



418 Clinton Place River Forest, IL 60305

St. Charles, IL PUD Preliminary Plan Application

Project: Proposed New Veterinary Building at 2377 W Main Street

Date: 3/29/23

**RE: PUBLIC BENEFITS, & CODE:**

*A written statement describing how the PUD meets the purposes and requirements established in Section 17.04.400 of the Zoning Ordinance. List any requests for deviations (departures) from the requirements of Title 16 "Subdivisions and Land Improvement" and Title 17 "Zoning" and provide a rationale for each requested deviation.*

**Project Summary**

We are proposing a 6,000 sq.ft. single-level veterinary building with parking at 2377 W Main Street. The use consists of reception/waiting area, exam rooms, and also treatment spaces. Outdoors, there is a sidewalk from the new proposed parking lot to doors on three sides of the building, and to an outdoor pet relief yard with one animal at a time and staff monitored in a fenced area. This site and building is anticipated to be highly visible, and all four sides of the building are designed to include masonry and stone cladding, and glass on the prominent facades. Stone Pilasters also raise up from the stone sill around the building. Decorative crown-type parapet caps and eave trim adorn the top most parts of the building. There is also a change in material, color, and textures between the gray brick, lighter stones, and lighter trim along with anodized aluminum storefronts throughout. The building entryway is protected and called out by a prefabricated metal canopy. The roof line consists of shingle, hip-style roofing, and is interrupted on either far end of the building by parapets including a top band of EIFS, and wall signage. The center is also capped with another level of shingle hip-style roofing.

The sitework maximizes the green and landscape frontage to Main Street. There will also be foundation landscaping around the building. The parking lot maximizes functionality while providing for landscape accents and features on all sides.

The practice open M-Saturday on normal weeks. M-F 6:30am to 7pm, and Saturday 8am-3pm. Their primary service offering is a walk-in urgent / wellness veterinary care.

**Purpose**

The purposes of the PUD Process are:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
  - a. This development will be integral to the community filling in a vacant parcel with a similar style and distinctive building
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
  - a. Radiating from the existing public sidewalk, the open area and landscape frontage will be preserved for public enjoyment and viewing. Sidewalks connect all functional parts of the new site elements

3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
  - a. Permitted use, leading to a mix of uses as compared to all surrounding
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
  - a. Our development will flow with existing topography and maintain main portions of native vegetation
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
  - a. Our use is a perfect fit for this available parcel and won't adversely impact streets, drainage, utilities, etc
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
  - a. N/A
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies, and the community.
  - a. We will work closely with all surrounding stakeholders

#### Conformance with Codes

Underlying Zoning District: BR REGIONAL BUSINESS

PUD's, however, may allow for relief from the minimum requirements applicable to the underlying zoning district and subdivision ordinance in situations where the City Council finds that:

- a) Conforming to the requirements would inhibit creative design that serves community goals, or
- b) Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

Factors to be considered in this determination shall include, but are not limited to the following:

Proposed Relief from Zoning Ordinance (see PUD application, last page, Zoning Compliance Table)

- ~~1. Parking islands - Revised to meet all applicable codes~~
- ~~2. EIFS down to 3' only on (back) or east side - Revised to meet all applicable codes~~

#### Conformance with Codes Responses:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
  - a. None of those amenities apply to this project beyond use of local community with pets
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
  - a. Open space and natural beauty are maintained on all sides of this development
3. The PUD will provide superior landscaping, buffering or screening.
  - a. This is true for all sides of the parking and building
4. The buildings within the PUD offer high quality architectural design.
  - a. High quality architectural design applies with towers on either end and primary masonry building materials
5. The PUD provides for energy efficient building and site design.
  - a. Energy efficient assemblies and systems will apply per applicable codes and best practices
6. The PUD provides for the use of innovative stormwater management techniques.
  - a. Refer to civil engineer for high quality and function stormwater management

7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
  - a. Commercial project that will be fully accessible in every way, site and building
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
  - a. Dwelling units do not apply to this project
9. The PUD preserves historic buildings, sites or neighborhoods.
  - a. Historic buildings do not apply to this project

Sincerely,

A handwritten signature in cursive script that reads "Luigi Randazzo".

Luigi F. Randazzo, AIA, NCARB

Keystone Planning + Design, PLLC

March 31, 2023

City of St. Charles  
Community Development Division  
2 E. Main Street  
St. Charles, IL 60174  
Email: [cd@stcharlesil.gov](mailto:cd@stcharlesil.gov)

**Re: Authorization of Property Owner for 4311 S. Pulaski Road**

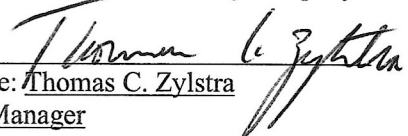
To Whom it May Concern:

This letter serves to inform you that Thomas C. Zylstra Farms, LLC, an Illinois limited liability company (“Owner”), is the owner of the property known as Lot 1 of Zylstra Center, Kane County, Illinois APN 09-32-230-001 (the “Property”). Owner hereby authorizes ACC St. Charles Real Estate Partners, LLC, an Illinois limited liability company (“ACC St. Charles”), to file a zoning application with the City of St. Charles for the subject Property. ACC St. Charles will be purchasing the Property for its proposed use.

We appreciate your time and assistance with this matter. Please contact Owner at [tcz@zylstrahd.com](mailto:tcz@zylstrahd.com) with any questions or if additional information is needed.

Sincerely,

**Thomas C. Zylstra Farms, LLC,**  
An Illinois limited liability company

By:   
Name: Thomas C. Zylstra  
Its: Manager

March 31, 2023

City of St. Charles  
Community Development Division  
2 E. Main Street  
St. Charles, IL 60174  
Email: [cd@stcharlesil.gov](mailto:cd@stcharlesil.gov)

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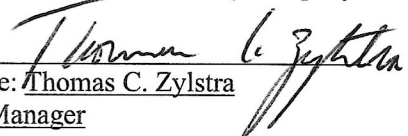
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**Thomas C. Zylstra Farms, LLC,**  
An Illinois limited liability company

By:   
Name: Thomas C. Zylstra  
Its: Manager

LOT 1 IN ZYLSTRA CENTER, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 29 AND PART OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 4, 2006 AS DOCUMENT 2006K035709, AND CERTIFICATE OF CORRECTION RECORDED JUNE 26, 2008 AS DOCUMENT 2008K053274, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.



VIEW FROM ROUTE 64 EASTBOUND



VIEW FROM MAIN DRIVEWAY

ARCHITECT + DESIGN  
**KEYSTONE**  
 PLANNING + DESIGN  
 418 CLINTON PLACE  
 RIVER FOREST, IL 60305

CM + BUILDER  
**RWE**  
 DESIGN BUILD  
 1303 OGDEN AVE.  
 DOWNERS GROVE, IL 60515  
 (630) 734 - 0883

NVA ST. CHARLES

ZYLSTRA PUD LOT 1 ST CHARLES, IL

No.	Description	Date

COLOR VIEWS



VIEW FROM ROUTE 64 WESTBOUND



VIEW FROM ROUTE 64

A297

Scale



**EAST ELEVATION**



**WEST ELEVATION**



**NORTH ELEVATION - SIDING FACING ROUTE 64**



**SOUTH ELEVATION - VIEW FROM MAIN ENTRY DRIVEWAY**

ARCHITECT + DESIGN  
**KEYSTONE**  
 PLANNING + DESIGN  
 418 CLINTON PLACE  
 RIVER FOREST, IL 60305

CM + BUILDER  
**RWE**  
 DESIGN BUILD  
 1303 OGDEN AVE  
 DOWNERS GROVE, IL 60515  
 (630) 734 - 0883

NVA ST. CHARLES

ZYLSTRA PUD LOT 1 ST CHARLES, IL

No.	Description	Date

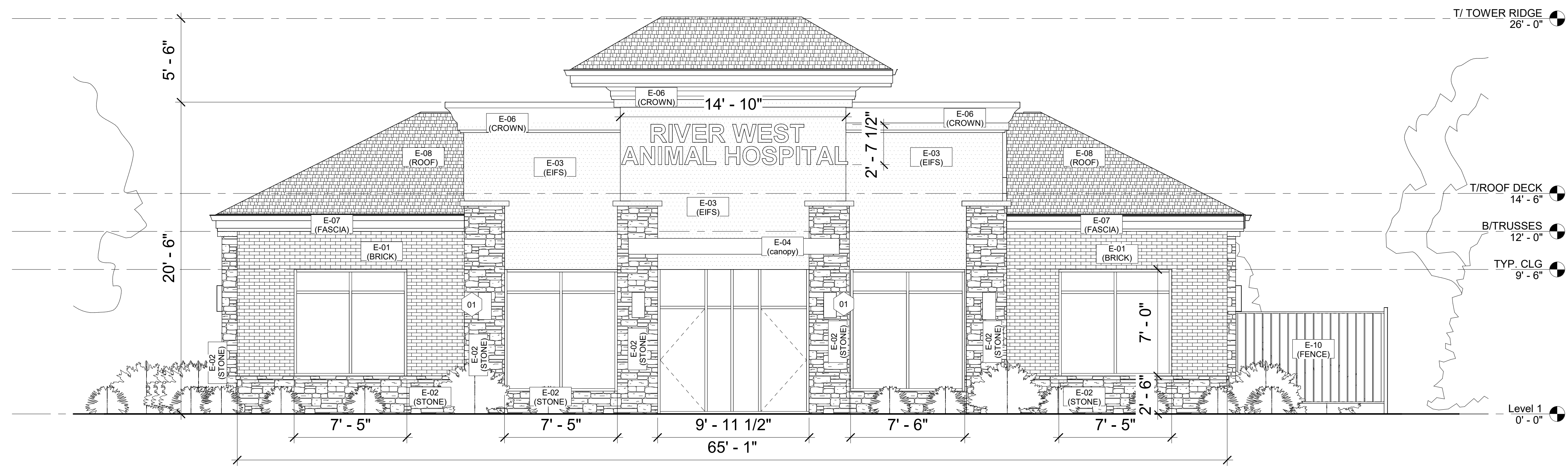
COLOR  
 ELEVATIONS

**A298**

Scale

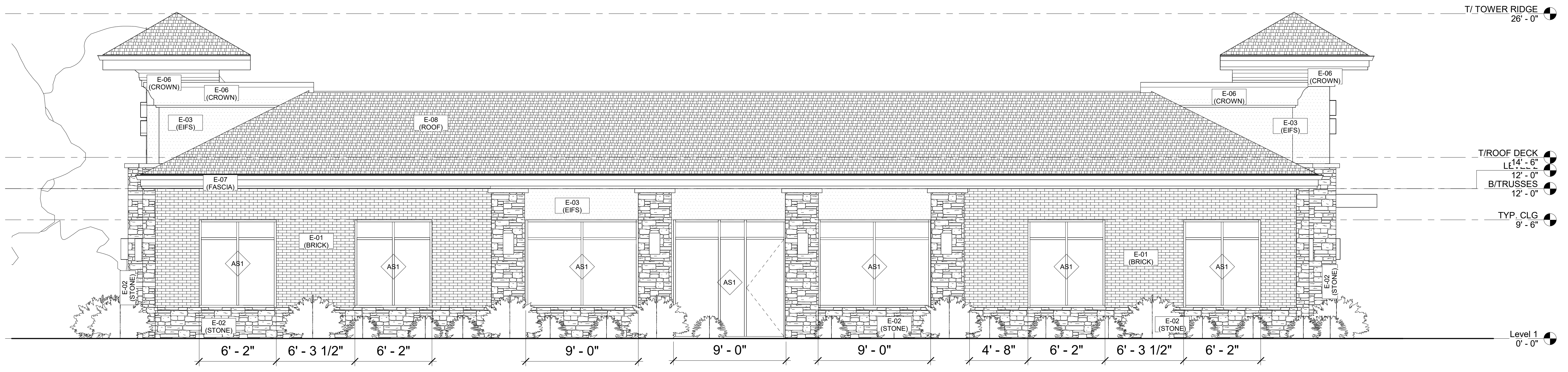


KEYNOTES - EXTERIOR ELEVATIONS	
01	EXTERIOR WALL MOUNTED UP/DOWN WALL SCONCE



**3** BUILDING ELEVATION - SOUTH  
1/4" = 1'-0"

UNDERLYING BR DISTRICT - 1.5 SF OF WALL SIGN PER LF OF WALL  
97 SF ALLOWED, 41 SF SIGN PROVIDED



**2** BUILDING ELEVATION - WEST  
1/4" = 1'-0"

STOREFRONT TYPES					
Type Mark	Keynote	Manufacturer	Model	Description	Type Comments
AS1	EXTERIOR	KAWNEER	451 T SYSTEM OR EQUAL	ANODIZED ALUMINUM	1" INSULATED GLASS UNIT (AIR), LOW-E, 0.38 U-VALUE, DOUBLE PANED, 33% SHGC, CHARCOAL OR BLACK SPACERS.

