

**CITY OF ST. CHARLES  
HISTORIC PRESERVATION COMMISSION  
KIMBERLY MALAY, CHAIR**

**WEDNESDAY, October 1, 2025 – 7:00 P.M.  
COUNCIL CHAMBERS  
2 E. MAIN ST., ST. CHARLES, IL 60174**

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Agenda**
- 4. Presentation of minutes of the September 10, 2025 meeting**
- 5. Certificate of Appropriateness (COA) applications**
  - a. 504 E Main Street**
  - b. 213 S 3<sup>rd</sup> Street**
- 6. Grant Applications**
- 7. Landmark Applications**
- 8. Preliminary Reviews-** Open forum for questions or presentation of preliminary concepts to the Commission for feedback
- 9. Other Commission Business**
  - a. New District update**
  - b. New Ordinance update**
- 10. Public Comment**
- 11. Additional Business and Observations from Commissioners or Staff**
- 12. Meeting Announcements: October 15, 2025**
- 13. Adjournment**

***ADA Compliance***

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TTY), or via e-mail at [jmcmahon@stcharlesil.gov](mailto:jmcmahon@stcharlesil.gov). Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).

**MINUTES  
CITY OF ST. CHARLES  
HISTORIC PRESERVATION COMMISSION  
WEDNESDAY, SEPTEMBER 10, 2025**

**Members Present:** Rice, Smunt, Kessler, Pretz, Malay

**Members Absent:**

**Also Present:** Emma Field, City Planner

**1. Call to Order**

Ms. Malay called the meeting to order at 5:00 P.M.

**2. Roll Call**

Ms. Emma Field called Roll with five members present. There was a quorum.

**3. Walking tour of Pottawatomie District**

**a. To depart from NW Corner of 2<sup>nd</sup> Ave and Park Ave**

The Commissioners took a walk around the area that will be considered for the next Historic Preservation District. This area walked was north on N 2<sup>nd</sup> Ave to North Ave, east on North Ave to N 3<sup>rd</sup> Ave, south on N 3<sup>rd</sup> Ave to Fulton Ave, east on Fulton Ave to N 5<sup>th</sup> Ave, south on N 5<sup>th</sup> Ave to Park Ave, and then west on Park Ave back to N 2<sup>nd</sup> Ave.

The Commission discussed the different homes and what has been done to them over the years. Non-contributing vs contributing vs landmarked homes were discussed. Ms. Field said that the ratings were in the final report packet done by the consultant for the greater Pottawatomie District. The many landmark homes in the area were noted as positive and will help to establish a new district.

After the walk, the Commission discussed steps forward such as chatting with residents about the new district as well as discussing with the Alderpersons to have good communication up front on the importance of a new district. The plan is to have a proactive approach with the Commission, City, and residents of the area.

Kelsey Shipton from Preservation Partners of the Fox Valley was in attendance and gave her expertise of outreach and education when it comes to communicating with neighbors and Alderpersons about a new district.

**4. Adjournment**

With no further business to discuss, the meeting adjourned at 6:39 P.M.

**MINUTES  
CITY OF ST. CHARLES  
HISTORIC PRESERVATION COMMISSION  
WEDNESDAY, SEPTEMBER 10, 2025**

**Members Present:** Rice, Smunt, Kessler, Pretz, Malay

**Members Absent:**

**Also Present:** Emma Field, City Planner

**1. Call to Order**

Ms. Malay called the meeting to order at 7:00 P.M.

**2. Roll Call**

Ms. Emma Field called Roll with five members present. There was a quorum.

**3. Approval of Agenda**

**A motion was made by Ms. Rice and seconded by Mr. Pretz with a unanimous voice vote to approve the agenda.**

**4. Presentation of minutes of the August 20, 2025 meeting**

**A motion was made by Mr. Pretz and seconded by Dr. Smunt with a unanimous voice vote to approve the Minutes as submitted.**

**5. Certificate of Appropriateness (COA) applications**

**a. 720 Prairie Street**

Ms. Amy Petrek, property owner, presented the COA to replace elements of the front porch, stairs, and the front basement windows on home at 720 Prairie Street.

Commission made suggestions on materials to be used on the porch and stairs.

**A motion was made by Mr. Pretz and seconded by Ms. Rice with a unanimous voice vote to approve the COA for 720 Prairie Street as presented.**

**b. 314 W Main Street**

Mr. Al Justiniano, property owner, presented the COA to replace metal stairs at 314 W Main Street.

Commission questioned the handrail replacement and the pattern of the steps. Mr. Justiniano confirmed that the current handrails will be re-used, and the steps will have a diamond plate pattern.

Commission asked about the color of steps and cinder block sides of the steps. Mr. Justiniano stated the stairs will be black and the sides will be repainted red.

**A motion was made by Dr. Smunt and seconded by Mr. Kessler with a unanimous voice vote to approve the COA for 314 W Main Street as submitted.**

**c. 11 S 2<sup>nd</sup> Avenue**

Mr. Curt Hurst, Property Owner, presented the COA for exterior remodel at 11 S 2<sup>nd</sup> Avenue. The remodel will consist of adding a staircase and door to the southwest part of the building, replacing windows on the west elevation of the building, removing an entrance door on the north part of the building, adding a new patio to replace parking spaces with a knee wall and a 3 foot fence, adding new fabric awnings, refurbish existing awnings on the north side, tuckpointing/repair brick, and adding a new door to the north side of the building.

Commission made suggestions of adding an awning on the south side building entrance. Mr. Hurst responded they had talked about doing that but decided not to add at this time.

Commission questioned the awning location on the east side of the building which has historically been the storefront. Mr. Hurst confirmed the architectural lion detail will be seen when patrons walk under the awning.

**A motion was made by Mr. Pretz and seconded by Dr. Smunt with a unanimous voice vote to approve the COA for 11 S 2<sup>nd</sup> Avenue as submitted.**

**d. 216 Riverside Avenue**

Mr. Curt Hurst, Property Owner, presented the COA to add fabric awnings above the entrances at 216 Riverside Avenue, add a 6-foot-tall metal trash enclosure to the southeast corner of the lot and add handrails to the east elevation.

Commission discussed the trash enclosure to be placed on the southeast corner of the building property, asking what color the metal will be. Mr. Hurst stated he has not made a final determination on color but would like to keep it similar to the brick color of the building.

**A motion was made by Mr. Kessler and seconded by Mr. Pretz with a unanimous voice vote to approve the COA for 11 S 2<sup>nd</sup> Avenue as submitted.**

**6. Grant Applications**

**a. 720 Prairie Street**

Commission discussed the grant application for 720 Prairie Street, commenting this is an appropriate request. The homeowners are increasing the integrity of their home with this work.

**A motion was made by Dr. Smunt and seconded by Mr. Pretz with a unanimous voice vote to recommend approval of the grant application for 720 Prairie Street.**



**b. 304 Chestnut Avenue – change from noncontributing to contributing.**

Ms. Field opened discussion that 304 Chestnut Ave had received a grant for windows and had previously come in for a COA for a bigger exterior renovation project including windows, doors, front porch, a new dormer, railings. Looking for confirmation from Commission if they are okay with changing the home from noncontributing to contributing.

Commission discussed they will decide if the home is contributing after the work is completed.

**A motion was made by Mr. Kessler and seconded by Ms. Rice with a unanimous voice vote to table discussion until work has been completed at 304 Chestnut Ave.**

**7. Landmark Applications**

None.

**8. Preliminary Reviews-** Open forum for questions or presentation of preliminary concepts to the Commission for feedback

None.

**9. Other Commission Business**

**a. New District walk recap**

Ms. Malay summarized the area the Commission walked earlier and the plan for the new district. Mr. Kessler added this area is contiguous to the Central Historic District.

Dr. Smunt suggested creating a map showing the proposed boundaries as well as landmarked, contributing, and non-contributing structures.

**b. Painting Porous Surface Ordinance recap**

Ms. Field commented on meeting with Ms. Malay, Ms. Rice, and Sue McDowell from the Arts Council. Painting will not require a building permit but will require a COA.

Mr. Pretz questioned the repair of murals and outdated murals. Ms. Field advised if it is starting to break down it would be covered under Property Maintenance Code.

**10. Public Comment**

None.


**11. Additional Business and Observations from Commissioners or Staff**

None.

**12. Meeting Announcements: Historic Preservation Commission meeting Wednesday, September 17, 2025 at 7:00 P.M.**

**13. Adjournment**

With no further business to discuss, the meeting adjourned at 8:03 P.M.

	HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
	Agenda Item Title/Address:	COA: 504 W Main St		
	Significance:	Contributing		
	Petitioner:	Joe Freeman		
	Project Type:	Stairs and Concrete Work		
	PUBLIC HEARING		MEETING 10/1/2025	X
<b>Agenda Item Category:</b>				
	Preliminary Review		Grant	
X	Certificate of Appropriateness (COA)		Other Commission Business	
	Landmark/District Designation		Commission Business	
<b>Attached Documents:</b>		<b>Additional Requested Documents:</b>		
COA application, plans				
<b>Project Description:</b>				
<ul style="list-style-type: none"> <li>Requesting to replace concrete around half of the building. There will also be concrete work on both the front staircase along Main St and 5<sup>th</sup> Ave as well as the back stairway, replacing the brick with concrete.</li> </ul>				
<b>Staff Comments:</b>				
<b>Recommendation / Suggested Action:</b>				
<ul style="list-style-type: none"> <li>Provide feedback and recommendation on approval of the COA</li> </ul>				

**APPLICATION FOR COA REVIEW**  
**HISTORIC PRESERVATION "CERTIFICATE OF APPROPRIATENESS"**



COMMUNITY DEVELOPMENT DEPARTMENT / CITY OF ST. CHARLES

[CD@STCHARLESIL.GOV](mailto:CD@STCHARLESIL.GOV) / (630) 377-4443

To be filled out by City Staff

Permit #: 225 - 01554 Date Submitted: 9/11/25 COA # \_\_\_\_\_ Admin. Approval: \_\_\_\_\_

**APPLICATION INFORMATION**

Address of Property: 504 E MAIN ST

Use of Property: ☒ Commercial, business name: \_\_\_\_\_

☒ Residential ☐ Other: \_\_\_\_\_

**Project Type:**

☒ Exterior Alteration/Repair

☐ Windows

☐ Doors

☐ Siding - Type: \_\_\_\_\_

☐ Masonry Repair

☒ Other CONCRETE

☐ Awnings/Signs

☐ New Construction

☐ Primary Structure

☐ Additions

☐ Deck/Porch

☐ Garage/Outbuilding

☐ Other \_\_\_\_\_

☐ Demolition

☐ Primary Structure

☐ Garage/Outbuilding

☐ Other \_\_\_\_\_

☐ Relocation of Building

**RECEIVED**  
SEP 11 2025

Building & Code Enforcement  
St. Charles, IL

**Description:**

REPLACE SIDEWALK 2 WALLS W 4 STEPS  
{ AT ENTRANCES TO BASEMENT REMOVE BRICK REPLACE  
W CONCRETE W 3 STEPS

**Applicant Information:**

Name (print): MARTIN LOPEZ

Address: 117 WILLOW RD STREAMWOOD

Phone: 847-353-2763

Email: MLOPEZCONCRETE @ YAHOO

Applicant is (check all that apply):

☐ Property Owner

☐ Business Tenant

☐ Project contractor

☐ Architect/Designer

**Property Owner Information (if not the Applicant)**

Name (print): JDE FREEMAN

Address: 504 E MAIN ST

Signature: [Signature]

**APPLICANT/AUTHORIZED AGENT SIGNATURE**

I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA General Conditions.

