

WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVEMENT AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DENSE RUBBER AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL TO BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE FOR ANY DAMAGE TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL MAINTAIN THE EXISTING LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE AGENCIES TO WHICH THE CONTRACTOR HAS BEEN HELD RESPONSIBLE FOR THE FIELD. THE CONTRACTOR IS TO BE HELD RESPONSIBLE AS BEING EXACTLY COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY TO BE HELD RESPONSIBLE AND OBTAIN TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF REMOVAL OF CONSTRUCTION IN THE WELL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S DRAINAGE FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER TO MINIMIZE THE IMPACT ON ADJACENT PROPERTY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ACCOMMODATING ALL NECESSARY CHANGES TO BE MADE TO THE EXISTING DRAINAGE SYSTEM AS NECESSARY.
- QUANTITIES SHOWN ON THIS SHEET SHALL BE AS A GUESS ONLY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ACCOMMODATING ALL NECESSARY CHANGES TO BE MADE TO THE EXISTING DRAINAGE SYSTEM AS NECESSARY.
- REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN SHALL NOT EXCEED 24 HOURS.
- EROSION CONTROL MUST BE MAINTAINED PRIOR TO ANY WORK ON THE INCLUDING DEMOLITION.
- THE EVENT OF THE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
- CONTRACTOR MUST OBTAIN APPROVAL FROM THE ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIALS TO BE USED IN CONSTRUCTION BEFORE THE DEMOLITION WORK IS BEGUN. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ACCOMMODATING ALL NECESSARY CHANGES TO BE MADE TO THE EXISTING DRAINAGE SYSTEM AS NECESSARY.
- EXISTING UTILITIES WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED SHALL BE REMOVED. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION, LOCATION AND ELEVATION OF UTILITIES SERVING EXISTING STRUCTURES AND EXISTING UTILITIES TO BE MAINTAINED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, LOCATION AND ELEVATION OF UTILITIES SERVING EXISTING STRUCTURES AND EXISTING UTILITIES TO BE MAINTAINED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, LOCATION AND ELEVATION OF UTILITIES SERVING EXISTING STRUCTURES AND EXISTING UTILITIES TO BE MAINTAINED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, LOCATION AND ELEVATION OF UTILITIES SERVING EXISTING STRUCTURES AND EXISTING UTILITIES TO BE MAINTAINED.
- UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLAS AND AVAILABLE INFORMATION PROVIDED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL ALL UTILITIES TO BE REMOVED TO VERIFY THE LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, LOCATION AND ELEVATION OF UTILITIES SERVING EXISTING STRUCTURES AND EXISTING UTILITIES TO BE MAINTAINED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, LOCATION AND ELEVATION OF UTILITIES SERVING EXISTING STRUCTURES AND EXISTING UTILITIES TO BE MAINTAINED.
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- USE BEYOND OPERATIONAL TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND SOIL SPREADING IN THE AIR TO THE ADJACENT PROPERTIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, LOCATION AND ELEVATION OF UTILITIES SERVING EXISTING STRUCTURES AND EXISTING UTILITIES TO BE MAINTAINED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, LOCATION AND ELEVATION OF UTILITIES SERVING EXISTING STRUCTURES AND EXISTING UTILITIES TO BE MAINTAINED.
- COMPLETELY FILL BELOW-GRADE AREAS AND VORES RESULTING FROM THE DEMOLITION OF STRUCTURES TO THE FINAL AND AS SHOWN SHOWN ON THE DEMOLITION LEGEND. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, LOCATION AND ELEVATION OF UTILITIES SERVING EXISTING STRUCTURES AND EXISTING UTILITIES TO BE MAINTAINED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, LOCATION AND ELEVATION OF UTILITIES SERVING EXISTING STRUCTURES AND EXISTING UTILITIES TO BE MAINTAINED.

