colby stated that since a COA was approved previously, the applicant has submitted architectural plans for permit, and there are some discrepancies vs. the Commission conditions. Mr. Colby noted the decking material and orientation are incorrect and the side rails shown do not matching existing. Also, the railing will need to meet current standards for opening size, which may make replicating the existing design difficult.

Maria Munoz, applicant, said that they were trying to match the Commission recommendation but were seeking clarification.

Mr. Kessler referred to information on proper historical deck design, including decking running perpendicular to the building, and use of tongue-in-groove decking. He also located product examples, including a prefabricated railing system that replicates the existing design. He shared the product information with Ms. Munoz.

The Commission discussed that they would like to see the revised plans before approving any changes. The lattice noted on the plans will need to be framed.

Ms. Munoz indicated she will revise the plan to match the Commission direction and return at the next meeting.

A motion was made by Dr. Smunt and seconded by Mr. Pretz, with a unanimous voice vote, to table the COA.

6. Grant Applications

None.

7. Landmark Applications

None.

8. Preliminary Reviews- Open forum for questions or presentation of preliminary concepts to the Commission for feedback

None.

9. Other Commission Business

None.

10. Public Comment

None.

11. Additional Business and Observations from Commissioners or Staff

a. 2025 Project

Mr. Pretz discussed the concept of a National Register Historic District designation within the existing Central District and conversation with the State Historic Preservation Agency. They discussed the process and the potential for utilizing grant funds for a survey to identify the appropriate district boundaries based on time period of significance. Mr. Colby indicated a survey expense, even with a grant, would first need to be budgeted, which may need to wait until the next fiscal year. The Commission discussed the property owner notification process and sharing the potential benefits of the designation.

b. Financial Considerations

Mr. Pretz noted that with a recent COA review, it may have been a challenge to separate the objective review vs. the financial considerations. He suggested that the Commission should first focus on the objective decision regarding removal vs. replacement of a material first, and once a decision is reached, then consider the cost implications of the

replacement options.

12. Meeting Announcements: Feb. 19, 2025

13. Adjournment

With no further business to discuss the meeting adjourned at 7:35 p.m.

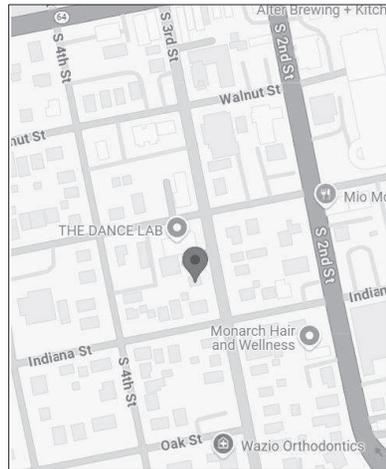
 <p>CITY OF ST. CHARLES ILLINOIS • 1834</p>	HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
	Agenda Item Title/Address:	COA: 213 S 3 rd St.		
	Significance:	Contributing per Survey/ Significant per Commission		
	Petitioner:	Maria Munoz		
	Project Type:	Porch reconstruction		
	PUBLIC HEARING		MEETING 2/5/25	X
Agenda Item Category:				
	Preliminary Review		Grant	
X	Certificate of Appropriateness (COA)		Other Commission Business	
	Landmark/District Designation		Commission Business	
Attached Documents:		Additional Requested Documents:		
Revised Plans, Approved COA				
Project Description:				
<p>On 2/5, the Commission reviewed permit drawings for this project and noted a number of changes needed on the plans to comply with the original COA approval. The Commission tabled the item and requested the applicant return with revised plans for approval.</p> <p>Revised plans are attached showing requested revisions:</p> <ul style="list-style-type: none"> • Revised joist layout with 1x4 Fir Decking shown running perpendicular to the wall • Southern Cross PVC railing panel suggested by the Commission to replicate the existing style and meet current code • Stair guardrail/handrail shown on plans • Note added that lattice will be in framed panels 				
Staff Comments:				
Recommendation / Suggested Action:				
<ul style="list-style-type: none"> • Provide feedback and recommendation on approval of the COA 				

FRONT PORCH REBUILT

213 S. 3RD ST. CHARLES, IL



1 PHOTOS OF EXISTING PORCH



2 LOCATION MAP 

CITY OF ST. CHARLES BUILDING CODES

2021 International Residential Code W/Amendments
 2021 International Existing Building Code W/Amendments
 2021 International Fire Code W/Amendments
 2018 State of Illinois Accessibility Code
 2021 [NFPA 101] LIFE SAFETY CODE W/Amendments

SHEET INDEX

NO.	SHEET TITLE
T1.0	COVER SHEET & EXISTING PHOTOS
A1.0	FLOOR PLAN, FRAMING PLAN, SECTION DETAIL

GENERAL NOTES

- DO NOT SCALE DRAWINGS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- NOTES WHICH APPLY AT ALL SIMILAR CONDITIONS SHALL GOVERN WHETHER REPEATED OR NOT.
- ALL WORK TO BE PERFORMED TO BE IN COMPLIANCE WITH ALL APPLICABLE CODES REGULATORY AGENCIES, STATUTES AND RECOGNIZED INDUSTRY STANDARDS.
- ALL WORK SHALL BE PERFORMED IN A TRADESMAN-LIKE MANNER AND SHALL CONFORM TO THE BEST STANDARD PRACTICES OF THE TRADE INVOLVED.
- ALL PERMITS TO BE BY OWNER
- ALL CONTRACTORS SHALL BE REQUIRED TO PURCHASE A BUSINESS LICENSE SHALL IT BE REQUIRED BY VILLAGE.
- LUMBER TO BE GRADE #2 SPRUCE / PINE / FIR / TREATED

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

FRONT PORCH REBUILT
 213 S. 3RD ST. CHARLES, IL

DRAWINGS PROVIDED BY:
 CESAR RIVERA
 PHONE: 708.323.6497
 EMAIL: CRIVERA03@GMAIL.COM



DATE:

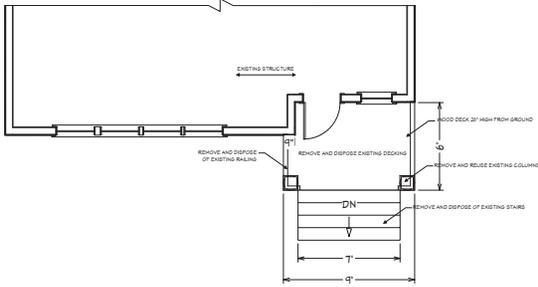
2/14/2025

SCALE:

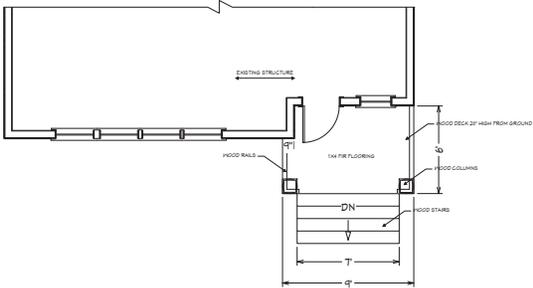
1/4" = 1'-0"

SHEET:

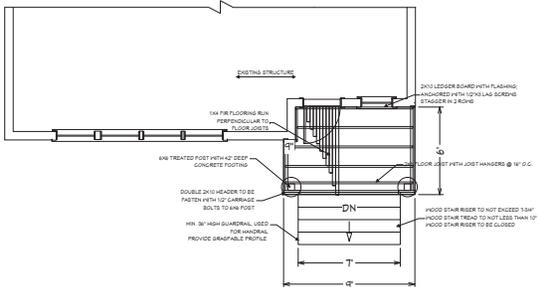
T1.0



1 EXISTING PORCH FLOOR PLAN
SCALE: 1/4"=1'-0"

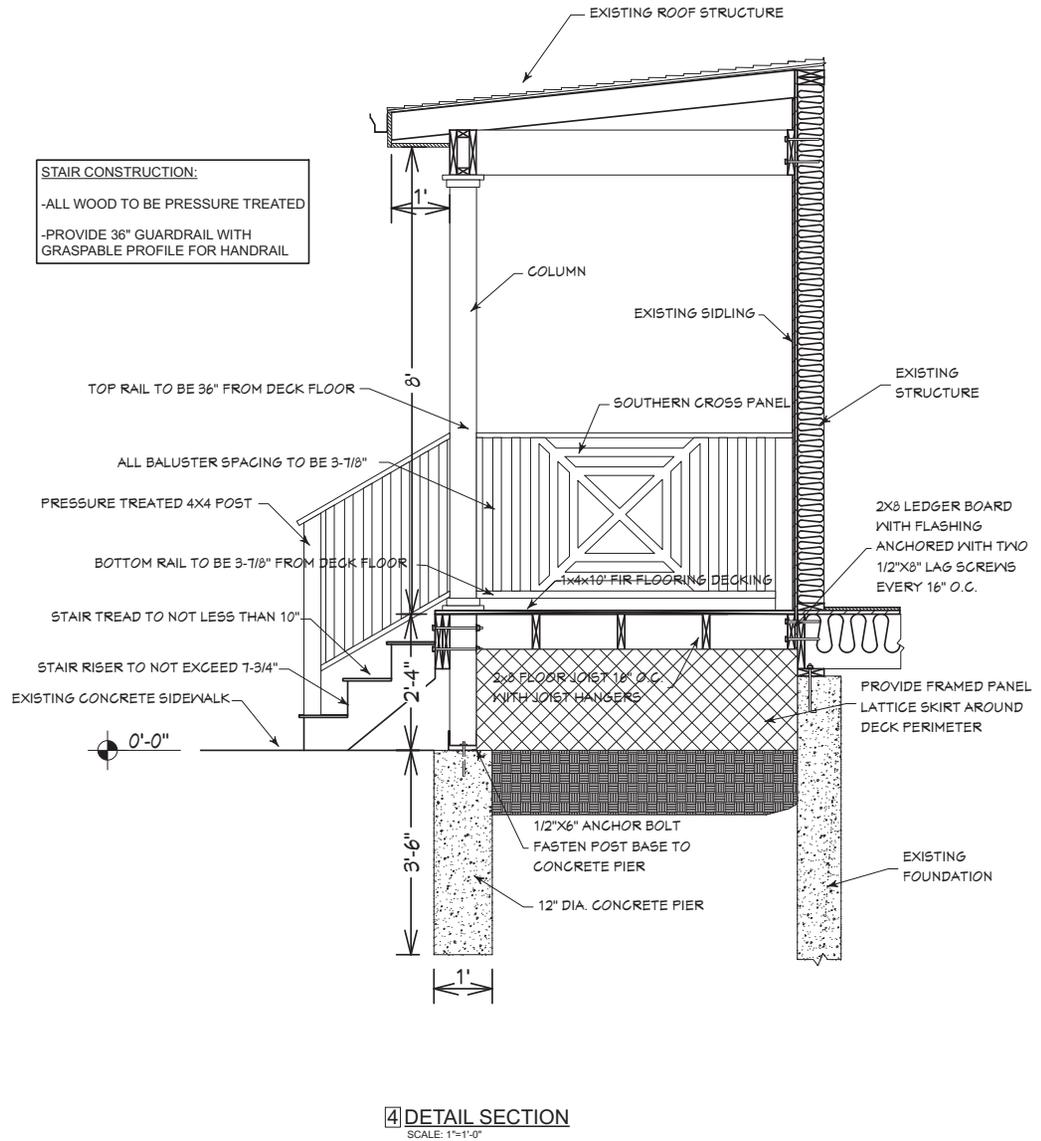


2 PORCH FLOOR PLAN
SCALE: 1/4"=1'-0"



3 PORCH FRAMING PLAN
SCALE: 1/4"=1'-0"

STAIR CONSTRUCTION:
-ALL WOOD TO BE PRESSURE TREATED
-PROVIDE 36" GUARDRAIL WITH GRASPABLE PROFILE FOR HANDRAIL



4 DETAIL SECTION
SCALE: 1"=1'-0"

REVISION TABLE	REVISION BY	DESCRIPTION

FRONT PORCH REBUILD
213 S. 3RD ST. CHARLES, IL

DRAWINGS PROVIDED BY:
CESAR RIVERA
PHONE: 708.323.6497
EMAIL: CRIVERA303@GMAIL.COM

DATE:
2/14/2025

SCALE:
1/4"=1'-0"

SHEET:
A1.0

APPLICATION FOR COA REVIEW HISTORIC PRESERVATION "CERTIFICATE OF APPROPRIATENESS"



COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT / CITY OF ST. CHARLES

(630) 377-4443

To be filled out by City Staff

Permit #: 2024-01919 Date Submitted: 11/13/24 COA # 24-36 Admin. Approval: _____

APPLICATION INFORMATION

Address of Property: 213 S. 3rd St. St. Charles IL 60174

Use of Property: Commercial, business name: _____
 Residential Other: _____

Project Type:

- Exterior Alteration/Repair
 - Windows
 - Doors
 - Siding - Type: _____
 - Masonry Repair
 - Other _____
 - Awnings/Signs
- New Construction
 - Primary Structure
 - Additions
 - Deck/Porch
 - Garage/Outbuilding
 - Other _____
- Demolition
 - Primary Structure
 - Garage/Outbuilding
 - Other _____
- Relocation of Building

Description: Replacing 4 exterior Doors.