Signature: [Signature] Date: 9/11/25

IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS;

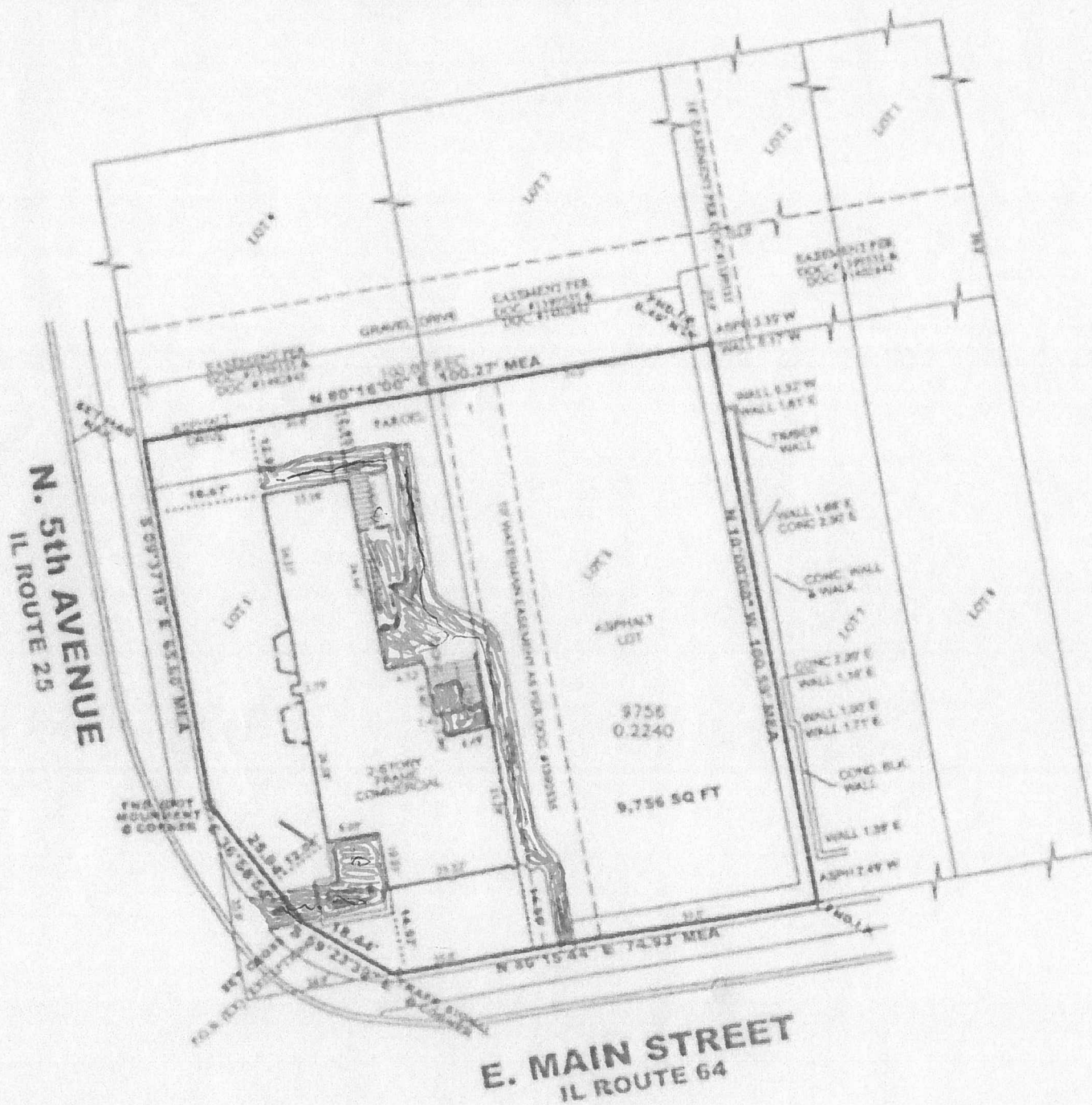
AND

OVER THE SOUTHERLY 20 FEET OF LOTS 1 AND 2 EXCEPT THE WESTERLY 22 FEET OF SAID LOT 2 ALL IN BLOCK 8 OF ORIGINAL TOWN OF ST. CHARLES, ON THE EAST SIDE OF FOX RIVER, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS;

AND

OVER THE WESTERLY 18 FEET OF LOTS 1 AND 2 EXCEPT THE WESTERLY 22 FEET OF SAID LOT 2 ALL IN BLOCK 8 OF ORIGINAL TOWN OF ST. CHARLES, ON THE EAST SIDE OF FOX RIVER, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS

COMMONLY KNOWN AS: 504 E. MAIN STREET, ST. CHARLES, ILLINOIS



IRON ROD  
IRON PIPE



STATE OF ILLINOIS  
S.S.  
COUNTY OF KANE  
WE, DALE FLOYD LAND SURV  
PROFESSIONAL DESIGN FIR  
DO HEREBY CERTIFY THAT  
PROPERTY HAS BEEN SURV





# M. López Concrete, Inc.

117 Willow Rd.

Streamwood, IL 60107

(847) 363-2763

[mlopezconcrete@yahoo.com](mailto:mlopezconcrete@yahoo.com)

OWNER'S NAME JOE FREEMAN

ADDRESS 504 E MAIN ST

CITY ST CHARLES

TELEPHONE 630-675-9937

E-MAIL \_\_\_\_\_

DATE \_\_\_\_\_

- ☒ 4"/6" CONCRETE ☒ WIRE MESH ☐ REBARS  
☒ 3"/4" GRAVEL ☐ CALIFORNIA STYLE ☐ FIBER MESH  
☒ 6 BAGS MIX ☐ STAMPING CONCRETE  
☐ COLOR \_\_\_\_\_ ☐ RELEASE \_\_\_\_\_

<input type="checkbox"/> CONCRETE	<div>Remove } Replace CONCRETE SIDEWALKS Remove } Replace 2 WALLS LEADING TO THE BASEMENT w 4 STEPS OTHER ENTRANCE TO THE BASEMENT REMOVE BRICK FLOOR Replace w CONCRETE - <del>Underground basement entry</del> REMOVE } REPLACE 2 LANDING w STEPS LEADING TO public SIDEWALK</div>
<input type="checkbox"/> DRIVEWAY	
<input type="checkbox"/> PATIO	
<input type="checkbox"/> APRON	
<input type="checkbox"/> PRIVATE WALK	
<input type="checkbox"/> STEPS	
<input type="checkbox"/> STOOP/PORCH	
<input type="checkbox"/> FOUNDATION	
<input type="checkbox"/> GARAGE FLOOR	
<input type="checkbox"/> CURB	
<input type="checkbox"/> PUBLIC WALK	
<input type="checkbox"/> OTHER	
<input type="checkbox"/> PERMITS OBTAINED BY OWNER <input checked="" type="checkbox"/> PERMITS OBTAINED BY M. LOPEZ CONCRETE	

WE PROPOSE Hereby to provide all labor and material to complete the project as stated herein for the sum

of \$ 13,400 dollars.

M. Lopez Concrete, Inc. by its authorized representative: Mat Lopez

ACCEPTANCE OF PROPOSAL, The above prices, specifications and conditions, are hereby accepted by owner.

Owner's Signature: \_\_\_\_\_ Date: 9/11/25



## Current Photos

















# ARCHITECTURAL SURVEY

## CENTRAL HISTORIC DISTRICT

### ST. CHARLES, ILLINOIS

ST. CHARLES HISTORIC PRESERVATION COMMISSION

#### Primary Structure

ADDRESS 504 E Main St

1994 Photo

Roll: 15

Negative: 33, 26

Photo: Aug. 2003



#### ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

#### BUILDING CONDITION

- ☒ Excellent
- ☐ Good
- ☐ Fair
- ☐ Poor

#### ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Greek Revival</u>	Exterior Walls (Current):	_____
Architectural Features:	_____	Exterior Walls (Original):	_____
Date of Construction:	<u>1840s</u>	Foundation:	_____
Source:	<u>St. Charles Historical Museum</u>	Roof Type/Material:	_____
Overall Plan Configuration:	_____	Window Material/Type:	_____

**ARCHITECTURAL FEATURES:** Front gable two story structure in Greek Revival style with Italianate influences in the decorative eave brackets. Enclosed wrap around porch at first level.

**ALTERATIONS:** Major alteration to first floor. Additions to first and second floors.





# ARCHITECTURAL SURVEY

## CENTRAL HISTORIC DISTRICT

### ST. CHARLES, ILLINOIS

ST. CHARLES HISTORIC PRESERVATION COMMISSION

Continuation Sheet

#### HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

Source

#### REPRESENTATION IN EXISTING SURVEYS:


FEDERAL:

STATE:

COUNTY:

LOCAL:



	HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
	<b>Agenda Item Title/Address:</b>	COA: 213 S 3 <sup>rd</sup> St		
	<b>Significance:</b>	Contributing per survey, Significant per Commission		
	<b>Petitioner:</b>	Luis Rodriquez		
	<b>Project Type:</b>	Rear deck		
	<b>PUBLIC HEARING</b>		<b>MEETING 10/1/2025</b>	<b>X</b>
Agenda Item Category:				
	Preliminary Review		Grant	
X	Certificate of Appropriateness (COA)		Other Commission Business	
	Landmark/District Designation		Commission Business	
Attached Documents:		Additional Requested Documents:		
COA application, plans				
Project Description:				
<ul style="list-style-type: none"> <li>Requesting to replace rear deck and steps with composite (Timbertech in the color of ashwood); railing will also be replaced with aluminum.</li> </ul>				
Staff Comments:				
Recommendation / Suggested Action:				
<ul style="list-style-type: none"> <li>Provide feedback and recommendation on approval of the COA</li> </ul>				

**APPLICATION FOR COA REVIEW**  
**HISTORIC PRESERVATION "CERTIFICATE OF APPROPRIATENESS"**



COMMUNITY DEVELOPMENT DEPARTMENT / CITY OF ST. CHARLES

CD@STCHARLESIL.GOV / (630) 377-4443

To be filled out by City Staff

Permit # 2025-01627 Date Submitted: 9/23/25 COA # \_\_\_\_\_ Admin. Approval: \_\_\_\_\_

**APPLICATION INFORMATION**

Address of Property: 213 S. 3rd St. St. Charles, IL 60174

Use of Property: ☒ Commercial, business name: Valentine Insurance Agency

☐ Residential ☐ Other: \_\_\_\_\_

**Project Type:**

☐ Exterior Alteration/Repair

☐ Windows

☐ Doors

☐ Siding - Type: \_\_\_\_\_

☐ Masonry Repair

☐ Other \_\_\_\_\_

☐ Awnings/Signs

☐ New Construction

☐ Primary Structure

☐ Additions

☒ Deck/Porch

☐ Garage/Outbuilding

☐ Other \_\_\_\_\_

☐ Demolition

☐ Primary Structure

☐ Garage/Outbuilding

☐ Other \_\_\_\_\_

☐ Relocation of Building

**RECEIVED**

**SEP 23 2025**

**City of St. Charles  
Community Development**

**Description:**

Replacing current material of decking with composite using TimberTech, color ashwood, replacing railing with aluminum material and replacing stairs of deck to composite as well.

