

**AGENDA  
CITY OF ST. CHARLES  
PLANNING & DEVELOPMENT COMMITTEE  
ALD. BRYAN WIRBALL – CHAIR  
MONDAY, SEPTEMBER 8, 2025 - 7:00 PM  
CITY COUNCIL CHAMBERS  
2 E. MAIN STREET**

**1. CALL TO ORDER**

**2. ROLL CALL**

**3. OMNIBUS VOTE**

**Items with an asterisk (\*)** are considered to be routine matters and will be enacted by one motion. There will be no separate discussion on these items unless a council member/citizen so requests, in which event the item will be removed from the consent agenda and considered in normal sequence on the agenda.

**4. COMMUNITY & ECONOMIC DEVELOPMENT**

- \*a. Recommendation to Approve and Execute an Acceptance Resolution for Public Utility (Sanitary Sewer and Watermain) for 4085 East Main Street (McGrath Kia Building)
- b. Plan Commission recommendation to approve a PUD Preliminary Plan and Final Plat of Subdivision for McGrath Kia Parking Expansion, McGrath Business Center PUD.
- c. Plan Commission recommendation to approve a PUD Amendment and PUD Preliminary Plan for River 504 Rowhomes, Brownstone PUD.
- d. Recommendation to approve a Resolution Authorizing the Mayor and City Clerk of the City of St. Charles to Execute a Certain Tax Increment Financing Redevelopment Agreement between the City of St. Charles and J & B Builders, Inc.
- e. Recommendation to approve a Minor Change to PUD for Harbor House, Fox Haven Square Building 4, Stuart's Crossing PUD.
- f. Consideration of an amendment to weekend Construction Hours for certain Building Permit work in Residential Areas
- g. Recommendation to accept conveyance of the Shanahan Subdivision Detention Basin property and activate Special Service Area #51 to fund maintenance

- h. Recommendation to approve an Intergovernmental Agreement with the City of Geneva for Division Street extension east of Kirk Rd.
- i. Recommendation to approve a Plat of Dedication and Plat of Easement for Division Street extension east of Kirk Rd.
- j. Recommendation to authorize City staff to release a Request for Proposals for the City-owned Property at 122 S 2<sup>nd</sup> Street, (Lot 4 Building 8 of the First Street Redevelopment Area)
- k. Discussion Regarding Short Term Rental Registration Program

## **5. PUBLIC COMMENT**

## **6. ADDITIONAL ITEMS FROM MAYOR, COUNCIL OR STAFF**

## **7. EXECUTIVE SESSION**


- Personnel – 5 ILCS 120/2(c)(1)
- Pending, Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- **Property Acquisition – 5 ILCS 120/2(c)(5)**
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

## **8. ADJOURNMENT**

### ***ADA Compliance***

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TTY), or via e-mail at [jmcmahon@stcharlesil.gov](mailto:jmcmahon@stcharlesil.gov). Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).



 <p>CITY OF ST. CHARLES ILLINOIS • 1834</p>	<b>AGENDA ITEM EXECUTIVE SUMMARY</b>		Agenda Item number: 4a
	Title:	<b>Recommendation to Approve and Execute an Acceptance Resolution for Public Utility (Sanitary Sewer and Watermain) for 4085 East Main Street (McGrath Kia Building)</b>	
	Presenter:	<b>Bruce Sylvester</b>	
<b>Meeting:</b> Planning & Development Committee <b>Date:</b> September 8, 2025			
<b>Proposed Cost:</b> \$		<b>Budgeted Amount:</b> \$	<b>Not Budgeted:</b> <input type="checkbox"/>
<b>TIF District:</b> None			
<b>Executive Summary</b> (if not budgeted, please explain):  Public sanitary sewer and watermain and appurtenances were constructed by the developer to service the improvements for the McGrath Kia building site at 4085 East Main Street, part of the “McGrath Business Center Phase 1” subdivision. <ul style="list-style-type: none"> <li>• Said utilities have undergone and passed all required standard testing.</li> <li>• The City has performed inspections and all punch-list items have been resolved.</li> <li>• Bill of Sale and Lien Waiver have both been received.</li> <li>• Record Drawings have been submitted and approved.</li> <li>• All improvements are located within recorded easements.</li> </ul>			
<b>Attachments</b> (please list): Acceptance Resolution Bill of Sale Exhibit			
<b>Recommendation/Suggested Action</b> (briefly explain): Staff recommends approval and execution of an acceptance resolution.			

(Sanitary and Watermain)

**City of St. Charles  
Kane and DuPage Counties**

**ACCEPTANCE RESOLUTION**

**Subdivision Name:** **McGrath Business Center Subdivision Phase 1**

**Whereas** Christopher McGrath, the Developer of the McGrath Business Center Subdivision Phase 1, constructed public sanitary sewer and watermain and appurtenances in easements on Lot 2 of said subdivision (also known as “4085 East Main Street”, also known as the “McGrath Kia Building Site”) as described in the attached exhibits in the aforesaid Subdivision; and

**Whereas**, the Developer has constructed public sanitary sewer and watermain and appurtenances in accord with the plans and specifications, heretofore approved by the City of St. Charles; and

**Whereas**, the constructed public sanitary sewer and watermain and appurtenances have been inspected by the Engineer for the subdivider and by a representative for the City of St. Charles and are found to be satisfactory;

**Now, Therefore, Be It Resolved** by the City Council of St. Charles, that said Council hereby approves and accepts the constructed public sanitary sewer and watermain and appurtenances. It being understood that this acceptance and/or approval in no way relieves the Developer of his Surety of any obligation for maintenance for a period of one (1) year as provided for in said Contract.

**Passed** by the City Council of the City of St. Charles, this \_\_\_\_ day of \_\_\_\_\_, 2025, and **APPROVED** by the Mayor of said City of St. Charles, this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY CLERK







## WATERMAIN (BLUE)

**WATERMAIN (BLUE)**

**RECORD DRAWINGS**  
SITE GRADING, VC BASINS  
& UTILITIES  
DATE 05/06/25  
RWG ENGINEERING, LLC

**SANITARY (RED)**

STORM SEWER DRAINAGE STRUCTURE LEGEND

<u>EXISTING</u>	<u>PROPOSED</u>	
		STORM INLET - OPEN GRATE
		STORM CATCH BASIN - OPEN GRATE
		STORM MANHOLE - CLOSED LID

[illegible]

UTILITY CROSSING					
CROSSING	SIZE OF PIPE	MATERIAL	CROSSING BOTTOM	TOP OF PIPE	CL ELEVATION
(A)	21" RCP	SD	753.49		1.18
	6" DI	WV		751.99	
(B)	18" RCP	SD			
	6" DI	WV		752.95	
(C)	15" RCP	SD	753.08		
	6" DI	PVC		747.03	
(D)	12" RCP	SD	752.31		
	6" DI	PVC		747.37	
(E)	21" RCP	SD	752.33		
	6" DI	PVC		747.93	

WATERMAIN	
(1) 8" DUCTILE IRON WATERMAIN CL 52 WITH POLYETHYLENE WRAP AND MEGALON JOINTS (NO APPROPRIATE FROPS)	(1) PIPE HORIZONTAL WITH "X" TIE, 4' LEAD AUX VALVE + BOX RING CL = 750.63
(2) 12" DUCTILE IRON WATERMAIN CL 47.5 VALVE	(2) DUCTILE IRON WATERMAIN CL 52 POLYETHYLENE WRAP AND MEGALON JOINTS (NO APPROPRIATE FROPS)
(3) 12" DUCTILE IRON WATERMAIN CL 52 WITH POLYETHYLENE WRAP AND MEGALON JOINTS (NO APPROPRIATE FROPS)	(1) PIPE HORIZONTAL WITH "X" TIE, 4' LEAD AUX VALVE + BOX RING CL = 750.63
(4) 12" DUCTILE IRON WATERMAIN CL 52	

12" DUCTILE IRON 48" DIA VALVE  
 RISE = 757.91

[illegible]

McGRATH COMMERCE CENTER  
ST. CHARLES, ILLINOIS  
UTILITY PLAN

75 E. 22nd St., Suite 400  
Wheaton, IL 60189  
630.480.7889

Engineering, LLC

PROJECT NO. 6840432  
DATE 03/13/2  
SCALE 1"=40'  
PROJ. MGR. RW  
PROJ. ASSOC. AV  
DRAWN BY AV

C8 OF 14

AVS  
© COPYRIGHT 2024

Civil Engineering • Real Estate Consulting • Project Management    [www.rwgj-engineering.com](http://www.rwgj-engineering.com)

1



**BILL OF SALE**

KNOW ALL MEN BY THESE PRESENTS, that 4085 E Main, LLC ("Seller"), in consideration of One (\$1.00) Dollar and other good and valuable consideration, does hereby grant, sell, transfer and deliver unto the CITY OF ST. CHARLES, an Illinois municipal corporation in Kane County, Illinois, ("City") the following goods, chattels or other items of personal property, to wit:

ONE: Each and every part of Watermain Systems and appurtenances and Sanitary Sewer Main Systems and appurtenances, as fully described in a certain set of plans and specifications attached hereto and incorporated herein as Exhibit "A".

TWO: The object of this Bill of Sale is to grant, sell, transfer and deliver to the CITY, with the exceptions noted, the ownership in all items of personalty, which comprise Watermain Systems and appurtenances and Sanitary Sewer Main Systems and appurtenances by SELLER to date within the CITY.

SELLER does hereby covenant and warrant to the CITY that SELLER is the lawful owner of the aforescribed goods, chattels and personalty; that such items are free and clear from all encumbrances; that SELLER has the absolute right to sell the same as aforesaid; and that SELLER warrants and will defend the same against the claims and demands of all persons; and that the execution of this Bill of Sale is an authorized act of said SELLER.

IN WITNESS WHEREOF, SELLER has signed and sealed this Bill of Sale at noon, this 20th day of June, 2025.


4085 E Main, LLC

BY:

ITS: Manager, Chris McGrath

ATTEST:



 <p>CITY OF ST. CHARLES ILLINOIS • 1834</p>	<b>AGENDA ITEM EXECUTIVE SUMMARY</b>		Agenda Item number: 4b
	Title:	<b>Plan Commission recommendation to approve a PUD Preliminary Plan and Final Plat of Subdivision for McGrath Kia Parking Expansion, McGrath Business Center PUD.</b>	
	Presenter:	<b>Ellen Johnson, Planner II</b>	
<b>Meeting:</b> Planning & Development Committee <b>Date:</b> September 8, 2025			
<b>Proposed Cost:</b> \$		<b>Budgeted Amount:</b> \$	<b>Not Budgeted:</b> <input type="checkbox"/>
<b>TIF District:</b> None			
<p>The McGrath Business Center PUD was established under Ord. 2021-Z-3 to facilitate redevelopment of the former Pheasant Run Mega Center property. McGrath Honda was completed in 2022, followed by McGrath Kia in 2024. The PUD contemplated a third building on the last remaining lot.</p> <p>Chris McGrath, property owner, is seeking approval of plans to construct additional parking for Kia dealership vehicle inventory in the location of the third planned building. Details include:</p> <ul style="list-style-type: none"> <li>• 474-stall parking lot.</li> <li>• Landscaping consistent with remainder of PUD.</li> <li>• Access via existing Rt 64 right in/right-out driveway.</li> <li>• Cross-access to properties to the east.</li> <li>• Stormwater detention at the south end.</li> </ul> <p>A Final Plat of Subdivision has also been submitted which plats the property as a single lot and establishes required easements.</p> <p><b>Plan Commission Recommendation</b> – Plan Commission reviewed the PUD Preliminary Plan and Final Plat of Subdivision on 8/19/25 and voted 7-0 to recommend approval subject to resolution of staff comments.</p> <p>All staff comments have been addressed.</p>			
<b>Attachments (please list):</b> Plan Commission Resolution, Staff Report, Application, Plat, Plans			
<b>Recommendation/Suggested Action (briefly explain):</b> Recommendation to approve a PUD Preliminary Plan and Final Plat of Subdivision for McGrath Kia Parking Expansion, McGrath Business Center PUD.			

**City of St. Charles, Illinois**  
**Plan Commission Resolution No. 5-2025**

**A Resolution Recommending Approval of a PUD Preliminary Plan and Final Plat of Subdivision for McGrath Kia Parking Expansion, McGrath Business Center PUD (Chris McGrath)**

**Passed by Plan Commission on August 19, 2025**

WHEREAS, it is the responsibility of the St. Charles Plan Commission to review PUD Preliminary Plans and requests for Final Plat of Subdivision; and

WHEREAS, the Plan Commission has reviewed the PUD Preliminary Plan and the Final Plat of Subdivision for McGrath Kia Parking Expansion, McGrath Business Center PUD (Chris McGrath); and

WHEREAS, the Plan Commission finds said PUD Preliminary Plan to be in conformance with the applicable PUD and Zoning Ordinance requirements, subject to resolution of any outstanding staff review comments; and

WHEREAS, the Plan Commission finds the Final Plat of Subdivision to be in conformance with the requirements of Title 16 of the City Code entitled, "Subdivisions and Land Improvement" and Title 17, Chapter 17.14-Business & Mixed-Use Districts.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of a PUD Preliminary Plan and Final Plat of Subdivision for McGrath Kia Parking Expansion, McGrath Business Center PUD (Chris McGrath), contingent upon the resolution of all staff comments prior to City Council action.

Roll Call Vote:

Ayes: Wiese, Ewoldt, Funke, Fitzgerald, Rosenberg, Vargulich

Nays:

Absent: Gruber, Lawson

Abstain: Payleitner

Motion carried: 6-0


PASSED, this 19th day of August 2025.

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Chairman  
St. Charles Plan Commission



Staff Report  
Plan Commission Meeting – August 19, 2025

<b>Applicant:</b>	Chris McGrath	<b>McGrath Business Center Phase 2 – Kia Parking Expansion</b>  <p><i>Subject Property</i></p>
<b>Property Owner:</b>	4085 E Main LLC	
<b>Location:</b>	East end of former Pheasant Run property	
<b>Purpose:</b>	Construct additional parking for McGrath Kia dealership	
<b>Applications:</b>	<ul style="list-style-type: none"> <li>• PUD Preliminary Plan</li> <li>• Final Plat of Subdivision</li> </ul>	
<b>Public Hearing:</b>	Not required	
<b>Zoning:</b>	BR Regional Business / PUD	
<b>Current Land Use:</b>	Vacant	
<b>Comprehensive Plan:</b>	Corridor/Regional Commercial & Open Space	
<b>Summary of Proposal:</b>	<p>The McGrath Business Center PUD includes the McGrath Honda and McGrath Kia properties and the subject property, which is the last undeveloped portion of the PUD.</p> <p>A PUD Preliminary Plan has been submitted for the subject property, located east of McGrath Kia. Details:</p> <ul style="list-style-type: none"> <li>• Plat the property as a single lot with required easements established.</li> <li>• Construct a parking lot to be used by McGrath Kia.</li> <li>• Access via existing right-in/right-out driveway off Rt 64, shared with McGrath Kia.</li> <li>• Stormwater detention at the south end of the property.</li> </ul>	
<b>Info / Procedure on Application:</b>	<p><b>PUD Preliminary Plan:</b></p> <ul style="list-style-type: none"> <li>• Approval of plans for development of property within a PUD to ensure compliance with the PUD ordinance and applicable provisions of the Zoning Ordinance. Includes building elevations and site, landscape, and engineering plans.</li> <li>• A public hearing is not required for this type of application.</li> <li>• No findings of fact are applicable to this application.</li> <li>• Recommendation is based on compliance with the concurrently approved Special Use for PUD standards and other city code requirements (including Zoning and Subdivision codes).</li> </ul> <p><b>Final Plat of Subdivision:</b></p>	

- Final Plat is the actual plat document that will be recorded with the County to formally create new lots, dedicate streets, and provide easements, etc.
- Recommendation is based on compliance with all other code requirements (including Zoning & Subdivision Codes).

<b>Suggested Action:</b>	Review the PUD Preliminary Plan and Final Plat of Subdivision. A recommendation for approval should be subject to resolution of all staff comments prior to City Council action.
<b>Staff Contact:</b>	Ellen Johnson, Planner

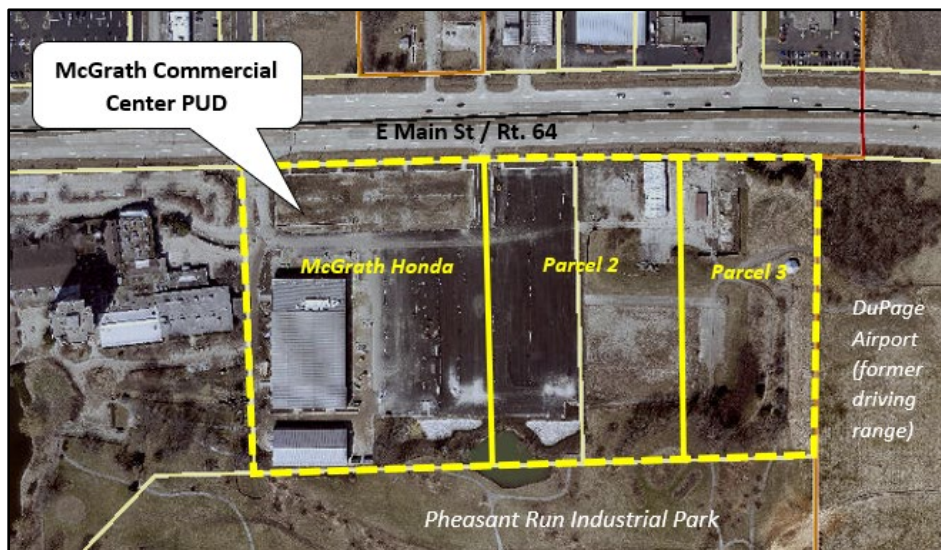
## I. PROPERTY INFORMATION

### A. History / Context

The subject property is a 4.83-acre parcel located in the McGrath Business Center PUD, a redevelopment of a portion of the former Pheasant Run Resort complex that included the Mega Center building, parking area east of the Mega Center, and the resort/golf course maintenance facility at the far east end of the property.

The McGrath Business Center PUD was approved by the City in 2021 under Ord. 2021-Z-3. The ordinance approved a number of zoning deviations for development of the property. Also approved were preliminary plans for the McGrath Honda dealership at the west end of the PUD, and a PUD Sketch Plan which provided a conceptual layout of possible future development for the two parcels east of the Honda dealership. Car dealerships were contemplated; however, the PUD allows any use permitted in the underlying BR Regional Business zoning district.

In 2023, the City approved a PUD Preliminary Plan for McGrath Kia, located on the property east of McGrath Honda. The remaining parcel is undeveloped and has been used as temporary parking for the Kia dealership.

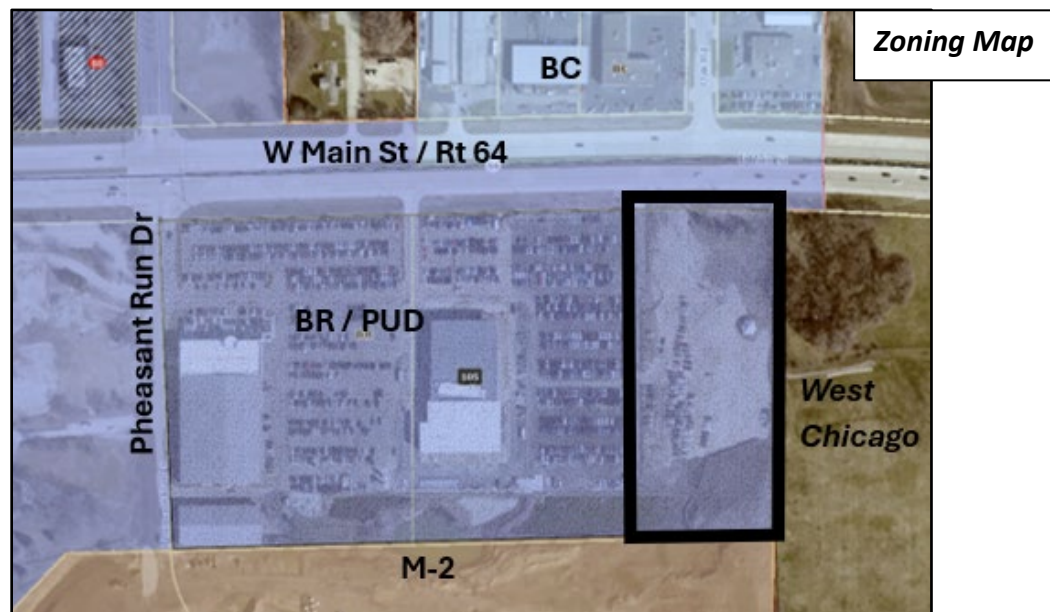




## B. Zoning

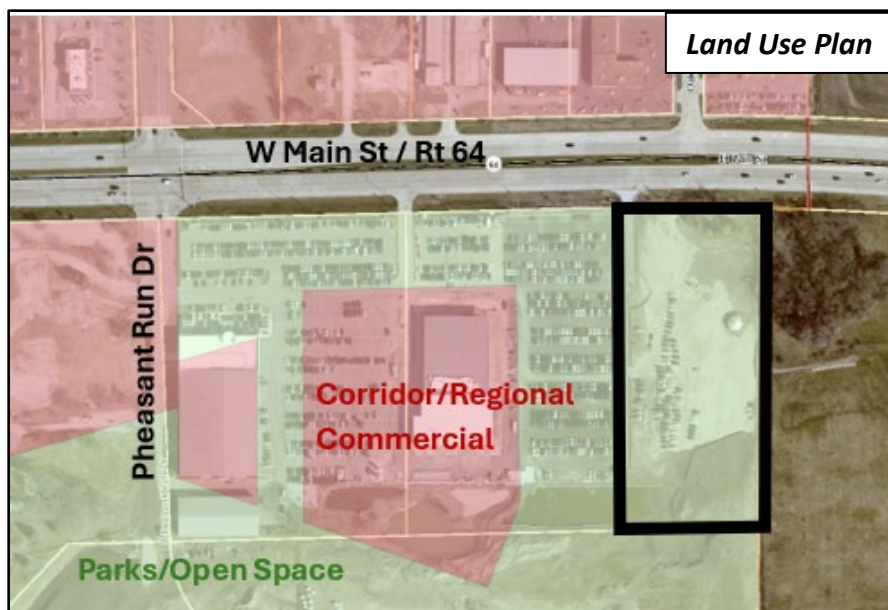
The subject property is zoned BR Regional Business and is located in the McGrath Business Center PUD. Properties to the north and west fronting Rt 64 have commercial zoning, with manufacturing to the south and DuPage Airport to the east.

	<b>Zoning</b>	<b>Land Use</b>
<b>Subject Property</b>	BR Regional Business / PUD	Vacant
<b>North</b>	BR Regional Business BC Community Business R3 Single Family (DuPage County Zoning)	Baltria Auto Dealer; Public Storage
<b>East</b>	A Airport (City of West Chicago Zoning)	DuPage Airport
<b>South</b>	M-2 Limited Manufacturing	Pheasant Run Industrial Park
<b>West</b>	BR Regional Business / PUD	McGrath Kia / Honda



## C. Comprehensive Plan

The Land Use Plan adopted as part of the 2013 Comprehensive Plan identified the developed portions of the former Pheasant Run resort as “Corridor/ Regional Commercial” and the Golf Course as “Open Space”, including the subject property.



The subject property is located at the edge of the East Gateway Sub Area, which lists the following goals and objectives:

#### **Subarea Goals**

*The East Gateway subarea represents a unique opportunity for economic development, revitalization and stabilization with for a specific context within the City of St. Charles. The overall vision for the subarea includes the following:*

- *Revitalization of the Subarea's retail areas that maximizes the locational assets within this area of the City.*
- *Improved connectivity and circulation within the Subarea providing logical and efficient connections between compatible uses.*
- *Better separation of incompatible land uses to protect residential neighborhoods while at the same time help define the City's business areas.*
- *Attractive streets and sites to distinguish this Subarea and key corridors from neighboring communities.*
- *A mix of uses that that help diversify the City's economy and provide places to live, work, and shop.*

#### **Subarea Objectives**

- *Improve the appearance of the Kirk Road and Main Street Corridors to assist in strengthening the community's identity and appearance through installation of streetscaping, wayfinding and gateway elements.*
- *Use landscaping appropriately to enhance commercial areas, screen unsightly areas, and provide an attractive streetscape and overall setting for the area.*
- *Improve the overall connectivity and mobility within the Subarea through both public streets and internal connection to provide a predictable and navigable environment.*
- *Preserve surrounding neighborhoods through the use of screening, buffering, and better separation from commercial development.*
- *Create market-responsive development parcels that can accommodate projects of an appropriate scale and phasing over time.*
- *Take advantage of proximity to DuPage Airport and Pheasant Run as activity generators.*
- *Reposition the Charlestowne Mall site to foster its renaissance or its redevelopment.*

- *Enhance the character of both existing and new development through site improvements, facade enhancements, consistent signage regulation, and attractive building design and materials.*

## II. PROPOSAL

Chris McGrath, on behalf of property owner 4085 E. Main, LLC is proposing to develop the final phase of the McGrath Commercial Center PUD with an additional parking lot for the existing Kia Dealership adjacent to the west. Details of the proposal are as follows:

- Plat the property as a single lot and establish required easements.
- Construct a 474-stall parking lot to be used by McGrath Kia for vehicle inventory.
- Access via existing right-in/right-out driveway off Rt 64, shared with the Kia dealership.
- Stormwater detention at the south end of the property.

The following development applications have been submitted for approval:

1. PUD Preliminary Plan – Plan approval required for development of property that is within a Planned Unit Development to ensure compliance with zoning and PUD standards. Includes site plan, preliminary engineering, and landscape plan.
2. Final Plat of Subdivision – To subdivide the property to create new lots and establish required easements.

## III. PLANNING ANALYSIS

Staff has analyzed the submitted applications and plans for conformance with the standards established in the McGrath Commercial Center PUD (Ord. 2021-Z-3) and applicable sections of the Zoning and Subdivision ordinances, including:

- Title 16 Subdivisions & Land Improvements
- Ch. 17.14 Commercial Districts
- Ch. 17.24 Off-Street Parking
- Ch. 17.26 Landscaping & Screening

### A. Proposed Use

Proposed use of the subject property as a parking lot is permitted as an expansion of the adjacent dealership use, classified under the Zoning Ordinance as “Motor Vehicle Sales and Leasing”. The PUD contemplated an additional car dealership on this property, but any use permitted in the underlying BR District is acceptable.

### B. Bulk Standards

The table below compares the proposed plans with the bulk standards applicable to the BR District and McGrath Business Center PUD. All applicable standards are met.

Category	BR District / PUD Standard	Proposed
<b>Min. Lot Area</b>	1 acre	2.83 acres / 210,584 sf
<b>Min. Lot Width</b>	None	307 ft.
<b>Front Yard</b>	15 ft. parking/paving (PUD)	17.5 ft. parking/paving
<b>Interior Side Yard</b>	West: 0 ft. parking/paving (PUD) East: 15 ft. parking/paving	West: 0 ft. parking/paving East: 15 parking/paving
<b>Rear Yard</b>	0 ft. parking/paving (PUD)	100 ft. parking/paving

**C. Site Access**

Access to the property is provided from an existing right-in/right-out driveway off Rt 64/E Main St. The driveway is shared with the McGrath Kia property. Cross-access easements are in place allowing for internal cross access from the McGrath Honda entrance at Pheasant Run, which is a full signalized intersection, through McGrath Kia, to the subject property.

The property is at the east end of the City’s pedestrian circulation system. No new public sidewalks are shown; none were provided for McGrath Honda or Kia. Property to the east is part of the DuPage Airport where no sidewalks exist.

**D. Landscaping**

The McGrath Business Center PUD Ordinance granted a number of deviations from the landscaping requirements of Ch. 17.26 “Landscaping and Screening”. The PUD allows for the design of landscaping along the public street frontage, within the parking lot, and along the building foundation for all development within the PUD to be a “design of a similar character and number of plantings” as the plans for McGrath Honda, which were approved as part of the PUD Ordinance.

The landscape plan submitted for the subject property is similar to that of McGrath Honda and Kia. Plantings and trees are provided within the setback along Rt. 64, with a planting strip along the access drive into the site. Trees are provided along the east property line. The overall landscape area for the property is 22.8%, including the detention basin, which is over the 15% overall open space area required for the PUD as a whole.

**E. Site Lighting**

A photometric plan has been submitted depicting pole lighting. Per Section 17.22.040 “Sight Lighting”, light intensity along the property line abutting right-of-way (Rt. 64) is limited to an average of 15 horizontal foot-candles for motor vehicle display lots. This standard is met along the Rt. 64 lot line. Light intensity along property lines abutting other commercial zoning districts is typically limited to 2.0 horizontal foot-candles. This is met along the east lot line. Because the subject property is adjacent to a motor vehicle dealership on the east side, an average of 15 foot-candles is acceptable along the east lot line. This standard is met.

**F. Plat of Subdivision**

A Final Plat of Subdivision has been submitted, titled “McGrath Commerce Center Subdivision – Phase 2”. A single lot is proposed, covering the entire subject property and totaling 210,584 sf / 4.83 acres.

The Plat notes existing public utility, stormwater, and cross-access easements previously established. New easements for the expanded detention basin and sanitary sewer through the property are granted.

**IV. DEPARTMENTAL REVIEWS****A. Engineering Review**

Engineering plans and stormwater report have been approved by staff. Stormwater detention is proposed at the south end of the property as an expansion of the existing detention basin on the McGrath Kia property.

**B. Fire Dept. Review**

The plans meet Fire access requirements.

**C. Public Works**

Public Works has reviewed the plans and all comments have been addressed.

**V. OPTIONS FOR ACTION**

Review the PUD Preliminary Plan and Final Plat of Subdivision.

Staff has found the application materials to be complete. Staff recommends the any recommendation include a condition requiring resolution of all staff comments prior to City Council action.

**VI. ATTACHMENTS**

- Applications for PUD Preliminary Plan & Final Plat of Subdivision; received 12/2/24
- Final Plat of Subdivision
- Preliminary Plans

City of St. Charles  
Community Development Division  
2 E. Main Street  
St. Charles, IL 60174



Phone: (630) 377-4443  
Email: [cd@stcharlesil.gov](mailto:cd@stcharlesil.gov)

## PUD PRELIMINARY PLAN APPLICATION

### For City Use

Project Name: McGrath Bus. Center Phase 2 - Kia Parking Expansion  
Project Number: 2023-PR-003  
Cityview Project Number: PLPUD202400042

Received Date

**RECEIVED**

**DEC 13 2024**

City of St. Charles  
Community Development

- File this application to request approval of a PUD Preliminary Plan. Normally, this application is reviewed concurrently with an application for Special Use for PUD, unless a Special Use for PUD has previously been granted and no amendment is necessary.
- Complete the application and submit with all required attachments to the Community Development Division.
- The information you provide must be complete and accurate. If you have any questions please contact the Community Development Division.
- City staff will review the submittal for completeness and for compliance with applicable requirements. Staff will distribute the plans to other City departments for review when the application is complete.
- The PUD Preliminary Plan will be scheduled for Plan Commission review when staff has determined the plans are ready.

<b>1. Property Information:</b>	Location:	4085 E. Main Street	
	Parcel Number (s):	01-30-300-064	
	Proposed PUD Name:	McGrath Business Center Subdivision Phase 2	
<b>2. Applicant Information:</b>	Name:	Chris McGrath	Phone: 847-980-6184
	Address	2020 Randall Road Elgin, IL 60123	Email: mcgrathchris@yahoo.com
<b>3. Record Owner Information:</b>	Name:	4085 E Main LLC, c/o Chris McGrath	Phone: 847-980-6184
	Address:	2020 Randall Road Elgin, IL 60123	Email: mcgrathchris@yahoo.com



**4. Identify the Type of Application:**

- ☐ New proposed Planned Unit Development (PUD) – *Special Use Application to be filed concurrently*  
☒ Existing Planned Unit Development (PUD)  
☐ PUD Amendment required for proposed plan – *Special Use Application to be filed concurrently*

***Subdivision:***

- ☐ Proposed lot has already been platted and a new subdivision is not required.  
☒ New subdivision of property is required:  
☒ Final Plat of Subdivision Application filed concurrently  
☐ Final Plat of Subdivision Application to be filed later

**5. Required Attachments:**

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

*Submit 1 copy of each required item, unless otherwise noted.*

- ☒ APPLICATION FEE: \$500  
☒ REIMBURSEMENT OF FEES AGREEMENT: An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.  
☒ REIMBURSEMENT OF FEES INITIAL DEPOSIT: Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

- ☐ PROOF OF OWNERSHIP: a) A current title policy report; or  
b) A deed and a current title search

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

- ☐ OWNERSHIP DISCLOSURE: Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.  
☐ LETTER OF AUTHORIZATION: If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.  
☒ LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper and Microsoft Word file.  
☒ PLAT OF SURVEY: A current plat of survey for the subject property showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

- ☒ **SOIL AND WATER CONSERVATION DISTRICT LAND USE OPINION APPLICATION:** As required by State law, submit a Land Use Opinion application and required fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy of completed Land Use Opinion application to the City. The Land Use Opinion application can be found on the Kane-DuPage SWCD website: <http://www.kanedupageswcd.org/>
- ☒ **ENDANGERED SPECIES REPORT:** As required by State law, file an Endangered Species Consultation Agency Action with the Illinois Department of Natural Resources. Provide a copy of the report to the City. The online Ecological Compliance Assessment Tool (EcoCAT) should be utilized: <https://dnr2.illinois.gov/EcoPublic/>
- ☒ **STORMWATER MANAGEMENT:** Written information as described in the Stormwater Management Requirements for Preliminary Plans (attached).
- ☐ **PUBLIC BENEFITS, DEPARTURES FROM CODE:** A written statement describing how the PUD meets the purposes and requirements established in Section 17.04.400 of the Zoning Ordinance. List any requests for deviations (departures) from the requirements of Title 16 "Subdivisions and Land Improvement" and Title 17 "Zoning" and provide a rationale for each requested deviation.
- ☒ **CONSTRUCTION SCHEDULE:** Indicate the following:
- Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the Plat of Subdivision and through supporting material.
  - Approximate dates for beginning and completion of each phase.
- ☐ **PARK AND SCHOOL LAND/CASH WORKSHEETS:** *For residential developments only.* Use the attached worksheet to calculate the estimated population and student yields and resulting land/cash contributions in accordance with Title 16 of the St. Charles Municipal Code.
- ☐ **INCLUSIONARY HOUSING WORKSHEET:** *For residential developments only.* Use the attached worksheet to calculate the affordable unit requirement and indicate how the development will comply with Title 19 of the St. Charles Municipal Code.

**PLANS:** All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies:** Ten (10) full size copies, one (1) 11" by 17", and PDF electronic file emailed to: [cd@stcharlesil.gov](mailto:cd@stcharlesil.gov)

- ☒ **PRELIMINARY PLAT OF SUBDIVISION / DRAWING REQUIREMENTS CHECKLIST:** If the PUD Preliminary Plan involves the subdivision of land, submit a Preliminary Plat of Subdivision that includes the information listed on the Subdivision Plat Drawing Requirements Checklist. Also submit a completed Subdivision Plat Drawing Requirements Checklist (attached).
- ☒ **PRELIMINARY ENGINEERING PLANS / DRAWING REQUIREMENTS CHECKLIST:** Plans shall include the following information. Also submit a completed Drawing Requirements Checklist- Preliminary Engineering Plans.
1. Accurate boundary lines with dimensions
  2. Existing and proposed easements: location, width, purpose
  3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
  4. Location, size, shape, height, and use of existing and proposed structures



5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with the proposal indicated
11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermain, and appropriate appurtenant structures
36. Exterior lighting plans showing:
  - Location, height, intensity and fixture type of all proposed exterior lighting
  - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

☐ **ARCHITECTURAL PLANS:** Architectural plans and data for all principal buildings with sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed-use buildings, total floor area and total building coverage of each building.

☐ **TREE PRESERVATION PLAN:** When required, in accordance with Ch. 8.30 of the St. Charles Municipal Code (see attached "Tree Preservation Requirements for Preliminary Plans". This information may be included as part of the Landscape Plan set.

☒ **LANDSCAPE PLAN:** Landscape Plan showing the following information:

- Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
- Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
- Accurate property boundary lines
- Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
- Site area proposed to be landscaped in square feet and as a percentage of the total site area
- Percent of landscaped area provided as per code requirement
- Dimensions of landscape islands
- Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
- Location and identification of all planting beds and plant materials
- Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
- Landscaping of ground signs and screening of dumpsters and other equipment

☐ **SKETCH PLAN FOR LATER PHASES OF PUD:** For phased PUDs only, submit a plan that shows, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.



11/19/2024

Record Owner

Date



11/19/2024

Applicant or Authorized Agent

Date

**OWNERSHIP DISCLOSURE FORM  
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS       )  
                                      ) SS.  
KANE COUNTY            )

I, Chris McGrath, being first duly sworn on oath depose and say that I am  
Manager of HOBS E MAIN LLC, an Illinois Limited Liability  
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

Gary McGrath

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

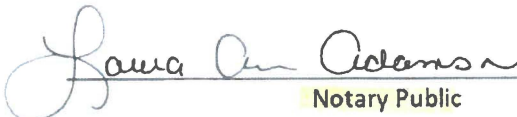
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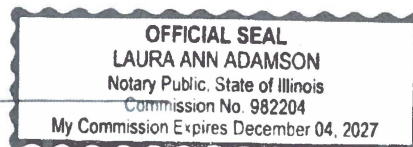
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\_\_\_\_\_

By:  Manager

Subscribed and Sworn before me this 20<sup>th</sup> day of  
NOV, 20 24.

  
Notary Public



City of St. Charles  
Community Development Division  
2 E. Main Street  
St. Charles, IL 60174



Phone: (630) 377-4443  
Email: [cd@stcharlesil.gov](mailto:cd@stcharlesil.gov)

## FINAL PLAT OF SUBDIVISION APPLICATION

### For City Use

Project Name: McGrath Bus. Center Phase 2 - Kie Parking Expansion  
Project Number: 2023 -PR- 003  
Cityview Project Number: PLP 202400041

Received Date

RECEIVED

2023 11 20 2024

City of St. Charles  
Community Development

- File this application to request approval of a Final Plat of Subdivision.
- Complete the application and submit with all required attachments to the Community Development Division.
- The information you provide must be complete and accurate. If you have any questions please contact the Community Development Division.
- City staff will review the submittal for completeness and for compliance with applicable requirements. Staff will distribute the plans to other City departments for review when the application is complete.
- The Final Plat of Subdivision will be scheduled for Plan Commission review when staff has determined the plans are ready.

<b>1. Property Information:</b>	Location: 4085 E. MAIN STREET	
	Parcel Number (s): 01-30-300-064	
	Proposed Subdivision Name: McGrath Business Center Subdivision Phase 2	
<b>2. Applicant Information:</b>	Name: Chris McGrath	Phone: 847-980-6184
	Address 2020 Randall Road Elgin, IL 60123	Email: mcgrathchris@yahoo.com
<b>3. Record Owner Information:</b>	Name: 4085 E Main LLC, c/o Chris McGrath	Phone: 847-980-6184
	Address: 2020 Randall Road Elgin, IL 60123	Email: mcgrathchris@yahoo.com

**4. Identify the Type of Application:**

- ☒ **Subdivision:**
- ☐ Preliminary Subdivision Plat was previously approved by the City
  - ☒ Combined Preliminary-Final Review Process (Preliminary Plat Application filed concurrently)
- ☒ **Planned Unit Development (PUD):**
- ☐ PUD Preliminary Plan was previously approved by the City
  - ☒ Combined Preliminary-Final Review Process (PUD Preliminary Plan Application filed concurrently)
  - ☐ PUD Final Plat Application filed concurrently

*\*Note- This application is not required for a Minor Subdivision. File only a Minor Subdivision-Final Plat application for a subdivision which qualifies as a Minor Subdivision per City Code Section 16.04.040.*

**5. Required Attachments:**

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

- ☒ **APPLICATION FEE:** \$300
- ☒ **REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- ☒ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:** Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

- ☐ **FEE FOR INSTALLATION OF CITY BENCHMARKS:** Payment for installation of City benchmarks in accordance with Appendix F of the Subdivision Code (City Code Title 16). Required payment is based on the size of the subdivision:

Subdivision Acreage	Number of Benchmarks	Fee at \$2500 per Benchmark
20+	2	\$5000
10 to 20	1	\$2500
5 to 10	0.5	\$1250
1 to 5	0.25	\$625
Less than 1	0.10	\$250

- ☐ **PROOF OF OWNERSHIP:** a) A current title policy report; or  
b) A deed and a current title search

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*


- ☒ **OWNERSHIP DISCLOSURE:** Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.
- ☐ **LETTER OF AUTHORIZATION:** If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.
- ☒ **STORMWATER MANAGEMENT PERMIT APPLICATION:** If application is not already filed.
- ☒ **STORMWATER REPORT**
- ☒ **ENGINEER'S COST ESTIMATE SPREADSHEET:** Use the attached form.
- ☐ **FINANCIAL GUARANTEE & LAND IMPROVEMENT AGREEMENT:** With this application, provide a draft or description of the proposed guarantee for the payment and completion of Land Improvements. Include the proposed form, amount, and provider of completion guarantee collateral – bond, cash, or letter of credit. These items must be provided prior to the City signing the Final Plat of Subdivision and recording the plat.
  - **Letter of Credit form – see City Code Title 16, Appendix C**
  - **Land Improvement Agreement – see City Code Title 16, Appendix D**
- ☐ **PARK AND SCHOOL LAND/CASH WORKSHEETS:** *For residential developments only.* Use the attached worksheet to calculate the estimated population and student yields and resulting land/cash contributions in accordance with Title 16 of the St. Charles Municipal Code.
- ☐ **INCLUSIONARY HOUSING WORKSHEET:** *For residential developments only.* Use the attached worksheet to calculate the affordable unit requirement and indicate how the development will comply with Title 19 of the St. Charles Municipal Code.
- ☐ **COPIES OF THIRD PARTY PERMIT/APPROVALS:** Provide the applicable required items which may include:
  - Illinois EPA Water Pollution Control Permit for sanitary sewer extension
  - Illinois EPA Division of Public Works Supplies Permit for water mains
  - Notice of Intent (NOI) letter/permit for NPDES Stormwater Discharge for sites 5 acres and larger
  - IDNR Office of Water Resources Permit (for work in floodplain)
  - Wetlands Permit from Army Corps of Engineers
  - Kane County DOT and/or IDOT signature on Final Plat (if applicable)
  - Offsite easements and right-of-way necessary to construct the required Land Improvements


**PLANS:** All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies:** Ten (10) full size copies, one (1) 11" by 17", and PDF electronic file emailed to: [cd@stcharlesil.gov](mailto:cd@stcharlesil.gov)

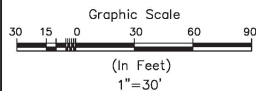
- ☒ **FINAL PLAT OF SUBDIVISION / DRAWING REQUIREMENTS CHECKLIST:** A Final Plat of Subdivision that includes the information listed on the Subdivision Plat Drawing Requirements Checklist. Also submit a completed Checklist (attached).
- ☒ **FINAL ENGINEERING PLANS / DRAWING REQUIREMENTS CHECKLIST:** Final Engineering plans that include the information listed on the Drawing Requirements Checklist-Final Engineering Plans. Also submit a completed Checklist (attached).

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

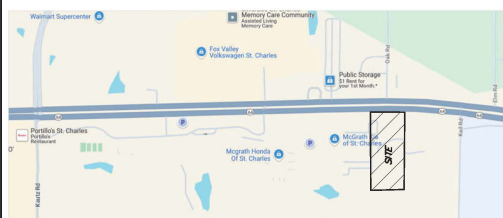
	11/19/2024
Record Owner	Date

	11/19/2024
Applicant or Authorized Agent	Date







BEING A RESUBDIVISION OF PART OF THE SOUTH HALF OF SECTION 30, TOWNSHIP 40 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS



### VICINITY MAP

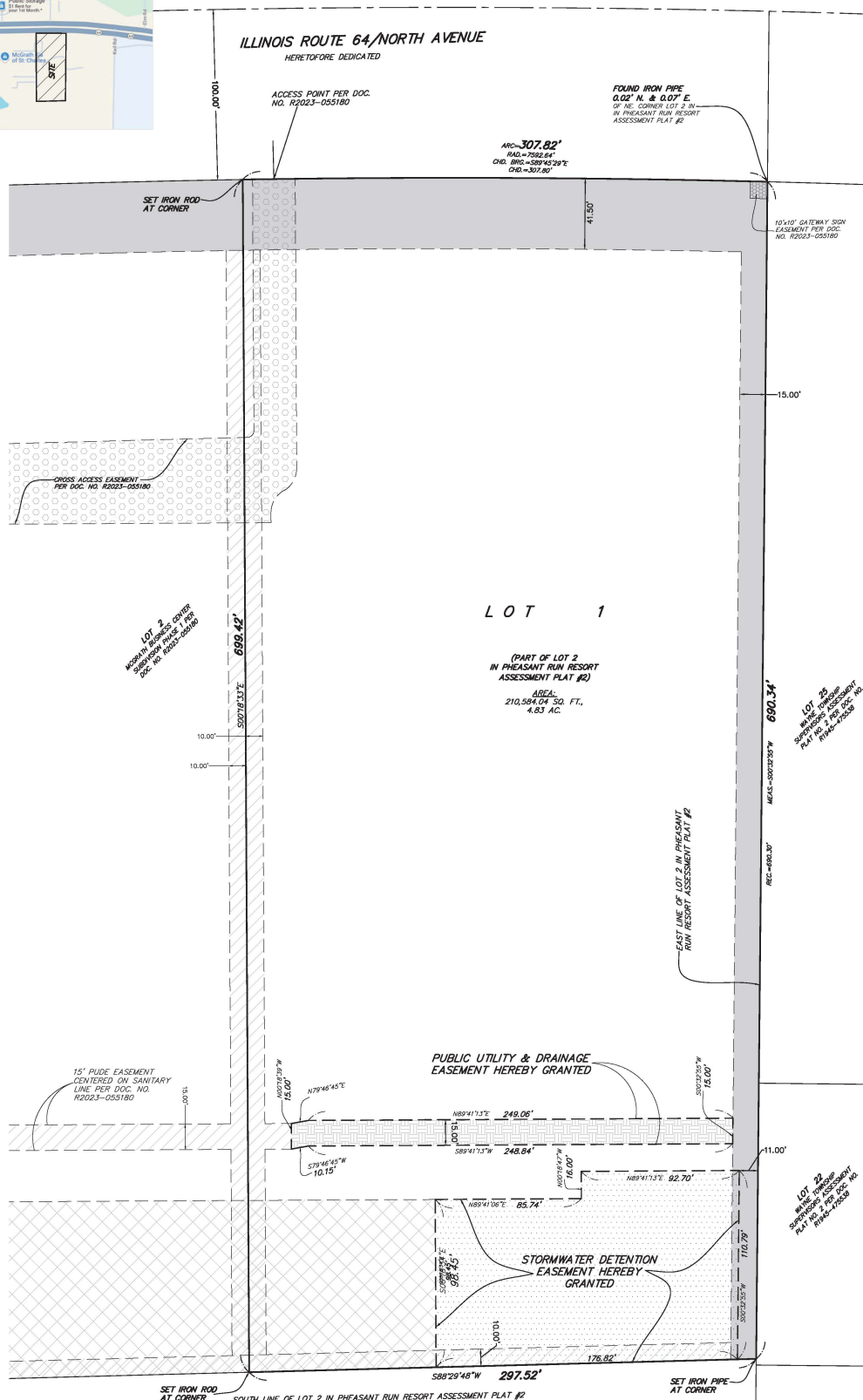
LEGEND

- |   |  |
|---|--|
|  | PUBLIC UTILITY AND DRAINAGE<br>EASEMENT PER DOC. NO.<br>R2023-047461         |
|  | STORMWATER DETENTION<br>EASEMENT GRANTED PER DOC.<br>NO. R2023-055180        |
|  | PUBLIC UTILITY AND DRAINAGE<br>EASEMENT GRANTED PER DOC.<br>NO. R2023-055180 |
|  | CROSS ACCESS EASEMENT<br>GRANTED PER DOC. NO.<br>R2023-055180                |
|  | STORMWATER DETENTION<br>EASEMENT GRANTED                                     |
|  | PUBLIC UTILITY AND DRAINAGE<br>EASEMENT GRANTED                              |

## OWNER'S NAME &amp; ADDRESS:

OWNER'S NAME & ADDRESS:  
4085 E MAIN LLC  
2020 N RANDALL RD  
ELGIN IL 60123

EASEMENT AREA TABLE	
EASEMENT DESCRIPTION	AREA (SQ. FT.)
EXISTING PUBLIC UTILITY AND DRAINAGE EASEMENT PER DOC. NO. R0202-047461	22,499.86
EXISTING STORMWATER DETENTION EASEMENT GRANTED PER DOC. NO. R0203-055180	10,921.30
EXISTING PUBLIC UTILITY AND DRAINAGE EASEMENT GRANTED PER DOC. NO. R0203-055180	9,536.98
EXISTING CROSS ACCESS EASEMENT GRANTED PER DOC. NO. R0203-055180	5,038.93
PROPOSED STORMWATER DETENTION EASEMENT	18,628.40
PROPOSED PUBLIC UTILITY AND DRAINAGE EASEMENT	3,884.28



1	05/02/2025	REVISED PER EMAIL DATED 05/01/2025	MMG
<i>NO.</i>	<i>DATE</i>	<i>DESCRIPTION</i>	<i>BY</i>



**GENTILE & ASSOCIATES, INC.**  
**PROFESSIONAL LAND SURVEYORS**  
 550 E. ST. CHARLES PLACE  
 LOMBARD, ILLINOIS 60148  
 PHONE (630) 916-6262

PHONE: (630) 918-  
PREPARED FOR: RWG ENGINEERING, LLC  
DRAWN BY: MMG  
ORDER NO.: 22034-24 SUB-REVI  
SHEET 1 OF 2

ILLINOIS PROFESSIONAL DESIGN  
FIRM LICENSE NO. 184.002870



ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2925  
MY LICENSE EXPIRES NOVEMBER 30, 2026.

RWG ENGINEERING, LLC  
CIVIL ENGINEERING - REAL ESTATE CONSULTING - PROJECT MANAGEMENT  
ILLINOIS PROFESSIONAL DESIGN FIRM #184-006370  
LIMITATION OF WARRANTY OF ENGINEER'S INSTRUMENTS OF SERVICE

THE ENGINEER AND HIS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE THE NECESSARY STEPS TO CORRECT THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT OF THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

## LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	○	●
CATCH BASIN	□	■
INLET	□	■
PRECAST FLARED END SECTION	□	■
CONCRETE HEADWALL	□	■
VALVE VAULT	⊙	⊙
VALVE BOX	⊙	⊙
FIRE HYDRANT	⊙	⊙
BUFFALO BOX	⊙	⊙
CLEANOUT	⊙	⊙
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
WATER MAIN	—	—
CONSTRUCT WATER MAIN UNDER SEWER	—	—
GRANULAR TRENCH BACKFILL	—	—
STREET LIGHT	—	—
ELECTRICAL CABLE	—	—
SECURITY BOLLARD	—	—
ELECTRICAL TRANSFORMER ON PEDESTAL	—	—
POWER POLE	—	—
STREET SIGN	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	—	—
SPOT ELEVATION	—	—
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
DITCH OR SWALE	—	—
OVERFLOW RELIEF ROUTING	—	—
SLOPE BANK	—	—
TREE WITH TRUNK SIZE	—	—
SOIL BORING	—	—
TOPSOIL PROBE	—	—
FENCE LINE, WIRE OR SILT	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

## ABBREVIATIONS

BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CE	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
ED	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	Δ	INTERSECTION ANGLE



Know what's below.  
Call before you dig.

Formerly 811 1-800-892-0123

## FINAL ENGINEERING PLANS

FOR

# KIA PARKING EXPANSION

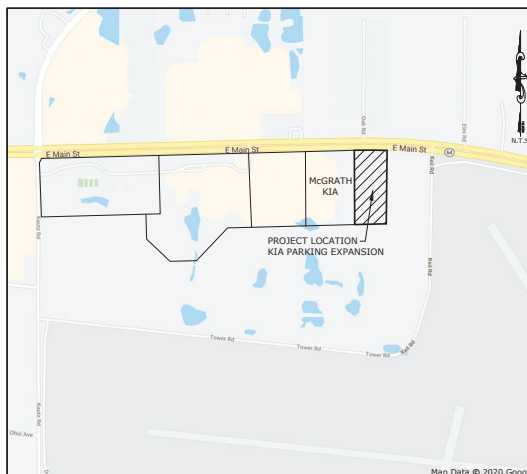
## AT

### McGRATH BUSINESS CENTER

### 4085 E. MAIN STREET

### ST. CHARLES, IL

## LOCATION MAP



## GENERAL NOTES

- The contractor shall notify the following governmental agencies at least two working days prior to commencement of construction:
  - City of St. Charles Public Works Department (630-377-4405)
- The contractor shall notify all utility companies and arrange for their facilities to be located prior to work in any easement, right-of-way, or suspected utility location. Repair of any damage to existing facilities shall be the responsibility of the contractor. Utility locations shown herein are for graphic illustration only and are not to be relied upon.
- Prior to commencement of any offsite construction, the contractor shall secure written authorization that all offsite easements have been secured, and that permission has been granted to enter onto private property.
- Elevations shown herein reflect NAVD 1988 datum.
- The boundary survey data for this project is based on a boundary and topographic survey prepared by Gentile and Associates, Inc. dated September 27, 2024. The contractor shall verify existing conditions prior to commencing construction and shall immediately notify the engineer in writing of any differing conditions.
- RWG Engineering, LLC, its employees and agents are not responsible for the safety of any party at or on the construction site. Safety is the sole responsibility of the contractor, and any other entity performing work at the site. Neither the owner nor the engineer assumes any responsibility for job site safety or for the means, methods or sequences of construction.
- Except where modified by the contract documents, all work proposed herein shall be in accordance with the following specifications, which are hereby made a part hereof:
  - "Standard Specifications for Road and Bridge Construction in Illinois," as prepared by I.D.O.T. latest edition.
  - "Standard Specifications for Water and Sewer Main Construction in Illinois," latest edition.
  - "Standard Specifications for Sewage Works," as published by the I.E.P.A., latest edition.
  - The subdivision and development codes and standards of the City of St. Charles, as published by the Municipality.
  - "Illinois Recommended Standards for Sewage by the State of Illinois Capital Development Board, effective October 23, 2018.
  - The National Electric Code.
  - "Illinois Urban Manual" as prepared by the U.S. Dept. of Agriculture latest edition.
- City of St. Charles Development Ordinance shall take precedence if a conflict in project specifications occurs.

PLANS PREPARED FOR  
**4085 E MAIN LLC**  
2020 RANDALL ROAD  
ELGIN, IL 60123  
630-721-9500

## INDEX OF SHEETS

- TITLE SHEET
- EXISTING CONDITIONS PLAN (1"=40')
- DEMOLITION PLAN (1"=40')
- SITE GEOMETRIC AND PAVING PLAN (1"=40')
- SOIL EROSION AND SEDIMENT CONTROL PLAN (1"=40')
- S.E.S.C. DETAILS AND SCHEDULES
- GRADING PLAN (1"=40')
- UTILITY PLAN (1"=40')
- MISCELLANEOUS DETAILS
- PROJECT NOTES AND SPECIFICATIONS
- CONSTRUCTION STANDARDS AND DETAILS

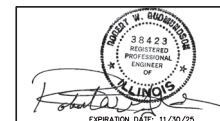
## BENCHMARKS

**BENCHMARK:** DUPAGE COUNTY B.M. NO. WC105  
THE STATION IS LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF POWIS ROAD AND POWIS COURT. THE STATION IS 55.4 FEET EAST OF THE CENTERLINE OF POWIS ROAD, 47.8 FEET NORTH OF THE CENTERLINE OF POWIS COURT AND 16.2 FEET NORTHWEST OF A STORM MANHOLE. THE MONUMENT IS A 3.5 INCH ALUMINUM DISK WITH A LID. THE MONUMENT IS FLUSH WITH GRADE AND 2.8 FEET ABOVE ROAD SURFACE AND IS FERROMAGNETIC.

ELEVATION=757.1 (NAVD 88 DATUM)

**SITE BENCHMARK:**  
CROSS OUT ON TOP OF CONCRETE CURB NEAR NORTHWEST CORNER OF SUBJECT PROPERTY, WEST SIDE OF DRIVE.

ELEVATION=759.65 (NAVD 88 DATUM)



DATE	REVISIONS	BY
1/20/24	1. INITIAL SET	AVS
1/20/24	2. ST. CHARLES DEVELOPMENT ORDINANCE	AVS
1/20/24	3. ST. CHARLES DEVELOPMENT ORDINANCE	AVS

KIA PARKING EXPANSION  
ST. CHARLES, IL  
TITLE SHEET

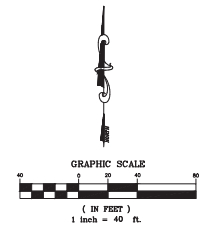
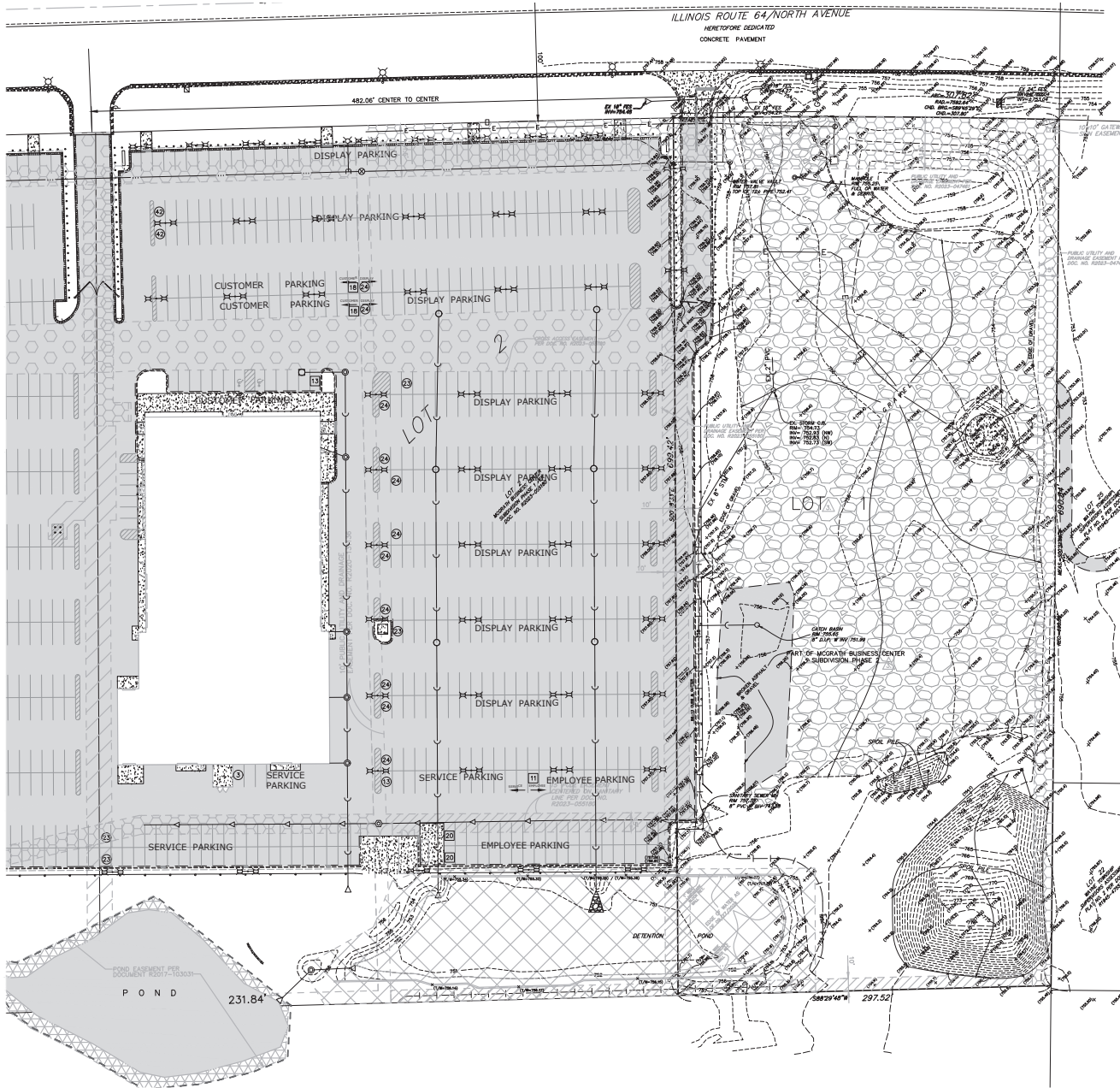
975 E. 22nd St., Suite 400  
St. Charles, IL 60123  
630-480-7889  
www.rwg-engineering.com

**RWG Engineering, LLC**  
Civil Engineering • Real Estate Consulting • Project Management

PROJECT NO.: 80056934  
DATE: 10/25/24  
SCALE: NONE  
PROJ. MGR.: RWG  
PROJ. ASSOC.: AVS  
DRAWN BY: AVS

SHEET  
C1 of 11

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THE INFORMATION SHOWN HEREON IS BASED ON A BOUNDARY AND TOPOGRAPHIC SURVEY DONE BY GENTLE AND ASSOCIATES, INC. JOB NO. 22034-24 TOPG, DATED 08/27/24.

- ABBREVIATIONS LEGEND**  
(IN ADDITION TO TITLE SHEET LEGEND)
- EX = EXISTING
  - PR = PROPOSED
  - BC = BACK OF CURB
  - FC = FACE OF CURB
  - EP = EDGE OF PAVEMENT
  - PL = PROPERTY LINE
  - FB = FACE OF BUILDING
  - EC = EDGE OF CONCRETE
  - RW = RETAINING WALL
  - ROW = RIGHT OF WAY
  - BC/BC = BACK OF CURB TO BACK OF CURB
  - SW = SIDEWALK
  - R = RADIUS
  - (TYP) = TYPICAL

- EASEMENT LEGEND**
- PUBLIC UTILITY AND DRAINAGE EASEMENT GRANTED PER DOC. NO. R2023-047461
  - STORMWATER DETENTION EASEMENT GRANTED PER DOC. NO. R2023-055180
  - PUBLIC UTILITY AND DRAINAGE EASEMENT GRANTED PER DOC. NO. R2023-055180
  - CROSS ACCESS EASEMENT GRANTED PER DOC. NO. R2023-055180

**KIA PARKING EXPANSION  
ST. CHARLES, ILLINOIS  
EXISTING CONDITIONS PLAN**

975 E. 22nd St. Suite 400  
St. Charles, IL 63304  
630.480.7889  
www.rwg-engineering.com



PROJECT NO. 80004924  
DATE 10/25/24  
SCALE 1"=40'  
PROJ. MGR. JRM  
PROJ. ASSOC. AVS  
DRAWN BY TJM

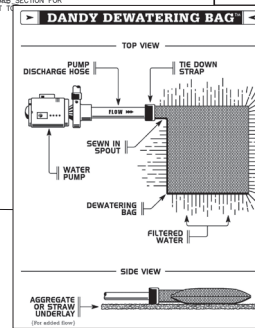
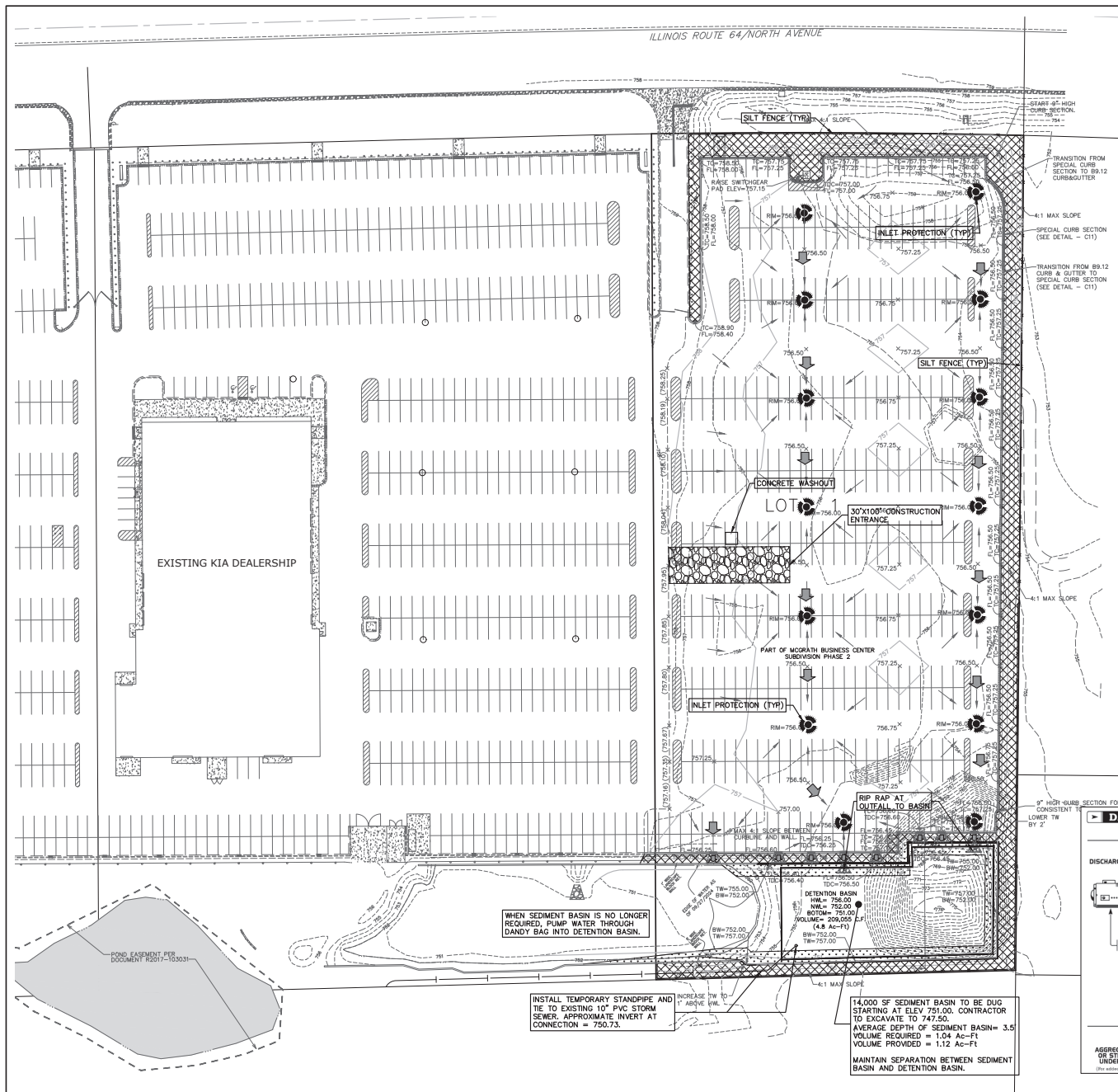
SHEET

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- PERFORMANCE STANDARDS FOR WET-MESIC BASIN**
- PERFORMANCE STANDARDS ARE ESTABLISHED FOR ALL PROPOSED PROJECTS INVOLVING NATURALIZED AREAS SO THAT THE RELATIVE SUCCESS OF CREATION AND ENHANCEMENT EFFORTS MAY BE EVALUATED. IF THE PERFORMANCE STANDARDS ARE NOT ACHIEVED BY THE END OF THE THREE-YEAR MAINTENANCE AND MONITORING PROGRAM, THE PERMITTEE IS RESPONSIBLE FOR CORRECTION OF ANY DEFICIENCIES THROUGH FURTHER MANAGEMENT ACTIVITIES, WHICH MAY INCLUDE REPLANTING.
- LEGEND**
- STORM DRAINAGE STRUCTURE
  - INLET PROTECTION
  - DITCH CHECK
  - SILT FENCE
  - STABILIZED CONSTRUCTION ENTRANCE
  - PERMANENT SEEDING AND EROSION CONTROL BLANKET
  - 10' WIDE BAND OF FLUJOS BELOW NWL
- NOTES:**
1. THE CONTRACTOR AND OWNER/DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS OF NPDES PERMIT 1410. A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON-SITE AND MAINTAINED CURRENT.
  2. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND FUNCTIONAL THROUGHOUT THE CONSTRUCTION PROJECT (MAINTENANCE AND/OR REPLACEMENT COST IN INCIDENTAL).
  3. PERMITTEE SHALL BE RESPONSIBLE FOR CORRECTION OF ANY DEFICIENCIES THROUGH FURTHER MANAGEMENT ACTIVITIES, WHICH MAY INCLUDE REPLANTING.
  4. EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT COMPLIANCE WITH CONSTRUCTION SCHEDULE (SEE SCHEDULE).
  5. ALL STORM WATER RUNOFF SHALL BE DIVERTED INTO SEDIMENT BASINS AND/OR DRAINAGE DITCHES WHICH SHALL BE CONSTRUCTED AT THE ONSET OF GRADING OPERATIONS. ALL SITE RUNOFF SHALL BE ROUTED THROUGH Silt Traps AND Siltation CONTROL DEVICES PRIOR TO DISCHARGE DOWNSTREAM/OFFSITE.
  6. DISTURBED AREAS SHALL BE STABILIZED WITH SEEDING WITHIN SEVEN (7) DAYS OF COMPLETION OF DISTURBANCE UNLESS THE DISTURBANCE WILL COMMENCE AGAIN WITHIN FOURTEEN (14) DAYS. THE TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 44 LBS OF SEED PER 1000 SQ. YD. OF DISTURBED AREA. TOPSOIL STOCKPILES SHALL NOT BE LOCATED WITHIN SPECIAL MANAGEMENT AREAS AND SHALL BE SEEDING WITHIN THREE (3) DAYS OF COMPLETION AND SURROUNDED WITH SILT FENCE FOR EROSION CONTROL.
  7. INLET PROTECTION FILTER BASKETS SHALL BE INSTALLED UNDER THE GRATING OF EACH DRAINAGE STRUCTURE.
  8. ALL DRAINAGE OPERATIONS SHALL BE DISCHARGED INTO SEDIMENT BASINS OR SILT TRAPS. DRAINAGE DISCHARGE DIRECTLY INTO FIELD, TILE OR STORM SEWER IS PROHIBITED.
  9. DUST CONTROL SHALL BE PERFORMED ON A DAILY BASIS USING EQUIPMENT SPECIFICALLY DESIGNED FOR THAT PURPOSE.
  10. GRAVEL CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN OPERATING CONDITION THROUGHOUT CONSTRUCTION TO PREVENT SEDIMENT AND OTHER FINE MATERIALS FROM BEING TRACKED ONTO PUBLIC ROADWAYS. SEDIMENT REACHING A PUBLIC ROAD SHALL BE REMOVED ON A DAILY BASIS.
  11. LOGS MATERIAL DEPOSITED IN THE FLOW LINE OF ANY DITCH OR DRAINAGE DITCH SHALL BE REMOVED ON A DAILY BASIS.
  12. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 0.5 INCHES OR GREATER (OR THE EQUIVALENT) AND IMMEDIATELY REPAIR OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF SUCH MEASURES SHALL BE IMMEDIATE.
  13. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED AND DEPOSED OF IN ACCORDANCE WITH JURISDICTIONAL GOVERNMENTAL AGENCY REQUIREMENTS WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM CONSTRUCTION MATERIALS DEBRIS UPON OR INTO ANY DEVELOPMENT SITE, CHANNEL, POND, LAKE, WETLAND, BUFFER, OR WATERS OF DISBURG COUNTY. THE APPLICANT SHALL MAINTAIN THE DEVELOPMENT SITE FREE OF UNCONTROLLED CONSTRUCTION DEBRIS. CONSTRUCTION SITE OPERATORS SHALL MAINTAIN APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL, AND CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE, TRUCK WASHOUT, CHEMICALS, UTENSILS, AND SANITARY WASTE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
  14. CONTRACTOR TO KEEP PAVEMENT CLEAN OF MUD AND DEBRIS USING SWEEPING/SCORING EQUIPMENT TO BE STORED ON-SITE.
  15. PROVIDE VEHICLE WASHOUT FOR VEHICLES ENTERING SITE LOCATED OUTSIDE OF STATE RIGHT OF WAY.
- SOIL EROSION CONTROL SCHEDULE**
1. INITIAL SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
  2. EROSION WORK AS INDICATED ON PLAN.
  3. EROSION CONTROL MEASURES AS REQUIRED.
  4. GRADE SITE/STOPOPLE TOPSOIL - THESE ITEMS ARE TO BE COMPLETED CONCURRENTLY WITH EROSION CONTROL MEASURES.
  5. INITIAL STORM WATER MANAGEMENT MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
  6. DRAINAGE FILTER MOUND INLETS (DRAIN).
  7. TEMPORARY VEGETATIVE STABILIZATION OF CONTROL MEASURES.
  8. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  9. PERMANENT VEGETATIVE STABILIZATION OF ALL EXPOSED AREAS.
  10. PERFORM CONTINUING MAINTENANCE.
- INSPECTION SCHEDULE**
1. EROSION CONTROL MEASURES - WILL BE INSPECTED AT 7 DAY INTERVALS AND AFTER ANY SIGNIFICANT WEATHER EVENT.
  2. SEDIMENT BASINS AND DITCHES - WILL BE CHECKED AFTER EACH MAJOR PHASE OF THE DEVELOPMENT FOR SEDIMENT ACCUMULATION.
  3. VEGETATIVE STABILIZATION - PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL.
  4. SEDIMENT - ANY EROSION CONTROL MEASURES, STRUCTURAL MEASURES OR OTHER RELATED ITEMS OF EROSION SHALL BE REPAIRED WITHIN 15 DAYS OF FAILURE IF POSSIBLE AND IF NOT REPAIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY DEFICIENCIES THROUGH FURTHER MANAGEMENT ACTIVITIES, WHICH MAY INCLUDE REPLANTING.
  5. SEDIMENT - DRAINAGE DITCHES AND OTHER AREAS THAT SUPPORT A DESIGNATED FLOW OF WATER WILL BE MAINTAINED TO MAINTAIN THAT FLOW.
  6. SEDIMENT - ANY EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. IF ANY EROSION CONTROL MEASURES ARE NOT MAINTAINED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY DEFICIENCIES THROUGH FURTHER MANAGEMENT ACTIVITIES, WHICH MAY INCLUDE REPLANTING.