Front porch will be getting completely repaired, we will be rebuilding the whole structure for safety

matters. The porch is in very bad conditions, steps are weak, handrails and spindles are loose and the rest area has loose beams.

Applicant Information:

Name (print): Modern Walls painting and Design.
Address: 765 four Seasons Blvd.
Phone: (630) 440-2686
Email: modernwallsprnd@gmail.com

Applicant is (check all that apply):

- Property Owner
- Business Tenant
- Project contractor
- Architect/Designer

Property Owner Information (if not the Applicant)

Name (print): Donn Valentine
Address: 213 S. 3rd St. St. Charles IL, 60174
Signature: _____

APPLICANT/AUTHORIZED AGENT SIGNATURE

I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA General Conditions.

Signature: _____ Date: _____

THIS PAGE IS TO BE FILLED OUT AT THE HISTORIC COMMISSION MEETING

HISTORIC COMMISSION APPROVAL:

The Historic Preservation Commission hereby issues a Certificate of Appropriateness (COA) authorizing the issuance of a building permit for the proposed work in accordance with the attached plans and any approval conditions, if attached hereto.


Chairman Signature

12-18-24
Date

Approved:

- As presented
- Subject to conditions below
- Complete project scope only (all elements must be included)

CONDITIONS OF APPROVAL

Project Specific Conditions:

1. Direction of wood identical to current
2. Railings same as existing
3. Lattice to be framed to comply w/ guidelines
4. Current existing columns to be restored.

General Conditions:

1. The person signing this form is responsible for communicating the Terms and Conditions listed herein to all contractors for the project.
2. Design, materials and construction methods shall be as shown on the COA, either in the conditions or on the attached plans.
3. The COA approval is limited to the scope of work documented in the plans.
4. No visible or concealed structural elements or historic features may be modified or removed unless identified in the COA approval.
5. Any historic materials that are inadvertently lost or damaged during construction without COA approval must be replaced to the preconstruction condition at the expense of the owner.

What to do if you encounter unforeseen issues during construction, or if a change to the project is being considered:

1. Stop work until a revised COA approval is received. Do not discard any materials- All materials must be stored on site until a new COA review is conducted.
2. Contact the City of St. Charles Community Development Division immediately- 630-377-4443. City staff can contact the Historic Preservation Commission Chairman to seek direction. If the issue is of an urgent nature, a special commission meeting can be scheduled at the discretion of the Chairman. The Historic Commission can meet with a minimum of 48 hour notice.
3. Removal of structural elements or historic features without a COA approval is only permitted where the City has determined there is an imminent safety risk. This determination must be made by the City's Building and Code Enforcement Division- 630-377-4406.
4. In the event that any structural elements or historic features must be, or have been removed or dismantled for safety reasons:
 - a. Any deterioration of structural elements or historic features shall be documented by physical or photographic evidence.
 - b. All materials shall be stored on site until a COA review is conducted – do not discard any materials.

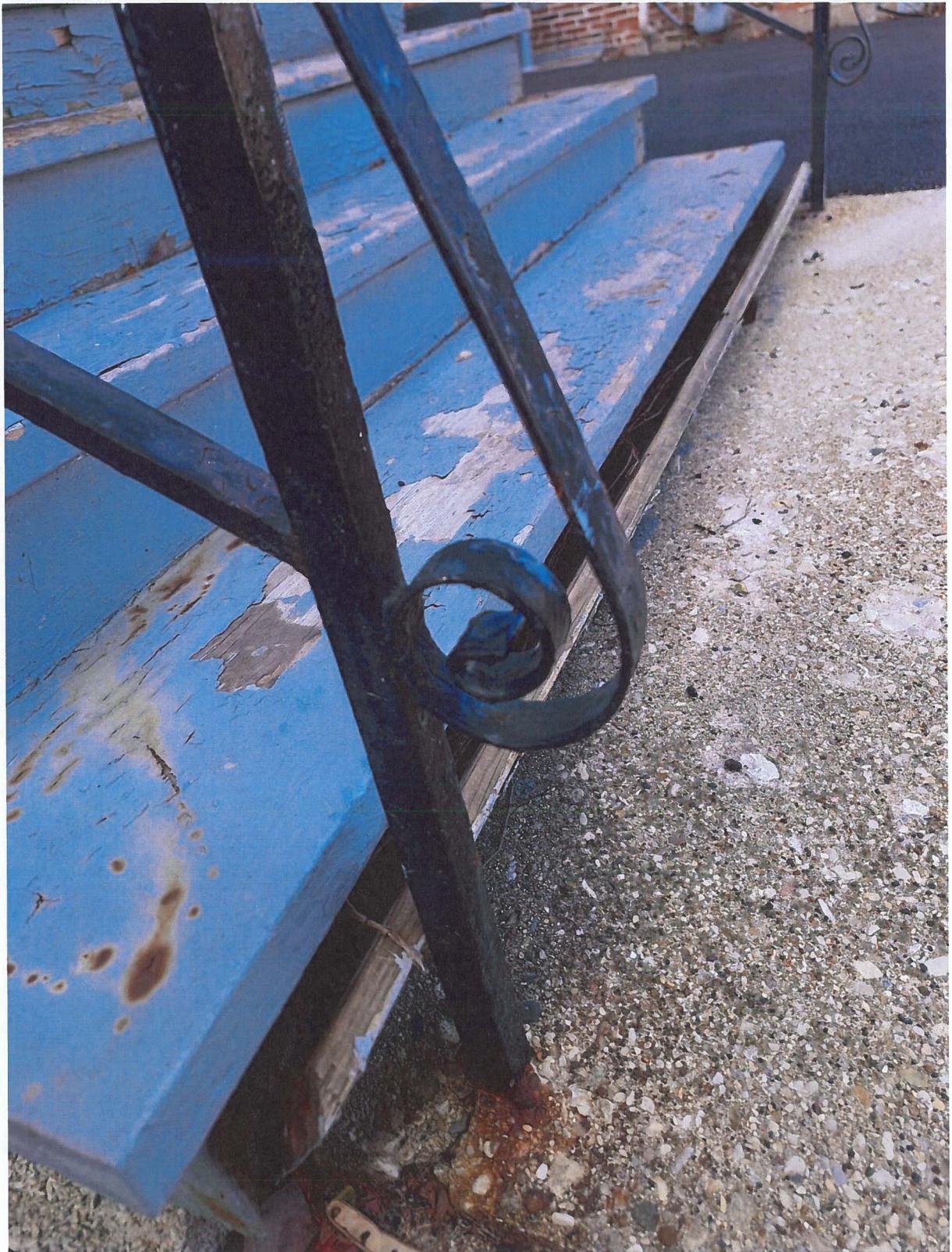
APPLICANT/AUTHORIZED AGENT SIGNATURE

I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA General and Project Specific Conditions.

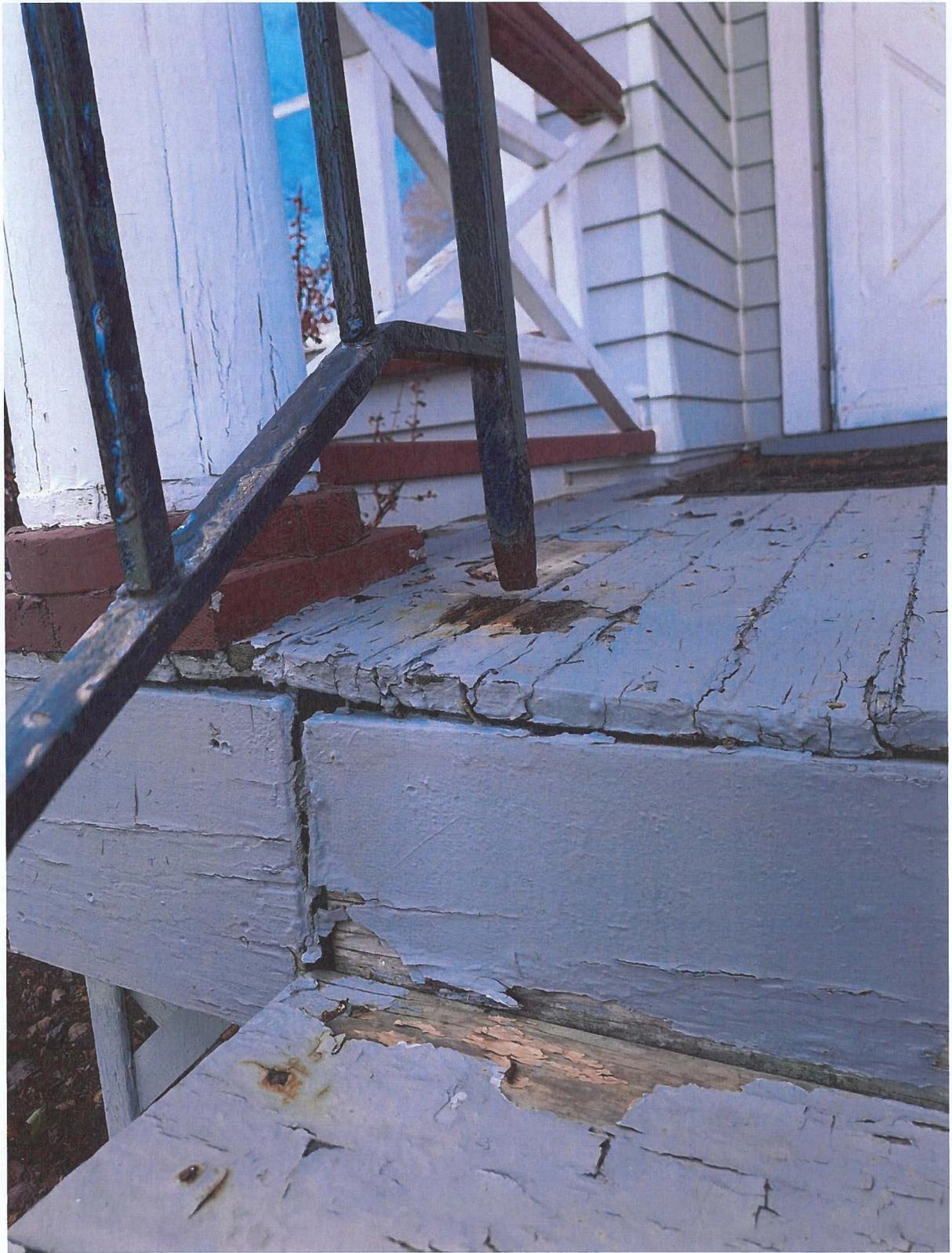
Signature: 

Date: 12/18/24

If you have any questions on the information listed above, contact the Community Development Division at 630-377-4443.





