DEMOLITION LEGEND

- ITEM TO REMAIN PROTECT DURING CONSTRUCTION
- CURB REMOVAL
- UTILITY REMOVAL
- ITEM TO BE REMOVED
- FULL-DEPTH ASPHALT PAVEMENT REMOVAL
- CONCRETE REMOVAL
- BRICK REMOVAL
- GRAVEL REMOVAL
- REMOVE LINE
- FENCE REMOVAL

GW ST. CHARLES EXISTING CONDITIONS AND DEMOLITION PLAN

DATE: 07/25/22 LAD

SCALE: AS SHOWN

DESIGNED BY: LAD

DRAWN BY: LAD

CHECKED BY: LAD

Kinley Horn

REGISTERED PROFESSIONAL ENGINEER

NO. 0000000000

STATE OF MISSOURI

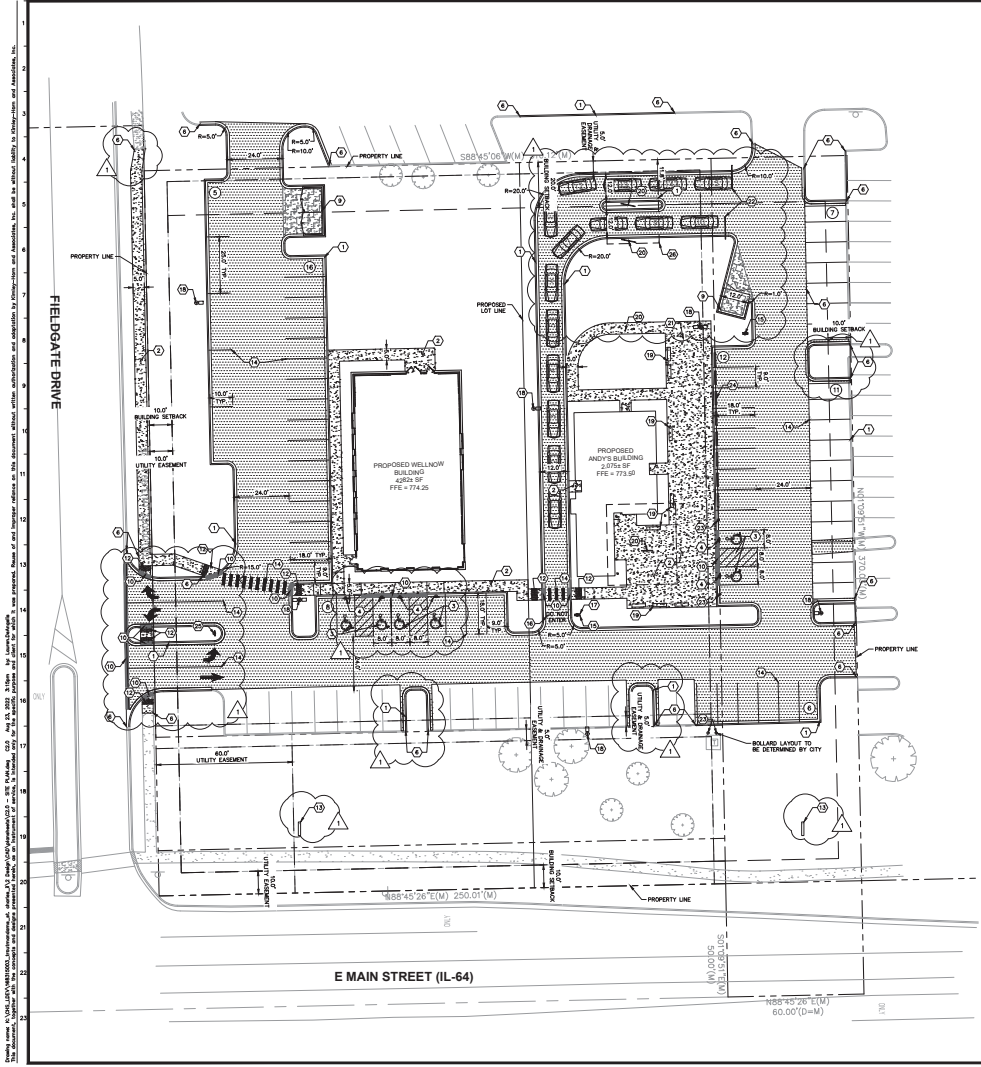
1000 E. MAIN ST.