**SOIL EROSION CONTROL SCHEDULES**

June 23, 2025 10:55:00 a.m. AcadVer:24.2s (LWS Tech)  
Drawing: S:\80004924 - KIA SITE PARKING EXPANSION\300\_ENGINEERING\310\_CADD\FINAL\800\_FINAL\_BASE.DWG

REVISIONS

NO.	DATE	BY	REVISION
1	06/23/25	ST. CHARLES CONSULTING, LLC	SET
2	06/23/25	ST. CHARLES CONSULTING, LLC	REV
3	06/23/25	ST. CHARLES CONSULTING, LLC	REV

DATE

06/23/25

BY

ST. CHARLES CONSULTING, LLC

PROJECT NO.

80004924

DATE

06/23/25

SCALE

1"=40'

PROJ. NO.

800

PROJ. ASSOC.

AVS

DRAWN BY

TJM

SHEET

C5 OF 11

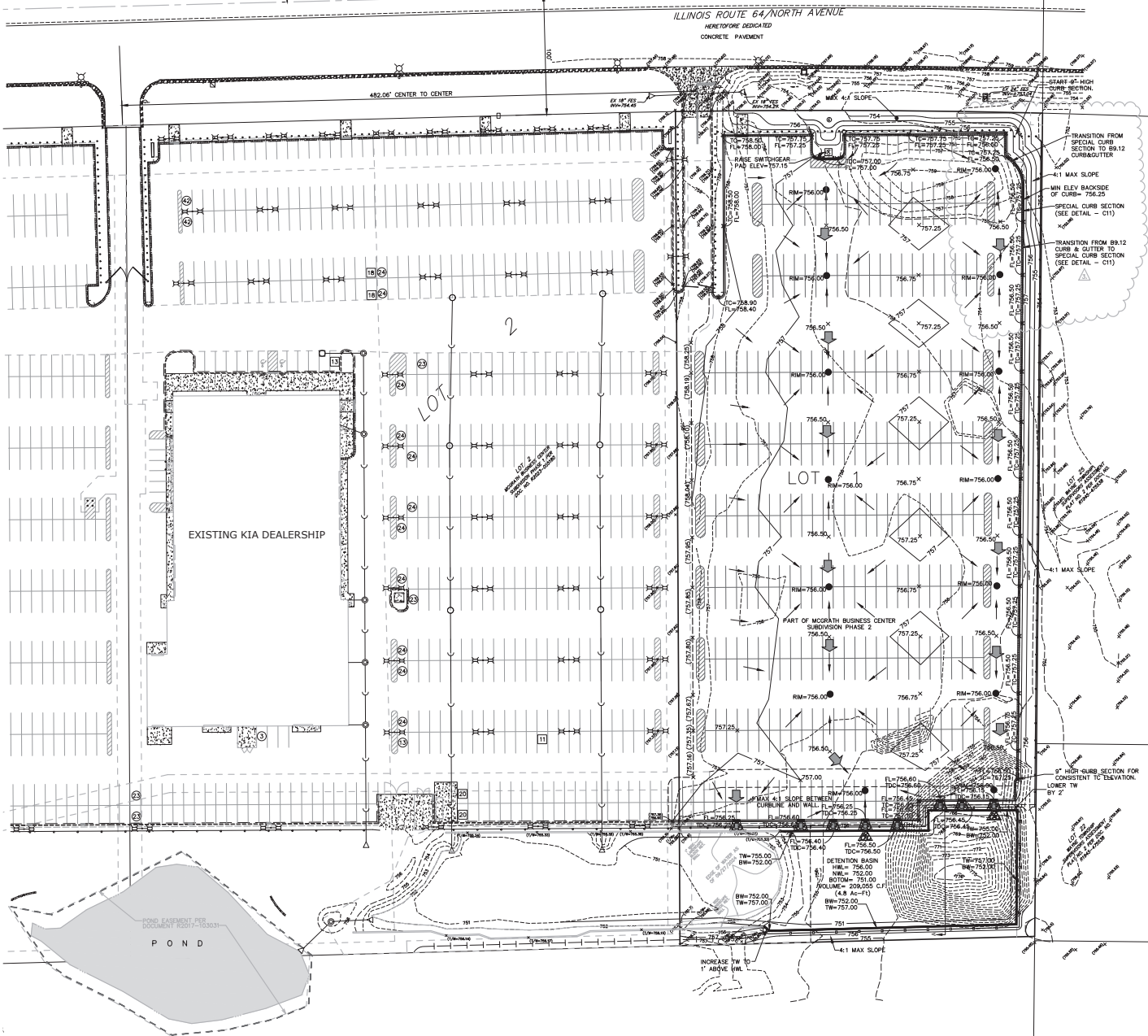
KIA PARKING EXPANSION

ST. CHARLES, ILLINOIS

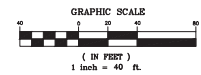
SOIL EROSION AND SEDIMENT CONTROL PLAN

**RWG Engineering, LLC**  
Civil Engineering & Surveying  
975 E. 22nd St., Suite 400  
St. Charles, IL 60154  
630.480.7889  
www.rwg-engineering.com





- GRADING NOTES.**
1. UNLESS SPECIFICALLY INDICATED OTHERWISE, EXISTING GRADES ARE TO BE MET AT PROJECT PERIMETER PROPERTY LINES.
  2. THE CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLANS AND DETAILS (AND SWPPP DOCUMENTS IF APPLICABLE) FOR THE INSTALLATION OF EROSION CONTROL MEASURES PRIOR TO BEGINNING GRADING OPERATIONS.
  3. UNLESS OTHERWISE NOTED, SPOT ELEVATIONS AND PROPOSED CONTOURS REFLECT THE FINISHED SURFACE GRADE. TOP OF CURB GRADE, OR FINISHED GROUND ELEVATION AS APPLICABLE.
  4. RM GRADES FOR DRAINAGE STRUCTURES REFLECT THE FLOW LINE ELEVATION OF THE GUTTER, PAVEMENT OR DRAINAGE SWALE (AS APPLICABLE).
  5. WHEREVER THE DESIGN FOR SURFACE FLOW OF DRAINAGE IS DIRECTED AWAY FROM A CURB, THE CONTRACTOR SHALL INSTALL REVERSED GUTTER PITCH.
  6. CONTRACTOR TO REFER TO THE LANDSCAPE PLANS TO DETERMINE TOPSOIL REPLACEMENT DEPTH IN ALL DISTURBED GREENSPACE AREAS.
  7. CONTRACTOR TO PROVIDE STRUCTURAL DRAWINGS FOR RETAINING WALLS FOR REVIEW PRIOR TO CONSTRUCTION. DRAWINGS WILL TAKE INTO ACCOUNT FENCE POSTS WITHIN THE GEODROID AND DEPRESSED CURB OVERFLOW LOCATIONS.



**PLAN ABBREVIATION LEGEND**  
(IN ADDITION TO TITLE SHEET)

P	=	PAVEMENT
R	=	RM (OR RADIUS)
TO	=	TOP OF CURB
SW	=	WALK OR TOP OF WALK
FT	=	FINISHED FLOOR
EP	=	EDGE OF PAVEMENT
FL	=	FLOW LINE
TW	=	TOP OF WALL ELEV
BW	=	BOTTOM OF WALL (GRADE) ELEV
TOC	=	TOP OF DEPRESSED CURB

**GRADING LEGEND**

EXISTING	PROPOSED
CONCRETE HEADWALL	CONCRETE HEADWALL
PRECAST FLARED END SECTION	PRECAST FLARED END SECTION
STORM DRAINAGE STRUCTURE	STORM DRAINAGE STRUCTURE
RETAINING WALL	RETAINING WALL
CONTOUR	CONTOUR
5' CONTOUR	5' CONTOUR
SPOT ELEVATION	SPOT ELEVATION
DIRECTION OF SURFACE FLOW	DIRECTION OF SURFACE FLOW
DITCH OR SWALE	DITCH OR SWALE
OVERFLOW RELIEF ROUTING	OVERFLOW RELIEF ROUTING
SLOPE BANK	SLOPE BANK

**STORMWATER MANAGEMENT BASIN DATA:**  
(COMBINED DEALERSHIP & PARKING EXPANSION)

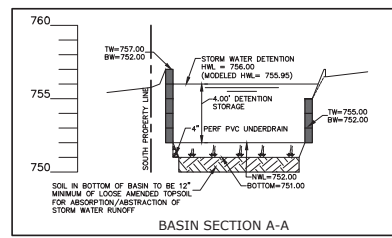
REQUIRED DETENTION VOLUME =	224,253 C.F.
PROVIDED DETENTION VOLUME =	229,055 C.F.
REQUIRED BMP VOLUME =	25,584 C.F.
PROVIDED BMP VOLUME =	36,678 C.F.
ALLOWABLE RELEASE RATE =	0.852 CFS
ACTUAL BASIN RELEASE RATE =	0.790 CFS
TOTAL DESIGN RELEASE RATE =	0.852 CFS
(+ 0.042 CFS FROM UNDERDRAIN)	

**STORMWATER MANAGEMENT BASIN DATA:**  
(DEALERSHIP REQUIRED AND AS-BUILT)

REQUIRED DETENTION VOLUME =	111,900 C.F.
AS-BUILT DETENTION VOLUME =	123,357 C.F.
REQUIRED BMP VOLUME =	13,041 C.F.
AS-BUILT BMP VOLUME =	17,561 C.F.
ALLOWABLE RELEASE RATE =	0.502 CFS
AS-BUILT RELEASE RATE =	0.473 CFS

**STAGE STORAGE DISCHARGE TABLE:**  
(COMBINED DEALERSHIP & PARKING EXPANSION)

STAGE	ELEV	STORAGE	DISCHARGE
0.00	752.00	0.00	0.00
1.00	752.00	36,678	0.00
2.00	753.00	77,940	0.38
3.00	754.00	120,439	0.57
4.00	755.00	163,505	0.71
5.00	756.00	209,055	0.82



**REVISIONS**

DATE	BY	REVISION
10/25/24	AVS	1. CHANGES TO SET
10/25/24	AVS	2. CHANGES TO SET

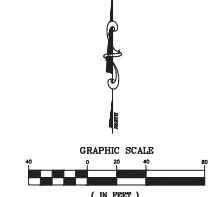
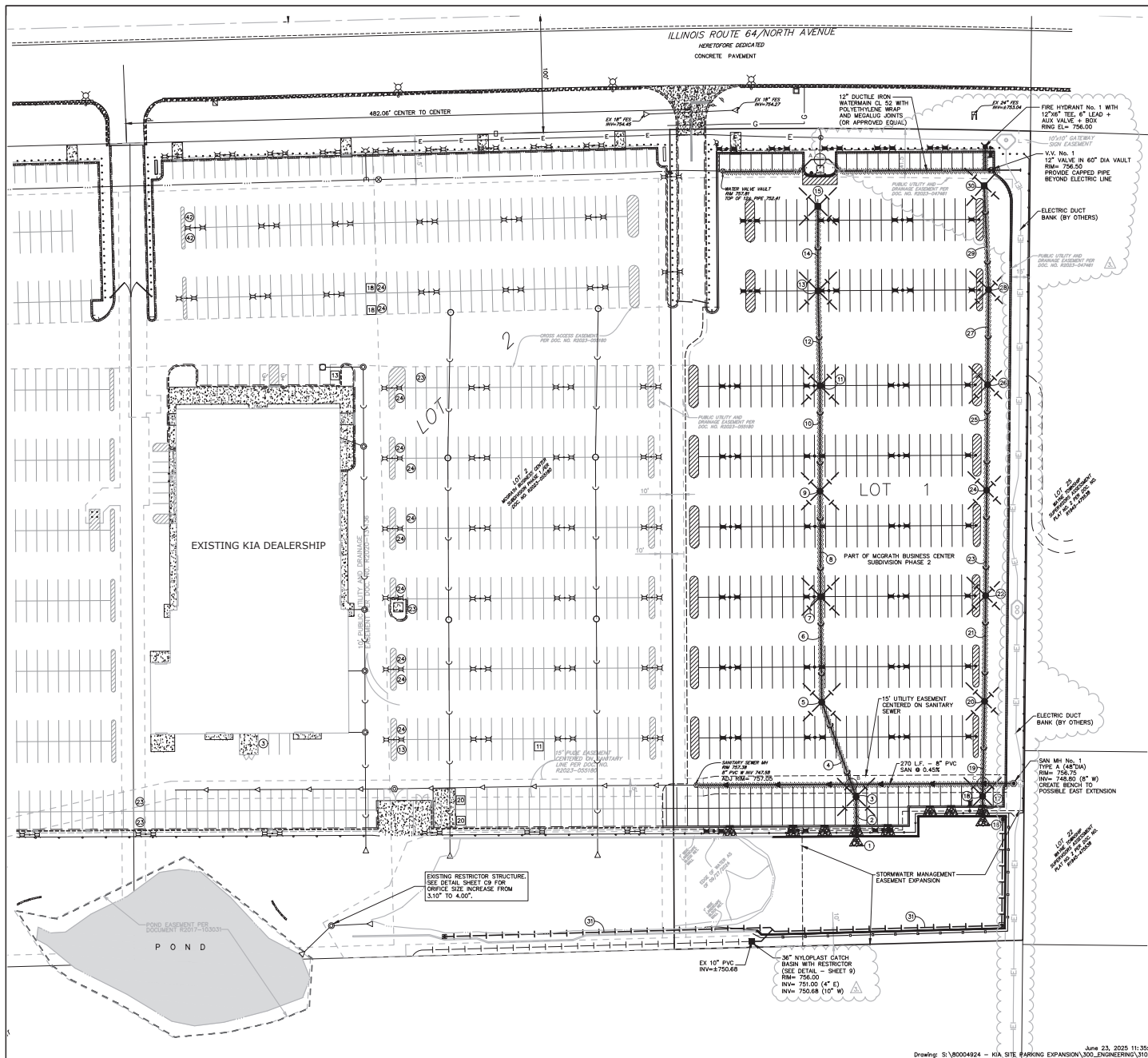
**KIA PARKING EXPANSION**  
ST. CHARLES, ILLINOIS  
GRADING PLAN

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www.rwg-engineering.com

**RWG Engineering, LLC**  
Civil Engineering • Surveying • Construction • Project Management

PROJECT NO. **80004924**  
DATE **10/25/24**  
SCALE **1"=40'**  
PROJ. MGR. **JRM**  
PROJ. ASSOC. **AVS**  
DRAWN BY **JRM**

SHEET  
**C7 of 11**



UTILITY CROSSING SCHEDULE				
CROSSING	SIZE (N/A)	MATERIAL	UTILITY	BOTTOM TOP OF OF PIPE PIPE CLEARANCE
(A)	30"	CONC	ELEC	750.50 748.50 1.00' MIN DTP WM
(B)	30"	RCP	STM	750.79 748.87 1.83'
(C)	21"	RCP	STM	750.85 749.37 1.48'

STORM SEWER DRAINAGE STRUCTURE LEGEND	
EXISTING	PROPOSED
○	■
○	●
○	●

UTILITY SCHEDULE		
STORM SEWER		
1 30" STORM OULET WITH GRATING, INSTALL CONCRETE COLLAR IN RETAINING WALL. INV= 751.00	34 34" L.F. - 30" RCP CL @ 0.20% INV= 751.00	3 STORM C.B. TYPE B (60" DIA) RIM= 750.00 INV= 751.07 (30' N.S)
4 86" L.F. - 30" RCP CL @ 0.15% INV= 751.00	5 STORM C.B. TYPE B (60" DIA) R2580-C GRATE RIM= 750.00 INV= 751.20 (24" N) INV= 751.20 (30' S)	6 90" L.F. - 24" RCP CL @ 0.30% INV= 751.00
7 STORM C.B. TYPE B (60" DIA) RIM= 750.00 INV= 751.47 (21" N) INV= 751.47 (24" N)	8 90" L.F. - 21" RCP CL @ 0.40% INV= 751.00	9 STORM C.B. TYPE B (60" DIA) R2580-C GRATE RIM= 750.00 INV= 751.83 (18" N) INV= 751.83 (21" S)
10 90" L.F. - 18" RCP CL @ 0.45% INV= 751.00	11 STORM C.B. TYPE B (48" DIA) RIM= 750.00 INV= 752.23 (15" N) INV= 752.23 (18" S)	12 81" L.F. - 15" RCP CL @ 0.46% INV= 751.00
13 STORM C.B. TYPE B (48" DIA) RIM= 750.00 INV= 752.60 (12" N) INV= 752.60 (15" S)	14 88" L.F. - 12" RCP CL @ 0.45% INV= 751.00	15 STORM INLET TYPE A (24" DIA) RIM= 750.00 INV= 753.00 (12" S)
16 21" STORM INLET WITH GRATING, INSTALL CONCRETE COLLAR IN RETAINING WALL. INV= 751.00	17 18" L.F. - 21" RCP CL @ 0.32% INV= 751.00	18 STORM C.B. TYPE B (60" DIA) RIM= 750.00 INV= 751.05 (21" N.S)
19 81" L.F. - 21" RCP CL @ 0.32% INV= 751.00	20 STORM C.B. TYPE B (60" DIA) RIM= 750.00 INV= 751.31 (15" N) INV= 751.31 (21" S)	21 90" L.F. - 18" RCP CL @ 0.35% INV= 751.00
22 STORM C.B. TYPE B (48" DIA) RIM= 750.00 INV= 751.63 (18" N.S)	23 90" L.F. - 18" RCP CL @ 0.22% INV= 751.00	24 STORM C.B. TYPE B (48" DIA) RIM= 750.00 INV= 751.88 (15" N) INV= 751.88 (18" S)
25 90" L.F. - 15" RCP CL @ 0.35% INV= 751.00	26 STORM C.B. TYPE B (48" DIA) RIM= 750.00 INV= 752.19 (15" N) INV= 752.19 (15" S)	27 81" L.F. - 12" RCP CL @ 0.50% INV= 751.00
28 STORM C.B. TYPE B (48" DIA) RIM= 750.00 INV= 752.60 (12" N.S)	29 89" L.F. - 12" RCP CL @ 0.45% INV= 751.00	30 STORM INLET TYPE A (24" DIA) RIM= 750.00 INV= 753.00 (12" S)
31 150' L.F. - 4" PERM PVC UNDERDRAN WITH CLEANOUTS @ 0.00% SURROUNDED WITH RR-3		

- UTILITY NOTES:
- RIM GRADES FOR DRAINAGE STRUCTURES REFLECT THE FLOW LINE ELEVATIONS OF THE GUTTER, PAVEMENT OR DRAINAGE SHALE (AS APPLICABLE).
  - UNLESS OTHERWISE NOTED, ALL UTILITY DIMENSIONS ARE CENTER TO CENTER OF STRUCTURES (OR TO END OF FLARED END SECTION - IF INCLUDING LENGTH OF FLARED END SECTION).
  - THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO THE PROPOSED GRADES AS INDICATED ON THE PLANS.
  - CONNECTIONS TO EXISTING SEWERS AT POINTS OTHER THAN VISIBLE STRUCTURES ARE APPROXIMATE. THE CONTRACTOR SHALL EXCAVATE AND VERIFY EXISTING SEWER LOCATIONS, SIZES, ELEVATIONS AND PIPE CONDITIONS AT PROPOSED CONNECTION POINTS PRIOR TO CONSTRUCTING UTILITY EXTENSIONS, AND NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICTS OR DISCREPANCIES.
  - EXISTING UNDERGROUND PIPE, CONDUIT AND/OR CABLES (LIGHTING, ELECTRIC, GAS, CABLE, ETC) ARE SHOWN FROM RECORD INFORMATION AND ARE APPROXIMATE IN NATURE. THE CONTRACTOR SHALL VERIFY EXACT LOCATION IN THE FIELD AND NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICTS OR DISCREPANCIES.
  - SELECT GRANULAR TRENCH BACKFILL IS REQUIRED FOR ALL UTILITY TRENCHES UNDER EXISTING OR PROPOSED PAVEMENT, DRIVEWAYS, PARKING LOTS AND SIDEWALKS, AND EXTENDED A MINIMUM OF 3' EACH SIDE OF SAME GRANULAR TRENCH BACKFILL.
  - ROUTING OF GAS, ELECTRIC, TELEPHONE AND OTHER CABLE SERVICES (IF SHOWN) ARE APPROXIMATE AND SUBJECT TO MODIFICATION BY THE RESPECTIVE UTILITY COMPANY AND/OR DEVELOPER. THE CONTRACTOR SHALL COORDINATE THE FINAL UTILITY SCHEDULE LOCATION WITH EACH UTILITY COMPANY PRIOR TO CONSTRUCTION.
  - A CURRENT COLOR VIDEO RECORD AND A WRITTEN TRANSCRIPTION OF THE INTERNAL CIRCUITS OF THE NEW PUBLIC WORKS SHALL BE PROVIDED TO THE CITY OF ST. CHARLES PRIOR TO REFUNDING OF SITE IMPROVEMENT ESCROW RETENTION MONIES BY THE CITY OF ST. CHARLES. THE CONTRACTOR SHALL PROVIDE A WRITTEN TRANSCRIPTION OF THE VIDEO RECORD. THE CONTRACTOR SHALL ROTATE THE LENS OF THE CAMERA TO LOOK AT ALL SERVICE CONNECTIONS. THE SERVICE CONNECTIONS MUST BE NOTED IN THE TELEVISION REPORT. WHEN THE PROPOSED SEWER SYSTEM CONNECTS TO AN EXISTING SEWER SYSTEM, THE CONTRACTOR SHALL COORDINATE THE TELEVISION OF EXISTING CONTIGUOUS SEWERS WITH THE CITY OF ST. CHARLES. ALL LINES SHALL BE FLUSHED AND CLEANED PRIOR TO TELEVISION.

PROJECT NO. 80058934  
DATE 10/25/24  
SCALE 1"=40'  
PROJ. MGR. JMM  
PROJ. ASSOC. JMS  
DRAWN BY JMM

ST. CHARLES, ILLINOIS  
KIA PARKING EXPANSION  
UTILITY PLAN

RWG Engineering, LLC  
Civil Engineering & Surveying  
975 E. 22nd St., Suite 400  
St. Charles, IL 60104  
630.480.7889  
www.rwg-engineering.com



REMOVE EXISTING PARKWAY TREES, AND REPAIR DAMAGE LAWN WITH SEEDING LAWN TYPE 'A'

SEEDING LAWN TYPE 'A', SEE GENERAL NOTES

3 SR 27 JC 4 SR 8 SC

SEEDING LAWN TYPE 'B', SEE GENERAL NOTES

44 JC 1 QW

EXISTING SHRUBS TO REMAIN

SCODDED LAWN

EARLIER PHASE, ALREADY CONSTRUCTED

1 QW

PERIMETER SCOURTY FENCE, SEE CIVIL DRAWINGS

1 QW

SEEDING LAWN TYPE 'B', SEE GENERAL NOTES

1 QW

EARLIER PHASE, ALREADY CONSTRUCTED

1 QW

RIP-RAP, SEE CIVIL DRAWINGS

SEEDING LAWN TYPE 'B', SEE GENERAL NOTES

1 QW

10' WIDE BAND OF PLUGS, BELOW NWL, 1,620 PLUGS TOTAL, SPACED 2" OC. SEE GENERAL NOTES

DETENTION POND, SEE CIVIL DRAWINGS

RETAINING WALLS, SEE CIVIL DWGS.

SEEDING LAWN TYPE 'B', SEE GENERAL NOTES

10' WIDE BAND OF PLUGS, BELOW NWL, 1,620 PLUGS TOTAL, SPACED 2" OC. SEE GENERAL NOTES

SEEDING LAWN TYPE 'B', SEE GENERAL NOTES

2 DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE

Diagram illustrating the cross-section of a tree bed with the following instructions:

- SHREDDED HARDWOOD BARK MULCH, 2" DEPTH. TAPER MULCH DOWN AT ROOT FLARE SO THAT MULCH DOES NOT TOUCH STEMS. EXTEND MULCH TO ENDS OF BED, AS SHOWN ON PLANS.
- REMOVE CONTAINER AND LOOSEN ANY POT BOUND ROOTS.
- PLANTING MIX. SEE GENERAL NOTES.
- LOOSEN OR SCARIFY EXISTING SOIL BELOW PLANTING BED.

3 SHRUB PLANTING DETAIL  
NOT TO SCALE

4 DETENTION POND PLUGS DETAIL  
NOT TO SCALE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	ADDITIONAL NOTES
DECIDUOUS TREES					
QW	QUERCUS WAREI 'LONG'	REGAL PINE OAK	3" CALIPER	5	BRANCHED UP #
SR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	3" CALIPER	7	BRANCHED UP #
EVERGREEN SHRUBS					
JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18" HT x 24" W	71	
DECIDUOUS SHRUBS					
SC	SPIRAEA x CINEREA 'GREFSHEIM'	GARLAND SPIREA	18" HT x 24" W	8	

1. ALL DIMENSIONS AND SITE CONDITIONS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK. SITE PLAN, ARCHITECTURE PLAN AND ANY OTHERS WERE PROVIDED BY OTHERS.

2. THE CONTRACTOR SHALL HAVE A MINIMUM OF FIVE YEARS EXPERIENCE WITH PROJECTS OF SIMILAR SIZE AND TYPE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.

3. SPECIES AND SIZES OF PLANTS LISTED IN THE PLANT LIST ARE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. IF SUBSTITUTIONS ARE REQUIRED, THE CONTRACTOR SHALL SUBMIT REQUESTS TO THE LANDSCAPE ARCHITECT FOR APPROVAL.

4. ALL OVERHEAD AND UNDERGROUND UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING OR EXCAVATION. IF UTILITIES OR OTHER OBSTACLES ARE ENCOUNTERED, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE LANDSCAPE ARCHITECT SO THAT ADJUSTMENTS MAY BE MADE PRIOR TO PROCEEDING.

5. PROVIDE POSITIVE DRAINAGE AT ALL TIMES. DO NOT OBSTRUCT THE NATURAL OR ENGINEERED DRAINAGE FLOW PATTERN. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DRAINAGE CONCERNS.

6. TOPSOIL PLANT DEPTH FOR ALL BEDS TO BE 18" TOPSOIL DEPTH FOR SEEDED LAWN TYPE 'A' AREAS TO BE 9" TOPSOIL DEPTH FOR SEEDED LAWN TYPE 'B' AREAS TO BE 6".

7. IMPORTED TOPSOIL FOR THIS PROJECT SHALL BE FINE LOAM OR SANDY LOAM, COMPRISED OF BETWEEN 20% SILT, 10% AND 15% CLAY, AND 65% TO 75% SAND. THE pH LEVEL SHALL BE BETWEEN 6.0 AND 7.2 AND THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 3% AND 6%. TOPSOIL SHALL BE FREE OF SEEDS, STONES, STICKS, CLUMPS, ROOTS, LEAVES AND DEBRIS, AND SHALL NOT BE DELIVERED WHILE IN A FROZEN OR EXCESSIVELY WET CONDITION. CONTRACTOR SHALL PROVIDE A RECENT SOIL TEST ANALYSIS FOR ALL BEDS TO BE USED. THE ANALYSIS MUST INCLUDE THE INFORMATION REQUIRED ABOVE. IF TESTED TOPSOIL REQUIRES AMENDMENTS TO MEET THE REQUIREMENTS OF THIS SPECIFICATION, THE CONTRACTOR SHALL RE-TEST AND RESUBMIT THE ANALYSIS FOR APPROVAL PRIOR TO BRINGING THE TOPSOIL ON SITE.

8. SOO SHALL BE A TALL FESCUE BLEND SOO, SUCH AS BLACK BEAUTY OR APPROVED EQUIV. BLUEGRASS BLEND SOO IS NOT ACCEPTABLE, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.

9. SEEDED LAWN TYPE 'A' SHALL BE IOT CLASS 2E NAL TOLERANT ROADSIDE GRASS SEED MIXTURE. INSTALL AT A RATE OF 20 LBS PER ACRE. SEEDING SHALL BE INSTALLED BETWEEN MAY 1 AND JUNE 15, OR BETWEEN AUGUST 15 AND OCTOBER 15.

10. SEEDED LAWN TYPE 'B' SHALL BE IOT CLASS 1B LOW MAINTENANCE GRASS SEED MIXTURE. INSTALL AT A RATE OF 20 LBS PER ACRE. SEEDING SHALL BE INSTALLED BETWEEN MAY 1 AND JUNE 15, OR BETWEEN AUGUST 15 AND OCTOBER 15.

11. TYPE 'A' AND 'B' SEEDED GRASS AREAS ARE TO BE COVERED WITH A HYDROMULCH WITH TACKIFIER. DETENTION SEEDING AREAS AND AREAS TO BE COVERED WITH AN EROSION CONTROL BLANKET.

12. WETLAND PLUGS IN THE BOTTOM OF DETENTION AREA ARE TO BE INSTALLED IN A 10' WIDE BAND (4 ROWS) BELOW THE NWL, AROUND THE EDGE OF THE POND. PLUGS ARE TO BE 5" BY 2" W AND ARE TO BE PLANTED 24" APART. THERE ARE 1,620 TOTAL PLUGS. THEY ARE TO CONSIST OF 40% VIRGINIA WILD RYE (ELYMUS VIRGINICUS), 40% SEEDS OF CLUMPS (Panicum capillare), 10% SEEDS OF 40% DARK GREEN AMELURISH (SCIRPUS FLAVESCENTES) AND 10% SEEDS OF CORDGRASS (SPARTINA PECTINATA). EVENLY DISPERSE THE DIFFERENT PLUG VARIETIES ACROSS THE AREA TO PROVIDE A MORE UNIFORM APPEARANCE. CONTRACTOR SHALL PROVIDE A DETAIL OF THE PLUGS TO BE USED. THE CONTRACTOR SHALL PROTECT THE PLUGS FROM DAMAGE. INSTALL PER THE METHODS AND WITHIN THE DATES RECOMMENDED BY THE NURSERY PROVIDER.

13. WETLAND PLUGS TO MEET THE REQUIREMENTS OF THE KANE COUNTY STORMWATER MANAGEMENT ORDINANCE, SECTION 9-109. SEE SHEET L-102. THE CONTRACTOR MUST FAMILIARIZE THEMSELVES WITH THE REQUIREMENTS, SPECIFICATIONS AND METHODS OF THE KANE COUNTY STORMWATER MANAGEMENT ORDINANCE. THE PLUGS ARE TO BE MAINTAINED AND MONITORED FOR THREE YEARS, AND FULFILL THE REQUIREMENTS OF ALL REGULATORY AGENCIES.

14. ALL TREES AND SHRUBS MUST BE SPECIMEN QUALITY. TRUE TO SPECIES AND VARIETY, WITH FULL DENSE AND HEALTHY FORMS. PLANTS THAT ARE NOT SPECIMEN QUALITY WILL NOT BE ACCEPTED. ALL PLANTS MUST HAVE BEEN GROWN AND NURSED AT THE NURSERY. THE CONTRACTOR SHALL PROVIDE A DETAIL OF THE PLANTS TO BE USED. THE CONTRACTOR SHALL PROTECT THE PLANTS FROM DAMAGE. INSTALL PER THE METHODS AND WITHIN THE DATES RECOMMENDED BY THE NURSERY PROVIDER.

15. ALL TREES AND SHRUBS MUST MEET THE MINIMUM SIZES GIVEN IN THE PLANT LIST AND BE SPECIMEN QUALITY. SHRUBS THAT DO NOT MEET THESE GUIDELINES WILL BE REJECTED.

16. PLANT MATERIAL SHALL ONLY BE INSTALLED WITHIN THE FOLLOWING DATES: APRIL 15 THROUGH NOVEMBER 15.

17. TEST TREE PITS AND PLANT BEDS FOR ADEQUATE DRAINAGE. FILL PLANT PIT WITH 12" OF WATER. IF WATER LEVEL DOES NOT DROP A MINIMUM OF ONE INCH PER HOUR, NOTIFY THE LANDSCAPE ARCHITECT OF DRAINAGE ISSUES.

18. PLANTING MIX FOR ALL PLANTINGS SHALL BE A BLEND OF 90% APPROVED TOPSOIL AND 10% SOIL AMENDMENT. ACCEPTABLE AMENDMENTS INCLUDE ONE PLY SLT CONDITIONER OR PM5 PLANTER MIX FROM MIDWEST FERTILIZER. APPROVED AMENDMENTS MUST BE USED. THE BLENDING OF PLANTING MIX COMPONENTS SHALL BE COMPLETED OUTSIDE OF THE PLANTING PITS, PRIOR TO PLANTING.

19. ALL PLANT BEDS ARE TO BE WELL SHAPED 'SPADE CUT' EDGES, 3" DEPTH. IN LINES OR IN CURVES AS SHOWN ON THE DRAWINGS.

20. ALL PLANT MATERIAL, INCLUDING SEED SOO, SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ACCEPTANCE IS OBTAINED. MAINTENANCE INCLUDES SOO, WATERING, WEEDING, PRUNING, STRAIGHTENING, SPRAYING, MULCH REPLACEMENT AND MOWING.

21. THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING UPON SUBSTANTIAL COMPLETION FOR 'ACCEPTANCE'. REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO PLANTING INSPECTION. UPON INSPECTION, THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE OR OUTSTANDING ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY COMPLETED AND REVIEWED, THE LANDSCAPE ARCHITECT WILL RECOMMEND 'ACCEPTANCE'. SOO AND SEED SHALL BE REVIEWED AND RECOMMENDED BY THE LANDSCAPE ARCHITECT. ITEMS THAT HAVE NOT BEEN COMPLETED WILL BE REJECTED.

22. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF 'ACCEPTANCE'. AT OR NEAR THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING FOR 'FINAL ACCEPTANCE'. REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO AN INSPECTION. UPON INSPECTION, THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY REPLACED OR REPAIRED, REVIEWED AND APPROVED, THE LANDSCAPE ARCHITECT WILL RECOMMEND 'FINAL ACCEPTANCE'.

23. DETENTION AREA SHALL BE MAINTAINED FOR A PERIOD OF THREE YEARS. SEE SHEET L-102 FOR MAINTENANCE PLAN.




Revisions	
8.	
7.	
6.	
5.	
4.	
3. PER CITY COMMENTS	06/23/25
2. PER CITY COMMENTS	05/16/25
1. ISSUED FOR OWNER REVIEW	10/30/24

ROUTE 64  
ST. CHARLES, ILLINOIS

LANDSCAPE  
PLAN

Date 10/30/2024	Project No. DWP 24-159
Scale 1" = 40'-0"	Sheet No.
Drawn By FERGUSON	L-101
Approved	



 <p>CITY OF ST. CHARLES ILLINOIS • 1834</p>	<b>AGENDA ITEM EXECUTIVE SUMMARY</b>		Agenda Item number: 4c
	Title:	Plan Commission recommendation to approve a PUD Amendment and PUD Preliminary Plan for River 504 Rowhomes, Brownstone PUD.	
	Presenter:	Ellen Johnson, Planner II	
<b>Meeting:</b> Planning & Development Committee <b>Date:</b> September 8, 2025			
<b>Proposed Cost:</b> \$		<b>Budgeted Amount:</b> \$	<b>Not Budgeted:</b> <input type="checkbox"/>
<b>TIF District:</b> None			
<b>Executive Summary</b> (if not budgeted, please explain):  <p>The subject property, located at the northeast corner of S 1<sup>st</sup> &amp; Prairie Streets, is the last remaining vacant parcel in the Brownstone PUD. Initial plans for the Brownstone PUD in 2000 included 10 townhomes on this property. A 2005 PUD Amendment changed the intended land use from townhomes to a mixed-use building.</p> <p>Last fall, property owner J&amp;B Builders submitted a Concept Plan proposing rowhomes on the subject property. The applicant has now filed zoning applications in support of the project. Proposed is the following:</p> <ul style="list-style-type: none"> <li>• 8 rowhome units in 4 buildings; 2 units in each building.</li> <li>• Units facing 1<sup>st</sup> Street, with attached garages accessed from Limestone Drive, at the rear.</li> <li>• Brick as the predominant façade material, with limestone accents.</li> <li>• 15 on-street parking spaces on 1<sup>st</sup> Street.</li> <li>• Streetscape improvements along 1<sup>st</sup> Street</li> <li>• Connection of Prairie Street sidewalk to riverwalk.</li> </ul> <p>An amendment to the Brownstone PUD is requested to allow for the change in land use from mixed-use to residential, increased building height, and reduced setback from 1<sup>st</sup> Street.</p> <p><b>Plan Commission Recommendation</b> – Plan Commission held a public hearing on 8/19/25 and voted 6-0 to recommend approval, with a condition that two landscape islands be added within the 1<sup>st</sup> Street parking row, with trees and plantings incorporated.</p> <p>Staff has worked with the applicant to meet the Plan Commission’s condition. Proposed is addition of one landscape island. Two islands were deemed infeasible due to utility conflicts in 1<sup>st</sup> Street. P&amp;D Committee may accept the one island, which reduces 1<sup>st</sup> Street parking to 14 spaces, or choose to eliminate the island and retain 15 parking spaces.</p> <p>All other staff comments have been addressed on the plans.</p>			
<b>Attachments</b> (please list): Plan Commission Resolution, Staff Report, Plans, Public Comment Letter			
<b>Recommendation/Suggested Action</b> (briefly explain): Plan Commission recommendation to approve a PUD Amendment and PUD Preliminary Plan for River 504 Rowhomes, Brownstone PUD.			

**City of St. Charles, Illinois**  
**Plan Commission Resolution No. 4-2025**

**A Resolution Recommending Approval of an Amendment to Special Use for  
Planned Unit Development and PUD Preliminary Plan for River 504  
Rowhomes, Brownstone PUD (Julie Salyers, J&B Builders, Inc.)**

**Passed by Plan Commission on August 19, 2025**

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use and PUD Preliminary Plan; and,

WHEREAS, the Plan Commission held a public hearing and reviewed the Application for Special Use for PUD (PUD Amendment) and PUD Preliminary Plan for River 504 Rowhomes, Brownstone PUD, (Julie Salyers, J&B Builders, Inc.); and,

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Amendment to Special Use for PUD to be in the public interest based on the following criteria for Planned Unit Developments:

**CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)**

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A.**
  - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
  - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
  - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
  - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
  - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
  - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
  - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community**

The modification to the existing approved PUD from 2005 maintains the purpose of the requirements established in Section 17.04.400 of the Zoning Ordinance. Currently vacant, undeveloped open space, the proposed development will serve as part of the southern gateway to downtown by providing residential housing, extension of the streetscape and on street public parking. The architectural style and orientation of each building façade and the building silhouettes of the proposed development blend the existing Milestone Row PUD with the

previously approved Brownstone PUD, resulting in four free standing buildings rising four stories in height. The building height is comparable to the Milestone 1 building located north of the property while the free-standing buildings reflect the Brownstone residential units located east of the property. In addition, the free-standing buildings decrease the mass of the structure and allow additional green space and extensive landscaping between the buildings. Finally, the architectural design includes a “four sided” building with a timeless urban style that will compliment the existing surrounding buildings.

**ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public areas, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinance.
9. The PUD preserves historic buildings, sites or neighborhoods.

Conforming to the requirements of the existing PUD would be impractical in current market conditions. Prior to this proposal, a mixed-use condominium building was designed for the site. A cost analysis deemed the development was not feasible. The four stand-alone two-family buildings we are proposing with up to 4,500 sf of interior finished space per unit, will have a more residential style of construction with wood framing, more simplistic mechanical, electrical and plumbing systems and no common space to build. The proposed development is very similar



to the previously approved Brownstone PUD. The building height has been increased so that it is comparable to the Milestone 1 building located north of the development to provide a continuance of the streetscape along S 1<sup>st</sup> Street. With the increase in building height, additional interior finished space can be offered for each unit, allowing a reduction in the number of units on the site as compared to the previously approved ten units, providing less bulk and more green space while maintaining the feasibility of the development.

1. Proposed site plan promotes and extends pedestrian traffic with the extension of the existing sidewalk with paver accents from the property located to the north. The proposed offsite sidewalk will also connect the existing sidewalk along Prairie Street to the bike path along the river.
2. The stand-alone buildings have less bulk and will allow green space with landscaping between the buildings
3. The proposed landscape plan provides ample landscaping with landscaping around the entire perimeter of the property and at the Cobblestone Drive median as well as extensive landscaping between the buildings.
4. The proposed architectural style reflects a timeless urban design that contains transitional components to blend with the existing adjacent building.
5. The energy efficient components (windows, MEP equipment, electric vehicle charging stations) will be incorporated into the building construction and the landscape design includes native, low maintenance plants.
6. Not applicable, no on-site stormwater management is required.
7. A private elevator is being offered as an option for each unit; unit entries can be adapted for accessibility and handicap parking has been provided on S 1<sup>st</sup> Street.
8. No.
9. The proposed building will include quality materials comparable to the previously approve design.

**iii. The proposed PUD conforms with the standards applicable to Special Use (Section 17.04.330.C.2):**

**A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

The amendment to the special use will serve public convenience since the property currently sits undeveloped and vacant since its approval in 2005. The proposed development is similar in configuration, massing and land use as what was previously approved in the Brownstone PUD in 2000. Changes have been made to reduce the number of units from 10 to 8 and to eliminate mass by providing 4 stand-alone buildings with green space between the buildings. In addition, each unit has the option for a 2 or 3 car garage as well as driveway space that will allow parking for unit guests. The ample unit parking will contribute to public convenience as the 16 parking spaces constructed along S 1<sup>st</sup> Street will primarily be available for public use.

**B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

Because the proposed development is part of the previously approved Milestone Row PUD, existing utilities, access roads and necessary facilities are either present or will be upgraded to meet the project needs. The existing water, electrical, storm and sanitary lines are directly adjacent to the property and can be extended or modified. Access to the unit garages is being proposed from Limestone Drive. A traffic study was completed and concluded that the development will generate a low volume of peak hour traffic.

**C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The amendment to the special use will not be injurious to the use and enjoyment of other properties in the immediate vicinity since the proposed architectural design reflects a “four sided” building that will be aesthetically pleasing to the adjacent properties on Limestone drive. In addition, by eliminating the commercial space, decreasing the number of residential units and providing ample private unit parking, residents in adjacent properties will encounter less traffic and congestion traffic at the site. The development will also provide 16 public parking spaces that can be used and enjoyed by other adjacent properties.

**D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The amendment to the Special Use will complement the normal and orderly development and improvement of the surrounding properties by extending the streetscape along S 1<sup>st</sup> Street. The proposed height, silhouette and architectural components of the proposed stand-alone buildings are consistent with the Milestone 1 building located north of the development while still relatively similar and complimentary to the existing residential units located east of the property that were also part of the Brownstone PUD that was previously approved for this site.

**E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The amendment to the PUD will not be detrimental to or endanger the public health, safety, comfort or general welfare. Neighborhood development is very similar to the previously approved Brownstone PUD, fits within the

neighborhood, provides public parking while extending the public streetscape along S 1<sup>st</sup> Street.

**F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The proposed development will be constructed in accordance with the St. Charles Municipal Code except for variances requested as part of this amendment to the existing Special Use.

**iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The amendment to the previously approved PUD will increase the tax base and economic well-being of the City with the construction of 8 residential units on existing vacant land.

**v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The proposed PUD conforms to the purposes and intent of the Comprehensive Plan. The configuration of the proposed buildings, building face orientation and the building silhouettes blend the currently approved PUD with the previously approved Brownstone PUD. The vehicular access, parking and land use is also in line with the Comprehensive Plan.

WHEREAS, the Plan Commission finds said PUD Preliminary Plan to be in conformance with the applicable PUD and Zoning Ordinance requirements, except as varied per the application for Special Use for PUD (PUD Amendment), subject to resolution of any outstanding staff review comments.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of an Amendment to Special Use for Planned Unit Development and PUD Preliminary Plan for River 504 Rowhomes, Brownstone PUD (Julie Salyers, J&B Builders, Inc.), with a condition that two islands be added along 1<sup>st</sup> Street with trees and plantings incorporated, and subject to resolution of all staff comments.

Roll Call Vote:

Ayes: Wiese, Ewoldt, Funke, Fitzgerald, Rosenberg, Vargulich

Nays:

Absent: Gruber, Lawson

Abstain: Payleitner

Motion carried: 6-0

PASSED, this 19th day of August 2025.

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Chairman  
St. Charles Plan Commission



Staff Report  
Plan Commission Meeting – August 19, 2025

<b>Applicant:</b>	Julie Salyers, J&B Builders, Inc.
<b>Property Owner:</b>	River 504 LLC
<b>Location:</b>	NE corner of S. 1 <sup>st</sup> & Prairie Streets
<b>Purpose:</b>	PUD approval to develop 8 residential units
<b>Applications:</b>	Special Use (PUD Amendment) & PUD Preliminary Plan
<b>Public Hearing:</b>	Yes, required
<b>Zoning:</b>	CBD-1 / PUD
<b>Current Land Use:</b>	Vacant
<b>Comprehensive Plan:</b>	Mixed Use

**River 504 Rowhomes**



<b>Summary of Proposal:</b>	<p>Julie Salyers, on behalf of J&amp;B Builders, Inc. is proposing to develop 8 “rowhome” units on the last remaining vacant lot in the Brownstone PUD at the NE corner of S 1<sup>st</sup> &amp; Prairie Streets. Details:</p> <ul style="list-style-type: none"> <li>• 8 units in 4 buildings; 2 units in each building</li> <li>• Units facing S 1<sup>st</sup> Street, with attached garages accessed at the rear</li> <li>• 16 on-street parking spaces on S 1<sup>st</sup> Street</li> <li>• Streetscape improvements along S 1<sup>st</sup> Street</li> <li>• Connection of Prairie Street sidewalk to riverwalk</li> </ul> <p>The proposal is similar to a Concept Plan reviewed for this property last fall.</p>
<b>Info / Procedure on Application:</b>	<p><b>Special Use (PUD Amendment):</b></p> <ul style="list-style-type: none"> <li>• Approval of development project with specific deviations from the Zoning Ordinance and/or existing PUD Ordinance standards. (Establishes an ordinance amending the existing PUD, with unique zoning or subdivision standards that apply to a single development site)</li> <li>• Public hearing is required, with a mailed notice to surrounding property owners.</li> <li>• Single finding – Is the PUD Amendment in the public interest? Criteria are considered in reaching a decision. Responses to the criteria need not be in the affirmative to recommend approval of a PUD or PUD Amendment.</li> <li>• The Plan Commission may recommend conditions and restrictions upon the establishment, location, design, layout, height, density, construction, maintenance, aesthetics, operation and other elements of the PUD as deemed necessary to secure compliance with the standards specified in the Zoning Ordinance.</li> </ul>



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	<ul style="list-style-type: none"> <li>The Plan Commission may recommend exceptions and deviations from the requirements of the Zoning and Subdivision Codes requested by the applicant, to the extent that it finds such exceptions and deviations are supportive of the standards and purposes for PUDs.</li> </ul> <p><b>PUD Preliminary Plan:</b></p> <ul style="list-style-type: none"> <li>Approval of plans for development of property within a PUD- includes building elevations and site, landscape, and engineering plans.</li> <li>Recommendation is based on compliance with the previously (or concurrently) approved Special Use for PUD standards and other City Code requirements.</li> </ul>
<b>Suggested Action:</b>	<p>Conduct the public hearing on the Special Use (PUD Amendment) and close if all testimony has been taken.</p> <p>The Plan Commission may vote on this item should the Commission feel that they have enough information to make a recommendation.</p> <p>Staff recommends that any recommendation include a condition requiring resolution of staff comments prior to City Council action.</p>
<b>Staff Contact:</b>	Ellen Johnson, Planner II

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## I. PROPERTY INFORMATION

### A. History / Context

The subject property constitutes three parcels at the northeast corner of S. 1<sup>st</sup> and Prairie Streets on the west side of downtown. The parcels are known as Lot 14, Lot 15, and Parcel 9 in the Brownstone Subdivision, recorded in 2001. The subject property is the final undeveloped portion of the Brownstone PUD, which includes the Brownstone townhomes along the riverfront and the mixed-use Milestone Row building fronting S 1<sup>st</sup> at Indiana Street.

The Brownstone PUD was approved under Ordinance 2000-Z-23 to enable redevelopment of the former Piano Factory site for residential townhomes. The townhomes were constructed by 2005. Plans also included two townhome buildings on the subject property (2 buildings with 5 townhome units each).

In 2005, the City approved an amendment to the Brownstone PUD under Ordinance 2005-Z-23, which changed the intended use of the subject property from townhomes to a mixed-use building, along with the property to the north, and created development standards for the two buildings, known as Milestone Row. The northern Milestone Row building was constructed in 2006 and contains first floor office space and 22 condominium units on floors 2-4, with underground parking for residents. The same building was approved for the subject property but was never constructed.

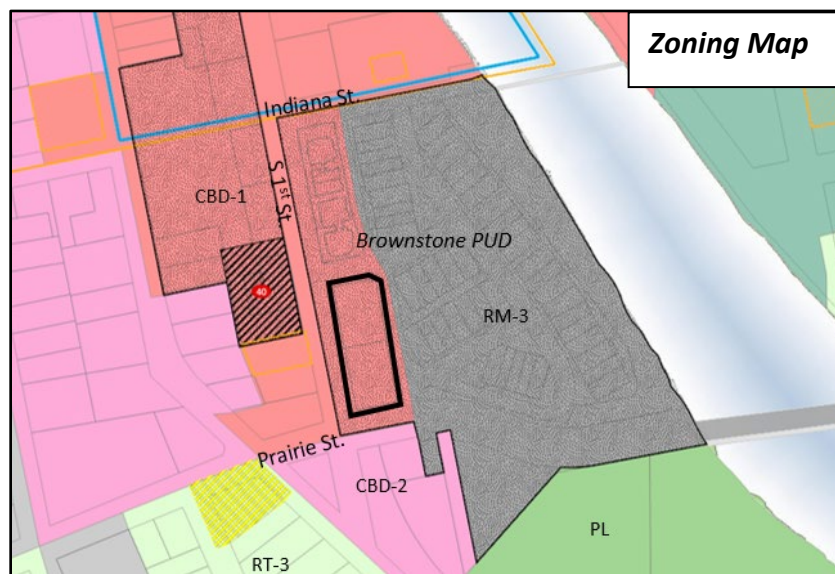
In 2022, a Concept Plan was submitted by J&B Builders (same as current applicant) to construct a mixed-use building on the subject property. The proposed building was 50 ft. in height, with first floor commercial space/parking and residential condo units on floors 2-4.

In 2024, a new Concept Plan was submitted by J&B Builders proposing 8 rowhome units on the subject property, with no commercial use. Feedback from Plan Commission and Planning & Development Committee was generally favorable.

## B. Zoning

The subject property is the southernmost property in the CBD-1 Central Business District, with CBD-2 zoning across Prairie Street and multi-family residential adjacent to the east.

	Zoning	Land Use
<b>Subject Property</b>	CBD-1 Central Business District / Brownstone PUD	Vacant
<b>North</b>	CBD-1 Central Business District / Brownstone PUD	Mixed-use building (Milestone Row)
<b>East</b>	RM-3 General Residential District / Brownstone PUD	Townhomes (Brownstones)
<b>South</b>	CBD-2 Mixed Use Business District	Commercial- Sammy's Bikes
<b>West</b>	CBD-1 Central Business District / 1 <sup>st</sup> Street Redevelopment PUD	Mixed-use building; mixed commercial uses



## C. Comprehensive Plan

The Land Use Plan adopted as part of the 2013 Comprehensive Plan identifies the subject property as “Mixed Use”, as is the rest of the downtown core.



The Mixed Use land use is described as follows:

*The Land Use Plan designates Downtown St. Charles as Mixed Use, characterized by land uses and development patterns that provide a vibrant, safe, attractive, and “walkable” pedestrian environment.*

*Mixed use areas should have strong pedestrian orientation and seek to create a more interesting and engaging pedestrian experience, accommodating pedestrian generating uses on the ground floor, and other uses above. Mixed use areas should provide a balance of uses unique to each site based on its location. Retail, entertainment, and dining uses are ideally suited for the ground floor with residential, educational, medical and/or office uses located on the upper floors. The primary objective is to provide an appropriate and compact mix of uses to foster an active and interesting district. Parking in the mixed use areas should be provided on-street, or in subtly located parking garages or parking lots.*

*Built form is a critical consideration within Mixed Use areas. Within mixed use areas, buildings should be located at, or near, the front property lines fronting the street to create a “street wall” – a continuous row of buildings and storefronts that encourages walkability and helps to establish a safe and attractive pedestrian environment.*

The subject property is also located within the Downtown Subarea. The Downtown Subarea Plan includes recommendations aimed at preserving and enhancing the downtown area (Ch. 8).

The plan identifies 1<sup>st</sup> Street, along which the subject property is located, as a Gateway Corridor, along with other streets that offer primary entry into Downtown. The following recommendations are made for Gateway Frontage properties:

- **Building Massing & Placement.**

*Buildings should be generally located on the front lot line, although small setbacks could accommodate gateway landscaping. To the extent possible, buildings should be built to the side lot lines to create a continuous streetwall.*



Gateway Frontage

- **Building Façade Orientation & Design.**

*Facades should have strong orientation to the public sidewalk, or angled toward key gateway intersections, with welcoming entrances. Attractive and safe rear entrances from rear parking areas or public walks should also be provided where appropriate.*

- **Architectural Style & Design.**

*Buildings should use traditional building materials and design elements, and generally align with surrounding buildings in terms of horizontal elements and vertical rhythm. However, more flexibility and creativity should be encouraged within this general framework.*

- **Vehicular Access & Parking.** *Parking should be located to the rear of the lot, and minimal curb cuts should be provided from the public street. Development should share curb cuts and provide access from side streets instead of gateway streets wherever possible.*
- **Bicycle Access & Pedestrian Mobility.** *All buildings should provide an attractive and discernable public entry from the sidewalk, and to the extent possible, bicycle parking should be provided at the rear or sides of buildings, near parking areas or other pedestrian accessible areas.*
- **Land Use.** *Uses should be mixed, comprised of traditional downtown mixed use activities such as retail, restaurant, and local services, as well as secondary uses including offices and services with less customer visitation. Multi-story mixed use buildings should also be encouraged. Multi-family may also be appropriate on the fringe areas of Downtown.*

The subject property is also located within Catalyst Site “M”, along with other properties near the intersections of 1<sup>st</sup>/2<sup>nd</sup> and Prairie Streets. Catalyst sites are those parcels where redevelopment could have a catalytic impact on the surrounding area. Site M is described as follows:



*This area represents the southern gateway to Downtown, and existing uses and character around the intersection contrast with the community’s vision for Downtown.*

*Comprehensive redevelopment of this key intersection should transform the gateway into an attractive announcement of arrival into Downtown St. Charles. 1<sup>st</sup> Street and 2<sup>nd</sup> Street frontage could include mixed use or multi-family development, though viewsheds to important buildings and features, such as the historic Victorian house at 411 S. 2<sup>nd</sup> St. or Mount St. Mark Park, should be preserved. This opportunity may warrant further study to ensure that several urban systems are adequately planned for, such as open space linkages throughout Downtown and to the Fox River, bicycle pathways, traffic engineering, and signage and wayfinding.*

## II. PROPOSAL

Julie Salyers of J&B Builders, Inc. is requesting approval to develop residential “rowhomes” on the subject property. Details of the proposal are as follows:

- 8 residential units in 4 buildings
  - 2 units in each building; no “interior units”.
  - Units facing S 1<sup>st</sup> Street, with attached garages accessed at the rear.
  - Brick as the predominant façade material.
  - 4-story buildings
    - Approx. 5,200 sf of interior finished space per unit
    - 2-car garage & flex space on the ground level
    - Living space on the 2<sup>nd</sup> and 3<sup>rd</sup> levels
    - Partial 4<sup>th</sup> floor, with flex space & rooftop terrace
    - Exterior courtyard along the side of each unit
- 16 on-street public parking spaces on S 1<sup>st</sup> Street.

- Public sidewalk along S 1<sup>st</sup> Street & Cobblestone Drive, with streetscape design elements along S 1<sup>st</sup> Street.
- Off-site connection of Prairie Street sidewalk to riverwalk

Two development applications have been filed:

1. **Application for Special Use** requesting to amend the Brownstone PUD to allow for certain deviations from the existing PUD Ordinance and the Zoning Ordinance. Requested deviations are in regards to the change in land use from mixed-use to residential, building height, and setback from 1<sup>st</sup> Street.
2. **Application for PUD Preliminary Plan** to approve the site layout, landscaping, building elevations, photometric, and preliminary engineering plans.

### III. PLANNING ANALYSIS

Staff has analyzed the proposed development to determine compliance with the applicable standards of the Brownstone PUD and the Zoning Ordinance. Plans were reviewed against the following code sections and documents:

- Ch. 17.06 Design Review Standards & Guidelines
- Ch. 17.14 Business & Mixed Use Districts
- Ch. 17.24 Off-Street Parking, Loading & Access
- Ch. 17.26 Landscaping & Screening
- PUD Ordinances: 2000-Z-23; 2005-Z-9

#### A. Proposed Use

The proposed development includes 8 residential units, constructed in 4 buildings of 2 units each. The developer refers to the units as “rowhomes”. Under the Zoning Ordinance, the proposed units are considered “Two-Family Dwellings”, defined as:

***Dwelling, Two-Family:*** A building containing 2 dwelling units attached either vertically or horizontally.

The proposed use is not permitted under the existing PUD. The 2005 PUD Ordinance allowed only commercial uses on the first floor of the mixed-use building planned for the subject property. Residential units were permitted on the upper floors.

Two-Family Dwellings (and Townhomes) are not permitted in the CBD-1 Central Business District, which is the underlying zoning of the subject property. The only types of residential uses allowed in the CBD-1 District are artist live/work space, upper level dwellings above commercial use, and multi-family. This reflects the purpose of the CBD-1 District which is to provide for a mixed-use, compact district of retail, service, office and higher density residential uses in the central area of the City.

The subject property is located at the southern end of the CBD-1 District and is adjacent to CBD-2 zoning to the south. Two-Family Dwellings and Townhomes are permitted in the CBD-2 District.

The change in land use to allow for Two-Family Dwellings on the subject property requires approval as part of the PUD Amendment.

It is worth noting that the proposed development reverts back to the original Brownstone PUD from 2000 in terms of land use, which planned for townhomes on the subject property (2



buildings with 5 units each), with garage access from the rear. This is similar to the proposed land use and site layout.

## B. Bulk Standards / Parking

The table below compares the proposed development with the bulk standards applicable to the property per the 2005 PUD Ordinance and the underlying CBD-1 District. A deviation from the front yard (1<sup>st</sup> Street) setback has been requested as part of the PUD Amendment. A building height deviation has also been requested. All other bulk requirements are met.

Category	2005 PUD Ordinance	CBD-1 District	Concept Plan
<b>Type of Residential Unit</b>	Upper level multi-family	Upper level dwelling, multi-family	<b><i>Two-Family dwelling</i></b>
<b>Number of Residential Units</b>	22 units	29 units max. (based on 1,000 sf of lot area per unit)	8 units
<b>Max. Gross Floor Area per Building</b>	Approved building is approx. 60,000 sf (PUD ordinance does not specifically limit GFA; underlying CBD-1 District max. GFA is 40,000 sf)	40,000 sf	Approx. 5,200 sf GFA per unit; 10,400 sf GFA per building
<b>Max. Building Height</b>	49 ft.	50 ft.	<b><i>57 ft.</i></b>
<b>Front Yard</b>	5 ft. from 1 <sup>st</sup> St. ROW (architectural features can encroach up to 2 ft.)	None required; max. 5 ft.	<b><i>3.4 ft. from 1<sup>st</sup> St.</i></b>
<b>Exterior Side Yard</b>	4.7 ft. from north lot line (Cobblestone Dr) 5 ft. from south lot line (Prairie St)	None required; max. 5 ft.	7 ft. from north lot line 10 ft. from south lot line
<b>Rear Yard</b>	0 ft.	None	19 ft.
<b>Parking</b>	1 per residential unit (20 required) 33 spaces on 1 <sup>st</sup> St. for both Milestone Row bldgs. (17 spaces exist along Milestone Row 1)	1 per residential unit	2-car driveway/3 car garage per unit; <b><i>15 public spaces on 1<sup>st</sup> St.</i></b>

### ***Requested Deviations:***

1. Type of Residential Unit – Change in land use is proposed from mixed use with upper level dwelling to Two-Family Dwelling, as discussed previously.
2. Building Height - Maximum building height in the underlying CBD-1 District is 50 ft., however the allowable building height was reduced to 49 ft. under the 2005 PUD Ordinance. Proposed height is 57 ft., measured from grade to the top of ridge of the gables on the front elevation. A rooftop deck covers approximately half of the 4<sup>th</sup> story, at a height of 42'6". An exhibit has been submitted which compares the proposed building with neighboring buildings:
  - Milestone Row (to the north on 1<sup>st</sup> Street) – Height is comparable to the proposed building. Gable height is approx. 58'



- Brownstone townhome (to the east) – Height is approx. 39', comparable to the rooftop deck of the proposed building but lower than the front half.
- 3. Front Setback – The PUD Ordinance requires a 2 ft. right-of-way (ROW) dedication for 1<sup>st</sup> Street along the subject property. Proposed is a 3.6 ft. ROW dedication so that the entire 1<sup>st</sup> Street sidewalk is within the ROW. The buildings were also pushed forward slightly to accommodate vehicle parking in the rear driveways. The resulting proposed setback is 3.4 ft.; 5 ft. is required under the PUD Ordinance. The underlying CBD-1 District does not have a minimum setback requirement; buildings are permitted up to the lot line.
- 4. 1<sup>st</sup> Street Parking – The PUD Ordinance calls for a total of 33 public parking spaces along 1<sup>st</sup> street in front of the two planned Milestone Row buildings. There are 17 spaces existing in front of Milestone Row 1. In front of the proposed development, 15 spaces are proposed, for a total of 32 spaces; one less than required in the PUD. Adding an additional parking space along the row of parking would result in smaller landscape islands at the street corners. These larger corner islands are preferred for the streetscape design.

### **C. Site Access / Connectivity**

Vehicles will access the proposed development off 1<sup>st</sup> Street via existing Cobblestone Drive. The proposed units have attached garages accessed from the rear (east) via driveways off Limestone Drive. The developer will be required to repave the south side of Cobblestone Drive and all of Limestone Drive along the site. This work is reflected on the engineering plans.

Sidewalk is proposed as part of the streetscape improvements along the 1<sup>st</sup> Street frontage. Sidewalk is also proposed along Cobblestone Drive (north side), as a “carriage walk”, meaning there is no parkway between the street and sidewalk. This is due to site grading, building placement, and the City’s preference to have the entire sidewalk within the ROW and accessible without the use of stairs. Sidewalk is not proposed on the east side where the driveways are located.

Existing sidewalk along Prairie Street will remain. An off-site sidewalk connecting the Prairie Street sidewalk to the Fox River trail, south of the Brownstones, has also been required in connection with this development and is reflected on the plans.

### **D. Landscaping / Streetscape**

There is no minimum landscaping requirement in the CBD-1 District. Building foundation landscaping is required only within a setback of 5 ft. or more from the building wall to the property line. A landscape plan has been submitted which includes planting areas along the front, rear, and sides of the building.

The Cobblestone Drive median will be replanted. Per Public Works, no trees are proposed to avoid site obstructions. Trees will be added along Cobblestone on the subject property.

The City approved a Streetscape and Landscape Plan for Milestone Row under Ord. 2007-Z-12 (attached). Plans depicted landscaping around the intended mixed-use building and along 1<sup>st</sup> Street. Streetscaping per the approved plan was installed along the existing Milestone Row building to the north when it was constructed.

Based on feedback from Plan Commission, Planning & Development Committee, and staff, the developer is proposing a sidewalk design of 7' in width including a 5' concrete sidewalk and 1' brick border on each side. Brick pavers crossing Cobblestone Drive are continued to the end of the northern First Street planter bed, similar to the opposite side of the intersection. Landscape bump-outs bordered with pavers book-end the 1<sup>st</sup> Street parking stalls. Street lamps consistent with the rest of 1<sup>st</sup> Street will be installed. The proposed design reflects a more simplified streetscape compared to Milestone Row, which is consistent with the design approach for the more recent buildings on 1<sup>st</sup> Street north of Illinois Street. Staff believes this approach is reasonable at this location, given the residential use and location at the south end of 1<sup>st</sup> Street.

#### **E. Building Design**

Buildings in the CBD-1 District are subject to the Design Review standards and guidelines contained in Ch. 17.06. The Design Review standards and guidelines applicable to multi-family zoning districts were also reviewed against this proposal.

Building elevations have been provided. The front elevation has gabled roofs with cornice returns. Roof material is metal. The roof is flat at the rear for the rooftop deck. Brick is the primary façade material, accented with herringbone pattern and soldier courses. Limestone headers, sills, and coping are proposed, along with a wide limestone band between the 2<sup>nd</sup> and 3<sup>rd</sup> floors. Design is consistent around all four sides of the building.

The proposed design meets the applicable design standards and guidelines.

Note the property is outside of the Central Historic District and is therefore not subject to review by the Historic Preservation Commission.

#### **F. Site Lighting**

A photometric plan has been submitted indicating proposed lighting on the subject property. Wall-mounted fixtures are proposed. Lighting levels at property lines are indicated. The plan complies with Section 17.22.040 "Site Lighting". Streetlights will also be incorporated into the streetscape design along 1<sup>st</sup> Street but are not included on the photometric plan.

#### **G. Plat of Subdivision**

The subject property was subdivided as part of the Brownstone Subdivision, recorded in 2001. The property was platted as Lot 14, Lot 15, and Parcel 9. There is a blanket public utility easement over the property.

A Preliminary Plat of Subdivision has been submitted. Proposed is resubdivision of the property as "River 504 Rowhomes Subdivision". A total of 8 lots are proposed, one for each unit. Right-of-Way is dedicated to the City along S 1<sup>st</sup> Street (3.6') and Cobblestone Drive (5'). This will result in public sidewalks along these streets being completely within City ROW. A blanket public utility and drainage easement covers the entire property except for the building footprints.

A Final Plat of Subdivision will be required after Preliminary approval.

### **IV. DEPARTMENTAL REVIEWS**

**A. Engineering Review**

Preliminary engineering plans have been provided, revised, and approved by staff. Stormwater detention is not required for this development as detention provided for the Brownstone development included this lot. Final level comments have been provided to the applicant which will need to be addressed alongside the Final Plat of Subdivision.

**B. Fire Dept. Review**

The Fire Dept. has reviewed the plans. Site access, water supply, and hydrant locations are adequate. Fire sprinklers will be required due to the size of the buildings, as well as a 1-hour separation wall between attached units.

**C. Public Works**

Public Works has reviewed the plans and all comments have been addressed.

**V. DEVELOPER CONTRIBUTIONS****A. Inclusionary Housing**

This development is subject to the Inclusionary Housing Ordinance, Title 19 of the City Code. The affordable unit requirement is 0.4 units (10% of the total number of units). A fee worksheet has been submitted indicating the applicant's intent to pay a fee in-lieu of providing 1 affordable unit. Based on a fee in-lieu amount of \$36,718 per required affordable two-family unit, a total fee in-lieu amount of \$14,687 will be due at the time of building permit.