 <p>CITY OF ST. CHARLES ILLINOIS • 1834</p>	HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
	Agenda Item Title/Address:	COA: 216 Riverside Ave		
	Significance:	Contributing		
	Petitioner:	Curt Hurst		
	Project Type:	Exterior changes, windows and doors		
PUBLIC HEARING			MEETING 2/19/25	X
Agenda Item Category:				
	Preliminary Review		Grant	
X	Certificate of Appropriateness (COA)		Other Commission Business	
	Landmark/District Designation		Commission Business	
Attached Documents:			Additional Requested Documents:	
Plans, Photos, Survey				
Project Description:				
<p>The 216 Riverside building is proposed to be remodeled, with a number of changes to the exterior:</p> <ul style="list-style-type: none"> • Removal of all exterior mansard awnings and wood boxed window structures • Replacement of windows and doors with an aluminum window and door system throughout • Replace entry stairwell and landing at the Riverside Ave. entrance • Adding a new window storefront in a previously brick-enclosed overhead door opening on the west elevation • Adding new stairs with railings to access the north elevation from Riverside • Add combination entry door and bifold door units on the north elevation in place of two existing window openings • Adding a narrow overheard door and entry door in an existing opening on the east elevation. • Switching a door on the east elevation to another opening location. <p>The COA application also proposes to remove the chimney stack.</p>				
Staff Comments:				
Recommendation / Suggested Action:				
<ul style="list-style-type: none"> • Provide feedback and recommendation on approval of the COA 				

APPLICATION FOR COA REVIEW

HISTORIC PRESERVATION "CERTIFICATE OF APPROPRIATENESS"



COMMUNITY DEVELOPMENT DEPARTMENT / CITY OF ST. CHARLES

CD@STCHARLESIL.GOV / (630) 377-4443

To be filled out by City Staff

Permit #: _____ -- _____ Date Submitted: 2 / 17 / 2025 COA # _____ -- _____ Admin. Approval: _____

APPLICATION INFORMATION

Address of Property: 216 Riverside Ave

Use of Property: Commercial, business name: STC 216 LLC

Residential Other: _____

Project Type:

- | | | |
|---|---|---|
| <input type="checkbox"/> Exterior Alteration/Repair | <input type="checkbox"/> New Construction | <input type="checkbox"/> Demolition |
| <input checked="" type="checkbox"/> Windows | <input type="checkbox"/> Primary Structure | <input type="checkbox"/> Primary Structure |
| <input checked="" type="checkbox"/> Doors | <input type="checkbox"/> Additions | <input type="checkbox"/> Garage/Outbuilding |
| <input type="checkbox"/> Siding - Type: _____ | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Other _____ |
| <input checked="" type="checkbox"/> Masonry Repair | <input type="checkbox"/> Garage/Outbuilding | <input type="checkbox"/> Relocation of Building |
| <input checked="" type="checkbox"/> Other chimney removal | <input type="checkbox"/> Other _____ | |
| <input type="checkbox"/> Awnings/Signs | | |

Description:

Remove all exterior (failing/rotted) wood window trim and windows and replace with new aluminum storefront windows per plans. Remove failing chimney. Both windows and chimney were noted in city violation notice for replace or repair.

Applicant Information:

Name (print): STC 216 LLC

Address: 216 Riverside Ave

Phone: (630) 330-7215

Email: curt@frontierdevelopmentgroup.com

Applicant is (check all that apply):

- Property Owner
- Business Tenant
- Project contractor
- Architect/Designer

Property Owner Information (if not the Applicant)

Name (print): SAA

Address: _____

Signature: _____

APPLICANT/AUTHORIZED AGENT SIGNATURE

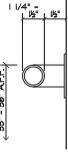
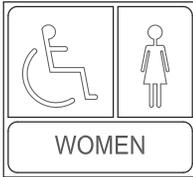
I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA General Conditions.

Signature:  Date: 02/14/2025

CODE COMPLIANCE SHEET

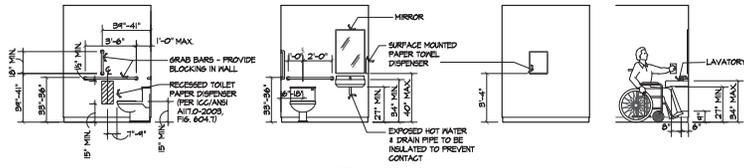
SIGNAGE

THE BATH ROOM SHALL BE IDENTIFIED WITH AN INTERNATIONAL SYMBOL OF COMPLIANCE AND A TACTILE SIGN WHICH IS IN COMPLIANCE WITH ADA SECTION 430 AND WHICH HAS A MINIMUM LETTER HEIGHT OF 3/8" AND A MAXIMUM HEIGHT OF 2". THE SYMBOLS OF COMPLIANCE SHALL BE PLACED NOT LESS THAN 60" AND NO MORE THAN 66" ABOVE THE FLOOR. TACTILE SIGNS SHALL BE MOUNTED 60" TO THE CENTERLINE ABOVE THE FLOOR ADJACENT TO THE LATCH SIDE OF THE DOOR.



GRAB BAR & HANDRAIL SIZE AND SPACING

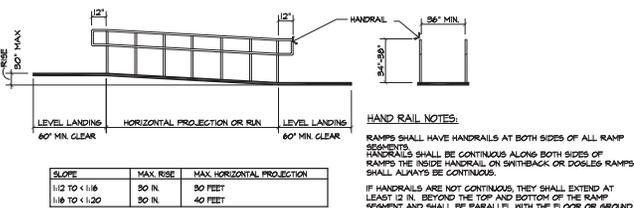
SCALE: 3/4"=1'-0"



NOTE: ALL CONTROLS AND OPERATING MECHANISMS FOR THE ACCESSIBLE BATHROOM DEVICES SHALL BE OPERABLE WITH ONE (1) HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS FORCE (15 LBF).

TOILET ROOM TYPICAL ADA REQUIREMENTS

SCALE: 1/4"=1'-0"



HAND RAIL NOTES:

RAMPS SHALL HAVE HANDRAILS AT BOTH SIDES OF ALL RAMP SEGMENTS. HANDRAILS SHALL BE CONTINUOUS ALONG BOTH SIDES OF RAMPS. THE INSIDE HANDRAIL ON SYNTHETIC OR DOGLEG RAMPS SHALL ALWAYS BE CONTINUOUS. IF HANDRAILS ARE NOT CONTINUOUS, THEY SHALL EXTEND AT LEAST 12 IN. BEYOND THE TOP AND BOTTOM OF THE RAMP SEGMENT AND SHALL BE PARALLEL WITH THE FLOOR OR GROUND. HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS. THE CLEAR SPACE BETWEEN HANDRAILS AND WALL SHALL BE 1 1/2" (SEE DETAIL THIS SHEET). GRIPPING SURFACES SHALL BE CONTINUOUS. TOP OF HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34" - 38" ABOVE RAMP SURFACES. ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL, OR POST.

RAMP STANDARDS

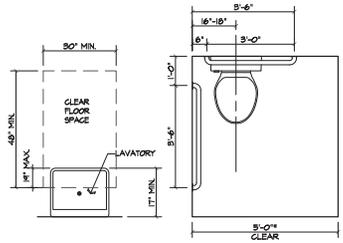
SCALE: 1/4"=1'-0"

SLOPE	MAX. RISE	MAX. HORIZONTAL PROJECTION
1:12 TO 1:18	30 IN.	30 FEET
1:8 TO 1:12	30 IN.	40 FEET

TYPICAL ADA REQUIREMENTS

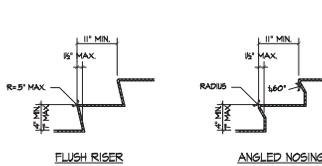
BATH ROOMS REQUIRED TO BE ACCESSIBLE SHALL CONFORM TO ALL ACCESSIBILITY REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT WHICH INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:

- WATER CLOSET SEAT HEIGHT 17" TO 19" A.F.F.
- CENTERLINE OF WATER CLOSET 16"-18" FROM SIDE WALL
- GRAB BAR BEHIND WATER CLOSET - 24" MIN., 56" LONG MAX., MOUNTED @ 38" - 54" A.F.F.
- GRAB BARS AT SIDE OF WATER CLOSET - 42" LONG MOUNTED 38" - 56" A.F.F. (TO TOP OF BAR)
- GRAB BAR DIAMETER 1 1/4" TO 1 1/2" DIAMETER
- SPACE BETWEEN WALL AND GRAB BAR - 1 1/2" TOILET PAPER DISPENSER - 36" MAX. FROM REAR WALL, MOUNTED 48" A.F.F.
- KNEE CLEARANCE AT LAVATORY - AFFRON 24" MIN. HEIGHT, 8" MIN. DEPTH
- LAVATORY DEPTH - 17" MINIMUM
- LAVATORY HOT WATER AND DRAIN PIPES TO BE INSULATED WHERE EXPOSED
- LAVATORY RIN SURFACE 2'-10" A.F.F. MAX.
- MIRROR BOTTOM EDGE 40" A.F.F.
- 2 BRAILLE, PICTORIAL SYMBOLS ARE AT LEAST 6" HIGH AND INCLUDE VERBAL DESCRIPTION. ROOM IDENTIFICATION SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE ROOM DOORS AT A HEIGHT OF 60". PROVIDE CLEAR FLOOR SPACE AT SIGN. INTERNATIONAL SYMBOL OF ACCESSIBILITY TO BE INSTALLED ON EXTERIOR OF THE BATH ROOM DOOR IDENTIFICATION SIGNS ARE RAISED SANS SERIF OR SIMPLE SERIF AND ALSO HAVE GRADE.
- TACTILE EXT. SIGN MOUNTING HEIGHTS: TACTILE CHARACTERS SHALL BE 48" MINIMUM A.F.F. MEASURED TO THE BASE LINE OF THE LOWEST TACTILE CHARACTER AND 60" MAX. A.F.F. MEASURED TO THE BASELINE OF THE HIGHEST TACTILE CHARACTER (AGANS) (A111-2003) (105.8.10).
- WHERE A TACTILE SIGN IS PROVIDED AT THE DOOR, THE SIGN SHALL BE ALONGSIDE THE DOOR AT THE LATCH SIDE. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAVES, THE SIGN SHALL BE TO THE RIGHT OF THE RIGHT HAND DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF A SINGLE DOOR, OR TO THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 30" MIN. X 18" MIN. CENTERED ON THE TACTILE CHARACTERS IS PROVIDED BEYOND THE ARC OF ANY DOOR SPRING BETWEEN THE CLOSED POSITION AND 45 DEGREES OPEN. POSITION SIGNS WITH TACTILE CHARACTERS ARE PERMITTED ON THE PUSH SIDE OF DOORS WITH CLOSERS AND WITHOUT HOLD-OPEN DEVICES.