EXTERIOR MATERIALS				
TAG	ELEMENT	MNFR.	MODEL #	FINISH
E-01 (BRICK)	MODULAR FULL-BED BRICK	BELDEN	ENGLISH GREY VELOUR	GREY MORTAR SM100
E-02 (STONE)	WHITE STONE	BORAL	CULTURED STONE	GREY MORTAR SM100
E-03 (EIFS)	EIFS TOP BAND	STO-THERM	ESSENCE CI	PAINTED BM SLATE LIGHT BLUE
E-04 (canopy)	PREFAB ALUMINUM CANOPIES	MAPES OR UNISTRUCTURES OR EQ	STANDARD ALUMINUM, METAL PLANK CEILING	ALUMINUM FASCIA, LIGHT GREY
E-06 (CROWN)	EXTERIOR CORNICE CROWN	MOULDEX	THE CORSO 6" MOULDING	LIGHT GREY
E-07 (FASCIA)	EAVE AND FASCIA AND GUTTER	ALUMINUM	PREFINISHED ALUMINUM	LIGHT GREY
E-08 (ROOF)	SHINGLE ROOF	GAF	TIMBERLINE	GREY TONE
E-09 (PAINT)	CANOPY	BENJAMIN MOORE		OUTRAGEOUS ORANGE
E-10 (FENCE)	COMPOSITE SCREEN FENCE	GWF		LIGHT GREY COMPOSITE

ARCHITECT + DESIGN  
**KEYSTONE**  
PLANNING + DESIGN  
418 CLINTON PLACE  
RIVER FOREST, IL 60305

CM + BUILDER  
**RWE**  
DESIGN BUILD  
1303 OGDEN AVE  
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(630) 734 - 0883

NVA ST. CHARLES  
ZYLSTRA PUD LOT 1 ST CHARLES, IL

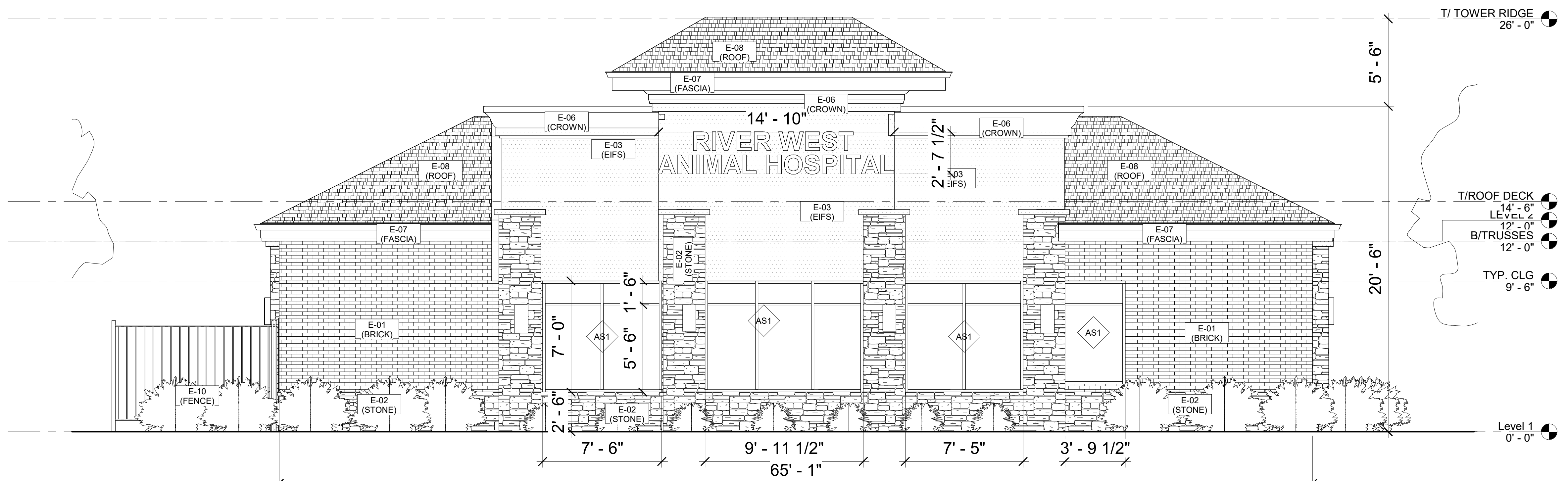
No.	Description	Date

**EXTERIOR ELEVATIONS**

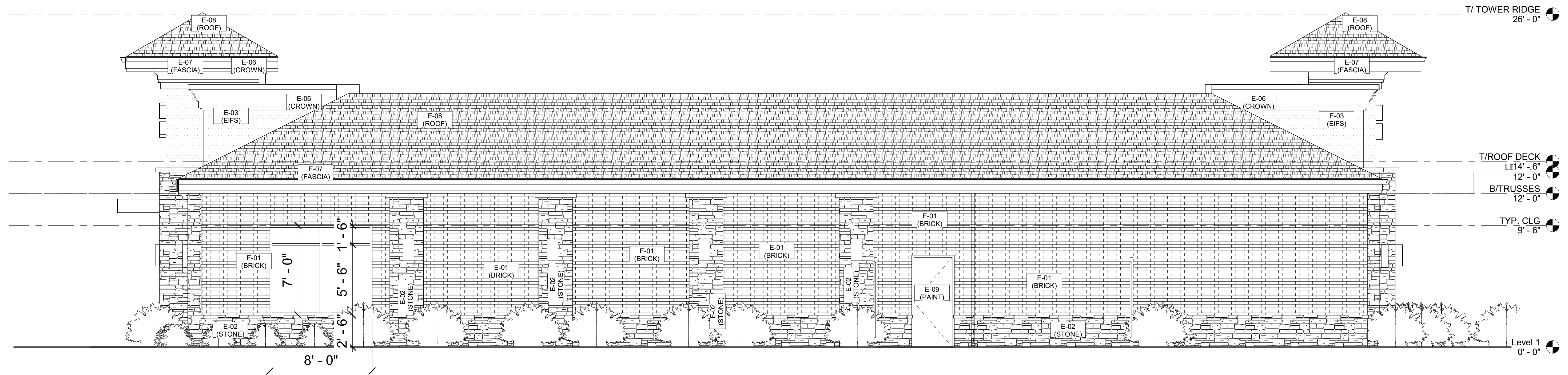
**A300**

Scale 1/4" = 1'-0"

KEYNOTES - EXTERIOR ELEVATIONS	
01	EXTERIOR WALL MOUNTED UP/DOWN WALL SCONCE



**1 BUILDING ELEVATION - NORTH**  
 1/4" = 1'-0"  
 UNDERLYING BR DISTRICT - 1.5 SF OF WALL SIGN PER LF OF WALL  
 97 SF ALLOWED, 41 SF SIGN PROVIDED



**2 BUILDING ELEVATION - EAST**  
 1/4" = 1'-0"

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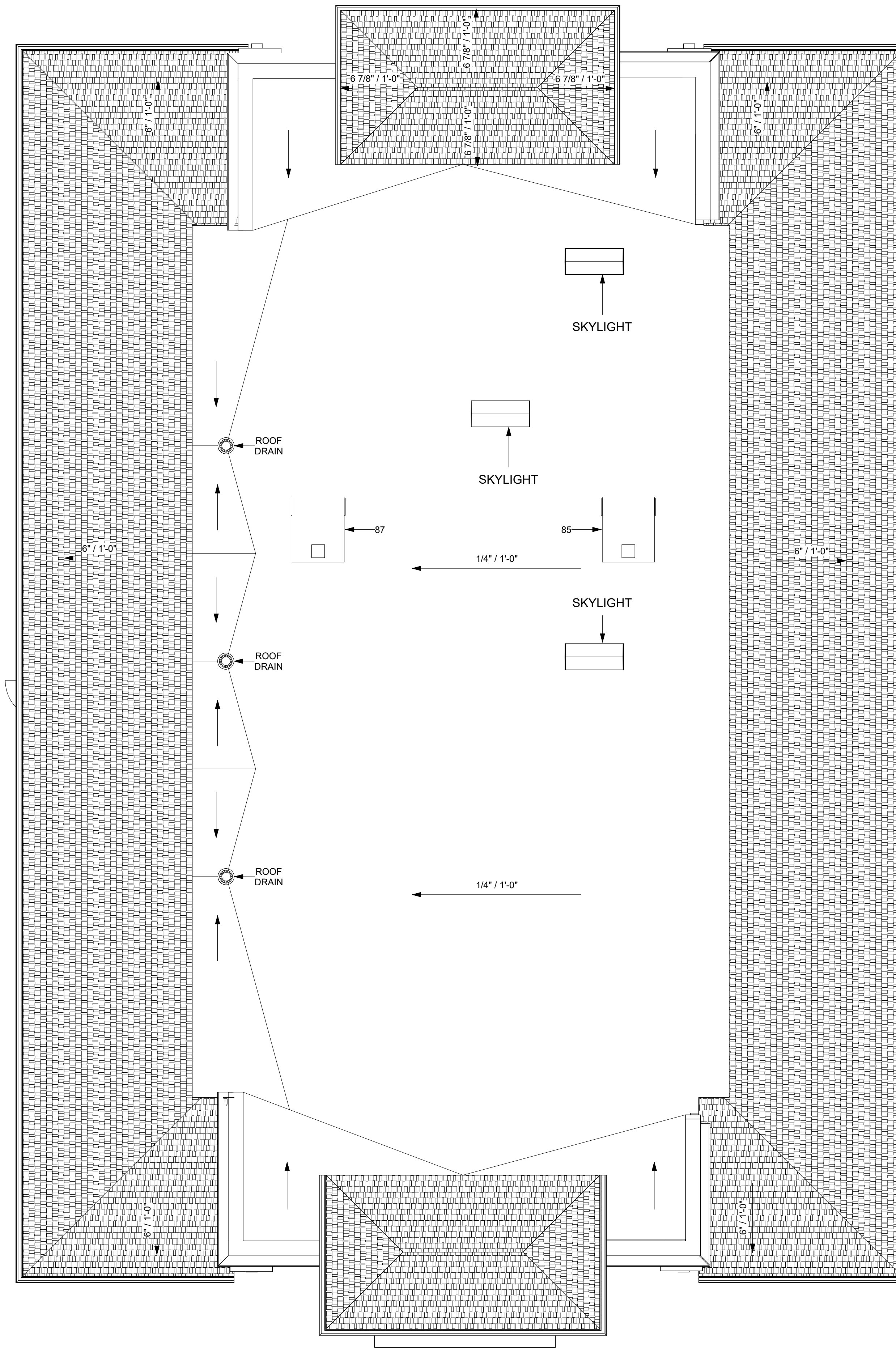
NVA ST. CHARLES  
 ZYLSTRA PUD LOT 1 ST CHARLES, IL

No.	Description	Date

**EXTERIOR ELEVATIONS**

**A301**

Scale 1/4" = 1'-0"



1 ROOF PLAN  
3/16" = 1'-0"

ARCHITECT + DESIGN  
**KEYSTONE**  
 PLANNING + DESIGN  
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NVA ST. CHARLES

ZYLSTRA PUD LOT 1 ST CHARLES, IL

No.	Description	Date

ROOF PLAN

A290

Scale 3/16" = 1'-0"

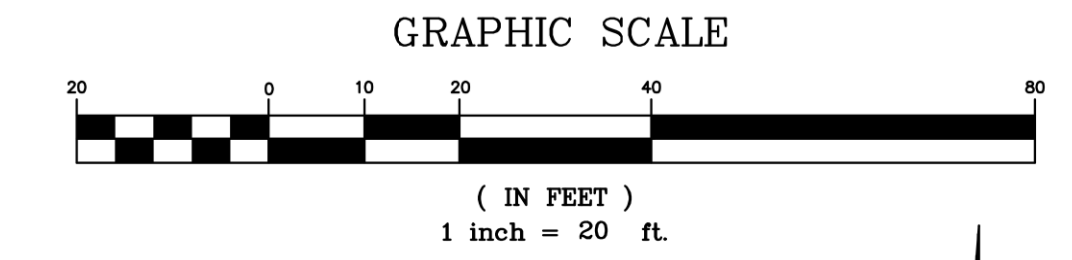
LINE LEGEND

- LIMITS OF LAND PER LEGAL DESCRIPTION
ADJACENT LAND
PARCEL LINE
EASEMENT LINE
CENTERLINE
BUILDING SETBACK LINE
SECTION LINE
EXISTING CONTOUR

LEGAL DESCRIPTION

LOT 1 IN ZYLSTRA CENTER, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 29 AND PART OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED APRIL 4, 2006 AS DOCUMENT NUMBER 2006K035709, AND CERTIFICATED OF CORRECTION RECORDED JUNE 26, 2008 AS DOCUMENT NUMBER 2008K053274, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

BOUNDARY AND TOPOGRAPHIC SURVEY



AREA SUMMARY
(TO HEAVY LINES)
56,790 SQUARE FEET
OR
1.304 ACRES
(BASED ON MEASURED VALUES)



Know what's below. Call before you dig.