ST. CHARLES, MISSOURI

ORIGINAL ISSUE: 05/04/2022

PROJECT NO. 68315001

SHEET NUMBER C1.0



CITY OF ST CHARLES NOTES

1. DURING CONSTRUCTION, ALL ROADS SHALL BE HAND SURFACED (TEMPORARY OR PERMANENT) AND IN PLACE, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. PERMANENT TO BE DONE PRIOR TO THE FINAL GRADE. CURBS, A, B, C, D, E AND APPROX. 10' TO 15' MIN. DIST. SHALL BE AN ACCEPTABLE MATERIAL. ACCESS FOR FIRE DEPARTMENT VEHICLES SHALL BE MAINTAINED AT ALL TIMES.
2. PARKING LOT STRIPING SHALL NOT BE APPLIED WITHIN 24 HOURS OF ASPHALT INSTALLATION.
3. PARKING LOT STRIPING SHALL BE TWO COATS OF PAINT. SECOND COAT OF PAINT SHALL BE APPLIED A MINIMUM OF 24 HOURS AFTER THE FIRST COAT.

STRIPING REQUIREMENTS

1. PARKING LOT STRIPING SHALL NOT BE APPLIED WITHIN 24 HOURS OF ASPHALT INSTALLATION.
2. PARKING LOT STRIPING SHALL BE TWO COATS OF PAINT. SECOND COAT OF PAINT SHALL BE APPLIED A MINIMUM OF 24 HOURS AFTER THE FIRST COAT.



KEY NOTES

1. 4" WIDE CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
2. CONCRETE SIDEWALK, TYP. (SEE DETAILS)
3. ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
4. ACCESSIBLE PARKING SIGN, TYP. (AUTO #7-A, SEE DETAILS)
5. 4" WIDE PAINTED SOLID LINE, TYP.
6. CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
7. 34" WIDE STOP BAR, TYP. (SEE DETAILS)
8. STOP SIGN, TYP. (AUTO #1-1, SEE DETAILS)
9. HIGH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
10. RECESSED CURB AND GUTTER
11. ACCESSIBLE RAMP (SEE DETAILS)
12. DETECTABLE MARKINGS
13. PAVEMENT STRIPING
14. MONUMENT OR Pylon SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
15. DRIVE THRU DIRECTIONAL SIGN
16. "DO NOT ENTER" PAVEMENT MARKING
17. "THANK YOU" SIGN
18. NIGHT PILE (SEE PHOTOGRAPHIC PLAN FOR DETAILS)
19. MESH
20. MENU BOARD
21. BIKE STORAGE
22. DRIVE THRU CLEARANCE BAR
23. CONCRETE FILLED BOLLARD
24. WHEEL STOP
25. KEEP RIGHT PA-7 SIGN
26. DRIVE-THRU CANOPY (SEE ARCHITECTURAL PLANS FOR DETAILS)