TOILET ROOM TYPICAL ADA REQUIREMENTS

SCALE: 1/2"=1'-0"



GENERAL STAIR NOTE:

ON ANY GIVEN FLIGHT OF STAIRS, ALL STEPS SHALL HAVE UNIFORM RISER HEIGHTS AND UNIFORM TREAD WIDTHS.

HAND RAIL NOTES:

STAIRWAYS SHALL HAVE HANDRAILS AT BOTH SIDES OF ALL STAIRS. HANDRAILS SHALL BE CONTINUOUS ALONG BOTH SIDES OF STAIRS. THE INSIDE HANDRAIL ON SYNTHETIC OR DOGLEG STAIRS SHALL ALWAYS BE CONTINUOUS.

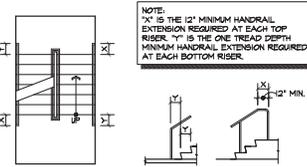
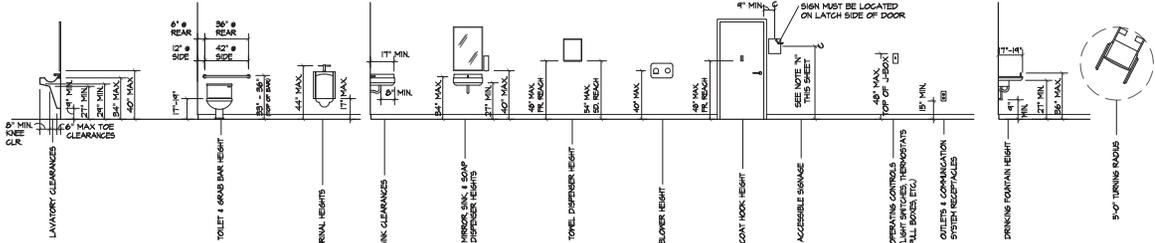
IF HANDRAILS ARE NOT CONTINUOUS, THEY SHALL EXTEND AT LEAST 12 IN. BEYOND THE TOP RISER AND AT LEAST 12 IN. PLUS THE WIDTH OF ONE TREAD BEYOND THE BOTTOM RISER. AT THE TOP OF THE EXTENSION SHALL BE PARALLEL WITH THE FLOOR OR GROUND SURFACE. AT THE BOTTOM, THE HANDRAIL SHALL CONTINUE TO SLOPE FOR A DISTANCE OF THE WIDTH OF ONE TREAD FROM THE BOTTOM RISER, THE REMAINDER OF THE EXTENSION SHALL BE HORIZONTAL. THE CLEAR SPACE BETWEEN HANDRAILS AND WALL SHALL BE 1 1/2" (SEE DETAIL THIS SHEET).

GRIPPING SURFACES SHALL BE UNINTERRUPTED BY NEVEL POSTS, OTHER CONSTRUCTION ELEMENTS OR OBSTRUCTIONS.

TOP OF HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34" - 38" ABOVE STAIR NOSINGS. ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST.

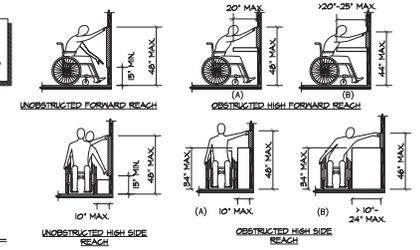
STAIR DETAILS

SCALE: 3/4"=1'-0"



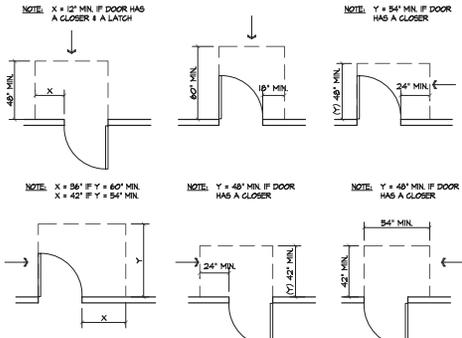
STAIR HANDRAILS

SCALE: 3/8"=1'-0"



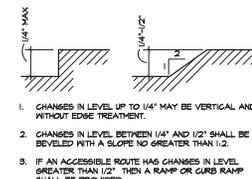
REACH RANGE REQUIREMENTS

SCALE: 1/4"=1'-0"



CHANGES IN LEVEL (THRESHOLD) ADA REQUIREMENTS

SCALE: NONE



- CHANGES IN LEVEL UP TO 1/4" MAY BE VERTICAL AND WITHOUT EDGE TREATMENT.
- CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
- IF AN ACCESSIBLE ROUTE HAS CHANGES IN LEVEL GREATER THAN 1/2" THEN A RAMP OR CURB RAMP SHALL BE PROVIDED.

MANEUVERING CLEARANCE AT DOORS

SCALE: 1/4"=1'-0"

DOOR HARDWARE SHALL BE CAPABLE OF OPERATION WITH THE USE OF ONE (1) HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT GRASPING OR TWISTING OF THE WRIST TO OPERATE. TURNBOLT RELEASES ARE PROHIBITED. LEVER OR PADDLE DEADBOLT RELEASES ARE ACCEPTABLE. DOOR THRESHOLD SHALL NOT EXCEED ONE-HALF (1/2") IN HEIGHT. THRESHOLDS EXCEEDING ONE-QUARTER (1/4") IN HEIGHT SHALL HAVE A 1:2 BEVEL. DOOR CLOSERS SHALL MEET OPENING FORCE AND SWEEP PERIOD REQUIREMENTS.

DRINKING FOUNTAIN NOTES: ALL DRINKING FOUNTAINS SPOUT HEIGHTS TO PROVIDE FOR ONE DRINKING FOUNTAIN SPOUT AT A MAXIMUM OF 36" AND ONE SPOUT AT STANDARD HEIGHT, IF ONLY ONE D.F. ON FLOOR PROVIDE 74"=0" UNIT

ADA INSTALLATION REQUIREMENTS

SCALE: 1/4"=1'-0"

PROJECT: 24042



216 RIVERSIDE REMODEL

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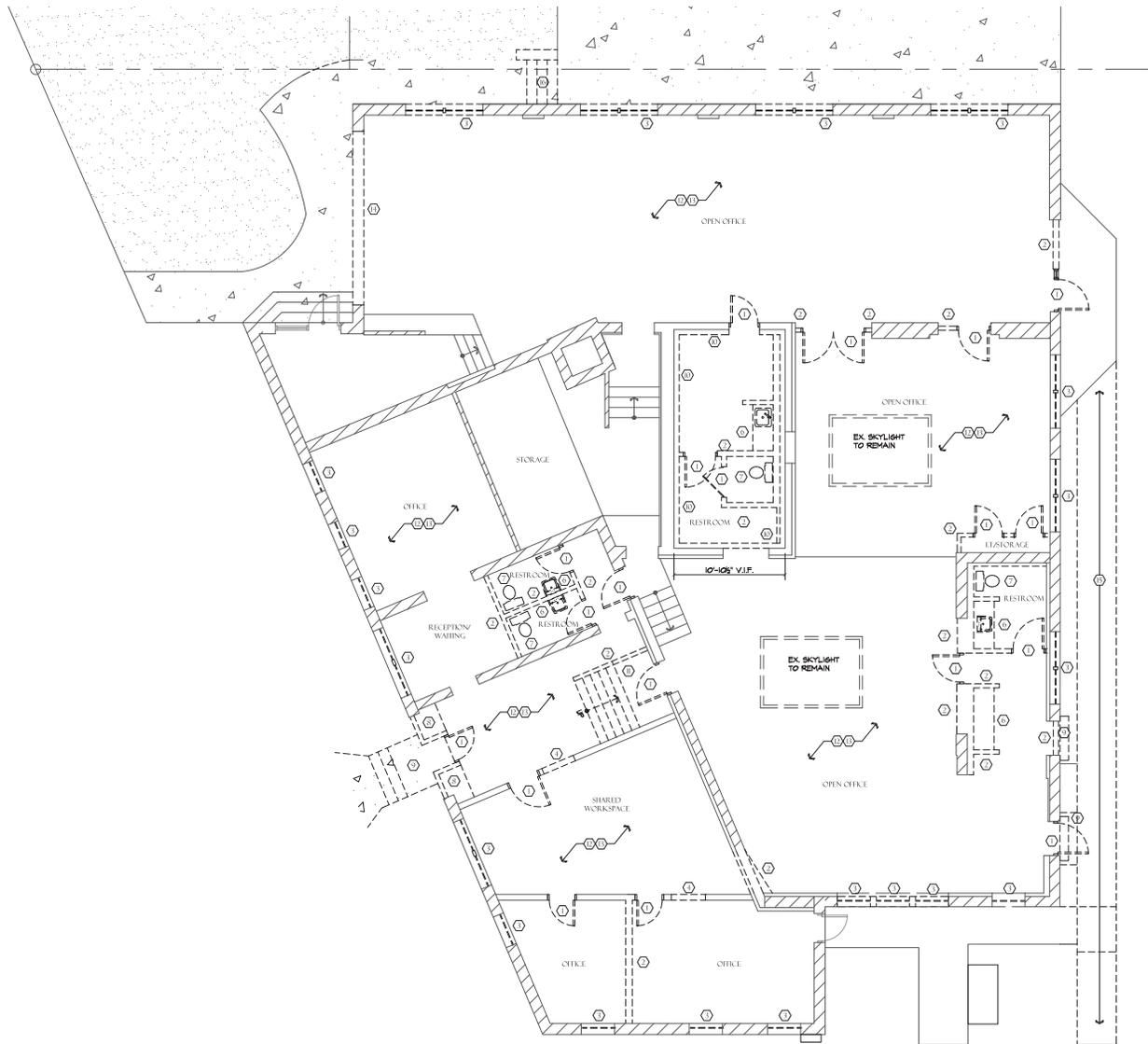
ADA COMPLIANCE

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A003



DEMOLITION LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED

DEMOLITION PLAN KEY NOTES

- ① REMOVE/DISCARD EXISTING DOOR, FRAME & HARDWARE.
- ② REMOVE EXISTING WALL AND ASSOCIATED ELECTRICAL.
- ③ REMOVE EXISTING WINDOW & AWNING WHERE APPLICABLE
- ④ CUT OPENING IN EXISTING WALL FOR NEW DOOR.
- ⑤ CUT OPENING IN EXISTING WALL FOR NEW WINDOW.
- ⑥ REMOVE/DISCARD EXISTING MILLWORK AND SINK.
- ⑦ REMOVE/DISCARD EXISTING TOILET
- ⑧ REMOVE EXISTING STOREFRONT
- ⑨ REMOVE EXISTING CONCRETE STOOP AND/OR STAIRS HANDRAILS.
- ⑩ REMOVE EXISTING INSULATION TO FACE OF EXISTING CMU BLOCK WALL.
- ⑪ REMOVE EXISTING WOOD STAIRS
- ⑫ ALL EXISTING CEILING GRID/FLUORESCENT LIGHTING INCLUDING HEADERS/SUPPORTS TO BE REMOVED THROUGHOUT EXCEPT AT ROOMS NOTED FOR "NO WORK".
- ⑬ ALL EXISTING FLOORING FINISHES TO BE REMOVED THROUGHOUT EXCEPT AT ROOMS NOTED FOR "NO WORK".
- ⑭ REMOVE EXISTING MASONRY INFILL AT FORMER OVERHEAD DOOR OPENING (200' X 16' V.I.F.). EXISTING LINTEL TO REMAIN.
- ⑮ REMOVE EXISTING CONCRETE SIDEWALK
- ⑯ REMOVE EXISTING CONCRETE WALL & STAIRS