**Applicant Information:**

Name (print): Luis Rodriguez

Address: 1070 Dundee Ave SE East Dundee, IL 60118

Phone: 708-469-9777

Email: unitedamericanco@gmail.com

Applicant is (check all that apply):

☐ Property Owner

☐ Business Tenant

☐ Project contractor

☐ Architect/Designer

**Property Owner Information (if not the Applicant)**

Name (print): DONN R VALENTINE

Address: 213 S 3rd St St. Charles, IL

\* Signature: [Signature]

**APPLICANT/AUTHORIZED AGENT SIGNATURE**

I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA General Conditions.

Signature: [Signature] Date: \_\_\_\_\_

Date: 9/22/2025 - 8:28 PM  
Design ID: 350351329223  
Estimated Price: \$4,213.27

\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.

MENARDS

# Design & Buy™ DECK

## How to recall and purchase your design at home:



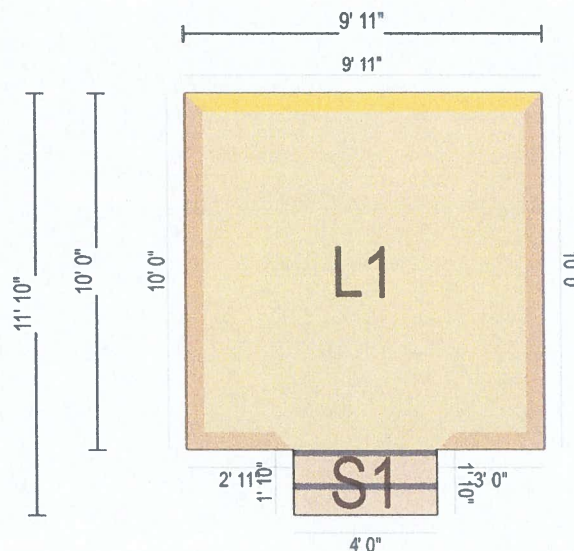
OR

1. On Menards.com, enter "Design & Buy" in the search bar
2. Select the Deck Designer
3. Recall your design by entering Design ID: 350351329223
4. Follow the on-screen purchasing instructions

## How to purchase your design at the store:

1. Enter Design ID: 350351329223 at the Design-It Center Kiosk in the Building Materials Department
2. Follow the on-screen purchasing instructions

Alt Brand Timber  
Composite



## Deck Side Color Legend

	Open Side/No Railing		Railing
	Unattached Walls		Attached Walls

Illustration intended to show general deck size and shape. Some options may not be shown for picture clarity.

Layout dimension sheets are intended as a construction aid. Not all options selected are shown.

Final design should be performed by a registered professional engineer to ensure all applicable building codes and regulations are met.

This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE CUSTOMER WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the customer. Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE CUSTOMER. BECAUSE OF THE WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS.

For other design systems search "Design & Buy" on Menards.com

Page 1 of 12



**Date: 9/22/2025 - 8:28 PM**  
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**MENARDS**  
**Design & Buy™**  
**DECK**

## Level 1

Height off the ground: 1' 9"  
Width: 9' 11"  
Length: 10' 0"  
Joist Spacing: 12" On Center  
Load Rating: 40 lbs

## Stair 1

Height off the ground: 1' 9"  
Width: 4' 0"  
Length: 1' 10"

## Decking

Deck Board Material Type: UltraDeck Inspire™  
Deck Board: Tiger's Eye  
Deck Board Fastener: Turbo Clip Fastener



## Framing

Framing Material Type: AC2 Green Treated  
Joist: 2x10  
Beam: 2x10  
Framing Post: 6x6 Framing Post  
Footing: 12" Poured Footing  
Footing Depth: 42" Footing Depth  
Incline Footing: 4 x 8 x 16 Solid Construction Block  
Ledger Board Fastener Type: FastenMaster® LedgerLOK®  
Joist Hanger Type: Galvanized Joist Hanger  
Joist Hanger Fastener Type: Joist Hanger Fastener Nail  
Cladding Material Type: Inspire Cladding  
Cladding: Sandstone Cladding



**Date: 9/22/2025 - 8:28 PM**  
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**MENARDS**  
**Design & Buy™**  
**DECK**

## Railing

Railing Material Type:

Designer's Image PVC

Railing Style:

White Designer's Image PVC

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MENARDS®  
**Design & Buy™**  
**DECK**

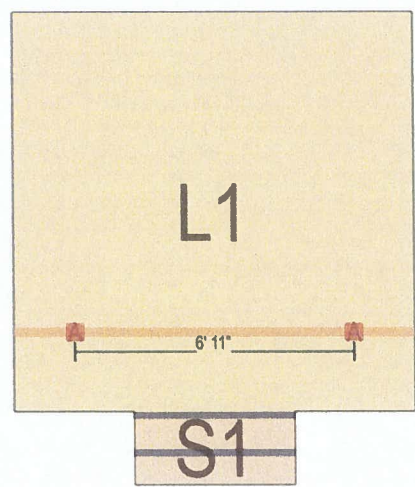
### Fastener Usages

SKU	Description	Comments
1551376	DEKMOUNT HIDDEN FASTENING SYSTEM® 8' Brown Powder-Coated Hidden Fastener	Tread Fastener
2271507	Grip Fast 1-1/2" HDG Joist Hanger Nail - 1 lb. Box	Joist Hanger Fastener
2271507	Grip Fast 1-1/2" HDG Joist Hanger Nail - 1 lb. Box	Ledger Corner Anchor Fastener
2271507	Grip Fast 1-1/2" HDG Joist Hanger Nail - 1 lb. Box	Ledger Deck Tie Bracket Fastener,Stringer Bracket Fastener,Beam To Joist Fastener,Framing Post Fastener
2291004	Grip Fast® 3/4" Combo Drive Premium Dek Mount Exterior Screw - 1 lb. Box	Deck Mount Fastener
2295009	Grip Fast® 3" 10D Hot-Dipped Galvanized Smooth Shank Common Nail - 1 lb.	Footing Anchor Fastener
2300027	FastenMaster LedgerLOK Ledger Board Fastener 3-5/8" 12pc	Ledger Fastener
2300027	FastenMaster LedgerLOK Ledger Board Fastener 3-5/8" 12pc	Ledger Fastener
2303418	Grip Fast 2-1/2" 6-Lobe Drive Tan Premium Exterior Deck Screw - 1 lb. Box	Beam To Beam Fastener
2303421	Grip Fast 3" 6-Lobe Drive Tan Premium Exterior - 1 lb. Box	Joist to Joist Fastener,Joist Blocking Fastener
2308126	Sandstone Cladding Fastener	Cladding Fastener
2308126	Sandstone Cladding Fastener	Cladding Fastener
2308131	TurboClip Hidden Deck Fastener for UltraDeck	Deck Board Fastener
2308131	TurboClip Hidden Deck Fastener for UltraDeck	Deck Board Fastener
2308132	Ultradeck Starter Clip	Starter Clip Fastener
2308132	Ultradeck Starter Clip	Starter Clip Fastener
2324331	Grip Fast® 3/8" x 3-1/2" Grade 2 Galvanized Hex Head Lag Screw - 10 Count	Railing Post Fastener
2324399	Grip Fast® 3/8" x 8" Grade 2 Galvanized Hex Head Lag Screw - 5 Count	Ledger Deck Tie Bracket Fastener
2329020	Grip Fast 1/2" x 6" HDG Anchor Bolt w/ Nut & Washer - 2pc Bag	Footing Anchor Bolt Fastener

Date: 9/22/2025 - 8:28 PM  
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L1 - Posts and Footings

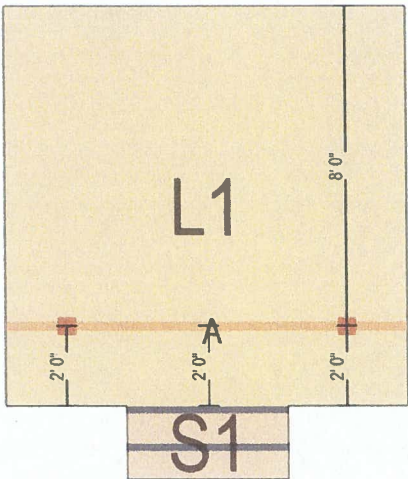


Dimensions displayed are from center of post to center of post.

L1 - Framing Posts

Label	Post Size	Count
A	6 x 6	2

L1 - Beams



2 boards nailed together is 2 ply

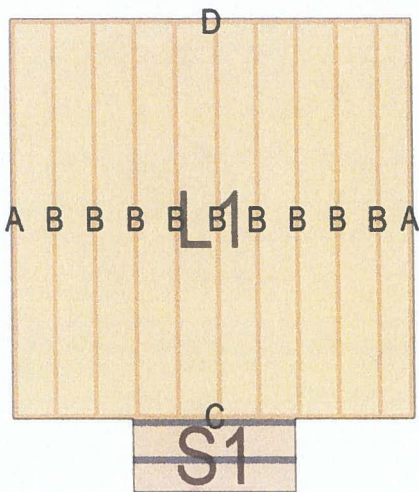
L1 - Lumber: 2 ply - 2 x 10 AC2

Label	Length	Count
A	9' 11"	1

Date: 9/22/2025 - 8:28 PM  
Design ID: 350351329223  
Estimated Price: \$4,213.27

*\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

L1 - Joists



Lumber: 2 x 10 AC2

Joist Spacing: 12" on center

Label	Length	Count	Usage
A	10' 0"	2	Rim Joist
B	9' 9"	9	Internal Joist
C	9' 8"	1	Rim Joist
D	9' 8"	1	Ledger Joist

Date: 9/22/2025 - 8:28 PM  
Design ID: 350351329223  
Estimated Price: \$4,213.27

*\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

**MENARDS**  
**Design & Buy™**  
**DECK**

## L1 - Railing Posts

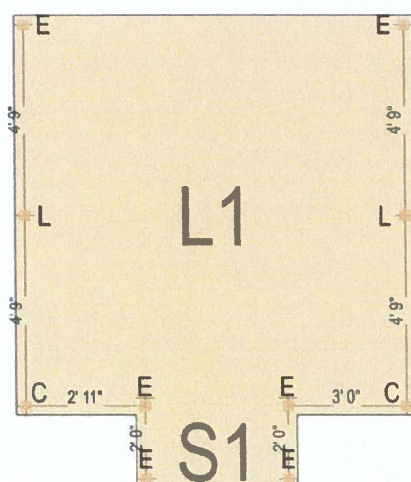


Illustration does not represent all available railing post placement options. Railing post dimensions are on center.