UTILITY STATEMENT

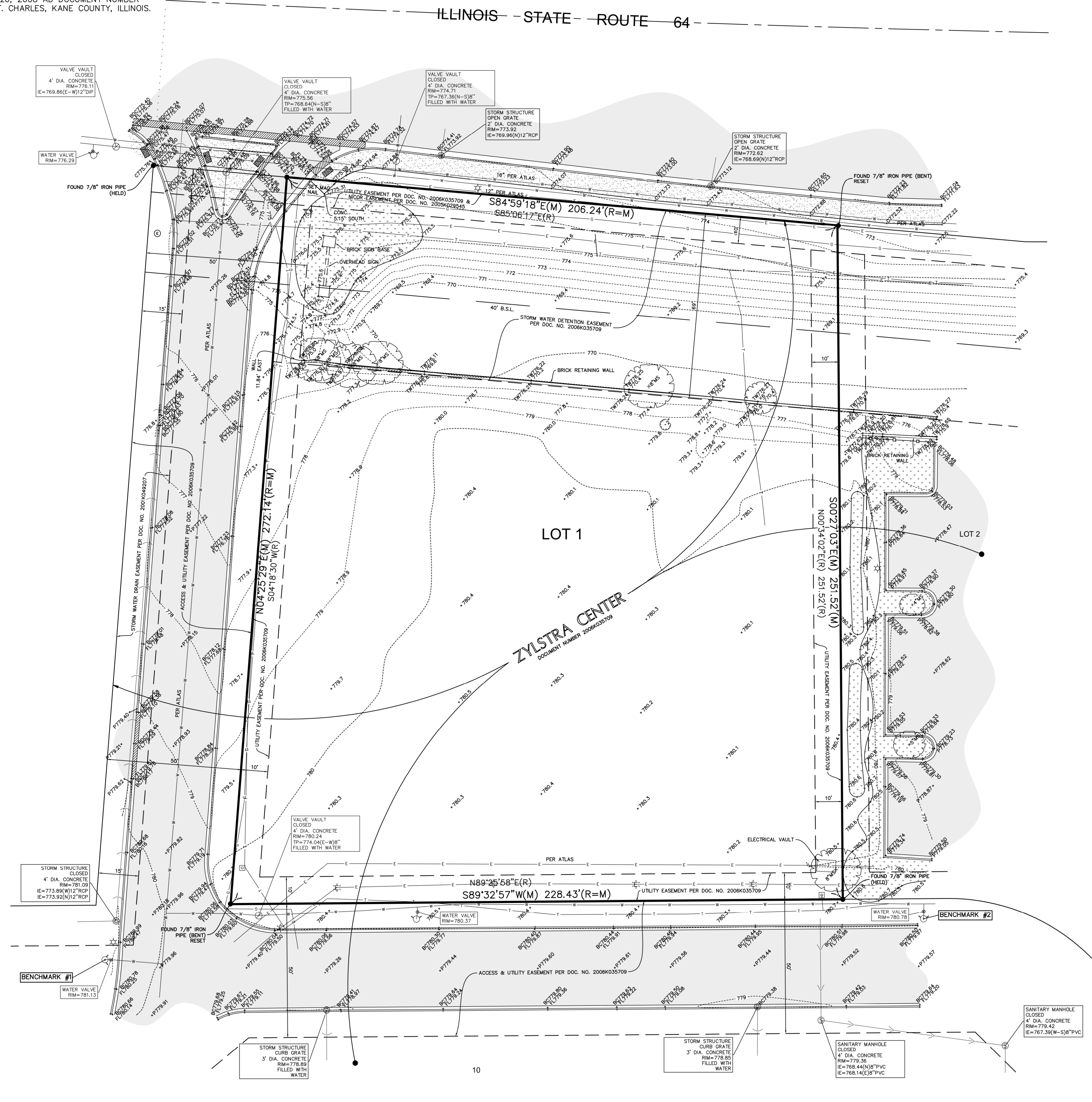
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISUAL FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES THAT MAY BE PRESENT. THE SURVEYOR'S LIABILITY IS LIMITED TO THE ACCURACY OF THE INFORMATION PROVIDED. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE TO OR DESTRUCTION OF UTILITIES OR OTHER PROPERTY CAUSED BY THE USE OF THIS SURVEY.

ABBREVIATIONS

- O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
TF = TOP OF FOUNDATION
FF = FINISHED FLOOR
FES = FLARED END SECTION
VCP = VITRIFIED CLAY PIPE
DIP = DUCTILE IRON PIPE
PVC = POLYVINYL CHLORIDE
RCP = REINFORCED CONCRETE PIPE
CMP = CORRUGATED METAL PIPE
(R) = RECORD BEARING OR DISTANCE
(M) = MEASURED BEARING OR DISTANCE
(C) = CALCULATED BEARING OR DISTANCE
(D) = DEED BEARING OR DISTANCE
N = NORTH
S = SOUTH
E = EAST
W = WEST
A = ARC LENGTH
R = RADIUS
CH = CHORD
CB = CHORD BEARING
B.S.L. = BUILDING SETBACK LINE
U.E. = UTILITY EASEMENT
D.E. = DRAINAGE EASEMENT
P.U.E. = PUBLIC UTILITY EASEMENT
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
BC = BACK OF CURB
BDC = BACK OF DEPRESSED FL = FLOW LINE
C = CONCRETE
P = PAVEMENT
G = GRAVEL
EW = EDGE OF WALK
TW = TOP OF WALL
TP = TOP OF PIPE
IE = INVERT ELEVATION
PL = PROPERTY LINE
DS = DOWN SPOUT
SF = SQUARE FEET
SL = SHORE LINE
TSF = TRANSFORMER
B = PAVERS

LEGEND

- FOUND 7/8" O.D.I.P.
OTHERWISE NOTED (HELD LOCATION)
CONCRETE MONUMENT
CROSS IN CONCRETE
MANHOLE
STORM STRUCTURE
SANITARY MANHOLE
CLEANOUT
FLARED END SECTION
TRANSFORMER PAD
ELECTRIC MANHOLE
ELECTRIC BOX
ELECTRIC PEDESTAL
ELECTRIC MARKER
ELECTRIC METER
UTILITY POLE
UTILITY POLE W/LIGHT
UTILITY POLE W/TSF
GUY POLE
OVERHEAD TRAFFIC SIGNAL
TRAFFIC SIGNAL MANHOLE
LIGHT
LIGHT POLE
HAND HOLE
VALVE VAULT
FIRE HYDRANT
IRRIGATION CONTROL VALVE
POST INDICATOR VALVE
SIAMASE WATER CONNECTION
WATER MARKER
WATER METER
VALVE BOX
B/BOX
SPRINKLER CONTROL VALVE
TELEPHONE MANHOLE
TELEPHONE NETWORK INTERFACE
COMMUNICATION MARKER
COMMUNICATION PEDESTAL
CABLE TELEVISION PEDESTAL
CONTROL BOX
WETLAND FLAG
GAS METER
GAS VALVE
GAS MARKER
DOWN SPOUT
BORING HOLE
MONITORING WELL
GATE POST
BOLLARD POLE
SIGN
FLAG POLE
MAILBOX
SANITARY SEWER
STORM SEWER
WATER MAIN
GAS MAIN
ELECTRIC LINE
OVERHEAD WIRES
COMMUNICATION LINE
CONIFEROUS TREE W/APPROX. DIAMETER
DECIDUOUS TREE W/APPROX. DIAMETER
MS-MULTI-T-SYSTEM (DRIP LINE SHOWN IS APPROXIMATE)
TREE LINE
ELEVATION
BITUMINOUS PAVEMENT
CONCRETE SURFACE
DEPRESSED CURB
GRAVEL SURFACE
LANDSCAPE AREA
STONE SURFACE
DETECTABLE TACTILE WARNING SURFACE
BRICK PAVERS
WOOD FENCE
CHAIN LINK FENCE
METAL FENCE
METAL GUARDRAIL
OVERHEAD TRAFFIC ARM



UTILITY CONTACTS

- DESIGN DIG #X230601481
CABLE
COMCAST - MARTHA GIERAS
224-229-5852
MARTHA\_GIERAS@CABLE.COMCAST.COM
GAS
NICOR GAS
GASMAPS@NICOR.COM
COMMUNICATIONS
AT&T DISTRIBUTION
G11629@ATT.COM
WINDSTREAM KDL/MCLEOD USA - LOCATE DESK
800-289-1901
LOCATE.DESK@WINDSTREAM.COM
METRO FIBERNET, LLC
812-213-1050
811DESIGN@METRONET.COM
WATER / SANITARY / STORM
KANE COUNTY DIVISION OF TRANSPORTATION - KURT NIKA
630-406-7372
NIKAKURT@KANE.IL.US
CITY OF ST. CHARLES - ERIC CREIGHTON
630-762-7079
MAPS@STCHARLES.IL.GOV

BENCHMARKS

- REFERENCE BENCHMARK:
STC 20
STATION IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF DEAN STREET AND 17TH STREET.
DATUM: NAVD88
ELEVATION = 739.55

SITE BENCHMARKS

- SITE BENCHMARK #1
ARROW BOLT ON FIRE HYDRANT ALONG THE WEST SIDE OF ACCESS ROAD NEAR THE SOUTHWEST CORNER OF TOPOGRAPHIC LIMITS.
ELEVATION = 783.39
SITE BENCHMARK #2
ARROW BOLT ON FIRE HYDRANT ALONG THE NORTH SIDE OF ACCESS ROAD AND NEAR THE SOUTHWEST CORNER OF TOPOGRAPHIC LIMITS.
ELEVATION = 782.84

CERTIFICATION

STATE OF ILLINOIS )
COUNTY OF KANE ) SS
THE ABOVE DESCRIBED PROPERTY WAS SURVEYED UNDER THE DIRECTION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR ON 03/02/2023. ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

COMPASS SURVEYING LTD.
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184.002778
LICENSE EXPIRES 4/30/2025



BY: DAVID P. FILIPSKI DATE: 03/06/2023
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3352
LICENSE EXPIRES 11/30/2024

Table with columns: DATE, PC, EH, DRAWN BY, RHM, CHECKED BY, DF, BOOK, PG, BY, DATE. Includes project information for 2225 W. Main Street - St. Charles.

Table with columns: PROJECT, CLIENT, CLIENT ADDRESS, CLIENT PHONE, CLIENT FAX, CLIENT EMAIL.

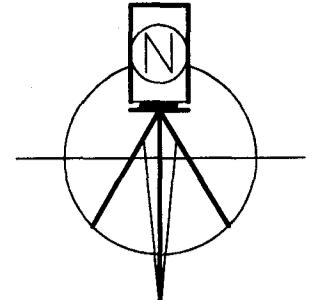
COMPASS SURVEYING LTD. TOPOGRAPHY & CONSTRUCTION STAKING. 2631 GINGER WOODS PARKWAY, STE. 100, AURORA, IL 60502. PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

# ALTA/NSPS LAND TITLE SURVEY

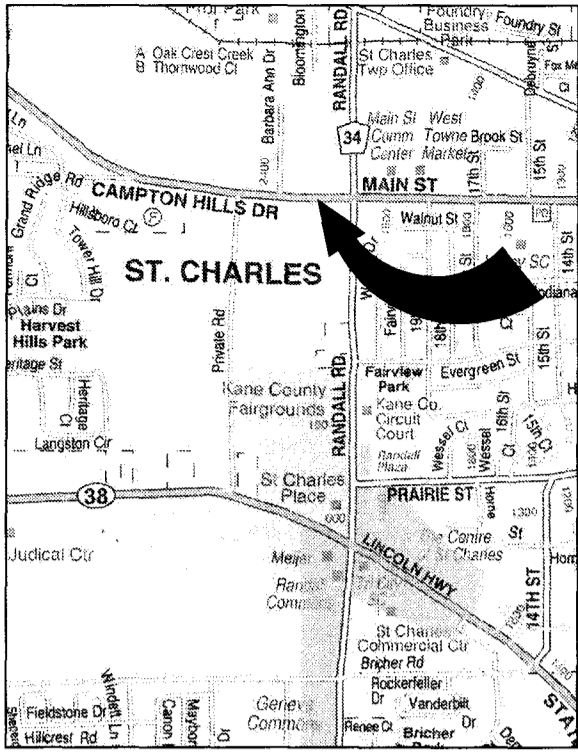
D.F.L.S.

DALE FLOYD LAND SURVEYING L.L.C.