**B. School & Park Districts**

The developer of the Brownstone townhomes previously paid for 15 attached single-family units on the subject property. As such, credit granted will be granted for up to 15 units. This exceeds the 8 proposed units; therefore, no School or Park fees will be due.

**VI. OPTIONS FOR PLAN COMMISSION ACTION****1. Public Hearing – Close or Continue**

If the Plan Commission feels they have adequate information the public hearing may be closed. The public hearing may be continued if additional information is deemed necessary to provide a recommendation.

*If Public Hearing is closed-*

**2. Make a Recommendation to Planning & Development Committee**

There is a single finding required for the City to approve a PUD application: ***Is the PUD in the public interest?*** There are five Criteria to be considered to reach a decision. These 5 Criteria are:

1. *The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:*

- i. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.*
  - ii. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.*
  - iii. To encourage a harmonious mix of land uses and a variety of housing types and prices.*
  - iv. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.*
  - v. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.*
  - vi. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.*
  - vii. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies, and the community.*
- 2. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:*
  - A. Conforming to the requirements would inhibit creative design that serves community goals, or*
  - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.*
- 3. The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330.C.2):*
  - a. Public convenience: The Special Use will serve the public convenience at the proposed location;*
  - b. Sufficient infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided;*
  - c. Effect on nearby property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood*
  - d. Effect on development of surrounding property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*
  - e. Effect on general welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*
  - f. Conformance with codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this title, except as may be varied pursuant to a Special Use for Planned Unit Development.*
- 4. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City; and*
- 5. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.*

Responses to all criteria need not be in the affirmative to recommend approval of the PUD Amendment. The applicant has provided responses to the Criteria for PUDs as part of the application materials.

There are no findings of fact pertaining to PUD Preliminary Plans. Approval is subject to meeting the applicable standards of the Zoning Ordinance and PUD Ordinance, accounting for the requested PUD deviations.

**Recommendation Options:**

- a. **Recommend approval of the application for Special Use (PUD Amendment) and PUD Preliminary Plan** – Plan Commission may add additional conditions if deemed necessary by the Plan Commission to meet the PUD finding. A recommendation for approval of the PUD Preliminary Plan should be conditional upon resolution of staff comments prior to City Council action.

**OR**

- b. **Recommend denial of the application for Special Use (PUD Amendment) and PUD Preliminary Plan** – Plan Commission must substantiate how the PUD finding is not being met in order to recommend denial.

**VII. ATTACHMENTS**

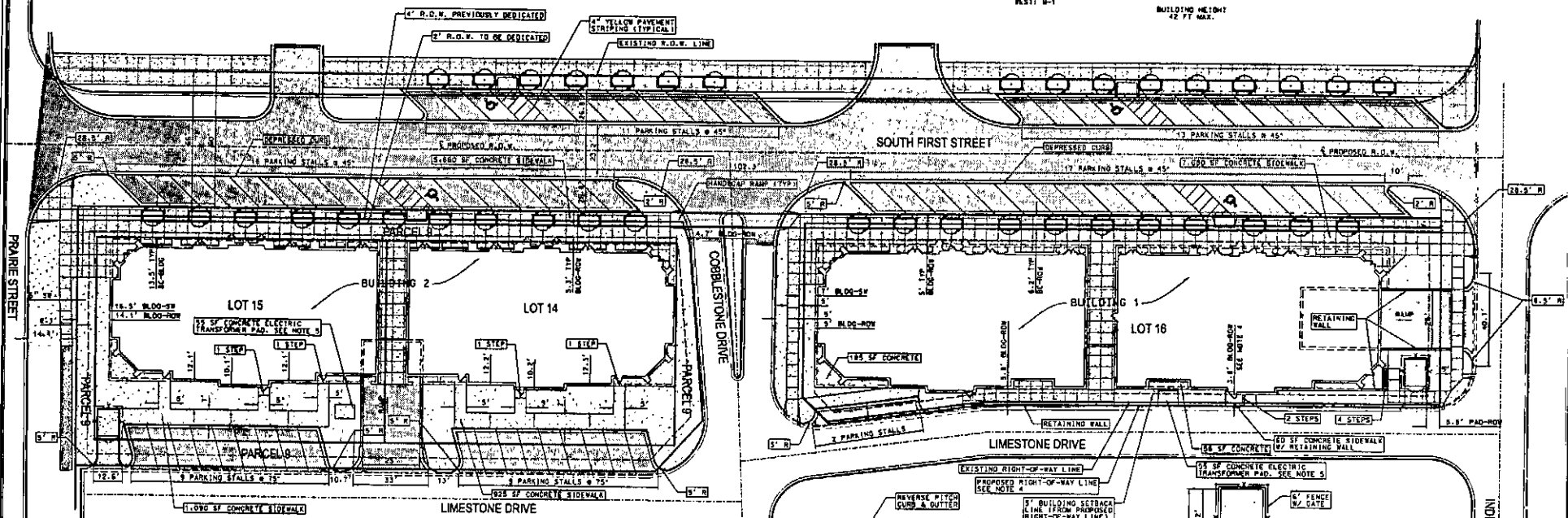
- Approved Site Plan from 2005 PUD Ordinance
- Approved Streetscape Plan from 2007
- Applications for Special Use (PUD Amendment) & PUD Preliminary Plan; received 3/13/25
- Plans & Plat

ROADWAY LANDSCAPING AND STREETScape ELEMENTS FROM WEST OF BUILDING LINE TO THE WEST RIGHT OF WAY LINE OF FIRST STREET SHALL BE INCLUDED AS A PART OF THE FUTURE FIRST STREET PROJECT AND ARE SUBJECT TO FURTHER REVIEW BY THE CITY OF ST. CHARLES. THESE ELEMENTS ARE NOT PART OF THIS CONTRACT

**ZONING CLASSIFICATIONS**  
 EXISTING: R-5 W/ 40' SIDEWALK LANE FOR P.U.D.  
 PROPOSED: R-5 W/ 40' SIDEWALK LANE FOR P.U.D.  
 SURROUNDING ZONING  
 NORTH: B-2C  
 EAST: R-5 P.U.D.  
 SOUTH: M-1  
 WEST: M-1

**DEVELOPMENT STANDARDS**  
 MINIMUM LOT AREA:  
 LOT 14 & 15: 3,100 SF  
 LOT 16: 1,000 SF  
 NONRESIDENTIAL: NO MINIMUM  
 LOT WIDTH:  
 60 FT MIN  
 BUILDING HEIGHT:  
 42 FT MAX.

**BUILDING SETBACKS**  
 FRONT YARD (MIN):  
 FROM LOT LINE: 5 FT  
 GARAGE DOOR TO CURB: 18 FT  
 SIDE YARD (MIN):  
 INTERIOR: 5 FT  
 FACING STREET: 5 FT



- NOTES:**
1. ALL CURB & OUTTER SECTIONS ARE 8-4.12 COMBINATION CONCRETE UNLESS OTHERWISE NOTED AS 5" BARRIER CURB.
  2. EXISTING 8-4.12 CURB & OUTTER SECTIONS SHALL HAVE CURB SAWCUT & REMOVED, LEAVING OUTTER SECTION IN PLACE.
  3. ALL CURB RETURN RADII SHOWN ARE DIMENSIONED TO BACK OF CURB UNLESS NOTED OTHERWISE.
  4. 1-3 FEET OF LIMESTONE DRIVE RIGHT-OF-WAY TO BE VACATED & TURNED OVER TO PROPERTY OWNER IN RETURN FOR 2' RIGHT-OF-WAY DEDICATION ALONG FIRST STREET.
  5. CITY OF ST. CHARLES ELECTRIC DEPARTMENT SHALL RELOCATE TRANSFORMERS AND RE-WIRE.

**LOT 14 & 15 PARKING REQUIREMENTS**

SPACE TYPE	AREA (SQ FT)	REQUIRED PARKING	SPACES REQUIRED	REO'D
RETAIL OFFICE	11,680	8.9%	10	33
RESIDENTIAL				
UNITS				
2 BEDROOM	20	1.7	34	
3 BEDROOM	2	2.0	4	

LOT 14 & 15 TOTAL PARKING SPACES REQUIRED

LOT 14 & 15 PARKING PROVIDED

LOWER LEVEL GARAGE PARKING	32
FIRST STREET PARKING (EAST SIDE)	16
LIMESTONE DRIVE PARKING	18

LOT 14 & 15 TOTAL PARKING SPACES PROVIDED

**LOT 16 PARKING REQUIREMENTS**

SPACE TYPE	AREA (SQ FT)	REQUIRED PARKING	SPACES REQUIRED	REO'D
RETAIL OFFICE	11,531	7.1%	8	36
RESIDENTIAL				
UNITS				
2 BEDROOM	20	1.7	34	
3 BEDROOM	2	2.0	4	

LOT 16 TOTAL PARKING SPACES REQUIRED

LOT 16 PARKING PROVIDED

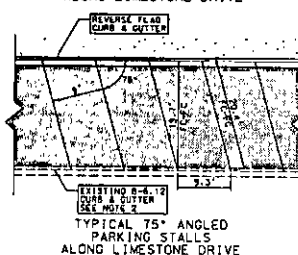
LOWER LEVEL GARAGE PARKING	33
FIRST STREET PARKING (EAST SIDE)	17
LIMESTONE DRIVE PARKING	2

LOT 16 TOTAL PARKING SPACES PROVIDED

PROPOSED CONCRETE WORK  
 EXISTING SIDEWALK TO REMAIN

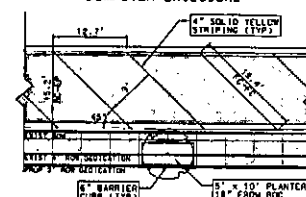
SEE ARCHITECT'S DRAWINGS FOR NET AREA CALCULATIONS

TYPICAL PARALLEL PARKING STALL ALONG LIMESTONE DRIVE



TYPICAL 75° ANGLED PARKING STALLS ALONG LIMESTONE DRIVE

DUMPSTER ENCLOSURE



TYPICAL 45° ANGLED PARKING STALL ALONG FIRST STREET

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 1719 N. MI. ST., SUITE 100  
 ST. CHARLES, MO 63304  
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 ST. CHARLES, MO 63304  
 (636) 261-1700

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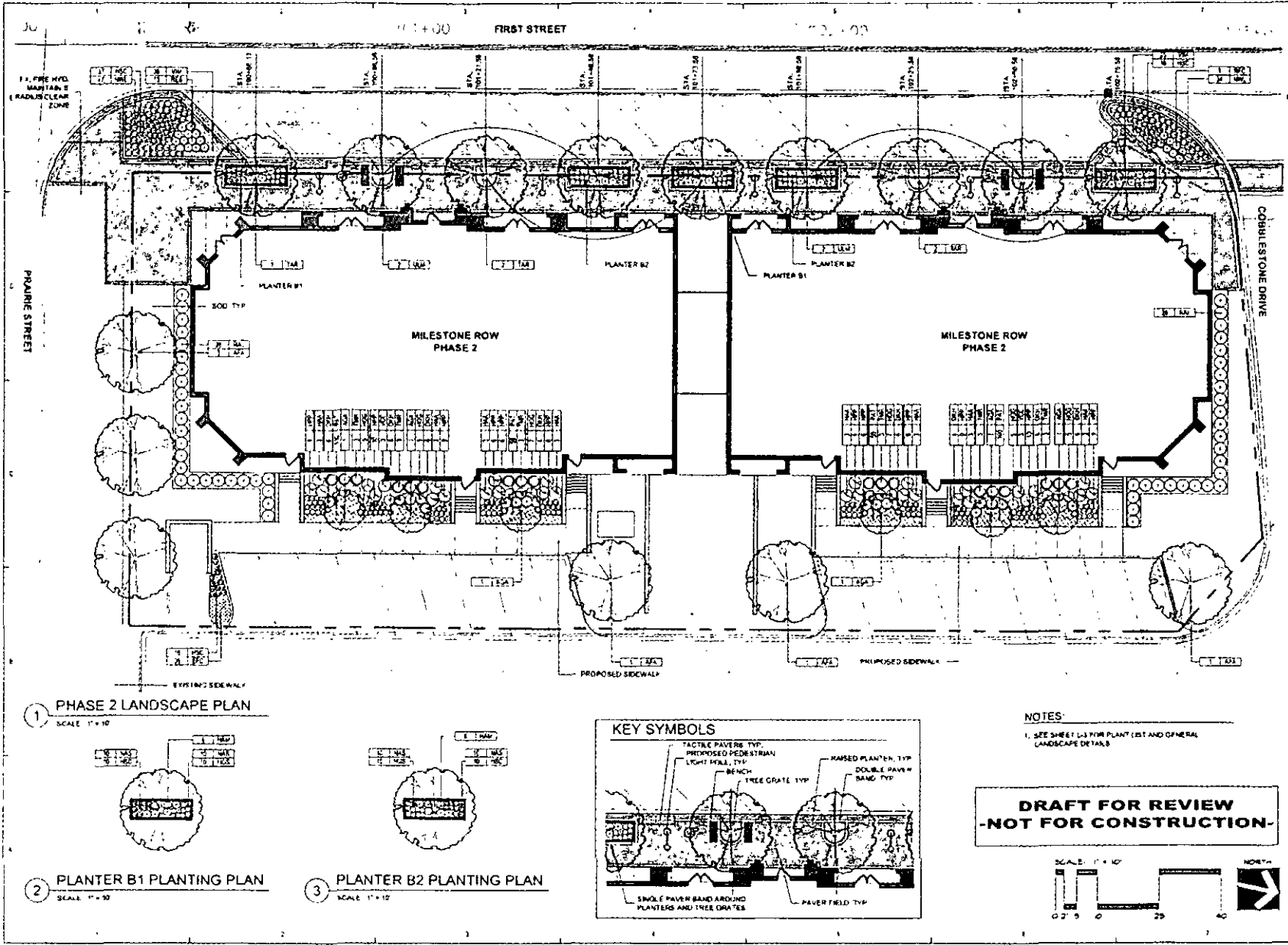
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**MILESTONE ROW**

**SITE PLAN**





**DLK**  
Civic Design  
The Flax Aap Building  
410 South Main Street  
Chicago, Illinois 60604  
Tel 312 327 8811  
Fax 312 327 8334  
www.dlkinc.com



**CALL J.U.L.I.E.**  
**1-800-892-0123**

2	6-14-2007	Returned by Revenue
3	7-11-2007	Returned by Revenue
4.	Done	Inspection

Milestone  
Row  
St. Charles, IL

LANDSCAPE  
PLAN

Date	21/1/2008
Project	2004045
In Charge	RON
Requested by	RON
Checked by	LVS
Designed for	BAJAAH
Drawn by	BAJAAH

L-2

City of St. Charles  
Community Development Division  
2 E. Main Street  
St. Charles, IL 60174



Phone: (630) 377-4443  
Email: [cd@stcharlesil.gov](mailto:cd@stcharlesil.gov)

## SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

### For City Use

Project Name: River 504 Rowhomes  
Project Number: 2022 -PR- 010  
Cityview Project Number: PLSU 202500083

Received Date  
**RECEIVED**

**MAR 13 2025**

City of St. Charles  
Community Development

- *File this application to request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property*
- *Complete the application and submit with all required attachments to the Community Development Division.*
- *The information you provide must be complete and accurate. If you have any questions please contact the Community Development Division.*
- *City staff will review the submittal for completeness and for compliance with applicable requirements prior to establishing a public hearing date.*

<b>1. Property Information:</b>	Location: NE Corner of S. 1st Street & Prairie Street	
	Parcel Number (s): 09-34-136-003, 09-34-136-002, 09-34-136-001	
	Proposed Name: River 504 Rowhomes	
<b>2. Applicant Information:</b>	Name: Julie Salyers, J&B Builders, Inc.	Phone: 630-587-9900
	Address 525 S Tyler Road, Unit P St. Charles, IL 60174	Email: <a href="mailto:julie@jbbuilders.com">julie@jbbuilders.com</a>
<b>3. Record Owner Information:</b>	Name: River 504 LLC	Phone: 630-587-9900
	Address: 525 S Tyler Road, Unit P St. Charles, IL 60174	Email: <a href="mailto:brian@jbbuilders.com">brian@jbbuilders.com</a>

**4. Identify the Type of Application:**

- ☐ **Special Use for Planned Unit Development - PUD Name:** \_\_\_\_\_
- ☐ New PUD
- ☒ Amendment to existing PUD- Ordinance #: 2005-2-9
- ☐ PUD Preliminary Plan filed concurrently
- ☐ **Other Special Use (from list in the Zoning Ordinance):** \_\_\_\_\_
- ☐ Newly established Special Use
- ☐ Amendment to an existing Special Use Ordinance #: \_\_\_\_\_

**5. Information Regarding Special Use:**

Comprehensive Plan designation of the property: Two Family Dwelling/Townhomes

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? CBD-1

What is the property currently used for? Vacant property

If the proposed Special Use is approved, what improvements or construction are planned?

Construction of four free standings buildings that contain two residential units per building.

**6. For Special Use Amendments only:**

Why is the proposed change necessary?

Market could not support the cost to construct a mixed used condominium building.

What are the proposed amendments? (Attach proposed language if necessary)

Amend the 2025 PUD Ordinance to accomodate the change in use to townhomes/two family dwelling units.

**Note for existing buildings:** If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

## 7. **Required Attachments:**

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

☒ **APPLICATION FEE:** Special Use for PUD: \$1,000

All other Special Use requests: \$750

☒ **REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:** Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$2,000	\$3,000	\$4,000	\$5,000
2 or 3	<u>\$3,000</u>	\$5,000	\$6,000	\$8,000
4 or more	\$4,000	\$6,000	\$8,000	\$11,000

☒ **PROOF OF OWNERSHIP:** a) A current title policy report; or  
b) A deed and a current title search

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

☒ **OWNERSHIP DISCLOSURE:** Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.

☐ **LETTER OF AUTHORIZATION:** If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.

☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper and Microsoft Word file.

☒ **PLAT OF SURVEY:** A current plat of survey for the subject property showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☒ **FINDINGS OF FACT:** Fill out the attached "Criteria for Planned Unit Developments (PUDs)" form for any PUD application and the "Findings of Fact – Special Use" form for all other Special Use applications.

☒ **LIST OF PROPERTY OWNERS WITHIN 250 FT.:** Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized. Property ownership information may be obtained using Kane County's interactive GIS mapping tool: [http://gistech.countyofkane.org/gisims/kanemap/kanegis4\\_AGOx.html](http://gistech.countyofkane.org/gisims/kanemap/kanegis4_AGOx.html)

☒ **SOIL AND WATER CONSERVATION DISTRICT NATURAL RESOURCES INVENTORY APPLICATION:** As required by State law, submit a Natural Resources Inventory (NRI) application and required fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy of completed NRI application to the City. The NRI application can be found on the Kane-DuPage SWCD website: <https://kanedupageswcd.org/kd/natural-resource-inventory>



- ✓ **ENDANGERED SPECIES REPORT:** As required by State law, file an Endangered Species Consultation Agency Action with the Illinois Department of Natural Resources. Provide a copy of the report to the City. The online Ecological Compliance Assessment Tool (EcoCAT) should be utilized: <https://dnr2.illinois.gov/EcoPublic/>
- ✓ **KANE COUNTY TRANSPORTATION IMPACT FEE:** The Kane County Road Improvement Impact Fee Ordinance applies to new residential and non-residential development within Kane County. The impact fee is determined by Kane County upon submittal of an application to Kane County Department of Transportation at the time of building permit. At this stage, the Impact Fee Estimator Tool can be used to estimate the cost of the fee: <http://kdot.countyofkane.org/Pages/Impact-Fees.aspx>
- ✓ **TRAFFIC STUDY:** If applicable. Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.
- ✍ **PLANS:** All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies:** Ten (10) full size copies and PDF electronic file emailed to: [cd@stcharlesil.gov](mailto:cd@stcharlesil.gov)

**Site Plan or plans shall show the following information:**

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line
21. Provision of handicapped parking spaces
22. Dimensions of handicapped parking spaces
23. Depressed ramps available to handicapped parking spaces
24. Location, dimensions and elevations of freestanding signs
25. Location and elevations of trash enclosures
26. Provision for required screening, if applicable
27. Exterior lighting plans showing:
  - a. Location, height, intensity and fixture type of all proposed exterior lighting
  - b. Photometric information pertaining to locations of proposed lighting fixtures



~~\*~~ (Note- For a Special Use for PUD, submit PUD Preliminary Plan Application In lieu of Site Plan)

(we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

B. P. Benz MGR 3/13/25  
Record Owner Date

[Signature] 3/13/2025  
Applicant or Authorized Agent Date

**OWNERSHIP DISCLOSURE FORM  
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS       )  
                                      ) SS.  
KANE COUNTY            )

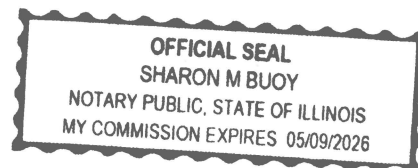
I, Brian Buoy, being first duly sworn on oath depose and say that I am  
Manager of River 504, LLC, an Illinois Limited Liability  
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

By: Brian Buoy, Manager

Subscribed and Sworn before me this 17<sup>th</sup> day of  
September, 20 24.

Sharon M Buoy  
Notary Public



## CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

### **\*Use this form for PUD or PUD Amendment applications\***

*The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether the proposed Planned Unit Development is in the public interest. As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.*

**PUD Name:** River 504 Rowhomes

#### **From the St. Charles Zoning Ordinance, Section 17.04.410.3:**

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
  1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
  2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
  3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
  4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
  5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
  6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
  7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The modifications to the existing approved PUD from 2005 maintain the purpose of the requirements established in Section 17.04.400 of the Zoning Ordinance. Currently vacant, undeveloped open space, the proposed development will serve as part of the southern gateway to downtown by providing residential housing, extension of the streetscape and on street public parking. The architectural style and orientation of each building facade and the building silhouettes of the proposed development blend the existing Milestone Row PUD with the previously approved Brownstone PUD, resulting in four free standing buildings rising four stories in height. The building height is comparable to the Milestone 1 building located north of the property while the free-standing buildings reflect the Brownstone residential units located east of the property. In addition, the free-standing buildings decrease the mass of the structure and allow addition green space and extensive landscaping between the buildings. Finally, the architectural design includes a "four sided" building with a timeless urban style that will compliment the existing surrounding buildings.

**ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

**Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:**

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

Conforming to the requirements of the existing PUD would be impractical in current market conditions. Prior to this proposal, a mixed-use condominium building was designed for the site. A cost analysis deemed the development was not feasible. The four, stand-alone two-family buildings we are proposing with up to 4,500 sf of interior finished space per unit, will have a more residential style of construction with wood framing, more simplistic mechanical, electrical and plumbing systems and no common space to build. The proposed development is very similar to the previously approved Brownstone PUD. The building height has been increased so that it is comparable to the Milestone 1 building located north of the development to provide a continuance of the streetscape along S 1st Street. With the increase in building height, additional interior finished space can be offered for each unit, allowing a reduction in the number of units on the site as compared to the previously approved ten units, providing less bulk and more green space while maintaining the feasibility of the development.

1. Proposed site plan promotes and extends pedestrian traffic with the extension of the existing sidewalk with paver accents from the property located to the north. The proposed offsite sidewalk will also connect the existing sidewalk along Prairie Street to the bike path along the river.

2. The stand-alone buildings have less bulk and will allow green space with landscaping between the buildings.

3. The proposed landscape plan provides ample landscaping with landscaping around the entire perimeter of the property and at the Cobblestone Drive median as well as extensive landscaping between the buildings.

4. The proposed architectural style reflects a timeless urban design that contains transitional components to blend with the existing adjacent buildings.

5. The energy efficient components (windows, MEP equipment, electric vehicle charging stations) will be incorporated into the building construction and the landscape design includes native, low maintenance plants.

6. Not applicable, no on-site stormwater management is required.

7. A private elevator is being offered as an option for each unit, unit entries can be adapted for accessibility and handicap parking has been provided on S 1st Street.

8. No.

9. The proposed building will include quality materials comparable to the previously approved design.

**iii. The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330.C.2):**

**A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

The amendment to the special use will serve public convenience since the property currently sits undeveloped and vacant since its approval in 2005. The proposed development is similar in configuration, massing and land use as what was previously approved in the Brownstone PUD in 2000. Changes have been made to reduce the number of units from 10 to 8 and to eliminate mass by providing 4 stand alone buildings with green space between the buildings. In addition, each unit has the option for a 2 or 3 car garage as well as driveway space that will allow parking for unit guests. The ample unit parking will contribute to public convenience as the 16 parking spaces constructed along S. 1st Street will primarily be available for public use.

**B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary utilities have been, or are being, provided.**

Because the proposed development is part of the previously approved Milestone Row PUD, existing utilities, access roads and necessary facilities are either present or will be upgraded to meet the project needs. The existing water, electrical, storm and sanitary lines are directly adjacent to the property and can be extended or modified. Access to the unit garages is being proposed from Limestone Drive. A traffic study was completed and concluded the development will generate a low volume of peak hour traffic.

**C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The amendment to the special use will not be injurious to the use and enjoyment of other properties in the immediate vicinity since the proposed architectural design reflects a "four sided" building that will be aesthetically pleasing to the adjacent properties on Limestone drive. In addition, by eliminating the commercial space, decreasing the number of residential units and providing ample private unit parking, residents in adjacent properties will encounter less traffic and congestion traffic at the site. The development will also provide 16 public parking spaces that can be used and enjoyed by other adjacent properties.

**D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The amendemnt to the Special Use will compliment the normal and orderly development and improvement of the surrounding properties by extending the streetscape along S 1st Street. The proposed height, silhouette and architectural components of the proposed proposed stand alone buildings are consistent with the Milestone 1 building located north of the development while still relatively similar and complimentary to the existing residential units located east of the property that were also part of the Brownstone PUD that was previously approved for this site.



**E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The amendment to the PUD will not be detrimental to or endanger the public health, safety, comfort or general welfare. The proposed development is very similar to the previously approved Brownstone PUD, fits within the neighborhood, provides public parking while extending the public streetscape along S 1st Street.

**F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The proposed development will be constructed in accordance with the St. Charles Municipal Code except for variances requested as part of this amendment to the existing Special Use.

**iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The amendment to the previously approved PUD will increase the tax base and economic well-being of the City with the construction of 8 residential units on existing vacant land.

**v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The proposed PUD conforms to the purposes and intent of the Comprehensive Plan. The configuration of the proposed buildings, building face orientation and the building silhouettes blend the currently approved PUD with the previously approved Brownstone PUD. The vehicular access, parking and land use is also in line with Comprehensive Plan

## **Project Narrative**

Development Name: River 504 Rowhomes

Location: NE Corner of S 1<sup>st</sup> & Prairie Streets

### Proposed Land Use:

The development will consist of four freestanding buildings with two units in each building. The buildings will be oriented on the site to provide a front elevation along S 1<sup>st</sup> Street. A two-car garage (third car tandem) with a private driveway will be located at the rear of each unit that can be accessed from Limestone Drive. The green space located between the buildings will provide an additional exterior space for six of the units. Public parking spaces will be provided along S 1<sup>st</sup> Street. Improved landscaping will be provided along First Street and around the perimeter of the site. In addition, landscaping will be focused at the entrances on the side elevations of the northern and southernmost units to provide screening from Prairie Street and Cobblestone Drive.

The four story units will provide a flex space and a two-car garage with driveway on the ground level, living space on the second and third floor levels and additional flex space with a rooftop terrace on the fourth level. The building exteriors will be designed to complement the adjacent Brownstone Development and Milestone 1 properties. The total footprint for all four buildings totals 49,808 sf.

City of St. Charles  
Community Development Division  
2 E. Main Street  
St. Charles, IL 60174



Phone: (630) 377-4443  
Email: [cd@stcharlesil.gov](mailto:cd@stcharlesil.gov)

## PUD PRELIMINARY PLAN APPLICATION

### For City Use

Project Name: River 504 Rowhomes  
Project Number: 2022 -PR- 010  
Cityview Project Number: PLP4D202500082

Received Date  
**RECEIVED**

**MAR 13 2025**

City of St. Charles  
Community Development

- File this application to request approval of a PUD Preliminary Plan. Normally, this application is reviewed concurrently with an application for Special Use for PUD, unless a Special Use for PUD has previously been granted and no amendment is necessary.
- Complete the application and submit with all required attachments to the Community Development Division.
- The information you provide must be complete and accurate. If you have any questions please contact the Community Development Division.
- City staff will review the submittal for completeness and for compliance with applicable requirements. Staff will distribute the plans to other City departments for review when the application is complete.
- The PUD Preliminary Plan will be scheduled for Plan Commission review when staff has determined the plans are ready.

<b>1. Property Information:</b>	Location: NE corner S 1st & Prairie Streets	
	Parcel Number (s): 09-34-136-003, 09-34-136-002, 09-34-136-001	
	Proposed PUD Name: River 504 Rowhomes	
<b>2. Applicant Information:</b>	Name: Julie Salyers, J&B Builders, Inc.	Phone: 630-587-9900
	Address 525 S Tyler Road, Unit P St. Charles, IL 60174	Email: <a href="mailto:julie@jbbuilders.com">julie@jbbuilders.com</a>
<b>3. Record Owner Information:</b>	Name: River 504 LLC	Phone: 630-587-9900
	Address: 525 S Tyler Road, Unit P St. Charles, IL 60174	Email: <a href="mailto:brian@jbbuilders.com">brian@jbbuilders.com</a>

#### 4. Identify the Type of Application:

- ☐ New proposed Planned Unit Development (PUD) – *Special Use Application to be filed concurrently*
- ☒ Existing Planned Unit Development (PUD)
  - ☒ PUD Amendment required for proposed plan – *Special Use Application to be filed concurrently*

##### **Subdivision:**

- ☐ Proposed lot has already been platted and a new subdivision is not required.
- ☒ New subdivision of property is required:
  - ☐ Final Plat of Subdivision Application filed concurrently
  - ☒ Final Plat of Subdivision Application to be filed later

#### 5. Required Attachments:

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

- ☒ **APPLICATION FEE:** \$500
- ☐ **REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- ☐ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:** Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
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- ☐ **PROOF OF OWNERSHIP:** a) A current title policy report; or  
b) A deed and a current title search

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

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- ☐ **LETTER OF AUTHORIZATION:** If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.
- ☐ **LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper and Microsoft Word file.
- ☐ **PLAT OF SURVEY:** A current plat of survey for the subject property showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

- ☐ **SOIL AND WATER CONSERVATION DISTRICT NATURAL RESOURCES INVENTORY APPLICATION:** As required by State law, submit a Natural Resources Inventory (NRI) application and required fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy of completed NRI application to the City. The NRI application can be found on the Kane-DuPage SWCD website: <https://kanedupageswcd.org/kd/natural-resource-inventory>
- ☐ **ENDANGERED SPECIES REPORT:** As required by State law, file an Endangered Species Consultation Agency Action with the Illinois Department of Natural Resources. Provide a copy of the report to the City. The online Ecological Compliance Assessment Tool (EcoCAT) should be utilized: <https://dnr2.illinois.gov/EcoPublic/>
- ☒ **PRELIMINARY STORMWATER MANAGEMENT REPORT:** Provide stormwater management information as listed in item #7 of the Preliminary Engineering Checklist (attached).
- ☒ **BUILDING UTILITY DATA SUMMARY:** Use the attached worksheet to provide preliminary estimates regarding utility needs for the development.
- ☒ **PUBLIC BENEFITS, DEPARTURES FROM CODE:** A written statement describing how the PUD meets the purposes and requirements established in Section 17.04.400 of the Zoning Ordinance. List any requests for deviations (departures) from the requirements of Title 16 "Subdivisions and Land Improvement" and Title 17 "Zoning" and provide a rationale for each requested deviation.
- ☒ **CONSTRUCTION SCHEDULE:** Indicate the following:
  - Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the Plat of Subdivision and through supporting material.
  - Approximate dates for beginning and completion of each phase.
- ☐ **PARK AND SCHOOL LAND/CASH WORKSHEETS:** *For residential developments only.* Use the attached worksheet to calculate the estimated population and student yields and resulting land/cash contributions in accordance with Title 16 of the St. Charles Municipal Code.
- ☒ **INCLUSIONARY HOUSING WORKSHEET:** *For residential developments only.* Use the attached worksheet to calculate the affordable unit requirement and indicate how the development will comply with Title 19 of the St. Charles Municipal Code.
- ☐ **KANE COUNTY TRANSPORTATION IMPACT FEE:** The Kane County Road Improvement Impact Fee Ordinance applies to new residential and non-residential development within Kane County. The impact fee is determined by Kane County upon submittal of an application to Kane County Department of Transportation at the time of building permit. At this stage, the Impact Fee Estimator Tool can be used to estimate the cost of the fee: <http://kdot.countyofkane.org/Pages/Impact-Fees.aspx>

**PLANS:** All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies:** Ten (10) full size copies and PDF electronic file emailed to: [cd@stcharlesil.gov](mailto:cd@stcharlesil.gov)

- ☒ **COMMENT RESPONSE LETTER:** Provide a written response to all outstanding City review comments from the Concept Plan review (if applicable).



- ✓ **PRELIMINARY PLAT OF SUBDIVISION:** If the PUD Preliminary Plan involves the subdivision of land, submit a Preliminary Plat of Subdivision that includes the information listed on the Subdivision Plat Drawing Requirements Checklist. Also submit a completed Subdivision Plat Drawing Requirements Checklist (attached).
- ✓ **PRELIMINARY ENGINEERING PLANS:** Plans shall include the information listed on the Preliminary Engineering Checklist (checklist).
- ✓ **PHOTOMETRIC PLAN:** Site lighting plan demonstrating compliance with Section 17.22.040 "Site Lighting". Depict proposed lighting levels within the site and up to all property lines. Identify locations and fixture specifications of all site lighting, including pole and building-mounted lighting.
- ✓ **ARCHITECTURAL PLANS:** Architectural plans and data for all principal buildings with sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed-use buildings, total floor area and total building coverage of each building.
- ✓ **LANDSCAPE PLAN:** Landscape Plan demonstrating compliance with Ch. 17.26 "Landscaping & Screening" and which includes following information and:
  - Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
  - Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan
  - Accurate property boundary lines
  - Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
  - Site area proposed to be landscaped in square feet and as a percentage of the total site area
  - Percent of landscaped area provided as per code requirement
  - Dimensions of landscape islands
  - Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
  - Location and identification of all planting beds and plant materials
  - Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
  - Landscaping of ground signs and screening of dumpsters and other equipment
- ❑ **TREE PRESERVATION PLAN:** When required, in accordance with Ch. 8.30 of the St. Charles Municipal Code (see attached "Tree Preservation Requirements for Preliminary Plans". This information may be included as part of the Landscape Plan set.
- ✓ **ELECTRIC UTILITY PLAN & ELECTRIC SERVICE APPLICATION:** Provide electric utility information as listed in item #5 of the Preliminary Engineering Checklist. Also fill out and submit the Electric Service Application form (attached). Please note: The St. Charles Municipal Electric Utility is a "zero standard" utility, which means that the developer pays 100% of the costs related to electrical infrastructure.
- ✓ **TRUCK TURNING EXHIBIT(S):** Provide a WB-50 template showing turning movements through the site to verify adequate access for Fire vehicles. Provide a Vactor truck template if the project will require City Vactor truck access for sanitary sewer maintenance.
- ❑ **SKETCH PLAN FOR LATER PHASES OF PUD:** For phased PUDs only, submit a plan that shows, at minimum, the following:
  - General location of arterial and collector streets

- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

B. P. Bay Mar 3/13/25  
Record Owner Date

[Signature] 3/13/2025  
Applicant or Authorized Agent Date

## PUBLIC BENEFITS, DEPARTURES FROM CODE

Development Name: River 504 Rowhomes

Location: NE corner of S. 1<sup>st</sup> & Prairie Streets

The modifications will revert the use more closely back to the previously approved Brownstone PUD in 2000 while maintaining the purpose and requirements established in Section 17.04.400 of the Zoning Ordinance. Currently vacant undeveloped open space, the proposed development will serve as part of the southern gateway to downtown by providing residential housing and on-street parking. The proposed facades are oriented to S 1<sup>st</sup> Street and promote walkability to downtown by harmoniously extending the existing streetscape from the properties located to the north. While the Brownstone PUD in 2000 included two buildings with 5 units per building, the proposed development includes four buildings, four stories high with 2 units in each building. The gross square footage of each unit is 6,226 sf. The architectural design includes a “four sided” building with a traditional feel that will provide architectural interest to the neighborhood incorporating the height and silhouette components of the Milestone 1 Building to the north while maintaining a residential feel to compliment the Brownstone development to the east.

We are requesting the following deviations from the 2005 PUD Ordinance:

1. Front Elevation Setback: Current setback requirement is 5.0'. With dedication of full sidewalk width to the city, we are requesting a 3.4' setback.
2. Building Height: Maximum building height of 57'. The maximum building height is calculated per the St. Charles zoning ordinance and reflects the distance from the finished grade to the roof ridge at the S 1<sup>st</sup> Street elevation. The proposed ridge height for River 504 is slightly lower than the ridge height of the Milestone 1 property and approximately 3 feet lower than the height of the towers located at both ends of the two Milestone 1 buildings.

## INCLUSIONARY HOUSING WORKSHEET

Name of Development: River 504 Rowhomes

Date Submitted:

Use this worksheet to determine the affordable unit requirement for the proposed development and to propose how the development will meet the Inclusionary Housing requirements of Title 19.

### 1) Calculate the number of affordable units required:

Unit Count Range	# of Units Proposed in Development		% of Affordable Units Required		# of Affordable Units Required
1 to 15 Units	8	X	5%	=	0.4
More than 15 Units		X	10%	=	

### 2) How will the Inclusionary Housing requirement be met?

- ☐ Provide on-site affordable units
- ☒ Pay a fee in-lieu of providing affordable units (calculate fee in-lieu below)
- ☐ Provide a mixture of affordable units and fee in-lieu
- # of affordable units to be provided:
  - Amount of fee in-lieu to be paid (calculate below):

#### Fee In-Lieu Payment Calculation

##### Multi-Family Development:

# of Affordable Units Required	# of Affordable Units Proposed to Pay the Fee-In-Lieu		Fee-In-Lieu Amount Per Affordable Unit		Total Fee-In-Lieu Amount
		X	\$52,454	=	

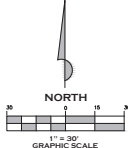
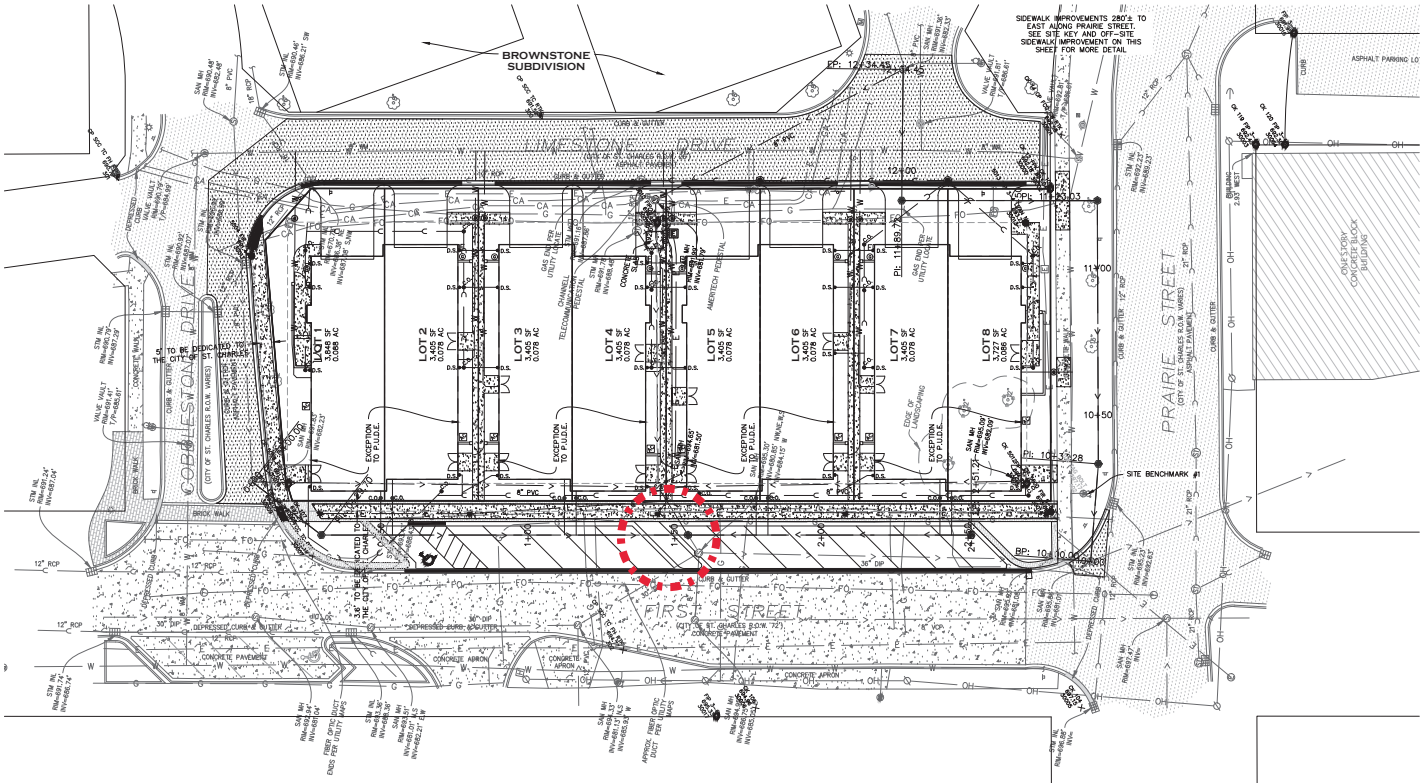
##### Single-Family Attached (Townhouse) / Two-Family Development:

# of Affordable Units Required	# of Affordable Units Proposed to Pay the Fee-In-Lieu		Fee-In-Lieu Amount Per Affordable Unit		Total Fee-In-Lieu Amount
0.4	0.4	X	\$36,718	=	14,687

##### Single-Family Development:

# of Affordable Units Required	# of Affordable Units Proposed to Pay the Fee-In-Lieu		Fee-In-Lieu Amount Per Affordable Unit		Total Fee-In-Lieu Amount
		X	\$20,982	=	

Additional Landscape Island on 1st Street (per Plan Commission recommendation)



PROJECT NO. M24183

DRAWN BY: -

CHECKED BY: -

SHEET NO. 1 / 1

RIVER 504 ROWHOMES  
402-542 SOUTH FIRST STREET  
ST CHARLES, ILLINOIS

CONCEPT PLAN

SINGLE PARKING LOT ISLAND OPTION

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**MeritCorp**

DATE: 09-02-2025  
DESCRIPTION: SINGLE ISLAND OPTION - FIRST STREET PARKING

**MeritCorp**  
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Aurora, IL 60504  
Office 630.554.6655  
Lic. No. 184-008960  
www.meritcorp.com

Other Office Locations:  
Gurnee, IL





# LEGEND

	EXISTING HANDHOLE
	EXISTING CURB
	EXISTING MANHOLE
	EXISTING CABLE TV PEDISTAL
	EXISTING ELECTRIC PEDISTAL
	EXISTING TELEPHONE PEDISTAL
	EXISTING MANHOLE
	EXISTING STORM CATCH BASIN
	EXISTING STORM INLET
	EXISTING STORM MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER BUFFALO BOX
	EXISTING WATER VALVE
	EXISTING WATER VALVE & VAULT
	EXISTING DEAD-END TREE (LEAF TREE)
	EXISTING CONSERVING TREE (NON-LEAF TREE)
	EXISTING ELECTRIC HANDHOLE
	EXISTING ELECTRIC MANHOLE
	EXISTING ELECTRIC TRANSFORMER
	EXISTING BEER OPTICS HANDHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING POWER POLE
	EXISTING GUY WIRE
	CONTROL POINT - CROSS CUT

# BENCHMARKS

SOURCE: NAVD83, AS ESTABLISHED BY TRIMBLE VRS NETWORK AT TIME OF TOPOGRAPHIC SURVEY.  
HORIZONTAL DATUM IS REFERENCING NAD 83

SITE BENCHMARK #1:  
TAG BOLT ON FIRE HYDRANT LOCATED AT SOUTHWESTERLY CORNER OF SITE.  
N 1.900.813.9' E 988.773.9'  
EL 697.17'

SITE BENCHMARK #2: (SEE SITE KEY FOR LOCATION OF OFF-SITE BM#2)  
NAIL BOLT ON FIRE HYDRANT LOCATED APPROXIMATELY 630' SE OF SITE.  
N 1.900.846.9' E 990.086.4'  
EL 701.46'

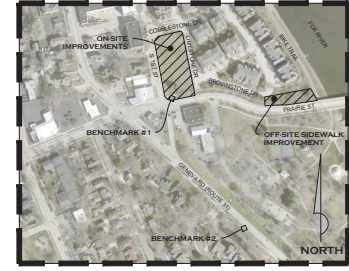
TOPOGRAPHIC SURVEY INFORMATION SHOWN FOR ON-SITE IMPROVEMENTS WAS COMPLETED BY REGIONAL LAND SERVICES. BENCHMARK INFORMATION IS SHOWN PER SAID SURVEY, AND WAS NOT COMPLETED BY MERITCORP GROUP, LLC.

TOPOGRAPHIC SURVEY INFORMATION SHOWN FOR OFF-SITE IMPROVEMENTS WAS COMPLETED BY MERITCORP GROUP, LLC ON 03/10/25

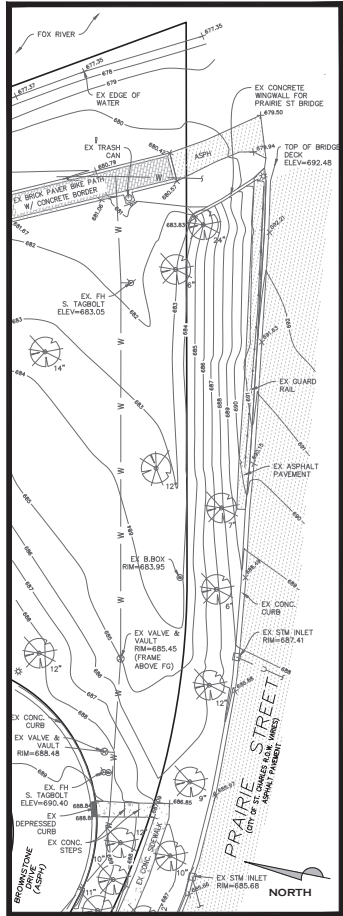
# UTILITY LOCATE INFO

JULIE DESIGN STAGE TICKET NUMBER: A25091350-004

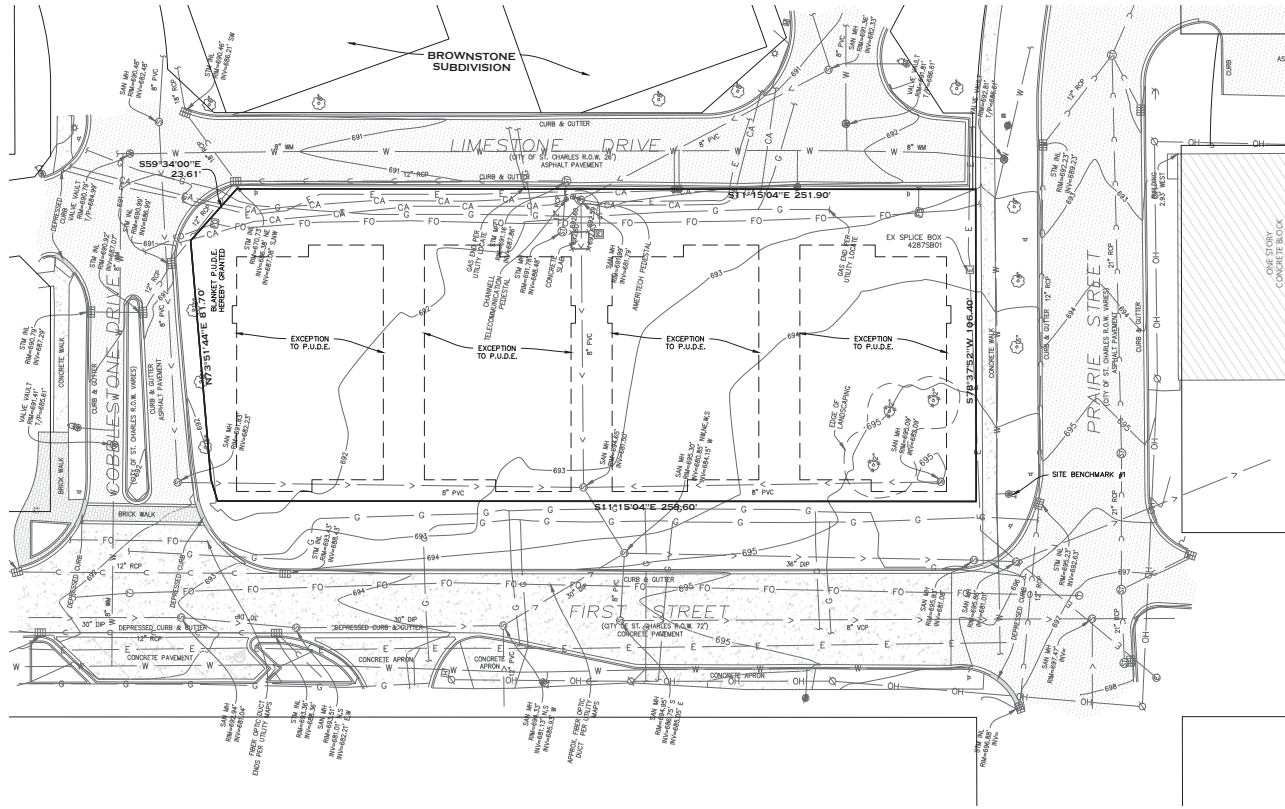
CONTACTS:  
ATTOSIA AT DISTRIBUTION, 800-800-0000, [J11629@ATT.COM](mailto:J11629@ATT.COM)  
COMCAST CABLE (INFINITY), MARTHA GERAS, 224-225-5862, [MARTHA.GERAS@CABLE.COMCAST.COM](mailto:MARTHA.GERAS@CABLE.COMCAST.COM)  
MIRADA METRO FIBERNET, LLC, 903-243-1100, [BLISS@MIRADAFIBERNET.COM](mailto:BLISS@MIRADAFIBERNET.COM)  
NORIDA NORIS GAS, UTILITY CONSULTANT GROUP, 630-388-2362  
SCHIBA ST. CHARLES, CITY OF, ERIC CREIGHTON, 630-762-7075, [MAPS@STCHARLES.IL.GOV](mailto:MAPS@STCHARLES.IL.GOV)



SITE KEY  
NTS



OFF-SITE SIDEWALK IMPROVEMENT  
SCALE: 1"=20'



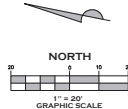
ON-SITE IMPROVEMENTS  
SCALE: 1"=20'

# NOTE

EXISTING ON-SITE TOPOGRAPHIC SURVEY WAS COMPLETED BY REGIONAL LAND SERVICES ON 12/21/21

EXISTING OFF-SITE TOPOGRAPHIC SURVEY WAS COMPLETED BY MERITCORP GROUP, LLC ON 03/10/25

EXISTING UTILITY SURVEY WAS UPDATED BY MERITCORP GROUP, LLC ON 02/06/25



GIVEN UNDER MY HAND AND SEAL ON THIS 5TH DAY OF MARCH, 2025.

*John D. Spink*  
JOHN D. SPINK  
ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3868  
CURRENT LICENSE EXPIRES NOVEMBER 30, 2026.



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**MeritCorp**

DESCRIPTION: RIVER 504 ROWHOMES  
402 - 542 SOUTH 1ST STREET  
ST. CHARLES, ILLINOIS

DATE: 05/22/25  
REV'D PER CLIENT & PER CITY OF ST. CHARLES  
REV'D PER CITY OF ST. CHARLES

DATE: 07/11/25

EXAMINERS: PLANNING, SURVEYING, ENVIRONMENTAL

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Aurora, IL 60594  
Office: 630.554.6655  
Lic. No. 184-006860  
www.meritcorp.com

Other Office Locations:  
Gurnee, IL

PROJECT NO. M24183

DRAWN BY: ZDS

CHECKED BY: TDR

SHEET NO. C2 / 6

PRELIMINARY ENGINEERING PLANS

EXISTING CONDITIONS PLAN

NOT FOR CONSTRUCTION





# LEGEND

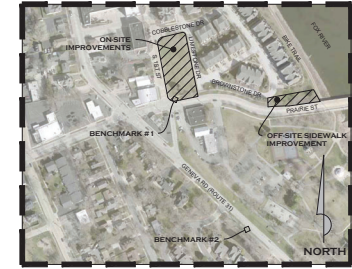
	DEPRESSED CURB AND GUTTER (SEE DETAIL SHEET)
	REVERSE PITCH CURB AND GUTTER (SEE DETAIL SHEET)
	HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL SHEET)
	STANDARD DUTY ASPHALT PAVEMENT (SEE DETAIL SHEET)
	CONCRETE PAVEMENT (SEE DETAIL SHEET)
	PROPERTY LINE
	EDGE OF STRIPE
	CENTER OF STRIPE
	BUILDING
	BACK OF CURB
	EDGE OF WALK
	RADIUS

# NOTES

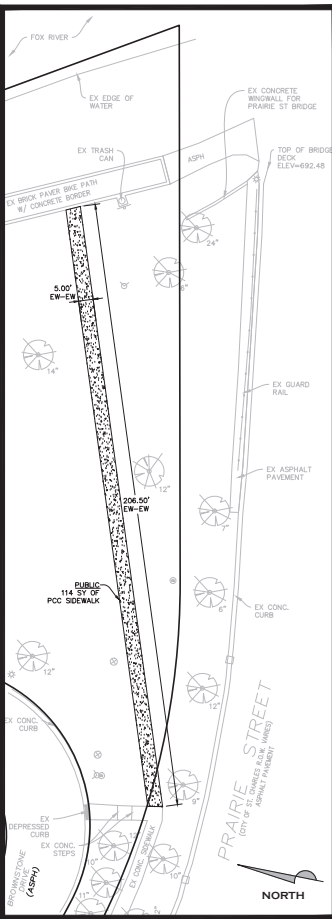
1. REFER TO CITY OF ST. CHARLES ENGINEERING DESIGN DETAILS FOR ALL SIDEWALK, PAVEMENT AND UTILITY DETAILS.
2. REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND PRIVACY WALL DETAILS.
3. REFER TO PRELIMINARY PLAT FOR LOT DIMENSIONS AND ZONING.
4. TRENCHBOX MAY BE REQUIRED TO CONSTRUCT PORTIONS OF THE SANITARY SEWER IN THE PRAIRIE STREET RIGHT-OF-WAY.

# PE CALC

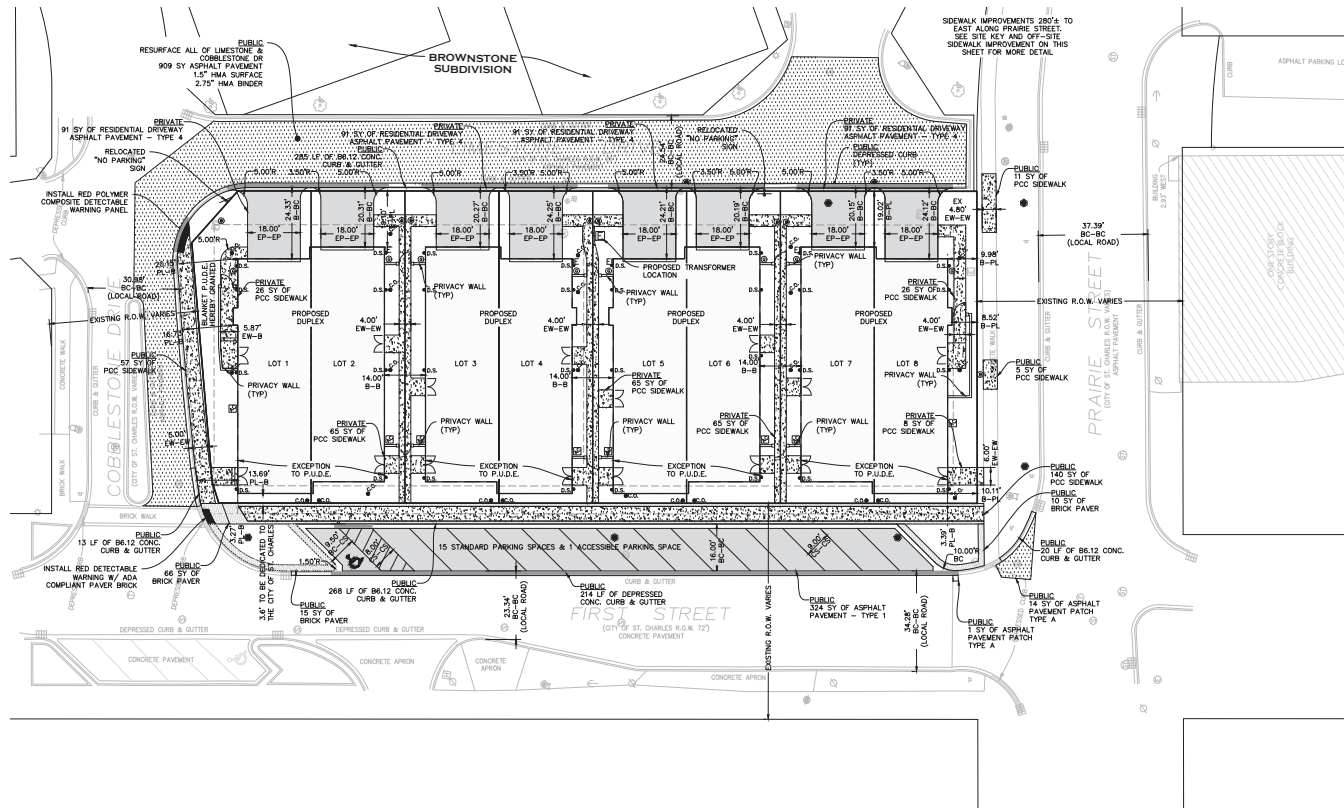
USING THE "SINGLE FAMILY HOME" DESIGNATION FROM THE IEPA @ 3.5 CAPITA \* 100 GPD/CAPITA:  
THE PE FOR EACH OF THE UNITS (1 THRU 8) = 350 GPD EACH FOR A TOTAL OF 2,800 GPD



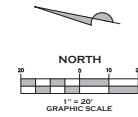
SITE KEY  
NTS



OFF-SITE SIDEWALK IMPROVEMENT  
SCALE: 1"=20'



ON-SITE IMPROVEMENTS  
SCALE: 1"=20'



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**MeritCorp**

DATE	DESCRIPTION
07/07/25	REVISED PER CITY OF ST. CHARLES
09/22/25	REVISED PER CLIENT & PER CITY OF ST. CHARLES
07/11/25	REVISED PER CITY OF ST. CHARLES

**MeritCorp**  
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www.meritcorp.com  
Other Office Locations:  
Gurnee, IL

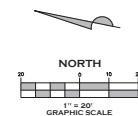


RIVER 504 ROWHOMES  
402 - 542 SOUTH 1ST STREET  
ST. CHARLES, ILLINOIS  
PRELIMINARY ENGINEERING PLANS  
PROPOSED GEOMETRY  
NOT FOR CONSTRUCTION

PROJECT NO.	M24183
DRAWN BY:	ZDS
CHECKED BY:	TDR
SHEET NO.	C4 / 6

—OH—	OVERHEAD WIRES
FO	FIBER OPTIC
CA	COMMUNICATION LINE
—T— T—	TELEPHONE LINE
E	ELECTRIC LINE
G	GAS LINE
<	SANITARY LINE
—C— C—	STORM SEWER
W	WATER LINE
●	SANITARY MANHOLE
● C.O.	CLEAN OUT
● D.S.	DOWNSPOUT
⊗	VALVE VAULT
⊗	FIRE HYDRANT
⊗	BUFFALO BOX
⊗	GAS METER
⊗	ELECTRIC METER (BY OTHERS)

1. REFER TO CITY OF ST. CHARLES ENGINEERING DESIGN DETAILS FOR ALL SIDEWALK, PAVEMENT AND UTILITY DETAILS.
2. REFER TO ARCHITECTURAL & MEP PLANS FOR ADDITIONAL DETAILS.
3. REFER TO PRELIMINARY PLAT FOR PROPOSED EASEMENTS & DESCRIPTIONS.
4. REFER TO ELECTRICAL PLANS FOR ELECTRICAL DESIGN AND CONDUIT ROUTING
5. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF DOWNSPOUTS.



RIVER 504 ROWHOMES 402 - 542 SOUTH 1ST STREET ST. CHARLES, ILLINOIS	
PRELIMINARY ENGINEERING PLANS	
PROPOSED UTILITY PLAN	
NOT FOR CONSTRUCTION	
PROJECT NO.	M24183
DRAWN BY:	ZDS
CHECKED BY:	TDR
SHEET NO.	C5 / 6



## LEGEND

	DEPRESSED CURB AND GUTTER (SEE DETAIL SHEET)
	REVERSE PITCH CURB AND GUTTER
	GRADING CONTOUR
	EMERGENCY OVERLAND FLOOD ROUTE
	DRAINAGE FLOW ARROW
	TOP OF FOUNDATION
	GARAGE FLOOR
	TOP OF STEP
	BOTTOM OF STEP
	EDGE OF PAVEMENT
	TOP OF CURB
	TOP OF DEPRESSED CURB
	MATCH EXISTING
	TOP OF WALL
	BOTTOM OF WALL
	HIGH WATER LEVEL
	NORMAL WATER LEVEL

## BENCHMARKS

SOURCE: NAVD83, AS ESTABLISHED BY TRIMBLE VRS NETWORK AT TIME OF TOPOGRAPHIC SURVEY. HORIZONTAL DATUM IS REFERENCING NAD 83

SITE BENCHMARK #1:  
TAG BOLT ON FIRE HYDRANT LOCATED AT SOUTHWESTERLY CORNER OF SITE.  
N 1,900.513.9' E 988.773.9'  
EL 697.17'

SITE BENCHMARK #2: (SEE SITE KEY FOR LOCATION OF OFF-SITE BENCHMARK)

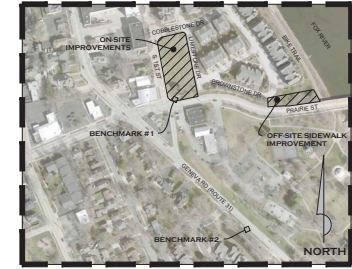
NW BOLT ON FIRE HYDRANT LOCATED APPROXIMATELY 630.56' SE OF SITE.  
N 1,908.046.9' E 988.080.4'  
EL 701.40'

TOPOGRAPHIC SURVEY INFORMATION SHOWN FOR ON-SITE IMPROVEMENTS WAS COMPLETED BY REGIONAL LAND SERVICES. BENCHMARK INFORMATION IS SHOWN PER SAID SURVEY, AND WAS NOT COMPLETED BY MERITCORP GROUP, LLC.

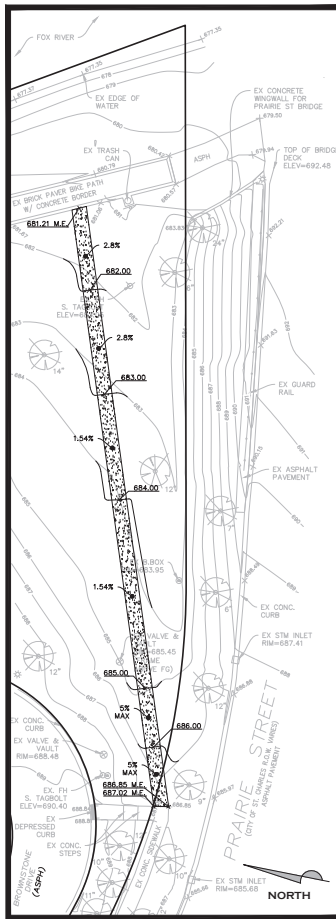
TOPOGRAPHIC SURVEY INFORMATION SHOWN FOR OFF-SITE IMPROVEMENTS WAS COMPLETED BY MERITCORP GROUP, LLC ON 03/01/25

## NOTES

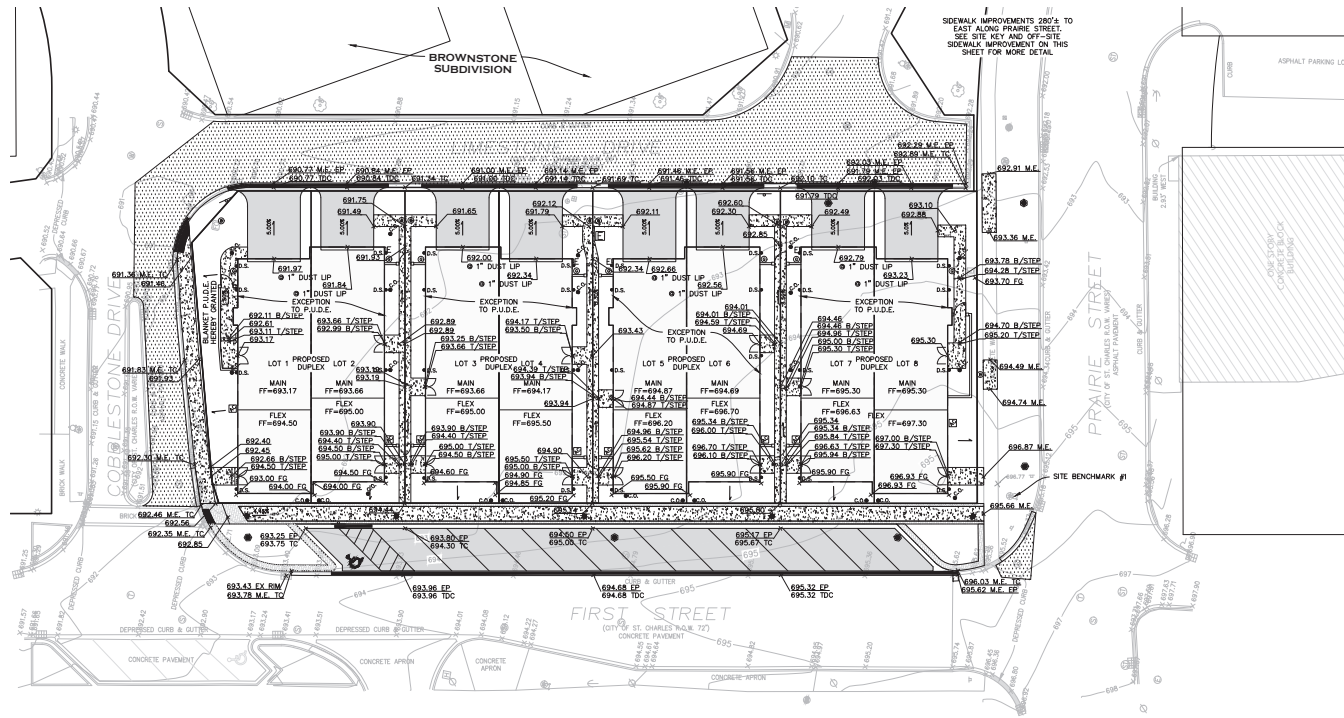
1. STORMWATER MANAGEMENT FACILITIES INCLUDING DETENTION, BMP'S ARE NOT REQUIRED FOR THIS DEVELOPMENT.



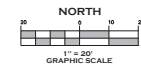
SITE KEY  
NTS



OFF-SITE SIDEWALK IMPROVEMENT  
SCALE: 1"=20'



ON-SITE IMPROVEMENTS  
SCALE: 1"=20'



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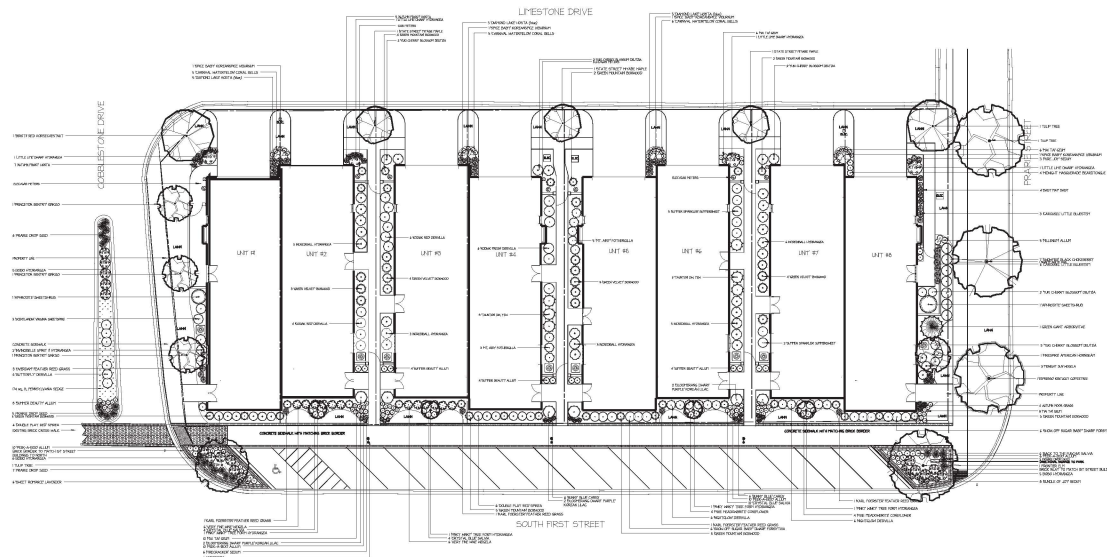
MeritCorp

DATE	DESCRIPTION
05/20/25	REV'D PER CLIENT & PER CITY OF ST. CHARLES
05/22/25	REV'D PER CITY OF ST. CHARLES
07/11/25	

**MeritCorp**  
 ENGINEERING: PLANNING, SURVEYING, ENVIRONMENTAL  
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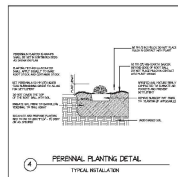
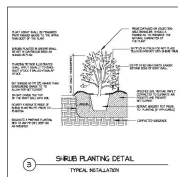
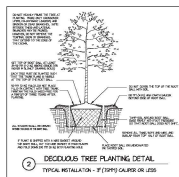
RIVER 504 ROWHOMES  
 402 - 542 SOUTH 1ST STREET  
 ST. CHARLES, ILLINOIS  
 PRELIMINARY ENGINEERING PLANS  
 PROPOSED GRADING PLAN  
 NOT FOR CONSTRUCTION

PROJECT NO.	M24183
DRAWN BY:	ZDS
CHECKED BY:	TDR
SHEET NO.	C6 / 6



LANDSCAPE PLAN  
SCALE: 1" = 10'

Qty	Botanical Name	Common Name	Size/Condition
1	Black Screen Yucca	GREEN VELVET™ BUSHWOOD	10' BBS
2	Black Screen Yucca	GREEN VELVET™ BUSHWOOD	10' BBS
3	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
4	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
5	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
6	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
7	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
8	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
9	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
10	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
11	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
12	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
13	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
14	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
15	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
16	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
17	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
18	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
19	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
20	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
21	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
22	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
23	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
24	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
25	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
26	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
27	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
28	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
29	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
30	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
31	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
32	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
33	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
34	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
35	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
36	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
37	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
38	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
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40	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
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46	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
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88	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
89	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
90	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
91	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
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95	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
96	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
97	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
98	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
99	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS
100	Black Screen Yucca	FLATIRON™ (M. Yucca)	10' BBS



# NOTES

ALL LANDSCAPE BEDS TO BE FILLED WITH PREMIUM HARDWOOD SHREDDED MULCH

ALL EVERGREENS AND ORNAMENTAL TREES TO HAVE A MINIMUM HEIGHT OF 6 FEET AT PLANTING

ALL SHRUBS TO HAVE A MINIMUM HEIGHT OF 24 INCHES AT PLANTING

SEE CIVIL DRAWINGS FOR SIDEWALK AND PAVEMENT LAYOUT

CIVIL DRAWINGS TO BE FOLLOWED SHOULD THERE BE ANY DISCREPANCIES RELATED TO SIDEWALK, PAVEMENT, OR UTILITY LOCATIONS

ALL UTILITIES TO BE MARKED BY JULIE BEFORE ANY PLANTING TAKES PLACE. PLANTS WILL BE ADJUSTED FOR UTILITIES AS NEEDED.