### L1

Label	Count
C - Corner Post	2
E - End Post	2
L - Line Post	2
E - End Post	2

### S1

Label	Count
E - End Post	2

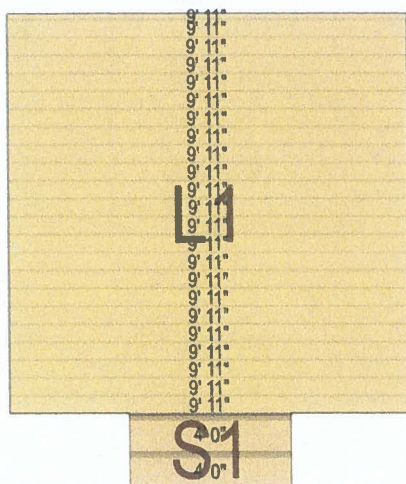


Date: 9/22/2025 - 8:28 PM  
Design ID: 350351329223  
Estimated Price: \$4,213.27

*\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

**MENARDS**  
**Design & Buy™**  
**DECK**

## L1 - Deck Boards and Treads



Decking over 240" is shown as one length and decking must be spliced - multiple lengths of decking may be estimated. The deck board lengths and/or quantities may need to be adjusted based on framing or the deck board splice pattern you prefer. Please review the deck board lengths and quantities prior to the start of your project. A divider board may be added to improve the look and eliminate splices. To add dividers, recall the design and add a divider on the Design>Decking tab in the program.

### Deck Board

Length	Count
9' 11"	23

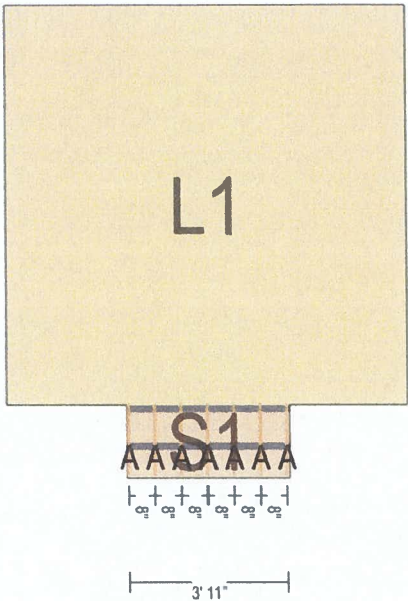
### Tread

Length	Count
S1 4' 0"	2

Date: 9/22/2025 - 8:28 PM  
Design ID: 350351329223  
Estimated Price: \$4,213.27

*\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

L1 - Stair Framing



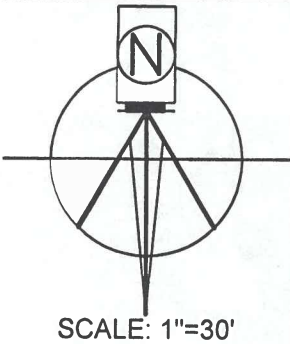
S1 - Stringer

Label	Length	Count
A	1' 6"	7



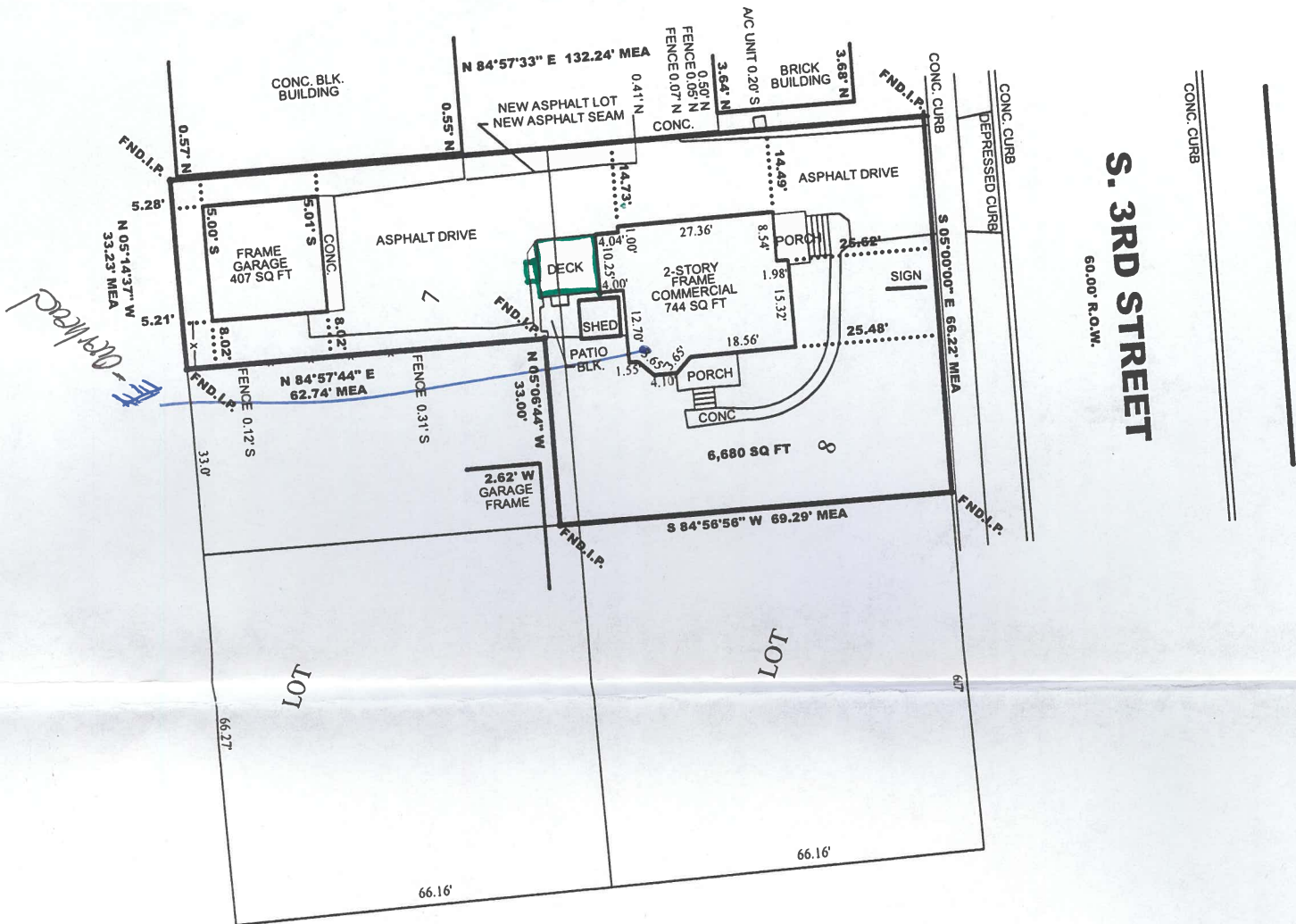
ALTA/NSPS LAND TITLE SURVEY  
D.F.L.S.

DALE FLOYD LAND SURVEYING L.L.C.  
2600 KESLINGER ROAD SUITE A  
GENEVA, ILLINOIS 60134  
PHONE:630-232-7705 FAX:630-232-7725  
E-MAIL: DFLS @SBCGLOBAL.NET



THE NORTHERLY HALF OF LOT 7 (EXCEPT THE WESTERLY 63 FEET OF THE SOUTHERLY 33 FEET THEREOF) AND  
THE NORTHERLY HALF OF LOT 8 IN BLOCK 51 OF THE ORIGINAL TOWN OF ST. CHARLES, IN THE CITY OF ST.  
CHARLES, KANE COUNTY, ILLINOIS

COMMONLY KNOWN AS: 213 S. 3RD STREET, ST. CHARLES, ILLINOIS



FIDELITY NATIONAL TITLE COMPANY, LLC  
COMMITMENT NO. KA22075392  
DATED: MAY 26, 2022  
SCHEDULE 8, PART II EXCEPTIONS  
NO SURVEY RELATED EXCEPTIONS LISTED

- ALTA/NSPS TABLE A ITEMS
- ITEM 1) MONUMENTS HAVE BEEN FOUND AT ALL CORNERS AND NOTED AS SUCH ON PLAT
  - ITEM 2) ADDRESS IS NOTED ON PLAT BELOW LEGAL DESCRIPTION
  - ITEM 4) THE GROSS LAND AREA IS 6,680 SQ FT
  - ITEM 7a) BUILDING DIMENSIONS ARE NOTED ON PLAT
  - ITEM 7b1) BUILDING AREAS ARE NOTED ON PLAT
  - ITEM 8) SUBSTANTIAL OBSERVED FEATURES ARE NOTED ON THE PLAT. THERE HAS BEEN A NEWLY PAVED LOT ADDED TO THE PARCEL TO THE NORTH. THE NEW ASPHALT SEAM IS ENCHOACHING TO THE SOUTH AND IS PLOTTED AND NOTED ON THE PLAT.
  - ITEM 18) THERE ARE NO PLOTTABLE EASEMENTS NOTED IN THE CURRENT TITLE.

CETRIFIED TO:  
FIDELITY NATIONAL TITLE INSURANCE COMPANY  
CHASE BANK (LENDER)  
DONLYN, LLC (BUYER)  
STATE OF ILLINOIS  
S.S.  
COUNTY OF KANE

THIS IS TO CERTIFY THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1,2,4,7a,7b1,8,18 OF TABLE A THEREOF. WE, DALE FLOYD LAND SURVEYING L.L.C., A PROFESSIONAL DESIGN FIRM, LICENSE NO. 184-004129 DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED IN THE MANNER REPRESENTED ON THE PLAT HEREON DRAWN.

DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

GENEVA, ILLINOIS 7-2 A.D. 2022

ILLINOIS PROFESSIONAL LAND SURVEYOR  
NO. 035-003908

LEGEND

FND.I.R. = FOUND IRON ROD  
FND.I.P. = FOUND IRON PIPE  
-x-x-x- FENCE  
..... BLDG. TIE  
- - - BLDG. LINE  
- - - - EASEMENT

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

COMPARE ALL POINTS BEFORE BUILDING BY THE SAME AND AT ONCE REPORT ANY DIFFERENCE.

JOB NO. 898-35ALTA

License expiration date 11-30-2022

FIELD WORK COMPLETED: 6-24-2022

PREPARED FOR LAW OFFICE OF KATHLEEN ROSA



# ARCHITECTURAL SURVEY

## CENTRAL HISTORIC DISTRICT

### ST. CHARLES, ILLINOIS

ST. CHARLES HISTORIC PRESERVATION COMMISSION

#### Primary Structure

ADDRESS 213 S 3<sup>rd</sup> St

1994 Photo

Roll: 3

Negative: 28

Photo: Aug. 2003



#### ARCHITECTURAL SIGNIFICANCE

- ☒ Significant
- ☐ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

#### BUILDING CONDITION

- ☒ Excellent
- ☐ Good
- ☐ Fair
- ☐ Poor

#### ARCHITECTURAL INFORMATION

Architectural Style/Type: Shingle

Architectural Features: \_\_\_\_\_

Date of Construction: 1880-1900

Source: \_\_\_\_\_

Overall Plan Configuration: \_\_\_\_\_

Exterior Walls (Current): Clapboard

Exterior Walls (Original): Clapboard

Foundation: Stone

Roof Type/Material: Gable/Asphalt

Window Material/Type: \_\_\_\_\_

**ARCHITECTURAL FEATURES:** Cross gabled roof building with shingle texture in gables, notched over windows at second floor. Large expanse of glass at first floor at front. Wood clapboard at first floor on stone foundation. Porches on east and south sides.

**ALTERATIONS:** None





# ARCHITECTURAL SURVEY

## CENTRAL HISTORIC DISTRICT

### ST. CHARLES, ILLINOIS

ST. CHARLES HISTORIC PRESERVATION COMMISSION

Continuation Sheet

#### HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

Source

#### REPRESENTATION IN EXISTING SURVEYS:


FEDERAL:

STATE:

COUNTY:

LOCAL:



	HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
	Agenda Item Title/Address:	COA: 504 W Main St		
	Significance:	Contributing		
	Petitioner:	Joe Freeman		
	Project Type:	Exterior Remodel		
	PUBLIC HEARING		MEETING 10/1/2025	X
Agenda Item Category:				
X	Preliminary Review		Grant	
	Certificate of Appropriateness (COA)		Other Commission Business	
	Landmark/District Designation		Commission Business	
Attached Documents:		Additional Requested Documents:		
rendering				
Project Description:				
<ul style="list-style-type: none"> <li>Planning to change the siding to hardi board siding, new windows, new entrance doors, repaving the parking lot, and upgrading the entrance stairs to the main level and upper level units (more to be described at the meeting)</li> </ul>				
Staff Comments:				
Recommendation / Suggested Action:				
<ul style="list-style-type: none"> <li>Provide feedback and recommendation on approval of the COA</li> </ul>				














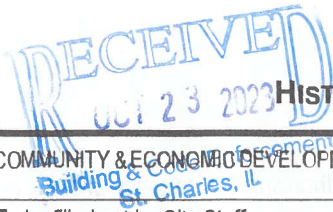








 <p>CITY OF ST. CHARLES ILLINOIS • 1834</p>	<b>HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY</b>			
	<b>Agenda Item Title/Address:</b>	COA: 522 Cedar St.		
	<b>Significance:</b>	Landmarked		
	<b>Petitioner:</b>	Craig Bobowiec		
	<b>Project Type:</b>	Deck		
	<b>PUBLIC HEARING</b>		<b>MEETING 11/1/23</b>	<b>X</b>
<b>Agenda Item Category:</b>				
	Preliminary Review		Grant	
X	Certificate of Appropriateness (COA)		Other Commission Business	
	Landmark/District Designation		Commission Business	
<b>Attached Documents:</b>		<b>Additional Requested Documents:</b>		
Application, Plat of survey, Project Details,				
<b>Project Description:</b>				
<ul style="list-style-type: none"> <li>Proposed is to remove the current stairs and deck in the rear and rebuild, including new stairs and railings.</li> </ul>				
<b>Staff Comments:</b>				
<b>Recommendation / Suggested Action:</b>				
<ul style="list-style-type: none"> <li>Provide feedback and recommendation on approval of the COA</li> </ul>				



## APPLICATION FOR COA REVIEW

### HISTORIC PRESERVATION "CERTIFICATE OF APPROPRIATENESS"



ST. CHARLES  
SINCE 1834

COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT / CITY OF ST. CHARLES

(630) 377-4443

To be filled out by City Staff

Permit # 2023-00157 Date Submitted: 10/23/23 COA # \_\_\_\_\_ Admin. Approval: \_\_\_\_\_

#### APPLICATION INFORMATION

Address of Property: 522 Cedar St St. Charles IL 60174

Use of Property: ☐ Commercial, business name: \_\_\_\_\_

☒ Residential ☐ Other: \_\_\_\_\_

#### Project Type:

☒ Exterior Alteration/Repair

☐ Windows

☐ Doors

☐ Siding - Type: \_\_\_\_\_

☐ Masonry Repair

☒ Other Rear

☐ Awnings/Signs

☐ New Construction

☐ Primary Structure

☐ Additions

☐ Deck/Porch

☐ Garage/Outbuilding

☐ Other \_\_\_\_\_

☐ Demolition

☐ Primary Structure

☐ Garage/Outbuilding

☐ Other \_\_\_\_\_

☐ Relocation of Building

#### Description:

Remove and rebuild All Rear stair and decking on East End  
replace decking across lower rear porch and new Railings  
And new stairs on West End - Using "Lumberlock" synthetic decking + Railings  
Decking will be tongue + Groove to match wood decking

#### Applicant Information:

Name (print): Craig Bobowiec

Address: 528 Cedar St St. Charles IL

Phone: 630-664-5766

Email: cbobowiec@SBCglobal.net

Applicant is (check all that apply):

- ☐ Property Owner
- ☐ Business Tenant
- ☐ Project contractor
- ☐ Architect/Designer

#### Property Owner Information (if not the Applicant)

Name (print): Craig Bobowiec

Address: 528 Cedar St St. Charles IL

Signature: Craig Bobowiec

#### APPLICANT/AUTHORIZED AGENT SIGNATURE

I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA General Conditions.

Signature: Craig Bobowiec Date: 10-23-23





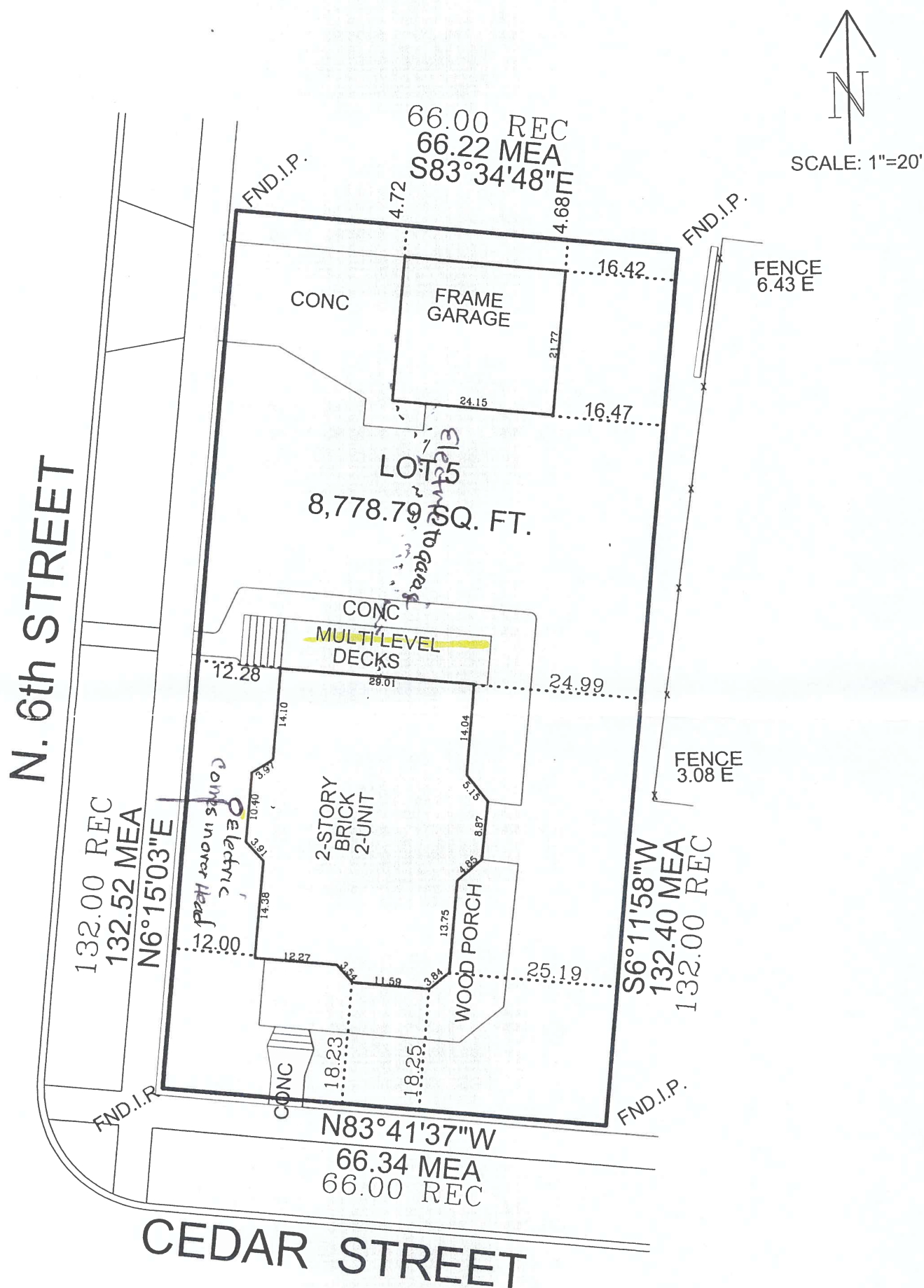




# PLAT OF SURVEY

DALE FLOYD LAND SURVEYING L.L.C.  
2600 KESLINGER ROAD SUITE A  
GENEVA, ILLINOIS 60134  
PHONE: 630-232-7705 FAX: 630-232-7725

LOT 5 IN BLOCK 1 OF MILLINGTON'S ADDITION TO ST. CHARLES, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.  
COMMONLY KNOWN AS: 522 CEDAR STREET, ST. CHARLES, ILLINOIS.



NOTE: This professional service conforms to the current Illinois minimum standards for a boundary survey.