PAVING AND CURB LEGEND



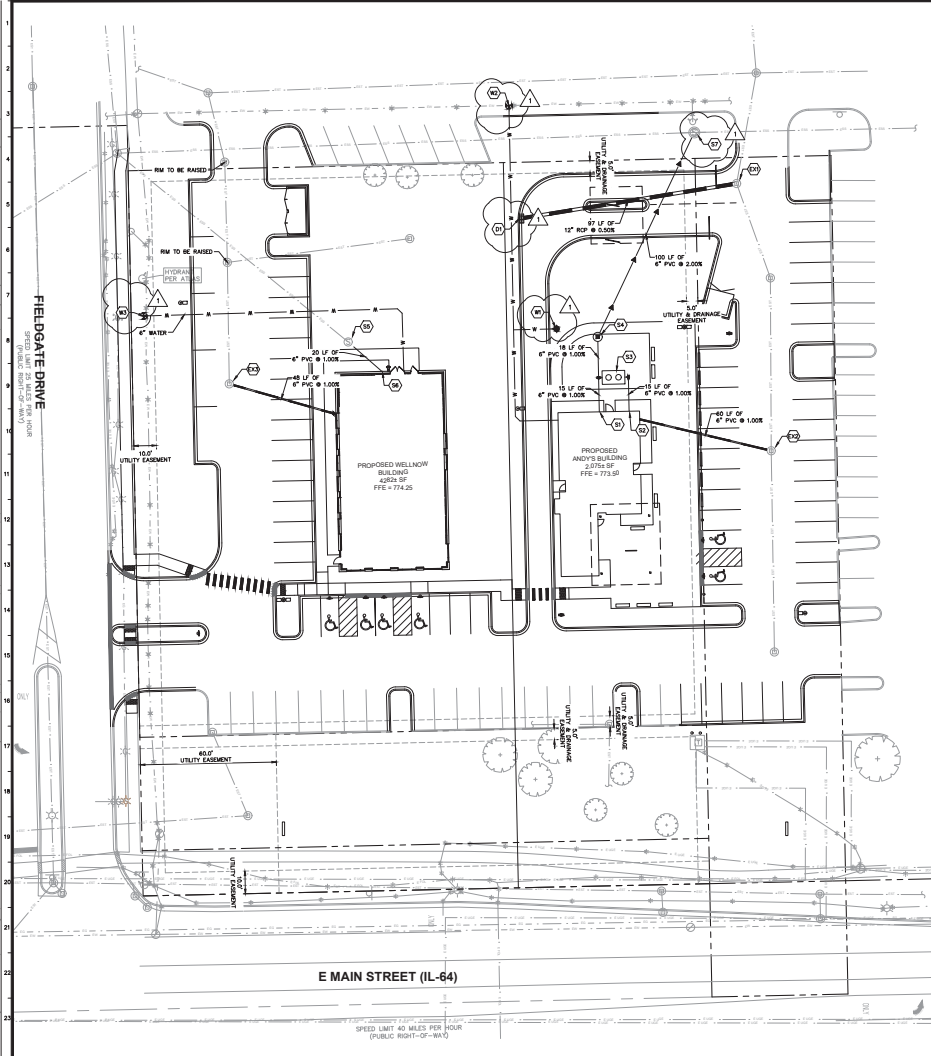
SITE DATA TABLE

PROJECT DESCRIPTION:	NEW CONSTRUCTION OF MEDICAL BUILDING AND DRIVE-THRU RESTAURANT
LOCATION ADDRESS:	SECTION 25, TOWNSHIP 40N, RANGE 9E, ST. CHARLES, IL 60779
PLANNING DISTRICT:	COMMUNITY BUSINESS (BC) PUD
EXISTING LAND USE:	COMMERCIAL - OFFICE
PROPOSED LAND USE:	COMMERCIAL - RETAIL
SURROUNDING LAND USE:	NORTH: BC PUD & BC SOUTH: BC PUD & BC EAST: BC PUD WEST: BC PUD
FLOOD ZONE:	N/A
SITE AREA:	2.95 AC (102,228 SF)
NET DEVELOPED AREA:	3.95 AC
MAX. BUILDING HEIGHT:	25 FT
FLOOR AREA RATIO:	0.066
LOT COVERAGE:	N/A
BUILDING AREA:	6,782 SF
PERVIOUS AREA:	1,077 SF
BUILDING SETBACKS:	FRONT: 10 FT, INTERIOR SIDE: NONE, EXTERIOR SIDE: 10 FT, REAR: 20 FT
LANDSCAPE BUFFERS (PER PUD):	N/A
PARKING REQUIREMENTS:	FRONT: 10 FT, INTERIOR SIDE: NONE, EXTERIOR SIDE: 10 FT, REAR: 20 FT
STANDARD PARKING SPACES PROVIDED:	82 SPACES
ACCESSIBLE PARKING SPACES REQUIRED:	4 SPACES
ACCESSIBLE PARKING SPACES PROVIDED:	6 SPACES
TOTAL PARKING SPACES PROVIDED:	86 SPACES

Call Before You Dig
800-892-0123

GRAPHIC SCALE IN FEET
0 10 20 40

	SITE PLAN
AS NOTED DESIGNED BY: LAD DRAWN BY: LAD CHECKED BY: LAD	ORIGINAL ISSUE: 05/04/2022 KRM PROJECT NO. 68315001 SHEET NUMBER C2.0



UTILITY NOTES

1. ALL WATER LINES 2" SHALL BE DUCTILE IRON PIPE, CLASS 52.

2. ALL SANITARY SEWER SERVICE SHALL BE 8" PIPE, WITH A 24" COVER DEPTH TO EXPOSED MANHOLE RINGS. MINIMUM COVER SHALL BE 48" OVER SANITARY WATER MAIN COVERS TO UTILITIES. PROVIDE 48" MINIMUM COVER.

3. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.

4. ALL ELECTRIC AND TELEPHONE EXTENSION INCLUDING SERVICE LINES SHALL BE CONTROLLED BY THE APPROPRIATE UTILITY COMPANY. ELECTRICAL UTILITY DISRUPTIONS SHALL BE COORDINATED WITH THE RELEVANT UTILITY COMPANIES.