2	05/05	REVIEW NOTES, ADD UTILITIES
1	05/05	CHANGE DOOR & WALK LAYOUTS
NO	DATE	DESCRIPTION
10/05/2024		

DESIGNED BY  
**MEAGAN PROVENCHER**  
SENIOR LANDSCAPE DESIGNER  
ILLINOIS CERTIFIED NURSERY PROFESSIONAL

**WASCO NURSERY & GARDEN CENTER**  
41478 ROUTE 64  
SAINT CHARLES, IL 60175  
630-584-4424  
DESIGN@WASCONURSERY.COM  
WASCONURSERY.COM

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RIVER 504 ROW HOMES  
504 LIMESTONE DRIVE  
ST. CHARLES, IL 60174

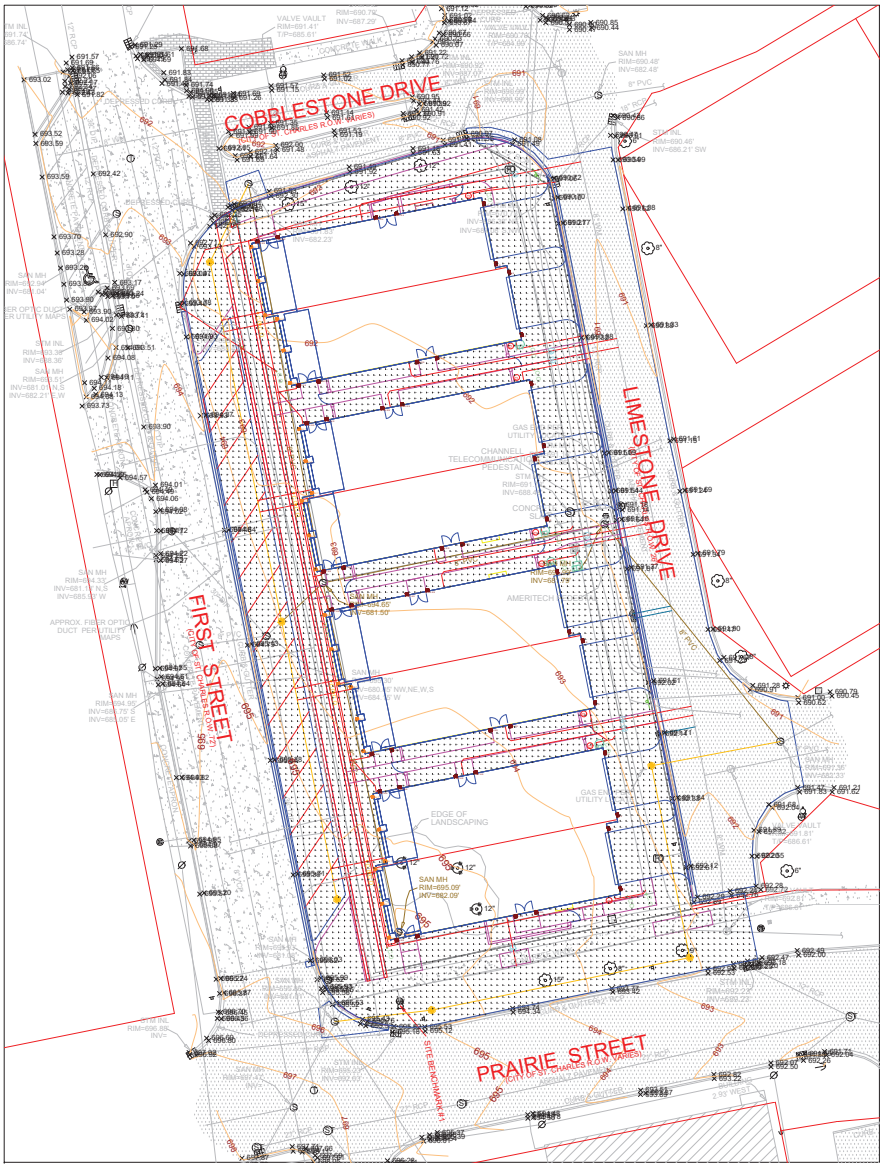
J & B BUILDERS

SCALE: 1" = 20'

OWNER: MP

DATE: February 2025

HEET NO: 1 of 1



Luminaire Schedule							
Symbol	Qty	Label	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	48	WAC LIGHTING WS-W230411	WS-W230411-CS(3000K)	0.850	476	16.4157	787.954
	24	WAC LIGHTING WS30405	WS-W230405-CS(3000K)	0.850	444	16.3008	391.219

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground_Planar	Illuminance	Fc	0.16	0.5	0.0	N.A.	N.A.

- Notes:
- Mount Heights = MH as shown
  - No minor obstructions included in calculations  
Obstructions will affect footcandle levels

The Lighting Digest  
210 W. State Street  
Gainesville, IL 60134  
(833) 568-2274  
Email Address: [info@TheLightingDigest.com](mailto:info@TheLightingDigest.com)

Project:  
**Rowhome Development**

Project No:  
**250275**

Drawn By:  
**Jeff Cascarelli**

Date:  
**7/17/2025**

Scale:  
**1" = 20ft**

Disclaimer:  
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1 1ST STREET ELEVATION  
3/32" = 1'-0"



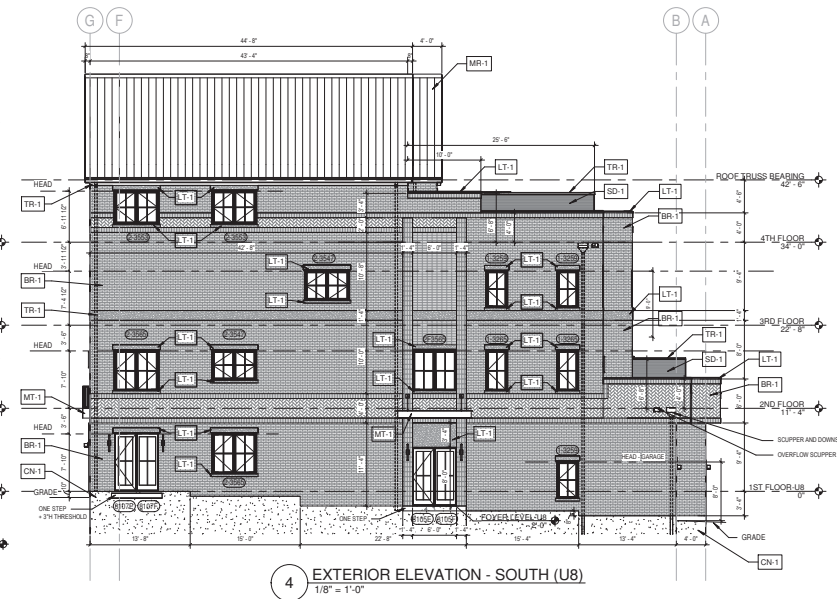
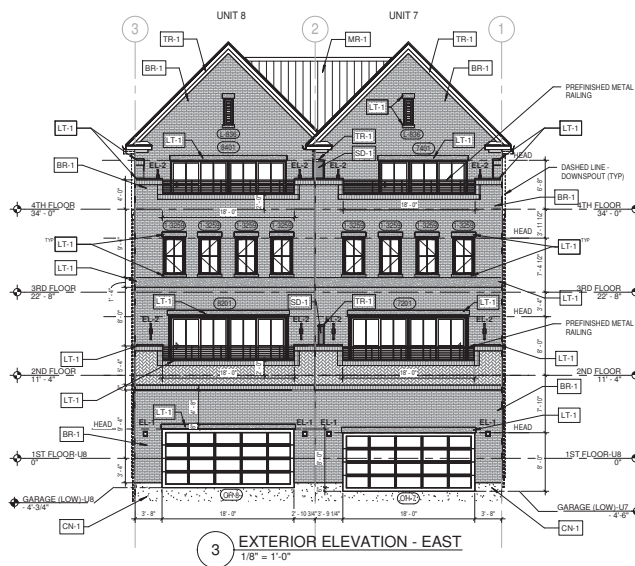
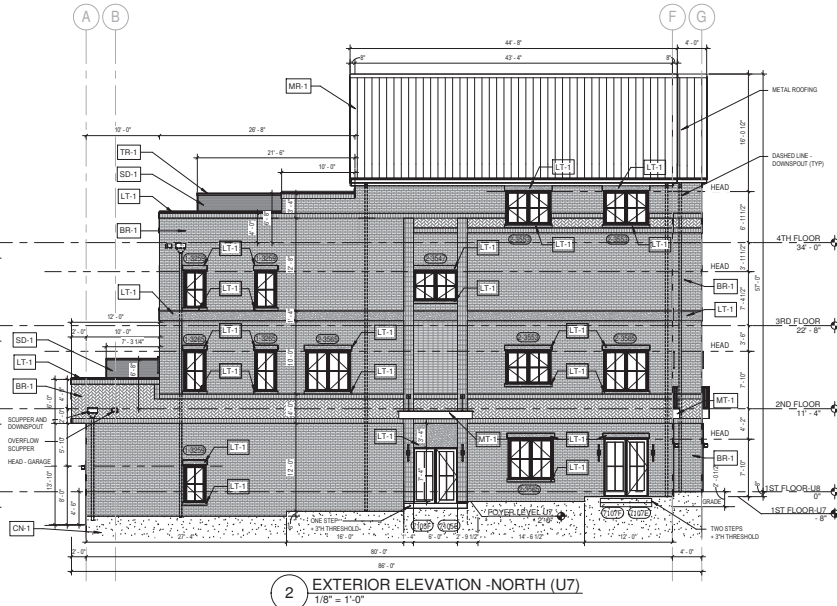
2 LIMESTONE DRIVE ELEVATION  
3/32" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH  
3/32" = 1'-0"



4 EXTERIOR ELEVATION - NORTH  
3/32" = 1'-0"

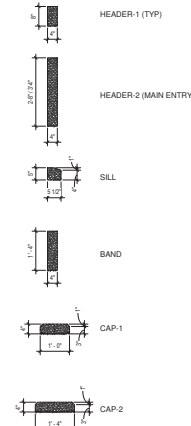


- GENERAL EXTERIOR ELEVATION NOTES**
1. PROVIDE SEALANT AROUND ALL NEW ELECTRICAL OUTLETS, OVERFLOW NOZZLES, AND FREEZE-PROOF HOSE BIBBS.
  2. ALL WEATHER PROOF GFCI RECEPTACLES AND HOSE BIBBS UNITS TO BE MOUNTED AT 34" TO TOP OF UNIT. COMPLETELY SEAL PENETRATIONS. COORDINATE LOCATIONS WITH MEP DRAWINGS. VERIFY ALL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
  3. SEE STRUCTURAL DRAWINGS FOR FOUNDATIONS.
  4. PROVIDE TEMPERED GLAZING AS REQUIRED.

**EXTERIOR ELEVATION LEGEND**

<b>BR-1</b> FACE BRICK	<b>LT-1</b> LIMESTONE
<b>MR-1</b> METAL ROOFING	<b>MT-1</b> METAL FASCIA, GUTTER, DOWNSPOUT, ETC. PREFINISHED
<b>SD-1</b> SIDING	<b>CN-1</b> CONCRETE FOUNDATION WALL
<b>TR-1</b> COMPOSITE TRIM	

**LIMESTONE PROFILE - NOMINAL**



**ALLEN PEPA ARCHITECTS**  
INFO@ALLENPEPA.COM  
TEL: (850) 578-1100  
215 RULTON ST., GENEVA, LA 70134

ENGINEERS

**RIVER 504 ROWHOMES**  
402 - 542 SOUTH 1ST STREET, ST CHARLES, IL

Schematic Design	
Design Development	
Bidding	
Permit	
ISSUE DATE	
POST BID/PERMIT REVISIONS:	
No.	Date Description

PROJECT NO.	24-013
DRAWN BY	MO/ VL
CHECKED BY	EP
SHEET	13 OF 28

**EXTERIOR ELEVATIONS**

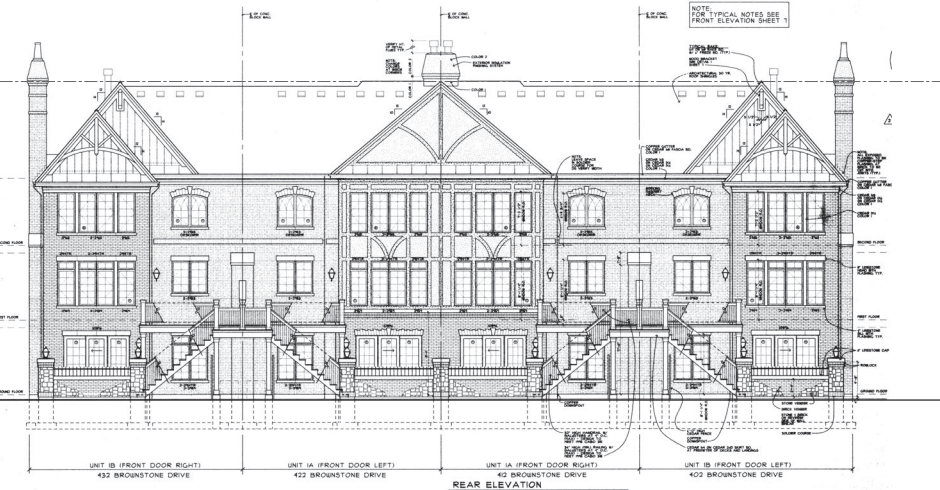
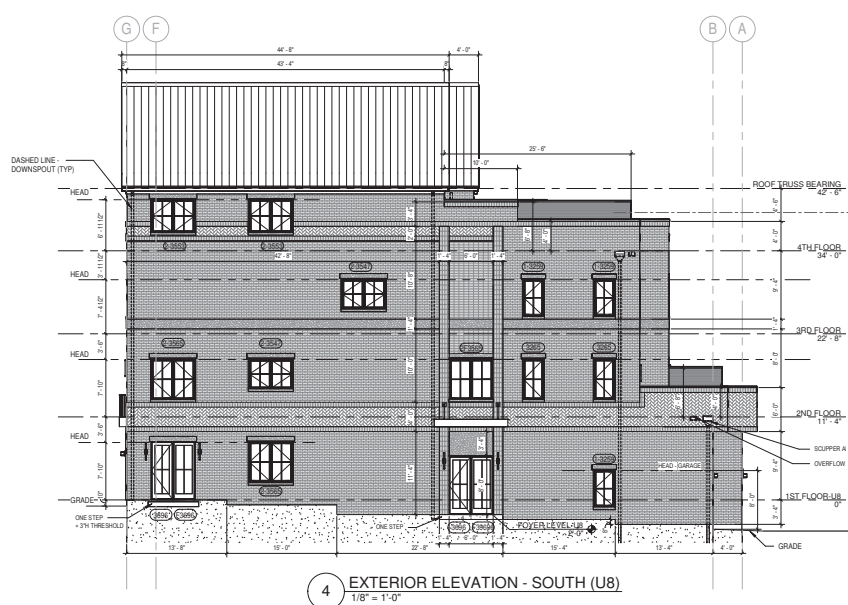
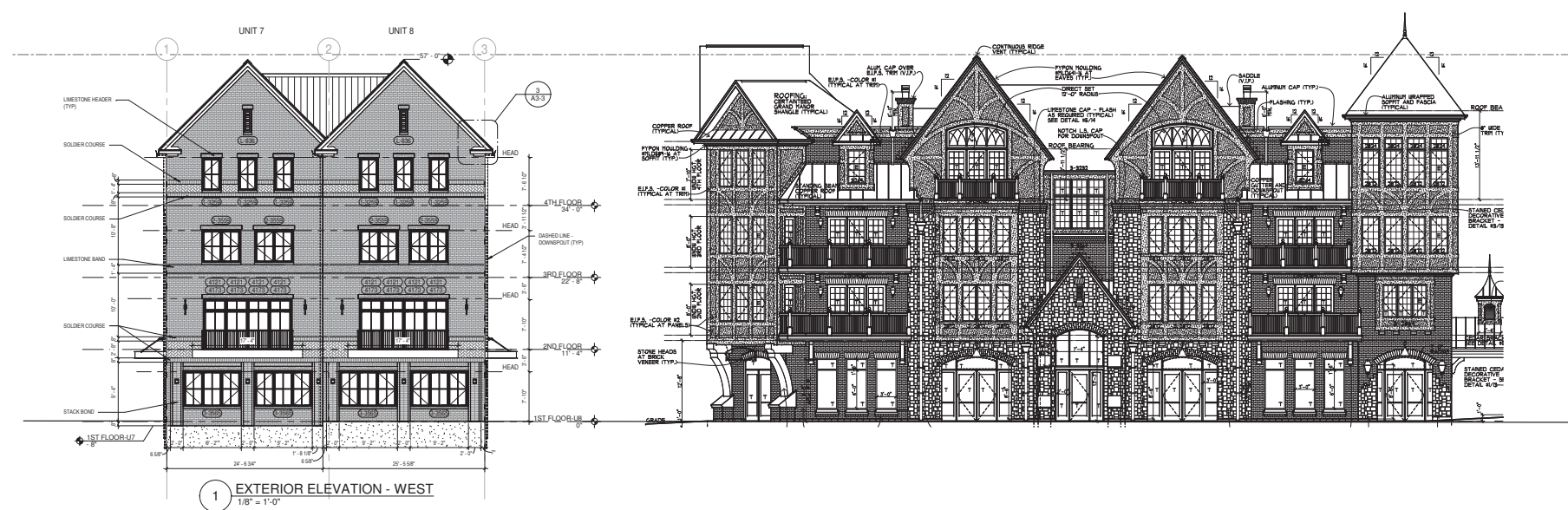


90% CD 7/7/25

ALLEN/PEPA COPYRIGHT 7/7/2025 3:03:03 PM



# Building Height Comparison



**ALLEN PEPA**  
ARCHITECTS

ENGINEERS

**RIVER 504 ROWHOMES**  
402 - 542 SOUTH 1ST STREET, ST CHARLES, IL

Schematic Design  
Design Development  
Bidding  
Permit  
ISSUE DATE: 4/17/25  
POST BID PERMIT REVISIONS:  
No. Date Description

PROJECT NO. 24-019  
DRAWN BY: MOY YL  
CHECKED BY: EP

EXTERIOR  
ELEVATIONS

**A2-3**

85% CD 6/4/25

ALLEN/PEPA COPYRIGHT 5/5/2025 9:53:34 AM



1 FIRST FLOOR PLAN  
3/32" = 1'-0"



2 SECOND FLOOR PLAN  
3/32" = 1'-0"

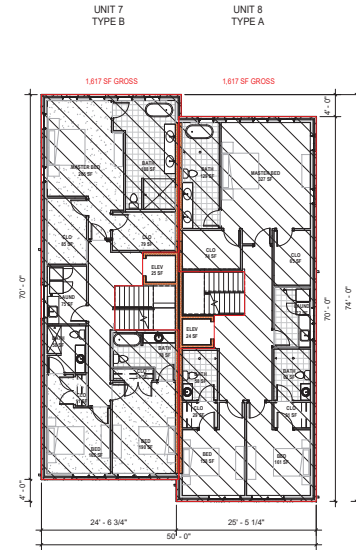
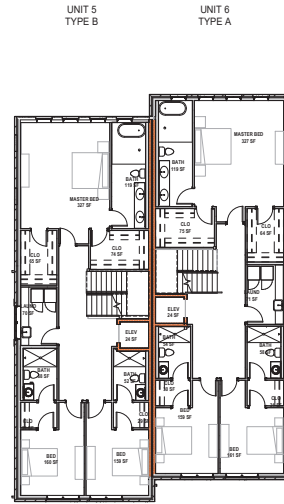
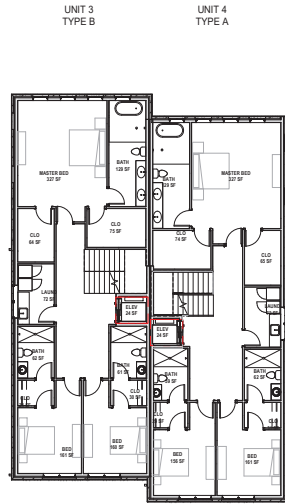
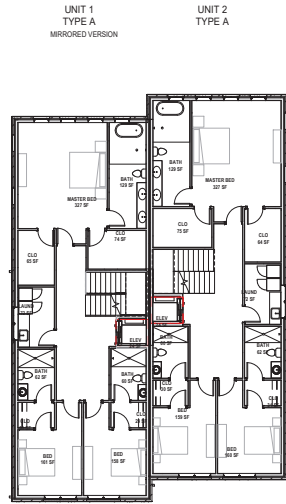
**RIVER 504 ROWHOMES**  
402 - 542 SOUTH 1ST STREET, ST CHARLES, IL

Schematic Design	
Design Development	
Bidding	
Permit	
ISSUE DATE:	
POST BID/PERMIT REVISIONS:	
No. Date Description	

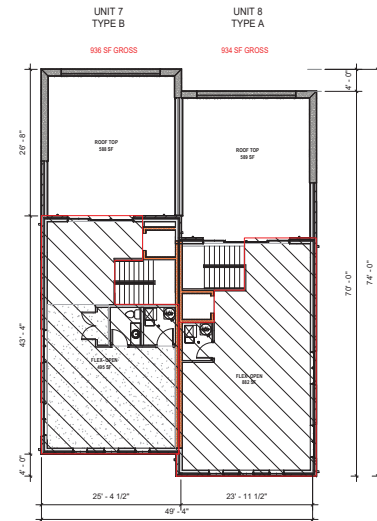
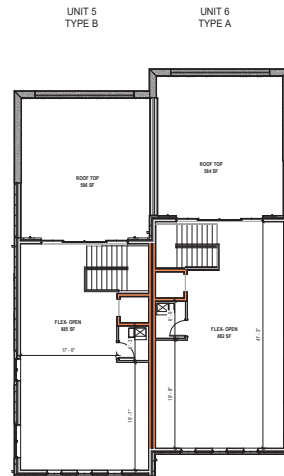
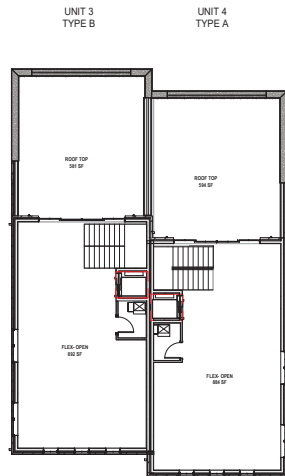
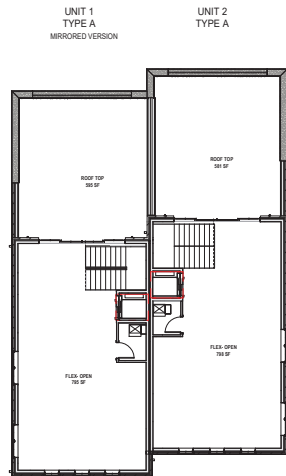
PROJECT NO.	24-013
DRAWN BY	MO/YL
CHECKED BY	EP
SHEET	7 OF 28

1ST & 2ND  
OVERALL FLOOR  
PLAN

C:\Users\j246\Documents\24-013 River 504 - Unit 7B - Central - V23 - general.dwg(7/15/25).rvt



1 THIRD FLOOR PLAN  
3/32" = 1'-0"



2 FOURTH FLOOR PLAN  
3/32" = 1'-0"



# PRELIMINARY PLAT OF RIVER 504 ROWHOMES SUBDIVISION

BEING A RE-SUBDIVISION OF LOT 14, 15 AND PARCEL 9 IN BROWNSTONE IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 2, 2001 AS DOCUMENT 2001K000149, ALL BEING A PART OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

## SITE ACREAGE

OVERALL SUBDIVISION:  
29,385 SF 0.675 AC  
RIGHT-OF-WAY TO BE DEDICATED:  
1,380 SF 0.032 AC  
TOTAL LOTS:  
28,005 SF 0.643 AC  
\*SEE LEFT FOR INDIVIDUAL LOT SIZES

## PUBLIC UTILITY & DRAINAGE EASEMENT (P.U.D.E.) NOTES:

A BLANKET P.U.D.E. IS HEREBY GRANTED OVER LOTS 1 THROUGH 8, EXCEPT THOSE PORTIONS WITHIN THE BUILDING FOOTPRINT, AS CONSTRUCTED. THE APPROXIMATE LOCATION OF SAID EXCEPTIONS ARE SHOWN HEREBY, BUT SUBJECT TO CHANGE DUE TO BUILDING RE-DESIGN, AS-BUILT LOCATIONS, AND CONSTRUCTION TOLERANCES.

## PUBLIC UTILITY & DRAINAGE EASEMENT (P.U.D.E.) PROVISION

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEIR EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERITCH AND NICOR AND TO THEIR SUCCESSORS AND ASSIGNS (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY AND DRAINAGE EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENEWING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK. THE PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES AND THE RESPECTIVE SUCCESSORS AND ASSIGNS FOR MAINTAINING THE UNINTERRUPTED AND UNIMPEDED CONVEYANCE, FLOW AND RUNOFF OF SURFACE STORM WATER ACROSS AND UPON THE AREAS DESIGNATED ON THIS PLAT AS DRAINAGE EASEMENT. THE RIGHT IS HEREBY GRANTED TO SAID GRANTEES TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE DRAINAGE WAYS AND OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER, OR THROUGH SAID EASEMENTS.

NO PERMANENT BUILDINGS, TREES, GARDENS, SHRUBS, OR BERMING SHALL BE PLACED ON OR IN SAID EASEMENTS, EXCEPT AS OTHERWISE APPROVED BY THE CITY. BUT THE EASEMENT AREAS MAY BE USED FOR PAVING, FENCES, SIDEWALKS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS. UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES.

FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEES IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREIN, THE GRANTEES SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEES SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION.

## SURVEYOR'S NOTES

1. SURVEY IS BASED ON FIELD WORK COMPLETED ON FEBRUARY 28, 2025.
2. ONLY THOSE EXISTING EASEMENTS PROVIDED BY CLIENT WERE REVIEWED FOR THIS SURVEY. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS. ADDITIONAL EASEMENTS MAY EXIST THAT ARE NOT DEPICTED HEREON.
3. BASIS OF BEARING: GRID NORTH - ILLINOIS EAST ZONE, STATE PLANE COORDINATE SYSTEM, NAD 83.

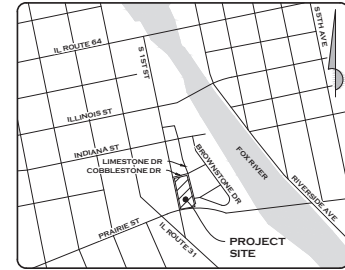
1. SUBDIVIDED PROPERTY LEGAL DESCRIPTION UTILIZED FOR THIS SURVEY WAS FROM WARRANTY DEED RECORDED 411/0022 AS DOCUMENT NUMBER 2022K019650.
2. IRON PIPES SET SHALL BE 3/4" DIAMETER, BY 24" LENGTH, WHICH EXCEEDS VILLAGE REQUIREMENTS AND MEETS THE STATE OF ILLINOIS REQUIREMENTS.

OWNER/SUBDIVIDER

J&B BUILDERS, INC.  
525 S. Tyler Rd, Unit P  
St. Charles, IL 60174  
PH: (630) 587-9900

SURVEYOR

MeritCorp Group, LLC  
4222 Meridian Parkway, Suite 112  
Aurora, Illinois 60004  
Ph: (330) 554-6655



VICINITY MAP

NOT TO SCALE

## LEGEND

PROPERTY BOUNDARY  
OFFSITE PROPERTY LINE  
PROPOSED LOT LINE  
EASEMENT LINE  
RECORD DIMENSION  
CONCRETE MONUMENT  
FOUND IRON PIPE  
FOUND IRON ROD  
SET 3/4" IRON PIPE  
SET CUT CROSS  
EXCEPTION TO P.U.D.E.

## ABBREVIATIONS

P.U.D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT  
FND = FOUND  
SF = SQUARE FOOTAGE  
AC = ACREAGE

## SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THIS IS TO CERTIFY THAT I, JONATHAN SPINAZZOLA, ILLINOIS LAND SURVEYOR NO. 3868, HAVE SURVEYED AND PROPOSES TO SUBDIVIDE THE FOLLOWING DESCRIBED PROPERTY:

LOT 14, 15 AND PARCEL 9 IN BROWNSTONE IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 2, 2001 AS DOCUMENT 2001K000149, ALL BEING A PART OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

AS SHOWN BY THE SUBDIVISION PLAT WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION, ALL DISTANCES ARE SHOWN IN FEET & DECIMALS THEREOF. THIS SUBDIVISION IS WITHIN THE CITY OF ST. CHARLES, ILLINOIS WHICH ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12.6 AS HERETOFORE AND HEREAFTER AMENDED, AND THIS SITE FALLS WITHIN "OTHER AREAS ZONE 'X' (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEFINED BY THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 170330002K, MAP NUMBER 17080C0226H, EFFECTIVE DATE OF AUGUST 3, 2009.

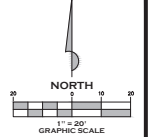
GIVEN UNDER MY HAND AND SEAL ON THIS 11TH DAY OF JULY, 2025.

JONATHAN D. SPINAZZOLA  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3868  
CURRENT LICENSE EXPIRES NOVEMBER 30, 2026.

THIS PROFESSIONAL SERVICE CONFORMS TO THE MINIMUM STANDARDS FOR A BOUNDARY SURVEY IN THE STATE OF ILLINOIS.



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MeritCorp



DESCRIPTION:  
ISSUED TO CITY OF ST. CHARLES  
REVISED PER CITY OF ST. CHARLES  
DATE:  
03/10/25  
07/21/25  
07/21/25

MeritCorp  
Professional Land Surveyors International  
4222 Meridian Parkway, Suite 112  
Aurora, IL 60006  
Office: (330) 554-6655  
Lic. No. 04-005860  
www.meritcorp.com  
Other Office Locations:  
Gurnee, IL



RIVER 504 ROWHOMES  
402-542 SOUTH 1ST STREET  
ST. CHARLES, ILLINOIS  
PRELIMINARY PLAT  
OF RIVER 504 ROWHOMES  
SUBDIVISION

PROJECT NO. M24183

DRAWN BY: JDS

CHECKED BY: JDS

SHEET NO. 1/1

**From:** Miles Lowry <milesjlowry@gmail.com>

**Sent:** Tuesday, August 5, 2025 10:24 AM

**To:** CD <cd@stcharlesil.gov>

**Subject:** River 504 Townhouses

Hello,


We live at 503 Brownstone Dr and feel the need to react to your latest mailing regarding the new residential unit planned at 1st and Prairie.


I am not aware of the economic forces which have influenced the builder's decision to construct eight houses. That number is excessive and its concentration in the small lot will negatively affect the residents and us as neighbors. Six units is more pleasing and liveable. The entrance walkways look like urban gangways, offering little light to the windows facing them.

We are happy the builder has chosen to clad the buildings in brick. However, the surfaces show few signs of custom work or detailing that would break up the large monotonous facades. Surely, some architectural details can be added to reduce the buildings' monolithic surfaces.

Miles Lowry  
Sharon Radzienta  
503 Brownstone Dr  
StCharles



	<b>AGENDA ITEM EXECUTIVE SUMMARY</b>		Agenda Item number: 4d
	Title:	Recommendation to approve a Resolution Authorizing the Mayor and City Clerk of the City of St. Charles to Execute a Certain Tax Increment Financing Redevelopment Agreement between the City of St. Charles and J & B Builders, Inc.	
	Presenter:	Derek Conley	
Meeting: Planning & Development Committee		Date: September 8, 2025	
Proposed Cost: NA		Budgeted Amount: \$	Not Budgeted: <input checked="" type="checkbox"/>
<b>Executive Summary</b> <i>(if not budgeted please explain):</i> <p>The subject property, located at the northeast corner of S. 1st and Prairie Streets, is the last remaining vacant parcel in the Brownstone PUD. J&amp;B Builders has submitted a proposal to construct 8 rowhome units in four, two-unit buildings. The units would be oriented toward 1st Street, with attached garages accessed from Limestone Drive at the rear. The proposal also includes 15 new on-street parking spaces along 1st Street, streetscape upgrades, and a sidewalk connection to the riverwalk.</p> <p>J&amp;B Builders is requesting \$268,246 in financial assistance from the City to help fund the public improvements (streetscape and on-street parking). During the Concept Plan review, the Planning &amp; Development Committee informally indicated support for residential use of the site. With the use shifting from mixed-use to residential, the required improvements no longer provide a private development benefit; rather, they serve the public interest. For this reason, the developer seeks City participation.</p> <p>Per the proposed agreement, the developer would construct the streetscape and public parking spaces in accordance with the First Street development standards. In return for the City's contribution, the developer has also agreed to construct a side path linking 1st Street to the Piano Factory Path along the river, further enhancing downtown connectivity. Funding would come from the First Street TIF District, ensuring no impact on the City's general fund.</p> <p>Although the agreement does not reimburse private development challenges directly, the financial assistance helps offset significant barriers to development. The site contains unsuitable topsoil—approximately three feet of silty clay and crushed concrete from past developments must be removed and replaced. In addition, the parcel sits on continuous bedrock, which complicates construction, especially with necessary utility relocations. These factors add considerable cost and complexity, making City support essential for feasibility.</p> <p>The proposed development delivers substantial community benefits, including:</p> <ul style="list-style-type: none"> <li>• Completion of the First Street streetscape, ensuring visual and functional continuity downtown.</li> <li>• 15 new public parking spaces to help meet growing demand in the corridor.</li> <li>• A new side path connection to the river, supporting multimodal access and recreation.</li> <li>• 8 high-quality rowhomes, adding to the downtown residential population.</li> <li>• Property Tax Revenues – total property tax contributions would increase from approximately \$20,650 annually to \$150,000 annually once the project is complete.</li> </ul>			
<b>Attachments</b> <i>(please list):</i>			
<b>Recommendation/Suggested Action</b> <i>(briefly explain):</i> Recommendation to approve a Resolution Authorizing the Mayor and City Clerk of the City of St. Charles to Execute a Certain Tax Increment Financing Redevelopment Agreement between the City of St. Charles and J & B Builders, Inc.			

 <p>CITY OF ST. CHARLES ILLINOIS • 1834</p>	<b>AGENDA ITEM EXECUTIVE SUMMARY</b>		Agenda Item number: 4e
	Title:	<b>Recommendation to approve a Minor Change to PUD for Harbor House, Fox Haven Square Building 4, Stuart's Crossing PUD.</b>	
	Presenter:	<b>Ellen Johnson, Planner II</b>	
<b>Meeting:</b> Planning & Development Committee <b>Date:</b> September 8, 2025			
<b>Proposed Cost:</b> \$		<b>Budgeted Amount:</b> \$	<b>Not Budgeted:</b> <input type="checkbox"/>
<b>TIF District:</b> None			
<p><b>Executive Summary</b> (if not budgeted, please explain):</p> <p>Construction is underway at Fox Haven Square, located off Kirk Road south of Jewel. The development includes four buildings, three of which are arranged around a plaza, with common parking. Plans for Fox Haven Square were approved under Ord. 2024-Z-14.</p> <p>Last month, City Council approved a Minor Change to PUD for Building 4 (Ord. 2025-Z-8), Harbor House Paddle &amp; Provisions. Approved changes included modifications to the building footprint, reduced parking, landscaping around the building, and changes to the building elevations. The building included 2 stories and rooftop deck.</p> <p>Montauk Pickleball Club, LLC, has now applied for an additional Minor Change to PUD due to a reduced project scope. The proposed building is now 1 story with no rooftop deck. Parker Hospitality has provided a letter explaining the reasons for the reduced scope. Construction costs including labor expenses, material inflation, and infrastructure requirements are cited.</p> <p>The plans incorporate the following changes from the plans approved last month:</p> <ul style="list-style-type: none"> <li>• Reduction in building height from 2 stories + rooftop deck (40' height; 31,260 sf) to 1 story with storage mezzanine (27'6" height; 20,888 sf).</li> <li>• Building entrance shifted slightly east; modification to concrete area at the building entrance.</li> <li>• Adjustments to foundation landscape plantings due to the shift in building entrance.</li> <li>• Building elevation changes:             <ul style="list-style-type: none"> <li>○ Modified roofline around the building due to removal of the rooftop deck.</li> <li>○ Additional windows on east elevation; modification to window placement around the building.</li> <li>○ Removal of brick knee-wall around the base of the building.</li> <li>○ Reduced design elements and detailing around the building entrance (north elevation).</li> <li>○ The building wall is cantilevered over the outdoor patio on the west side of building (facing Kirk).                 <ul style="list-style-type: none"> <li>○ The PUD Ordinance allows a setback encroachment for a "patio overhang". The proposed cantilevered overhang is more substantial than the deck overhang previously approved. Staff suggested a shed roof overhang in order to simplify the design. The architect cited additional structural support and added costs for a shed roof compared to the proposed design. The architect also believes the proposed design offers a more refined look by continuing the roofline and not creating another change of plane.</li> </ul> </li> </ul> </li> </ul> <p>The proposed changes comply with applicable provisions of the Zoning Ordinance and the PUD Ordinance, if the proposed cantilever over the patio is considered a "patio overhang" and is therefore permitted to encroach into the setback as proposed.</p>			

Note- Changes to the site plan and associated engineering plans in relation to Building 4 require staff review and approval through permitting.

**Attachments** (please list):

Application, Plans, Plans approved under Ord. 2025-Z-8

**Recommendation/Suggested Action** (briefly explain):

Recommendation to approve a Minor Change to PUD for Harbor House, Fox Haven Square Building 4, Stuart's Crossing PUD.



## MINOR CHANGE TO PUD APPLICATION

### For City Use

Project Name: \_\_\_\_\_  
Project Number: \_\_\_\_\_-PR-\_\_\_\_\_  
Cityview Project Number: \_\_\_\_\_

*Received Date*

- *File this application to request approval of a Minor Change to an approved PUD Preliminary Plan in a manner that complies with all standards of the PUD Ordinance applicable to the property and meets the definition of a Minor Change per the Zoning Ordinance or the PUD Ordinance.*
- *Complete the application and submit with all required attachments to the Community Development Division.*
- *The information you provide must be complete and accurate. If you have any questions please contact the Community Development Division.*
- *City staff will review the submittal for completeness and for compliance with applicable requirements.*
- *The Minor Change will be scheduled for review by the Planning & Development Committee of the City Council when staff has determined the plans are ready.*

<b>1. Property Information:</b>	Location:	
	Parcel Number (s):	
	PUD Name:	
<b>2. Applicant Information:</b>	Name:	Phone:
	Address	Email:
<b>3. Record Owner Information:</b>	Name:	Phone:
	Address:	Email:

#### 4. PUD Information:

Name of PUD:

PUD Ordinance #:

Ordinance or Resolution that approved the current plans:

#### 5. Proposed Changes:

**PUD Plans to be changed:**

- ☐ Site/Engineering Plan
- ☐ Landscape Plan
- ☐ Architectural Elevations
- ☐ Signs
- ☐ Other plans:

**Description of plan changes:**

#### 6. Required Attachments:

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

***Provide 1 copy of each required item, unless otherwise noted.***

- ☐ **APPLICATION FEE:** \$200
- ☐ **REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- ☐ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:** Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$2,000	\$3,000	\$4,000	\$5,000
2 or 3	\$3,000	\$5,000	\$6,000	\$8,000
4 or more	\$4,000	\$6,000	\$8,000	\$11,000

- ☐ **PROOF OF OWNERSHIP:** a) A current title policy report; or  
b) A deed and a current title search
- ☐ **OWNERSHIP DISCLOSURE:** Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.



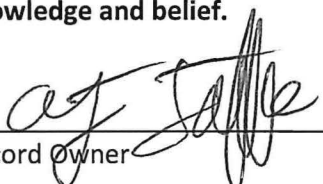
- ☒ **LETTER OF AUTHORIZATION:** If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.
- ☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper and Microsoft Word file.
- ☒ **PLAT OF SURVEY:** A current plat of survey for the subject property showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.
- ☒ **COVER LETTER:** A letter describing the proposed minor change requested, why it is necessary, and how it is different from the currently approved plan.
- ☒ **PLANS:** All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies:** One (1) full size plan set and PDF electronic file emailed to: [cd@stcharlesil.gov](mailto:cd@stcharlesil.gov)

**Plans shall include the following, depending on the scope of the proposed Minor Change:**

- Site Plan indicating location of proposed change.
- For changes to site/engineering plans, show existing/approved and proposed site/engineering plan changes.
- For changes to architectural elevations, show existing/approved and proposed building design, color and materials.
- For changes to landscaping, show existing/approved and proposed plans, indicate species and quantities of plant material to replace existing/approved materials.
- For changes to signs, show existing/approved and proposed signage plans, and include renderings of proposed signage indicating size, materials, and location on the building and/or site.
- Additional information may be necessary depending on the specific change proposed.

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

 8/7/25  
 Record Owner Date

DocuSigned by:  
 8/7/2025  
 1873E3F6683A43D...  
 Applicant or Authorized Agent Date

Walter Fisher

**OWNERSHIP DISCLOSURE FORM  
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS       )  
                                      ) SS.  
KANE COUNTY               )

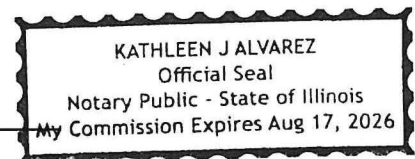
I, Pat Greco, being first duly sworn on oath depose and say that I am  
Manager of FHS Piazza LLC, an Illinois Limited Liability  
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

<u>Pat Greco</u>	
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

By: Pat Greco, Manager

Subscribed and Sworn before me this 7<sup>th</sup> day of  
AUGUST, 20 25.

Kathleen J. Alvarez  
Notary Public




**OWNERSHIP DISCLOSURE FORM**  
**LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS       )  
                                      ) SS.  
KANE COUNTY             )

I, BRADLEY PARKER, being first duly sworn on oath depose and say that I am Manager of Montauk Pickleball Club, LLC , an Illinois Limited Liability Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

BRADLEY PARKER	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

By:  Bradley Parker, Manager

Subscribed and Sworn before me this 6th day of August, 2025 .





\_\_\_\_\_  
Notary Public

***FHS Piazza LLC  
1307 Schiferl Road  
Bartlett, IL 60103***

August 7, 2025

To Whom It May Concern:

On behalf of ownership, this letter shall serve as an authorization for Montauk Pickleball Club, LLC and its affiliates to file for a Minor Change to PUD with the City of St. Charles for the subject parcel (tax ID #09-25-178-003).

Sincerely

FHS Piazza LLC

By: 

AJ Jaffe

Authorized Signatory



8/28/25

To Whom it may Concern,

When we first envisioned Harbor House in St. Charles, the goal was to create a landmark destination that captured the full scope of our concept, a multi-venue space that could deliver an elevated costal lifestyle experience across, dining, entertainment and social gathering. The original design reflected this ambition with a scale that, while exciting, ultimately proved to be misaligned with financial realities of today's construction environment.

Over the past year construction costs have escalated significantly. Rising labor expenses, material inflation, and additional infrastructure requirements drove the projected build-out well beyond what was originally budgeted. At the scale, the investment required to deliver Harbor House would have been disproportionate to the anticipated return, stretching project economics in a way that did not make long-term business sense.

Rather than forcing a project that could put unnecessary strain on both capital and operations, we took a disciplined step back. By resizing and refining the scope, we've been able to streamline the design without sacrificing the heart of the concept. The new scale is aligned with what the market can support, allows us to deliver the Harbor House experience more efficiently, and ensures a healthy balance between investment and profitability.

This decision reflects our broader philosophy: build with ambition, but always with discipline. The adjusted Harbor House now represents a smart, sustainable model—one that preserves the brand's vision while creating a financially sound foundation for growth.

Sincerely,

Parker Hospitality



HARBOR HOUSE | PADDLE AND PROVISIONS  
100 N KIRK ROAD ST. CHARLES ILLINOIS



PERSPECTIVE: NORTH FACADE BUILDING 4B

GR GINO ROMOZZI - ARCHITECT  
135 PARK AVE BARRINGTON, IL SUITE #200B  
847 - 707 - 2453 - ROMOZZI@GMAIL.COM

ECO STEEL  
1090 CENTER DRIVE PARK CITY, UT 84098

HARBOR HOUSE | PADDLE AND PROVISIONS  
100 N KIRK ROAD ST. CHARLES ILLINOIS

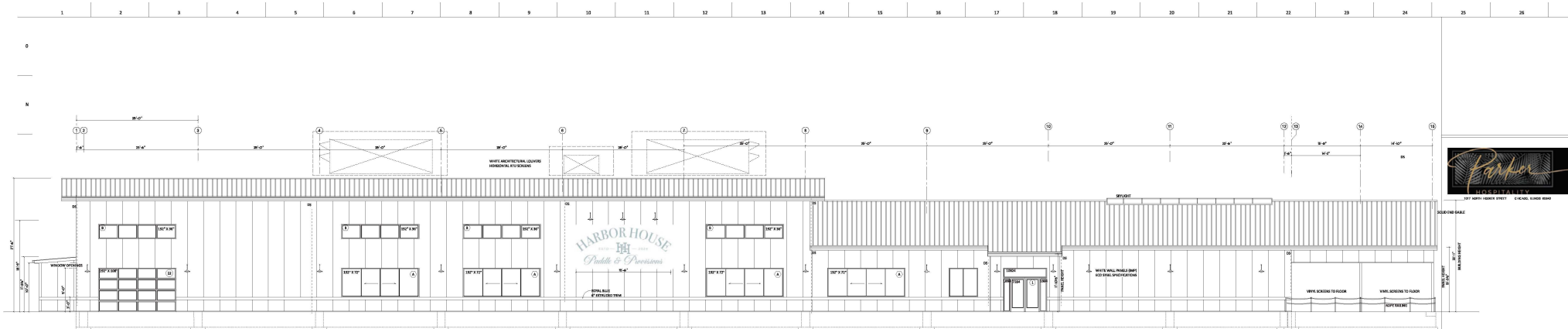


PERSPECTIVE: NORTH FACADE BUILDING 4B

GR GINO ROMOZZI - ARCHITECT  
135 PARK AVE BARRINGTON, IL SUITE #200B  
847 - 707 - 2453 - ROMOZZI@GMAIL.COM

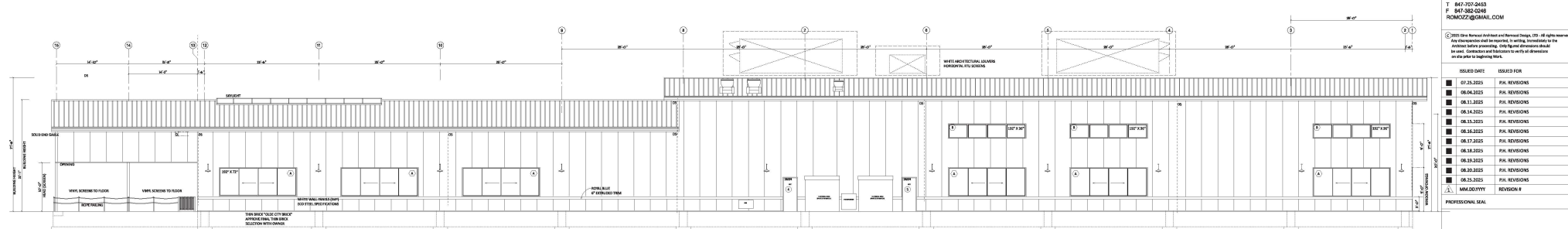
ECO STEEL  
1090 CENTER DRIVE PARK CITY, UT 84098





NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



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ISSUED DATE	ISSUED FOR
07.25.2023	P.H. REVISIONS
08.04.2023	P.H. REVISIONS
08.11.2023	P.H. REVISIONS
08.16.2023	P.H. REVISIONS
08.16.2023	P.H. REVISIONS
08.17.2023	P.H. REVISIONS
08.18.2023	P.H. REVISIONS
08.18.2023	P.H. REVISIONS
08.20.2023	P.H. REVISIONS
08.25.2023	P.H. REVISIONS
MM.DD.YYYY	REVISION #

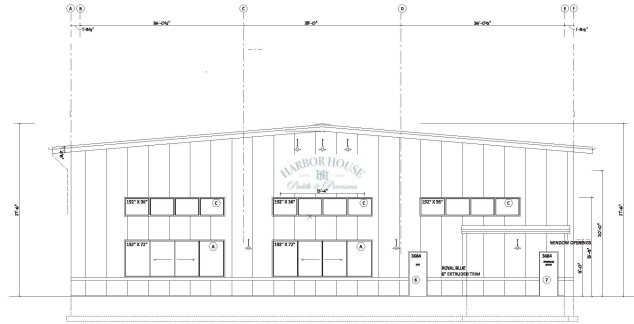
PROFESSIONAL SEAL

PROJECT  
135 N. KIRK ROAD  
HARBOR HOUSE  
ST. CHARLES, IL

2023 Project No.  
GR Drawn By  
GR Checked By  
Gino Romozzi Drawing No.

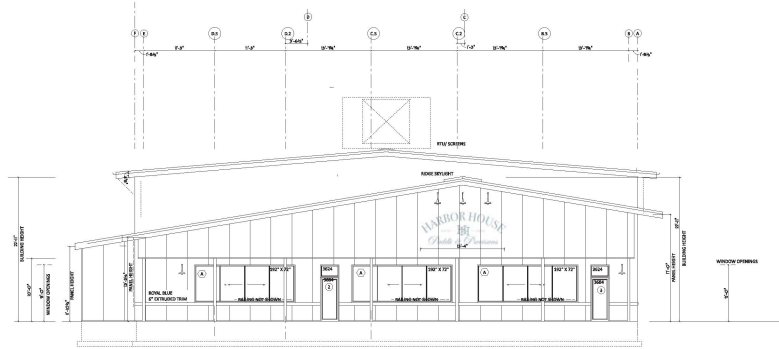
A5

Drawing Name  
BUILDING ELEVATIONS



EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



100 N. KIRK ROAD, ST. CHARLES, ILL. 62253

CR GINO ROMOZZI - ARCHITECT

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ISSUED DATE	ISSUED FOR
07.25.2023	PIH, REVISIONS
08.04.2023	PIH, REVISIONS
08.11.2023	PIH, REVISIONS
08.14.2023	PIH, REVISIONS
08.15.2023	PIH, REVISIONS
08.16.2023	PIH, REVISIONS
08.17.2023	PIH, REVISIONS
08.18.2023	PIH, REVISIONS
08.19.2023	PIH, REVISIONS
08.20.2023	PIH, REVISIONS
08.21.2023	PIH, REVISIONS
MM.DD.YYYY	REVISION #

PROFESSIONAL SEAL

PROJECT  
100 N. KIRK ROAD  
HARBOR HOUSE  
ST. CHARLES, IL

2023 Project No.  
GR Drawn By  
GR Checked By  
Ginorhine Drawing No.

A6

Drawing Name  
BUILDING ELEVATIONS

ST. CHARLES MIXED USE  
FINAL ENGINEERING PLANS  
502 N KIRK RD.  
ST. CHARLES, IL 60174

ST. CHARLES, IL 60174

LEGEND			
EXISTING			PROPOSED
————	BOUNDARY	————	
————	LOT LINE	————	
-----	EASEMENT	-----	
-----	CENTERLINE	-----	
—(5280)—	MAJOR CONTOUR	—(5280)—	
—(5278)—	MINOR CONTOUR	—(5278)—	
=====	CURB / GUTTER	=====	
=====	BUILDING	=====	
=====	SAWCUT	=====	
=====	STORM DRAIN	=====	
=====	STORM CLEANOUT	=====	
=====	STORM INLET	=====	
=====	STORM MANHOLE	=====	
SS	SANITARY	SS	
CO	SANITARY CLEANOUT	CO	
CO	SANITARY MANHOLE	CO	
WM	WATERLINE	WM	
⚡	FIRE HYDRANT	⚡	
⚡	WATER VALVE	⚡	
⚡	WATER MANHOLE	⚡	
⚡	LIGHT POLE	⚡	
TRANS	TRANSFORMER	TRANS	
E	ELEC VAULT	E	
	SIDEWALK RAMP	▲	

HATCH LEGEND	
	PROPOSED CONCRETE SIDEWALK
	PROPOSED MAIN ACCESS ASPHALT PAVING
	PROPOSED PARKING SPACES ASPHALT PAVING
	PROPOSED PLANTING AREA
	PROPOSED BIORETENTION PLANTINGS
	PROPOSED STAMPED CONCRETE
	PROPOSED PERVIOUS PAVERS
	2\" SURFACE COURSE PER IDOT SPECIFICATIONS
	PROPOSED CONCRETE PAVEMENT

SITE NOTES

1. CONTRACTOR TO FIELD-VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES. ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.
2. SEE COVER SHEET FOR BENCHMARK, BASIS OF BEARINGS, AND SURVEY INFORMATION.
3. ALL CURBS ARE TO BE CONSTRUCTED AND BUILDING FACE UNLESS OTHERWISE NOTED.
4. PAVEMENT THICKNESS AND DESIGN ARE PER THE GEOTECHNICAL REPORT.
5. ACCESSIBLE CURB RAMP SHALL BE CONSTRUCTED WITH DETECTABLE WARNING PADS IF REQUIRED BY LOCAL CRITERIA.
6. CONTRACTOR SHALL REMOVE AND REPLACE CURB, GUTTER, PAVING, LANDSCAPE, AND ANY OTHER DAMAGED HARDWARE OR STRUCTURE.
7. ALL PROPOSED STRIPING TO BE 4" WIDE PAINTED YELLOW STRIPE, UNLESS NOTED OTHERWISE.



NO.	DATE	REMARKS
10	01.31.2025	BUILDING UTILITY COORDINATION
11	03.04.2025	BUILDING 4 UPDATES
12	03.07.2025	BUILDING 4 UPDATES
13	03.07.2025	BUILDING 4 UPDATES
14	03.12.2025	BUILDING 4 UPDATES
15	07.07.2025	ISSUED FOR SUBMITTAL-BLDG 4
16	07.07.2025	ISSUED FOR SUBMITTAL - PLAZA
17	08.12.2025	REVISED PER CITY COMMENT
18	08.12.2025	REVISED BLDG 4 FOOTPRINT
19	09.25.2025	

JOB NO.:	CHI23-0124
PA / PM:	J. GRZYWA
DESIGNED:	T. SNOW
DATE:	2023-12-20
PLOT DATE:	08/26/25

SHEET  
C3.3  
08 of 39





## Plans approved last month

HARBOR HOUSE | PADDLE AND PROVISIONS  
100 N KIRK ROAD ST. CHARLES ILLINOIS



FOX HAVEN SQUARE | ST CHARLES, ILLINOIS



PERSPECTIVE: NORTH WEST BUILDING 4B

GR GINO ROMOZZI - ARCHITECT  
135 PARK AVE BARRINGTON, IL SUITE 400B  
847-707-2453 - ROMOZZI@GMAIL.COM

ECO STEEL  
1000 CENTER DRIVE PARK CITY, UT 84098

8 . 6 . 2025



Plans approved last month

HARBOR HOUSE | PADDLE AND PROVISIONS  
100 N KIRK ROAD ST. CHARLES ILLINOIS



FOX HAVEN SQUARE| ST CHARLES, ILLINOIS



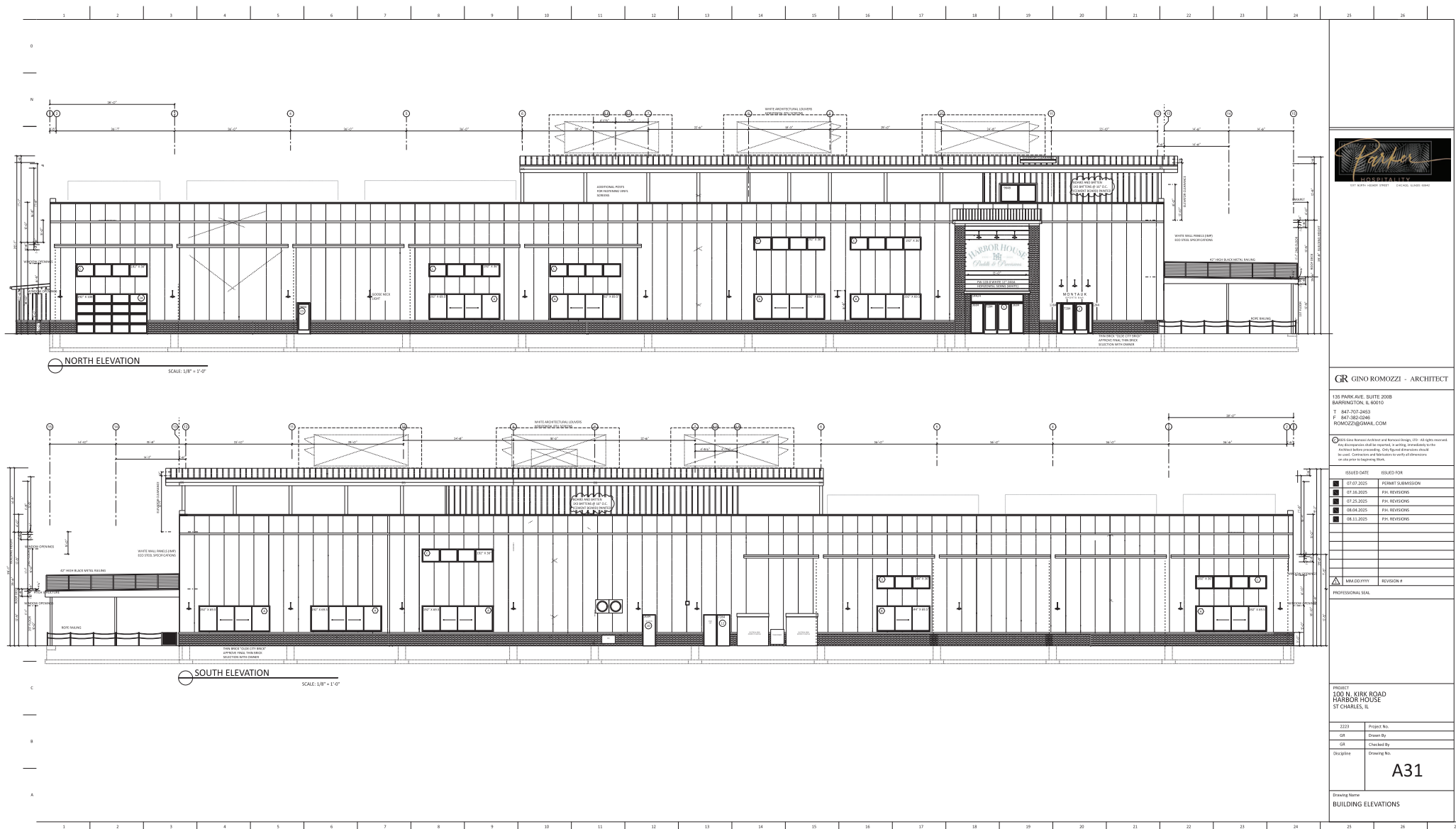
PERSPECTIVE: SOUTH EAST BUILDING 4B

GR GINO ROMOZZI - ARCHITECT  
135 PARK AVE BARRINGTON, IL SUITE 200B  
847-707-2453 - ROMOZZI@GMAIL.COM

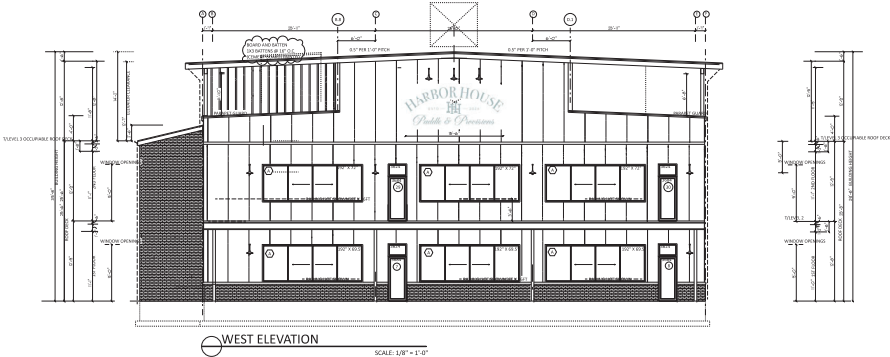
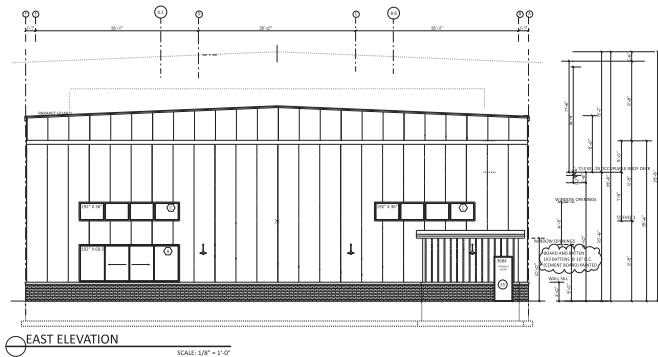
ECO STEEL  
1000 CENTER DRIVE PARK CITY, UT 84098

8 . 6 . 2025

## Plans approved last month



Plans approved last month



CR GINO ROMOZZI - ARCHITECT

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ROMOZZI@GMAIL.COM

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No representation shall be made, in writing, or otherwise, by the  
Architect unless provided by the Client. All dimensions shown  
are in feet. Corrections and Revisions to verify all dimensions  
on site prior to beginning work.

ISSUED DATE	ISSUED FOR
07.07.2015	PERMIT SUBMISSION
07.18.2015	PPL REVISIONS
07.23.2015	PPL REVISIONS
08.04.2015	PPL REVISIONS
08.11.2015	PPL REVISIONS

MM.DD.YYYY	REVISION #

PROFESSIONAL SEAL

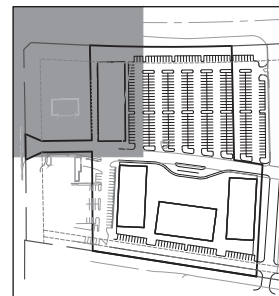
PROJECT  
100 N. KIRK ROAD  
HARBOR HOUSE  
ST. CHARLES, IL

2229	Project No.
GR	Drawn By
GR	Checked By
Dis/Spk	Drawing No.

A32

Drawing Name  
BUILDING ELEVATIONS

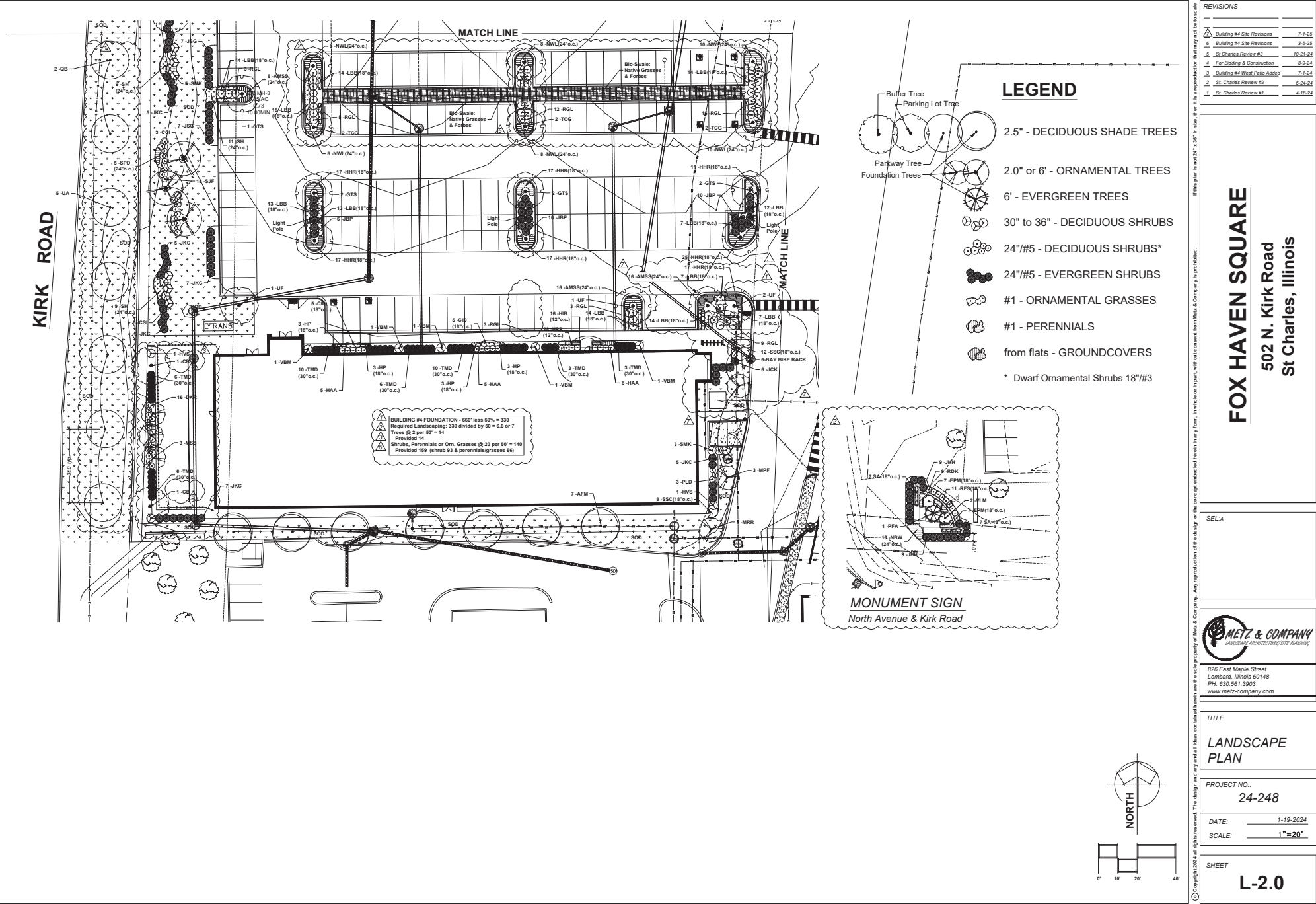





**WARE MALCOMB**  
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

SHEET  
C3.3  
Sheet 08 of 39

Plans approved last month



 CITY OF ST. CHARLES ILLINOIS • 1834	<b>AGENDA ITEM EXECUTIVE SUMMARY</b>		Agenda Item number: 4f
	Title:	<b>Consideration of an amendment to weekend Construction Hours for certain Building Permit work in Residential Areas</b>	
	Presenter:	<b>Russell Colby, Community Development Director</b>	
<b>Meeting:</b> Planning & Development Committee		<b>Date:</b> September 8, 2025	
<b>Proposed Cost:</b> \$		<b>Budgeted Amount:</b> \$	<b>Not Budgeted:</b> <input type="checkbox"/>
<b>TIF District:</b> None			
<p><b>Executive Summary</b> (if not budgeted, please explain):</p> <p>Last fall, staff presented a discussion item regarding construction hours in residential neighborhoods, as regulated by the Noise Ordinance, Title 9.24 of the City Code. This discussion was prompted based on noise complaints regarding early construction start times on weekends. The concern was specifically regarding demolition and construction of a new house in an established neighborhood.</p> <p>The start time for Construction Activity in residential areas in St. Charles is 7am, all days of the week. Staff provided information showing that some other area municipalities set weekend construction start times at 8am.</p> <p>The Committee expressed an interest in reviewing the issue further. Some members voiced support for a simple change from a 7am to an 8am start time for Construction Activity. Others requested additional information be considered before recommending a change, including:</p> <ul style="list-style-type: none"> <li>• Information on volume or patterns of complaints</li> <li>• Consideration of consistency of times between different types of noise-generating activities (Specifically differences between Outdoor Maintenance vs. Construction Activity)</li> </ul> <p><b><u>Information regarding complaints</u></b></p> <ul style="list-style-type: none"> <li>• Records of construction noise complaints are limited. Not all complaints are documented, particularly if complaints are not in fact code violations.</li> <li>• Staff compiled 64 noise complaints that were submitted or referred to Code Enforcement since 2020, of which 16 were regarding construction starting too early in the morning.</li> <li>• Some complaints are from residents of new developments regarding construction in their neighborhood. The rest are from a mix of locations with no specific pattern.</li> </ul> <p><b><u>Consistency with other noise regulations</u></b></p> <ul style="list-style-type: none"> <li>• Staff previously noted a concern with impacts to City infrastructure projects. These projects are exempt from the Noise Ordinance time limitations, however the Construction hours are followed for consistency and to meet resident/business expectations.</li> <li>• In residential areas, the same morning start time applies to both Outdoor Maintenance Activity and Construction Activity. Therefore, a broad change to Construction Activity start times would be inconsistent with the intent of the Noise ordinance, as the Outdoor Maintenance and Construction sounds may be indistinguishable.</li> <li>• Alternately, a later start time restriction could be applied to types of Construction Activity that are expected to be the louder or more disruptive than regular Outdoor Maintenance Activity</li> </ul>			

(For comparison, Outdoor Maintenance Activity in residential areas most commonly is yard maintenance, such as lawn mowing or leaf/grass blowing)

### **Regulating construction hours by permit or project type**

There are examples of municipalities that apply more restricted hours to certain types of construction work that are considered to be more impactful to surrounding properties.