2600 KESLINGER ROAD SUITE A  
GENEVA, ILLINOIS 60134  
PHONE: 630-232-7705 FAX: 630-232-7725  
E-MAIL: DFLS@SBCGLOBAL.NET



SCALE: 1"=30'



LOT 1 IN ZYLSTRA CENTER, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 29 AND PART OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 4, 2006 AS DOCUMENT 2006K035709, AND CERTIFICATE OF CORRECTION RECORDED JUNE 26, 2008 AS DOCUMENT 2008K053274, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS

COMMONLY KNOWN AS: VACANT, ROUTE 64, ST. CHARLES, ILLINOIS

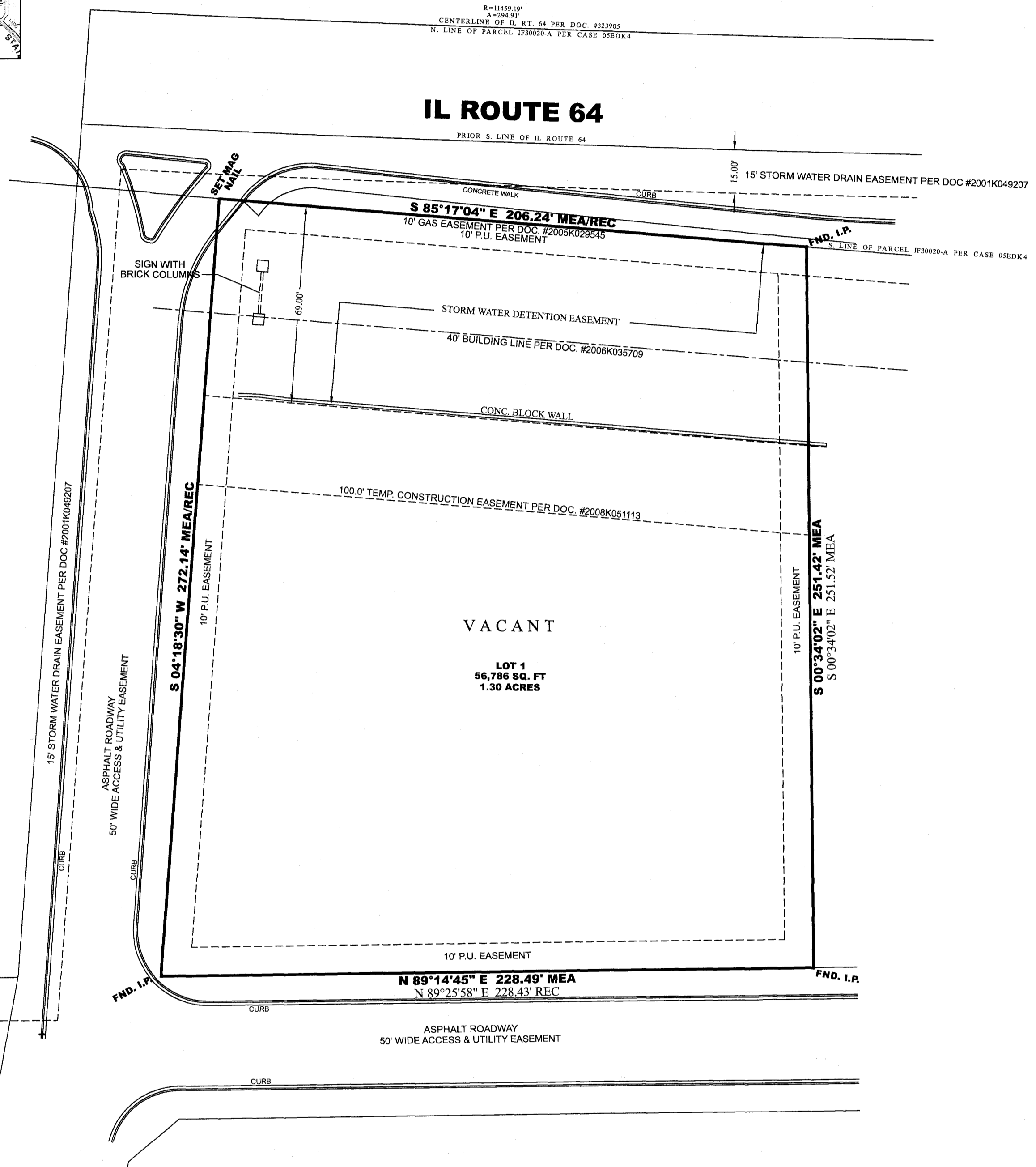


TABLE A ITEMS:  
ITEM 3) FEMA FLOOD ZONE CLASSIFICATION  
ZONE X  
PANEL 17089C02624  
EFFECTIVE DATE: 8-3-2009

ITEM 4) GROSS LAND AREA IS 56,786 SQ FT  
ITEM 20) THERE HAS BEEN NO WETLAND SURVEY  
PERFORMED BY A QUALIFIED SPECIALIST  
AND NO WETLAND DELINEATION WAS OBSERVED  
WHILE PERFORMING THE SURVEY

CHICAGO TITLE INSURANCE COMPANY  
COMMITMENT NO. 22CNW740190GV  
DATED: DECEMBER 12, 2022  
SCHEDULE B, PART II

ITEMS 1-20) NOT SURVEY RELATED  
ITEM 21) 2001K049207 FALLS WEST OF LOT 1  
ITEM 22) 2001K029370 FALLS NORTH AND WEST OF LOT 1  
ITEM 23) EASEMENT DOC. #2005K029545 PLATTED AND NOTED  
ITEM 24) BUILDING LINE PLATTED AND NOTED  
ITEM 25) UTILITY EASEMENTS ARE PLATTED AND NOTED  
ITEM 26) DETENTION EASEMENT IS PLATTED AND NOTED  
ITEM 27) NOT SURVEY RELATED  
ITEM 28) NOT SURVEY RELATED  
ITEM 29) 2007K091179 LOCATED AT OAK ST. & RANDALL RD.  
ITEM 30) NOT SURVEY RELATED  
ITEM 31) NOT SURVEY RELATED  
ITEM 32) NOT SURVEY RELATED

STATE OF ILLINOIS S.S.  
COUNTY OF KANE  
CERTIFY TO:  
CHICAGO TITLE INSURANCE COMPANY  
JASON LONG

THIS IS TO CERTIFY THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA/NSPS, AND INCLUDES ITEMS 3.4.20 OF TABLE A THEREOF.

WE, DALE FLOYD LAND SURVEYING L.L.C., A PROFESSIONAL DESIGN FIRM, LICENSE NO. 184-004129 DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED IN THE MANNER REPRESENTED ON THE PLAT HEREON DRAWN.

DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

GENEVA, ILLINOIS 1-13 A.D. 2023

LEGEND	
FND. I.R.	= FOUND IRON ROD
FND. I.P.	= FOUND IRON PIPE
---	FENCE
.....	BLDG. TIE
-----	BLDG. LINE
- - - - -	EASEMENT
▭	PUBLIC UTILITY
▭	MUNICIPAL UTILITY
▭	ASPHALT
▭	CONCRETE
▭	BUILDING

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

COMPARE ALL POINTS BEFORE BUILDING BY THE SAME AND AT ONCE REPORT ANY DIFFERENCE.

JOB NO. 1222-51

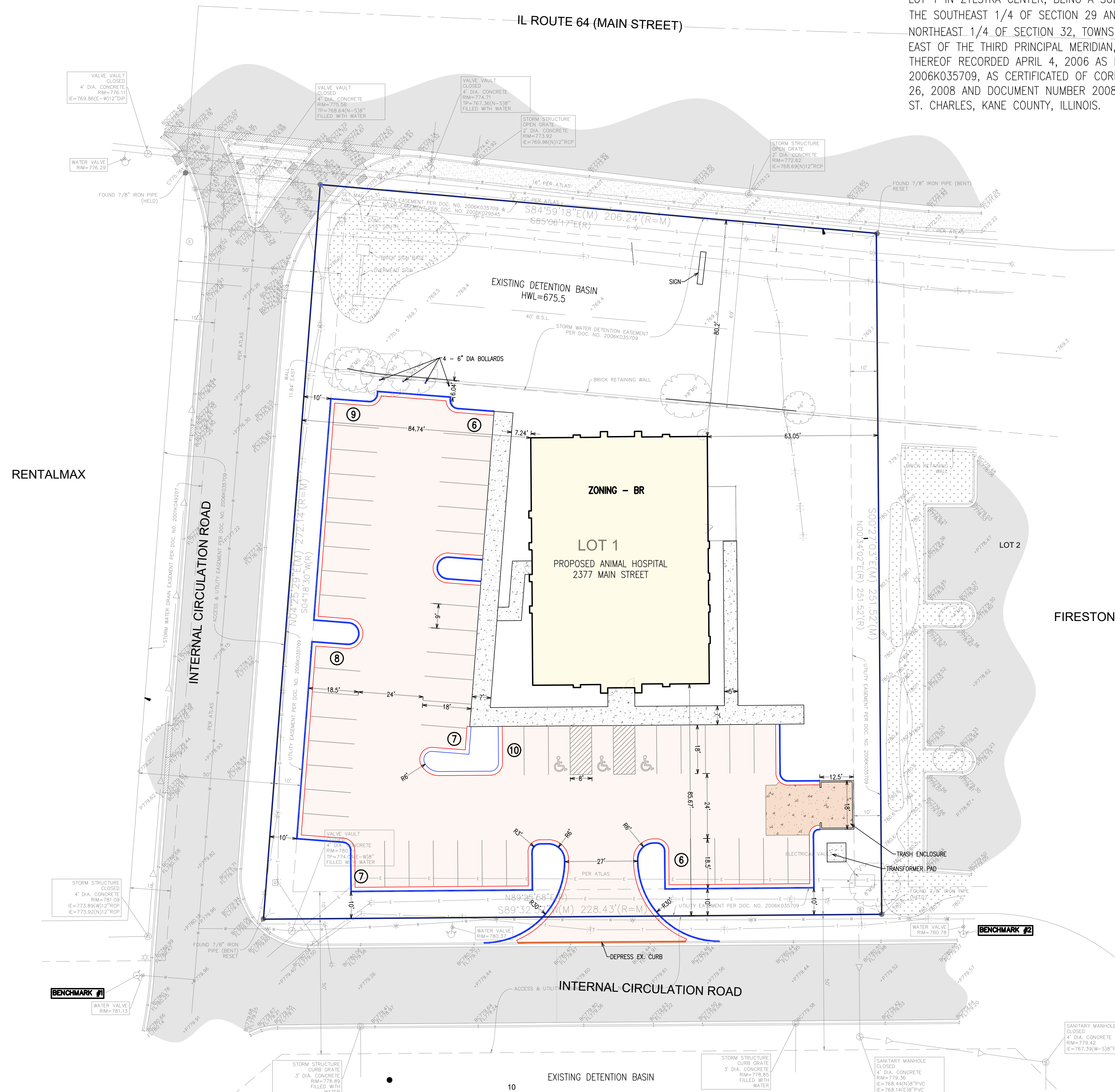
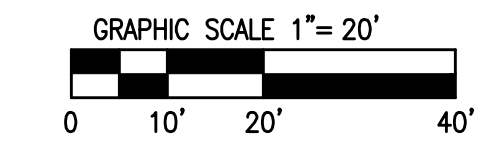
License expiration date 11-30-2024

FIELD WORK COMPLETED: 12-20-2022  
PREPARED FOR: GRIFFIN WILLIAMS  
MCMAHON & WALSH

ILLINOIS PROFESSIONAL LAND SURVEYOR  
NO. 035-003908

LEGAL DESCRIPTION:

LOT 1 IN ZYLSTRA CENTER, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 29 AND PART OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 4, 2006 AS DOCUMENT NUMBER 2006K035709, AS CERTIFICATED OF CORRECTION RECORDED JUNE 26, 2008 AND DOCUMENT NUMBER 2008K053274, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.