PROJECT:
24042



**216 RIVERSIDE
REMODEL**
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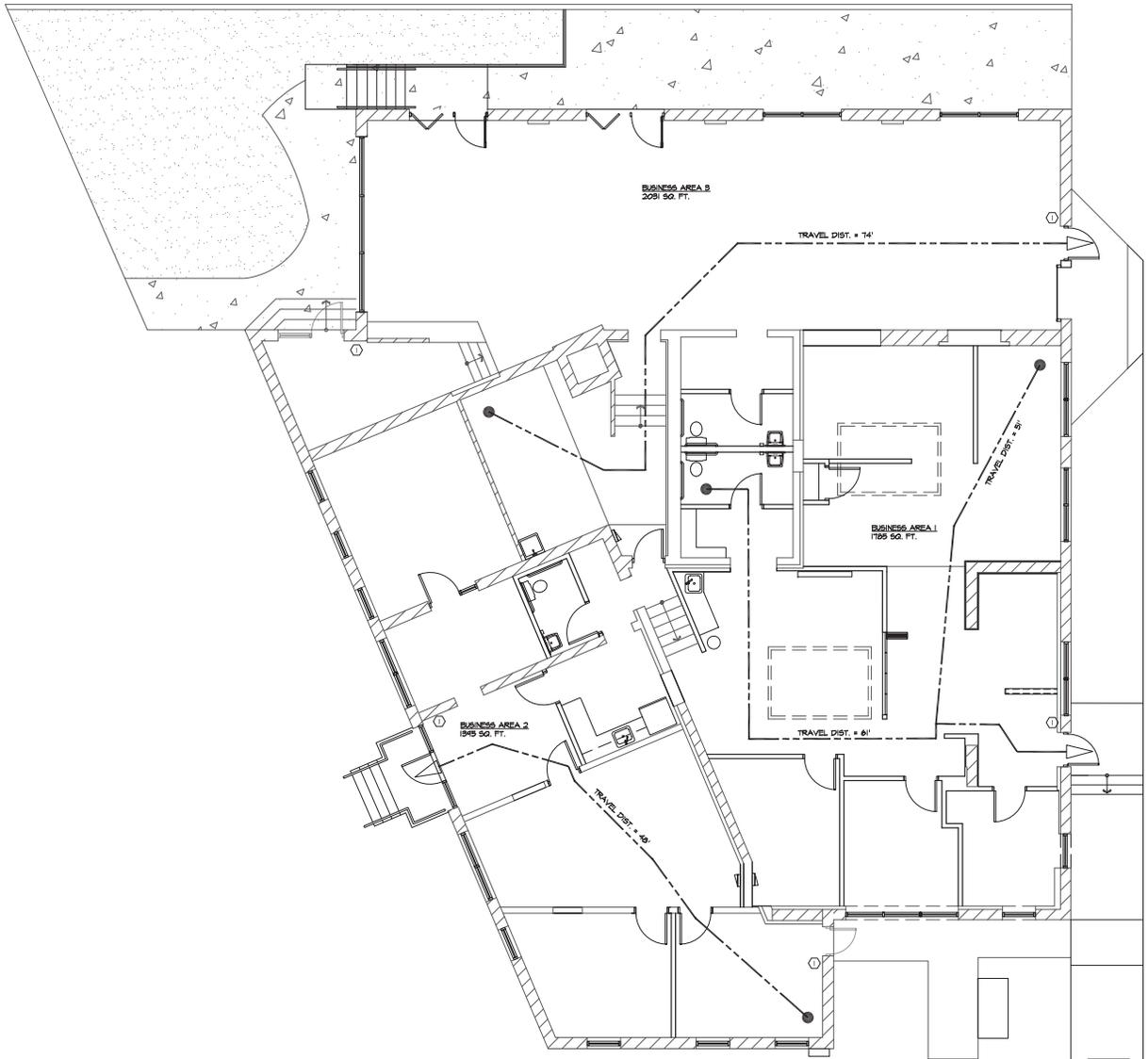
DEMOLITION PLAN

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SCALE
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D201

DEMOLITION PLAN
SCALE: 3/16" = 1'-0"




EGRESS PLAN
 SCALE: 3/16" = 1'-0"
 NORTH

PLAN KEY NOTES:

① PROVIDE WALL MOUNTED FIRE EXTINGUISHER 2A:10B-G WITH HALL BRACKET. VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES.

PROJECT:
24042



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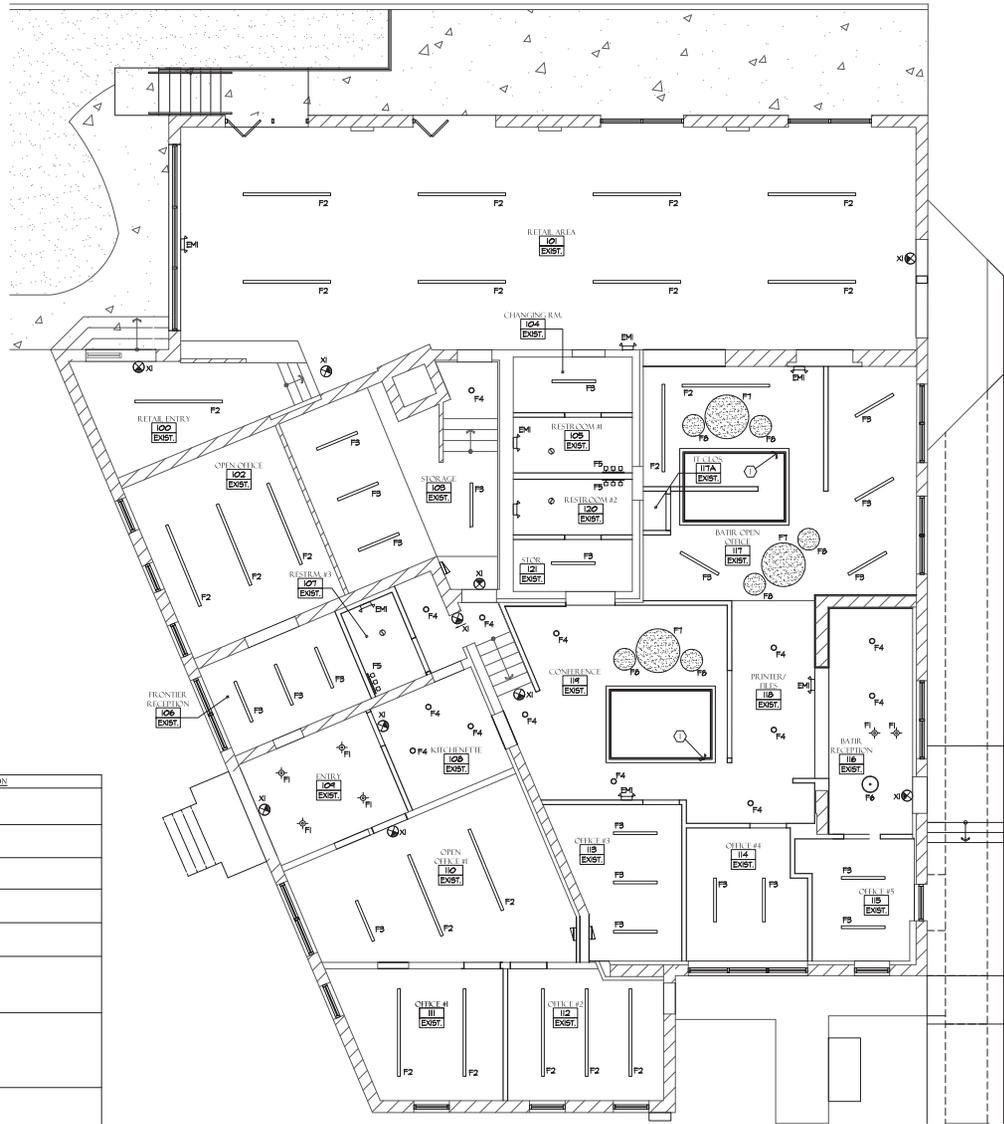
EGRESS PLAN

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A100



CEILING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	SPECIFICATION
	LED DIMMABLE PENDANT	
	8' LONG LED SUSPENDED LINEAR	
	4' LONG LED SUSPENDED LINEAR	
	6' LED RECESSED CAN WIDE FLOOD	
	WALL MOUNTED LED BATH LIGHT	
	LARGE LED PENDANT LIGHT	
	4' DIA. SUSPENDED ACOUSTICAL CLOUD	
	2' DIA. SUSPENDED ACOUSTICAL CLOUD	
	EXIT SIGN UNIVERSAL MOUNT. SHADED AREA INDICATES PAGE, ARROWS AS REQUIRED.	
	EMERGENCY LIGHTING FIXTURE WITH BATTERY BACKUP	

REFLECTED CEILING PLAN
SCALE: 3/16"=1'-0"

CEILING PLAN GENERAL NOTES

- VERIFY HEIGHT A/F/F FOR ALL HANGING LIGHT FIXTURES WITH TENANTS
- EXISTING HARD LID CEILINGS TO REMAIN. PATCH AND REPAIR AS REQUIRED.

CEILING PLAN NOTES

- EXISTING SKYLIGHT TO REMAIN. INFILL WITH COVE LIGHTING AND CUSTOM ACRYLIC PANELS.

PROJECT:
24042



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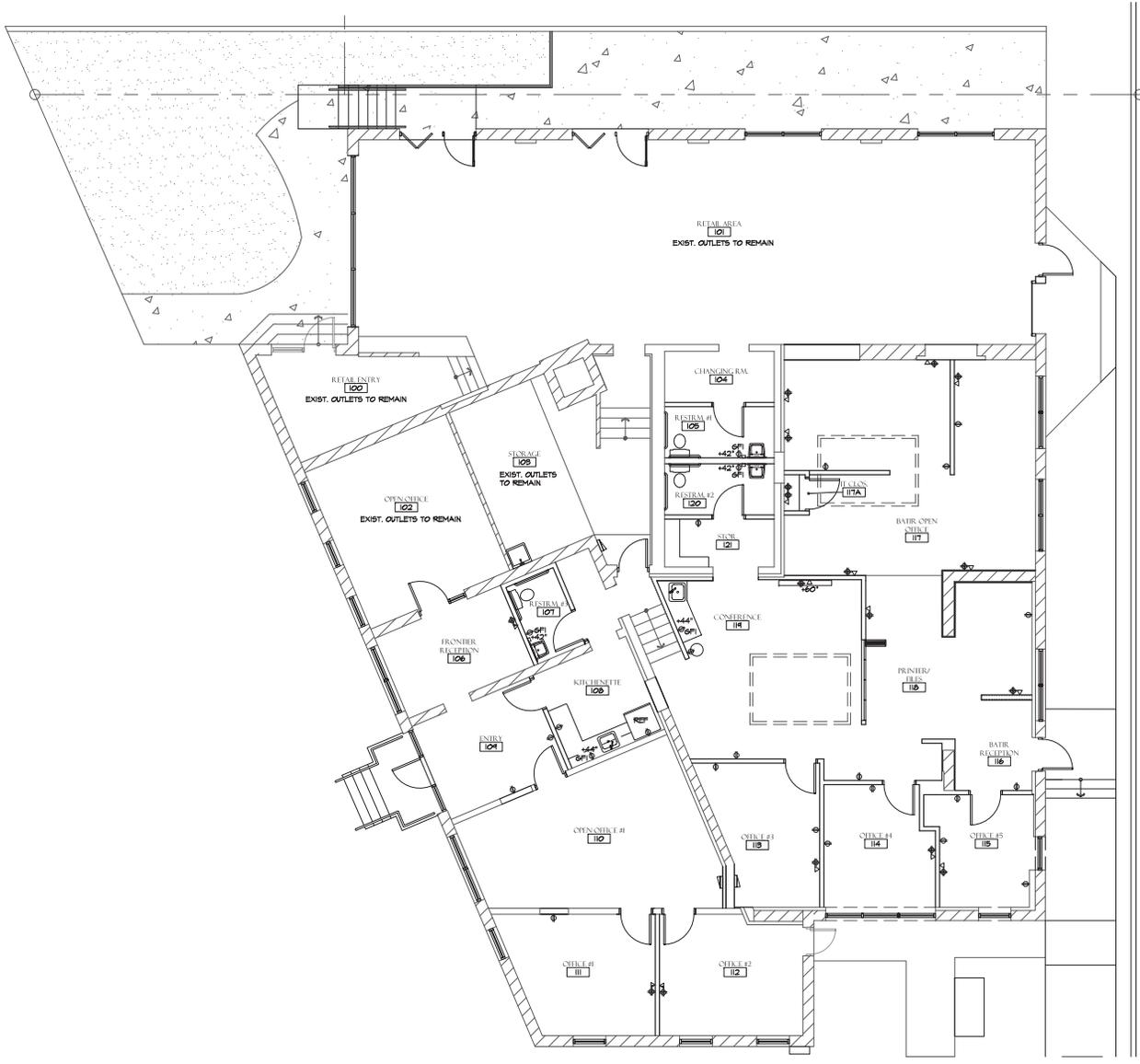
REFLECTED CEILING
PLAN