One nearby example is Naperville, which experiences residential infill construction similar to St. Charles. Naperville restricts demolition, large additions and new construction in established neighborhoods to more limited construction hours (8 am Saturday time instead of 7am).

Demolition, additions and new construction in residential areas have unique impacts on surrounding existing neighborhoods, including:

- Louder and more disruptive work, over a longer duration, than typical residential permit projects
- Site work and disturbance that extend up to the neighboring property lines
- Impacts to use and availability of streets and sidewalks, including increased use of street parking for contractors

### **Proposal for Consideration**

There is a basis to separate out certain types of building permit projects to be subject to more limited construction hours on the weekend, when the surrounding residences are more typically occupied throughout the day.

The Construction start time could be changed to 8am for specific types of building permit work:

- Residential Demolitions
- Residential Additions
- Residential New Building Construction

A redline of changes to the Noise Ordinance is attached for the Committee's consideration.

There is not specific complaint data to recommend that a change is needed, however the intent of this regulation would be set community expectations for types of private construction work that have the potential to be disruptive to residential neighborhoods.

Staff communication with contractors indicates that weekend work on these projects is not typical and is usually only during the 8am to early afternoon timeframe, so an impact is expected to be minimal.

Information on existing Construction Hours, Noise Complaint data, Redline draft of amendments to the Noise Ordinance- Chapter 9.24.

### **Recommendation/Suggested Action** (briefly explain):

Consideration of an amendment to weekend Construction Hours for certain Building Permit work in Residential Areas.

### **Current Construction Hours**

Construction Hours are regulated by the Noise Ordinance, City Code Chapter 9.24. The code lists times when different types of noise-generating activities are prohibited. There are 4 property classifications, each with different standards:

<b>Construction Hours</b>	<b>Start:</b>	<b>End:</b>
Mixed Use (CBD-1 Downtown)	7 am	10 pm
Residential	7 am	7 pm
Non-Residential 300 ft. or less from residential (except across Main St, Randall or Kirk Rds.)	6 am	10 pm
Non-Residential	No restriction	No restriction

The noise ordinance also regulates other noise generating activities, including outdoor maintenance activity and refuse collection, starting at similar hours to construction activity.

### **Construction Hours in Nearby Communities**

Staff reviewed regulations for neighboring communities regarding start times and found some variation between weekday and weekend construction hours:

	<b>Weekday Start</b>	<b>Saturday Start</b>	<b>Sunday Start</b>	<b>End</b>
Geneva	7 am	8 am	8 am (& Holidays)	8 pm
Batavia	7 am	7am	8 am	9 pm
South Elgin	7 am	7 am	7 am	7 pm
North Aurora	6 am	6 am	8 am	9 pm (6 pm Sunday)
Bartlett	7 am	8 am	8 am	9 pm



## Noise Complaints referred to Community Development since 2020

### Construction Noise complaints highlighted

Case Number	Detailed Description	Date Entered	Location	Date Entered
Emails to Staff	Home Occupation Woodworking business	4/24/2020	3115 King Alford Ct	4/24/2020
CENOIS202000265	Construction work starting too early	5/8/2020	1812 Riverside Ave	5/8/2020
CENOIS202000308	Concern of noise/working on cars late at night.	5/21/2020		5/21/2020
Emails to Staff	220 Kennedy Drive Anthem Heights multiple instances construction early start time	7/2/2020	Anthem Heights	7/2/2020
Emails to Staff	Construction start time early	8/5/2020	Prairie Centre	8/5/2020
Emails to Staff	500 Wing Ln complaint re: PA system at Chrysler dealer	8/20/2020	Chrysler dealer, 1611 E. Main St.	8/20/2020
CENOIS202000679	Complaint of speakers/Car dealership.	8/31/2020		8/31/2020
CENOIS202000681	Concern of noise from trucks too early in the morning.	8/31/2020		8/31/2020
CENOIS202000694	Late night construction noise	9/4/2020	2926 Langston Circle	9/4/2020
CENOIS202000695	Concern of music playing too loud	9/4/2020		9/4/2020
CENOIS202000746	Construction noise starting too early.	9/21/2020	1 S 6th Ave - Library	9/21/2020
CENOIS202000800	Concern of loud speaker music	10/7/2020		10/7/2020
CENOIS202000892	Concern of noise coming from the businesses behind the residence.	10/29/2020		10/29/2020
CENOIS202000967	Concern of noise from car alarms on Thanksgiving Day.	11/30/2020		11/30/2020
CENOIS202001005	Concern of noisy truck late at night.	12/14/2020		12/14/2020
CENOIS202001021	Concern of noise making device on porch/motion activated	12/21/2020		12/21/2020
CENOIS202100114	Amplified music/noise/no occupancy	3/9/2021		3/9/2021
CENOIS202100123	Concern of noise from factory equipment	3/10/2021		3/10/2021
CENOIS202100198	Concern of noise from HVAC unit.	4/7/2021		4/7/2021
CENOIS202100324	Concern of noise/construction starting too early.	5/11/2021	333 S 1st ST - First St Bldg 7B	5/11/2021
CENOIS202100363	Concern of noise from machines	5/17/2021		5/17/2021
CENOIS202100539	Concern of noise/music/yelling	6/16/2021		6/16/2021
CENOIS202100615	Concern of after hours loud music	7/6/2021		7/6/2021
CENOIS202100655	Concern of noise/vehicle repair	7/14/2021		7/14/2021
Emails to Staff	Noise from outdoor amplified music at D&G	8/2/2021	303 N. 4th St	8/2/2021
Emails to Staff	Noise working on vehicles in garage/ potential home business	8/5/2021	1217 S 4th St	8/5/2021
Emails to Staff	820 S 10th Ave noise working on a car	9/8/2021	820 S 10th Ave	9/8/2021
CENOIS202101068	Early hour noise complaint	10/13/2021		10/13/2021
CENOIS202200231	Concern of early garbage pick up.	4/7/2022		4/7/2022
Emails to Staff	East HS stadium PA noise level	4/16/2022	Majestic Oaks	4/16/2022
CENOIS202200396	After hours music	5/12/2022		5/12/2022
CENOIS202200419	Construction noise	5/17/2022	2651 Woodward Dr	5/17/2022
CENOIS202200497	Concern of loud music	5/31/2022		5/31/2022
Emails to Staff	Royal Fox golf club landscape noise early	6/6/2022	Royal Fox	6/6/2022
CENOIS202200625	Noise concerns/vacuums	8/9/2022		8/9/2022
Emails to Staff	Health Club Above D&G noise overnight	10/16/2022	303 N. 4th St.	10/16/2022
CENOIS202200915	Concern of noise/construction work starting too early.	10/31/2022	3000 W Main ST	10/31/2022
CENOIS202200950	Concern of delivery truck noise	11/16/2022		11/16/2022
Emails to Staff	Tractor Supply truck deliveries early	11/28/2022	3000 W Main St	11/28/2022
CENOIS202200981	Concern of contractors starting work too early...7 am	11/28/2022	302 S 3rd St	11/28/2022
CENOIS202200998	Concern of noise/barking dogs	12/5/2022		12/5/2022
CENOIS202300131	Concern of night time noises/music.	4/3/2023		4/3/2023
Emails to Staff	Dog barking Pet Suites	6/19/2023	Pet Suites, 2790 W Main St.	6/19/2023
Emails to Staff	50 S 1st St Riverloft construction noise early	7/10/2023	50 S 1st St	7/10/2023
Emails to Staff	303 N 3rd Street construction noise late	8/23/2023	303 N 3rd St	8/23/2023
Emails to Staff	Smith Rd Springs Truck Noise 5:30am	10/2/2023	Springes	10/2/2023
Emails to Staff	Dogs barking Pet Suites	10/5/2023	Pet Suites, 2790 W Main St.	10/5/2023
CENOIS202400079	Complaint received from resident that "humming noise" is coming from business during overnight hours.	3/5/2024		3/5/2024
Emails to Staff	Dogs barking Pet Suites	5/6/2024	Pet Suites, 2790 W Main St.	5/6/2024
Emails to Staff	5 am garbage, delivery, exercise class	8/30/2024	131 S. 1st St.	8/30/2024
CENOIS202400326	Noise complaint received from tenant (business district)	8/30/2024		8/30/2024
CENOIS202400327	Noise complaint from resident of early morning activity.	9/3/2024		9/3/2024
CENOIS202400341	Noise from My Body USA 415 S. 1st St.	9/9/2024		9/9/2024
Emails to Staff	Construction noise/starting too early	9/20/2024	1025 S 6th ST	9/20/2024
Emails to Staff	Construction noise/starting too early x 2	10/31/2024	Prairie Centre- 2060 Lincoln Hwy	10/31/2024
Emails to Staff	Construction noise starting at 7am	12/28/2024	1025 S 6th ST	12/28/2024
CENOIS202500023	Multiple Rock Solid complaints of loud noise over night	2/4/2025		2/4/2025
CENOIS202500023	Multiple Rock Solid complaints of loud noise over night	2/4/2025		2/4/2025
CENOIS202500058	Rock solid complaint of Waste Management picking up as early as 0430 am	3/18/2025		3/18/2025
CENOIS202500071	Crews are frequently beginning work well before 7:00 a.m., at times before 6:00 a.m., and working past 7:00 p.m	3/27/2025	Prairie Center	3/27/2025
Emails to Staff	Construction noise starting at 7am	3/28/2025	1025 S 6th ST	3/28/2025
Emails to Staff	Olcott Pretium Plastics facility noise heard overnight in the Timbers	5/16/2025	95 N. 17th St	5/16/2025
Emails to Staff	Dance lab noise late	5/30/2025		5/30/2025
Emails to Staff	Dogs barking Pet Suites	7/8/2025	Pet Suites, 2790 W Main St.	7/8/2025

## Chapter 9.24 NOISE

### 9.24.010 Purpose, intent and declaration.

The purpose of this Chapter 9.24 is to limit Noise-Generating Activities, which when conducted at specific times of the day, may annoy, disturb, injure, or endanger the comfort, repose, health, peace or safety of others within the City. Noise-Generating Activity conducted in violation of the provisions of this Chapter 9.24 is hereby declared a public nuisance.

(2008-M-77: § 1; Prior code: § 28.032)

### 9.24.020 Noise-generating activities defined.

The following activities are hereby declared "noise-generating activities" and are subject to the provisions as set forth in this Chapter 9.24:

Noise-Generating Activity	Descriptions
Refuse Collection	The collection of any type of refuse, garbage, recyclable materials, landscape waste, hazardous waste, construction debris, or any other waste or debris.
Construction Activity	All types of construction activity, whether or not a building permit is required, and any related deliveries of construction personnel, materials, tools or equipment.
Outdoor Maintenance Activity	Activities conducted outside or within a partially enclosed space, such as an open garage, that generate noise, including but not limited to: maintenance and repair of buildings, structures, lots, yards, landscaping, and vehicles or other mechanical equipment.
Truck Idling	The continuous running of engines or cooling units of a truck or semi-trailer while the vehicle is stationary.
Commercial Deliveries	The loading or unloading of products, materials, supplies or any other item from a truck or semi-trailer.
Amplified Sounds	Any stationary or portable electronic sound reproduction system utilizing loudspeakers including but not limited to: amplified live or recorded music; public address systems; systems used to communicate with customers in vehicles; horns and signal devices; sound produced by any machine or other device for the amplification of the human voice, music or any other sound.

(2008-M-77: § 1; Prior code: § 28.024)

### 9.24.030 Property classifications established.

The designations set forth below shall classify all properties within the corporate limits of the City into a property classification for purposes of establishing regulation of noise-generating activities:

Property Classifications	Descriptions
--------------------------	--------------

Mixed-Use	Property contained in the following areas:
	CBD-1 Central Business Zoning District as designated on the Official Zoning Map contained in Title 17 "Zoning," as amended.
Residential	A property containing a residential dwelling unit, except for Mixed-Use Property, regardless of zoning classification.
Non-Residential	All property not designated as a Residential Property or Mixed-Use Property
Non-Residential adjacent to Residential	Any Non-Residential Property located a distance of 300 ft. or less from a Residential Property, measured as the shortest distance from the property line of the Residential Property to the property line of the Non-Residential Property; except for Non-Residential Property which is entirely separated from a Residential Property by the following arterial streets:
	1. Main Street
	2. Randall Road
	3. Kirk Road

(2008-M-77: § 1; Prior code: § 27.701)

#### 9.24.040 Application of noise standards.

For purposes of this Chapter 9.24, a noise shall be determined to be "clearly audible" when noise generated by a noise-generating activity can be heard and readily differentiated from any ambient noise in the vicinity, including noise generated by vehicle traffic. A noise that is "clearly audible" may be constant, recurrent, or intermittent.

Locations used to determine if a noise is "clearly audible":

- A. Property line: Noise shall be measured outside along the perimeter of the property, including within the public right-of-way adjacent to the property line.
- B. Perimeter of the dwelling unit: Noise shall be measured inside or outside the building at a location adjacent to the unit, including common use hallways within the building.

(2008-M-77: § 1; Prior code: § 27.703)

#### 9.24.050 Applicability to streets.

Provisions regulating noise-generating activities on a property shall extend into all streets, including private streets and public rights-of-way, adjacent to said property. Where properties with different property classifications are adjacent to the same street, the provisions shall apply to only half of the street directly adjacent to the property.

(2008-M-77: § 1; Prior code: § 27.702)

#### 9.24.060 Regulation for mixed-use property.

The restrictions set forth below shall apply to mixed-use property as designated under Section 9.24.030, and any streets adjacent thereto:

Noise-Generating Activity	Time Activity Prohibited or Subject to a Noise Standard	Noise Standard
---------------------------	---	----------------

Refuse Collection	Prohibited from 10:00 p.m. to 6:30 a.m.	—
Construction Activity	Prohibited from 10:00 p.m. to 7:00 a.m.	—
Outdoor Maintenance Activity	Prohibited from 10:00 p.m. to 7:00 a.m.	—
Commercial Deliveries	Subject to Noise Standard from 10:00 p.m. to 7:00 a.m.	Prohibited in streets. Shall not be clearly audible at the property line.
Amplified Sounds	Outdoors sources: Prohibited from 10:30 p.m. to 10:00 a.m.	Shall not be clearly audible at the property line.
	Indoor sources: Subjects to Noise Standard from 10:30 p.m. to 10:00 a.m.	For residential dwelling units: Shall not be clearly audible at the perimeter of the dwelling unit.

(2008-M-77: § 1; Prior code: § 27.704)

#### 9.24.070 Regulation for residential property.

The restrictions set forth below shall apply to residential property as designated under Section 9.24.030, and any streets adjacent thereto:

Noise-Generating Activity	Time Activity Prohibited or Subject to a Noise Standard	Noise Standard
Refuse Collection	Prohibited from 7:00 p.m. to 7:00 a.m.	—
Construction Activity	Prohibited from 7:00 p.m. to 7:00 a.m., <u>except:</u> <u>On Saturday and Sunday, prohibited to 8:00 a.m. for work authorized by Building Permits for:</u> <ul style="list-style-type: none"> <li>• <u>Building Demolition</u></li> <li>• <u>Building Additions</u></li> <li>• <u>New Building Construction</u></li> </ul>	—
Outdoor Maintenance Activity	Prohibited from 10:00 p.m. to 7:00 a.m.	—

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(Supp. No. 4)

Amplified Sounds	Outdoor sources: Prohibited from 10:00 p.m. to 10:00 a.m.	Single-Family Dwelling: Shall not be clearly audible at the property line.
	Indoor sources: Subject to noise standard from 10:00 p.m. to 10:00 a.m.	Multiple-Family Dwelling: Shall not be clearly audible at the perimeter of the dwelling unit.

(2008-M-77: § 1; Prior code: § 27.705)

#### **9.24.080 Regulation for non-residential property.**

Noise-generating activities shall not be restricted on non-residential property, except for non-residential property adjacent to residential property as set forth in Section 9.24.090.

(2008-M-77: § 1; Prior code: § 27.706)

#### **9.24.090 Regulation for non-residential property adjacent to residential property.**

The restrictions set forth in this section shall apply to non-residential property adjacent to residential property, as defined in Section 9.24.030, and any streets adjacent thereto:

Noise-Generating Activity	Time Activity Prohibited or Subject to a Noise Standard	Noise Standard
Refuse Collection	Prohibited from 10:00 p.m. to 6:00 a.m.	—
Construction Activity	Prohibited from 10:00 p.m. to 6:00 a.m.	—
Outdoor Maintenance Activity	Subject to noise standard from 10:00 p.m. to 6:00 a.m.	Prohibited in streets.
Commercial Deliveries	Subject to noise standard from 10:00 p.m. to 6:00 a.m.	Shall not be clearly audible at the perimeter of the property, measured at a location along the property line that is adjacent to a residential lot.
Truck Idling	Subject to noise standard from 10:00 p.m. to 6:00 a.m.	
Amplified Sounds	Outdoor sources: Prohibited from 10:00 p.m. to 7:00 a.m.	
	Indoor sources: Subject to noise standard from 10:00 p.m. to 7:00 a.m.	

(2008-M-77: § 1)



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### 9.24.100 Exemptions.

The activities set forth below shall be exempt from the provisions of this Chapter 9.24:

1. Activities conducted by any governmental entity.
2. Emergency building, infrastructure, or utility repairs in response to natural disasters, accidents, equipment or structural failures, or other public safety concerns.
3. Emergency noises, including: the operation of any emergency vehicle or apparatus and related radios, sirens, horns, and bells; cries for assistance, warning calls, or sirens used to alert persons of an emergency, danger, or crime; security and fire alarms.
4. Snow removal.
5. Noise generated by the use of a property which is specifically regulated by the provisions of Title 17, Chapter 17.20, as amended, when a specific standard regulating noise levels or hours of operation is contained therein, including but not limited to temporary outdoor entertainment and outdoor dining, as defined in Title 17.
6. Any noise generated by locomotive engines and train cars.
7. Parades, fireworks, cultural events/activities, special events and other activities authorized by the City Council.

(2008-M-77: § 1)

### 9.24.110 Noise regulated by other provisions of this Code.

Regulation of noise contained elsewhere in this Code shall be separate from the provisions of this Chapter 9.24, including but not limited to provisions contained in Title 6, "Animals"; Title 10, "Vehicles and Traffic"; and Title 17, "Zoning." In case of conflict with this Chapter, the most restrictive regulation shall control.

(2008-M-77: § 1)

### 9.24.120 Noise-generating activity prohibited—Penalty.

It shall be unlawful for any person to make or to continue, cause or to knowingly allow a noise-generating activity, as defined in Section 9.24.020, in violation of this chapter.

Notwithstanding any other provision of this Code, any person violating any provisions of this Chapter 9.24 shall be subject to a fine not less than those established in the schedule set forth below and not more than seven hundred fifty dollars (\$750.00):

Description of Violation	Minimum Fine Amount
First violation in any 365-day period	\$100.00
Second violation in any 365-day period	200.00
Third violation in any 365-day period	300.00
Fourth violation in any 365-day period	500.00
Fifth and subsequent violations in any 365-day period	750.00

For purposes of this Chapter 9.24, and in determining the appropriate amount due hereunder:

- A. Each day a violation occurs or continues shall be deemed a separate violation.

- 
- B. All violations of any provision of this Chapter 9.24 that are committed by the same person, or any firm controlled by such person, shall be deemed a separate violation, regardless of whether or not the violations occur at the same location.

(2018-M-23: § 6; 2008-M-77: § 1)

#### **9.24.130 Presumption of accountability.**

The occupant or the agent of the occupant of the property, who shall knowingly permit another person to create a noise or conduct an activity in violation of this chapter, shall be deemed responsible for the noise or activity to the same extent as the person creating the noise or conducting the activity and shall be subject to the same penalty.


Any person in charge of operating, ordering, directing or allowing the operation or maintenance of the motor vehicle, device, or machine creating a noise-generating activity as prohibited in this chapter, shall be deemed guilty of violating this chapter.

(2008-M-77: § 1)

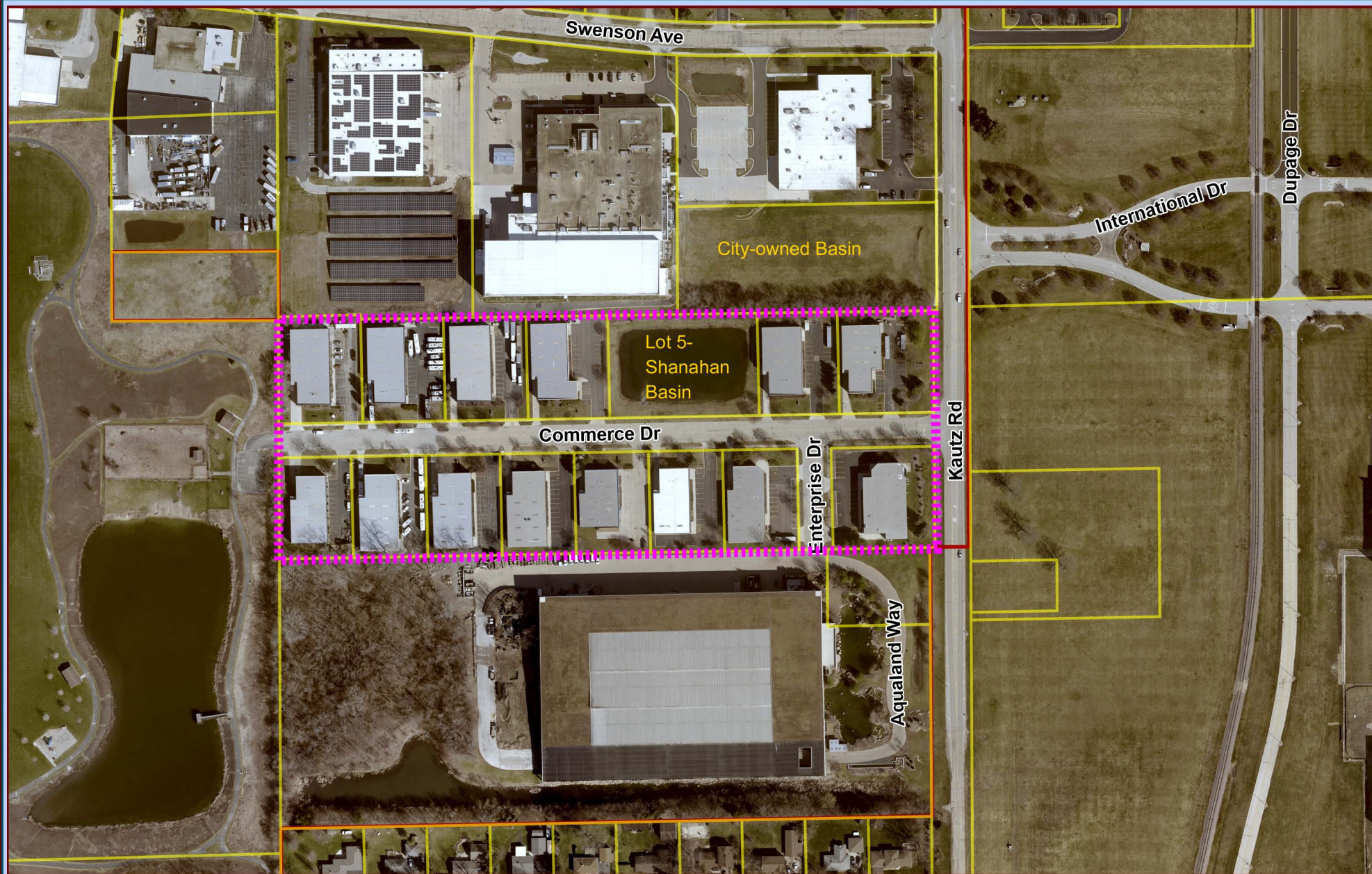
#### **9.24.140 Legal remedies not impaired.**

Nothing in this chapter shall be construed to impair, in any way, any cause of action or other legal or equitable remedy therefore of any person or the public for injury or damage arising from the emission or release into the atmosphere or ground from any source whatever of noise or earthshaking vibration in such place or manner or at such levels, so as to constitute a common law nuisance.

(2008-M-77: § 1)

 CITY OF ST. CHARLES ILLINOIS • 1834	<b>AGENDA ITEM EXECUTIVE SUMMARY</b>		Agenda Item number: 4g
	Title:	<b>Recommendation to accept conveyance of the Shanahan Subdivision Detention Basin property and activate Special Service Area #51 to fund maintenance</b>	
	Presenter:	<b>Russell Colby, Community Development Director</b>	
<b>Meeting:</b> Planning & Development Committee		<b>Date:</b> September 8, 2025	
<b>Proposed Cost:</b> \$		<b>Budgeted Amount:</b> \$	<b>Not Budgeted:</b> <input type="checkbox"/>
<b>TIF District:</b> None			
<b>Executive Summary</b> (if not budgeted, please explain):  <p>The Shanahan Industrial Park Subdivision is a 15-lot industrial development located on Commerce Drive and accessed from Kautz Road. The subdivision was approved in 1998 and is fully built out. A stormwater detention basin serving the subdivision is located on a standalone lot. For unknown reasons, an owner's association was never established to maintain this common stormwater basin, and it has been owned and maintained by the adjoining building lot owner.</p> <p>In 2024, the owner contacted the City about conveying the detention basin property to the City. Public Works assisted CD staff to evaluate the request and determined:</p> <ul style="list-style-type: none"> <li>• The basin had outstanding maintenance issues and did not meet current design standards.</li> <li>• There is a dormant stormwater Special Service Area (#51) that can be utilized by the City to fund maintenance; however the SSA would not be sufficient to fund a full upgrades of the basin in a single tax year.</li> <li>• As a standalone lot, without an association, there is risk that an owner could abandon the lot.</li> <li>• The City already owns and maintains an adjoining basin property to the north.</li> </ul> <p>Staff advised the basin owner that City staff would recommend acceptance of the basin by the City if the owner completed all outstanding maintenance and upgraded the basin to current standards. This work was completed this summer. The owner spent \$37,693 on the maintenance and upgrades.</p> <p>Staff recommends the City accept conveyance of the basin, pending a final inspection. SSA #51 will be activated to fund the regular maintenance starting next year. As a condition of the conveyance, the City will require the owner cover any ongoing maintenance costs in the interim, such as regular mowing, through the remainder of the season.</p> <p>Subject to a positive recommendation from the Committee, staff will proceed to work with the City Attorney on finalizing documents to convey the property.</p>			
<b>Attachments</b> (please list): Aerial photo, Request Letter, Subdivision Plat			
<b>Recommendation/Suggested Action</b> (briefly explain): Recommendation to accept conveyance of the Shanahan Subdivision Detention and activate Special Service Area #51 to fund maintenance			





Data Source:  
City of St. Charles, Illinois  
Kane County, Illinois  
DuPage County, Illinois  
Projection: Transverse Mercator  
Coordinate System: Illinois State Plane East  
North American Datum 1983  
Printed on: September 2, 2025 01:14 PM



0 129 259 Feet

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Prepared by Precision GIS





423 S 2<sup>ND</sup> ST.  
ST. CHARLES, IL 60174  
PHONE: 630.587.5555  
FAX: 630.882.0779

July 21, 2025

Complex Management – Property Manager  
Ryan Corcoran  
423 S 2<sup>nd</sup> St.  
St. Charles, IL 60174

RE: 3890 Commerce Drive Pond Rehabilitation – St. Charles, IL

Dear Russell,

We are pleased to inform you that the Commerce Drive Pond rehabilitation has been completed according to City direction. This pond has historically been cared for by the 3890 Commerce Drive property owner, with no ability to share expenses with other owners on Commerce Drive. Last year, we sold the 3890 building and are no longer owners within the small industrial park aside from the detention pond. As such, we are requesting that the City take over management of the pond and maintain it through the SSA. For the City to consider this, maintenance improvements were requested so that additional work was not required for the City to perform upon transfer.

Ownership, the City, and ENCAP (a contractor that the City of St. Charles has a long history with) met on site to discuss and review the necessary improvements. Subsequently, ownership and ENCAP entered into a contract in order to satisfy the requirements set forth by the City.

Please find included with this letter, ENCAP's pond rehabilitation memo dated 12.19.24 alongside pictures, invoice, and proof of payment. All work has been completed, including the wetland shelf plug installation, which was postponed from last Fall and completed this Summer.

In conclusion, we request approval for the property transfer to the SSA, and we are hopeful of being placed on the agenda with Planning and Development in August, with a final vote and approval by the City Council in September.

Sincerely,

Signed by:  
  
D46B8BD7838D401...

Ryan Corcoran  
Complex Management  
423 S 2<sup>nd</sup> Street  
St. Charles, IL 60174



December 19, 2024

Ryan Corcoran  
Complex Management/Corcoran Commercial Real Estate  
423 S. 2<sup>nd</sup> Street  
St. Charles, IL 60174

RE: 3890 Commerce Drive Pond Rehabilitation – St. Charles, IL

Dear Mr. Corcoran,

ENCAP has been contracted to perform rehabilitation and inspection services at the stormwater pond located at 3890 Commerce Drive in St. Charles, IL. Pond shoreline re-grading, muskrat den removal and filling, and the installation of rip rap around outlet structures and flared end sections was completed the week of December 16<sup>th</sup>. Shorelines and the banks around the pond were restored with low-profile native seed mixes including grasses and forbs and stabilized with double netted straw/coconut blanket and straw blanket on upper banks. During the rehabilitation work, the outlet structure manhole was inspected and debris removed. Debris removed from the outlet control structure included; garbage, sticks, leaves, and a deceased opossum that was partially blocking the outlet.

Spot elevations were taken to verify the outlet and overflow elevations to ensure compliance with previous as-builts. Currently, the overflow weir has a bottom elevation that is 5.79 feet in elevation above the outfall of the pond. In reviewing the previous as-built drawing, the elevation of the overflow was previously surveyed at 5.35 feet above the outlet pipe. This field verified elevation confirms sufficient storage in the stormwater pond to provide the necessary detention volume of 5.11 AC/FT. The sediment forebay was observed and measured to still be in place and does not require dredging. Additionally, given the fully developed nature of the contributing storm sewer, additional sediment inflow should not be a long-term maintenance concern.

ENCAP will return to the pond in the early summer months (May-July) to complete the installation of native emergent plant plugs along the shoreline. Additionally, plug enclosures will be installed to reduce any predation due to geese or other waterfowl. These completed tasks, field surveys, and the plug installation should complete the rehabilitation work necessary for the turnover of the pond to the City of St. Charles.

Should you have any further questions, please feel free to contact me.

Sincerely,



Jonathan Koepke, CPESC  
President

Contract Balance											
CLIENT:	Complex Management				PROPOSAL #		24-1105A				
PROJECT TITLE:	3890 Commerce Dr Pond Shoreline				CONTRACT DATE:		11/12/2024				
CONTRACTOR:							APPLICATION #		1		
ENCAP, INC.							INVOICE DATE:		12/19/2024		
2585 Wagner Court							INVOICE#		10862		
DeKalb, IL 60115											
					PREVIOUSLY BILLED		THIS BILLING		COMPLETED TO DATE		
DESCRIPTION OF WORK	UNIT	TOTAL QTY	UNIT PRICE	TOTAL AMOUNT	QTY	COST	QTY	COST	QTY	COST	Balance to Complete
Initial Herbicide Treatment	LS	1.00	\$750.00	\$750.00		\$0.00	1	\$750.00	1	\$750.00	\$0.00
Pond Shoreline Regrading, Erosion Repair, and Wetland Shelf Establishment	LF	745.00	\$20.00	\$14,900.00		\$0.00	745	\$14,900.00	745	\$14,900.00	\$0.00
SC150 BN Erosion Control Blanket at Shoreline	SY	715.00	\$2.55	\$1,823.25		\$0.00	715	\$1,823.25	715	\$1,823.25	\$0.00
S150 BN Erosion Control Blanket on Slopes	SY	2300.00	\$2.40	\$5,520.00		\$0.00	2300	\$5,520.00	2300	\$5,520.00	\$0.00
Native Seed Installation	AC	0.40	\$4,000.00	\$1,600.00		\$0.00	0.4	\$1,600.00	0.4	\$1,600.00	\$0.00
Wetland Shelf Plug Installation	EA	1000.00	\$7.50	\$7,500.00		\$0.00		\$0.00	0	\$0.00	\$7,500.00
RR3 Stone Install	TN	20.00	\$140.00	\$2,800.00		\$0.00	20	\$2,800.00	20	\$2,800.00	\$0.00
Tree and Brush Clearing at Overflow	LS	1.00	\$2,800.00	\$2,800.00		\$0.00	1	\$2,800.00	1	\$2,800.00	\$0.00
ORIGINAL CONTRACT				\$37,693.25		\$0.00		\$30,193.25		\$30,193.25	\$7,500.00
CHANGE ORDER											
				\$0.00		\$0.00		\$0.00	0	\$0.00	\$0.00
				\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
TOTAL CHANGE ORDERS				\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
REVISED CONTRACT TOTAL				\$37,693.25		\$0.00		\$30,193.25		\$30,193.25	\$7,500.00

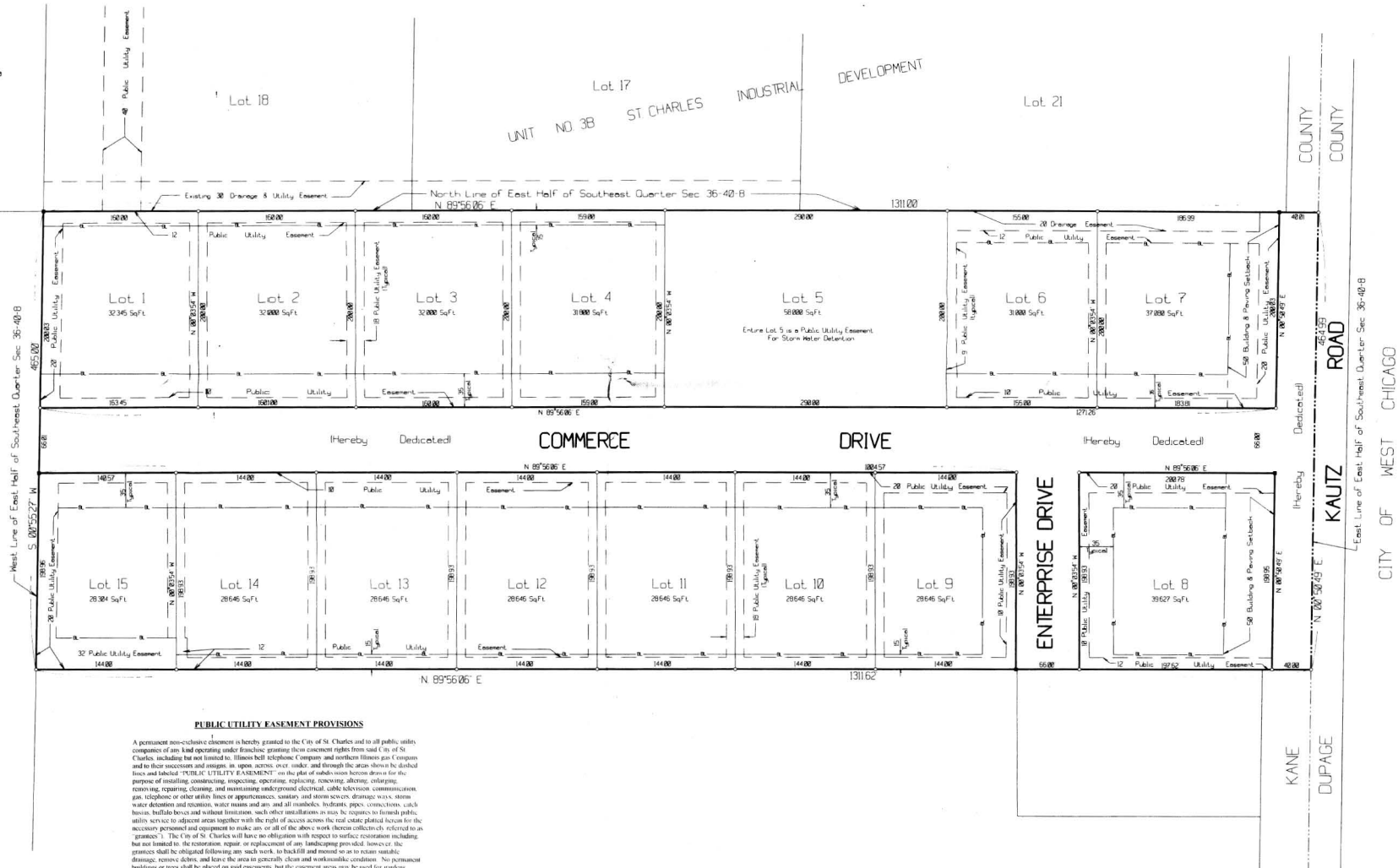
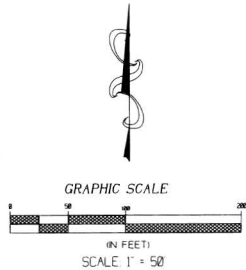
# SHANAHAN INDUSTRIAL PARK

BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

1999K048455

FILED FOR 450.00  
KANE COUNTY, ILL.  
1999 MAY 13 PM 3:45  
Sylvia M. Oliver  
Recorder

PIN #09-36-426-001



## LEGEND

BUILDING SET BACK LINE ———  
SET IRON PIPE ———  
SET CONCRETE MONUMENT ———  
UTILITY EASEMENT ———

## PUBLIC UTILITY EASEMENT PROVISIONS

A permanent non-exclusive easement is hereby granted to the City of St. Charles and to all public utility companies of any kind operating under franchise granting them easement rights from said City of St. Charles, including but not limited to, Illinois Bell Telephone Company and Southern Illinois Gas Company and to their successors and assigns, in, upon, across, over, under and through the area shown by dashed lines and labeled "PUBLIC UTILITY EASEMENT" on the plat of subdivision herein drawn for the purpose of installing, constructing, inspecting, operating, replacing, renewing, altering, enlarging, removing, repairing, cleaning, and maintaining underground electrical, cable television, communication, gas, telephone or other utility lines or appurtenances, sanitary and storm sewers, drainage ways, storm water detention and retention, water mains and any and all conduits, hydrants, pipes, connections, catch basins, infiltration basins and related structures, such other installations as may be required to furnish public utility service to adjacent areas together with the right of access across the real estate platland herein for the necessary personnel and equipment to make any or all of the above work therein collectively referred to as "grantee's". The City of St. Charles will have no obligation with respect to surface restoration including, but not limited to, the restoration, repair or replacement of any landscaping provided, however, the grantee shall be obligated following any such work to backfill and mound so as to restore suitable drainage, remove debris, and leave the area in generally clean and workable condition. No permanent buildings or trees shall be placed on said easements, but the easement area may be used for gardens, shrubs, landscaping, paving, fences, sidewalks, curbing, and to heretofore that do not interfere with the above-mentioned rights. Where an easement is used for storm or sanitary sewers, other utility installation shall be subject to the prior approval of said City of St. Charles so as not to interfere with the gravity flow in said sewer or sewers.

# SHANAHAN INDUSTRIAL PARK

BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHEAST QUARTER  
OF SECTION 36, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL  
MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS

1999K048455

FILED FOR REEL 10  
KANE COUNTY, ILL.

099 MAY 13 PM 3:45

*Signatures*  
1000000

## OWNERS CERTIFICATE

STATE OF ILLINOIS) SS  
COUNTY OF KANE )

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE  
LAND DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED  
THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED  
THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND  
DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE  
STYLE AND TITLE THEREON INDICATED.

DATED THIS 10 DAY OF MAY, A.D. 19 99

OWNER

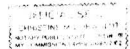
## NOTARY CERTIFICATE

STATE OF ILLINOIS) SS  
COUNTY OF KANE )

I, John W. Kene, A NOTARY PUBLIC, IN AND  
FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY  
THAT John W. Kene PERSONALLY KNOWN TO  
ME TO BE THE SAME PERSON WHOSE NAME ARE SUBSCRIBED TO THE  
FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME  
THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND  
DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND  
VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS 10 DAY OF  
MAY, A.D. 19 99, AT ST. CHARLES, ILLINOIS.

NOTARY PUBLIC



## CITY COUNCIL CERTIFICATE

APPROVED AND ACCEPTED THIS 10 DAY OF MAY, A.D. 19 99, BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, ILLINOIS.

BY: Mayor MAYOR

ATTEST: City Clerk CITY CLERK

## PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS) SS  
COUNTY OF KANE )

APPROVED THIS 10 DAY OF MAY, A.D. 19 99

CITY OF ST. CHARLES PLAN COMMISSION  
CHAIRMAN

## DIRECTOR OF PUBLIC WORKS CERTIFICATE

STATE OF ILLINOIS) SS  
COUNTY OF KANE )

I, John W. Kene, DO HEREBY CERTIFY THAT THE  
REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE  
REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE  
COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DATED AT ST. CHARLES, ILLINOIS, THIS 10 DAY OF  
MAY, A.D. 19 99.

DIRECTOR OF PUBLIC WORKS

## COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS) SS  
COUNTY OF KANE )

I, LORRAINE P. SAVA, COUNTY CLERK OF KANE  
COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO  
DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO  
REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN  
THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL  
STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL AT ST. CHARLES, ILLINOIS, THIS 10 DAY OF MAY, A.D. 19 99.

COUNTY CLERK

## CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS) SS  
COUNTY OF KANE )

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID  
OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED  
INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED  
AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS

## SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS) SS  
COUNTY OF KENDALL )

THIS IS TO CERTIFY THAT I, RONALD D. BAUER, AN ILLINOIS  
PROFESSIONAL LAND SURVEYOR NO. 2352, HAVE SURVEYED AND  
SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF  
SECTION 36, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD  
PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE  
NORTHEAST CORNER OF SAID SOUTHEAST QUARTER; THENCE WEST  
ALONG THE QUARTER SECTION LINE 1313 FEET TO THE NORTHWEST  
CORNER OF SAID EAST HALF; THENCE SOUTHERLY PARALLEL WITH  
THE NORTH LINE OF SAID EAST HALF, 465 FEET; THENCE EASTERLY  
PARALLEL WITH THE NORTH LINE OF SAID EAST HALF TO THE EAST  
LINE OF SAID SOUTHEAST QUARTER; THENCE NORTH ALONG SAID  
EAST LINE TO THE POINT OF BEGINNING, EXCEPTING THEREFROM  
THE EAST 40 FEET IN THE TOWNSHIP OF ST. CHARLES, KANE COUNTY,  
ILLINOIS.

I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN ONE AND  
ONE HALF MILES OF THE CORPORATE LIMITS OF THE CITY OF ST.  
CHARLES AND THAT ALL REGULATIONS ENACTED BY THE CITY OF ST.  
CHARLES RELATIVE TO SUBDIVISION PLATS HAVE BEEN COMPLIED  
WITH IN THE PREPARATION OF THIS PLAT.

I ALSO CERTIFY THAT THIS SUBDIVISION IS NOT LOCATED WITH A  
SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL  
EMERGENCY MANAGEMENT AGENCY, PANEL NUMBER 170330 0005  
EFFECTIVE SEPTEMBER 2, 1991.

GIVEN UNDER MY HAND AND SEAL AT PLANO, ILLINOIS, THIS 6TH DAY  
OF MAY, A.D. 1999.

ILLINOIS PROFESSIONAL LAND SURVEYOR  
RONALD D. BAUER  
NO. 2352

R.B. & ASSOCIATES

4 W. MAIN STREET  
PLANO, ILLINOIS 60545  
(630)552-7452

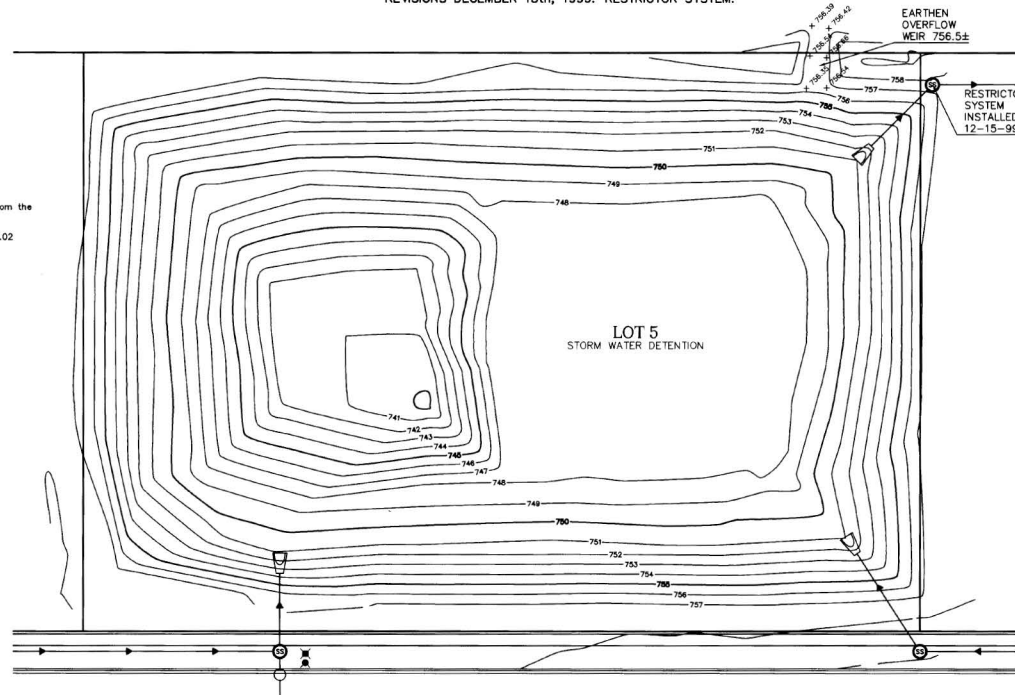
# AS-BUILT ENGINEERING PLANS SHANAHAN INDUSTRIAL PARK IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS

WATER MANAGEMENT BASIN, AND B-BOX LOCATION DIAGRAMS DATED DECEMBER 6th 1999.  
REVISIONS DECEMBER 10th, 1999: EARTHEN OVERFLOW WEIR GRADES.  
REVISIONS DECEMBER 15th, 1999: RESTRICTOR SYSTEM.



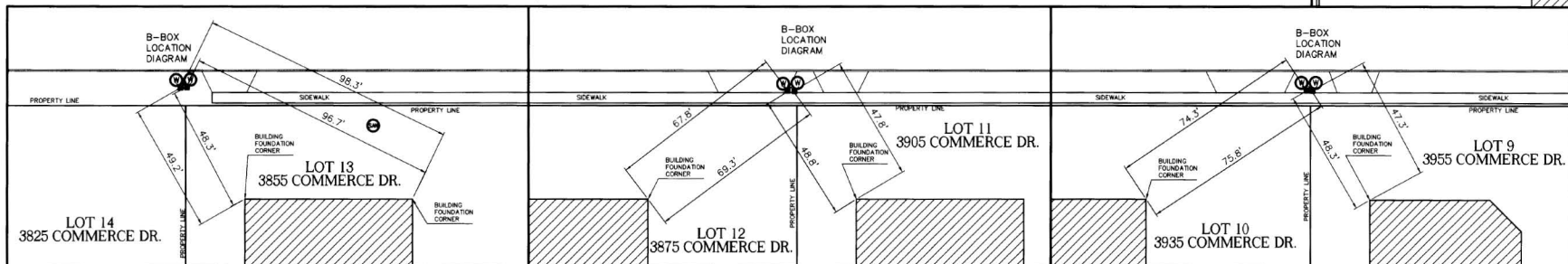
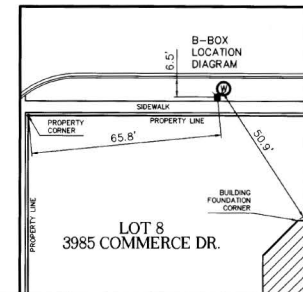
## STORAGE CHARACTERISTICS

The "proposed" HWL is 756.35 with a storage volume of 5.11 acre-feet (from the NWL of 751.00 to 756.35).  
The "as-built" storage volume at the HWL of 756.35 is calculated to be 5.02 acre-feet (from the NWL of 751.00 to 756.35).  
The "as-built" HWL is 756.43 providing a storage volume of 5.11 acre-feet (from the NWL of 751.00 to 756.43).




## LEGEND

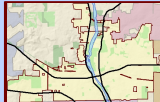
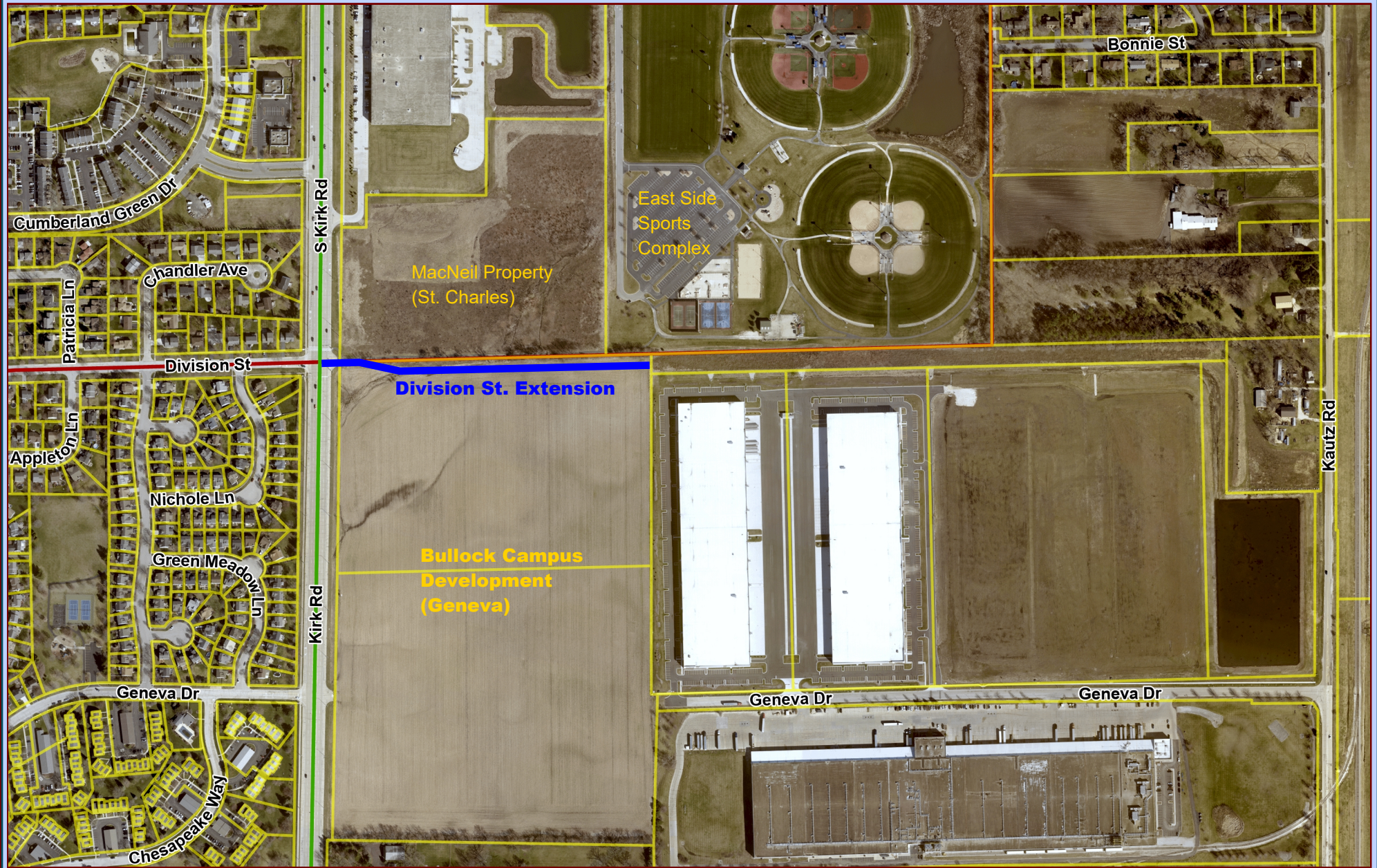
- INDICATES SANITARY SEWER LINE
- INDICATES STORM SEWER LINE
- INDICATES WATERMAIN LINE
- INDICATES CONTOUR LINE ONE FOOT INTERVAL
- INDICATES CONTOUR LINE FIVE FOOT INTERVAL
- INDICATES TYPE B-6.12 CONCRETE CURB AND GUTTER
- INDICATES SANITARY SEWER MANHOLE
- INDICATES STORM SEWER MANHOLE
- INDICATES CATCH BASIN
- INDICATES WATER MAIN VALVE VAULT
- INDICATES FIRE HYDRANT
- INDICATES HYDRANT VALVE BOX
- INDICATES DOMESTIC SERVICE B-BOX
- INDICATES STREET LIGHT
- INDICATES CONCRETE FLARED END SECTION





 CITY OF ST. CHARLES ILLINOIS • 1834	<b>AGENDA ITEM EXECUTIVE SUMMARY</b>		Agenda Item number: 4h
	Title:	<b>Recommendation to approve an Intergovernmental Agreement with the City of Geneva for Division Street extension east of Kirk Rd.</b>	
	Presenter:	<b>Russell Colby, Community Development Director</b>	
<b>Meeting:</b> Planning & Development Committee		<b>Date:</b> September 8, 2025	
<b>Proposed Cost:</b> \$		<b>Budgeted Amount:</b> \$	<b>Not Budgeted:</b> <input type="checkbox"/>
<b>TIF District:</b> None			
<b>Executive Summary</b> (if not budgeted, please explain):  <p>The City of Geneva is planning for the extension of Division Street east of Kirk Road. A portion of the street extension includes property within St. Charles corporate limits. The intent of this proposed Intergovernmental Agreement (IGA) is for the Division Street extension to be a City of Geneva street.</p> <p>Division will be extended as a part of a Geneva development project called Bullock Campus, approved in 2024 and now under final engineering review. The property will be a corporate headquarters for a business called Antunes, a manufacturer of commercial food production equipment. The campus will be a multi-use facility built in phases, with corporate offices, manufacturing, and other ancillary uses.</p> <p>The landowner of the adjacent property on the St. Charles side (MacNeil Real Estate Holdings) is cooperating with the Bullock Campus developer to dedicate right-of-way for the extension. There is a small clip of street right-of-way in St. Charles, before the street shifts south of the corporate limits. Per the IGA, St. Charles would accept the right-of-way dedication and transfer jurisdiction to Geneva.</p> <p>Property on the St. Charles side will have access to the Division Street extension. The intersection and street access will greatly improve marketability and development potential for the St. Charles site.</p> <p>Geneva is working with Kane County Department of Transportation on the Kirk/Division intersection improvements to add an eastern leg and update the traffic signals. No changes are planned on the west leg of the intersection. A St. Charles Park District Bike Path to East Side Sports Complex will be shifted for the street extension and will remain in a relocated St. Charles Park District easement.</p> <p>The City's Comprehensive Plan identifies the extension of Division Street from Kirk to Kautz Road as a recommended street network improvement. There is no immediate plan for this connection. The Bullock Campus will have access east to Kautz Road via the existing Geneva Drive for truck access.</p> <p>St. Charles and Geneva have a boundary line agreement that follows Division Street, and the cities have worked cooperatively as development occurs on our shared border.</p>			
<b>Attachments</b> (please list): Location Map, draft IGA Draft (subject to final review)			
<b>Recommendation/Suggested Action</b> (briefly explain): Recommendation to approve an Intergovernmental Agreement with the City of Geneva for Division Street extension east of Kirk Rd.			





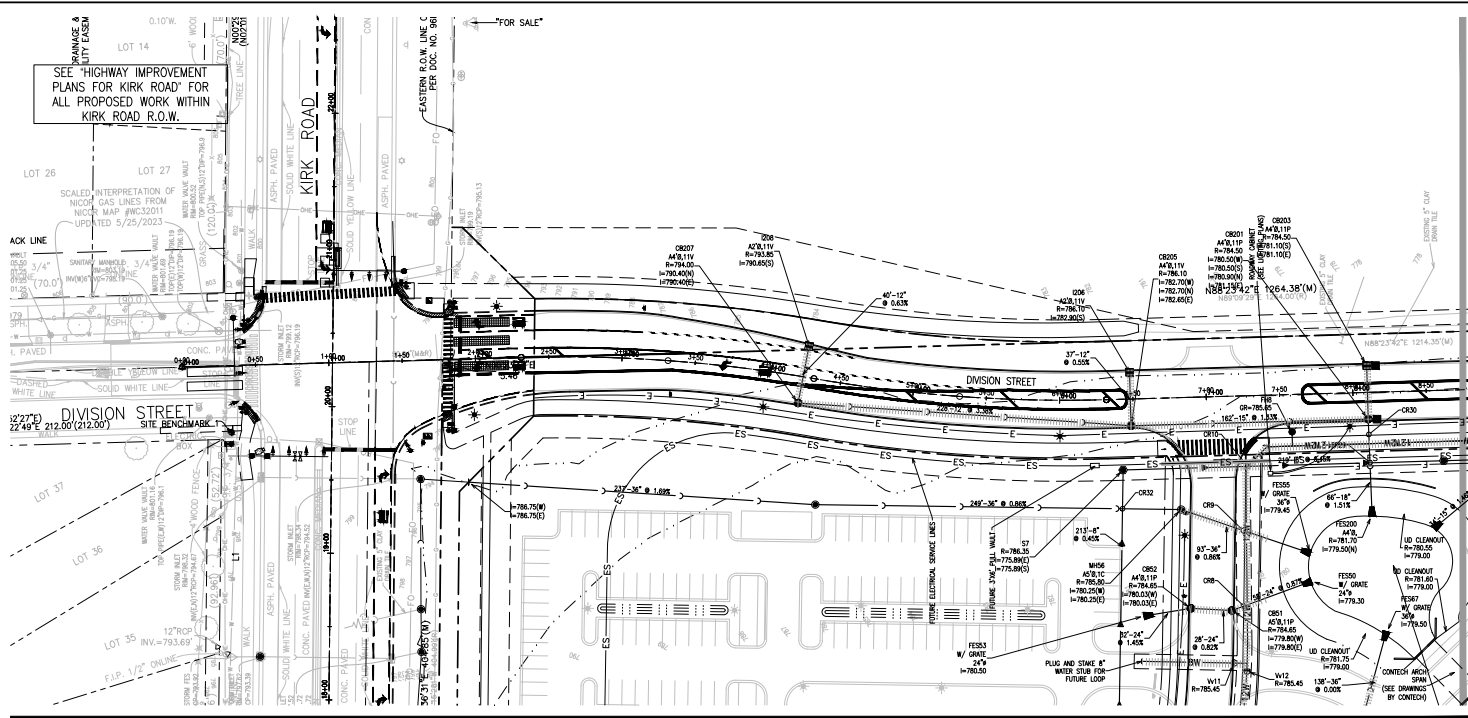
Data Source:  
City of St. Charles, Illinois  
Kane County, Illinois  
DuPage County, Illinois  
Projection: Transverse Mercator  
Coordinate System: Illinois State Plane East  
North American Datum 1983  
Printed on: September 2, 2025 11:32 AM



0 259 518 Feet

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Powered by Precision GIS





MATCH LINE SEE STA. 8+75

#### STORM SEWER NOTES:

STORM SEWER STRUCTURE SYMBOL LEGEND:  
I = INLET  
CB = CATCH BASIN  
MH = MANHOLE  
FES = FLARED END SECTION WITH TRASH GRATE  
RD = ROOF DRAIN

STORM SEWER FRAME AND GRATE/LID SYMBOL LEGEND:  
1C: DOT TYPE 1 (CLOSED), NEENAH R-1713  
BP: DOT TYPE 8 (OPEN), NEENAH R4340-B  
11P: DOT TYPE 11, NEENAH R3287-A  
24P: DOT TYPE 24 (OPEN), NEENAH R-3526-L

- EXAMPLE:  
MH3  
48" I/P  
MANHOLE #3, TYPE A, 4' DIAMETER, DOT TYPE 1 FRAME AND GRATE (OPEN)
- ALL 12" AND 15" STORM SEWER SHALL BE RCP CLASS V. ALL OTHER STORM SEWER SHALL BE RCP CLASS IN, UNLESS OTHERWISE NOTED ON THE PLANS.
  - ALL STORM SEWER CASTINGS SHALL BE EMBOSSED WITH A FISH SCALE AND "DUMP NO WASTE - DRAINS TO WATERWAYS"
  - ALL UNDERPANS SHALL BE ADS N-12 AND SHALL BE CAPPED AT THE UPSTREAM END. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS TO MATCH THE PIPE ROUTING SHOWN ON THE PLANS.

#### SANITARY SEWER NOTES:

SANITARY STRUCTURE SYMBOL LEGEND:  
S = SANITARY MANHOLE

ALL SANITARY SEWER INSPECTION MANHOLES SHALL BE 5' DIAMETER AND SHALL HAVE THE FOLLOWING FRAME AND LID:  
1C: DOT TYPE 1 (CLOSED), NEENAH R-1713, EAW 102223

- ALL SANITARY SEWER SHALL BE PVC SDR 35 UNLESS OTHERWISE NOTED ON THE PLANS.

#### WATER MAIN NOTES:

WATER MAIN STRUCTURE SYMBOL LEGEND:  
VV = VALVE VAULT  
PIV = POST INDICATOR VALVE  
VB = VALVE BOX  
PC = PRESSURE CONNECTION  
FH = FIRE HYDRANT ASSEMBLY  
GR = FIRE HYDRANT GRADE RING

- ALL WATER MAIN SHALL BE DIP CLASS 52, UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL FIRE HYDRANT LEADS SHALL BE 6-INCH, CLASS 52 DIP UNLESS OTHERWISE NOTED ON THE PLANS.
- BRASS WEDGES FOR LOCATING WATER MAINS SHALL BE INSTALLED PER SECTION 41-2.050 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, AS AMENDED.
- MAINTAIN A MINIMUM OF 5.5'-FT OF COVER AS MEASURED FROM THE PROPOSED GRADE OVER THE WATER MAIN. MAINTAIN HORIZONTAL SEPARATION WITH OTHER UTILITIES PER EPA REQUIREMENTS.
- ALL PROPOSED WATER MAIN INSTALLED WITHIN FILL MATERIAL SHALL BE RESTRAINED USING MECHALUGS (EBA IRON) TO A POINT 50'-FT PAST EACH SIDE OF THE AREA WHERE THE WATER MAIN IS INSTALLED WITHIN FILL.
- CONTRACTOR SHALL COORDINATE ANY AND ALL WATERMAIN SHUT-DOWNS WITH CITY OF GENEVA.
- ALL WATERMAIN SHALL BE INSTALLED WITH TRACE WIRE.

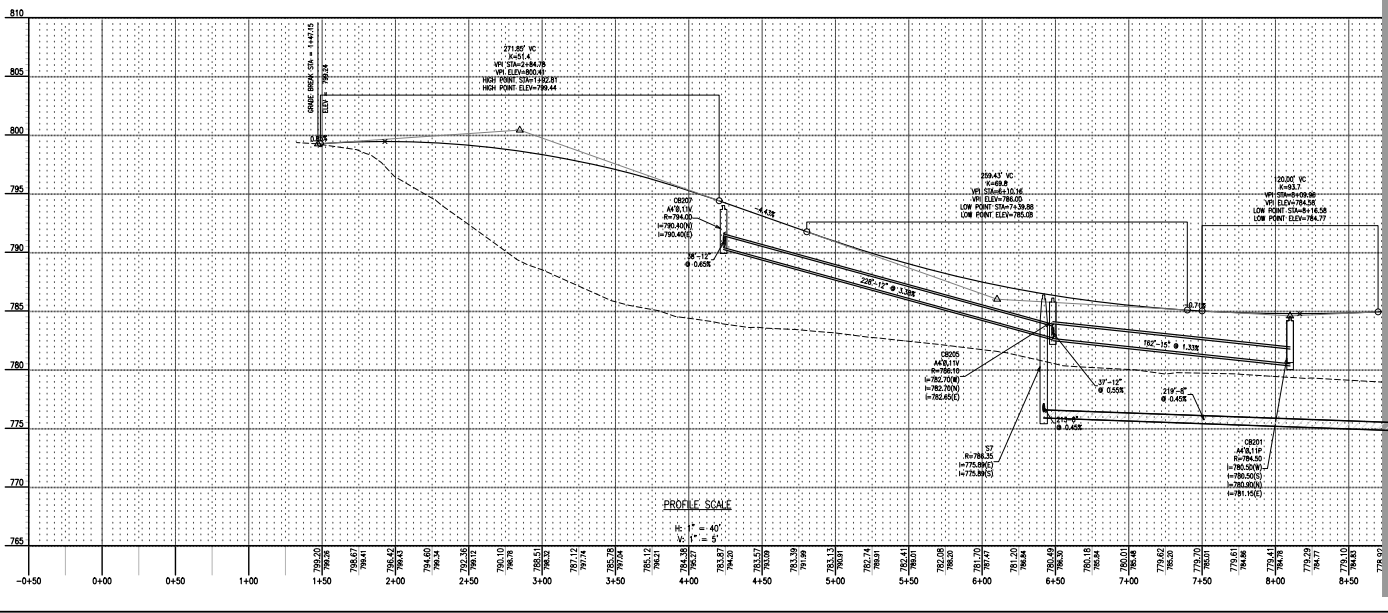
#### UTILITY NOTES:

SEE SHEET C&O FOR ALL UTILITY NOTES  
TRENCH BACKFILL DENOTED BY: (SEE NOTE 4 ON OVERALL UTILITY PLAN)

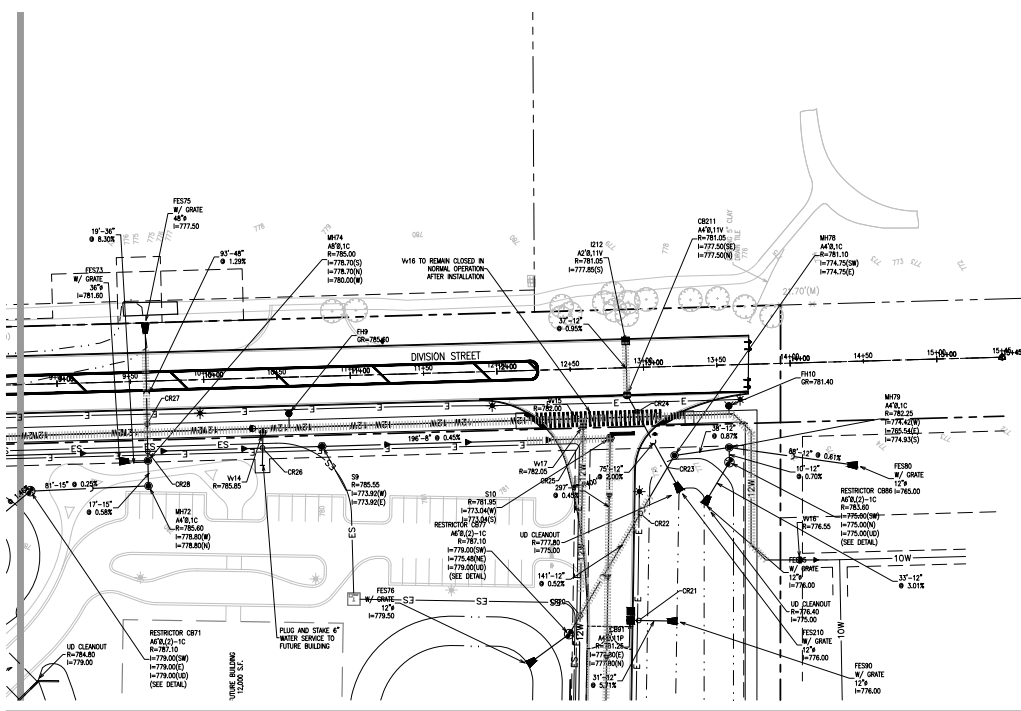
#### PROFILE LEGEND

PROPOSED & PROFILE  
EXISTING & PROFILE  
STORM SEWER  
SANITARY SEWER

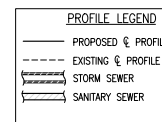
MATCH LINE SEE STA. 8+75



DIVISION STREET PLAN AND PROFILE		BULLOCK CAMPUS		EP DOYLE		GENEVA, ILLINOIS	
8/19/25	17	REVISION PER CITY					Date
8/6/25	16	REVISION PER CITY					
10/16/24	15	REVISION PER CITY					
5/29/24	14	REVISION PER CITY					
3/15/24	13	REVISION PER CITY					
5/29/24	12	REVISION PER CITY					
3/15/24	11	REVISION PER CITY					
6/6/22	10	ISSUED FOR PERMIT					
	9	ISSUED FOR PERMIT					
	8	ISSUED FOR PERMIT					
	7	ISSUED FOR PERMIT					
	6	ISSUED FOR PERMIT					
	5	ISSUED FOR PERMIT					
	4	ISSUED FOR PERMIT					
	3	ISSUED FOR PERMIT					
	2	ISSUED FOR PERMIT					
	1	ISSUED FOR PERMIT					



TRENCH BACKFILL DENOTED BY:   
(SEE NOTE 4 ON OVERALL UTILITY PLAN)



C7.1		SEE PLAN	G208a	<div><p><b>JACOB &amp; HEFNER</b> ASSOCIATES</p><p>1333 Butterfield Rd., Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601 <a href="http://www.jacobandhefner.com">www.jacobandhefner.com</a></p></div>	<div>DIVISION STREET PLAN AND PROFILE</div> <div>BULLOCK CAMPUS</div> <div>EP DOYLE</div> <div>GENEVA, ILLINOIS</div>	<table><tr><td>17</td><td>REVISED PER CITY</td><td>8/19/25</td></tr><tr><td>16</td><td>REVISED PER CITY</td><td>6/6/25</td></tr><tr><td>15</td><td>REVISED PER CITY</td><td>10/16/24</td></tr><tr><td>14</td><td>REVISED PER CITY</td><td>7/22/24</td></tr><tr><td>13</td><td>REVISED PER CITY</td><td>9/29/24</td></tr><tr><td>12</td><td>REVISED PER CITY</td><td>10/16/24</td></tr><tr><td>11</td><td>ISSUED FOR PERMIT</td><td>6/6/22</td></tr><tr><td>No.</td><td>Description</td><td>Date</td></tr></table>	17	REVISED PER CITY	8/19/25	16	REVISED PER CITY	6/6/25	15	REVISED PER CITY	10/16/24	14	REVISED PER CITY	7/22/24	13	REVISED PER CITY	9/29/24	12	REVISED PER CITY	10/16/24	11	ISSUED FOR PERMIT	6/6/22	No.	Description	Date
17	REVISED PER CITY	8/19/25																												
16	REVISED PER CITY	6/6/25																												
15	REVISED PER CITY	10/16/24																												
14	REVISED PER CITY	7/22/24																												
13	REVISED PER CITY	9/29/24																												
12	REVISED PER CITY	10/16/24																												
11	ISSUED FOR PERMIT	6/6/22																												
No.	Description	Date																												

**INTERGOVERNMENTAL AGREEMENT  
BETWEEN THE CITY OF GENEVA AND THE CITY OF ST. CHARLES  
FOR CONSTRUCTION AND JURISDICTION OF DIVISION STREET FROM ITS  
INTERSECTION WITH KIRK ROAD (KANE COUNTY) TO A POINT 460 FEET EAST  
(ST. CHARLES)**

This Agreement entered into this \_\_\_\_ day of \_\_\_\_\_, 2025 by and between the City of Geneva, a municipal corporation of the State of Illinois (hereinafter “GENEVA”), and the City of St. Charles, a municipal corporation of the State of Illinois (hereinafter “ST. CHARLES”). GENEVA and ST. CHARLES are sometimes hereinafter collectively referred to as the “PARTIES.”