PARKING SUMMARY

TOTAL REQUIRED=	4 STALLS PER 1000 SF
TOTAL REQUIRED=	24 STALLS
TOTAL PROVIDED=	53 STALLS

**SITE DATA TABLE**

DESCRIPTION	AREA	
	S.F.	ACRE
IMPERVIOUS AREA		
BUILDING	6,022	0.14
WALKWAY	2,144	0.05
PAVEMENT	17,941	0.41
TOTAL	26,107	0.60
SITE AREA	56,789	1.30
BUILDING LOT COVERAGE	0.11	
LOT COVERAGE	0.46	


RENTALMAX

FIRESTONE


**ADVANTAGE**  
CONSULTING ENGINEERS  
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439  
630-520-2467  
WWW.ACEBOLUS

CONCEPT SITE PLAN - PH 1  
RIVER WEST ANIMAL HOSPITAL  
2377 MAIN STREET  
ST. CHARLES, IL

**RWE**  
DESIGN BUILD  
1303 OGDEN AVENUE  
DOWNERS GROVE, ILLINOIS 60515

  
 ENGINEER  
 WILLIAM J. ZALESKI, P.E.  
 BILLZ@ACENUS  
 ILLINOIS REGISTRATION NO.: 062-046121  
 EXPIRATION DATE: 4/30/2023  
 PROFESSIONAL DESIGN FIRM NO.: 184-007386  
 EXPIRATION DATE: 11/30/2023  
 THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER

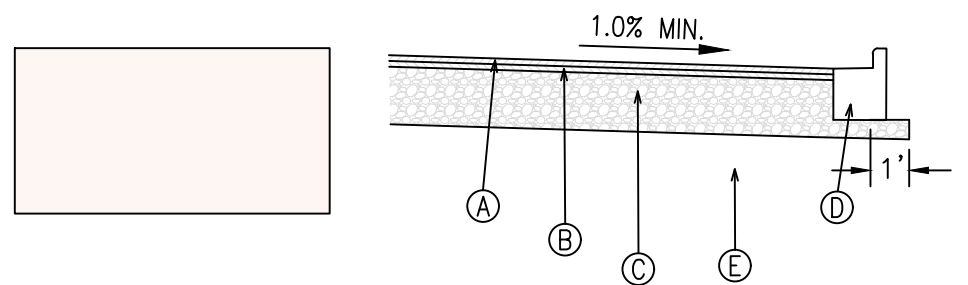
05/10/2023  
 DATE



**LEGEND**

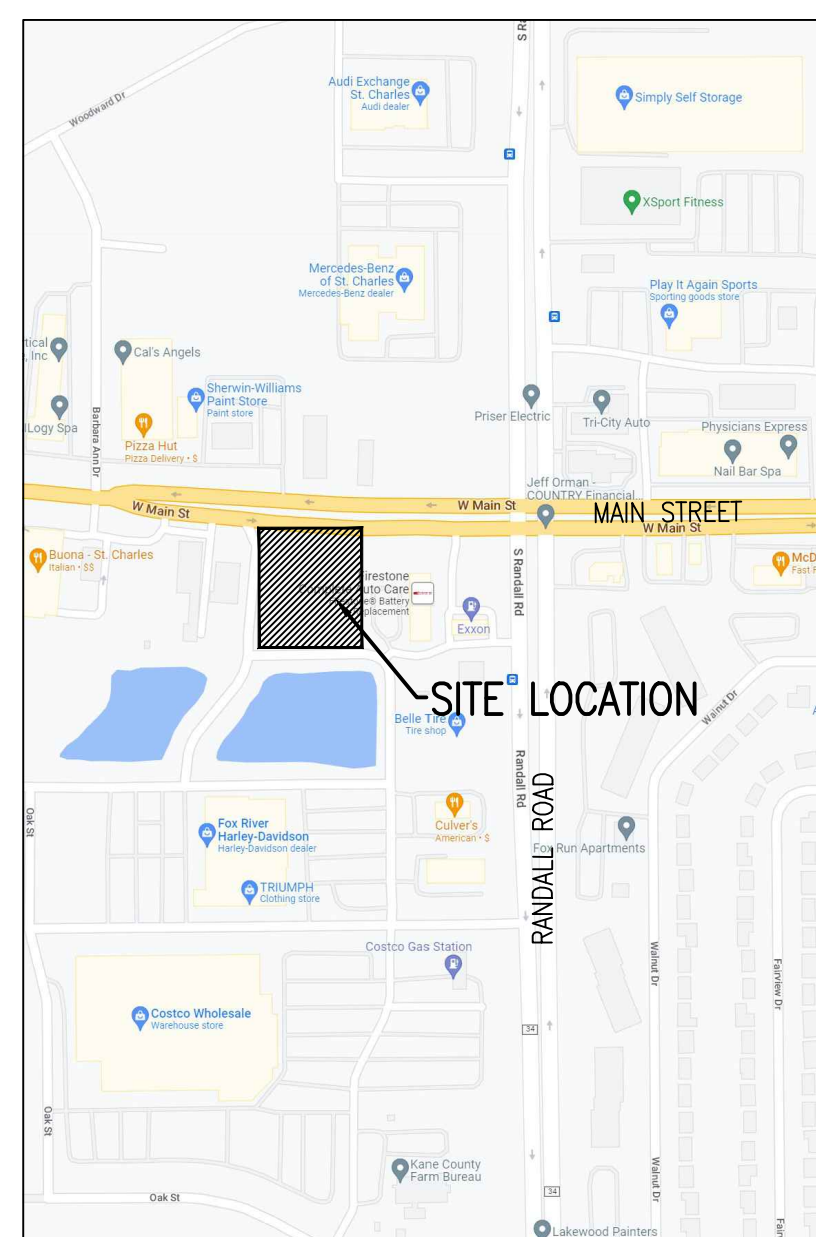
PROPOSED	DESCRIPTION	EXISTING
	STORM SEWER	
	WATER MAIN WITH SIZE	
	SANITARY SEWER	
	RIGHT-OF-WAY	
	CONTOUR	
	SPOT GRADE	
	SANITARY MANHOLE	
	STORM MANHOLE	
	STORM INLET	
	STORM CATCH BASIN	
	FIRE HYDRANT	
	BUFFALO BOX	
	GATE VALVE W/VAULT	
	STREET LIGHT	
	STREET LIGHT W/MAST	
	OVERFLOW DIRECTION	
	CURB	
	SILT FENCE	
	ROAD SIGN	
	ELECTRIC	
	GAS	
	UTILITY POLE	
	DEPRESSED CURB FOR RAMP/DRIVEWAY	
	TOP OF FOUNDATION	
	TOP OF CURB, DEPRESSED	
	TOP WALL, BOTTOM OF WALL	
	RIM FOR STRUCTURES	
	RISER FOR SANITARY SERVICE	
	HIGH/NORMAL WATER LEVEL	
	CLEAN OUT	
	FIRE DEPARTMENT CONNECTION	

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS AND STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS AND THE SUBDIVISION ORDINANCES FOR THE CITY OF ST. CHARLES.
  - ALL SANITARY SEWERS SHALL BE PVC PIPE, TYPICALLY ASTM D-3034, SDR 26, 8" DIAMETER, UNLESS NOTED OTHERWISE.
  - ALL STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE ASTM C-76, SIZES TO BE DETERMINED AT TIME OF FINAL ENGINEERING.
  - ALL WATER MAIN TO BE DUCTILE IRON PIPE, CLASS 52, SIZE TO BE 6" DIAMETER UNLESS NOTED OTHERWISE. DEPTH 5'-6" FROM FINISHED SURFACE ELEVATION.
  - A MINIMUM HORIZONTAL DISTANCE OF TEN FEET SHALL BE MAINTAINED BETWEEN ALL WATER MAINS AND STORM/SANITARY SEWERS & STRUCTURES.
  - LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND ARE TO BE VERIFIED PRIOR TO FINAL ENGINEERING AND SHOULD BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
  - PROPOSED ELEVATIONS AND GRADING, PROPOSED UTILITY SIZES AND LOCATIONS, AS WELL AS PROPOSED SECTIONS AND DETAILS SHOWN HEREIN ARE SCHEMATIC AND PRELIMINARY IN NATURE AND ARE SUBJECT TO REVISION AT THE TIME OF FINAL ENGINEERING.
  - APPROPRIATE EASEMENTS FOR ALL UTILITIES WILL BE PROVIDED AT THE TIME OF FINAL ENGINEERING AND SHALL BE REFLECTED ON THE PLAN.
  - UTILITY EASEMENTS FOR SEWERS AND WATER MAIN OUTSIDE OF PUBLIC R.O.W. ARE TO BE PROVIDED AS WELL AS STORM WATER MANAGEMENT EASEMENTS FOR STORM WATER MANAGEMENT FACILITIES.
  - ALL SIDEWALKS ARE TO BE CONCRETE AND HAVE RAMPS AT INTERSECTIONS WITH CURBS TO MEET THE MOST RESTRICTIVE ADA CODE REQUIREMENTS.

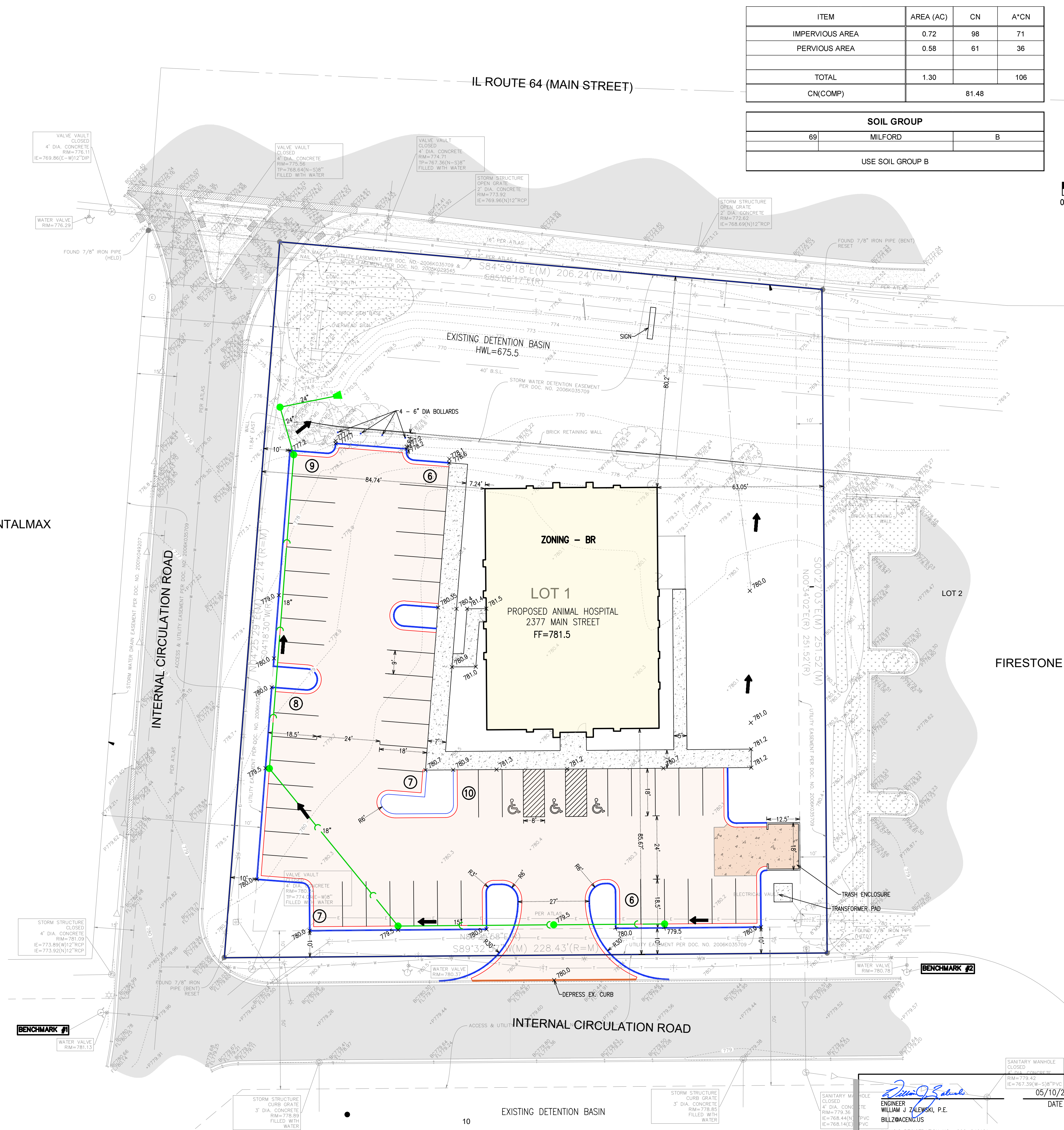


- A 2.0" BITUMINOUS CONCRETE SURFACE COURSE, HOT MIX ASPHALT, MIX. C, N50
- B 3.0" BITUMINOUS CONCRETE BINDER COURSE, HOT MIX ASPHALT, IL 19, N50
- C 10" CA-6(GRADE B) COMPACTED GRAVEL BASE
- D CONC. CURB & GUTTER, TYPE B-6.12 WITH 4" CA-6 GRAVEL SUB-BASE
- E COMPACTED SUBGRADE

**ASPHALT PAVEMENT SECTION**



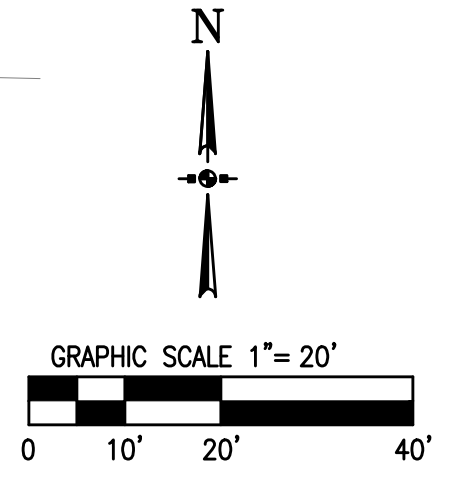
**SITE LOCATION MAP**



ITEM	AREA (AC)	CN	A*CN
IMPERVIOUS AREA	0.72	98	71
PERVIOUS AREA	0.58	61	36
<b>TOTAL</b>	<b>1.30</b>		<b>106</b>
<b>CN(COMP)</b> 81.48			

SOIL GROUP		
69	MILFORD	B
USE SOIL GROUP B		



**ADVANTAGE**  
CONSULTING ENGINEERS  
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439  
630-520-2467  
WWW.ADVANTAGE-ILL.COM