Compare all points before building by same and at once report any difference

Structure located and initial survey completed 4-10-2010

Illinois Professional Land Surveyor No. 035-002876

Job No. 000410-42

License expiration date 11-30-2010

State of Illinois S.S.  
County of Kane

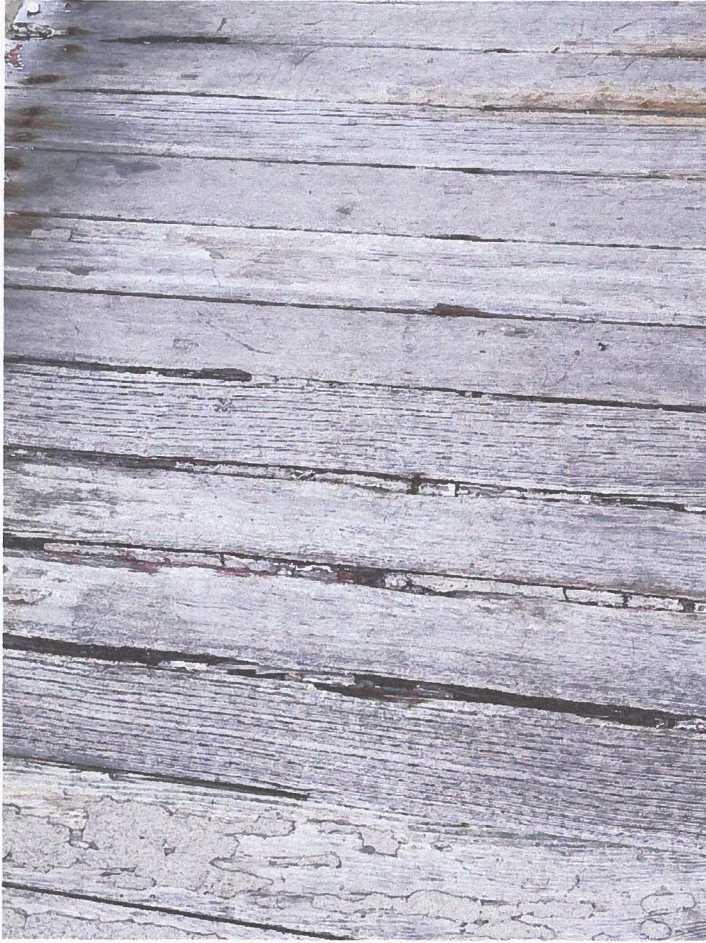
We, Dale Floyd Land Surveying L.L.C., a professional design firm, License No. 184-004129 Do hereby certify that the above described property has been surveyed in the manner represented on the plat hereon drawn.

Dimensions are shown in feet and decimal parts thereof.

Geneva, Illinois 5-11 A.D. 2010

Illinois Professional Land Surveyor No. 035-002876





Condition of decking



new rear railings designed to be similar to front porch using Lumberock products

A DECK REMODELING FOR:

CRAIG BOBOWIEC

522 CEDAR STREET  
ST. CHARLES, ILLINOIS 60174

GENERAL NOTES:

- THIS CONSTRUCTION DOCUMENT HAS BEEN PREPARED BASED ON A SOIL BEARING CAPACITY OF 3000 PSF. IT IS THE RESPONSIBILITY OF THE HOMEOWNER/CONTRACTOR TO ORDER A SOIL CAPACITY REPORT PRIOR TO THE START OF CONSTRUCTION AND INFORM ARCHITECT IF THE SOIL CAPACITY DIFFERS.
- ALL CONCRETE USED SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:
  - FOOTINGS - 3000 P.S.I.
- USING A MINIMUM 6 BAG MIX PER CUBIC YARD.  
KEEP ALL AREAS MOIST DURING CURING AND PROTECT FROM COLD.
- DESIGN LOAD CRITERIA
  - FLOOR
    - 40' LL 10' DL
  - WALL
    - 60' PLF OR ACTUAL LOAD
  - CEILING
    - 10' LL 10' DL
  - CEILING w/ ATTIC
    - 20' LL 10' DL
  - ROOF
    - 30' LL 10' DL
  - CATHEDRAL
    - 30' LL 10' DL
- ALL FRAMING LUMBER SHALL BE AMERICAN HEM-FIR #2 WITH A MINIMUM MODULUS OF ELASTICITY OF 1,000,000 P.S.I. AND 10-25% OR EQUAL.
- PROVIDE 1/2" WOOD BRIDGES FOR ALL FLOOR JOISTS AT MID-SPAN.
- ALL GUARD RAILINGS TO BE 36" HIGH WITH LESS THAN 4" SPACE IN BETWEEN SPINDLES. ALL HANDRAILS TO BE 34" TO 38" HIGH ABOVE TREAD NOSE. CONFIRM ALL SIZES AND CONFIGURATIONS WITH THE BUILDING DEPARTMENT PRIOR TO ORDERING.
- INSTALL FIRE STOPPING AT ALL PLATE PENETRATIONS, SORFITS, FURRED SPACES, CONCEALED SPACES, ETC. DO NOT USE FOAM AS A FIRE STOP UNLESS THE PRODUCT IS LABELED AS A FIRE STOP.
- INSTALL JOIST HANGERS IN ALL LOCATIONS WHERE FRAMING MEMBERS BUTT INTO THE SIDES OF GIRDERS, BEAMS, HEADERS, LEDGERS, ETC. ALL HANGERS SHALL BE INSTALLED WITH NAILS PER MANUFACTURER'S SPECIFICATIONS. ALL HOLES SHALL BE FILLED; DO NOT USE GALVANIZED ROOFING OR BOX NAILS.
- MINIMUM 3'-0"x3'-0" LANDING IS REQUIRED AT ALL EXTERIOR DOORS.
- ALL CONTRACTORS SHALL PROVIDE ANY ADDITIONAL DRAWINGS AND INFORMATION THAT MAY BE REQUIRED IN ORDER TO OBTAIN A PERMIT TO PERFORM THEIR WORK.
- EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE OF CONCRETE. CONFORM TO ALL DIMENSIONS INDICATED IN PREFERENCE TO SCALED DIMENSIONS FROM THE BLUEPRINT.

- OWNER AND ARCHITECT SHALL NOT BE HELD LIABLE FOR INJURY INCURRED BY CONTRACTOR OR CREW AND SHALL REMAIN HARMLESS THROUGHOUT THE COURSE OF WORK.
- WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS AND MUST BE RESPONSIBLE FOR SAME. ANY DISCREPANCY IN DRAWINGS OR DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
- ALL CONTRACTORS MUST CARRY PUBLIC LIABILITY AND WORKMAN'S COMPENSATION INSURANCE TO THE SATISFACTION OF THE OWNER.
- ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES AND MUST BE COMPLETED IN A WORKMANLIKE MANNER ACCORDING TO STANDARDS AND TO THE SATISFACTION OF THE OWNER AND ARCHITECT. ANY AND ALL SUBSTITUTIONS EQUAL OR BETTER SHALL BE APPROVED BY THE ARCHITECT/OWNER.
- ALL MATERIALS SHALL BE SAFELY ORGANIZED IN SUCH A WAY AS TO INFLECT MINIMUM DAMAGE. OVERNIGHT AND WEEKENDS ESPECIALLY. EACH TRADE SHALL BE RESPONSIBLE FOR REMOVING THEIR OWN DEBRIS FROM THE SITE TO MAINTAIN A NEAT, ORDERLY CONSTRUCTION AREA.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- ALL SMOKE DETECTORS SHALL BE 120 VOLTS WIRED IN SERIES WITH BATTERY BACKUP. INSTALL ONE SMOKE DETECTOR AT EACH LEVEL AND ONE IN EACH SLEEPING ROOM AND WITHIN 5'-0" OUTSIDE EACH SLEEPING ROOM.
- PROVIDE ONE CARBON MONOXIDE DETECTOR WITHIN 5'-0" OUTSIDE EACH SLEEPING ROOM.
- WHEN CONSTRUCTION HAS COMMENCED AND A CONDITION IS FOUND TO EXIST WHICH WAS UNKNOWN OR UNFORESEEN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER AND THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
- WITH REMODELING PROJECTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO SHORE UP THE EXISTING CONSTRUCTION AND PROTECT THE EXISTING CONSTRUCTION FROM POSSIBLE DAMAGE.
- FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
  1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS AS FOLLOWS:
    - 1.1 VERTICALLY AT THE CEILING AND FLOOR LEVELS.
    - 1.2 HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
  2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SORFITS, DROP CEILING AND COVE CEILINGS.
  3. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
- AIR EXHAUST AND INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION RESISTANT SCREENS, LOUVERS, OR GRILLES. OPENINGS IN SCREENS, LOUVERS, AND GRILLES SHALL BE NOT LESS THAN 1/4" INCH AND NOT GREATER THAN 1/4" INCH MEASURED IN ANY DIRECTION.

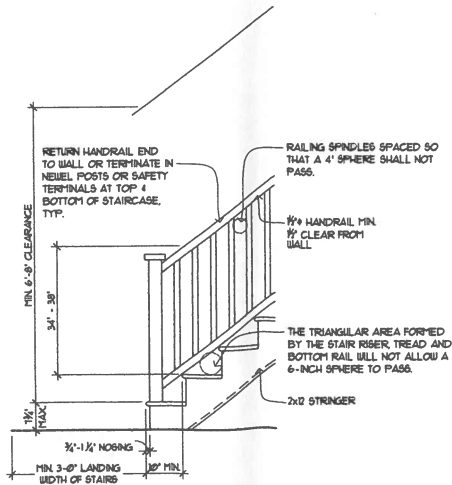
ABBREVIATIONS

AFF.	ABOVE FINISH FLOOR	GALV.	GALVANIZED
ADJ.	ADJACENT	GYP.	GYPSUM WALL BOARD
ALT.	ALTERNATE	HDR.	HEADER
ALUP.	ALUMINUM	HMT.	HOLLOW METAL
AWING.	AWNING WINDOW	HORZ.	HORIZONTAL
BLDG.	BUILDING	INSUL.	INSULATION
CJ.	CONTROL JOINT	MATL.	MATERIAL
CL.	CENTER LINE	MAX.	MAXIMUM
CLS.	CEILING	MECH.	MECHANICAL
CLR.	CLEAR	MFR.	MANUFACTURER
CMU.	CONCRETE MASONRY UNIT	MNL.	MINIMUM
CONC.	CONCRETE	MTL.	METAL
CONT.	CONTINUOUS	M2O.	MASONRY OPENING
CPT.	CARPET	ME.	MATCH EXISTING
CT.	CERAMIC TILE	N/C.	NOT IN CONTRACT
CO.	CASED OPENING	N.T.S.	NOT TO SCALE
C.J.	CEILING JOIST	O.C.	ON CENTER
C.O.	CLEAN OUT	O.H.D.	OVER HEAD DOOR
CHNT.	CASEMENT WINDOW	OPP.	OPPOSITE
J.	GARAGE DISPOSAL	OPT.	OPTIONAL
DBL.	DOUBLE	PL.	POINT LOAD
DET.	DETAIL	PT.	PRESSURE TREATED
DH.	DOUBLE HANG WINDOW	R.O.	ROUGH OPENING
DIA.	DIAMETER	R/R.	ROOF RAFTER
DN.	DOWN	SF.	SQUARE FEET / FOOT
E.	EXISTING	SPL.	SPILLER
EA.	EACH	SL.	SKYLIGHT
EIFS.	EXTERIOR INSULATION FINISH SYSTEM	STRUCT.	STRUCTURAL
ELEC.	ELECTRICAL	SA.	STAINLESS STEEL
EQ.	EQUAL	T.	TOP OF
EXT.	EXTERIOR	T.M.E.	TO MATCH EXISTING
FDN.	FOUNDATION	TYP.	TYPICAL
F.D.	FLOOR DRAIN	UNO.	UNLESS NOTED OTHERWISE
FIN.	FINISH	V.B.	VAPOR BARRIER
F.J.	FLOOR JOIST	VERT.	VERTICAL
F.O.	FACE OF	V.I.F.	VERIFY IN FIELD
F.R.	FIRE-RATED	WD.	WOOD
G.A.	GAUGE	WD.	WASHER / DRYER