**WITNESSETH**

**WHEREAS**, the Illinois Constitution of 1970, Article VII, Section 10 and 5 ILCS 220/1 *et seq.* authorizes ST. CHARLES and GENEVA to cooperate in the performance of their respective duties and responsibilities by contract and other agreements; and

**WHEREAS**, GENEVA and ST. CHARLES are “units of local government,” as defined by Article VII, Section 1, of the Constitution of the State of Illinois and are authorized to contract and agree with one another on matters of mutual concern; and

**WHEREAS**, Division Street, an east-west roadway, at its centerline, has been the corporate boundary line separating ST. CHARLES and GENEVA; and

**WHEREAS**, GENEVA has approved a preliminary plan proffered by Antunes (hereinafter the “Developer”) for the Bullock Campus (“hereinafter the “Project”) for an Industrial Development located southeast of the intersection of Kirk Road and Division Street, within the corporate limits of Geneva, Illinois, legally described in Exhibit “A”, attached hereto; and

**WHEREAS**, GENEVA and ST. CHARLES propose to install public improvements (as hereinafter defined) for the extension of Division Street from its intersection with Kirk Road to a point 1250 feet east, with the westerly 460 feet thereof included within the corporate limits of City of St. Charles, which will include all public improvements and other work required for the Project; and

**WHEREAS**, right-of-way for the proposed extension of Division Street and associated improvements will be dedicated to the public as shown in the attached Exhibit “B”—Plat of Dedication for the ST.CHARLES portion and Exhibit “C”—Plat of Subdivision for Bullock Campus for the GENEVA portion; and



**WHEREAS** a small portion of the roadway right-of-way (westerly 460 feet), located in the northeast quadrant of the intersection of Kirk Road and the eastern extension of Division Street, will be within the corporate limits of the City of St. Charles; and

**WHEREAS**, the remainder and majority of the roadway right-of-way will be within the corporate limits of the City of Geneva; and

**WHEREAS**, upon completion and acceptance of the public improvements for Division Street extended, GENEVA will have jurisdiction of Division Street from Kirk Road extended easterly, including that portion of right-of-way located within the City of St. Charles, to the terminus of Division Street as depicted on Exhibit "C"; and

**WHEREAS**, GENEVA and ST. CHARLES find that the Project will be of immediate benefit to the citizens of GENEVA and ST. CHARLES and will facilitate the safe and efficient movement of traffic and pedestrians .

**NOW, THEREFORE**, in consideration of the above preambles and the mutual promises and covenants contained herein and for other good and valuable consideration, the sufficiency of which is agreed to by the parties hereto, GENEVA and ST. CHARLES covenant, agree and bind themselves as follows, to wit:

1. The above recitals are hereby incorporated into this Agreement as if fully set forth in this paragraph 1.
2. ST. CHARLES hereby transfers its jurisdictional authority to GENEVA for that portion of the Division Street right-of-way that is located within the City of St. Charles as depicted on the Plat of Dedication (Kane County Document Recording Number: \_\_\_\_\_) attached hereto at Exhibit "B."
3. GENEVA's jurisdiction of the Division Street right-of-way lying east of Kirk Road shall include jurisdiction over traffic control and enforcement of applicable motor vehicle laws and regulations, as well as responsibility for the maintenance, repair and renewal of public utilities such as electric, telephone, fiber optics, and stormwater facilities.
4. GENEVA shall act as the lead agency for construction for the Project, as further defined in the Agreement. GENEVA shall be responsible for the prosecution of the Project, including but not limited to approval of final engineering design, construction observation, materials testing, and maintenance of the public improvements, with the exception of the bike trail. Construction techniques and procedures will be in conformance with the Project plans and specifications, as approved by GENEVA and in accordance with the applicable Geneva City Code and, as applicable Kane County Department of Transportation ("KDOT") regulations. ST. CHARLES, will not be a party to any construction contract will not have any financial obligations for the Project or to GENEVA.
5. ST. CHARLES waives all rights to review and approve all engineering plans, specifications, construction contracts, and change orders that pertain to the Project.

GENEVA shall provide copies of any engineering plans, specifications, and Record Drawings to ST. CHARLES if requested.

6. GENEVA shall require all contractors, consultants, and engineers to name ST. CHARLES, its officer (elected and appointed), agents, officers and employees, as additional insureds on all insurance policies, except the worker's compensation policy and any professional liability policy.
7. GENEVA shall administer the construction Project in the best interest of both municipalities and shall keep the ST. CHARLES' Community Development Director apprised regarding the progress of the Project. Notwithstanding the foregoing to the contrary, ST. CHARLES may have a representative on-site to observe the work during the construction phase of the Project.
8. Unless otherwise agreed by the parties, ST. CHARLES is permitted to grant a full vehicular access at the most western point of the Project subject to the recommendations of a traffic study and engineering standards. GENEVA shall not require any municipal impact or access fee or recapture payment in connection with the construction this access point to property north of the Project.
9. This Agreement shall not modify the terms or conditions of any boundary agreement by and between GENEVA and ST. CHARLES.
10. This Agreement shall be effective upon approval the corporate authorities of GENEVA and ST. CHARLES.
11. The failure of any party hereto, at any time, to insist upon performance or observation of any term, covenant, agreement, or condition contained herein shall not in any manner be construed as waiver of any right to enforce any term, covenant, agreement, or condition herein contained.
12. This Agreement shall inure to the benefit of the parties hereto successors and assigns.
13. This Agreement represents the entire agreement between the parties. No oral changes or modifications of this Agreement shall be permitted or allowed. Changes or modifications to this Agreement shall be made only in writing and upon necessary and proper signature of both parties.
14. In the event that any provisions of this Agreement shall be held invalid or unenforceable by a court of competent jurisdiction, such holding shall not invalidate or render unenforceable any other provisions hereto.
15. This Agreement shall be governed, interpreted and construed in accordance with the laws of the State of Illinois. The forum for any legal disputes between the parties shall be the Circuit Court for the 16<sup>th</sup> Judicial Circuit, Kane County, Illinois.

Dated at Geneva, Illinois this \_\_\_\_ day of \_\_\_\_\_, 2025.

**CITY OF ST. CHARLES**

**ATTEST:**

By: \_\_\_\_\_  
Mayor, City of St. Charles

By: \_\_\_\_\_  
City Clerk, City of St. Charles

**CITY OF GENEVA**

**ATTEST:**

By: \_\_\_\_\_  
Mayor, City of Geneva

By: \_\_\_\_\_  
City Clerk, City of Geneva

## **EXHIBIT "A"**

### LEGAL DESCRIPTION

THAT PART OF THE NORTH FRACTIONAL HALF OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE POINT OF INTERSECTION OF THE CENTER LINE OF KIRK ROAD WITH THE NORTHERLY RIGHT-OF-WAY LINE OF THE FORMER CHICAGO, AURORA AND ELGIN RAILROAD COMPANY (NOW COMMONWEALTH EDISON COMPANY); THENCE SOUTH 85 DEGREES 44 MINUTES 51 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE 1370.58 FEET; THENCE NORTH 0 DEGREES 20 MINUTES 46 SECONDS WEST 466.22 FEET; THENCE NORTH 2 DEGREES 12 MINUTES 40 SECONDS EAST 592.68 FEET TO THE SOUTH LINE OF THE NORTH HALF OF THE NORTHEAST FRACTIONAL QUARTER OF SAID SECTION FOR A POINT OF BEGINNING; THENCE SOUTH 2 DEGREES 12 MINUTES 40 SECONDS WEST ALONG THE LAST DESCRIBED COURSE 592.68 FEET; THENCE NORTH 88 DEGREES 29 MINUTES 46 SECONDS WEST 1302.62 FEET TO THE EASTERLY LINE OF THE RIGHT-OF-WAY OF KIRK ROAD (BEING 50.0 FEET EASTERLY OF SAID CENTER LINE, MEASURED AT RIGHT ANGLES AND RADially THERETO); THENCE NORTHERLY ALONG SAID EASTERLY LINE 1874.91 FEET TO THE NORTH LINE OF THE NORTHWEST FRACTIONAL QUARTER OF SAID SECTION 1; THENCE NORTH 89 DEGREES 09 MINUTES 29 SECONDS EAST ALONG SAID NORTH LINE 1264 FEET TO THE NORTHEAST CORNER OF SAID NORTHWEST FRACTIONAL QUARTER THENCE SOUTH 00 DEGREES 46 MINUTES 09 SECONDS WEST ALONG THE EAST LINE OF SAID NORTHWEST FRACTIONAL QUARTER 1335.13 FEET TO THE SOUTHEAST CORNER OF THE NORTH HALF OF SAID NORTHWEST FRACTIONAL QUARTER; THENCE NORTH 89 DEGREES 07 MINUTES 08 SECONDS EAST ALONG THE SOUTH LINE OF THE NORTH HALF OF SAID NORTHEAST FRACTIONAL QUARTER 24.72 FEET TO THE POINT OF BEGINNING IN GENEVA TOWNSHIP, KANE COUNTY, ILLINOIS

EXCEPTING THERE FROM, THOSE PORTIONS CONVEYED TO THE COUNTY OF KANE, A BODY POLITIC BE DEED DATED MAY 13, 1996 AND RECORDED AUGUST 15, 1996 AS DOCUMENT 96K058349.

PINS: 12-01-100-044 AND 12-01-100-045

**EXHIBIT “B”**

Plat of Dedication

DRAFT





**EXHIBIT “C”**

Plat of Subdivision for Bullock Campus

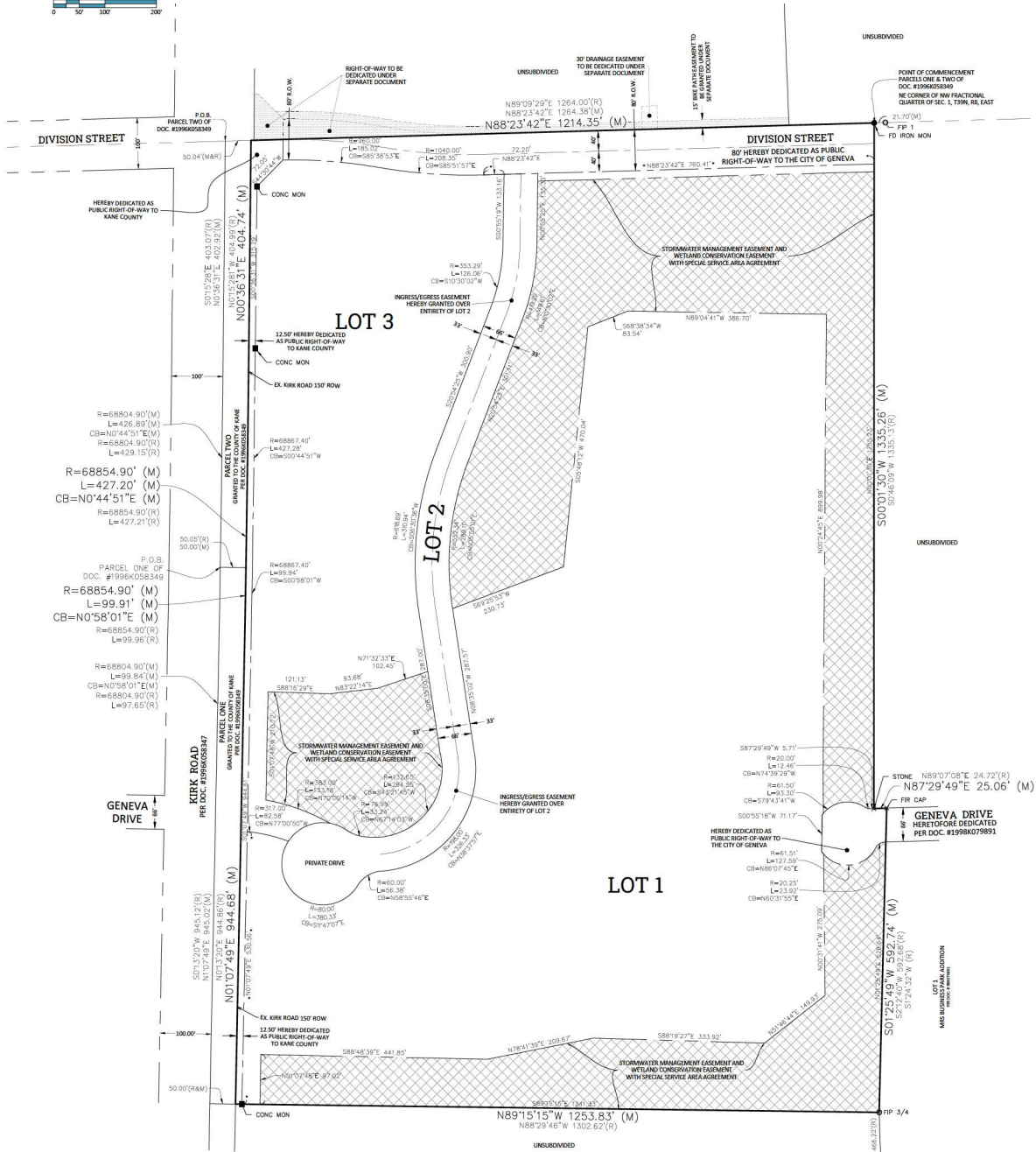
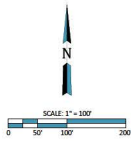
DRAFT

# PLAT OF SUBDIVISION OF BULLOCK CAMPUS

PART OF THE NORTH FRACTIONAL HALF OF SECTION 1, TOWNSHIP 39  
NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN

KANE COUNTY RECORDER

FW 12-01-100-044  
12-01-100-045



## AREA TABLE

LOT 1 - 1,606,386.82 ±
LOT 2 - 117,789.75 ±
LOT 3 - 495,786.86 ±
TOTAL - 2,218,763.53 ±

## LEGEND

	BOUNDARY LINE
	EASEMENT
	STORMWATER AND WETLAND EASEMENT AREA
	RIGHT-OF-WAY
	LOT LINES
	SECTION LINE
	(M) MEASURED
	(R) RECORD
	P.U.E. PUBLIC UTILITY EASEMENT

SHEET 1

WEAVER CONSULTANTS GROUP  
1000 N. KIRK ROAD, SUITE 100  
GENEVA, ILLINOIS 60135  
TEL: 630.261.1000  
WWW.WEAVERCONSULTANTS.COM

**Weaver Consultants Group**

No.	DATE	REVISION DESCRIPTION
1	10/10/2024	REVISED EASEMENTS
2	10/20/2024	REVISED PRIVATE ROAD
3	11/14/2024	REVISED EASEMENTS, REVISED PER ATTORNEY
4	11/14/2024	REVISED PER ATTORNEY
5	11/14/2024	REVISED PER ATTORNEY

**PLAT OF SUBDIVISION  
BULLOCK CAMPUS**  
KIRK ROAD AND DIVISION STREET  
GENEVA, ILLINOIS

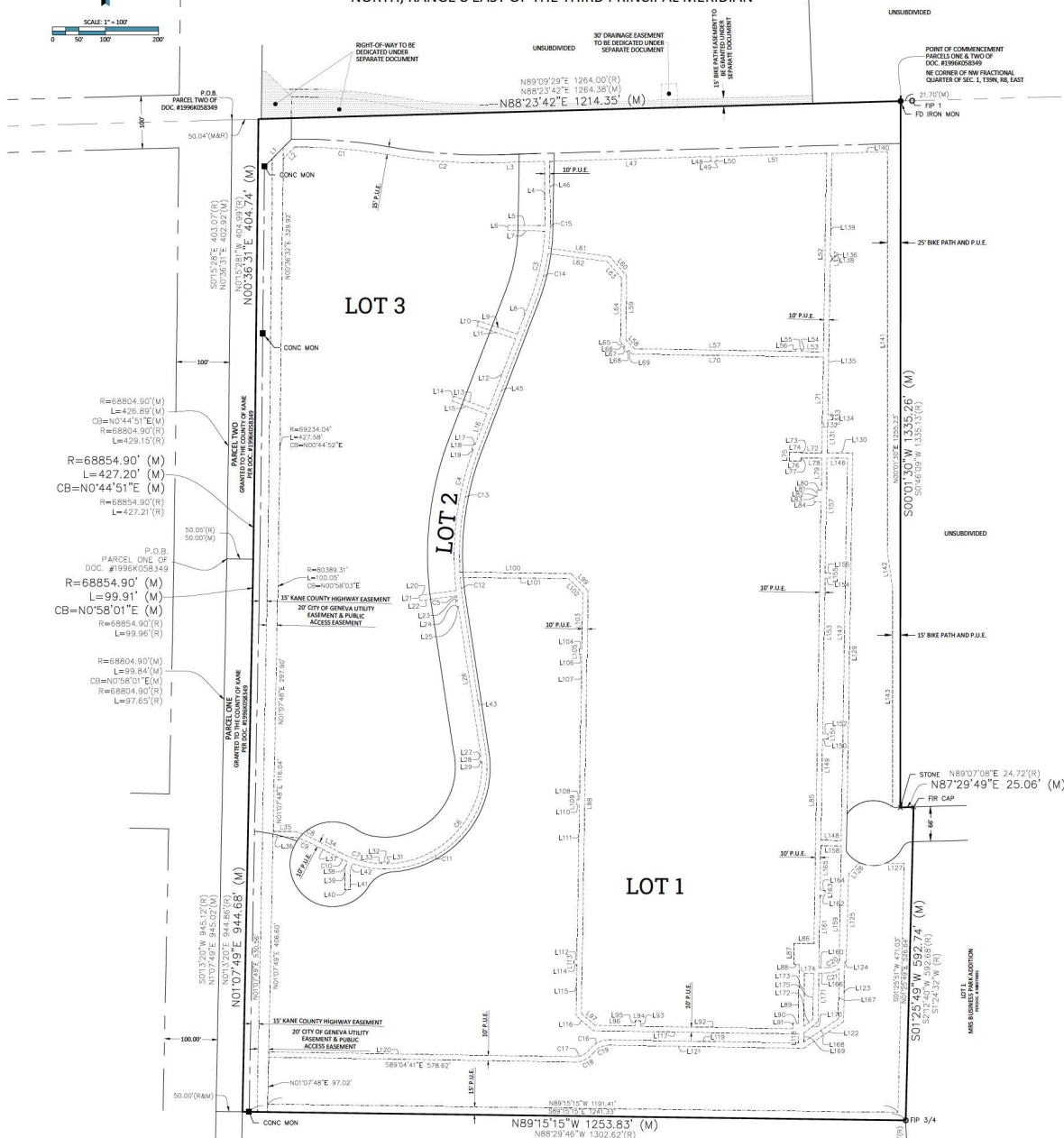


PREPARED FOR:  
**JACOB & HEFNER  
ASSOCIATES**



# PLAT OF SUBDIVISION OF BULLOCK CAMPUS

PART OF THE NORTH FRACTIONAL HALF OF SECTION 1, TOWNSHIP 39  
NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN




**LEG**



LINE TABLE			LINE TABLE			LINE TABLE			LINE TABLE			LINE TABLE			LINE TABLE			CURVE TABLE							
LINE#	LENGTH	DIRECTION	LINE#	LENGTH	DIRECTION	LINE#	LENGTH	DIRECTION	LINE#	LENGTH	DIRECTION	LINE#	LENGTH	DIRECTION	LINE#	LENGTH	DIRECTION	CURVE#	ARC LENGTH	RADIUS	CORRO DIRECTION	CORRO LENGTH			
12	31.05	N43°04"E	127	2.39	S84°50"W	155	10.00	N89°04"W	180	7.64	N89°04"W	1308	5.00	N89°04"W	1335	290.69	N50°54"E	1362	9.66	N50°54"E	C1	176.04	945.00	5077°48"E	175.79
13	86.59	N83°24"E	128	1.00	S00°00"E	156	5.00	S00°00"E	181	11.59	S00°00"E	1309	10.00	N89°04"W	1336	2.50	N89°04"E	1363	10.00	N89°04"E	C2	211.35	105.00	589°51"E	211.00
14	121.83	S00°34"E	129	2.39	N85°04"E	157	305.08	N89°04"W	182	5.70	N89°04"W	1310	5.00	S89°04"E	1337	10.00	N45°54"E	1364	8.66	N45°54"E	C3	131.66	425.00	511°24"W	131.00
15	10.00	N85°56"E	131	3.24	N00°54"W	158	24.14	N40°04"W	183	10.00	S00°00"W	1311	292.03	N00°53"W	1338	2.50	N89°04"W	1365	18.15	N89°43"E	C4	270.98	576.38	S06°52"E	268.49
16	30.00	S00°02"W	132	10.00	S89°14"E	159	159.88	N00°55"E	184	13.41	S89°00"E	1312	5.00	N89°04"W	1339	19.03	N45°54"E	1366	15.58	N48°00"E	C5	10.01	1020.67	S07°14"E	10.01
17	49.88	S89°01"E	133	4.00	N84°13"E	160	4.00	N84°13"E	185	18.43	S00°00"W	1313	5.00	S00°00"W	1340	94.67	S00°00"W	1367	14.00	S00°00"W	C6	28.60	14.00	S00°00"W	28.60
18	1.88	S25°54"E	134	44.97	N00°00"E	161	18.36	N00°00"E	186	3.36	N00°00"E	1314	5.00	N89°04"E	1341	73.13	N00°00"W	1368	78.86	S00°00"E	C7	80.89	18.27	S00°00"E	80.89
19	77.27	N71°33"W	135	43.72	N89°04"E	162	113.20	N87°17"E	187	40.00	S00°00"E	1315	95.55	S00°00"E	1342	69.80	S00°12"E	1369	16.57	N00°55"E	C8	45.46	322.93	N66°50"E	45.46
20	10.00	S16°02"E	136	42.17	S89°04"E	163	41.00	S47°10"E	188	30.01	N00°00"E	1316	43.14	S49°14"E	1343	71.00	S00°00"W	1370	34.66	N00°55"E	C9	48.56	322.93	S66°51"E	48.56
21	76.88	S71°33"E	137	44.90	S00°30"E	164	120.32	S00°00"W	189	111.63	S00°00"W	1317	36.97	S00°25"W	1344	38.88	N89°28"E	1371	91.77	N00°54"E	C10	38.88	192.00	N00°02"E	38.88
22	142.28	S23°25"E	138	13.79	S20°00"W	165	12.68	S47°04"E	190	10.53	S89°04"E	1318	16.51	N89°04"E	1345	72.18	S00°19"E	1372	21.74	S51°12"E	C11	199.60	192.00	N89°04"E	199.60
23	70.00	N89°00°35"W	139	10.00	N90°00"E	166	5.00	S45°53"W	191	10.00	S00°00°35"W	1319	57.69	N89°04"E	1346	38.39	N89°21°38"E	1373	19.93	N89°00°35"E	C12	47.53	608.06	N86°04°35"E	47.53
24	10.00	S23°25"E	141	38.51	N00°00"E	167	10.00	S47°04"E	192	28.54	N89°04"E	1321	368.52	S89°04"E	1349	39.33	N00°54"E	1374	17.57	N89°00°35"E	C13	239.73	572.54	N89°00°35"E	239.73
25	10.00	S00°00°35"E	142	11.99	N00°00°35"E	168	10.00	S47°04"E	193	34.66	N89°04"E	1322	37.17	N89°00°35"E	1350	17.57	N89°00°35"E	1375	16.69	S06°52"E	C14	10.00	45.46	N89°00°35"E	45.46
26	63.62	S23°25"E	143	10.00	S00°00°35"E	169	10.00	S47°04"E	194	34.66	N89°04"E	1323	112.57	N89°00°35"E	1351	10.00	N00°55"E	1376	10.00	N00°55"E	C15	10.00	45.46	N00°55"E	10.00
27	3.01	N89°04"E	145	29.38	N00°54"E	170	361.16	S89°04"E	195	30.03	S89°04"E	1324	3.12	S89°28"E	1352	9.69	N89°04"W	1377	10.00	N89°04"W	C16	44.26	47.00	S06°52"E	44.26
28	10.00	S20°46°21"W	146	113.88	N00°54"W	171	181.09	S00°54"W	196	75.08	N89°04"E	1325	36.90	N00°53"E	1353	294.47	N00°54"E	1378	31.00	33.00	S65°52°39"W	29.94			
29	3.15	S69°13"E	147	304.92	N88°23°42"E	172	39.58	S89°30"W	197	34.84	N89°14°00"W	1326	166.38	N45°25"E	1354	9.73	S89°04"E	1379	40.00	33.00	N00°52°29"E	39.02			
30	70.11	S67°38"E	148	9.38	S01°56"E	173	1.88	N00°00"E	198	796.42	N00°55"E	1327	33.73	S89°50"E	1355	10.00	N00°55"E	1380	34.85	37.00	N66°56°29"E	35.57			
31	10.00	S67°23°32"E	149	10.00	N88°23°42"E	174	21.24	N89°00"E	199	46.49	N41°13°39"E	1328	682.88	N00°55°18"E	1356	9.73	N89°04°11"W	1381	27.23	26.43	S09°15°29"E	26.04			
32	70.05	N87°30°28"E	150	9.38	N89°00°18"W	175	16.60	S00°00"E	200	120.11	N89°03°37"W	1329	48.49	S89°30°39"E	1357	216.63	N00°54°56"E	1382	34.85	37.00	N66°56°29"E	35.57			
33	3.88	S69°00°18"E	151	10.00	S89°23°42"E	176	21.24	N89°00"E	201	16.60	S00°00"E	1330	48.49	S89°30°39"E	1358	216.63	N00°54°56"E	1383	34.85	37.00	N66°56°29"E	35.57			
34	10.00	S69°00°18"E	152	294.90	S00°54"E	177	4.72	N89°00"E	202	10.00	S00°00"E	1331	48.49	S89°30°39"E	1359	9.76	N89°04°11"W	1384	27.23	26.43	S09°15°29"E	26.04			
35	4.00	N81°20°52"E	153	41.94	N89°00°18"E	178	39.34	S89°30°39"E	203	10.00	S00°00"E	1332	10.00	S00°00"E	1360	36.20	S89°02°30"E	1385	10.00	S89°02°30"E	C17	23.73	36.43	N00°57°38"E	23.31
36	286.75	S89°33°44"E	154	5.00	N00°55°19"E	179	69.90	S00°00°18"E	204	10.00	S00°00"E	1333	9.76	N89°04°11"W	1361	137.17	N00°54°52"E								






 CITY OF ST. CHARLES ILLINOIS • 1834	<b>AGENDA ITEM EXECUTIVE SUMMARY</b>		Agenda Item number: 4i
	Title:	Recommendation to approve a Plat of Dedication and Plat of Easement for Division Street extension east of Kirk Rd.	
	Presenter:	Russell Colby, Community Development Director	
<b>Meeting:</b> Planning & Development Committee		<b>Date:</b> September 8, 2025	
<b>Proposed Cost:</b> \$		<b>Budgeted Amount:</b> \$	<b>Not Budgeted:</b> <input type="checkbox"/>
<b>TIF District:</b> None			
<b>Executive Summary</b> (if not budgeted, please explain):  The attached Plat of Dedication is for the Division Street extension that is subject of the preceding Intergovernmental Agreement agenda item. Per the IGA, this portion of dedicated right-of-way would be transferred to City of Geneva jurisdiction.  In addition to the Plat of Dedication, a Plat of Easement has also been provided for a drainageway that crosses from the north under the St. Charles Park District Bike Path before entering Division Street right-of-way in Geneva. This easement protects the drainageway from grade changes and grants the City the right to enter and modify the drainageway if necessary.			
<b>Attachments</b> (please list): Plat of Dedication, Plat of Easement			
<b>Recommendation/Suggested Action</b> (briefly explain): Recommendation to approve a Plat of Dedication and Plat of Easement for Division Street extension east of Kirk Rd.			







	<b>AGENDA ITEM EXECUTIVE SUMMARY</b>		Agenda Item number: 4j
	Title:	Authorization for City staff to release a Request for Proposals for 122 S. 2 <sup>nd</sup> St. (Lot 4 Building 8)	
	Presenter:	Derek Conley	
Meeting: Planning & Development Committee		Date: September 8, 2025	
Proposed Cost: NA		Budgeted Amount: \$	Not Budgeted: <input type="checkbox"/>
<b>Executive Summary</b> <i>(if not budgeted please explain):</i>  <p>As part of the original Planned Unit Development in 2006, the City-owned Building 8 lot located at the northeast corner of Illinois Street and 2<sup>nd</sup> Street represents the final phase of the First Street Redevelopment. The City is seeking to issue a Request for Proposals (RFP) to identify a qualified developer that will provide a development that aligns with the City's vision for the final portion of the First Street project.</p> <p>The lot is approximately .13 acres and is located in the CBD-1 Central Business Zoning District, as well as the Downtown Overlay Zoning District, which reserves first floor spaces for businesses that are expected to generate pedestrian activity. The lot is also located within the City's Historic District, and exterior architectural plans will be subject to the review and approval of the Historic Preservation Commission. City utilities (water, sanitary sewer, electric) are available at or adjacent to the building lot. The RFP expresses the City's interest in a development that features commercial use on the first floor with residential or office on the upper floors; however, staff is open to ideas or alternative direction from the City Council.</p> <p>Interested developers will submit developer background information, examples of similar projects completed, project narrative, preliminary building drawing or renders, construction schedule, and other basic information. The City completed an appraisal for the property, which is estimated to be valued at \$340,000. The RFP will allow developers to offer to purchase the property as part of the RFP application.</p> <p>A tentative timeline for the selection process for a developer is as follows:</p> <ul style="list-style-type: none"> <li>• Submission of proposals due December 12, 2025</li> <li>• Evaluation of proposals by City staff and selection of a shortlist to be completed by December 19, 2025</li> <li>• Interviews of shortlisted developers conducted January 5-January 9, 2026</li> <li>• Selection of finalists expected by January 16, 2026</li> <li>• Presentation by finalists expected by early February 2026</li> <li>• Development Agreement expected to be initiated by Spring 2026</li> </ul>			
<b>Attachments</b> <i>(please list):</i> Building 8 Lot 4 Request for Proposals			
<b>Recommendation/Suggested Action</b> <i>(briefly explain):</i> Motion to authorize City staff to release a Request for Proposals for the City-owned property at 122 S. 2 <sup>nd</sup> St. (Lot 4 Building 8 of the First Street Redevelopment Area).			



## **Request for Proposals**

**Due December 12, 2025**

**For the development of:**

**First Street Redevelopment**

**Building 8 Lot**

**122 S 2<sup>nd</sup> Street**

**City of St. Charles, Illinois**



## **I. Executive Summary**

The City of St. Charles is seeking proposals from qualified developers to construct a development on a lot within the First Street Redevelopment Project in downtown St. Charles. The City desires a development that will extend the character of the adjacent First Street project and will complement the surrounding downtown area.

Plans for the lot were approved as a part of a larger Planned Unit Development in 2006. The plans contemplated three to four-story buildings, with first floor commercial uses and upper-level office and residential uses. Preliminary architectural drawings were also presented. Given the evolution of the project, other changes in the downtown area, and changes in the development market, the City is open to entertaining new concepts for these properties. In particular, the City is seeking to add additional residential units to better balance the mix of uses in the overall First Street project.

The intent of this Request for Proposals is to identify a qualified developer with appropriate plans that meet the City's interests for completion of the First Street Redevelopment. The City intends to solicit interest and select the developer that best meets the qualifications of this request, with the intent to enter into a Development Agreement with the selected developer and initiate construction in Summer 2026 and 2027

## **II. Background/Introduction**

The City of St. Charles, IL, located in Kane and DuPage Counties, is 34 miles directly west of Chicago, with a population of approximately 33,000. The City's historic downtown is located at its geographic center along the banks of the Fox River. The First Street Redevelopment project is located at the center of downtown St. Charles and is generally bounded by Main Street (Illinois Route 64) to the north, 2nd Street (Illinois Route 31) to the west, the Fox River to the east, and Prairie Street to the south.

Planning for the First Street Redevelopment began in the late 1990s through the creation of visionary planning documents. The City identified that the First Street corridor was underutilized and represented a significant opportunity to create a critical mass of mixed-use infill development to complement the city's historic Main Street and riverfront. The vision of First Street is a mixed-use, pedestrian-oriented environment that will attract patrons, residents, businesses, and visitors to enjoy the built and natural amenities of downtown St. Charles. The initial phases have been successful in achieving this vision.

The project began construction in 2007, and Phases I and II were completed in 2009. These phases included demolition of existing buildings, creation of new public infrastructure, the construction of mixed-use Building 7A (BMO Harris Bank and apartments), and Building 4, a large structure comprised of 4 stories, with retail (1st floor), office (2nd – 4th floors) and 400 public parking spaces. New public streetscape and open space enhancements were provided around the buildings to foster the desired pedestrian environment for First Street.

Phase III of the project began in 2015, which focused on the property located east of First Street and north of Illinois Street, along the Fox River. This phase included three mixed-use buildings with a 110-space public parking deck, a public plaza and a bi-level riverwalk. The buildings are comprised of a mix of retail, office, and residential. Other recent improvements include the construction of First Street Plaza, a community gathering space, outdoor dining area, and local event space, and the opening of Whole Foods this summer.

The remaining Building 8 lot represents the final phases of the project. The City is seeking to capitalize on the current momentum and is seeking developers to partner with the City to complete the project.

More general information on the project can be found on the project website (to be inserted).

### **III. Site Information**

The building lot is owned by the City of St. Charles and is being offered “AS-IS”, “WHERE-IS”, without representation or warranty and the selected developer, in all regards, shall be responsible for all due diligence to satisfy itself as to the lot’s physical and economic condition.

The Building 8 lot is located at the northeast corner of Illinois Street and 2<sup>nd</sup> Street (Illinois Route 31). The Building 8 parcel is currently planted with turf grass. The parkway along the Building 8 lot, adjacent to 2<sup>nd</sup> St., is improved with a permanent sidewalk. The parking adjacent to Illinois Street is improved with a temporary/interim sidewalk. The parcel was planned to accommodate a building pad only.

### **IV. Development Information**

#### Zoning

The property is located in the CBD-1 Central Business Zoning District. The Building 8 lot is also located in the Downtown Overlay Zoning District, which reserves first floor spaces for businesses that are expected to generate pedestrian activity. The CBD-1 zoning regulations in Chapter 17 of the municipal code on the City’s website: [https://library.municode.com/il/st.\\_charles/codes/code\\_of\\_ordinances?nodeId=TIT17ZO](https://library.municode.com/il/st._charles/codes/code_of_ordinances?nodeId=TIT17ZO)

#### Chapter 17.14.010 - Purpose Statement

*CBD-1 Central Business District.* The purpose of the CBD-1 Central Business District is to provide for the maintenance and orderly growth of a mixed-used, pedestrian friendly, compact district of retail, service, office, and higher density residential uses in the central area of the City. Development within the CBD-1 District is intended to promote the upgrade and full utilization of existing older structures as well as appropriate redevelopment.

The lot is within the 2006 First Street Redevelopment PUD. A summary of the First Street PUD regulations applicable to the lots is attached. The City is open to considering other uses based on market conditions. Plans for the development of each building lot were approved in 2006. Information and copies of the approved plan documents are attached for reference.

### Building Design Guidelines

- Additionally, the Zoning Ordinance contains Design Standard and Guidelines for the CBD-1 zoning district in 17.06.040. Link: <https://tinyurl.com/mr2ey6rm>
- The Building 8 lot is located within the City's Historic District. Exterior architectural plans are subject to the review and approval of the Historic Preservation Commission.

### Parking

The properties are located in the City's Special Service Area 1A, which provides for the maintenance of public parking to serve the downtown. From a code compliance standpoint, new buildings or uses within this SSA are not required to provide off-street parking.

At the northwest corner of Illinois and First Street, adjacent to Building 8 lot, is a 400+ space public parking deck. A smaller 110-space parking deck is located at the northeast corner of the intersection. A number of other smaller surface lots exist in the vicinity.

### TIF District

The Building 8 lot is located in the First Street Redevelopment TIF district (2002). The TIF district was established primarily to fund improvements to make the building parcels developable, including the costs of reconstructing roads and infrastructure serving the lots. These improvements have been completed. The City does not believe there are extraordinary costs associated with the site, and a financial incentive is not necessary to support its development.

### Utility Information

City utilities (water, sanitary sewer, electric) are available at, or adjacent to the building lot.

The electric distribution system was generally sized based upon the building size and uses shown on the 2006 plans and may require upgrades or relocations depending on the design and service needs of the proposed buildings.

The following information is provided on a preliminary basis only for reference:

- Watermain is located along the Illinois Street frontage (in the parkway)
- Sanitary Sewer is located along the First Street frontage and Illinois Street frontage.
- This building has access to an electric transformer located east of the lot.

## **V. The City's Interests**

*The City has identified the following primary interests with respect to the remaining phases of the First Street project:*

- Market-responsive uses in the building, with a preference for commercial use on the street level, and a preference for residential uses on the upper levels.
- Quality architectural designs that complement the surrounding development.
- Building square footage that meets or exceeds the overall square footage of the 2006 plans.

To accomplish these interests, the City will entertain:

- Modifications to building height or placement.
- Changes to the PUD restrictions. Such as:
  - Changes to the first-floor use mix, which may vary by building.
  - Changes to building height. A total height of 55 ft. would be comparable to surrounding buildings. The City is open to considering more variation in the building height based on a specific building design.
- The incorporation of public or private parking to serve the building.

The City is seeking the developer to:

- Complete any necessary environmental remediation.
- Install remaining public streetscape improvements based upon designs consistent with other areas of the First Street project.
  - The cost of the Building 8 lot streetscape improvements has not been estimated, but these improvements will be primarily hardscape sidewalks and landscaping.
- Pay all customary permit and impact fee costs, including:
  - Building Permit fees.
  - School and park land-cash dedications for residential units.
  - Utility connection fees.
  - Kane County Department of Transportation Impact fees.

## **VI. Submission Requirements**

Five physical copies and an electronic copy of the proposal, to include the following information:

1. Names, address and contact information for developer.
2. Information regarding the developer entity, including disclosure of officers or members.
3. Information regarding any potential conflicts of interest, including any relationship to any City official or staff member.
4. Identification of members of the developer's team, including engineers, architects or contractors.

5. Information regarding previous similar project experience, with specific examples, and information regarding public financial assistance for the projects.
6. Plans for long-term ownership and management of the building.
7. Narrative description of the design intent for the project and the target market for commercial and residential tenants.
8. Preliminary level plans for the building, including:
  - a. Scaled site plan showing building footprint and any other improvements on the lot, with a concept layout for streetscape or other public space improvements on the lot or within the adjacent street right-of-way.
  - b. Scaled preliminary floor plans for each level of the building, with uses identified (Configuration of the interior of individual units is not necessary)
  - c. Scaled preliminary level architectural elevations for all sides of the building, with colors and materials identified.
  - d. Scaled cross sections of the building, with ceiling and building height labelled.
  - e. Tabulation of the square footage and unit counts for uses within the building.
9. Project schedule for initiating and completing construction.
10. Proposed purchase price or indication if the property is expected to be conveyed at no cost.
11. Projected construction value.
12. Suggested business terms for the Development Agreement.

## **VII. Developer Selection Process**

The selection process will include the following steps:

1. Submission of proposals (Proposals due Friday, December 12, 2025)
2. Prospective developers can submit questions to [procurement@stcharlesil.gov](mailto:procurement@stcharlesil.gov) by October 10.
3. City staff will publish answers <https://www.stcharlesil.gov/bids-proposals> by October 17.
4. Evaluation of the proposals by City Staff, based upon the criteria identified herein. Selection of a shortlist of by City Staff. (Expected by December 19, 2025)



- a. Developers selected for the shortlist will be asked to provide additional financial information if needed as determined by the City, sufficient to demonstrate the developer's capacity to successfully undertake and complete the project.
  - b. Developers should be prepared to discuss conceptual terms of a development agreement.
5. Interviews of shortlist by City Staff. This interview may involve representatives of the City Council. (Expected Week of January 5 -January 9).
6. Selection of finalist(s). (Expected by January 16).
7. Presentation by the finalist(s) to the City Council or a City Council Committee (Expected by Week of February 9 or sooner if possible).
8. Direction from the City Council for City staff to proceed with negotiating a Development Agreement with the selected developer, based on the suggested business terms.

Note: the City shall not be obligated to accept a proposal and reserves the right to reject all proposals. The City also reserves the right to negotiate with a developer on the terms of the Development Agreement. The City is not responsible for any costs incurred by developers submitting or presenting proposals.

#### **VIII. Selection Criteria**

The City has identified the following criteria to evaluate responses to this Request for Proposals. The criteria are not assigned specific point values.

- Land use and impact on the downtown area and City
- Developer's track record for similar projects
- Financial ability to complete project
- Construction Schedule
- Construction value of buildings
- Need for City financial assistance
- Conformance with Design Guidelines

#### **IX. Project Approval Process After Selection**

The project approval process will require the following steps:

1. Developer submits plans for zoning entitlements for review and recommendation from the Historic Preservation Commission and Plan Commission (A public hearing before Plan Commission may be necessary if the PUD ordinance requires amendment).
2. Presentation of the zoning entitlement applications and a draft Development Agreement to the City Council or City Council Committee for approval.
3. Approval of the zoning entitlements and Development Agreement by City Council.

**X. Additional Information**

Contact Person:

Derek Conley  
Director of Economic Development  
City of St. Charles  
2 E. Main St.  
St. Charles, IL 60174

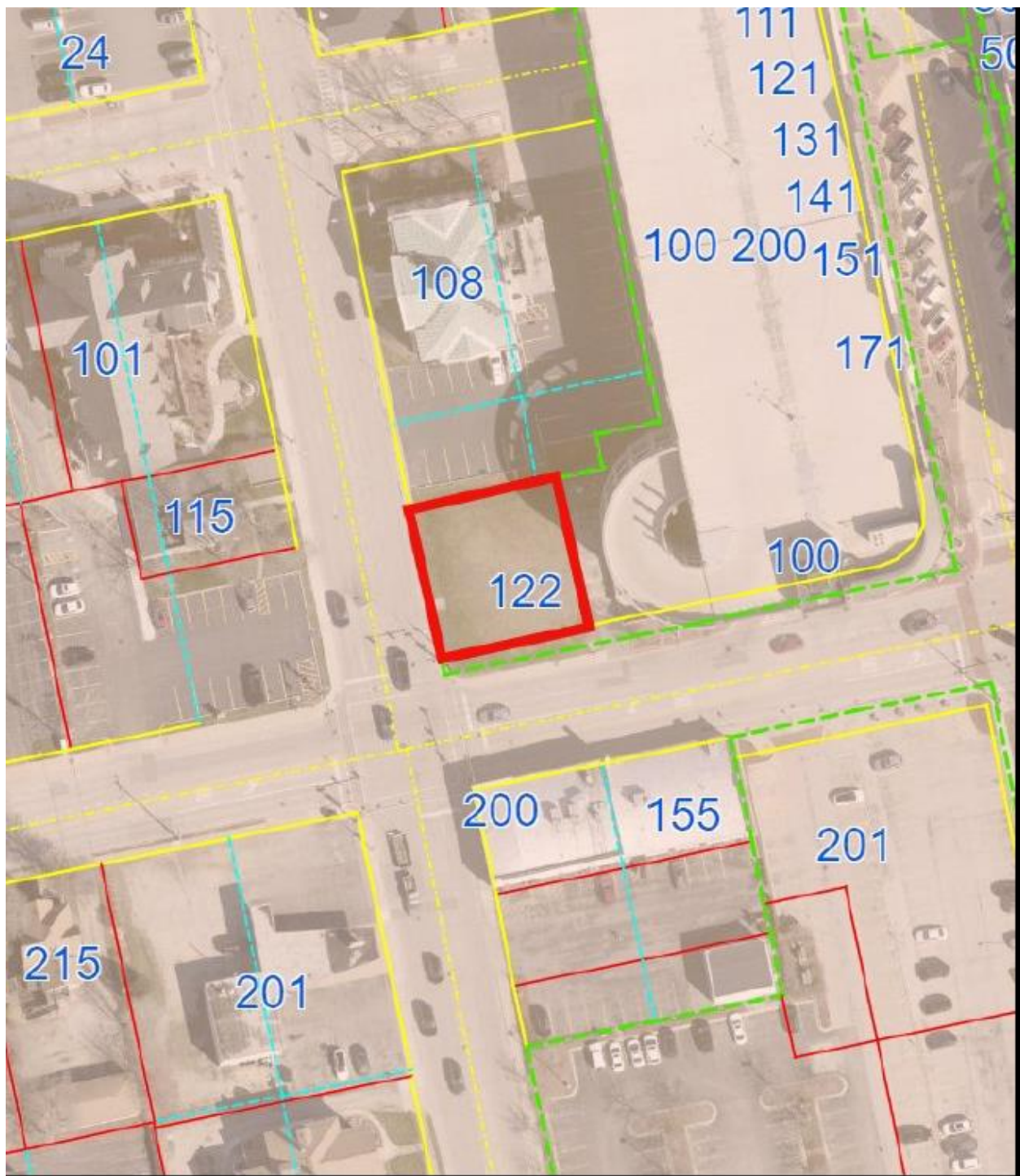
(630) 377-4443  
dconley@stcharlesil.gov

**XI. Exhibits**

1. General Site/Location Maps
2. First Street Redevelopment Subdivision
3. Proposed Building Drawing - 2006
4. No Further Remediation Letter from Illinois EPA
5. 2025 Appraisal
6. Water Utility Map
7. Sanitary Utility Map
8. Electric Service Map
9. Stormwater Utility Map



Exhibit 1: General Site/Location Map





## SCHOOL DISTRICT CERTIFICATE

STATE OF ILLINOIS

COUNTY OF KANE

THIS IS TO CERTIFY THAT \_\_\_\_\_ AS OWNER OF THE PROPERTY

DESCRIBED AS THE FIRST STREET REDEVELOPMENT SUBDIVISION AND LEGALLY DESCRIBED ON PLAT OF THE SAME NAME, HAVE DETERMINED TO THE BEST OF MY KNOWLEDGE THE SCHOOL DISTRICT IN WHICH EACH OF THE FOLLOWING LOTS LIES.

## LOT NUMBER(S)

3, 4, 13

## SCHOOL DISTRICTS

ELEMENTARY HIGH SCHOOL  
303 303

564943

Chicago Title Insurance Company  
1795 West Madison Street  
Geneva, IL 60134

## DRAINAGE CERTIFICATION

STATE OF IL

COUNTY OF KANE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF OR THAT IF SUCH SURFACE WATERS DRAINAGE WILL CHANGE, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSIONS OF SUCH SURFACE WATERS IN PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICE SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO ADJOINING PROPERTY RESULTING FROM THE CONSTRUCTION OF THE SUBDIVISION.

DATED AT ST. CHARLES, ILLINOIS, THIS 17th DAY OF June, 2007.

*Brian A. Townsend*  
OWNER OR ATTORNEY

## OWNER'S CERTIFICATE

STATE OF ILLINOIS

COUNTY OF KANE

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AND PLATTED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

THE OWNER HEREBY DEDICATES FOR PUBLIC USE THE LANDS SHOWN ON THIS PLAT FOR THOROUGHFARES, STREETS, ALLEYS, AND MUNICIPAL AND HEREBY ALSO RESERVES FOR THE COMMONWEALTH EDISON COMPANY, SBC/AMERTECH TELEPHONE COMPANY, NORTHERN ILLINOIS GAS COMPANY, AND THE CITY OF ST. CHARLES, ILLINOIS, THE EASEMENT PROVISIONS WHICH ARE STATED ON THEIR STANDARD FORM WHICH IS ATTACHED HERETO IF IT SO APPLIES.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2007.

## NOTARY CERTIFICATE

STATE OF ILLINOIS

COUNTY OF KANE

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID DO HEREBY CERTIFY THAT

PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS APPEARED BEFORE ME THIS DAY IN PERSON AND SEVERALLY ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ASSESSMENT PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL,

THIS 7th DAY OF JUNE, A.D. 2007.

MY COMMISSION EXPIRES

NOTARY PUBLIC

## PHASE II

## FIRST STREET REDEVELOPMENT SUBDIVISION

of

PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 27 AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION THIRTY-FOUR, TOWNSHIP FORTY NORTH, RANGE EIGHT EAST OF THE THIRD PRINCIPAL MERIDIAN, ALL IN KANE COUNTY, ILLINOIS.



2007K080494

SANDY WEGMAN  
RECORDER - KANE COUNTY, IL

RECORDED: 8/1/2007 3:32 PM  
REC.FEE: 64.00 RHSPS.FEE: 10.00  
PAGES: 2

## CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS

COUNTY OF KANE

ACCEPTED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS

THIS 21st DAY OF May, 2007.

BY:

*Deborah A. Smith*  
MAYOR

ATTEST:

*Christine Nilles*  
DEPUTY CITY CLERK

## CITY UTILITY EASEMENT PROVISIONS

A permanent easement is hereby granted to the City of St. Charles and to their successors and assigns, in, upon, across, over, under, and through the areas shown by dashed lines and labeled "VACATED WALNUT STREET" and all of Lot 13 on the plat of subdivision hereon drawn for the purpose of installing, constructing, inspecting, operating, replacing, renewing, repairing, enlarging, removing, repairing, cleaning, and maintaining underground electrical, cable television, communication, gas, telephone or other utility lines or appurtenances, sanitary and storm sewers, drainage ways, storm water detention and retention, water mains and any and all manholes, hydrants, pipes, connections, catch basins, buffalo boxes and without limitation, such other installations as may be required to furnish public utility service to adjacent areas together with the right of access across the real estate platted herein for the necessary personnel and equipment to make any or all of the above work (herein collectively referred to as "grantees"). The right is also hereby granted to said grantees to cut down, trim, or remove any trees, shrubs, or other plants that interfere with the operation of or access to said sewers, or, without limitation, utility installations in, on, upon or across, under, or through said easements. In the event any maintenance is performed within the utility easement, the City of St. Charles shall have no obligation with respect to surface restoration including, but not limited to, the restoration, repair, or replacement of any landscaping provided, however, the grantees shall be obligated following any such work, to backfill and mound so as to restore the original surface drainage, remove debris, and leave the area in generally clean and workable condition. Except as approved by the City of St. Charles, no permanent building or structures shall be placed on said easements, but the easement areas may be used for lawns, shrubs, landscaping, paving, fences, sidewalks, curbing, and other purposes that do not interfere with the aforesaid uses and rights.

## PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS

COUNTY OF KANE

ACCEPTED AND APPROVED BY THE PLAN COMMISSION OF THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

THIS 30th DAY OF April, 2007.

*John A. Cunningham*  
CHAIRMAN

## DIRECTOR OF PUBLIC WORKS CERTIFICATE

STATE OF ILLINOIS

COUNTY OF KANE

I, MARK W. KOENIG DIRECTOR OF PUBLIC WORKS OF THE CITY OF ST. CHARLES, ILLINOIS DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DATED AT ST. CHARLES, ILLINOIS, THIS 10th DAY OF JUNE, 2007.

*Mark Hoerner*  
DIRECTOR OF PUBLIC WORKS

## COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS

COUNTY OF DU PAGE

I, John A. Cunningham COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEMPTIBLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE SUBDIVISION PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE SUBDIVISION PLAT.

GIVEN UNDER MY NAME AND SEAL OF THE COUNTY CLERK AT GENEVA, ILLINOIS, THIS 26th DAY OF

June, A.D. 2007.

*John A. Cunningham*  
COUNTY CLERK

## PIN NUMBERS

39 - 27 - 377 - 019  
09 - 27 - 377 - 014  
09 - 27 - 377 - 015  
09 - 34 - 126 - 002  
09 - 34 - 126 - 005  
09 - 34 - 126 - 006  
09 - 34 - 126 - 007  
09 - 34 - 126 - 012  
09 - 34 - 126 - 013  
09 - 34 - 126 - 014  
09 - 34 - 126 - 016  
09 - 34 - 126 - 018  
09 - 34 - 126 - 019

PLAT OF SUBDIVISION  
MARCHESI AND SONS, Inc.

land - marine - construction surveys

10 Monaco Drive  
Roselle, Illinois 60172

Phone : (630) 894-5680  
FAX : (630) 894-8869

STATE OF ILLINOIS S.S.  
COUNTY OF DUPAGE

I, PAUL H. MARCHESI, ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 2461, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

PARCEL 7

THE WESTERLY 100 FEET OF LOTS 5 AND 6 IN BLOCK 40 OF THE ORIGINAL TOWN, NOW CITY OF ST. CHARLES, ILLINOIS, EXCEPT THE NORTHERLY 45 FEET OF SAID LOTS 5 AND 6 IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PARCEL 9-1

THE SOUTHERLY 24 FEET OF THAT PART OF LOTS 3 AND 4 IN BLOCK 40 OF THE ORIGINAL TOWN OF ST. CHARLES, ON THE WEST SIDE OF FOX RIVER, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 4, THENCE SOUTHERLY ALONG THE EAST LINE OF SAID LOT 4, A DISTANCE OF 64.55 FEET; THENCE WESTERLY 132.32 FEET TO A POINT ON THE WEST LINE OF SAID LOT 3 THAT IS 64.35 FEET SOUTHERLY OF THE NORTHWEST CORNER OF SAID LOT 3, THENCE NORTHERLY ALONG SAID WEST LINE 64.35 FEET TO SAID NORTHWEST CORNER; THENCE EASTERLY ALONG THE NORTH LINE OF SAID LOTS 3 AND 4 TO THE POINT OF BEGINNING; IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PARCEL 9-2

AN UNDIVIDED ONE-HALF INTEREST IN THAT PART OF LOTS 3 AND 4 IN BLOCK 40 OF THE ORIGINAL TOWN OF ST. CHARLES, ON THE WEST SIDE OF FOX RIVER, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 4, THENCE SOUTHERLY ALONG THE EAST LINE OF SAID LOT 4, A DISTANCE OF 64.55 FEET; THENCE WESTERLY 132.32 FEET TO A POINT ON THE WEST LINE OF SAID LOT 3 THAT IS 64.35 FEET SOUTHERLY OF THE NORTHWEST CORNER OF SAID LOT 3, THENCE NORTHERLY ALONG SAID WEST LINE 64.35 FEET TO SAID NORTHWEST CORNER; THENCE EASTERLY ALONG THE NORTH LINE OF SAID LOTS 3 AND 4 TO THE POINT OF BEGINNING; IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PARCEL 9-3

THE SOUTHERLY 24.0 FEET OF THAT PART OF LOTS 3 AND 4 IN BLOCK 40 OF THE ORIGINAL TOWN OF ST. CHARLES, ON THE WEST SIDE OF FOX RIVER, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 4, THENCE SOUTHERLY ALONG THE EAST LINE OF SAID LOT 4, A DISTANCE OF 108.55 FEET; THENCE WESTERLY 132.32 FEET TO A POINT ON THE WEST LINE OF SAID LOT 3 THAT IS 108.35 FEET SOUTHERLY OF THE NORTHWEST CORNER OF SAID LOT 3, THENCE NORTHERLY ALONG SAID WEST LINE 108.35 FEET TO SAID NORTHWEST CORNER; THENCE EASTERLY ALONG THE NORTH LINE OF SAID LOTS 3 AND 4 TO THE POINT OF BEGINNING; IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PARCEL 10-1

LOTS 3 AND 4 (EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 4, THENCE SOUTHERLY ALONG THE EAST LINE OF SAID LOT 4, A DISTANCE OF 108.55 FEET; THENCE WESTERLY 132.32 FEET TO A POINT ON THE WEST LINE OF SAID LOT 3 THAT IS 108.35 FEET SOUTHERLY OF THE NORTHWEST CORNER OF SAID LOT 3, THENCE NORTHERLY ALONG SAID WEST LINE 108.35 FEET TO SAID NORTHWEST CORNER; THENCE EASTERLY ALONG THE NORTH LINE OF SAID LOTS 3 AND 4 TO THE POINT OF BEGINNING) AND LOT 7 (EXCEPT THE WEST 20 FEET, LYING SOUTHERLY OF THE SOUTHERLY LINE OF THE NORTH 45 FEET OF SAID LOT 7) AND LOT 8 ALL IN BLOCK 40 OF THE ORIGINAL TOWN OF ST. CHARLES, ON THE WEST SIDE OF THE FOX RIVER, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PARCEL 10-2

UNIT NO. A IN "WEST ILLINOIS CONDOMINIUMS" AS DELINEATED ON A PLAT OF SURVEY OF THE FOLLOWING DESCRIBED REAL ESTATE: THE SOUTHERLY 107.15 FEET TO THE EASTERLY 32.0 FEET OF LOT 6 AND THE SOUTHERLY 107.15 FEET OF THE WESTERLY 20.0 FEET OF LOT 7, ALL IN BLOCK 40, ORIGINAL TOWN OF ST. CHARLES, KANE COUNTY, ILLINOIS; WHICH PLAT OF SURVEY IS ATTACHED AS "EXHIBIT A" TO THE DECLARATION OF CONDOMINIUM RECORDED AS DOCUMENT 1910265 TOGETHER WITH ITS UNDIVIDED PERCENTAGE INTEREST IN THE COMMON ELEMENTS.

PARCEL 10-3

UNIT C-2 IN "WEST ILLINOIS CONDOMINIUMS" AS DELINEATED ON A PLAT OF SURVEY OF THE FOLLOWING DESCRIBED REAL ESTATE: THE SOUTHERLY 107.15 FEET TO THE EASTERLY 32.0 FEET OF LOT 6 AND THE SOUTHERLY 107.15 FEET OF THE WESTERLY 20.0 FEET OF LOT 7, ALL IN BLOCK 40, ORIGINAL TOWN OF ST. CHARLES, KANE COUNTY, ILLINOIS; WHICH PLAT OF SURVEY IS ATTACHED AS "EXHIBIT A" TO THE DECLARATION OF CONDOMINIUM RECORDED AS DOCUMENT 1910265 TOGETHER WITH ITS UNDIVIDED PERCENTAGE INTEREST IN THE COMMON ELEMENTS.

PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 27 AND PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 34, ALL IN TOWNSHIP 40 NORTH RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, KANE COUNTY, ILLINOIS.

PARCEL 11

THE SOUTH 22 FEET OF LOT 4 AND THE SOUTH 22 FEET OF THE EAST 22 FEET OF LOT 3 ALL IN BLOCK 39 OF THE ORIGINAL TOWN OF ST. CHARLES ON THE WEST SIDE OF THE FOX RIVER, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PARCEL 14

THE WESTERLY 44.0 FEET OF LOT 7 AND THE SOUTHERLY 28.0 FEET OF THE EASTERLY 22.0 FEET OF THE WESTERLY 44.0 FEET OF LOT 3 IN BLOCK 39 OF THE ORIGINAL TOWN OF ST. CHARLES, ON THE WEST SIDE OF FOX RIVER, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PARCEL 15

LOT 7 (EXCEPT THE WESTERLY 44.0 FEET) AND LOT 3 IN BLOCK 39 OF THE ORIGINAL TOWN OF ST. CHARLES ON THE WEST SIDE OF THE FOX RIVER, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PARCEL 19

THE EASTERLY 10.0 FEET OF LOT 6 IN BLOCK 39 OF THE ORIGINAL TOWN OF ST. CHARLES, ON THE WEST SIDE OF THE FOX RIVER, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

AS SHOWN BY THE ANNEXED PLAT WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION, ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. IT IS FURTHER CERTIFIED THAT THE LAND INCLUDED IN THE ANNEXED PLAT IS WITHIN THE CORPORATE LIMITS OF THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

I, FURTHER CERTIFY THAT THE PARCELS INCLUDED IN THIS PLAT ARE LOCATED IN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL NO. 17098C02627, DATED DECEMBER 20, 2002, ZONES A AND X.

NOTE : THIS DOES NOT GUARANTEE THAT THE SUBJECT PROPERTY WILL OR WILL NOT FLOOD.

GIVEN UNDER MY HAND AND SEAL THIS 29th DAY OF MAY, 2007 A.D.

*Sandy Wegman*  
ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 2461  
MY CURRENT LICENSE EXPIRES NOVEMBER 30, 2008

## RECORDER'S CERTIFICATE

THIS INSTRUMENT NO. 2007K080494 WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS,

ON THE 1st DAY OF August, 2007.

AT 3:32 O'CLOCK P.M.

AND WAS RECORDED IN PLAT ENVELOPE NO.

*Sandy Wegman*  
COUNTY RECORDER

SHEET : 1 of 2

ORDER NO.: 05-14966 (PH II)

ORDERED BY : GREG CHISMARCK  
FOR THE CITY OF ST. CHARLES



# PHASE II FIRST STREET REDEVELOPMENT SUBDIVISION

of

PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 27 AND THE  
EAST HALF OF THE NORTHWEST QUARTER OF SECTION THIRTY-FOUR, TOWNSHIP FORTY NORTH,  
RANGE EIGHT EAST OF THE THIRD PRINCIPAL MERIDIAN, ALL IN KANE COUNTY, ILLINOIS.



2007K080494

SANDY WEGMAN  
RECORDER - KANE COUNTY, IL

RECORDED: 8/1/2007 3:32 PM  
REC FEE: 64.00 RHSPS FEE: 10.00  
PAGES: 2

POOR ORIGINAL  
Recorder Not Responsible  
For Reproductions

PLAT OF SUBDIVISION  
Prepared By  
**MARCHESE AND SONS, Inc.**  
land - marine - construction surveys  
10 Monaco Drive  
Roselle, Illinois 60172  
Phone : (630) 894-5680  
FAX : (630) 894-8869

North

SECOND

(ALSO KNOWN AS ILLINOIS ROUTE 31)

STREET

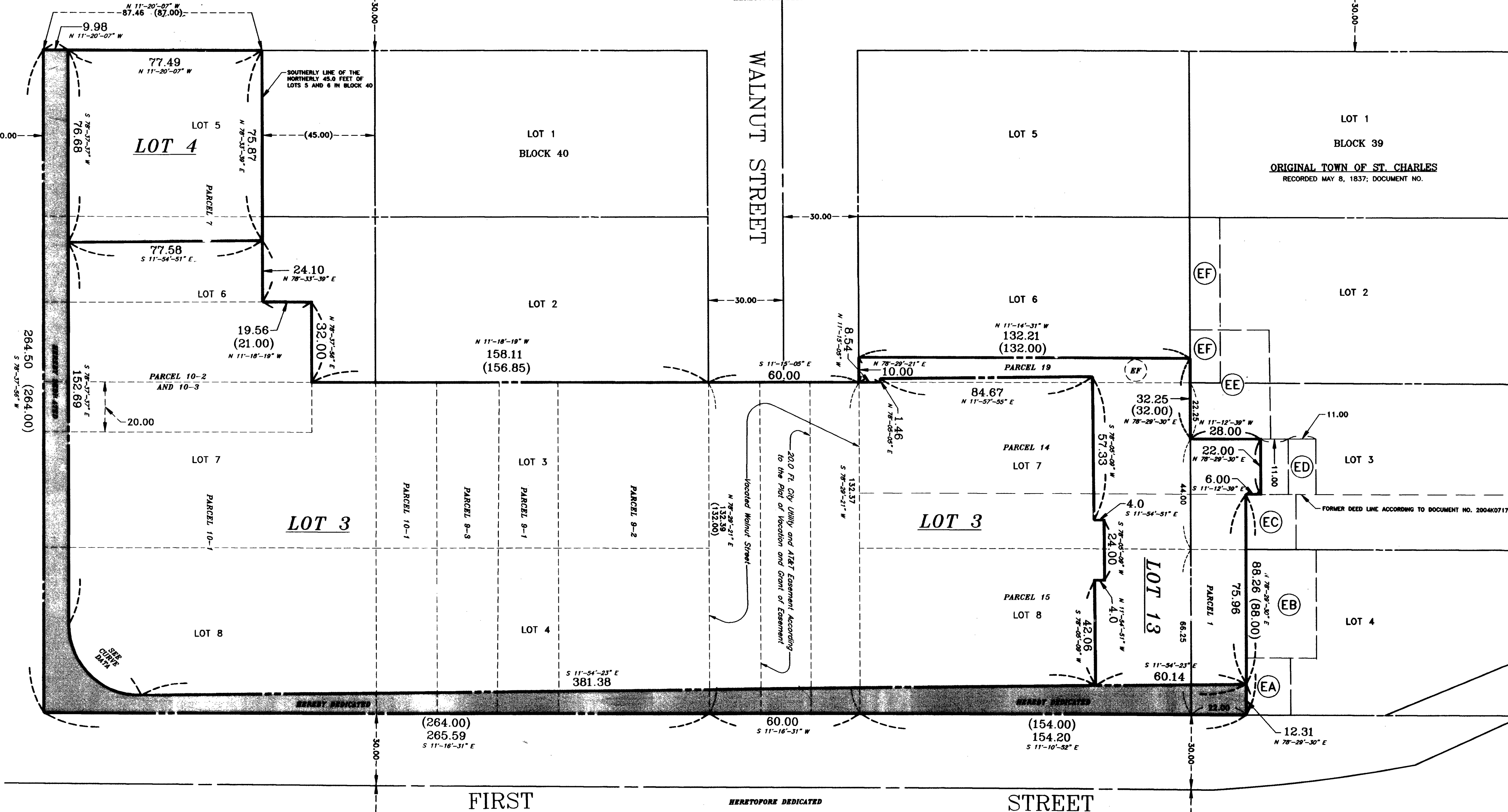
HERETOFORE DEDICATED

WALNUT STREET

MAIN

(ALSO KNOWN AS ILLINOIS ROUTE 64)

STREET

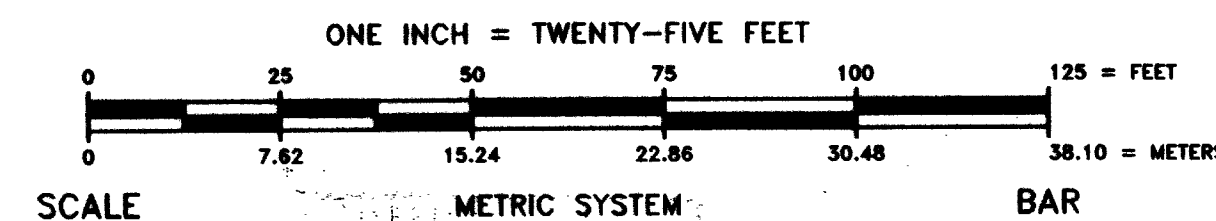


- (EA) GRANT OF EASEMENT TO CITY OF ST. CHARLES  
DOCUMENT NO. 90K35251 DATED FEBRUARY 2, 1990
- (EB) GRANT OF EASEMENT TO CITY OF ST. CHARLES  
DOCUMENT NO. 90K35250 DATED DECEMBER 22, 1989
- (EC) GRANT OF EASEMENT TO CITY OF ST. CHARLES  
DOCUMENT NO. 90K35249 DATED JANUARY 20, 1990
- (ED) GRANT OF EASEMENT TO CITY OF ST. CHARLES  
DOCUMENT NO. 90K35248 DATED APRIL 17, 1990  
SOUTH 11.0 FT. OF 22.0 FT. IS THE OCCUPIED EASEMENT  
NORTH 11.0 FT. OF 22.0 FT. IS RESTRICTED BY WOOD FENCE
- (EE) GRANT OF EASEMENT TO CITY OF ST. CHARLES  
DOCUMENT NO. 90K35247 DATED JANUARY 23, 1990
- (EF) GRANT OF EASEMENT TO CITY OF ST. CHARLES  
DOCUMENT NO. 90K35246 DATED DECEMBER 21, 1989

564943  
Chicago Title Insurance Company  
1795 West Lake Street  
Geneva, IL 60134

## CURVE DATA

CURVE	RADIUS	ARC	CHORD	CHORD BEARING
ONE	28.00	44.24	39.78	N 33°-21'-37" E



\* NOTE: ALL DIMENSIONS SHOWN IN PARENTHESIS ARE DEED OR RECORD DIMENSIONS

SHEET : 2 of 2

DATE : May 15, 2007

SCALE : ONE INCH = TWENTY-FIVE FEET

ORDER NO.: 05-14966 (PH II)

ORDERED BY : MR. GREG CHISMARK  
FOR THE CITY OF ST. CHARLES

Exhibit 3: Proposed Building Drawing - 2006



SOUTH



EAST



WEST



NORTH

BUILDING NO. 8



Exhibit 3: Proposed Building Drawing - 2006

- MODULAR BRICK - SAGE
- DOUBLE HUNG WINDOWS - WHITE
- ALUMINUM STOREFRONT - WHITE
- CORNICE & TRIM WOOD - WHITE
- SLATE ROOF
- PRECAST SILLS & TRIM



Exhibit 3: Proposed Building Drawing - 2006

° SEE SOUTH ELEVATION FOR DETAIL





Exhibit 3: Proposed Building Drawing - 2006





Exhibit 3: Proposed Building Drawing - 2006

o SEE SOUTH ELEVATION FOR DETAIL



09-40365



environmental engineers  
and consultants

**RECORDED  
NFR**

915 Harger Road, Suite 330  
Oak Brook, IL 60523  
Phone: (630) 684-9100  
Fax: (630) 684-9120  
Website: <http://huffnhuff.com>

February 4, 2009

Robert E. O'Hara  
Illinois Environmental Protection Agency  
Remedial Project Management Section  
Bureau of Land  
1021 North Grand Avenue East  
Post Office Box 19276  
Springfield, IL 62794-9276

**RECEIVED**  
FEB 09 2009  
**IEPA/BOL**

Re: 0894835534 - Kane County  
City of St. Charles - First Street Redevelopment  
Certified NFR *SR/TECH*

Dear Mr. O'Hara:

Enclosed please find a certified copy of the No Further Remediation letter received and recorded for the above referenced project.

If you have any questions, please do not hesitate to call.

Sincerely,

*Paul Sedory*  
Paul Sedory, P.E.