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A211




POWER-DATA PLAN
 SCALE: 3/16"=1'-0"
 NORTH

PROJECT:
24042



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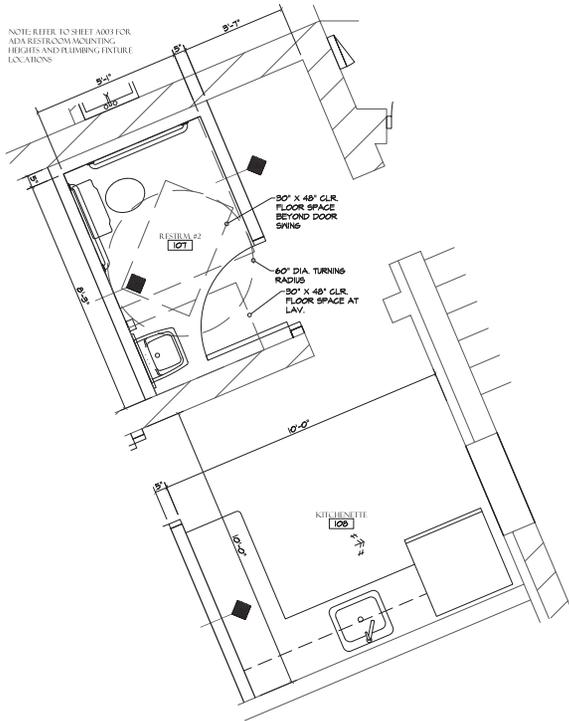
POWER-DATA PLAN

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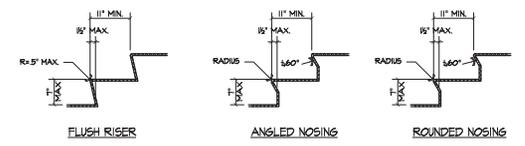
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SCALE
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A231



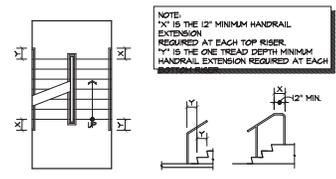
1 ENLARGED PLAN
SCALE: 1/2" = 1'-0"



GENERAL STAIR NOTE:
ON ANY GIVEN FLIGHT OF STAIRS, ALL STEPS SHALL HAVE UNIFORM RISER HEIGHTS AND UNIFORM TREAD WIDTHS.

HAND RAIL NOTES:
STAIRWAYS SHALL HAVE HANDRAILS AT BOTH SIDES OF ALL STAIRS.
HANDRAILS SHALL BE CONTINUOUS ALONG BOTH SIDES OF STAIRS. THE INSIDE HANDRAIL ON SWITCHBACK OR DOBLESS STAIRS SHALL ALWAYS BE CONTINUOUS.
IF HANDRAILS ARE NOT CONTINUOUS, THEY SHALL EXTEND AT LEAST 12 IN. BEYOND THE TOP RISER AND AT LEAST 12 IN. PLUS THE WIDTH OF ONE TREAD BEYOND THE BOTTOM RISER. AT THE TOP, THE EXTENSIONS SHALL BE PARALLEL WITH THE FLOOR OR GROUND SURFACE. AT THE BOTTOM, THE HANDRAIL SHALL CONTINUE TO SLOPE FOR A DISTANCE OF THE WIDTH OF ONE TREAD FROM THE BOTTOM RISER. THE REMAINDER OF THE EXTENSION SHALL BE HORIZONTAL.
THE CLEAR SPACE BETWEEN HANDRAILS AND WALL SHALL BE 1 1/2" (SEE DETAIL THIS SHEET).
GRIPPING SURFACES SHALL BE UNINTERRUPTED BY NIBBLERS, POSTS, OTHER CONSTRUCTION ELEMENTS OR OBSTRUCTIONS.
TOP OF HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34" - 38" ABOVE STAIR NOSINGS.
ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST.

STAIR DETAILS
SCALE: 3/4" = 1'-0"



STAIR HANDRAILS
SCALE: 3/16" = 1'-0"

PROJECT: 24042



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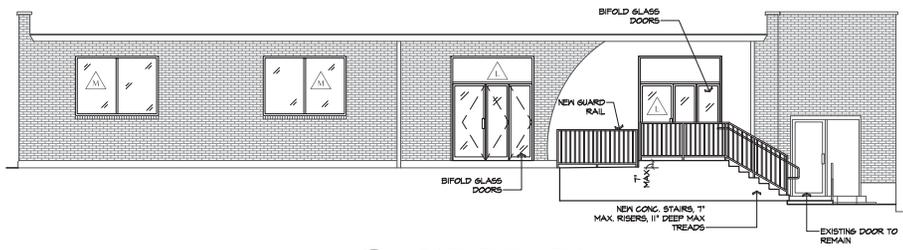
ENLARGED PLAN-DETAILS

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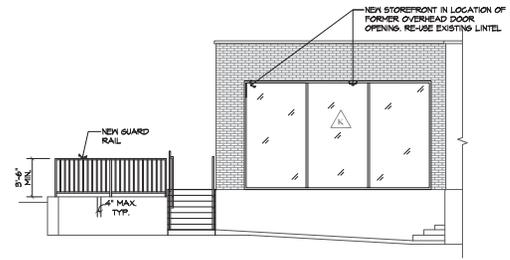
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SCALE 1/4" = 1'-0" USE ENCL. NOTED OTHERWISE

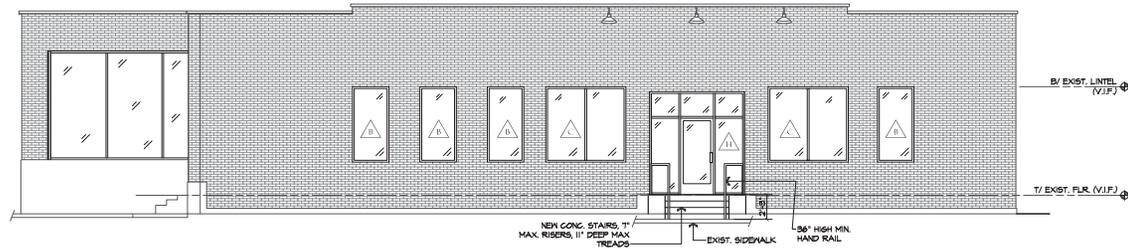
A401



1 NORTH ELEVATION
SCALE: 3/16"=1'-0"



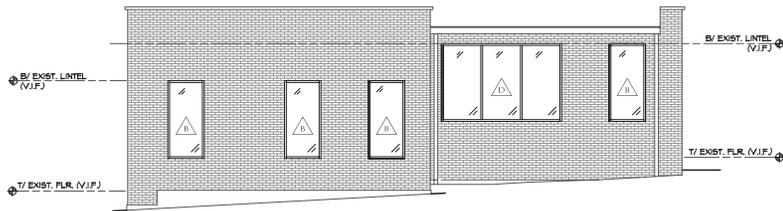
1A NORTHWEST ELEVATION
SCALE: 3/16"=1'-0"



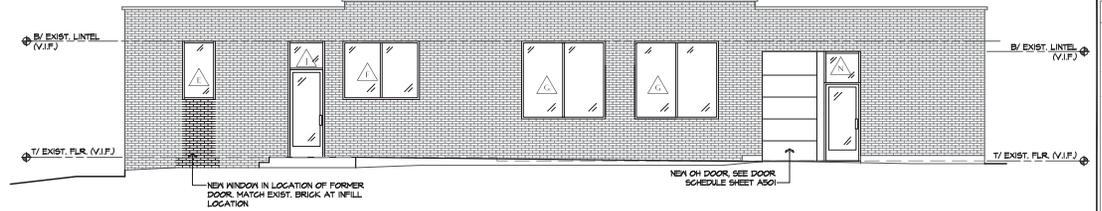
2 SOUTHWEST ELEVATION
SCALE: 3/16"=1'-0"

LINTEL NOTES

1. LINTELS SHALL BE PROVIDED FOR ALL MASONRY OPENINGS AS SHOWN ON THE DRAWINGS. IN ADDITION, LINTELS ARE REQUIRED FOR ANY MECHANICAL, ELECTRICAL, OR PLUMBING OPENINGS IN MASONRY WALLS WITH A WIDTH GREATER THAN 12".
 2. LINTELS SHALL HAVE A MINIMUM BEARING OF 8" FOR SPANS UP TO 8'-0" AND 16" FOR SPANS GREATER THAN 8'-0" UNLESS NOTED. LINTELS IN NON-LOAD BEARING WALLS SHALL BE OF THE SIZES LISTED BELOW.
 3. MASONRY LINTEL INFORMATION LEFT BLANK MEANS A LINTEL IS REQUIRED.
- | WALL SPAN | STEEL LINTEL |
|---------------|---------------------|
| 4'-0" | L 3 1/2x8 1/2x8/16 |
| 4'-0" - 8'-0" | L 3x8 1/2x8/8 (LLV) |
| 8'-0" - 8'-0" | L 8x8 1/2x8/8 (LLV) |



3 SOUTH ELEVATION
SCALE: 3/16"=1'-0"



4 EAST ELEVATION
SCALE: 3/16"=1'-0"

GENERAL NOTES

1. REFER TO WINDOW SCHEDULE ON SHEET A502 FOR WINDOW SIZES. UNLESS NOTED OTHERWISE, ALL WINDOWS WILL BE REPLACED IN EXISTING MASONRY OPENINGS. VERIFY EXISTING OPENINGS IN THE FIELD BEFORE ORDERING NEW WINDOWS.