BUILDING INFORMATION

CITY OF ST. CHARLES CODES:

- 2015 INTERNATIONAL BUILDING CODE w/ AMENDMENTS
- 2015 INTERNATIONAL RESIDENTIAL CODE w/ AMENDMENTS
- 2015 INTERNATIONAL MECHANICAL CODE w/ AMENDMENTS
- 2015 INTERNATIONAL FUEL GAS CODE w/ AMENDMENTS
- 2014 NATIONAL ELECTRIC CODE NFPA NO. 70 w/ AMENDMENTS
- 2014 ILLINOIS STATE PLUMBING CODE w/ AMENDMENTS
- 2015 INTERNATIONAL FIRE CODE w/ AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 1997 ILLINOIS ACCESSIBILITY CODE
- NFPA LIFE SAFETY CODE 101



STAIRWAY NOTES:

- RISER HEIGHT - 1 1/2" MAX.
- TREAD DEPTH - 10" MIN.
- ALL STAIRWAYS SHALL HAVE MIN 36" HIGH GUARDRAIL w/ SPINDLES SPACED LESS THAN THAN 4" APART + A SEPARATE HANDRAIL 34"-38" HIGH CONTINUOUS WITHOUT INTERRUPTION BY NEWEL POSTS OR OTHER STRUCTURAL ELEMENTS OR OBSTRUCTIONS.
- HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINAL.
- HANDGRIPS SHALL HAVE A CIRCULAR CROSS SECTION OF 1 1/2" INCHES MIN. TO 2 1/8" INCHES MAX. OTHER HANDRAIL SHAPES THAT PROVIDE AN EQUIVALENT GRASPING SURFACE ARE PERMISSIBLE. EDGES SHALL HAVE A MIN. RADIUS OF 1/8" INCH.

SHEET INDEX

1	GENERAL NOTES & SCHEDULES
2	DEMO., FOUND., BSMT., & FLR. PLANS
3	ELEVATIONS & SECTIONS

Project No.	23053
Drawn By	TN
Design	8/24/23
Client Revisions	
Construction	10/16/23
Village Revisions	

TIM NELSON ARCHITECT, LTD.

Custom Homes • Additions • Remodeling

421 James, Geneva, IL 60134  
Tel: (630) 397-5172  
tim@timnelsonarchitect.com

A DECK REMODELING FOR:

CRAIG BOBOWIEC  
522 CEDAR STREET  
ST. CHARLES, IL 60174

GENERAL NOTES  
& SCHEDULES

Page

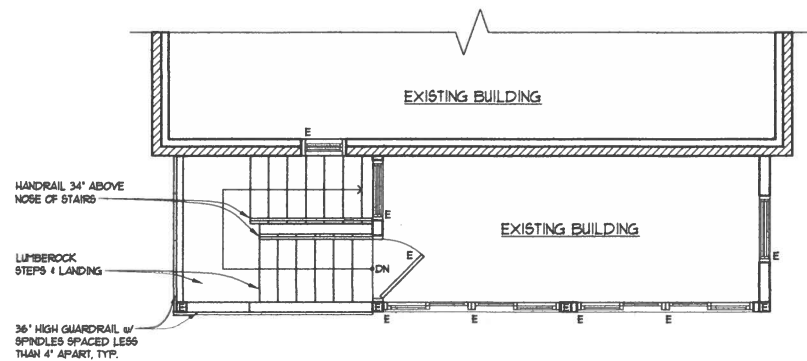
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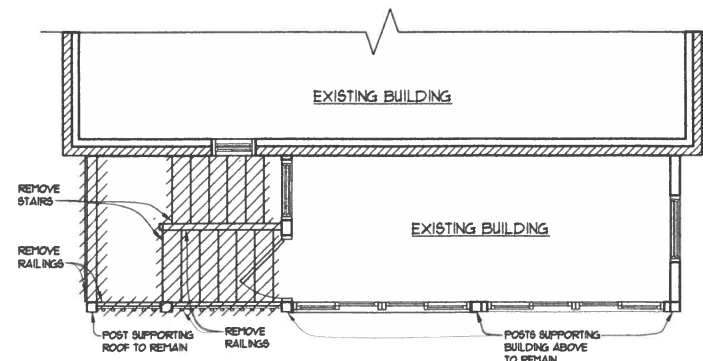
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Pages

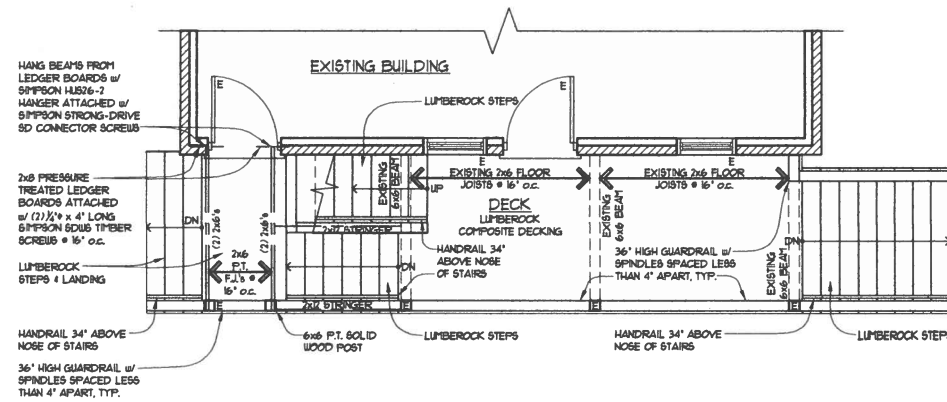




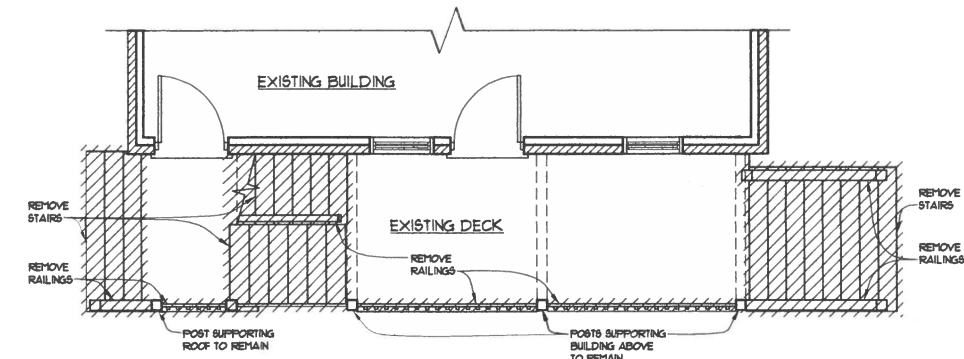
**SECOND FLOOR PLAN** E = EXISTING  
SCALE: 1/4" = 1'-0"



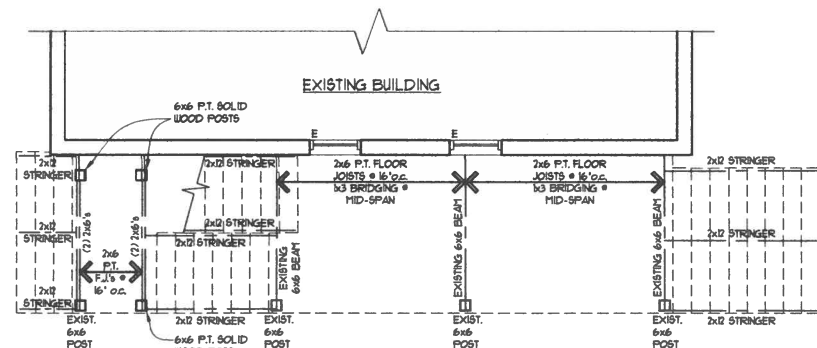
**SECOND FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"



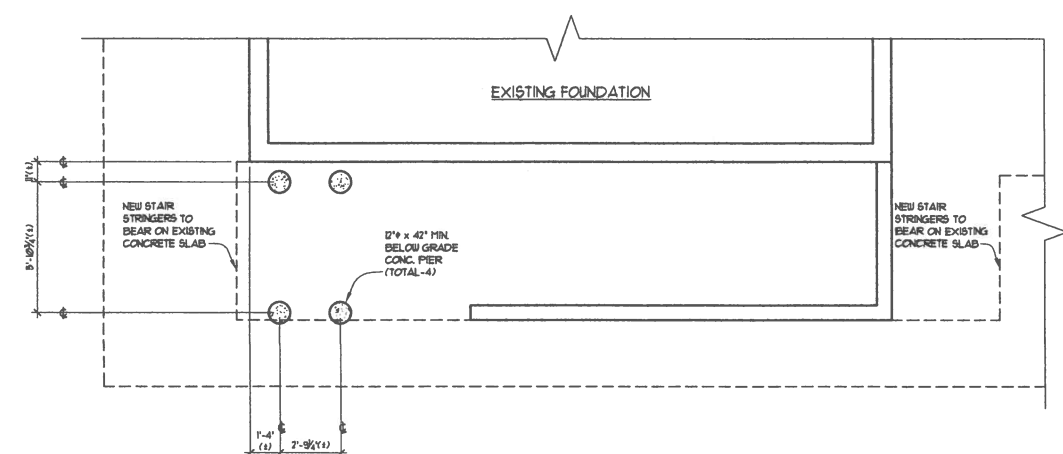
**FIRST FLOOR PLAN** E = EXISTING  
SCALE: 1/4" = 1'-0"



**FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"



**BASEMENT PLAN** E = EXISTING  
SCALE: 1/4" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

Project No. 23053

Drawn By: TN

Design: 8/24/23

Client Revisions:

Construction: 10/16/23

Village Revisions:

TIM NELSON ARCHITECT, LTD.