**RELEASABLE**

FEB 09 2009

**REVIEWER MD**

PREPARED BY:

Name: Mr. Robert Rasmussen  
First Street Redevelopment, LLC

Address: 409 Illinois Avenue, Unit 1D  
St. Charles, IL 60174

RETURN TO:

Name: Mr. Robert Rasmussen  
First Street Redevelopment, LLC

Address: 409 Illinois Avenue, Unit 1D  
St. Charles, IL 60174



2009K006600

**SANDY WEGMAN**  
RECORDER - KANE COUNTY, IL

RECORDED: 2/2/2009 9:01 AM  
REC FEE: 39.00 RHSPS FEE: 10.00  
PAGES: 18

**RECORDED  
NFR**

**THE ABOVE SPACE FOR RECORDER'S OFFICE**

The remediation applicant must submit this Environmental No Further Remediation Letter within 45 days of its receipt, to the Office of the Recorder of Kane County.

Illinois State EPA Number: 0894835534

First Street Redevelopment, LLC, the Remediation Applicant, whose address is 409 Illinois Avenue, Unit 1D, St. Charles, IL 60174 has performed investigative and/or remedial activities for the remediation site depicted on the attached Site Base Map and identified by the following:

1. Legal description or Reference to a Plat Showing the Boundaries:

LOT 3 OF PHASE 2 FIRST STREET REDEVELOPMENT SUBDIVISION OF PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 27 AND THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 34, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 1, 2007 AS DOCUMENT 2007K080494.

LOT 4 OF PHASE 2 FIRST STREET REDEVELOPMENT SUBDIVISION OF PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 27 AND THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 34, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 1, 2007 AS DOCUMENT 2007K080494.

2. Common Address: No common address at time of issuance

3. Real Estate Tax Index/Parcel Index Number: PINs: 09-34-126-023; 09-27-377-030; 09-34-126-022;  
09-34-126-021

**RELEASABLE**

FEB 09 2009

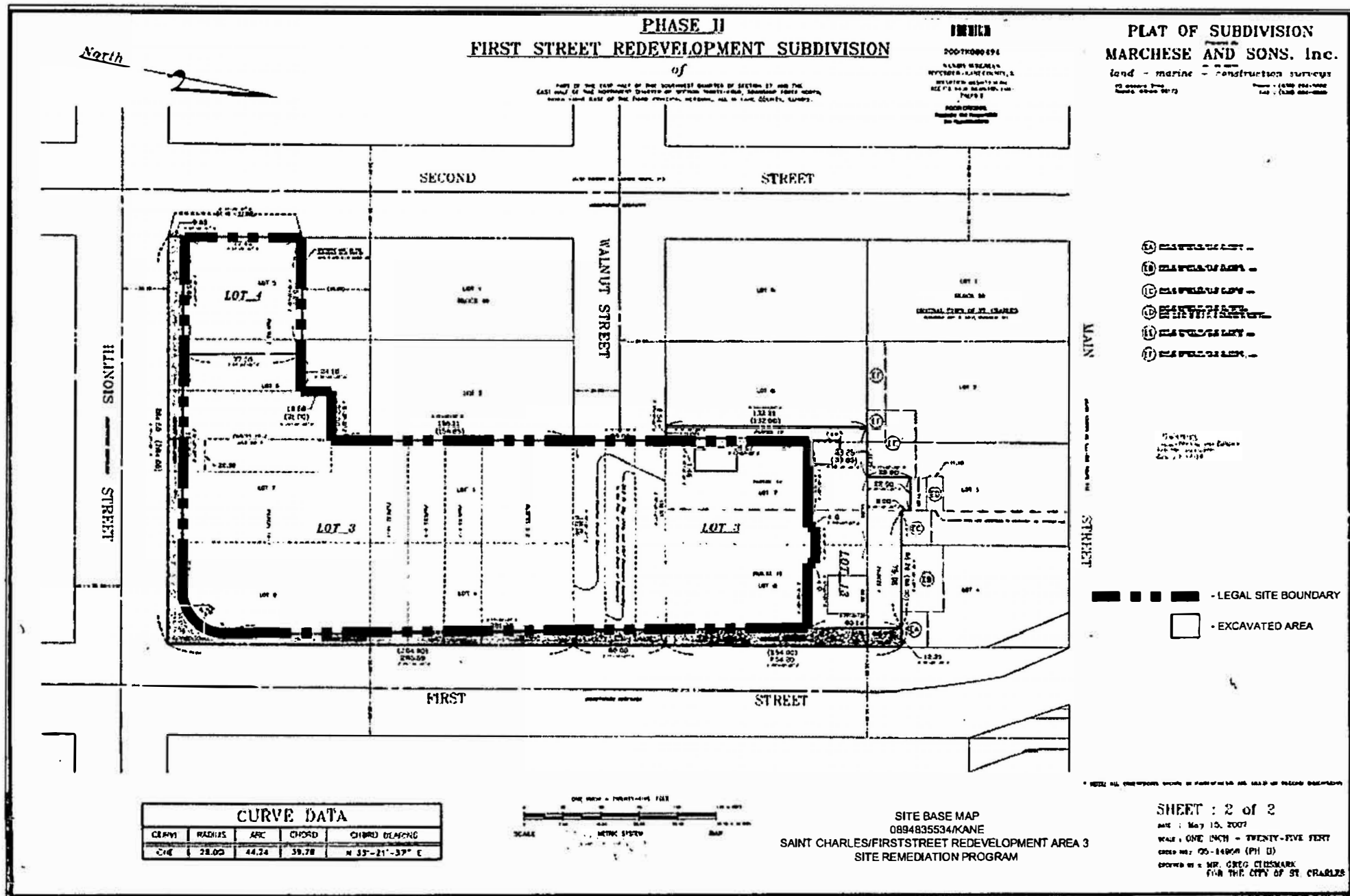
(Illinois EPA Site Remediation Program Environmental Notice)

**REVIEWER MD**

49

4. Remediation Site Owner: First Street Redevelopment, LLC
5. Land Use: Industrial/Commercial
6. Site Investigation: Comprehensive

RETURN TO  
Mr. SHAWN BILHSEL  
915 HARBOR  
DAN BROOK, IL 60523





**PROPERTY OWNER CERTIFICATION OF THE NFR LETTER  
UNDER THE SITE REMEDIATION PROGRAM**

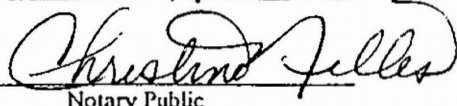
Where the Remediation Applicant (RA) is not the sole owner of the remediation site, the RA shall obtain the certification by original signature of each owner, or authorized agent of the owner(s), of the remediation site or any portion thereof who is not an RA. The property owner(s), or the duly authorized agent of the owner(s) must certify, by original signature, the statement appearing below. This certification shall be recorded in accordance with Illinois Administrative Code 740.620.

Include the full legal name, title, the company, the street address, the city, the state, the ZIP code, and the telephone number of all other property owners. Include the site name, street address, city, ZIP code, county, Illinois inventory identification number and real estate tax index/parcel index number.

A duly authorized agent means a person who is authorized by written consent or by law to act on behalf of a property owner including, but not limited to:

1. For corporations, a principal executive officer of at least the level of vice-president;
2. For a sole proprietorship or partnership, the proprietor or a general partner, respectively; and
3. For a municipality, state or other public agency, the head of the agency or ranking elected official.

For multiple property owners, attach additional sheets containing the information described above, along with a signed, dated certification for each. All property owner certifications must be recorded along with the attached NFR letter.

Property Owner Information	
Owner's Name: <u>Brian Townsend</u>	
Title: <u>City Administrator</u>	
Company: <u>City of Saint Charles, Illinois</u>	
Street Address: <u>2 E Main Street</u>	
City: <u>Saint Charles</u>	State: <u>IL</u> Zip Code: <u>60174-1984</u> Phone: <u>630-377-4422</u>
Site Information	
Site Name: <u>Saint Charles First Street Redevelopment - Phase II (Parking Deck)</u>	
Site Address: <u>100 Illinois Street</u>	
City: <u>Saint Charles</u>	State: <u>IL</u> Zip Code: <u>60174</u> County: <u>Kane</u>
Illinois inventory identification number: _____	
Real Estate Tax Index/Parcel Index No. <u>09-27-377-030; 09-34-126-021; 09-34-126-023 (generally the</u> <u>western 1/2 excepting that north of vacated Walnut St); 09-34-126-022 (generally the east 1/2.)</u>	
I hereby certify that I have reviewed the attached No Further Remediation Letter and that I accept the terms and conditions and any land use limitations set forth in the letter.	
Owner's Signature: <u>Brian Townsend</u>	Date: <u>11/3/08</u>
SUBSCRIBED AND SWORN TO BEFORE ME this <u>3</u> day of <u>November</u> 20 <u>08</u>	
 Notary Public	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;"> <p style="margin: 0;">"OFFICIAL SEAL"</p> <p style="margin: 0;">CHRISTINE NILLES</p> <p style="margin: 0;">NOTARY PUBLIC, STATE OF ILLINOIS</p> <p style="margin: 0;">MY COMMISSION EXPIRES 9/21/2009</p> </div>

The Illinois EPA is authorized to require this information under Sections 415 ILCS 5/58 - 58.12 of the Environmental Protection Act and regulations promulgated thereunder. If the Remediation Applicant is not also the sole owner of the remediation site, this form must be completed by all owners of the remediation site and recorded with the NFR Letter. Failure to do so may void the NFR Letter. This form has been approved by the Forms Management Center. All information submitted to the Site Remediation Program is available to the public except when specifically designated by the Remediation Applicant to be treated confidentially as a trade secret or secret process in accordance with the Illinois Compiled Statutes, Section 7(a) of the Environmental Protection Act, applicable Rules and Regulations of the Illinois Pollution Control Board and applicable Illinois EPA rules and guidelines.

ch

**SANDY WEGMAN**  
**RECORDER - KANE COUNTY, IL**

RECORDED: 2/5/2008 10:50 AM  
REC FEE: 30.00  
PAGES: 9

## CERTIFICATION

I do further certify that the foregoing constitutes a full, true and complete copy of an Ordinance 2008-M-11:

I do further certify that the deliberations of the Mayor and City Council on the adoption of said document were taken openly; that the vote on the adoption of said document was taken openly; that said meeting was a regular meeting of the Mayor and the City Council, at which time a quorum was present; that said meeting was held at a specified time and place convenient to the public; that said meeting was held in strict accordance with the provisions of the Open Meetings Act, as amended, and that the Mayor and City Council have complied with all of the provisions of said Act and its procedural rules in the adoption of said Ordinance.

**IN WITNESS WHEREOF**, I have hereto affixed my official signature and the corporate seal of said city of St. Charles, Kane and DuPage Counties, Illinois, this 31 day of January 2008.



  
Deputy City Clerk

**City of St. Charles, Illinois**

**Ordinance No. 2008-M-11**

**Ordinance Amending Title 13,  
"Public Utilities," Chapter  
13.16, "Water," Section  
13.16.310, "Private Water Wells  
Limited" and Section 13.16.315,  
"Variations" of the St.  
Charles Municipal Code**

**Adopted by the  
City Council  
of the  
City of St. Charles  
January 22, 2008**

**Published in pamphlet form by  
authority of the City Council  
of the City of St. Charles,  
Kane and Du Page Counties,  
Illinois, January 25, 2008**

*Nancy Garrison*  
\_\_\_\_\_  
City Clerk



**ORDINANCE NUMBER 2008-M-11**

**Amending Title 13, "Public Utilities", Chapter 13.16, "Water", Section 13.16.310, "Private water wells limited" and Section 13.16.315, "Variations" of the St. Charles Municipal Code**

**WHEREAS, certain properties in the City of St. Charles, Illinois have been used over a period of time for commercial/industrial purposes; and**

**WHEREAS, because of said use, concentrations of certain chemical constituents in the groundwater beneath the City may exceed Class I groundwater quality standards for potable resource groundwater as set forth in 35 Illinois Administrative Code 620 or Tier 1 remediation objectives as set forth in 35 Illinois Administrative Code 742; and**

**WHEREAS, the City of St. Charles desires to limit potential threats to human health from groundwater contamination while facilitating the redevelopment and productive use of properties that are the source of said chemical constituents;**

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, ILLINOIS:**

- 1. Title 13, "Public Utilities", Chapter 13.16, "Water", Section 13.16.310, "Private water wells limited" and Section 13.16.315, "Variations" of the St. Charles Municipal Code, be and is hereby amended by deleting the same and substituting the following therefore:**

**13.16.310 - Prohibiting the use of groundwater as a potable water supply**

**A. Use of groundwater as a potable water supply prohibited.**

Except for such uses or methods in existence before January 22, 2008, the use or attempt to use as a potable water supply groundwater from within the corporate limits of the City of St. Charles, as a potable water supply, by the installation or drilling of wells or by any other method is hereby prohibited. This prohibition does not include the City of St. Charles nor the City of St. Charles Park District (upon approval from the City of St. Charles).

**B. Penalties.**

Any person violating the provisions of this ordinance shall be subject to a fine of up to \$100.00 for each violation.

C. Definitions.

“Person” is any individual, partnership, co-partnership, firm, company, limited liability company, corporation, association, joint stock company, trust, estate, political subdivision, or any other legal entity, or their legal representatives, agents or assigns.

“Potable water” is any water used for human or domestic consumption, including, but not limited to, water used for drinking, bathing, swimming, washing dishes, or preparing foods.

2. Memorandum of Understanding.

The Mayor of the City of St. Charles is hereby authorized and directed to enter into a Memorandum of Understanding with the Illinois Environmental Protection Agency (“Illinois EPA”) (Attached as Exhibit A) in which the City of St. Charles assumes responsibility for tracking all sites that have received no further remediation determinations from the Illinois EPA, notifying the Illinois EPA of changes to this ordinance, and taking certain precautions when siting public potable water supply wells.

3. Repealer.

All ordinances or parts of ordinances in conflict with this ordinance are hereby repealed insofar as they are in conflict with this ordinance.

4. Severability.

If any provision of this ordinance or its application to any person or under any circumstances is adjudged invalid, such adjudication shall not affect the validity of the ordinance as a whole or of any portion not adjudged invalid.

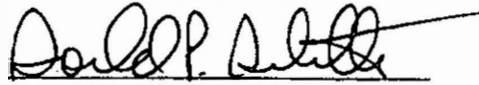
5. That after the adoption and approval hereof the Ordinance shall (i) be printed or published in a book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.



PRESENTED to the City Council of the city of St. Charles, Illinois, this 22nd day of January, 2008.

PASSED by the City Council of the city of St. Charles, Illinois, this 22nd day of January, 2008.

APPROVED by the Mayor of the City of St. Charles, Illinois, this 22nd day of January, 2008.

  
Donald P. DeWitte, Mayor

ATTEST:

  
City Clerk



Voice Vote:

Ayes: 10

Nays: 0

Absent:

Abstain:

**EXHIBIT A**

**MEMORANDUM OF UNDERSTANDING BETWEEN THE CITY OF ST. CHARLES AND  
THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY REGARDING THE USE OF  
A LOCAL GROUNDWATER OR WATER WELL ORDINANCE AS AN  
ENVIRONMENTAL INSTITUTIONAL CONTROL.**

**I. PURPOSE AND INTENT**

- A. This Memorandum of Understanding ("MOU") between the City of St. Charles and the Illinois Environmental Protection Agency ("Illinois EPA") is entered into for the purpose of satisfying the requirements of 35 Ill. Adm. Code 742.1015 for the use of groundwater or water well ordinances as environmental institutional controls. The Illinois EPA has reviewed the groundwater or water well ordinance of the City of St. Charles (Attachment A) and determined that the ordinance prohibits the use of groundwater for potable purposes and/or the installation and use of new potable water supply wells by private entities but does not expressly prohibit those activities by the unit of local government itself. In such cases, 35 Ill. Adm. Code 742.1015(a) provides that the unit of local government may enter into an MOU with the Illinois EPA to allow the use of the ordinance as an institutional control.
- B. The intent of this Memorandum of Understanding is to specify the responsibilities that must be assumed by the unit of local government to satisfy the requirements for MOUs as set forth at 35 Ill. Adm. Code 742.1015(i).

**II. DECLARATION AND ASSUMPTION OF RESPONSIBILITY**

In order to ensure the long-term integrity of the groundwater or water well ordinance as an environmental institutional control and that risk to human health and the environment from contamination left in place in reliance on the groundwater or water well ordinance is effectively managed, the City of St. Charles hereby assumes the following responsibilities pursuant to 35 Ill. Adm. Code 742.1015(d)(2) and (i):

- A. The City of St. Charles will notify the Illinois EPA Bureau of Land of any proposed ordinance changes or requests for variance at least 30 days prior to the date the local government is scheduled to take action on the proposed change or request (35 Ill. Adm. Code 742.1015(i)(4));
- B. The City of St. Charles will maintain a registry of all sites within its corporate limits that have received "No Further Remediation" determinations in reliance on the ordinance from the Illinois EPA (35 Ill. Adm. Code 742.1015(i)(5));
- C. The City of St. Charles will review the registry of sites established under paragraph II. B. prior to siting public potable water supply wells within the area covered by the ordinance (35 Ill. Adm. Code 742.1015(i)(6)(A));

- D. The City of St. Charles will determine whether the potential source of potable water has been or may be affected by contamination left in place at the sites tracked and reviewed under paragraphs II. B. and C. (35 Ill. Adm. Code 742.1015(i)(6)(B)); and
- E. The City of St. Charles will take action as necessary to ensure that the potential source of potable water is protected from contamination or treated before it is used as a potable water supply (35 Ill. Adm. Code 742.1015(i)(6)(C)).

NOTE: Notification under paragraph II. A. above or other communications concerning this MOU should be directed to:

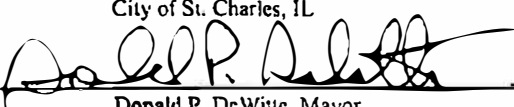
Manager, Division of Remediation Management  
Bureau of Land  
Illinois Environmental Protection Agency  
P.O. Box 19276  
Springfield, IL 62794-9276

### III. SUPPORTING DOCUMENTATION

The following documentation is required by 35 Ill. Adm. Code 742.1015(i) and is attached to this MOU:

- A. Attachment A: A copy of the groundwater or water well ordinance certified by the city clerk or other official as the current, controlling law (35 Ill. Adm. Code 742.1015(i)(3));
- B. Attachment B: Identification of the legal boundaries within which the ordinance is applicable (certification by city clerk or other official that the ordinance is applicable everywhere within the corporate limits; if ordinance is not applicable throughout the entire city or village, legal description and map of area showing sufficient detail to determine where ordinance is applicable) (35 Ill. Adm. Code 742.1015(i)(2)).
- C. Attachment C: A statement of the authority of the unit of local government to enter into the MOU (council resolution, code of ordinances, inherent powers of mayor or other official signing MOU – attached copies) (35 Ill. Adm. Code 742.1015(i)(1)).

IN WITNESS WHEREOF, the lawful representatives of the parties have caused this MOU to be signed as follows:

FOR: \_\_\_\_\_  
City of St. Charles, IL  
BY:  \_\_\_\_\_  
Donald P. DeWitte, Mayor

DATE: January 22, 2008

State of Illinois )  
 ) ss.  
Counties of Kane and DuPage )

## Certificate

I, NANCY GARRISON, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on January 22, 2008, the Corporate Authorities of such municipality passed and approved Ordinance No. 2008-M-11, entitled

"Ordinance Amending Title 13,  
"Public Utilities," Chapter  
13.16, "Water," Section  
13.16.310, "Private Water Wells  
Limited" and Section 13.16.315,  
"Variations" of the St.  
Charles Municipal Code,"

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2008-M-11, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on January 25, 2008, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

**DATED** at St. Charles, Illinois, this 22nd day of January 2008.



*Nancy Garrison*  
Municipal Clerk

*20*



## ILLINOIS ENVIRONMENTAL PROTECTION AGENCY

1021 NORTH GRAND AVENUE EAST, P.O. BOX 19276, SPRINGFIELD, ILLINOIS 62794-9276 - (217) 782-2829

JAMES R. THOMPSON CENTER, 100 WEST RANDOLPH, SUITE 11-300, CHICAGO, IL 60601 - (312) 814-6026

(217) 782-6761

ROD R. BLAGOJEVICH, GOVERNOR

DOUGLAS P. SCOTT, DIRECTOR

October 8, 2008

CERTIFIED MAIL

Corrected Date: January 14, 2009

Mr. Robert Rasmussan  
First Street Redevelopment, LLC  
409 Illinois Avenue, Unit 1D  
St. Charles, IL 60174

Re: 0894835534 /Kane  
St. Charles /First Street Redevelopment Area 3  
Site Remediation Program/Technical Reports  
No Further Remediation Letter

Dear Mr. Rasmussan:

The *Remedial Action Completion Report* (dated January, 2008/Log No. 08-36848), as prepared by Huff & Huff, Inc. for the above referenced Remediation Site, has been reviewed by the Illinois Environmental Protection Agency ("Illinois EPA"). The Report demonstrates that the remedial action was completed in accordance with the *Remedial Action Plan for Remedial Area 3 First Street Redevelopment* (dated October 2006/Log No. 06-31487), and 35 Illinois Administrative Code Parts 740 and 742.

The Remediation Site, consisting of 2.15-acres, is located at the Phase II First Street Redevelopment Subdivision in St. Charles, Illinois. Pursuant to Section 58.10 of the Illinois Environmental Protection Act ("Act") (415 ILCS 5/1 et seq.), your request for a no further remediation determination is granted under the conditions and terms specified in this letter. The Remediation Applicant, as identified on the Illinois EPA's Site Remediation Program DRM-1 Form received February 25, 2008 is First Street Redevelopment LLC.

This comprehensive No Further Remediation Letter ("Letter") signifies a release from further responsibilities under the Act for the performance of the approved remedial action. This Letter shall be considered prima facie evidence that the Remediation Site described in the attached Illinois EPA Site Remediation Program Environmental Notice and shown in the attached Site Base Map does not constitute a threat to human health and the environment and does not require further remediation under the Act if utilized in accordance with the terms and conditions of this Letter.



### **Conditions and Terms of Approval**

#### **Level of Remediation and Land Use Limitations**

- 1) The land use specified in this Letter may be revised if:
  - a) Further investigation or remedial action has been conducted that documents the attainment of objectives appropriate for the new land use.
  - b) A new Letter is obtained and recorded in accordance with Title XVII of the Act and regulations adopted thereunder.
- 2) The Remediation Site is restricted to Industrial/Commercial land use.

#### **Institutional Controls:**

- 3) Ordinance 2008-M-11 adopted January 22, 2008 by the City of St. Charles effectively prohibits the installation and use of potable water supply wells in the City of St. Charles. This ordinance provides an acceptable institutional control under the following conditions:
  - a) Where a groundwater ordinance is used to assure long-term protection of human health the Remediation Applicant must record a copy of the groundwater ordinance adopted and administered by a unit of local government along with this Letter.
  - b) The current owner or successor in interest of this Remediation Site who relies on this ordinance as an institutional control shall:
    - i) Monitor activities of the unit of local government relative to variance requests or changes in the ordinance relative to the use of potable groundwater at this Remediation Site; and
    - ii) Notify the Illinois EPA of any approved variance requests or ordinance changes within thirty (30) days after the date such action has been approved.
  - c) The Remediation Applicant shall provide written notification to the City of St. Charles and to owner(s) of all properties under which groundwater contamination attributable to the Remediation Site exceeds the objectives approved by the Illinois EPA. The notification shall include:
    - i) The name and address of the local unit of government;
    - ii) The citation of the ordinance used as an institutional control in this Letter;
    - iii) A description of the property for which the owner is being sent notice by adequate legal description or by reference to a plat showing the boundaries;
    - iv) A statement that the ordinance restricting the groundwater use has been used by the Illinois EPA in reviewing a request for groundwater remediation objectives;
    - v) A statement as to the nature of the release and response action with the name, address, and Illinois EPA inventory identification number; and

- vi) A statement as to where more information may be obtained regarding the ordinance.
- d) Written proof of this notification shall be submitted to the Illinois EPA within forty-five (45) days from the date this Letter is recorded to.

Robert E. O'Hara  
Illinois Environmental Protection Agency  
Bureau of Land/RPMS  
1021 North Grand Avenue East  
Post Office Box 19276  
Springfield, IL 62794-9276

- e) The following activities shall be grounds for voidance of the ordinance as an institutional control and this Letter:
  - i) Modification of the referenced ordinance to allow potable uses of groundwater;
  - ii) Approval of a site-specific request, such as a variance, to allow use of groundwater at the Remediation Site or at the affected properties;
  - iii) Failure to provide written proof to the Illinois EPA within forty-five (45) days from the date this Letter is recorded of written notification to the City of St. Charles and affected property owner(s) of the intent to use Ordinance 2008-M-11 as an institutional control at the Remediation Site; and
  - iv) Violation of the terms and conditions of this No Further Remediation letter

#### Other Terms

- 4) Where the Remediation Applicant is not the sole owner of the Remediation Site, the Remediation Applicant shall complete the attached *Property Owner Certification of the No Further Remediation Letter under the Site Remediation Program* Form. This certification, by original signature of each property owner, or the authorized agent of the owner(s), of the Remediation Site or any portion thereof who is not a Remediation Applicant shall be recorded along with this Letter.
- 5) Further information regarding this Remediation Site can be obtained through a written request under the Freedom of Information Act (5 ILCS 140) to:

Illinois Environmental Protection Agency  
Attn: Freedom of Information Act Officer  
Bureau of Land-#24  
1021 North Grand Avenue East  
Post Office Box 19276  
Springfield, IL 62794-9276

- 6) Pursuant to Section 58.10(f) of the Act (415 ILCS 5/58.10(f)), should the Illinois EPA seek to void this Letter, the Illinois EPA shall provide notice to the current titleholder and to the Remediation Applicant at the last known address. The notice shall specify the cause for the avoidance, explain the provisions for appeal, and describe the facts in support of this cause. Specific acts or omissions that may result in the avoidance of the Letter under Sections 58.10(e)(1)-(7) of the Act (415 ILCS 5/58.10(e)(1)-(7)) include, but shall not be limited to:
- a) Any violation of institutional controls or the designated land use restrictions;
  - b) The failure to operate and maintain preventive or engineering controls or to comply with any applicable groundwater monitoring plan;
  - c) The disturbance or removal of contamination that has been left in-place in accordance with the Remedial Action Plan. Access to soil contamination may be allowed if, during and after any access, public health and the environment are protected consistent with the Remedial Action Plan;
  - d) The failure to comply with the recording requirements for this Letter;
  - e) Obtaining the Letter by fraud or misrepresentation;
  - f) Subsequent discovery of contaminants, not identified as part of the investigative or remedial activities upon which the issuance of the Letter was based, that pose a threat to human health or the environment;
  - g) The failure to pay the No Further Remediation Assessment Fee within forty-five (45) days after receiving a request for payment from the Illinois EPA;
  - h) The failure to pay in full the applicable fees under the Review and Evaluation Services Agreement within forty-five (45) days after receiving a request for payment from the Illinois EPA.
- 7) Pursuant to Section 58.10(d) of the Act, this Letter shall apply in favor of the following persons:
- a) First Street Redevelopment LLC;
  - b) The owner and operator of the Remediation Site;
  - c) Any parent corporation or subsidiary of the owner of the Remediation Site;
  - d) Any co-owner, either by joint-tenancy, right of survivorship, or any other party sharing a relationship with the owner of the Remediation Site;
  - e) Any holder of a beneficial interest of a land trust or inter vivos trust, whether revocable or irrevocable, involving the Remediation Site;
  - f) Any mortgagee or trustee of a deed of trust of the owner of the Remediation Site or any assignee, transferee, or any successor-in-interest thereto;
  - g) Any successor-in-interest of the owner of the Remediation Site;

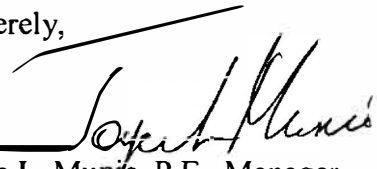
- h) Any transferee of the owner of the Remediation Site whether the transfer was by sale, bankruptcy proceeding, partition, dissolution of marriage, settlement or adjudication of any civil action, charitable gift, or bequest;
  - i) Any heir or devisee of the owner of the Remediation Site;
  - j) Any financial institution, as that term is defined in Section 2 of the Illinois Banking Act and to include the Illinois Housing Development Authority, that has acquired the ownership, operation, management, or control of the Remediation Site through foreclosure or under the terms of a security interest held by the financial institution, under the terms of an extension of credit made by the financial institution, or any successor-in-interest thereto; or
  - k) In the case of a fiduciary (other than a land trustee), the estate, trust estate, or other interest in property held in a fiduciary capacity, and a trustee, executor, administrator, guardian, receiver, conservator, or other person who holds the remediated site in a fiduciary capacity, or a transferee of such party.
- 8) This letter, including all attachments, must be recorded as a single instrument within forty-five (45) days of receipt with the Office of the Recorder of Kane County. For recording purposes, the Illinois EPA Site Remediation Program Environmental Notice attached to this Letter should be the first page of the instrument filed. This Letter shall not be effective until officially recorded by the Office of the Recorder of Kane County in accordance with Illinois law so that it forms a permanent part of the chain of title for the Remediation Site.
- 9) Within thirty (30) days of this Letter being recorded by the Office of the Recorder of Kane County, a certified copy of this Letter, as recorded, shall be obtained and submitted to the Illinois EPA to:

Robert E. O'Hara  
Illinois Environmental Protection Agency  
Bureau of Land/RPMS  
1021 North Grand Avenue East  
Post Office Box 19276  
Springfield, IL 62794-9276

- 10) In accordance with Section 58.10(g) of the Act, a No Further Remediation Assessment Fee based on the costs incurred for the Remediation Site by the Illinois EPA for review and evaluation services will be applied in addition to the fees applicable under the Review and Evaluation Services Agreement. Request for payment of the No Further Remediation Assessment Fee will be included with the billing statement.

If you have any questions regarding this correspondence, you may contact the Illinois EPA project manager, Mr. Tim Murphy at (217) 524-4823.

Sincerely,



Joyce L. Munie, P.E., Manager  
Remedial Project Management Section  
Division of Remediation Management  
Bureau of Land

Attachments (2):      Property Owner Certification of No Further Remediation Letter under the  
                                 Site Remediation Program Form  
                                 Notice to Remediation Applicant

cc:      James E. Huff, P.E.  
            Huff & Huff, Inc.  
            915 Harger Road, Suite 330  
            Oak Brook, IL 60523

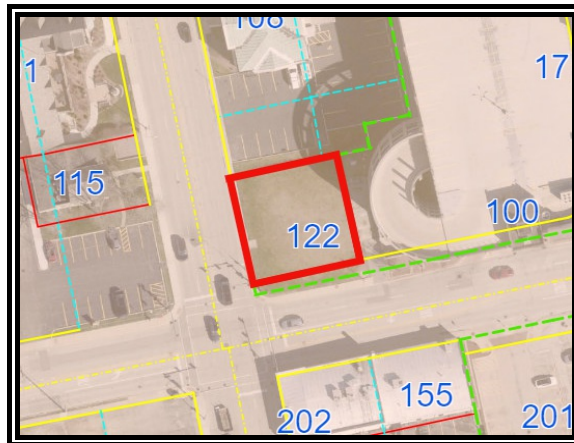
John Lamb  
Environmental Services Manager  
City of St. Charles  
Two East Main Street  
St. Charles, IL 60174-1984





## **APPRAISAL REPORT**

Vacant Land  
122 South 2nd Street  
St. Charles, IL 60174



### **PREPARED FOR**

City of St. Charles  
2 East Main Street  
St. Charles, IL 60174

### **PREPARED BY**

Stephen J Bloch  
Edward V. Kling, MAI

**VALUATION DATE:** August 26, 2025

**REPORT DATE:** August 29, 2025

File Number: C25-462

## Exhibit 5: 2025 Appraisal

August 29, 2025

Mr. Derek Conley  
2 East Main Street  
St. Charles, IL 60174



RE:           Appraisal of Property  
              Vacant Land  
              122 South 2nd Street  
              St. Charles, IL 60174

Our File Number: C25-462

Mr. Derek Conley:

In fulfillment of your order as outlined in our communication on August 14, 2025, we are transmitting our appraisal report of the estimated market value of the Fee Simple estate for the above identified property as of August 26, 2025. The report includes our value conclusion along with supporting data and reasoning which form the basis of our opinion. A summary of salient facts and conclusions is included at the beginning of the report. The report is intended only for the use stated in the report.

The appraisers that signed the report include state licensed and certified general real estate appraisers in the State of Illinois. Stephen J Bloch has viewed the property, and performed the scope of work determination, data analysis, and value conclusion. Edward V. Kling, MAI has provided data support and market opinions in a review capacity.

The value opinion reported is qualified by certain definitions, limiting conditions, and certifications which are contained in the report. If you have any questions concerning this report, please contact our office at (630) 513-6150.

Sincerely yours,

### Caton Valuation Services



Stephen J Bloch

IL State Certified General Appraiser

#553.002894 (Expires 09/30/25)



Edward V. Kling, MAI

IL State Certified General Appraiser

#553.000692 (Expires 09/30/25)

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### Exhibits Included in the Report

General Area Map	Zoning Map
Neighborhood Map	Location Map: Land Sales
Parcel Map	
Aerial View of Subject	

### Addenda

Subject Photographs	Qualifications of the Appraisers
Flood Hazard Map	
Engagement Letter	

**SUMMARY OF SALIENT FACTS AND CONCLUSION**

Property Address:	122 South 2nd Street
	St. Charles, IL 60174
Property Type:	Vacant Land
Parcel Identification Number (PIN)	09-34-126-021
Land Area:	5,662 SF 0.13 Ac.
Flood Hazard Zone:	Zone X
Highest and Best Use:	Mixed Use Development
Sales Comparison Approach Value:	\$340,000

<b>Final Value Estimate:</b>	<b>\$340,000</b>
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Effective Valuation Date:	August 26, 2025
Date of Property was Physically Viewed:	August 26, 2025
Date of Report:	August 29, 2025
Type of Report:	Appraisal Report
Purpose of Report:	Estimate Market Value
Exposure Time Estimate:	3-6 Months
Interest Appraised:	Fee Simple

CERTIFICATION

We certify that, to the best of our knowledge and belief:

1. The statements of fact contained in this appraisal report are true and correct.
2. The reported appraisal analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are our personal, impartial, and unbiased, professional analyses, opinions, and conclusions.
3. We have no present or prospective interest in the appraised property that is the subject of this report, and no personal interest with respect to the parties involved.
4. We have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
5. We have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
6. Our engagement in this assignment was not contingent upon developing or reporting predetermined results.
7. Our compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
8. Our analyses, opinions, and conclusions were developed, and this report has been prepared in conformity with the Uniform Standards of Professional Appraisal Practice (USPAP).
9. Stephen J Bloch personally viewed the property that is the subject of this report. Edward V. Kling, MAI did not personally view the property.
10. No one provided significant real property appraisal assistance to the person(s) signing this report.
11. The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives. To the best of our knowledge and belief, the reported analyses, opinions and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and the Standards of Professional Appraisal Practice of the Appraisal Institute.
12. As of the date of this report, I, Edward V. Kling, MAI, have completed the continuing education program for Designated Members of the Appraisal Institute.



Stephen J Bloch

IL State Certified General Appraiser  
#553.002894 (Expires 09/30/25)



Edward V. Kling, MAI  
IL State Certified General Appraiser  
#553.000692 (Expires 09/30/25)



**PART II: PREMISES OF THE APPRAISAL****SCOPE OF WORK**

The Uniform Standards of Professional Appraisal Practice (USPAP) defines scope of work as “the amount and type of information researched and the analysis applied in an assignment.” USPAP clearly states the “burden of proof” for the scope of work decision rests solely with the appraiser(s), not the client. Standards Rule 1-2 in USPAP requires that each appraisal determine the scope of work necessary to produce credible assignment results in accordance with the SCOPE OF WORK RULE. The scope of work rule in USPAP states that for each appraisal assignment an appraiser must:

1. Identify the problem to be solved;
2. Determine and perform the scope of work necessary to develop credible assignment results; and
3. Disclose the scope of work in the report.

Scope of work includes, but is not limited to, following:

- ▶ the degree to which the property is inspected or identified;
- ▶ the extent of research into physical or economic factors that could affect the property;
- ▶ the extent of the data research; and
- ▶ the type and extent of analysis applied to arrive at opinions or conclusions.

**Problem Identification**

An appraiser must gather and analyze information about those assignment elements that are necessary to properly identify the appraisal problem to be solved. In an appraisal assignment, identification of the problem to be solved requires the appraiser to identify the following elements:

Client and Intended Users:	City of St. Charles
Intended Use of the Opinion/Conclusion	Internal business decision purposes
Standard of Value	Market Value
Effective Date of Opinion/Conclusion/Value	August 26, 2025
Interest Valued	Fee Simple
Assignment Conditions (if any)	None

Evaluation of assignment complexity, by the appraisers, in concert with client statements, agreements, and inferences constitute the primary basis for the scope of work decision. Based on the level of knowledge and familiarity of appraisal reports that the client/intended users have, this appraisal report format satisfies their needs. All necessary data is summarized to support the value conclusion, and the highest and best use analysis is inferred.

**Scope of the Assignment**

Appraisal development signifies the extent of the reasoning and analysis that culminates in an estimate of value. It is presumed this appraisal report is sufficient for the specific need of the client and any other intended users specifically identified herein. The following steps are taken in developing the appraisal.

- ▶ consideration of influential market area, physical, economic, and governmental factors
- ▶ determination of the subject's highest and best use
- ▶ development of all/any applicable/relevant/supported approaches to value
- ▶ reconciliation of value indications, if appropriate
- ▶ preparation of this report

According to USPAP, all valuation approaches that are applicable to the interest being appraised and necessary to produce credible results must be developed. Applicable and necessary approaches were selected for development after consideration of available market data. An approach considered not applicable may be omitted if the valuation methodology is determined to be inappropriate for the property being appraised, or if sufficient data to properly develop the approach is not available. As stated in USPAP in the scope of work rule, credible assignment results require support by relevant evidence and logic. The relevance and development of each major approach is listed below:

<b><u>Approach</u></b>	<b><u>Applicability to Subject</u></b>	<b><u>Use in Assignment</u></b>
Cost Approach	Not Applicable	Not Utilized
Sales Comparison	Applicable	Utilized
Income Approach	Not Applicable	Not Utilized

The subject property is a vacant land site. As the site does not have significant real property improvements, neither the Cost Approach nor the Income Capitalization approach is applicable. The exclusion of these approaches does not impact the reliability of the appraisal. The Sales Comparison approach will be utilized to estimate the value of the subject site.

**Observation of the Subject Property:** In the course of this assignment, the appraiser viewed the subject property on August 26, 2025. The observation included viewing the site to determine general attributes such as topography, access, and the overall utility. Reference was also made to other sources of information including aerial views, tax maps, flood hazard maps, wetlands maps, soils maps, and traffic count maps. Information as to real estate taxes and property ownership were taken from County records.

**Collection and Inspection of Comparable Data:** Information on sales, rentals, and listings was obtained from various sources including the local assessor/county records, multiple listing services, market participants, appraiser files, and/or other real estate professionals. When possible, someone directly involved in the sale (buyer, seller, attorney, broker) was contacted to verify details of the sale. If unavailable, indirect verification is utilized, which employs information obtained from a secondary source like recorded county-level documentation, a multiple listing service, or peer appraisal firm. All comparable data is confirmed using multiple sources to ensure accuracy.

**Highest and Best Use:** Highest and best use analysis can be categorized into two groups; inferred and fundamental. In this analysis, the appraisers have used an inferred analysis. This type analysis uses trends and patterns to infer a general highest and best use for the subject. Market dynamics that might be considered are prices, marketing times, rents, vacancy, and listings of similar real estate. Market surveys that include investors, brokers, appraisers, etc. such as PriceWaterhouseCoopers, RERC, Marcus & Millichap, CoStar, and CBRE have been consulted and cited in this analysis. Subject specific studies were not made during this appraisal process.

**Experience:** The appraisers have had experience with appraising similar properties in the metropolitan area and have the necessary skills to make the analyses required by this assignment. We have extensive experience appraising vacant land properties throughout Kane County.

**Duties Performed:** The appraisers that signed this report include state licensed and certified general real estate appraisers in the State of Illinois. Stephen J Bloch has viewed the property, and performed the scope of work determination, data analysis, and value conclusion. Edward V. Kling, MAI has provided data support and market opinions in a review capacity.

## PURPOSE, CLIENT, INTENDED USER, AND INTENDED USE

The purpose of this appraisal is to estimate the market value of the Fee Simple interest in the property as of the valuation date. The report has been prepared at the request of Mr. Derek Conley. The intended user of the report is City of St. Charles and its participants, successors, or assigns. The intended use of this appraisal report is for internal business decision purposes.

## MARKET VALUE DEFINITION

**Market value** is defined by the federal financial institutions regulatory agencies (Office of the Comptroller of the Currency under 12 CFR, Part 34, Subpart C-Appraisals, 34.42 Def. (f)) as follows:

The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and passing of title from seller to buyer under conditions whereby:

1. *Buyer and seller are typically motivated;*
2. *Both parties are well informed or well advised, and acting in what they consider their own best interest;*
3. *A reasonable time is allowed for exposure in the open market;*
4. *Payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and*
5. *The price represents the normal consideration for the property sold unaffected by special or creative financing or sale concessions granted by anyone associated with the sale.*

Actual transactions do not necessarily follow all of these concepts and are often affected by factors such as the urgency and needs of the buyer or seller. The main difference between market price and the above definition of market value can be summarized as follows: market price is the factual record of a transaction; market value is an estimate of what a property is worth based on a specific definition of market value.

### **DATE OF VALUE ESTIMATE**

The effective date of valuation is August 26, 2025, which is the day the property was last physically viewed. The property was viewed independently by the appraiser.

### **IDENTIFICATION OF THE PROPERTY APPRAISED**

The property appraised is located at the northeast corner of 2<sup>nd</sup> Street and Illinois Avenue, two blocks west of the Fox River, in St. Charles, IL. The common address of the property is 122 South 2nd Street, St. Charles, IL 60174. The property is also identified by its permanent index number (PIN): 09-34-126-021 in St. Charles Township, Kane County, Illinois.

The property consists of a 5,662 square foot rectangular shaped Vacant Land site. The site has grass, but no other landscaping or improvements. The site was previously improved, though the prior structure was razed around 2007.

The property's brief legal description, taken from the St. Charles Township Assessor website, is as follows.

### **FIRST STREET REDEVELOPMENT SUB PHASE 2 LOT 4**

### **STATEMENT OF OWNERSHIP AND SALE AND LISTING HISTORY**

Owner:	The current owner of the subject property is the City of St. Charles.
Comments:	The subject property has not transferred ownership during the three year period prior to the effective date of this appraisal, nor is it currently listed for sale or under contract.

A transfer of the subject property is being considered, as the current owner is seeking proposals from developers to build on the site as part of the ongoing First Street Redevelopment Project. The purpose of this report is to establish a market value for the subject site in relation to any potential transfer of ownership.



## PROPERTY RIGHTS APPRAISED

Property rights are influenced by the existence of a lease. For property that is not encumbered by a long term lease, the fee simple estate is appraised. For property that is subject to the terms of a lease, the lease fee estate is appraised. These terms are defined as follows:

**Fee Simple Estate:** "Absolute ownership unencumbered by any other interest or estate, subject only to the limitations imposed by the governmental powers of taxation, eminent domain, police power, and escheat." (Appraisal Institute, " *The Dictionary of Real Estate Appraisal*," 2022, p.73)

**Leased Fee Estate:** "The ownership interest held by a lessor, which includes the right to receive the contract rent specified in the lease plus the reversionary right when the lease expires." (The Appraisal Institute, " *The Dictionary of Real Estate Appraisal*," 2022, p. 105).

For the subject property, the property rights appraised are the Fee Simple estate.

## APPRAISAL STANDARDS

The appraisal report is prepared in accordance with the requirements of the Uniform Standards of Professional Appraisal Practice (USPAP). These Standards, developed by the Appraisal Standards Board of the Appraisal Foundation, establish the minimum standards acceptable to the development and reporting of an appraisal assignment. The State of Illinois has adopted USPAP as the guidelines that must be followed by state certified and licensed appraisers.

## HYPOTHETICAL CONDITIONS AND EXTRAORDINARY ASSUMPTIONS

A hypothetical condition is something that is known not to be true as of the date of the report. However, for the analysis in the report, it is assumed to be true. An extraordinary assumption is something that cannot be confirmed to be true or false as of the date of the appraisal. If the assumed condition is shown to be wrong, the value conclusion could be affected.

For this report, there are no hypothetical conditions or extraordinary assumptions.

### **ASSUMPTIONS AND LIMITING CONDITIONS**

This appraisal report is expressly subject to the following stipulations:

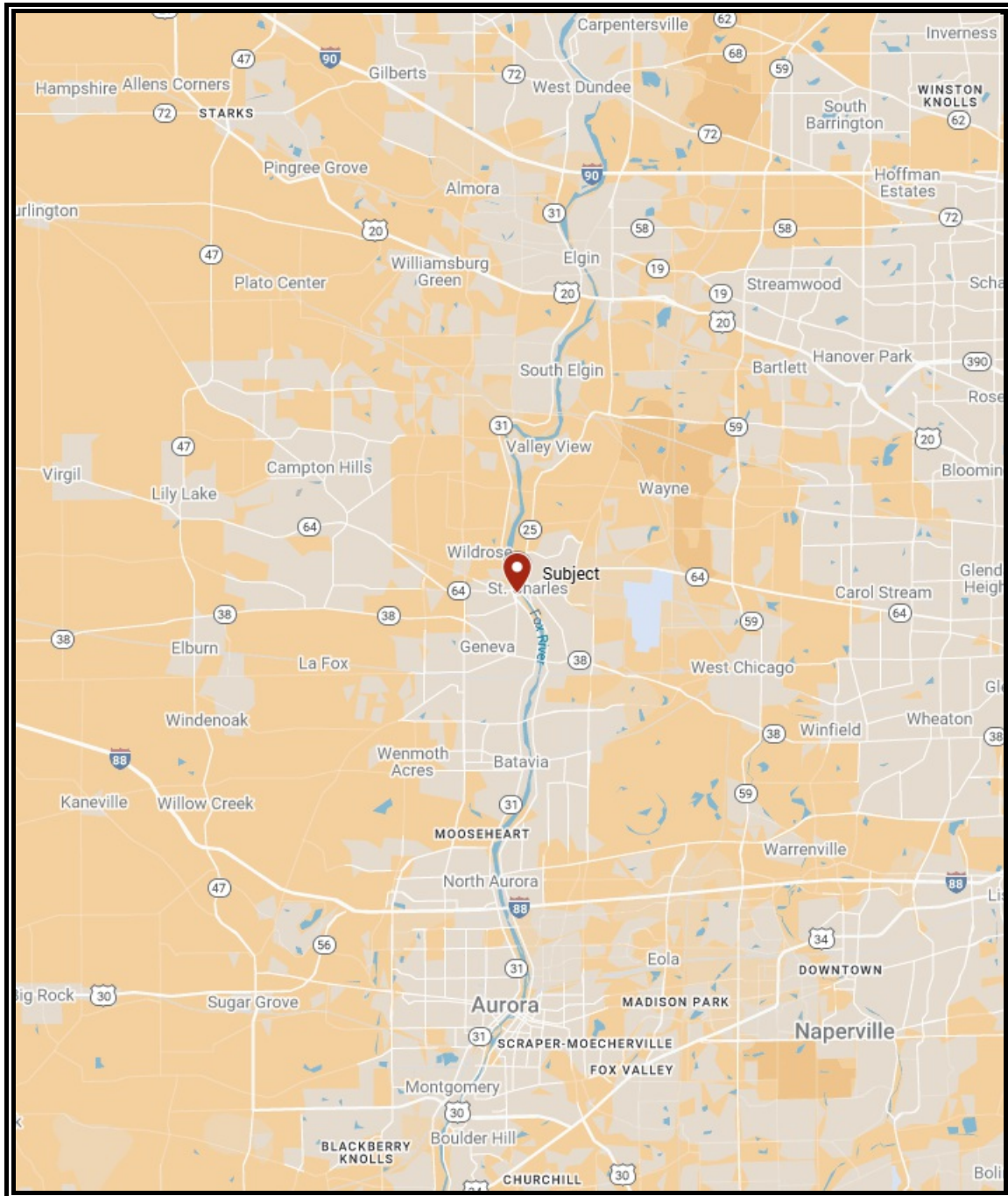
1. That the opinions expressed in this report apply to the stated valuation date. We, the appraisers, assume no responsibility for economic or physical factors occurring at some later date which may affect the stated opinions.
2. That no opinion is intended to be expressed for legal matters or that would require specialized investigation or knowledge beyond that ordinarily employed by real estate appraisers, although such matters may be discussed in the report.
3. That no opinion as to title is rendered. Data on ownership and the legal description were obtained from sources generally considered reliable. Title is assumed to be marketable and free and clear of all liens and encumbrances, easements, and restrictions except those specifically discussed in the report. The property is appraised assuming it to be under responsible ownership and competent management and available for its highest and best use.
4. That no engineering survey has been made by the appraisers. Except as specifically stated, data relative to size and area were taken from sources considered reliable, and no encroachment of real property improvements is assumed to exist.
5. That maps, plats, and exhibits included in the report are for illustration only, as an aid in visualizing matters discussed within the report. They should not be considered as surveys or relied upon for any other purpose.
6. That no opinion is expressed as to the value of subsurface oil, gas, or mineral rights, and that the property is not subject to surface entry for the exploration or removal of such materials except as is expressly stated.
7. That the projections included in this report as utilized to assist in the valuation process are based on current market conditions, anticipated short term supply and demand factors, and a continued stable economy. Therefore, the projections are subject to changes in future conditions that cannot be accurately predicted by the appraisers and could affect the future income or value projections.
8. That testimony or attendance in court or at any other hearing is not required by reason of rendering this appraisal unless such arrangements are made a reasonable time in advance.
9. That because no title report was made available to us, we, the appraisers, assume no responsibility for such items or record not disclosed by normal investigation.

10. That no detailed soil studies covering subject property were available to us. Therefore, premises as to soil qualities employed in this report are not conclusive, but have been considered consistent with information available to the appraisers.
11. That we, the appraisers, have personally viewed the subject property and find no obvious evidence of structural deficiencies except as stated in this report; however, no responsibility for hidden defects or conformity to specific governmental requirements, such as fire, building and safety, or occupancy codes, can be assumed without provision of specific professional governmental inspections.
12. That although no termite inspection report was available, the appraisers personally viewed the subject property and found no significant evidence of termite damage or infestation.
13. That no consideration has been given in this appraisal to personal property located on the premises, or to the cost of moving or relocating such personal property, but only to the real property has been considered.
14. That unless otherwise stated in the report, the existence of potentially hazardous material, which may or may not be present on or near the property, was not observed by the appraisers. The appraisers have no knowledge of the existence of such materials on or in the property. The appraisers are not qualified to detect such substances. The presence of substances such as asbestos, urea-formaldehyde foam insulation, or other potentially hazardous materials may affect the value of the property. No consideration has been given in our analysis to any potential diminution in value should such hazardous materials be found. No responsibility is assumed for any such conditions, or for any expertise or engineering knowledge required to discover them. The client is urged to retain an expert in this field, if desired.
15. That the information identified in this report as being supplied by others is believed to be reliable, but no responsibility for its accuracy is assumed.
16. The Americans with Disabilities Act (ADA) became effective January 26, 1992. The appraisers have not made a specific compliance survey and analysis of this property to determine whether or not it is in conformity with the various detailed requirements of the ADA. It is possible that a compliance survey of the property, together with a detailed analysis of the requirements of the ADA, could reveal that the property is not in compliance with one or more of the requirements of the Act. If so, this fact could have a negative effect upon the value of the property. This analysis does not consider possible compliance with the requirements of the ADA in estimating the value of the property.

17. Hypothetical Condition / Extraordinary Assumptions: A hypothetical condition is something that is known not to be true as of the date of the report. However, for the analysis in the report, it is assumed to be true. An extraordinary assumption is something that cannot be confirmed to be true or false as of the date of the appraisal. If the assumed condition is shown to be wrong, the value conclusion could be affected.

For this report, there are no hypothetical conditions or extraordinary assumptions.

**GENERAL AREA MAP**



*Cornerstone Realty Advisors File No. C25-462 Vacant Land, 122 South 2nd Street, St. Charles, IL 60174*



**PART III: PRESENTATION OF THE DATA****LOCATION DATA**

The subject property is located in the City of St. Charles. St. Charles is located approximately 38 miles west of downtown Chicago and consists of a total land area of approximately 14.4 square miles. Nearby communities include Lilly Lake and Elburn to the west, Geneva and Batavia to the south, West Chicago to the east, and South Elgin to the north. The city is bisected by the Fox River which runs north/south, and is approximately halfway between Kane County's largest communities, Elgin to the north and Aurora to the south. The city was incorporated in 1839.

**Population and Housing Characteristics**

According to the US Census, the April 2020 population was 33,081 which was a slight increase from the April 2010 population of 32,974. Of residents age 25 and up, 95% have a high school diploma and 51% are college graduates. The median household income is \$115,350 and the per capita income is \$59,651; however, 3.9% of the population lives in poverty. Working residents age 16 and up have an average commute time of 29 minutes.

St. Charles is primarily a residential community. The US Census indicates that 70% of the housing units in St. Charles are owner occupied, and that those owner occupied units have a median value of \$369,700. According to the local MLS statistics for the one year period from April 2024 through March 2025, single family homes in St. Charles ranged in sales price from \$58,500 to \$3,200,000 with an average of \$622,214 and a median of \$560,000. The 529 total single family home sales had an average marketing time of 39 days. In the same time period, attached homes (town homes and condominiums) ranged in sales price from \$197,000 to \$806,000 with an average of \$373,290 and a median of \$370,000. The 187 total attached housing sales had an average marketing time of 50 days.

**Commerce and Industry**

St. Charles has more than 160 manufacturing concerns located on more than 518 acres of industrial sites. Manufacturing, services, and retail are the three largest employment categories. Many newer light industrial/warehouse structures have been built in St. Charles' Business Park on the city's east side. The Pheasant Run Resort is in the process of being redeveloped in favor of further industrial use, with retail uses along the Route 64 frontage.

The City of St. Charles has long been known for its historical shopping district with antique stores and specialty shops. Its downtown district dates from the 1800s, and continual efforts are made to preserve the character of the district. The Charlestowne Mall, located to the east side of town, is a regional mall that opened in the late 1980's. Plans have been discussed to demolish portions of the mall and redevelop portions of the site, but have yet to gain traction. The Main Street frontage has been redivided and two new restaurant properties, Coopers Hawk and Starbucks, have been constructed. Geneva's modern lifestyle center, Geneva Commons, is located just south of St. Charles off Randall Road; it has attracted many tenants and likely contributed to the demise of the Charlestowne Mall.

### **Transportation**

Transportation is predominately by private automobile. The major east west arteries are Route 64 (Main Street in St. Charles) which leads through the western suburbs into Chicago, and Route 38 which connects adjoining Geneva to the western suburbs and Chicago. The East West Tollway is located approximately 6 miles south of St. Charles and is directly accessible via Kirk Road. Two of the major north south arteries include Routes 31 and 25, both of which run alongside the Fox River. Randall Road, near the city's western boundary, has gained significant importance as a north south arterial road throughout Kane County. Kirk Road on the east side is another major road and serves the aforementioned St. Charles Business Park, providing access to the East West Tollway. Route 47 runs north to the Illinois/Wisconsin State line and south to Champaign Urbana in central Illinois. Route 47 provides access to I 90 to the north and I 88 to the south. Commuter train service to downtown Chicago is available from the Union Pacific West Line metra stations in Geneva and in nearby Elburn. The DuPage County Airport, just outside of St. Charles' eastern boundary, has undergone tremendous expansion, including a signature golf course. The runways allow corporate jets and have been beneficial to some of the corporations located in nearby industrial parks.

### **Community Facilities**

The local school system is well regarded and includes numerous Elementary Schools, Jr. High Schools, two High Schools, and a Special Education School. The average composite ACT scores have been consistently above the statewide average. Houses of worship of most denominations can be found in the St. Charles area. Delnor Community Hospital, which opened in 1990 and is now part of the Northwestern Medical network, is located just south of St. Charles in neighboring Geneva. Recreational facilities include 34 parks, three swimming pools, a recreation center, a community center, and a cultural arts center. The Fox River offers boating and fishing. St. Charles has a recently expanded and renovated library, numerous restaurants, and several nearby golf courses and movie theaters.

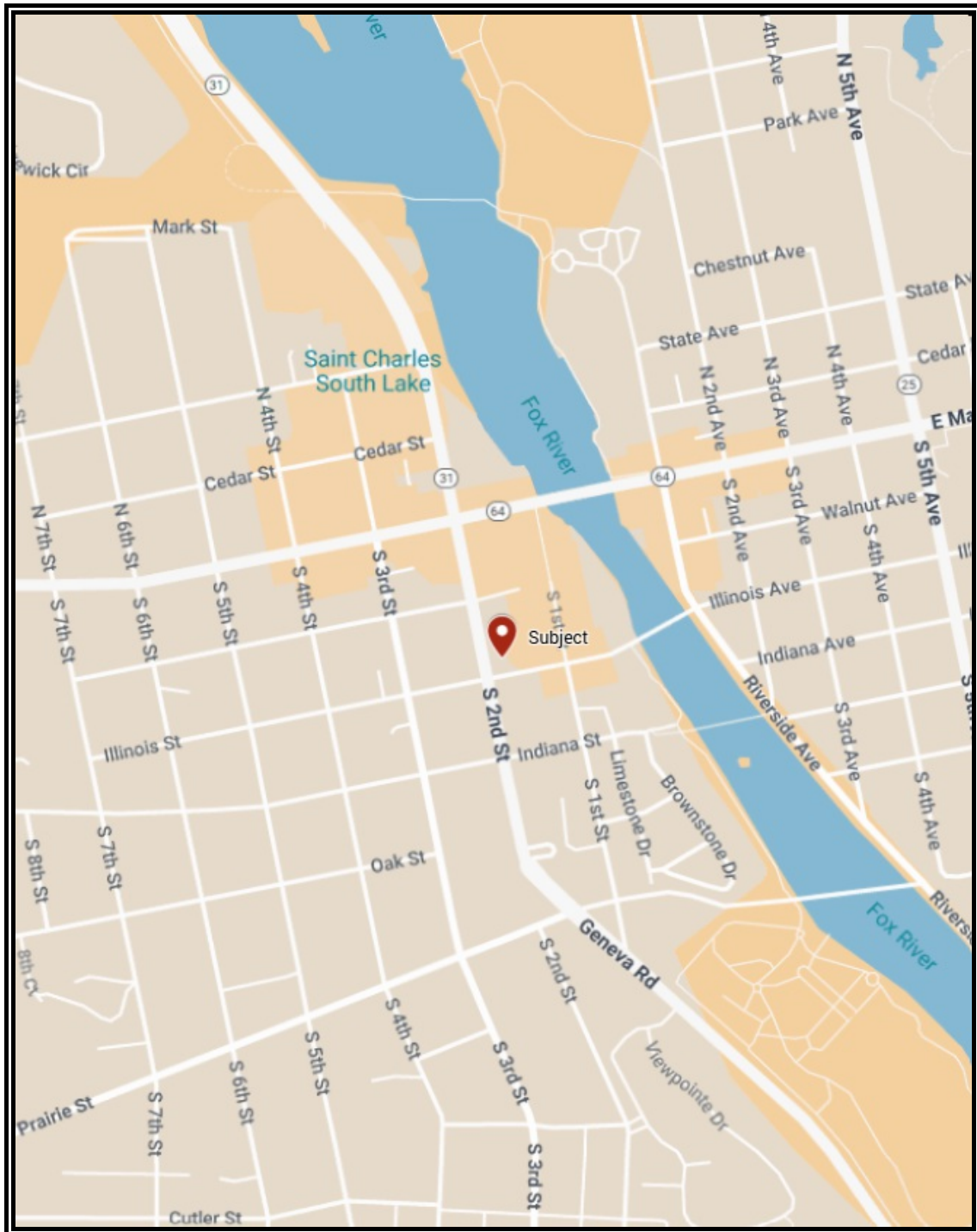
### **Utilities and Village Services**

The unincorporated areas west of the City of St. Charles do not have municipal water and sewer service. The Fox Mill subdivision has its own sewer treatment facility and water. St. Charles provides municipal well water and its own sewage treatment facilities for most incorporated areas. Electricity is provided by the City of St. Charles, and natural gas is provided by Northern Illinois Gas. The city of St. Charles has a Fire Department and a Police Department with full time staffs. Ambulance and rescue services are provided.

### **Conclusion**

St. Charles is a far west suburban community that has historically had above average housing values, a very good school system, modern industrial parks, and adequate transportation, including a nearby airport and relatively convenient Tollway access.

**NEIGHBORHOOD MAP**



## NEIGHBORHOOD DESCRIPTION

**Location:** The subject property is located at the northeast corner of 2<sup>nd</sup> Street (also known as Route 31) and Illinois Avenue, two blocks west of the Fox River, in St. Charles, IL. The subject has very good access and visibility from this corner location. The nearby properties in this area are primarily retail and mixed-use retail and residential uses. Many of the structures in the immediate vicinity are relatively new, with older residential properties to the west.

**Stage of Development:** The subject's neighborhood is considered to be the area bordered by Prairie Street to the south, 2<sup>nd</sup> Street (Route 31) to the west, Main Street (Route 64) to the north, and 5<sup>th</sup> Avenue (Route 25) to the east. This neighborhood encompasses downtown St Charles and the Fox River, and is nearly fully developed; there is limited remaining vacant land available in this neighborhood. There has been considerable development and redevelopment in this neighborhood over the course of the past approximately 20 years, primarily on the west side of the Fox River; this portion of the neighborhood features a pedestrian friendly area with mixed-use and multifamily developments.

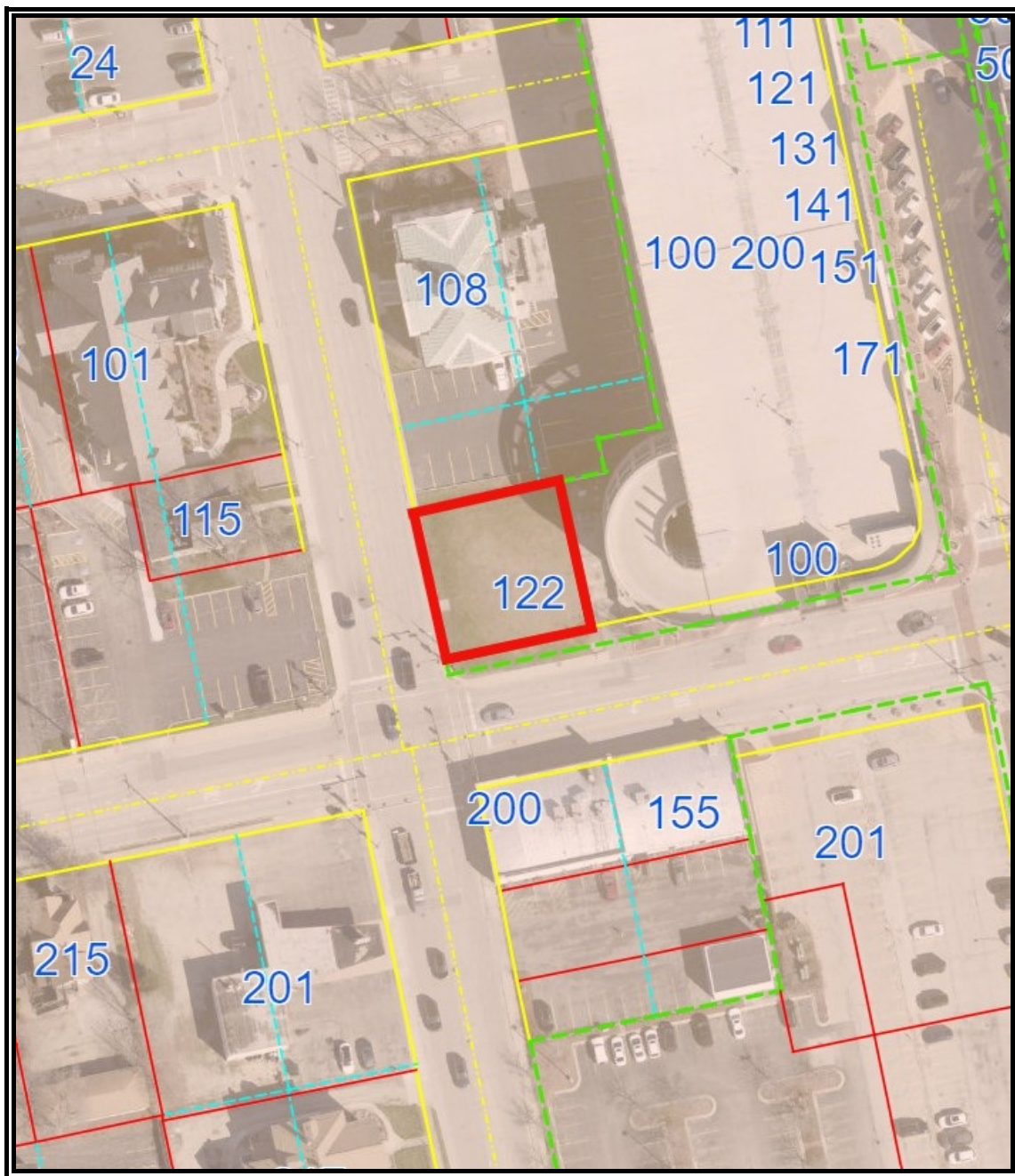
**Streets and Utilities:** 2<sup>nd</sup> Street is a primary road in this area traveling generally north/south along the west side of the Fox River. About 600 feet to the north is the heavily traveled Route 64 (Main Street), which is also primary route in the area. To the east of the subject, on the opposite side of the Fox River, 5<sup>th</sup> Avenue is a north/south roadway also known as Route 25. Other major east/west roadways in this area include Route 38 about 1½ miles to the south (the primary east/west roadway through the neighboring community Geneva) and Army Trail Road about 3 miles to the north. West of the subject just over one mile is Randall Road, a primary north/south corridor through Kane County. All customary private and public utilities are available at the subject site.

**Accessibility and Exposure:** 2<sup>nd</sup> Street is a moderately traveled street in this area, with an Illinois Department of Transportation (IDOT) reported traffic count of 10,400 in the vicinity of the subject. Just to the north, Main Street is a heavily traveled primary route with a daily count of 28,300 travelers. To the east, 5<sup>th</sup> Avenue (Route 25) has a reported traffic count of 6,350 vehicles. Route 38 to the south sees 25,600 travelers per day in the vicinity of the Fox River. The interstate system is accessible about 11 miles to the north via I-90, or about 8 miles to the south via I-88. O'Hare Airport is roughly 20 miles to the northeast, while Midway Airport is about 30 miles to the southeast.

**Local Market Conditions:** The subject's neighborhood is considered to be a good location for retail and mixed-use developments. According to CoStar Analytics, the current retail vacancy rate in St. Charles is 17.7%, while the multifamily vacancy rate is 2.8%.



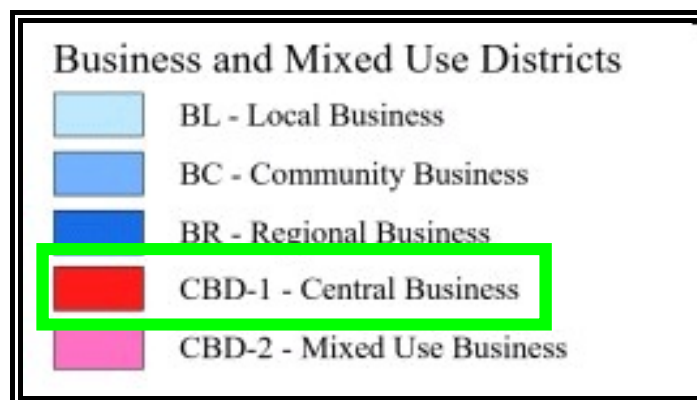
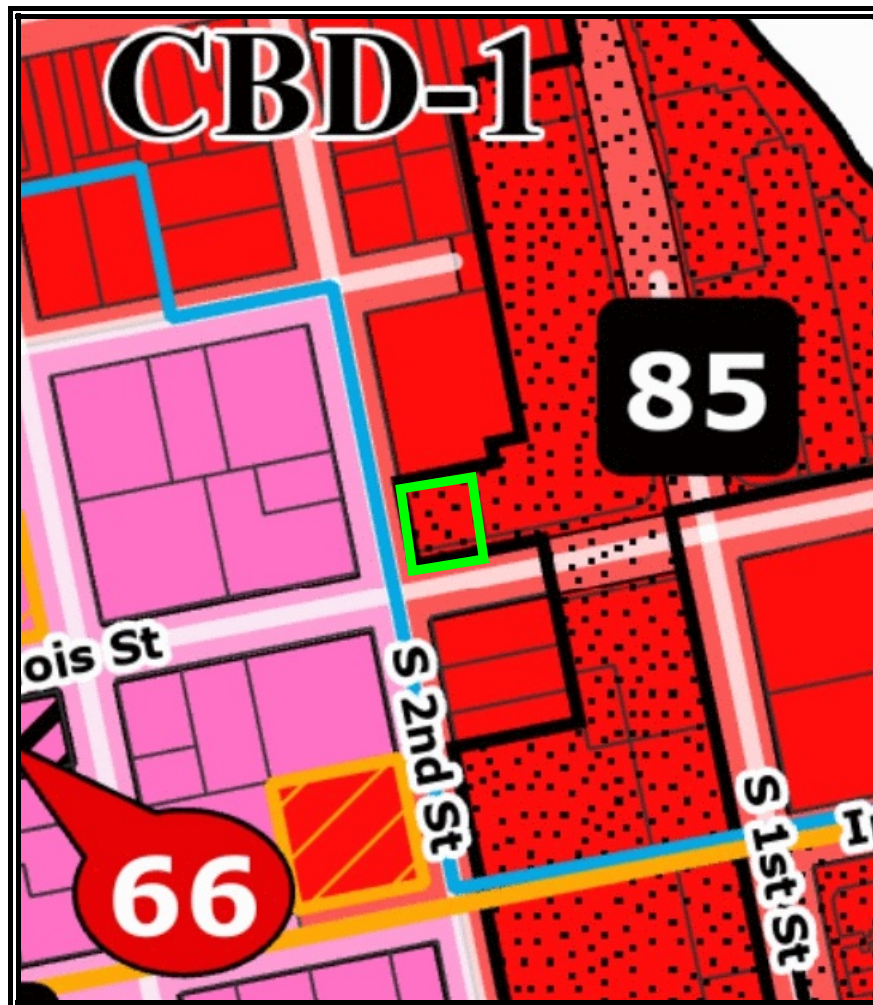
**AERIAL MAP**



**SITE DESCRIPTION**

Location:	122 South 2nd Street, St. Charles, IL 60174
Lot Size:	5,662 SF or 0.13 AC.
Lot Shape:	Rectangular.
Street Frontage:	Approximately 76 feet along 2 <sup>nd</sup> Street, and approximately 76 feet along Illinois Street.
Access and Visibility:	Very good access and visibility from corner location.
Utilities:	All typical public and private utilities are available at the subject site.
Topography:	Appears to be generally level and at grade with the adjacent streets and properties.
Soil Conditions:	No soil tests were provided. We assume that the soil has sufficient load-bearing capacity to support the existing structure. No obvious signs of abnormal settling were observed.
Flood Hazard Zone:	Zone X, an area of minimal flood risk, according to the FEMA Flood Insurance Rate Map Number 17089C0262H, dated August 3, 2009. Flood hazard insurance is not required. A copy of a portion of the map is included in the addenda of this report.
Wetlands:	Wetland evaluation is beyond our scope of expertise. A qualified individual should be consulted on this matter. However, according to the U.S. Fish and Wildlife Service Wetland Data, there appears to be no wetlands present on the site and none are assumed to exist.
Easements and Encroachments:	A title report was not provided. An ALTA plat of survey was not provided. We are not aware of any adverse easements or encroachments and we assume that none exist.
Environmental Considerations:	An environmental evaluation of the property is beyond the scope of our expertise. We have no knowledge of environmental problems on the property, none were reported to us, and we assume that none exist. If certainty is required, the client is advised to consult an expert in environmental conditions.