PROJECT:
24042

STATE OF ILLINOIS
PAULA A. FRISCE
001-018643
REGISTERED ARCHITECT

216 RIVERSIDE REMODEL

216 S. RIVERSIDE AVENUE SAINT CHARLES, IL 60134

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EXTERIOR ELEVATIONS

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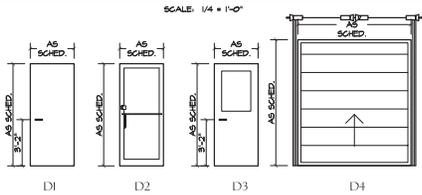
SCALE
1/4" = 1'-0"
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A301

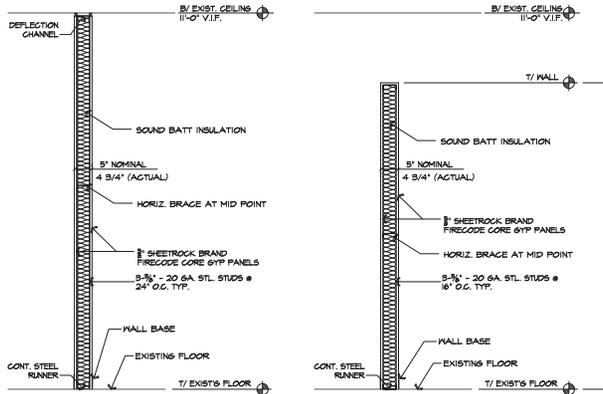
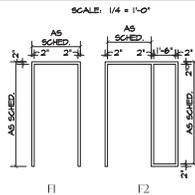
DOOR SCHEDULE, TYPES & HARDWARE

DOOR SCHEDULE												
DOOR #	SIZE	LOCATION	DOOR		FRAME		HURD	SET P	NOTES			
			TYPE	MAT.	TYPE	MAT.						
101A	8'-0" X 7'-0"	RETAIL AREA	D2	AL/GL	ANN	--	FI	AL	ANN	--	5	SWING DOOR, NARROW STYLE 2 1/2" VERTICAL FACE DIMENSIONS
101B	8'-0" X 10'-0"	RETAIL AREA	D4	STL	--	--	--	--	--	--	--	NEW ON DOOR IN EXISTING OPENING - VERIFY HEIGHT & WIDTH IN FIELD
101C	4'-8" X 7'-0"	RETAIL AREA	D8	AL/GL	ANN	--	AL	ANN	--	--	--	AL/GL BI-FOLDING DOORS WITH INSULATED/TEMPERED GLASS
101D	8'-0" X 7'-0"	RETAIL AREA	D2	AL/GL	ANN	--	FI	AL	ANN	--	5	SWING DOOR, NARROW STYLE 2 1/2" VERTICAL FACE DIMENSIONS
101E	4'-8" X 7'-0"	RETAIL AREA	D8	AL/GL	ANN	--	AL	ANN	--	--	--	AL/GL BI-FOLDING DOORS WITH INSULATED/TEMPERED GLASS
101F	8'-0" X 7'-0"	RETAIL AREA	D2	AL/GL	ANN	--	FI	AL	ANN	--	5	
102	8'-0" X 7'-0" X 1-3/4"	OPEN OFFICE	D1	PD	STN	--	F2	HM	PNT	--	2	
105	8'-0" X 7'-0" X 1-3/4"	RESTROOM #1	D1	PD	STN	--	FI	HM	PNT	--	4	
107	8'-0" X 7'-0" X 1-3/4"	RESTROOM #3	D1	PD	STN	--	FI	HM	PNT	--	4	
108A	8'-0" X 7'-0" X 1-3/4"	KITCHENETTE	D8	PD	STN	--	FI	HM	PNT	--	1	
108B	8'-0" X 7'-0" X 1-3/4"	KITCHENETTE	D1	PD	STN	--	FI	HM	PNT	--	2	
104	8'-0" X 7'-0" X 1-3/4"	ENTRY	D2	AL/GL	ANN	--	FI	AL	ANN	--	5	SWING DOOR, NARROW STYLE 2 1/2" VERTICAL FACE DIMENSIONS
110	8'-0" X 7'-0" X 1-3/4"	OPEN OFFICE	D9	PD	STN	--	FI	HM	PNT	--	2	
111	8'-0" X 7'-0" X 1-3/4"	OFFICE #1	D1	PD	STN	--	FI	HM	PNT	--	2	
112	8'-0" X 7'-0" X 1-3/4"	OFFICE #2	D1	PD	STN	--	FI	HM	PNT	--	2	
113	8'-0" X 7'-0" X 1-3/4"	OFFICE #3	D1	PD	STN	--	FI	HM	PNT	--	2	
114	8'-0" X 7'-0" X 1-3/4"	OFFICE #4	D1	PD	STN	--	FI	HM	PNT	--	2	
115	8'-0" X 7'-0" X 1-3/4"	OFFICE #5	D1	PD	STN	--	FI	HM	PNT	--	2	
116	8'-0" X 8'-0" X 1-3/4"	BATH RECEIPTION	D2	AL/GL	ANN	--	FI	AL	ANN	--	5	
117A	8'-0" X 7'-0" X 1-3/4"	IT CLOSET	D1	PD	STN	--	FI	HM	PNT	--	1	
120	8'-0" X 7'-0" X 1-3/4"	RESTROOM #2	D1	PD	STN	--	FI	HM	PNT	--	4	SWING DOOR, NARROW STYLE 2 1/2" VERTICAL FACE DIMENSIONS

DOOR TYPES



FRAME TYPES



A WALL TYPE A
SCALE: 3/4" = 1'-0"

B WALL TYPE B
SCALE: 3/4" = 1'-0"

C WALL TYPE C
SCALE: 3/4" = 1'-0"

HARDWARE SETS	HARDWARE ELEMENT DESCRIPTIONS
SET 1. TYP. PASSAGE SET 1 LATCH SET 1 FRAME IV SILENCERS 1 BUTT HINGE SET 1 WALL MOUNTED DOOR STOP	HINGES MANUFACTURER: BOHMER FINISH: 652 MODEL: 885000 4 3/8" X 4 3/8" ACCEPTABLE MANUFACTURERS: BOHMER, HAGER, IVS
SET 2. TYP. ENTRANCE/OFFICE LOCKSET 1 KEYPED LATCH SET 1 FRAME IV SILENCERS 1 BUTT HINGE SET 1 WALL MOUNTED DOOR STOP	GLOSERS WITH HOLD OPEN MANUFACTURER: DORMA FINISH: 684 MODEL: 8846 PH RESULVAR ARM OR FHP PARALLEL ARM ACCEPTABLE MANUFACTURERS: DORMA, LCA, NORTON
SET 3. TYP. ENTRANCE LOCKSET 1 LATCH SET 1 FRAME IV SILENCERS 1 BUTT HINGE SET 1 WALL MOUNTED DOOR STOP	LEVER SETS MANUFACTURER: SCHLAGE COMMERCIAL GRADE 2 JUPITER PASSAGE DOOR FINISH: 1026D VERIFY LEVER STYLE AND FINISH WITH TENANT BEFORE ORDERING
SET 4. TYP. PRIVACY WASHROOM LOCKSET 1 PRIVACY LATCH SET 1 FRAME IV SILENCERS 1 BUTT HINGE SET	LOCK SET MANUFACTURER: SCHLAGE COMMERCIAL GRADE 2 JUPITER KEYPED ENTRANCE/OFFICE DOOR FINISH: 1026D VERIFY LEVER STYLE AND FINISH WITH TENANT BEFORE ORDERING
SET 5. EXTERIOR ALUMINUM ENTRY/EGRESS DOOR 1 FULL BAR 1 FRANG EXIT DEVICE PADDLE HANDLE 1 FRAME IV SILENCERS 1 BUTT HINGE SET OR PIVOTS 1 EXPOSED OVERHEAD CLOSER 1 THRESHOLD FOR FLOOR MATERIAL TRANSITION 1 WEATHER-STRIPPING & SWEEP	EXIT DEVICES TYPE: PUSH PADDLE MANUFACTURER: GLOBAL DOOR CONTROLS (OR EQ) - TH100-PUSH-DU
SET 6. HOLLOW METAL EXTERIOR DOOR 1 SET BALL BEARING BUTT HINGES IV 1 NON-RISING PIN 1 SURFACE MOUNTED CLOSER 1 FRAME IV SILENCERS 1 WALL MOUNTED DOOR STOP 1 THRESHOLD FOR FLOOR MATERIAL TRANSITION 1 WEATHER-STRIPPING & SWEEP 1 LATCH GUARD 1 DRIP CAP	WALL STOP MOUNTING: SURFACE FINISH: 608 MANUFACTURER: HANATHA MODEL: KD17 X 718 ACCEPTABLE MANUFACTURERS: HANATHA, ROCKWOOD, TRINCO
	PUSH PLATES MOUNTING: SURFACE MANUFACTURER: HAGER 505 SQ. CORNER BEVELED PUSH PLATE FINISH: 1026D
	DOOR PULL MANUFACTURER: HAGER IE FINISH: 1026D
	THRESHOLDS MOUNTING: SURFACE FINISH: 628 MANUFACTURER: PEKKO MODEL: ITA X 5" WIDE X 1/2" HIGH X 95#/5/5 ACCEPTABLE MANUFACTURERS: PEKKO, KN CROWDER, NSP
	KICK PLATES MOUNTING: SURFACE FINISH: 1026D MANUFACTURER: HAGER MODEL: H445 - 10" HIGH
	HEADJAMB SEALS MOUNTING: COLOR MANUFACTURER: PEKKO MODEL: 5853 ACQUASTICAL ACCEPTABLE MANUFACTURERS: PEKKO, KN CROWDER, NSP
	DOOR SILENCERS MOUNTING: COLOR MANUFACTURER: GREY MODEL: HANATHA 601 (FOR HOLLOW METAL FRAME)
	LEAD LINED ROTON HINGE MANUFACTURER: HAGER MODEL: 180 SERIES CONCEALED LEAF 180-112LL 85" LENGTH

DOOR AND FRAME ABBREVIATION KEY

- PD = WOOD DOOR (BIRCH)
- STN = STAIN (COLOR TED)
- GL = GLASS
- PNT = PAINT (SEE FINISH PLAN SHEET A22)
- HM = HOLLOW METAL
- AL/GL = ALUMINUM/GLASS
- ANN = ANODIZED ALUMINUM

DOOR GENERAL NOTES:

1. DOOR HARDWARE SHALL BE CAPABLE OF OPERATION WITH THE USE OF ONE (1) HAND AND SHALL NOT REQUIRE TIGHT PINCHING, TIGHT GRASPING OR TWISTING OF THE WRIST TO OPERATE. THUMB TURN DEADBOLTS ARE PROHIBITED. LEVER OR PADDLE DEADBOLT RELEASES ARE ACCEPTABLE. DOOR THRESHOLD SHALL NOT EXCEED ONE-HALF (1/2") IN HEIGHT. THRESHOLDS EXCEEDING ONE-QUARTER (1/4") IN HEIGHT SHALL HAVE A 1/2" BEVEL. DOOR GLOSERS SHALL MEET OPENING FORCE AND SWEEP PERIOD REQUIREMENTS. INTERIOR HINGED DOORS SHALL HAVE A 5 LB FORCE FOR PUSHING OR PULLING OPEN.

DOOR AND FRAME NOTES:

1. PROVIDE ALL HM DOORS WITH (1) COAT PRIMER & (2) COATS PAINT.
2. ALL DOORS AND FRAMES TO BE REINF. & PREPARED FOR HARDWARE.
3. ALL EXTERIOR DOORS SHALL BE PROVIDED WITH WEATHER STRIPPINGS.
4. ALL DOOR THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT.
5. ALL DOORS SHALL MEET ADA REQUIREMENTS.
6. ALL HM DOORS SHALL BE 16 GA. (MIN.)
7. ALL HELPED FRAMES SHALL BE 16 GA. (MIN.)
8. ALL SIGNAGE TO BE MOUNTED AT ADA HEIGHT.
9. PROVIDE GASKETING AT ALL DOOR FRAMES, WINDOWS AND WHERE NOTED ON PLANS WITH OWNER BEFORE ORDERING.
10. HARDWARE SCHEDULE TO BE SUPPLIED BY HARDWARE SUPPLIER FOR A/E REVIEW.
11. VERIFY ALL HARDWARE KEYING, FINISHES WITH OWNER BEFORE ORDERING.
12. HM DOOR & FRAME MANUFACTURER TO BE GURRIES', STEEL CRAFT' OR EQUAL.
13. EXTERIOR HM DOORS AND FRAMES TO BE INSULATED.
14. EXTERIOR HM DOORS AND FRAMES TO BE INSULATED.
15. PROVIDE DOOR JAMB SILENCERS TYPICAL ALL METAL DOOR FRAMES.
16. VERIFY DOOR UNDERCUT & GRILLE REQUIREMENTS WITH HVAC. REQUIREMENTS BEFORE ORDERING.
17. DOOR GLOSERS SHALL MEET OPENING FORCE AND SWEEP PERIOD REQUIREMENTS.
18. ALL MEANS OF EGRESS DOORS TO BE KEYLESS IN THE DIRECTION OF EGRESS AND OPERATE WITHOUT THE USE OF ANY SPECIAL KNOWLEDGE OR TOOLS.