Custom Homes • Additions • Remodeling

421 James, Geneva, IL 60134

Tel (630) 397-5122 Fax (630) 232-1135

tim@timnelsonarchitect.com

A DECK REMODELING FOR:

CRAIG BOBOWIEC

522 CEDAR STREET

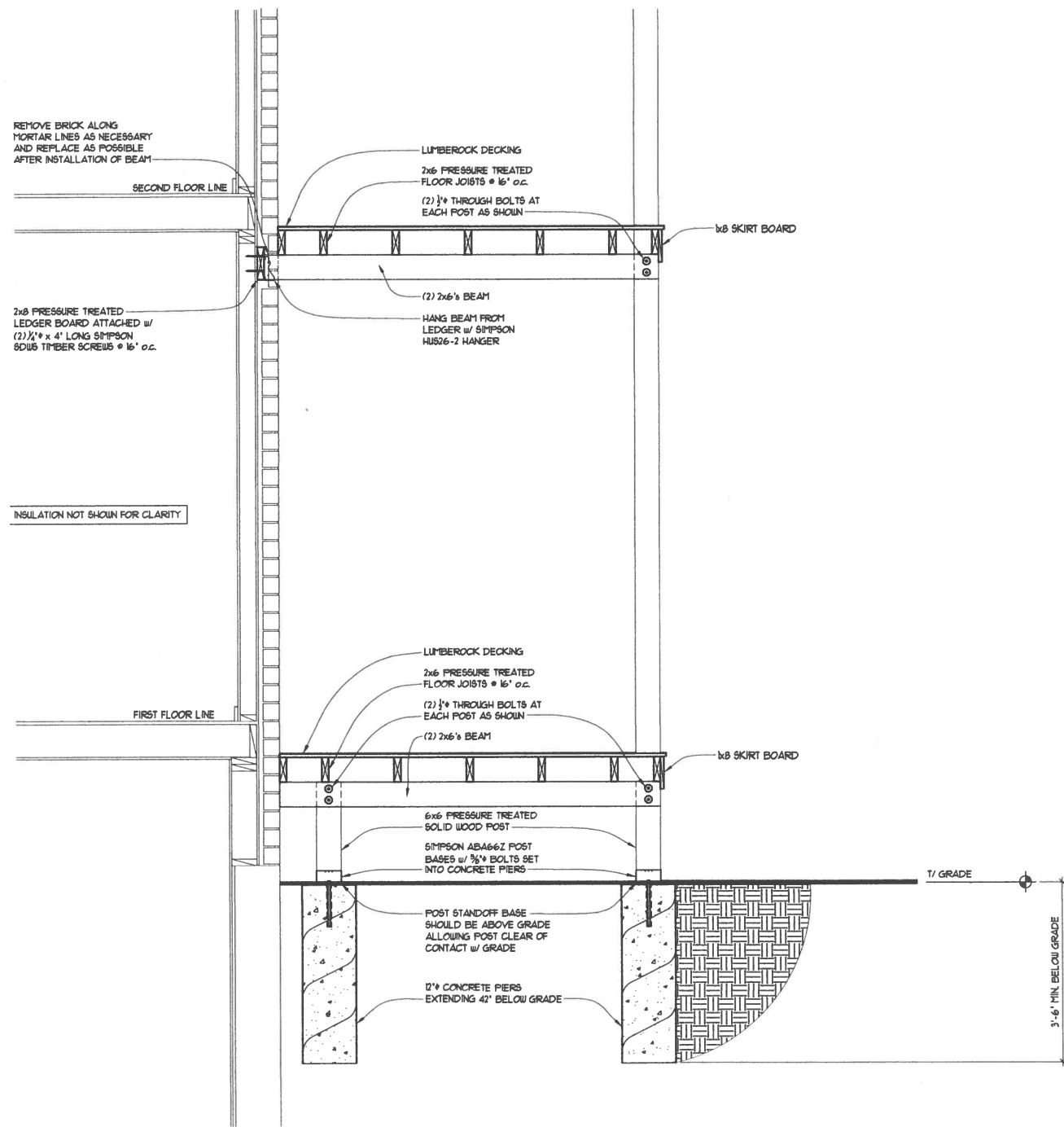
ST. CHARLES, IL 60174

FIRST FLOOR DEMOLITION PLAN, SECOND FLOOR DEMOLITION PLAN, FOUNDATION PLAN, BASEMENT PLAN, FIRST FLOOR PLAN, & SECOND FLOOR PLAN

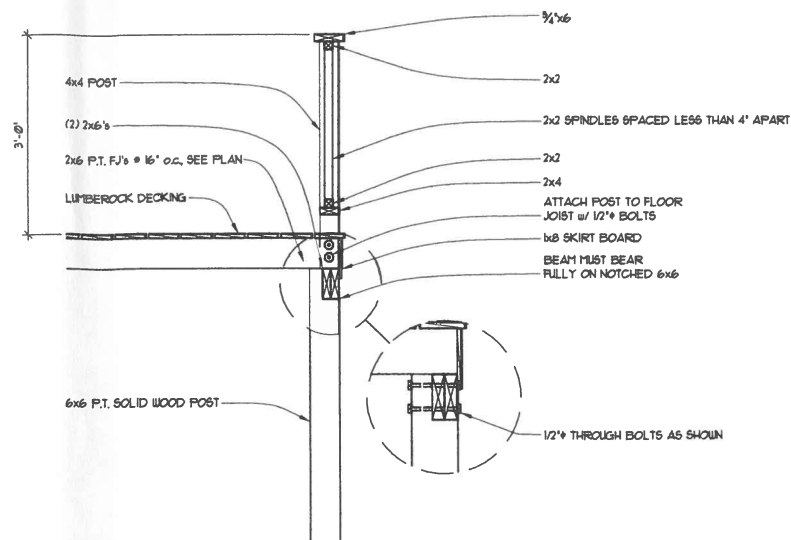
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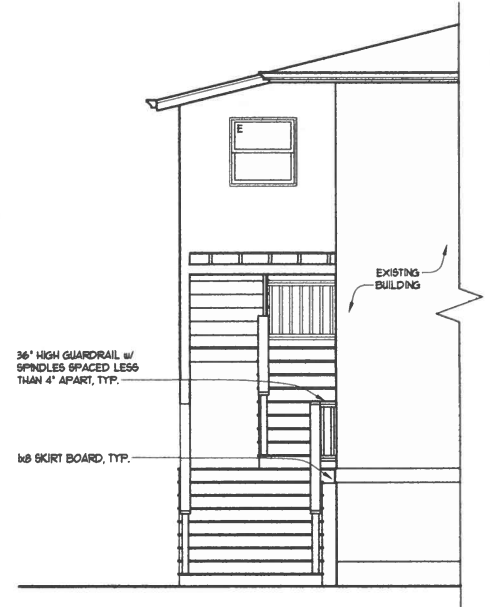
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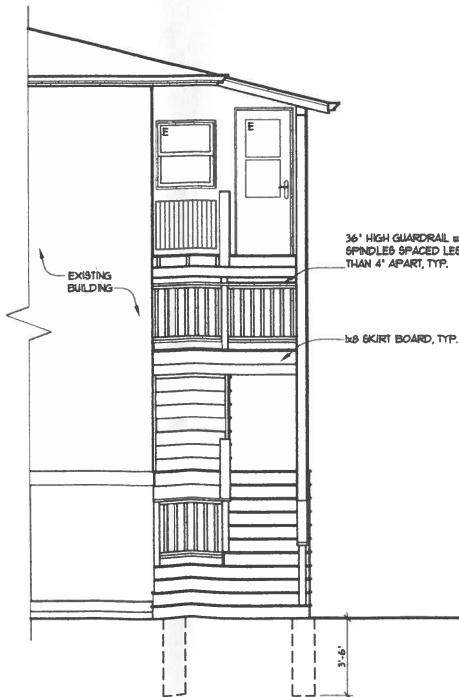
**STAIR LANDING SECTION**  
SCALE: 3/4" = 1'-0"



**TYPICAL DECK SECTION**  
SCALE: 3/4" = 1'-0"



**WEST ELEVATION** E = EXISTING  
SCALE: 1/4" = 1'-0"



**EAST ELEVATION** E = EXISTING  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION** E = EXISTING  
SCALE: 1/4" = 1'-0"

Project No.	23053
Drawn By	TN
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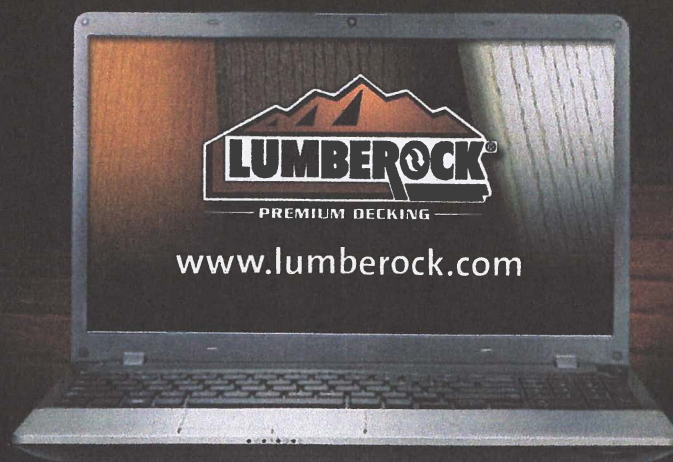
**A DECK REMODELING FOR:**  
CRAIG BOBOWIEC  
522 CEDAR STREET  
ST. CHARLES, IL 60174

ELEVATIONS,  
DECK SECTION, &  
STAIR LANDING  
SECTION

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# ONLINE RESOURCES



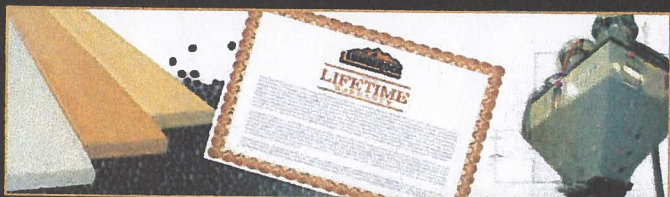
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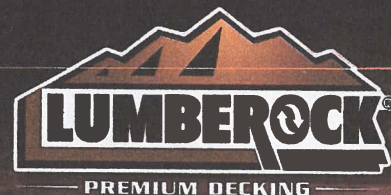
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Updated pictures of Rec Haus 12 N 3<sup>rd</sup> St that received a grant