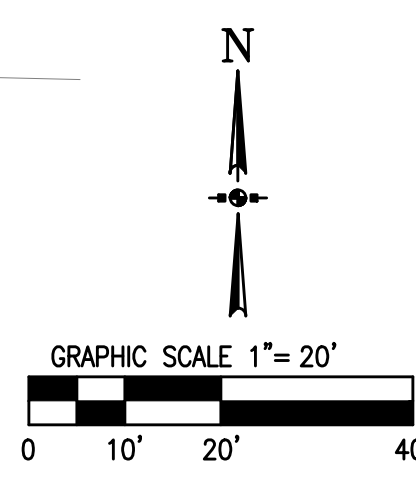
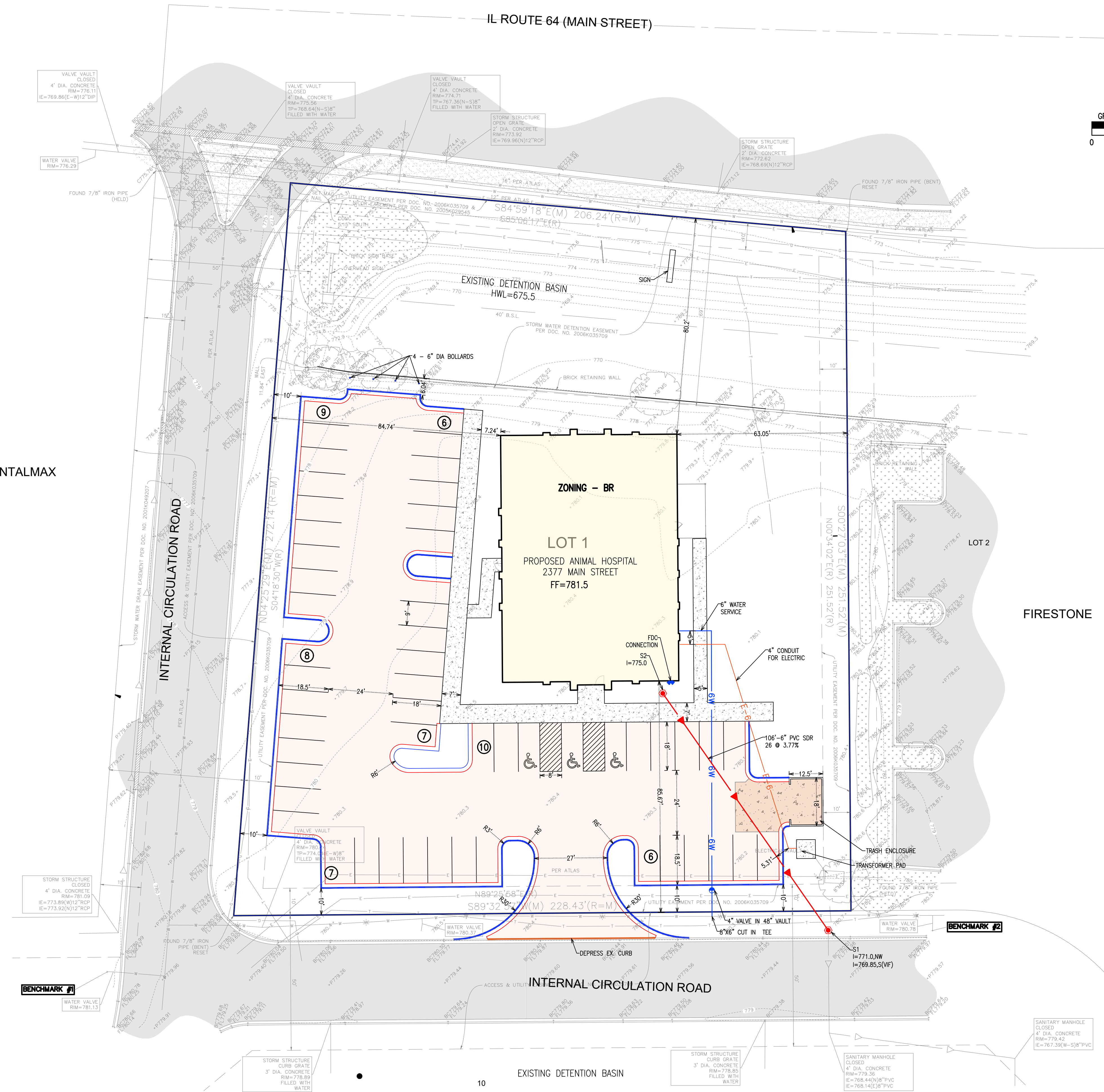
**PRELIMINARY GRADING & DRAINAGE PLAN**  
**RIVER WEST ANIMAL HOSPITAL**  
2377 MAIN STREET  
ST. CHARLES, IL

**RWE**  
DESIGN BUILD  
1303 OGDEN AVENUE  
DOWNERS GROVE, ILLINOIS 60515

05/10/2023  
DATE

*William J. Zelenki*  
ENGINEER  
WILLIAM J. ZALENSKI, P.E.  
BILL@ZALENSKI.COM  
ILLINOIS REGISTRATION NO.: 062-046121  
EXPIRATION DATE: 11/30/2023  
PROFESSIONAL DESIGN FIRM NO.: 184-007386  
EXPIRATION DATE: 4/30/2025  
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER

MAY 15, 2023  
JOB: 23-501  
SHEET:  
**G1**  
1 OF 2



NO.	DATE	REVISIONS	REMARKS
1.	05/10/2023		REVISED PER VILLAGE

**ADVANTAGE**  
CONSULTING ENGINEERS  
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439  
630-520-2467  
WWW.ADVANTAGEIL.COM



PRELIMINARY UTILITY PLAN  
SANITARY & WATER MAIN PLAN  
**RIVER WEST ANIMAL HOSPITAL**  
2377 MAIN STREET  
ST. CHARLES, IL

**RWE**  
DESIGN BUILD  
1303 OGDEN AVENUE  
DOWNERS GROVE, ILLINOIS 60515

MAY 15, 2023  
JOB: 23-501  
SHEET:  
**U1**  
2 OF 2





ERIKSSON ENGINEERING ASSOCIATES, LTD. LANDSCAPE ARCHITECTS

145 COMMERCE DRIVE, SUITE A GRAYSLAKE, ILLINOIS 60030 PHONE: (847) 223-4804 FAX: (847) 223-4864 EMAIL: INFO@EEA-LTD.COM PROFESSIONAL DESIGN FIRM LICENSE NO. 184-003220 EXPIRES: 04/30/2025

ST. CHARLES VETERINARY HOSPITAL NORTH AVENUE ST. CHARLES, ILLINOIS

PLANT SCHEDULE (OVERALL)

Table with columns: BOTANICAL / COMMON NAME, COND, SIZE, QTY. Lists various trees, shrubs, grasses, and perennials with their respective quantities.

PLANT SCHEDULE (FOUNDATION PLANTS ONLY)

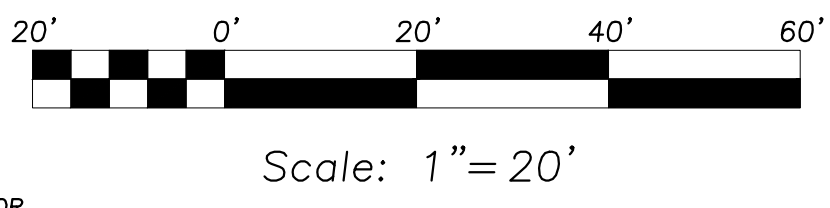
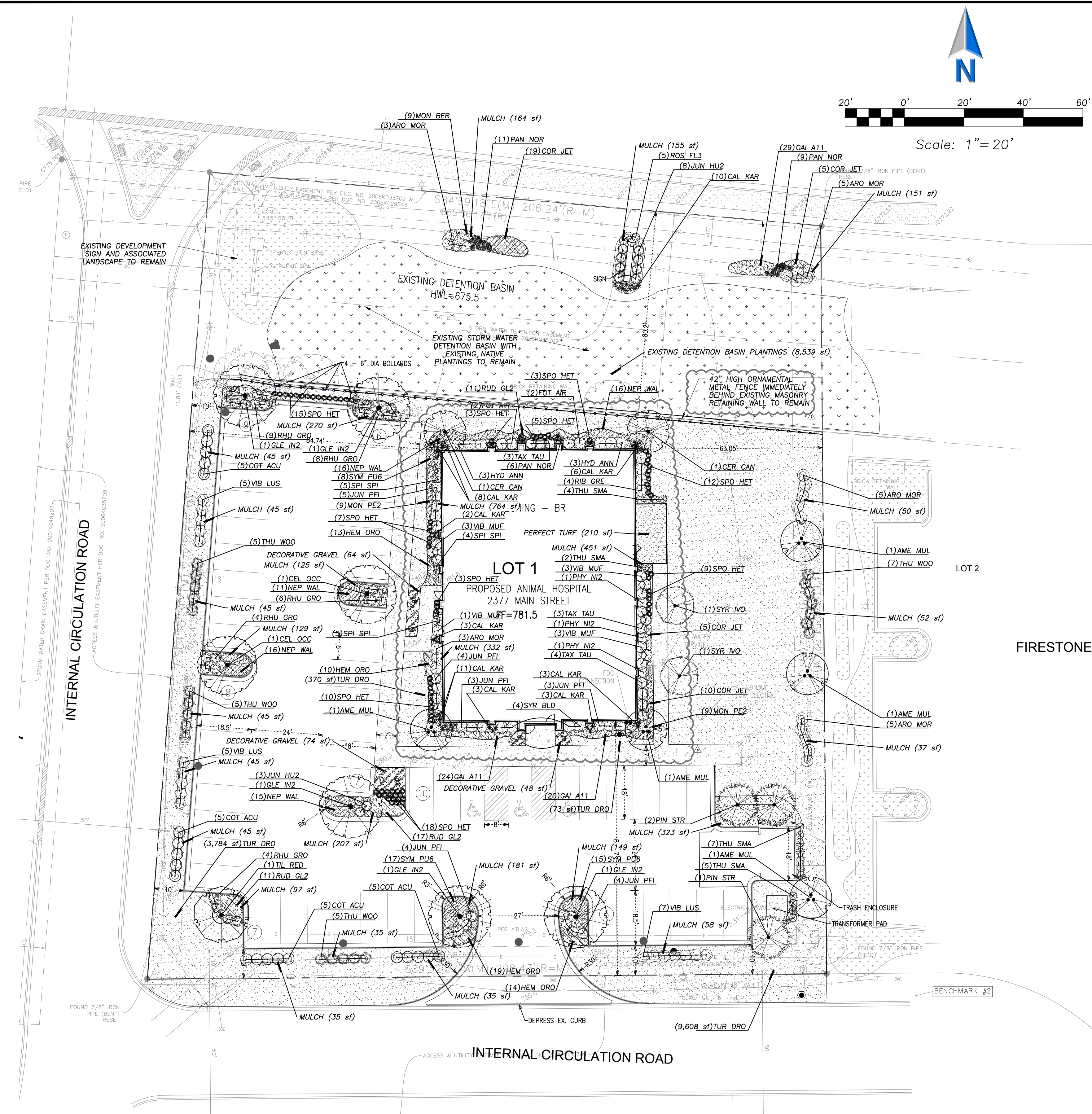
Table with columns: BOTANICAL / COMMON NAME, COND, SIZE, QTY. Lists foundation plants like shrubs, grasses, and perennials.

LANDSCAPE NOTES:

- 1. PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUANTITIES.
2. ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE.
3. ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
4. ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES.
5. ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER.
7. ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
8. ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC., SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
9. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS.
10. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
11. REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
12. ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION.
13. ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
14. ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
15. ALL PARKWAYS SHALL HAVE LAWN ESTABLISHED WITH SEED A GROUND COVER, UNLESS OTHERWISE NOTED.
16. ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 6" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED BLANKET UNLESS OTHERWISE NOTED.
17. THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
18. CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
19. ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
20. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
21. ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
22. LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
23. REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
24. PLANTS TO BE PLANTED SO THAT ROOT FLARE IS AT THE GRADE OF THE AREA WHERE PLANTED. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT TO REMOVE DEAD OR BROKEN LIMBS.

SITE MATERIALS SCHEDULE

Table with columns: Description, Quantity. Lists Perfect Turf (210 SF), Decorative Gravel (186 SF), Mulch (4,070 SF), Existing Detention Basin Plantings (8,539 SF).