PROJECT: 24042

216 RIVERSIDE REMODEL
 216 S. RIVERSIDE AVENUE SAINT CHARLES, IL 60134

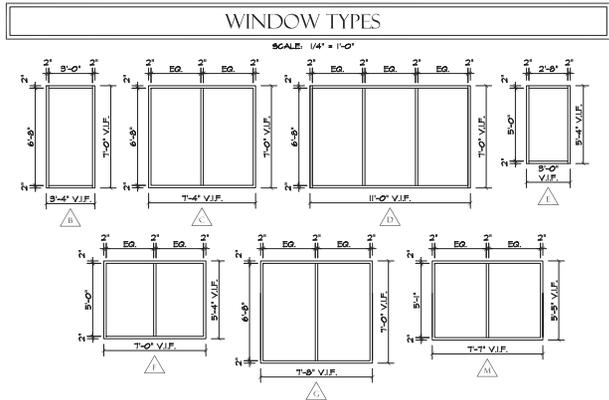
BATIR
 BATIR ARCHITECTURE LTD.
 1121 E. MAIN ST. SUITE 220 ST. CHARLES, IL 60134
 PHONE: 618-251-5599
 WWW.BATIRARCH.COM

DOOR & HARDWARE SCHEDULES, WALL TYPES

ISSUED:
 08-30-24 ISSUED FOR REVIEW
 11-11-24 ISSUE FOR REVIEW
 12-27-24 ISSUE FOR PERMIT

SCALE
 1/4" = 1'-0"
 UNLESS NOTED OTHERWISE
A501

WINDOW SCHEDULE												
WINDOW MARKS	SIZES			WINDOW FRAMES			GLAZING TYPE			FRC RATING (HR)	REMARKS	
	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISHES	OPERATION	TYPE	TYPE	TYPE			
				ALUMINUM	BRUSHED METAL		FIXED	DOUBLE GLAZE	LOW E	1/2" CLEAR		
				ALUMINUM	BRUSHED METAL		SLIDER	DOUBLE GLAZE	LOW E	1/2" CLEAR		
				ALUMINUM	BRUSHED METAL		SWING	DOUBLE GLAZE	LOW E	1/2" CLEAR		
				ALUMINUM	BRUSHED METAL		PIVOT	DOUBLE GLAZE	LOW E	1/2" CLEAR		
				ALUMINUM	BRUSHED METAL		PIVOT	DOUBLE GLAZE	LOW E	1/2" CLEAR		
				ALUMINUM	BRUSHED METAL		PIVOT	DOUBLE GLAZE	LOW E	1/2" CLEAR		
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				ALUMINUM	BRUSHED METAL		PIVOT	DOUBLE GLAZE	LOW E	1/2" CLEAR		



- WINDOW NOTES
1. FINISH: SEE SCHEDULE
 2. GLAZING: SEE SCHEDULE
 3. INSTALLER QUALIFICATIONS: AN INSTALLER WHO HAS HAD SUCCESSFUL EXPERIENCES WITH INSTALLATION OF THE SAME OF SIMILAR UNITS REQUIRED FOR THIS PROJECT AND OTHER PROJECTS OF SIMILAR SIZE AND SCOPE.
 4. OBTAIN ALUMINUM WINDOWS THROUGH ONE SOURCE FROM A SINGLE MANUFACTURER.
 5. DRAWINGS INDICATE SIZE, PROFILES AND DIMENSIONAL REQUIREMENTS OF ALUMINUM WINDOWS AND ARE BASED UPON THE SPECIFIC SYSTEM INDICATED. DO NOT MODIFY SIZE AND DIMENSIONAL REQUIREMENTS EXCEPT WITH THE APPROVAL OF THE ARCHITECT.
 6. PROVIDE SAMPLES FOR VERIFICATION. FOR ALL ALUMINUM WINDOWS AND COMPONENTS REQUIRED.
 7. FIELD MEASUREMENTS: VERIFY ALUMINUM WINDOW OPENINGS BY FIELD MEASUREMENTS BEFORE FABRICATION AND INDICATE MEASUREMENTS ON SHOP DRAWINGS.
 8. SHOP DRAWINGS: INCLUDE FLANG ELEVATIONS, SECTIONS, DETAILS, HARDWARE, ATTACHMENT TO OTHER WORK, OPERATIONAL CLEARANCES AND INSTALLATION DETAILS.
 9. SUBMIT FOR OWNER'S ACCEPTANCE, MANUFACTURER'S STANDARD WARRANTY, WARRANTY PERIOD: TWO YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT PROVIDED HOWEVER THAT THE LIMITED WARRANTY SHALL BEGIN IN NO EVENT LATER THAN SIX MONTHS FROM THE DATE OF SHIPMENT BY THE MANUFACTURER.
 10. TEMPERED GLASS IS REQUIRED ABUTTING ALL DOORS.
 11. TEMPERED GLASS IS REQUIRED WITHIN 24" VERTICAL OF ALL WALKWAYS.



216 RIVERSIDE REMODEL
216 S. RIVERSIDE AVENUE SAINT CHARLES, IL 60174

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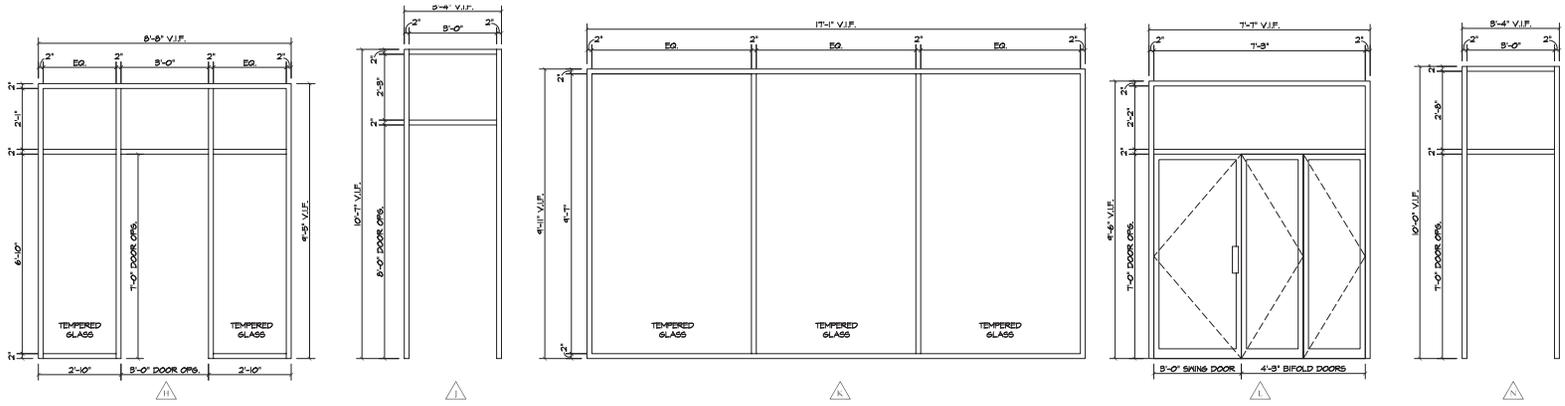
WINDOW SCHEDULES

ISSUED:
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11-11-24
12-27-24

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SCALE
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UNLESS NOTED OTHERWISE

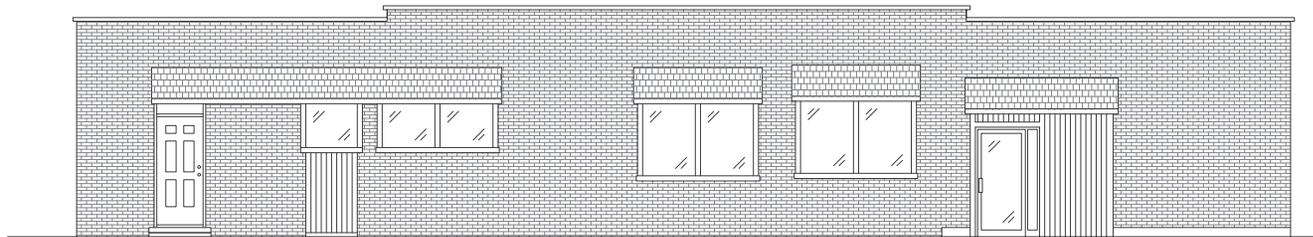
A502



1 STOREFRONT ELEVATIONS
SCALE: 1/2" = 1'-0"



1 EXISTING WEST ELEVATION
SCALE: 1/8"=1'-0"



2 EXISTING EAST ELEVATION
SCALE: 1/8"=1'-0"

216 RIVERSIDE ELEVATIONS

SCALE: 1/8"=1'-0"

LOCATION: 216 S. RIVERSIDE AVE.
ST. CHARLES, IL 60174

PLAN #: 1
PROJECT#: 24042

BÂTIR
DESIGN • BUILD • SUSTAINABLE SOLUTIONS

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Recent Photos – 216-218 Riverside Ave

West Elevation (Riverside)



North Elevation



East Elevation (2nd Ave.)



South Elevation (Indiana)





ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
ST. CHARLES CENTRAL DISTRICT
ST. CHARLES, ILLINOIS

DIXON ASSOCIATES / ARCHITECTS

ARCHITECTURAL INTEGRITY

	1	2	3
<input type="checkbox"/> Unaltered	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Minor Alteration	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Major Alteration	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Additions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sensitive to original	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Insensitive to original	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

1: first floor; 2: upper floors; 3: roof/cornice

ARCHITECTURAL SIGNIFICANCE

- Significant
- Contributing
- Non-Contributing

BUILDING CONDITION

- Excellent: Well-maintained
- Good: Minor maintenance needed
- Fair: Major repairs needed
- Poor: Deteriorated

ARCHITECTURAL DESCRIPTION

Style: Utilitarian

Date of Construction: 1900-1920

Source: A Field Guide to American Architecture

Features:

Former daily building of brick, one story with wood tower and brick chimney.



Address:

216-218 South 1st Avenue

Representation in Existing Surveys:

- Federal
- State
- County
- Local

Block No. 57

Building No. 1

SURVEY DATE:

MAY 1994

ROLL NO. 7

NEGATIVE NO. 3



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
ST. CHARLES CENTRAL DISTRICT
ST. CHARLES, ILLINOIS

DIXON ASSOCIATES / ARCHITECTS

CONTINUATION SHEET NO: 1



Address:

216-218 South 1st Avenue

Remarks:

South Elevation.

Block No. 57

Building No. 1

ROLL NO. 7

NEGATIVE NO. 2



Address:

216-218 South 1st Avenue

Remarks:

East Elevation.

Block No. 57

Building No. 1

ROLL NO. 6

NEGATIVE NO. 36