ZONING MAP



**ZONING**

Zoning District:	CBD-1 Central Business
Zoning Authority:	City of St. Charles
District Description:	The purpose of the CBD-1 Central Business District is to provide for the maintenance and orderly growth of a mixed use, pedestrian friendly, compact district of retail, service, office, and higher density residential uses in the central area of the City. Development within the CBD-1 District is intended to promote the upgrade and full utilization of existing older structures as well as appropriate redevelopment. The district is intended primarily for retail uses, with upper level residential units allowed.
Minimum Lot Area:	1,000 square feet per upper level dwelling unit; no minimum for non-residential uses.
Minimum Lot Width:	None.
Maximum Gross Floor Area:	40,000 square feet per building.
Maximum Site Coverage:	None.
Maximum Building Height:	50 feet.
Front Yard Setback:	None required; 5 feet maximum.
Rear Yard Setback:	None.
Interior Side Yard Setback:	None.
Exterior Side Yard Setback:	5 feet.
Subject's Zoning Conformity:	Per preliminary review of the above zoning regulations, it is our opinion that the subject is of adequate size to support the development of a legal and conforming use. The 5,662 square foot site could support a mixed-use building with as many as 5 upper level residential units per the current zoning.

**REAL ESTATE TAX DATA**

Permanent Index Number: 09-34-126-021  
 County: Kane County  
 Township: St. Charles Township  
 Assessment Ratio: 33.33%  
 Tax Year: 2022, payable 2023

In Kane County, the assessed value for all property types, including vacant sites, is based on 33.33% of the Assessor's estimate of market value. Real estate taxes are based on the assessed value, times the county or local equalization factor, times the tax rate. However, as the subject site is owned by the City of St. Charles, it is tax exempt; it therefore has no published assessment and has not been charged property taxes.

The information in the table below summarizes the property taxes for two area sites which are not tax exempt. The first site, south of the subject in Geneva, has only grass like the subject. The second site, to the east of the subject in St. Charles, has asphalt paving and is used as a parking lot.

Address	PIN	Assessor's 2024 Market Value	Land SF	Assessor's Market Value /SF	2024 Taxes	Taxes/SF Land
402 W State St, Geneva	12-03-412-007	\$352,277	8,100	\$43.49	\$9,358.46	\$1.16
206 S Riverside Dr, St. Charles	09-34-130-005	\$324,168	11,761	\$27.56	\$8,560.28	\$0.73
Average						\$0.94

The table above summarizes the 2024 property taxes for two area undeveloped sites. Based on that data, a reasonable estimate of property taxes for the subject if it were not tax exempt is within the range of \$.73 per square foot of land to \$1.16 per square foot of land. Based on the subject's 5,662 square foot size, taxes could be expected to fall within the range below:

Range	Subject Land SF	x	Tax/SF Land	=	Potential Taxes
Lower	5,662	x	\$0.73	=	\$4,121
Average	5,662	x	\$0.94	=	\$5,331
Upper	5,662	x	\$1.16	=	\$6,542

Note that a potential sale of the subject site may impact the Assessor's opinion of site value.



## PART IV: ANALYSIS AND CONCLUSIONS

### HIGHEST AND BEST USE

The term "highest and best use" as defined in *The Dictionary of Real Estate Appraisal* (Sixth Edition), published by the Appraisal Institute, Chicago, Illinois is as follows:

"The reasonably probable use of property that results in the highest value. The four criteria that the highest and best use must meet are legal permissibility, physical possibility, financial feasibility, and maximum productivity."

There are four criteria used to narrow the possible uses of a property to a conclusion:

**Physically Possible:** Consider any restrictions imposed by the physical limits of the site, such as size, topography, easements, shape, accessibility of land, risks of natural disasters, or other physical limitation.

**Legally Permissible:** Consider both public and private restrictions on the use of the site, such as zoning, building codes, deed restrictions, environmental considerations, or other restrictions that may preclude development. If a use is not currently allowed, there must be a reasonable probability of changing the zoning classification or removing the restriction or limitation.

**Financially Feasible:** As long as a potential use has value commensurate with its cost and conforms to the first two tests, the use is financially feasible. The analysis of financial feasibility will often focus on which potential uses are likely to produce an income (or return) equal to or greater than the amount needed to satisfy operating expenses, financial obligations, and capital amortization of the investment.

**Maximally Productive:** Among the feasible uses, the final selection is that use which will produce the highest net return to the land or the highest present worth.

There are two steps in the highest and best use analyses. First, the site is considered as if vacant and available for development to its highest and best use. Second, the property is considered as currently improved. Land is always valued as if vacant. If a site is improved with a building, it is possible that the highest and best use of the site as improved is different from the highest and best use as if vacant.

The basis for conclusions about highest and best use is determined by analysis of market forces. The highest and best use of a property is not a fact that can be discovered. Rather, it is an opinion based on the appraiser's judgement and analyses of the potential market for the property. The estimate of highest and best use provides the basis for analysis of the property appraised and the selection of sales of comparable properties.

### Highest and Best Use of the Site

1. **Legally Permissible:** The subject is currently zoned CBD-1 Central Business in the City of St. Charles. A wide range of retail and service uses are allowed in this district, as are upper level dwelling units. No zoning changes are anticipated, therefore the zoning classification limits the potential uses.
2. **Physical Limitations:** The subject site has a rectangular shape and is of adequate size to allow a variety of structures. It has adequate street frontage, level topography, and good access and exposure. A variety of uses are physically possible on the site.
3. **Financially Feasible:** In order to be considered financially feasible, a use must return to the land a profit consideration. In other words, any development must be able to pay for itself and provide a sufficient return to attract both debt and equity sources of money. Given the site's zoning and market conditions, a mixed use development with ground level retail space and as many as five upper level dwelling units appears most probable. Current rents would likely support the cost of construction.
4. **Maximal Productivity:** The test of maximum productivity is to determine the actual use of the property that results in the highest land value and/or the highest return to the land. It is important to consider the risk of potential uses, as a use that may generate the highest returns in cash could also be the riskiest and thus not as likely for a developer to consider. In this case, the maximally productive use is a mixed-use development.

**Conclusions:** The highest and best use of the subject site is the development of mixed-use retail and residential improvements. The ideal improvements would feature a building with high quality masonry construction, and ground level retail space that can be adapted to a variety of potential users. Upper level residential units would feature 2 bedroom or 3 bedroom units, at least one full bathroom per bedroom, open floorplans, in-unit laundry, and on-site parking.

## APPROACHES TO VALUE

For all improved parcels of real estate, the valuation process includes consideration for three different approaches to arrive at an indication of value for the property appraised: the cost approach, the sales comparison approach, and the income capitalization approach. The value indications by each of these three traditional approaches to value are then reconciled into a final estimate of value for the property appraised. Since the property appraised is a vacant site, only a sales comparison approach is considered appropriate.

### **Cost Approach / Income Capitalization Approach (Not Applicable)**

A cost approach to value starts with an estimate of the cost new of the improvements to property. Consideration is given to physical deterioration, functional obsolescence, and external obsolescence. Accrued depreciation is subtracted from the estimated cost new to arrive at the depreciated value of the improvements. Estimated land value is added to get an indication of the value of the property. This approach is not considered relevant for the subject property.

An income capitalization approach is based on the principle of anticipation. The value of a property is the present worth of the prospective benefits of ownership. In other words, there is a relationship between the potential net income a property is capable of producing and its value. Estimated net income is capitalized into an indication of value by using an appropriate rate or factor. The subject property would not be purchased for its current ability to produce an income; this approach is not relevant.

### **Sales Comparison Approach**

The sales comparison approach is based on the concept that a prospective buyer is not likely to pay more for a property than the price of obtaining an equally desirable and functional alternative property. This method compares the property being appraised to other recently sold or currently listed properties that have similar characteristics. Since no two properties are identical, adjustments are made to the price of the comparable properties for observed differences that influence value. Negative adjustments are made to the sale price for features in the comparable property that are superior to that of the property appraised. Positive adjustments are made when the comparable property is inferior to the property appraised. The net result is an indicated value for the property appraised. The reliability of this method is based upon the availability of comparable market data and the degree of comparability.

## **SALES COMPARISON APPROACH: LAND VALUE**

Land is valued on the basis of its estimated highest and best use as if vacant. The most frequently used method of valuing land is the sales comparison method. The subject site is compared to other recently sold sites, or current listings, with a similar highest and best use. Because of differences in the size of the subject and comparable market data, comparison is made on the basis of a unit of comparison such as sale price per square foot or other relevant unit for comparison. An indication of value for the subject site is obtained by making adjustments to the price of the comparable sites for any differences that influence value. If the comparable site is superior in some respect, a minus adjustment is made; if the comparable is inferior, a plus adjustment is made. The adjusted unit value is applied to the subject site to arrive at an estimate of market value for the subject site.

The market data selected are located near the property appraised or in areas considered reasonably comparable. A location map showing the market data is included. Each of the comparable properties was compared to the subject site; adjustments were made to account for differences that influence value. Details on the sales of comparable properties considered most relevant in estimating the value of the subject site are included on the following pages; the data is summarized in the chart on the following page.

In order to remove from the sale price the influence of unusual financing, changing market conditions, and unusual buyer or seller motivation, these factors were considered first:

- Financing: Any unusual financing that impacted the sale price is noted and adjusted.
- Conditions of Sale: REO, foreclosure, and similar bank owned sales are noted, and the surrounding market is considered to gauge the need for and voracity of the adjustment.
- Market Conditions (Time): Has there been a change in the market since the sale date; have prices generally increased or decreased? The unit price is adjusted for any change caused by the market conditions from the date of the sale to the valuation date.

Next, consideration is given to other elements of comparison such as location, size, shape, quality of construction, topography, zoning, utility, and other factors that could influence value.

Comparisons between the subject property and the sales for the various elements of comparison are made on a qualitative basis. While it is difficult and subjective to try to quantify any difference between the subject and the sale, the basis, or reason, for the qualitative difference (superior or inferior) can be given. Comparisons of the sale with the subject can be shown as: similar (equal), superior (minus), or inferior (plus). Each sale is compared to the subject and a unit value estimated for the subject site.

The market data selected are located in areas considered reasonably comparable. A location map showing market data is included. Details on the sales considered most relevant in estimating the value of the subject are included on the following pages

Sale No. 1		Subject
Street Address:	402-442 S First St	122 South 2nd Street
City:	St. Charles, IL	St. Charles, IL 60174
PIN:	09-34-177-010, 09-34-136-001, -002, -003	09-34-126-021
Use:	Vacant Land	Vacant Land
Grantor:	Milestone Properties STC LLC	
Grantee:	J&B Builders Inc	
Document No.:	2022K019650	
Lot Area:	31,799 sf      0.73 ac.	5,662 sf      0.13 ac.
Sale Date:	April 2022	
Sale Price:	\$772,500	
Indicated Unit Price:	\$24.29	
Adjusted Unit Price:	\$38.87	
Comments: This is the sale of a divided vacant land site located south of the subject in downtown St. Charles. The primary portion of the site is a 29,185 square foot rectangular parcel at the corner of First Street and Prairie Street, while the remaining 2,614 square feet is a rectangular site located across Prairie Street to the south. The primary portion of the site has CBD-1 zoning, while the smaller portion is zoned RM-3. The sale site is not within a flood zone. The site is being advertised as the future location of River 504, an upscale mixed use development.		
<u>Element of Comparison</u>	<u>Adjustment</u>	<u>Reason(s) for Adjustments</u>
Property Rights:	None	No adjustments.
Financing:	None	No adjustments.
Sale Conditions:	None	No adjustments.
Date of Sale:	Plus	Upward adjustment for the older date of this sale.
Location:	None	Locations are considered similar.
Site Size/Shape:	Strong Plus	Upward adjustment for economies of scale, as larger properties tend to sell for lower per unit values. Additional upward adjustment for sale's divided configuration.
Flood Zone:	None	No adjustments.
Zoning:	None	No adjustments.
Net Adjustment:	60%	A positive net adjustment is made.



Sale No. 1



Sale No. 2		Subject
Street Address:	609 S Third St	122 South 2nd Street
City:	Geneva, IL	St. Charles, IL 60174
PIN:	12-10-210-001	09-34-126-021
Use:	Redevelopment Site	Vacant Land
Grantor:	SDC19017 LLC	
Grantee:	The Burton Foundation	
Document No.:	2024K044816	
Lot Area:	33,102 sf      0.76 ac.	5,662 sf      0.13 ac.
Sale Date:	Nov 2024	
Sale Price:	\$995,000	
Indicated Unit Price:	\$30.06	
Adjusted Unit Price:	\$43.59	
Comments: This is the sale of a redevelopment site located at the corner of 3 <sup>rd</sup> Street and Route 31 at the south edge of downtown Geneva. Previously a service station, this site has D-CM zoning (commercial mixed-use). Proposals for the site have called for a mixed use building featuring approximately 6,000 square feet of retail space and 60 upper level residential units. This site is not in a flood zone.		
<u>Element of Comparison</u>	<u>Adjustment</u>	<u>Reason(s) for Adjustments</u>
Property Rights:	None	No adjustments.
Financing:	None	No adjustments.
Sale Conditions:	None	No adjustments.
Date of Sale:	None	No adjustments.
Location:	Plus	Sale lacks subject's pedestrian-friendly proximity to downtown area.
Site Size/Shape:	Strong Plus	Upward adjustment for economies of scale, as larger properties tend to sell for lower per unit values.
Flood Zone:	None	No adjustments.
Zoning:	None	No adjustments.
Net Adjustment:	45%	An upward net adjustment is applied.

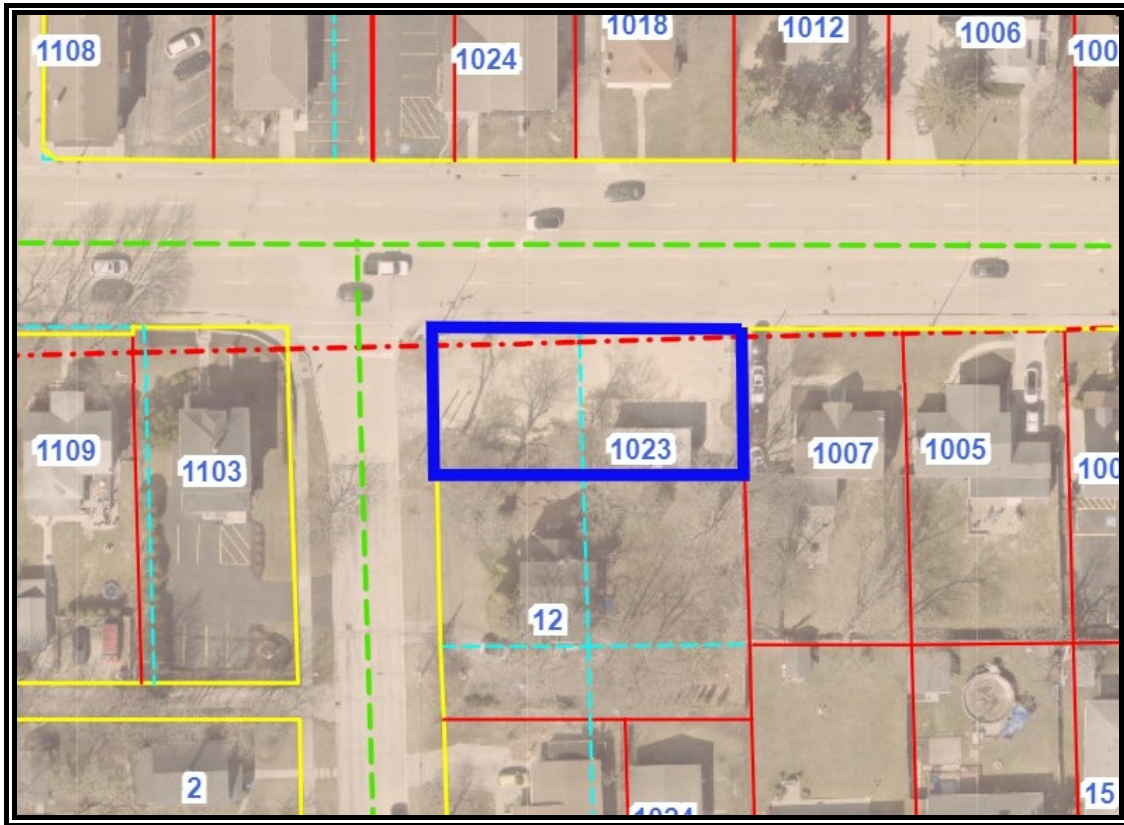


**Sale No. 2**



Sale No. 3		Subject
Street Address:	1023 W Main St	122 South 2nd Street
City:	St. Charles, IL	St. Charles, IL 60174
PIN:	09-33-203-001	09-34-126-021
Use:	Redevelopment Site	Vacant Land
Grantor:	Hamza Jehangir Ali 2014 Trust	
Grantee:	Glenview Enterprises, Inc	
Document No.:	2023K002683	
Lot Area:	7,841 sf      0.18 ac.	5,662 sf      0.13 ac.
Sale Date:	Jan 2023	
Sale Price:	\$290,000	
Indicated Unit Price:	\$36.99	
Adjusted Unit Price:	\$55.48	
Comments: This is the sale of a redevelopment site located along Route 64 west of downtown St. Charles. The site was previously improved with a gas station and small 448 square foot convenience store that was built in 1986. The underground fuel tanks had been removed prior to the sale. The convenience store improvements were razed after the sale, and a new 1,442 square foot gas station was constructed. This site has BL (local business) zoning, which requires 3,000 square feet of site area per upper level dwelling unit. The sale site is not within a flood area.		
<u>Element of Comparison</u>	<u>Adjustment</u>	<u>Reason(s) for Adjustments</u>
Property Rights:	None	No adjustments.
Financing:	None	No adjustments.
Sale Conditions:	None	No adjustments.
Date of Sale:	None	No adjustments.
Location:	Strong Plus	Sale lacks downtown, pedestrian-friendly location.
Site Size/Shape:	None	No adjustments.
Flood Zone:	None	No adjustments.
Zoning:	Strong Plus	Sale zoning permits lower density.
Net Adjustment:	50%	The overall adjustment is positive.

**Sale No. 3**





Sale No. 4				Subject				
Street Address:	402 W State St			122 South 2nd Street				
City:	Geneva, IL			St. Charles, IL 60174				
PIN:	12-03-412-007			09-34-126-021				
Use:	Vacant Land			Vacant Land				
Grantor:	Clifford Trust							
Grantee:	TSSGIL LLC							
Document No.:	2022K028987							
Lot Area:	13,500	sf	0.31	ac.	5,662	sf	0.13	ac.
Sale Date:	May 2022							
Sale Price:	\$700,000							
Indicated Unit Price:	\$51.85							
Adjusted Unit Price:	\$62.22							
Comments: This is the sale of a vacant land site located at the corner of Route 38 and 4 <sup>th</sup> Street in downtown Geneva. The site is zoned D-CM (Commercial Mixed Use). The site was previously developed, but has been vacant since about 2003.								
Element of Comparison		Adjustment		Reason(s) for Adjustments				
Property Rights:	None		No adjustments.					
Financing:	None		No adjustments.					
Sale Conditions:	None		No adjustments.					
Date of Sale:	Plus		Upward adjustment for the older date of this sale.					
Location:	None		Locations are considered similar.					
Site Size/Shape:	Plus		Upward adjustment for economies of scale, as larger properties tend to sell for lower per unit values.					
Flood Zone:	None		No adjustments.					
Zoning:	None		No adjustments.					
Net Adjustment:	20%		The net adjustment is positive.					

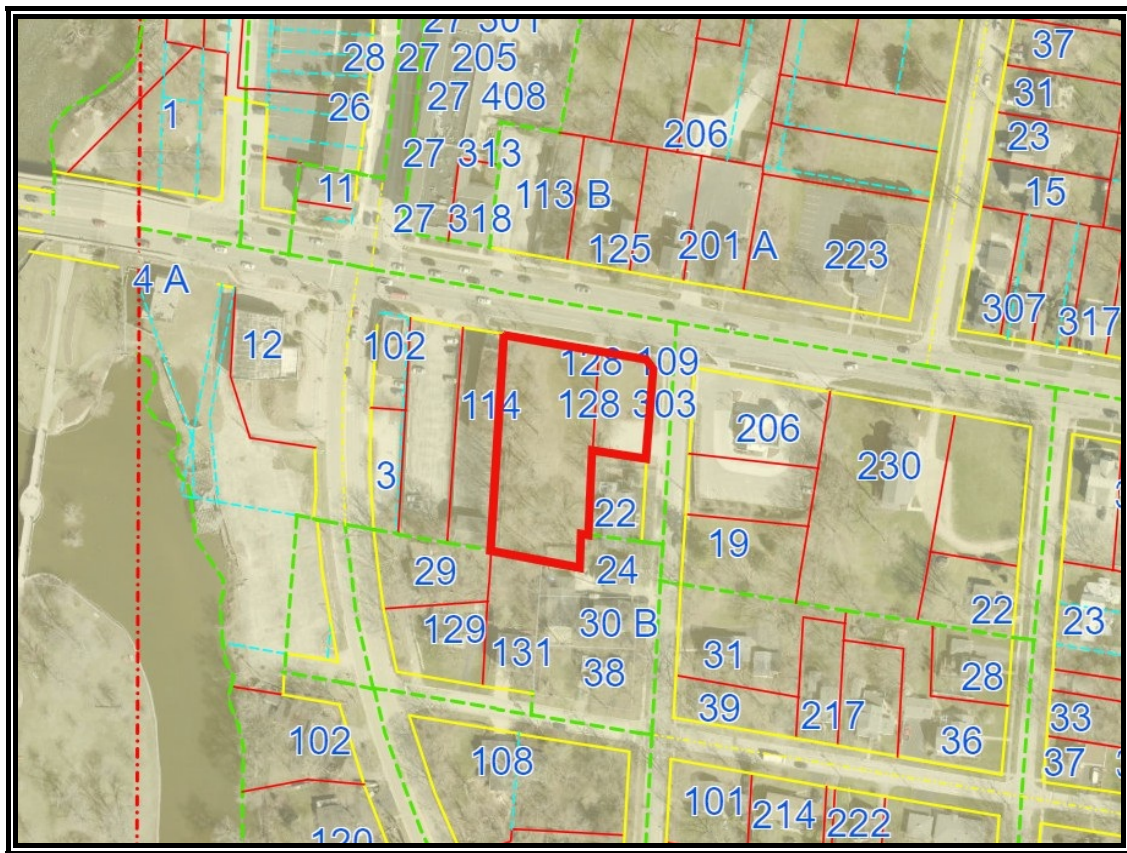
**Sale No. 4**



Sale No. 5		Subject
Street Address:	122 & 130 E State St	122 South 2nd Street
City:	Geneva, IL	St. Charles, IL 60174
PIN:	12-02-354-004, -005	09-34-126-021
Use:	Vacant Land	Vacant Land
Grantor:	Geneva Heights LLC	
Grantee:	Roosevelt Holdings LLC	
Document No.:	2024K024268	
Lot Area:	37,462 sf      0.86 ac.	5,662 sf      0.13 ac.
Sale Date:	July 2024	
Sale Price:	\$1,100,000	
Indicated Unit Price:	\$29.36	
Adjusted Unit Price:	\$44.04	
Comments: This is the sale of a vacant land site located along Route 38, east of downtown Geneva. The site previously featured an older single family home, but it was moved in 2019; the home is now at 822 East Side Drive. The sale site has D-CM zoning, with development underway of a mixed-use building with ground floor retail space and upper level apartments.		
<u>Element of Comparison</u>	<u>Adjustment</u>	<u>Reason(s) for Adjustments</u>
Property Rights:	None	No adjustments.
Financing:	None	No adjustments.
Sale Conditions:	None	No adjustments.
Date of Sale:	None	No adjustments.
Location:	Strong Plus	Sale lacks downtown, pedestrian-friendly location.
Site Size/Shape:	Strong Plus	Upward adjustment for economies of scale and sale's irregular shape.
Flood Zone:	None	No adjustments.
Zoning:	None	No adjustments.
Net Adjustment:	50%	The overall adjustment is positive.



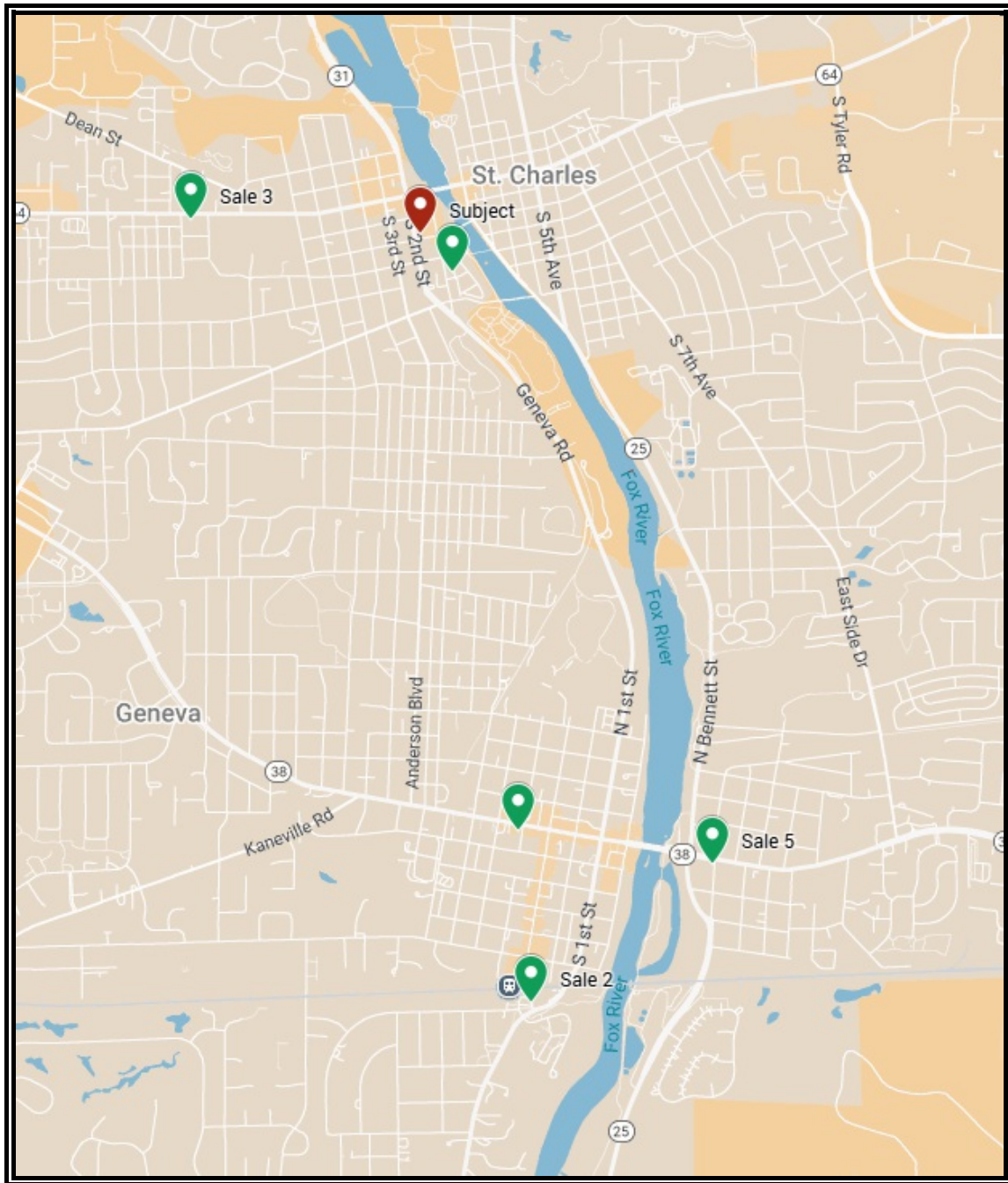
**Sale No. 5**



SUMMARY OF ADJUSTMENTS											
	SUBJECT	Sale 1		Sale 2		Sale 3		Sale 4		Sale 5	
Address:	122 South 2nd Street	402-442 S First St		609 S Third St		1023 W Main St		402 W State St		122 & 130 E State St	
City:	St. Charles	St. Charles, IL		Geneva, IL		St. Charles, IL		Geneva, IL		Geneva, IL	
Sale Date:		April 2022		Nov 2024		Jan 2023		May 2022		July 2024	
Sale Price:		\$772,500		\$995,000		\$290,000		\$700,000		\$1,100,000	
Price/SF:		\$24.29		\$30.06		\$36.99		\$51.85		\$29.36	
Property Rights:		None		None		None		None		None	
Financing:		None		None		None		None		None	
Sale Conditions:		None		None		None		None		None	
Date of Sale:		Plus		None		None		Plus		None	
Location:		None		Plus		Strong Plus		None		Strong Plus	
Site Size:	5,662	Strong Plus		Strong Plus		None		Plus		Strong Plus	
Site Shape:		None		None		None		None		None	
Zoning:		None		None		Strong Plus		None		None	
Net Adjustment / Adj. Unit Price (\$/SF)		60%	\$38.87	45%	\$43.59	50%	\$55.48	20%	\$62.22	50%	\$44.04



**COMPARABLE SALE MAP**



## OTHER RELEVANT SALES AND LISTING ACTIVITY

In addition to the comparable sales identified above, we are also aware of the following relevant sales which occurred near the subject in downtown St. Charles:

- 1 West Main Street is a 4,800 square foot site located on the west side of the Fox River. This site, which has frontage directly on the river, was purchased for \$1,000,000 (\$208/sf) in January 2020 (Trustee's Deed #2020K004703). Despite its proximity to the subject, this site was not included in our comparable analysis due to its direct frontage on the river.

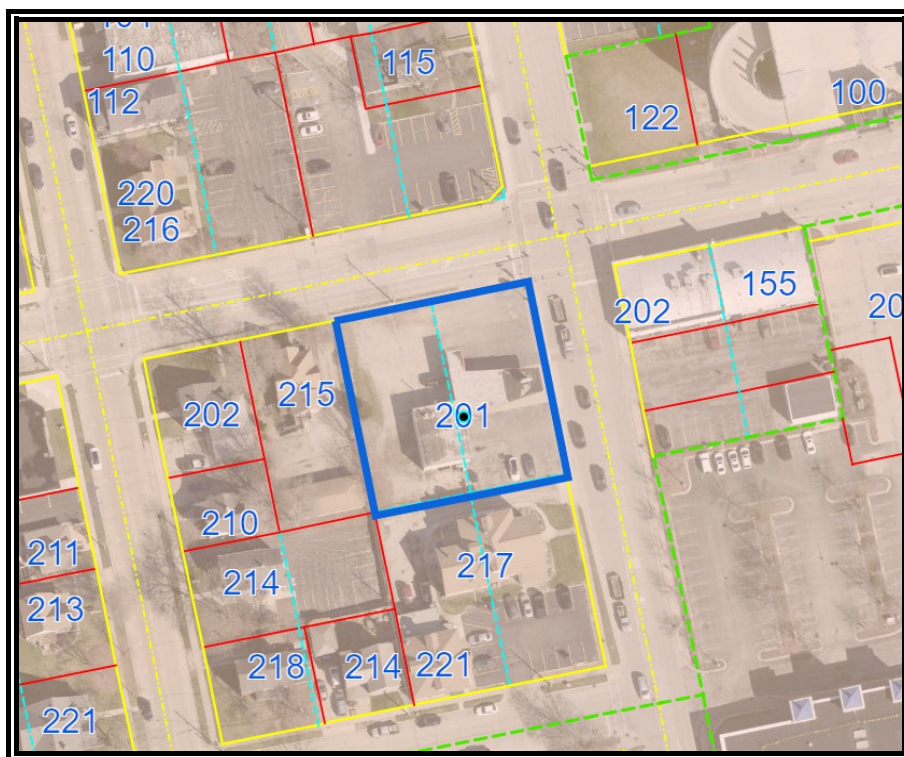


- 1-5 East Main Street is a 38,768 square foot site located on the east side of the Fox River, with frontage directly on the river. This site was improved with a bank branch, but after the sale was adapted for reuse as a mixed-use building with a ground floor restaurant and upper level residences. Included in the transaction were vacant sites located along Illinois Avenue. The total sale price was \$1,600,000 (deed #2020K075749). This sale was not included in our analysis because it included the improved bank branch site in addition to the vacant sites.



Further, the property below is currently listed for sale in close proximity to the subject:

- 201 South 2<sup>nd</sup> Street is a redevelopment site located near the subject at the southwest corner of 2<sup>nd</sup> Street and Illinois Avenue. The property is currently improved with older gas/service station improvements, and is available for sale with an asking price of \$995,000 (\$54.39 per square foot of underlying land). The listing has been active in excess of 440 days as of the date of this report.



## DISCUSSION OF MARKET SALES DATA

The above sales have been analyzed and adjusted for their varying differences with the subject. The main elements of comparison considered included property rights conveyed, financing terms, sale conditions, date of sale, location, site size/shape, flood zone status, and zoning. If a comparable has an element of comparison rated superior to the subject, a negative adjustment is made to the price per square foot. If the comparable has an element rated inferior to the subject, a positive adjustment is made to the price per square foot.

The subject property is a rectangular land site located at the corner of 2<sup>nd</sup> Street and Illinois Avenue, two blocks west of the Fox River, in St. Charles. Our search for comparable sales was focused on land sites of similar size and zoning to the subject, with locations considered reasonably similar to that of the subject. Five such sales were identified, located in St. Charles and neighboring Geneva.

The comparable sales had a range of per unit selling prices of \$24.29 per square foot to \$51.85 per square foot. After applying the necessary adjustments, the range of per unit values shifted and narrowed to \$38.87 per square foot to \$62.22 per square foot. Each of the comparable sales was adjusted upwards, and therefore it is our opinion that the subject property has a value at the upper end of the adjusted range of \$60 per square foot of land area. The subject's property value by the sales comparison approach is calculated as follows:

Site Size (SF)	@	\$/SF	=	Value Indication
5,662	@	\$60	=	\$339,720
		<b>Rounded</b>	<b>=</b>	<b>\$340,000</b>

### **VALUE CONCLUSION**

After consideration of the factors involved, it is our opinion that the market value of the Fee Simple interest in the subject property as of August 26, 2025 was:

### **SALES COMPARISON APPROACH VALUE CONCLUSION**

**\$340,000**

The *Sales Comparison Approach* was based upon direct comparison with sales of comparable properties located in the subject's market area. This approach is considered to be a reliable indicator of value because it involves a simple feature-to-feature comparison and is a direct reflection of investor/user actions in the market.



### **ESTIMATED EXPOSURE TIME**

Exposure time is a component of the definition for the value opinion being developed. Exposure time is defined as the estimated length of time the property interest being appraised would have been offered on the market prior to the hypothetical consummation of a sale at market value on the effective date of the appraisal. Exposure time is a retrospective opinion based on an analysis of past events, assuming a competitive and open market. Exposure time is always presumed to precede the effective date of the appraisal.

A reasonable exposure period is a function of price, time, and use; not an isolated opinion of time alone. In regards to price, the marketing period can be affected significantly by how a property is priced. If an asking price is considered to be unreasonable by informed market participants, the marketing period may be extended. Offers may not be received until the price is lowered.

Our estimate of exposure time is based on: 1) statistical information about days on market for comparable properties, including the sales used in the sales comparison approach; 2) information gathered through sales verification; and 3) interviews of market participants.

Based on our research, it is our opinion that marketing and exposure time would be three to six months. This estimate assumes that the property is appropriately priced and a reasonable effort is made to market the property.

## ADDENDA

Subject Photographs

Flood Hazard Map

Engagement Letter

Qualifications of the Appraisers

## Exhibit 5: 2025 Appraisal



Subject Site Looking West



Subject Site Looking Northwest



## Exhibit 5: 2025 Appraisal



Subject Site Looking North



Subject Site Looking Northeast



## Exhibit 5: 2025 Appraisal



Subject Site Looking East



Subject Site Looking Southeast



## Exhibit 5: 2025 Appraisal



Subject Site Looking South



Subject Site Looking Southwest



## Exhibit 5: 2025 Appraisal



2<sup>nd</sup> Street Looking North



2<sup>nd</sup> Street Looking South



## Exhibit 5: 2025 Appraisal



Illinois Avenue Looking East



Illinois Avenue Looking West

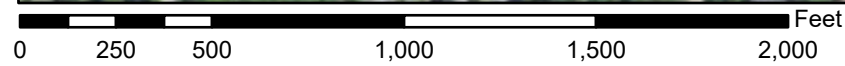
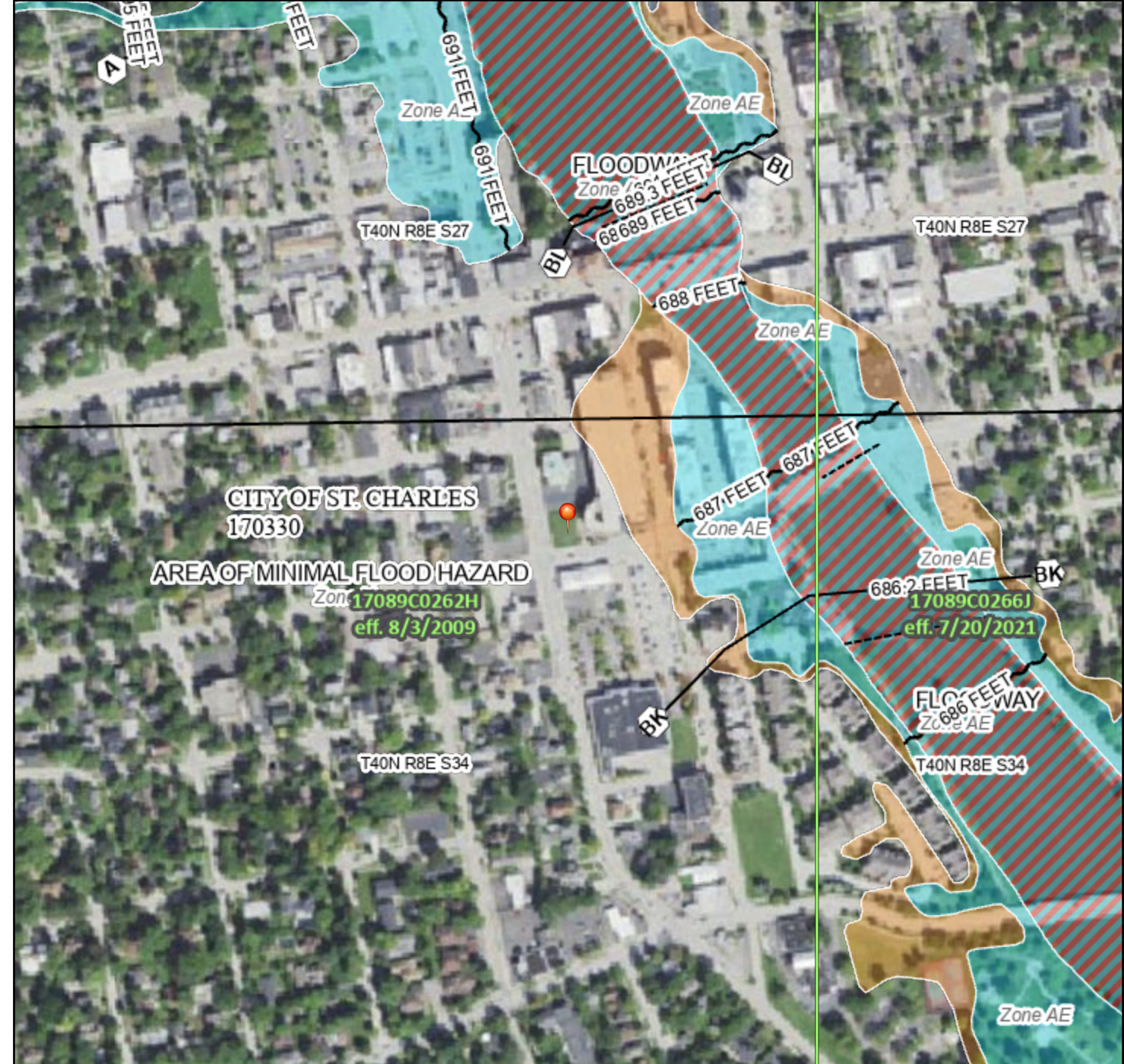


Exhibit 5: 2025 Appraisal

# National Flood Hazard Layer FIRMette



88°19'12"W 41°54'56"N



1:6,000

Basemap Imagery Source: USGS National Map 2023

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- |                                    |  |   |
|------------------------------------|--|---|
| <b>SPECIAL FLOOD HAZARD AREAS</b>  |  | Without Base Flood Elevation (BFE)<br>Zone A, V, A99  |
|                                    |  | With BFE or Depth Zone AE, AO, AH, VE, AR   |
|                                    |  | Regulatory Floodway   |
| <b>OTHER AREAS OF FLOOD HAZARD</b> |  | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X |
|                                    |  | Future Conditions 1% Annual Chance Flood Hazard Zone X  |
|                                    |  | Area with Reduced Flood Risk due to Levee. See Notes. Zone X  |
|                                    |  | Area with Flood Risk due to Levee Zone D  |
| <b>OTHER AREAS</b>                 |  | NO SCREEN Area of Minimal Flood Hazard Zone X   |
|                                    |  | Effective LOMRs   |
| <b>GENERAL STRUCTURES</b>          |  | Channel, Culvert, or Storm Sewer  |
|                                    |  | Levee, Dike, or Floodwall   |
| <b>OTHER FEATURES</b>              |  | 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation   |
|                                    |  | 17.5  |
|                                    |  | Coastal Transect  |
|                                    |  | Base Flood Elevation Line (BFE)   |
|                                    |  | Limit of Study  |
|                                    |  | Jurisdiction Boundary   |
| <b>MAP PANELS</b>                  |  | Coastal Transect Baseline   |
|                                    |  | Profile Baseline  |
|                                    |  | Hydrographic Feature  |
|                                    |  | Digital Data Available  |
|                                    |  | No Digital Data Available   |
|                                    |  | Unmapped  |
|                                    |  | The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.                              |

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **8/27/2025 at 12:59 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



August 14, 2025

Brianna Bacigalupo  
bbacigalupo@stcharlesil.gov

Subject: 122 S. 2<sup>nd</sup> St.,  
St. Charles, IL

Dear Ms. Bacigalupo:

Pursuant to your request, Caton Valuation Services agrees to provide an Appraisal Report for the real estate located at the above captioned address. The report will be completed in accordance with the Uniform Standards of Professional Appraisal Practice, adopted by the Appraisal Standards Board of the Appraisal Foundation, as well as the Code of Professional Ethics and Standards of Professional Practice of the Appraisal Institute.

The Client hereby understands that the intended use of the appraisal report is to determine the market value of the subject property as of the date of inspection. The Client understands and agrees the report is not to be used for any other purpose and is subject to the Contingent and Limiting Conditions ("Exhibit A"); a copy of these terms is available upon request.

The Client hereby agrees to make all reasonable efforts to provide Caton Valuation Services with any applicable information deemed necessary by the appraiser. A list can be made available upon request.

Caton Valuation Services agrees to deliver the appraisal report to the Client within two to three weeks of receipt of the signed engagement. Completion of the reports within this time is predicated upon the appraiser experiencing no unforeseen delays caused by the client, the property occupants, related parties, or unapparent conditions of the properties themselves. The completed report will be delivered in a PDF format via email with hard copies available upon request.

It is Caton Valuation Services estimate that the fee for these services will be \$3,000 (Three Thousand Dollars). This fee is not connected or contingent upon the value estimate reported and is based entirely upon the time required to complete the appraisal reports. If at any time during the completion of the reports Caton Valuation Services considers a revision of this fee necessary, the Client will be notified prior to proceeding with the remainder of the assignment.

In the event the Client desires to cancel this contract, written notice thereof shall be delivered to our office or via email. Pursuant to said cancellation, it is understood Caton Valuation Services will be compensated for work that was completed prior to receipt of the written cancellation notice, plus any additional costs incurred in connection with said work prior to the same cancellation notice.



## Exhibit 5: 2025 Appraisal

Brianna Bacigalupo

Page 2

Client agrees to pay Caton Valuation Services in full, due upon execution of this Engagement Letter or at the time of inspection, whichever occurs first, and shall be considered late after (10) calendar days from the date of this Engagement Letter. Appraisal reports will not be delivered unless payment is received. A late fee of 5% of the above stated fee may be assessed after thirty (30) days.

CatonValuation Services is not required or obligated to give testimony or attend any public or private hearing as a result of having prepared the appraisal reports. Additionally, consultation regarding this or any property following the completion of the appraisal report will be billed at the rate of \$400 per hour, with a minimum charge of one (1) hour or \$400.

In the event Caton Valuation Services is subpoenaed or otherwise required to give testimony or to attend any public or private hearing as a result of having prepared the reports, Client agrees to pay Caton Valuation Services \$400 per hour for attendance or testimony required and \$400 per hour for preparation time. It is additionally agreed there is a minimum charge of \$600 for attendance or testimony at any public or private hearing.

It is further agreed and understood that if any portion of the compensation or cost due to Caton Valuation Services becomes delinquent, Client will pay interest thereon at the rate of 21.0 percent per annum on said account from the due date until paid, and further agrees to pay all costs of collection thereof, including reasonable attorney's fees, court costs, etc. Client further understands that if the account becomes ninety (90) days or more past due, the property in question will be subject to a lien in order to satisfy all delinquent amounts, including the costs of the same as noted above.

If you agree with the foregoing, please sign below and return a signed copy of this letter. If you have any questions, please contact our office at 630-513-6150.

Accepted by:

Client Authorized Signature



Edward V Kling  
Caton Valuation Services



Print Name: Derek Conley

Date: August 14, 2025

Date: August 14, 2025

Report Due Date:

8/31/25

Property Contact Name:

Derek Conley

Property Contact Phone:

630-377-6924

E-mail Address for Invoice:

dconley@stcharles.il.gov

E-mail Address for Report:

Same as above

## Exhibit 5: 2025 Appraisal

### Edward V. Kling, MAI

President & Owner

Cornerstone Realty Advisors  
40W117 Campton Crossing Drive St. Charles, IL 60175  
e.kling@cramv.com  
T 630.513.6150



### Areas of Specialization

- ♦ Valuation & Advisory

### EDUCATIONAL BACKGROUND AND TRAINING

- \*Elmhurst College; Elmhurst, Illinois  
BS, Urban Policy
- \* North Central College; Naperville, Illinois  
(BA) Business and Marketing
- \* University of Illinois At Chicago, School of Architecture:  
Course work in design, engineering and urban planning

### APPRAISAL ASSIGNMENTS

Fee Simple	Partial Interests
Leasehold	Investment Analysis
Leased Fee	Tax Assessments
Feasibility Analysis	Litigation Support

### PROPERTY TYPES APPRAISED

Community Shopping Centers	Industrial Buildings	Vacant Land
Automobile Dealerships	Loft Buildings	Warehouses
Apartment Buildings	Office Buildings	Airports
Single Family Homes	Proposed Construction	Motels/Hotels
Subdivisions	Special Use Properties	Churches

### PROFESSIONAL EXPERIENCE

- Cornerstone Realty Advisors 2016 to Present
- Newmark Valuation & Advisory 2019 to 2020
- RVG Commercial LLC f/k/a Real Valuation Group, LLC 2004 to 2019
- Ed Kling, Inc. (Consulting Assignments) 1990-2005
- N. Steffens & Associates, Ltd.: 1993 to 2004 (Private Contractor)
- Milton Township Assessors Office 1999 - 2004 (Private Contractor)
- Will County Supervisor of Assessments 1995 - 2000 (Private Contractor)
- M. Ward Fleming & Associates: 1990 - 1993
- Winfield Township Assessor's Office: 1987 to 1990

### PROFESSIONAL AFFILIATIONS

- MAI designation, Appraisal Institute
- General Appraiser, Licensed in Illinois # 553.000692
- General Appraiser, Licensed in Indiana # CG40400443
- General Appraiser, Licensed in Iowa #CG03337
- General Appraiser, Licensed in Michigan # 1201073975
- General Appraiser, Licensed in Wisconsin # 694-10
- General Appraiser, Licensed in Florida #6404-44519

# State of Illinois

## Department of Financial and Professional Regulation Division of Real Estate

LICENSE NO.  
553.000692

The person, firm, or corporation whose name appears on this certificate has complied with the provisions of the Illinois Statutes and/or rules and regulations and is hereby authorized to engage in the activity as indicated below:

EXPIRES:  
09/30/2025

### CERTIFIED GENERAL REAL ESTATE APPRAISER



EDWARD V KLING  
40W117 CAMPTON CROSSINGS DRIVE  
ST CHARLES, IL 60175



MARIO TRETO, JR.  
SECRETARY

LAURIE MURPHY  
DIRECTOR

The official status of this license can be verified at [IDFPR.illinois.gov](http://IDFPR.illinois.gov)

18301637

## **Stephen J. Bloch**

### **EDUCATIONAL BACKGROUND**

- University of Illinois; Champaign, Illinois  
BS Business Administration, May 2001
- Northern Illinois University; DeKalb, Illinois  
Master of Business Administration, December 2009

### **Appraisal Assignments**

Fee Simple  
Leased Fee  
Tax Assessment Appeal

### **Property Types Appraised**

Agricultural/Nursery  
Apartment Buildings  
Banks  
Gas Stations  
Industrial  
Medical Office  
Mixed Use  
Office Buildings  
Office Condominiums  
Restaurants  
Retail (Freestanding/Strip Center)  
Vacant Land

### **Assignment Locations**

Cook County  
DeKalb County  
DuPage County  
Kane County  
Kendall County  
Lake County  
LaSalle County  
McHenry County  
Piatt County  
Will County  
Vermilion County

### **Professional Experience**

Real Valuation Group, LLC - March 2018 to August 2019  
Newmark Knight Frank - September 2019 to February 2021  
Cornerstone Realty Advisors - February 2021 to January 2024  
Caton Valuation Services - February 2024 to present

### **Professional Affiliations**

Certified General Real Estate Appraiser, licensed in Illinois #553.002894





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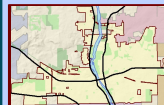
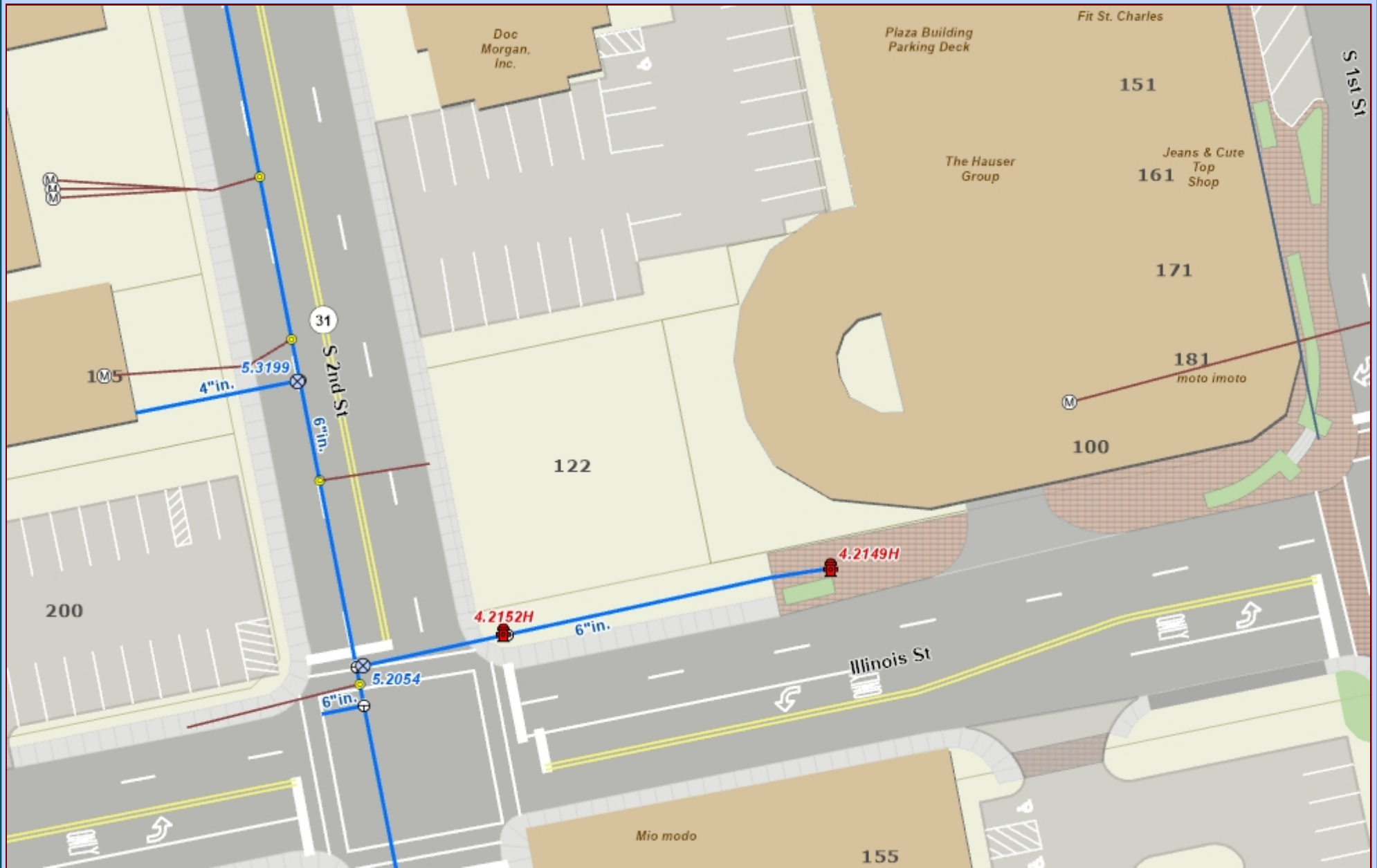
For future reference, IDFP is now providing each person/business a unique identification number, 'Access ID', which may be used in lieu of a social security number, date of birth or FEIN number when contacting the IDFP. Your Access ID is: 4111446



Cut on Dotted Line



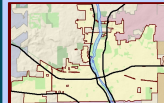




Data Source:  
City of St. Charles, Illinois  
Kane County, Illinois  
DuPage County, Illinois  
Projection: Transverse Mercator  
Coordinate System: Illinois State Plane East  
North American Datum 1983  
Printed on: August 15, 2025 10:35 AM



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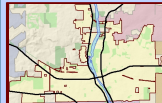
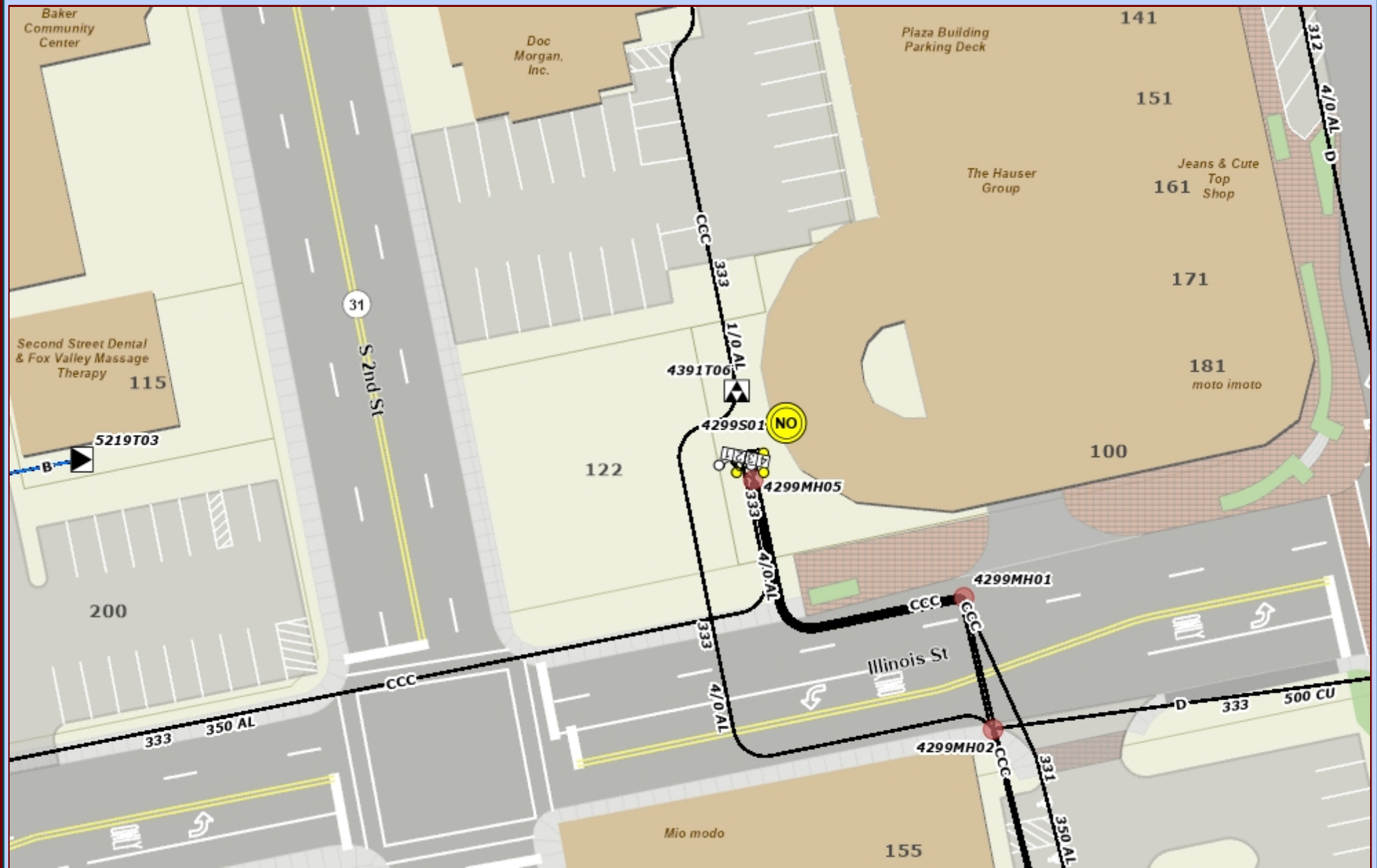
# Exhibit 8: Electric Service Map



City of St. Charles,  
Illinois

## Precision GIS

Two East Main Street St. Charles, IL 60174-1984  
Phone: 630-377-4400 Fax: 630-377-4440 - [www.stcharlesil.gov](http://www.stcharlesil.gov)

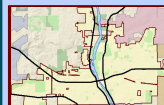
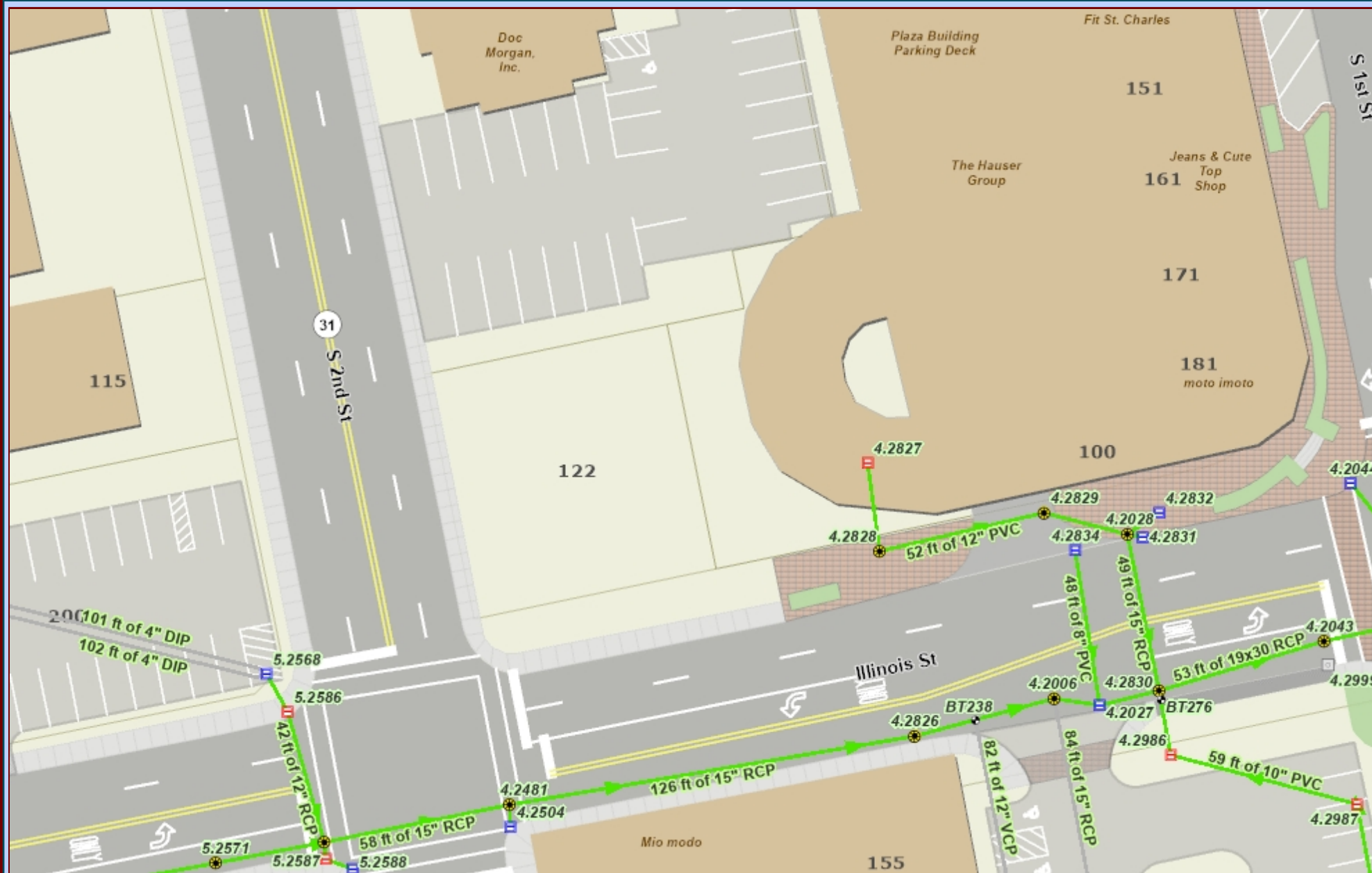


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 CITY OF ST. CHARLES ILLINOIS • 1834	<b>AGENDA ITEM EXECUTIVE SUMMARY</b>		Agenda Item number: 4k
	Title:	Discussion Regarding Short Term Rental Registration Program	
	Presenter:	Russell Colby, Community Development Director	
<b>Meeting:</b> Planning & Development Committee		<b>Date:</b> September 8, 2025	
<b>Proposed Cost:</b> \$		<b>Budgeted Amount:</b> \$	<b>Not Budgeted:</b> <input type="checkbox"/>
<b>TIF District:</b> None			
<p><b>Executive Summary</b> (if not budgeted, please explain):</p> <p>In June, Community Development and the Business Alliance presented information regarding Short-Term Rentals in St. Charles, including data and trends since the topic was last discussed in 2019.</p> <p>Staff presented potential options for introducing regulations. The Committee directed staff to explore:</p> <ul style="list-style-type: none"> <li>• Creation of a Registration Program for Short-Term Rentals</li> <li>• Collection of the Hotel Operators Occupation Tax for Short-Term Rentals</li> </ul> <p><b>Registration Program</b></p> <p>A registration program will track short term rental units and establish contacts with owners/operators and hosts/managers. The goal of the program is to increase awareness of owner and host responsibilities to be a good neighbor and address issues that may impact neighborhoods. The program would include operating standards that would need to be met to continue operating a short-term rental in St. Charles.</p> <p>The registration program would be a first step in recognizing short term rentals and creating a structure for their operation. Going forward, with the program in place, the City has the ability to monitor the short-term rentals and the effectiveness of the operating standards, and to incorporate additional requirements as necessary.</p> <p>Staff is seeking feedback from the Committee on requirements or conditions that could be incorporated into the program. An outline is attached for review. Based on feedback from the Committee, staff will draft the formal program for consideration.</p> <p><b>Hotel Operators Occupation Tax</b></p> <p>The registration program would also provide information on listings to the St. Charles Business Alliance. Business Alliance services will be available to the Host/Operator once the Hotel Tax is paid.</p> <p>The <a href="#">Hotel Operators Occupation Tax</a> was last updated in 1995. As written, the tax would apply to residential short term rentals. To date, the City has not pursued collection of the tax from residential short-term rentals. The Hotel tax is self-reported and the City has not previously had complete information on short-term rental locations in the City. Based on the Committee direction, we are now exploring how to uniformly implement the tax on residential short-term rentals.</p>			



**Information from Airbnb**

Airbnb is the largest short-term rental platform and has most of the units listed in St. Charles. Some of the units on Airbnb are also listed on Vacation Rental By Owner (VRBO). Only 3 of 47 units in St. Charles were listed on VRBO only as of the June 2025 data.

Staff communicated with representatives from the Airbnb Local Government division:

- Airbnb supports the type of registration program being considered by St. Charles. More information on their recommended best practices is posted in their [Policy Toolkit](#).
- Airbnb has provided a [City Portal](#) page for City staff to enter complaints and law enforcement legal requests.
- Airbnb will create a Responsible Hosting page for St. Charles, with local information similar to what is posted and linked from the general [Responsible Hosting Page](#)
- Airbnb is not currently entering new tax collection agreements with municipal jurisdictions.
- Airbnb will disseminate information to Hosts on a City registration program and tax requirements, including sharing information on how to turn on an automatic tax calculation to assist the Host. However, the Host will need to pay the tax directly to the City themselves.

Based on this information, the Hotel Tax collection administration will require some administrative effort by both Hosts and the City. At a minimum, the City will need to subscribe to a data reporting service, such as AirDNA. This service will report the total revenue for each Short-Term Rental to enable to the City to determine what tax is due.

The Hotel Operators Occupation Tax is paid on a monthly basis, but the code allow for less frequent payment for lower dollar amounts of tax liability.

**Attachments** (please list):

Outline for Proposed Registration Program; Information on short term rentals in St. Charles (June 2025)

**Recommendation/Suggested Action** (briefly explain):

Provide feedback and direction to staff.

# Short-Term Rental Registration Program

## Program Outline

### Registration Requirement

- Location and Address
- Owner information
- Host/Manager information and 24-hour contact
- Unit information- type, bedroom count and occupancy

### Standards

- On-site parking must be utilized where available
- Adherence to the Airbnb [Community Disturbance Policy](#)
- Occupancy limit based on unit size
- Refuse containers must be stored in a location not visible from the street
- Compliance with all noise regulations

(Note: Airbnb has a [Background Check Program](#) for platform users.)

### Enforcement

- Owner to sign responsibility acknowledgement for compliance
- No inspections, however, City may need to inspect a unit to verify it is legal for occupancy (Example: Basement unit without Building Permit records), or to verify information submitted
- Ability to suspend or revoke registration if standards are not met, or Hotel Tax is unpaid
- Fine for operating without Registration
- Fine structure that increases with repeat offenses
- Registration cannot be renewed if Hotel Operator Tax is not fully paid
- Short Term Rental Registration violations to be added to [Nuisance Abatement City Code Chapter](#) violation list

### Tax/Fee

- City to subscribe to AirDNA data for Hotel Tax verification
- No registration fee is to be charged- fees are covered through the Hotel Tax
- Hotel Operators Occupation Tax to be applied: six percent (6%) of ninety-four percent (94%) of the gross rental receipts from such renting, leasing, or letting

## Short Term Rentals in St. Charles

### As of June 2025

Total Number of Units	
<b>2019</b>	13
<b>2025</b>	47

Units by Type	Number of Units	Percentage
<b>Room(s) in house</b>	3	6.5%
<b>Basement in house</b>	3	6.5%
<b>Apartment, condo, duplex</b>	15	32%
<b>Entire single family house</b>	26	55%

Locations	Zoning Districts	Number of Units	Percentage
<b>Central Downtown</b>	CBD-1, CBD-2	8	17%
<b>Downtown Perimeter</b>	BL, BT, RT-4	5	11%
<b>Greater Downtown Neighborhoods</b>	RT-1, RT-2, RT-3	23	50%
<b>Outside of Greater Downtown</b>	RS & RM districts	10	22%

<b>East of the River</b>	26
<b>West of the River</b>	21

Ward	Number of Units	Percentage
<b>Ward 1</b>	4	9%
<b>Ward 2</b>	1	2%
<b>Ward 3</b>	5	11%
<b>Ward 4</b>	29	63%
<b>Ward 5</b>	7	15%

Property Ownership	Number of Units	Percentage
<b>Individual(s)</b>	27	61%
<b>Trust</b>	4	9%
<b>Limited Liability Company (LLC)</b>	13	30%

**Revenue:** 2025 is trending upward 25%+

Year	Revenue	% Increase	Potential Hotel Tax
<b>2024</b>	\$1,275,684	24%	\$71,948
<b>2023</b>	\$1,025,179	51%	\$57,820
<b>2022</b>	\$678,547	238%	\$38,270
<b>2021</b>	\$200,392	64%	\$11,302
<b>2020</b>	\$122,153		\$6,889