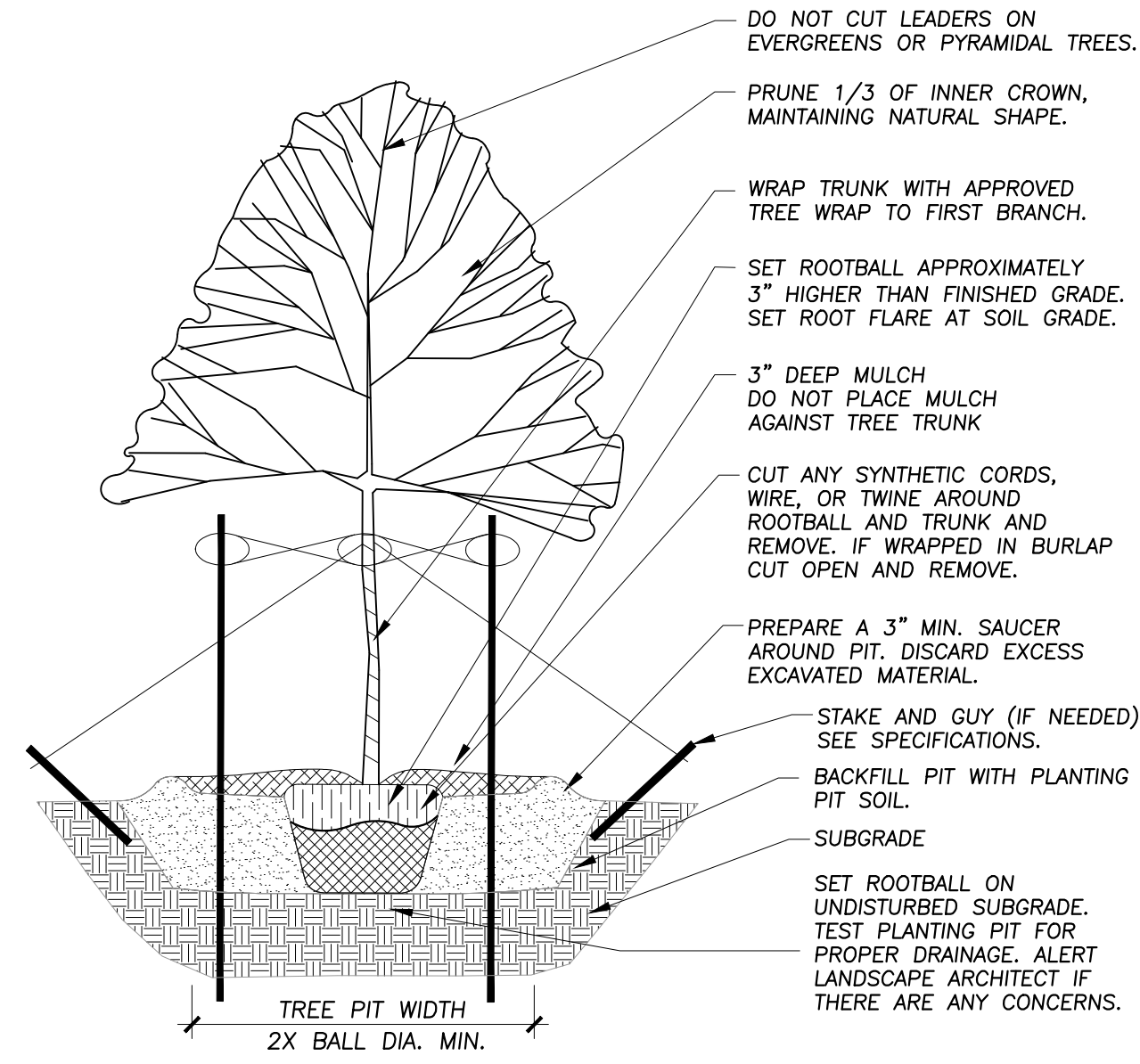
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Table with columns: No., Date, Description. Contains one entry: 05/10/2023 STAFF REVIEW COMMENTS.

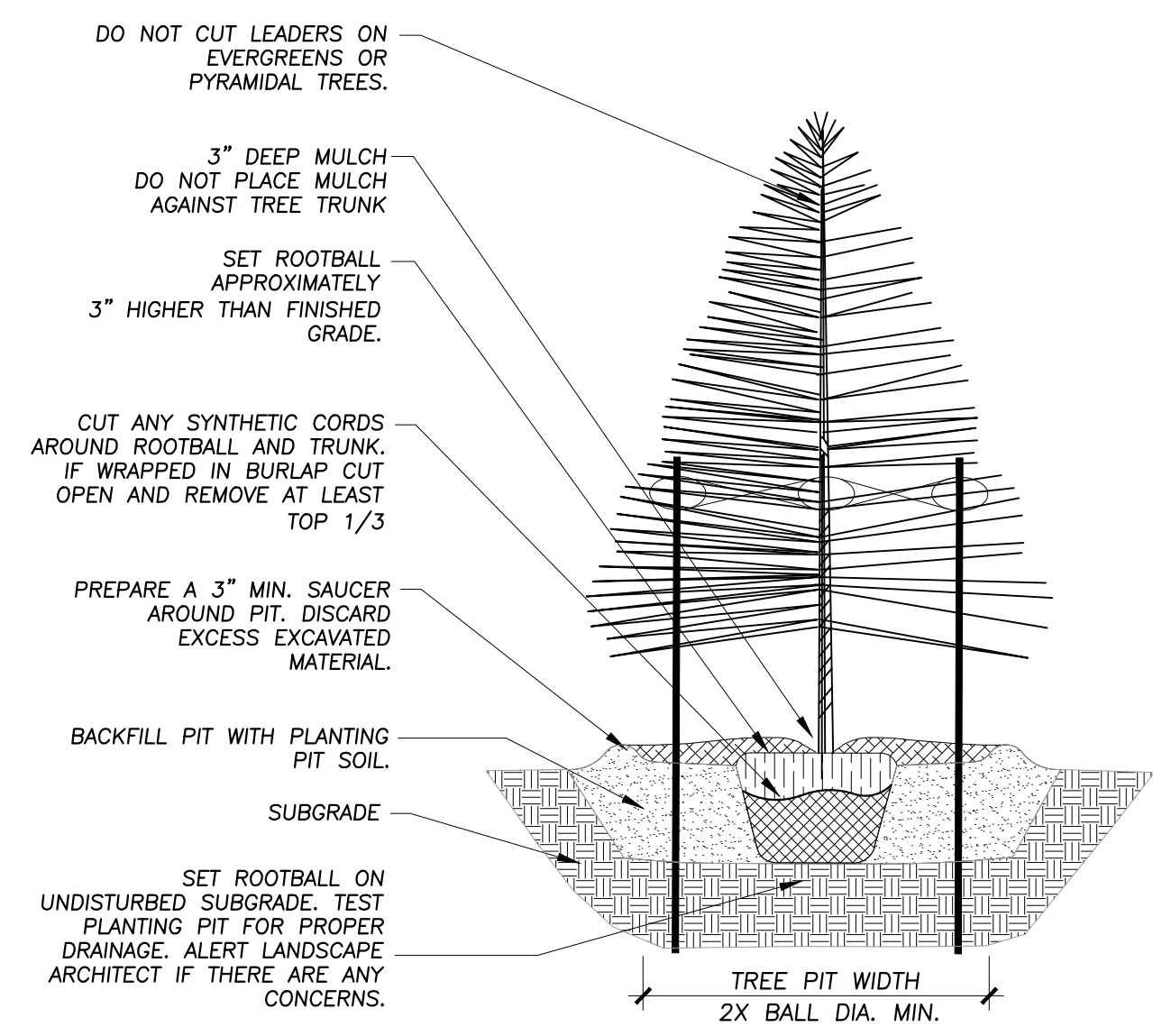
Table with columns: Design By, Approved By, Date. Design By: SSG, Approved By: XXX, Date: 04/28/2023.

Sheet Title: LANDSCAPE PLAN

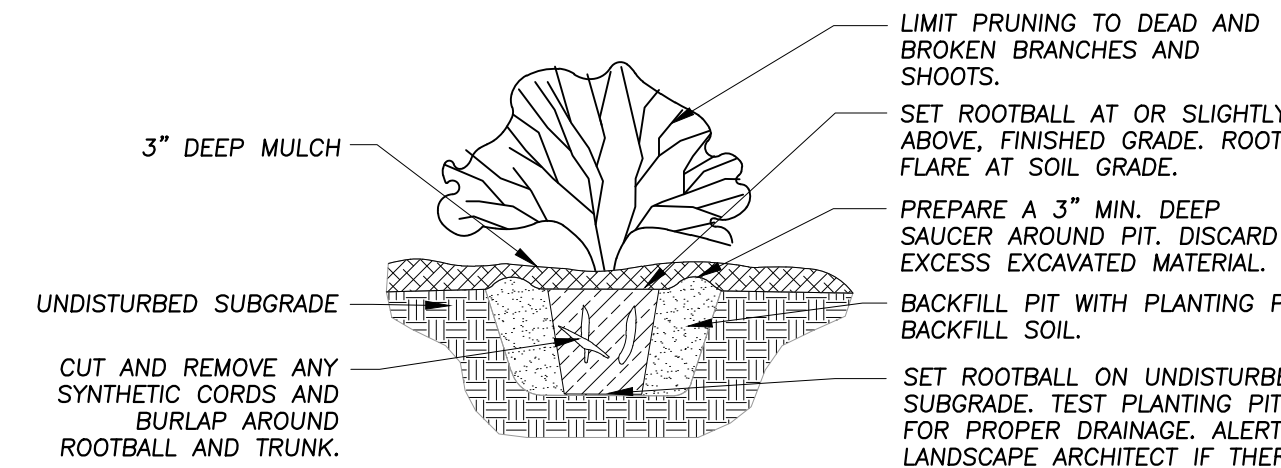
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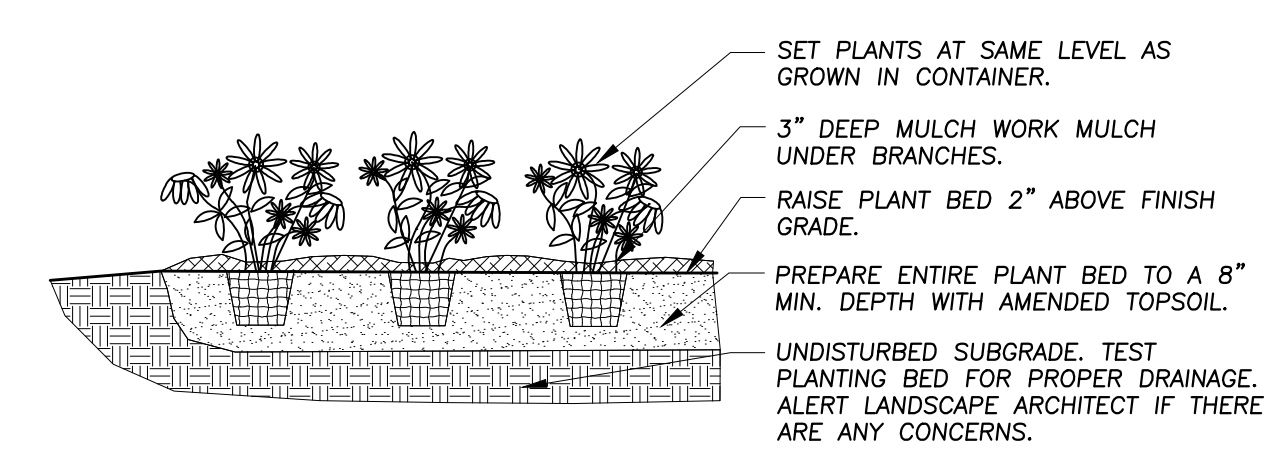
**1** TREE PLANTING DETAIL  
Not To Scale 329343-01



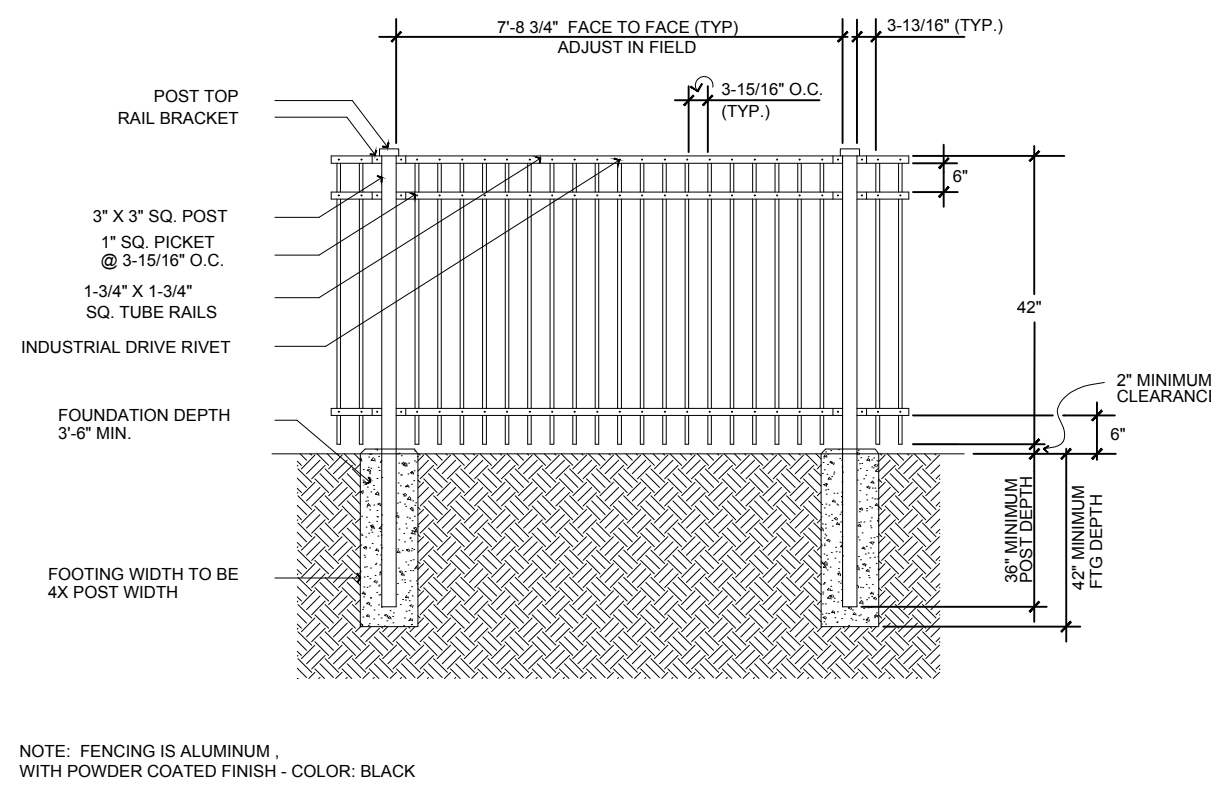
**2** EVERGREEN TREE PLANTING DETAIL  
NOT TO SCALE 329343-02



**3** SHRUB PLANTING DETAIL  
Not To Scale 329333-01



**4** ANNUAL, PERENNIAL, & GROUNDCOVER DETAIL  
Not To Scale 329301-03



**5** 42" ORNAMENTAL METAL FENCE  
Not To Scale 323119-19

NOTE: FENCING IS ALUMINUM WITH POWDER COATED FINISH - COLOR: BLACK



**ERIKSSON**  
ENGINEERING  
ASSOCIATES, LTD.

LANDSCAPE ARCHITECTS  
145 COMMERCE DRIVE, SUITE A  
GRAYSLAKE, ILLINOIS 60030  
PHONE (847) 223-4804  
FAX (847) 223-4864  
EMAIL INFO@EEA-LTD.COM  
PROFESSIONAL DESIGN FIRM  
LICENSE NO. 184-003220  
EXPIRES: 04/30/2025

**ST. CHARLES  
VETERINARY HOSPITAL**  
NORTH AVENUE  
ST. CHARLES, ILLINOIS

Reserved for Seal:

No.	Date	Description
1	05/10/2023	STAFF REVIEW COMMENTS

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CONSENT OF ERIKSSON ENGINEERING ASSOCIATES, LTD.

Design By: SSG Approved By: XXX Date: 04/28/2023

Sheet Title:  
**LANDSCAPE  
DETAILS**

Sheet No:  
**L200**

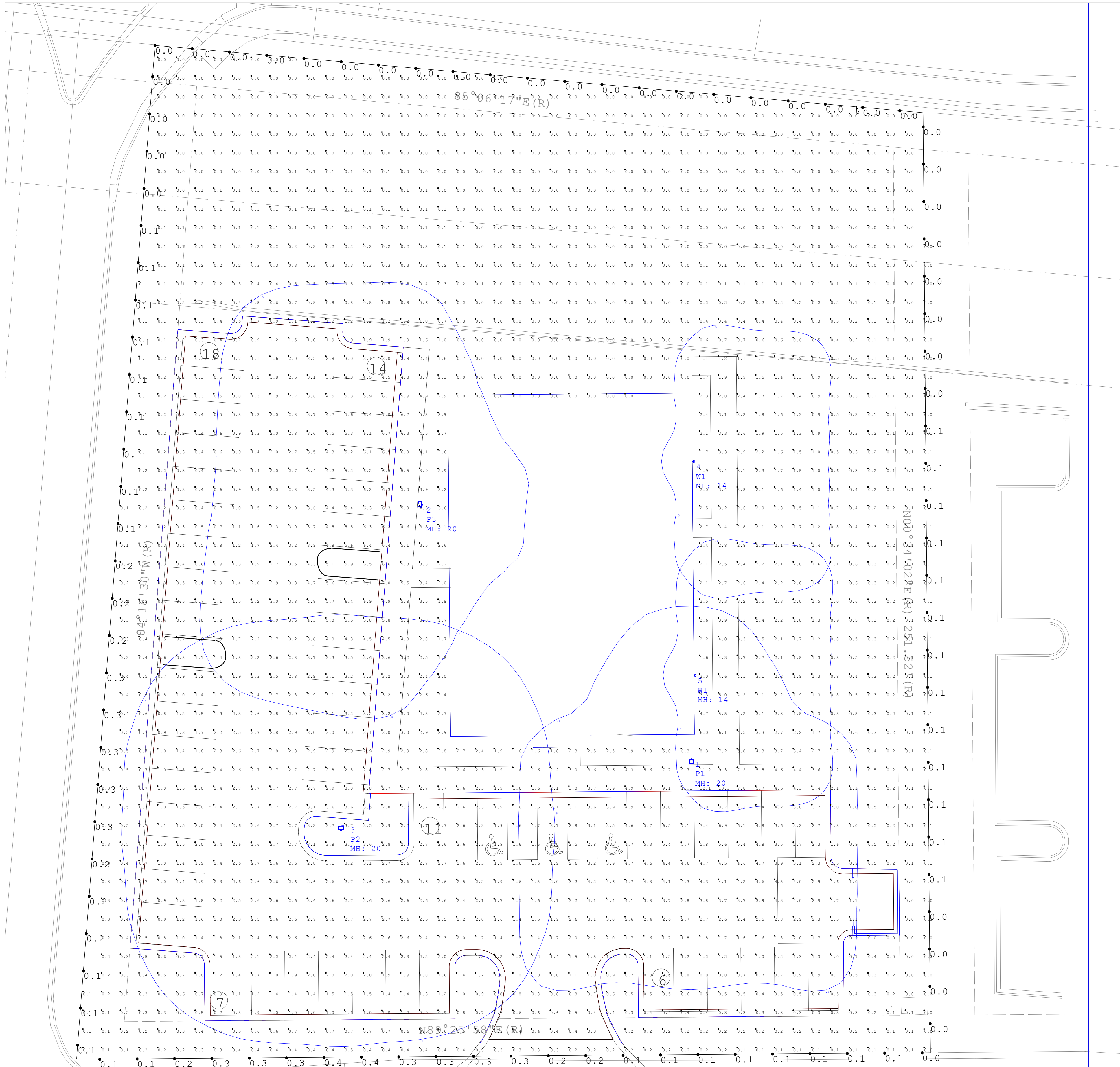
Luminaire Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.								
Symbol	Qty	Tag	Arrangement	Description	Luminaire Lumens	Luminaire Watts	LLF	Manufacturer
	2	W1	Single	RWL1-48L-45-4K7-4W-U	5704	46.5	0.900	WHITEWAY LIGHTING
	1	P1	Single	RAR2-480L-185-4K-4F	24242	185	0.900	BEACON
	1	P3	Single	RAR2-480L-185-4K7-4W-U	25636	174.5	0.900	EXO
	1	P2	Single	RAR2-480L-185-4K7-5QW-U	26266	174.5	0.900	WHITEWAY LIGHTING

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Max/Min	Avg/Min	Description
FULL AREA CALC	Illuminance	Fc	1.41	12.1	0.0	N.A.	N.A.	
PROPERTY LINE CALC	Illuminance	Fc	0.10	0.4	0.0	N.A.	N.A.	
PARKING AREA	Illuminance	Fc	2.54	9.8	0.3	32.67	8.47	

Luminaire Location Summary				
LumNo	Label	Mtg Ht	Orient	Tilt
1	RAR2-480L-185-4K-4F	20	269.875	0
2	RAR2-480L-185-4K7-4W	20	175.084	0
3	RAR2-480L-185-4K7-5QW	20	91	0
4	RWL1-48L-45-4K7-4W-U	14	0	0
5	RWL1-48L-45-4K7-4W-U	14	0	0

PARKING LOT DESIGN GUIDE	MAINTAINED HORIZONTAL		MAINTAINED VERTICAL		MAXIMUM	
	AVERAGE (FC)	RANGE (FC)	AVERAGE (FC)	RANGE (FC)	AVG:MIN	MAX:MIN
PARKING (UNCOVERED) ZONE 3 (URBAN)	1.5	0.75 - 3	0.8	0.4 - 1.6	4:1	15:1
PARKING (UNCOVERED) ZONE 2 (SUBURBAN)	1	0.5 - 2	0.6	0.3 - 1.2	4:1	15:1
SAFETY (BUILDING EXTERIOR)	1	0.5 - 2	-	-	FOR SECURITY ISSUES, RAISE AVG. TO 3	

SIMPLIFIED RECOMMENDATIONS BASED ON IES 'THE LIGHTING HANDBOOK' 10TH EDITION AND IES RP-20-14. INDIVIDUAL APPLICATIONS WILL DETERMINE SPECIFIC RECOMMENDATIONS. PLEASE REFER TO THE MOST RECENT HANDBOOK FOR A MORE DETAILED EVALUATION AND ADDITIONAL APPLICATIONS. THESE RECOMMENDATIONS DO NOT SUPERCEDE ANY APPLICABLE CODES.



**NOTES**

PG-ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. CODE COMPLIANCE REVIEW BY OTHERS.

ANY VARIANCE FROM REFLECTANCE VALUES, OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL LIGHT LEVELS OBTAINED.

THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD-PARTY SOFTWARE AND THE IES STANDARDS USED.

FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES.

FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY. TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.

CALCULATION GRID VALUES 10'-0" O.C.



DRAWN BY:  
Josh Burge  
josh.burge@pg-enlighten.com  
847.228.1199

PG CONTACT:  
Marc Pliupf  
marc.pliupf@pg-enlighten.com  
847.228.1199

1	2	3
---	---	---

REVISIONS

PROJECT NAME:  
**RIVERWEST ANIMAL CLINIC**

CLIENT NAME:  
**KEYSTONE PLANNING + DESIGN**

Date: 3/30/2023

Page 2 of 3

# RATIO Series

AREA/SITE LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

## FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available



10-DAY QUICK SHIP PROGRAM



## CONTROL TECHNOLOGY



## SPECIFICATIONS

### CONSTRUCTION

- Rectilinear form mimics the traditional shoebox form factor keeping a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

### OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 80, 160, 320 or 480 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

### INSTALLATION

- Standard square arm mount, compatible with B3 drill pattern
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
- Knuckle arm fitter option available for 2-3/8" OD tenon. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options)

### ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised

### CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0- 10 V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor

### CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations on this page are DLC Qualified. Refer to [www.designlights.org](http://www.designlights.org) for the most up-to-date list.
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- Fixture is IP66 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020

### WARRANTY

- 5 year limited warranty

KEY DATA	
Lumen Range	3,000–48,000
Wattage Range	25–340
Efficacy Range (LPW)	118–155
Fixture Projected Life (Hours)	L70>60K
Weights lbs. (kg)	13.5–24 (6.1–10.9)

# RATIO Wall

RWL1/RWL2 LED WALLPACK

## FEATURES

- Low profile LED wall luminaire with a variety of IES distributions for lighting applications such as retail, commercial and industrial building mount
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™, Wiscap and 7-Pin with networked controls
- Battery Backup options available for emergency code compliance
- Quick-mount adapter allows easy installation/maintenance
- 347V and 480V versions for industrial applications and Canada



## CONTROL TECHNOLOGY



## SPECIFICATIONS

### CONSTRUCTION

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray rating

### OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 48 or 160 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI/80 CRI) CCT
- Zero uplight distributions
- LED optics provide IES type II, III and IV distributions. Type II only available in RWL2 configurations

### INSTALLATION

- Quick-mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box)
- Designed for direct j-box mount.
- Integral back box contains 1/2" conduit hubs
- Integral back box standard with Dual Driver, Dual Power Feed, NX, Wiscap and battery versions (battery versions for RWL1 only)

### ELECTRICAL

- 120V-277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V and 480V dimmable driver option for all wattages above 35W
- Ambient operating temperature -40°C to 40°C
- Driver RoHS and IP66

### ELECTRICAL (CONTINUED)

- 10kV Surge Protector optional
- Drivers have greater than .90 power factor and less than 20% Total Harmonic Distortion
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options can not be included in one same fixture.
- Dimming drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than 6" standard.

### CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- Button photocontrol is suitable for 120-277V operation
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor
- wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor
- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress
- Battery Backup suitable for operating temperatures -25°C to 40°C. RWL1 battery is 12.5W RWL2 battery is 18W

### CONTROLS (CONTINUED)

- Dual Driver and Dual Power Feed options creates product configuration with 2 internal drivers for code compliance
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application.

### CERTIFICATIONS

- Listed to UL1598 and CSAC22.2#250.0-24 for wet locations
- IP65 rated housing
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See Buy American Solutions
- Not all product variations listed in this document are DLC™ ((DesignLights Consortium Qualified). Refer to designlights.org for most up-to-date list.

### WARRANTY

- 5 year limited warranty

KEY DATA	
Lumen Range	1,300–18,800
Wattage Range	10–155
Efficacy Range (LPW)	119–148
Weights lbs. (kg)	6.5/16.5 (2.9/7.5)