5. CONTRACTOR SHALL NOT EXIST AND ANY PUBLIC UTILITY SYSTEM SHALL BE CONTROLLED BY THE APPROPRIATE UTILITY COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE APPROPRIATE UTILITY COMPANIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE APPROPRIATE UTILITY COMPANIES.

6. CONTRACTOR TO CALL "CALL BEFORE YOU DIG" (1-800-882-0123) TO COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING MATERIALS OR COMMENCEMENT CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.

7. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITY, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY COORDINATE FROM THE CORNER AND THE ADJACENT UTILITY SHALL MAKE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION, THE MUNICIPALITY SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO THE DESIGN PLANS.

8. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF DESIGN DIRECTED BY ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TAPPING, BACKFILLING AND OTHER MEANS OF PROTECTION, THIS IS TO INCLUDE, BUT NOT LIMITED TO, THE PROVISIONS OF THE ILLINOIS EXCAVATION AND TAPPING ACT, 200/1. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY IOWA.

9. CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANTS' TRAFFIC DURING WORKING HOURS OF THE DAY.

10. ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.

11. SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.

12. NOTE: THESE NOTES FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.

13. SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.

14. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE CITY OF ST. CHARLES FOR ANY SANITARY AND STORM SEWER PRIVATELY OWNED AND MAINTAINED.

15. ALL 6" PVC SHALL BE SET AT MINIMUM.

UTILITY LEGEND

GRAPHIC SCALE IN FEET

UTILITY PLAN

CITY OF ST CHARLES NOTES

1. A CURRENT COLOR VIDEO RECORD AND A TRUE WRITTEN TRANSCRIPTION OF THE INTERNAL INSPECTION OF THE NEWLY CONSTRUCTED SEWER SYSTEM SHALL BE SUBMITTED PRIOR TO BEGINNING OF SITE IMPROVEMENT CONSTRUCTION WORKS BY THE CITY OF ST. CHARLES. ALL PUBLIC MAINS SHALL BE RECORDED. THE CONTRACTOR MUST ROTATE THE END OF THE CAMERA TO LOOK AT ALL SERVICES THE SERVICE CONNECTION MUST BE NOTED IN THE TELEVISION REPORT WITH THE PROPOSED MAIN AND THE SERVICE TO AN EXISTING SANITARY MAIN FROM ADJUTING THE PROPERTY. THE CONTRACTOR MUST ALSO PROVIDE A TRUE WRITTEN TRANSCRIPTION OF THE TELEVISION OF EXISTING CONTIGUOUS SEWER WITH THE CITY OF ST. CHARLES. ALL LINES SHALL BE FLOWED AND CLEANED PRIOR TO WEEDING.

2. SANITARY FRAME AND LD SHALL BE: NENAH R-1713 OR R-1948C TYPE B WITH THE WORDS CITY OF ST. CHARLES - SANITARY CAST IRON SURFACE.

3. STORM FRAME & GRATE SHALL BE:

CURB INLET/S: HIGH BACK: NENAH R-3281-A OR R-3278-1
 IMPROVED: NENAH R-308-12
 C.S. BEHIND THE CURB TYPE: NENAH R-3305
 C.S. MAN. TYPE D: GRATE: NENAH R 1713 (REFER TO LD DETAIL)
 FRAMES: NENAH R-1715
 C.S. BEHIND TYPE: NENAH R-4340-B

4. WATER STRUCTURE FRAME & GRATES SHALL HAVE A MEDIAN FLYING COMPANY R-1713 FRAME AND TYPE B OR CONCRETE FOR HOLE. USE SHALL BE FURNISHED WITH CITY OF ST. CHARLES - WATER CAST INTO THE TOP SURFACE EXPOSED TO CITY STANDARD DETAIL.

5. WATER SERVICES SHALL ONLY BE INTERRUPTED WHEN THE TRANSFER OF SERVICES TO THE NEW MAIN TAKES PLACE. SERVICES SHALL BE TRANSFERRED SUBSEQUENT TO TESTING AND CLEANING OF THE PROPOSED MAIN. THE CONTRACTOR SHALL CONTACT THE ST. CHARLES WATER DIVISION AT (414-377) 4400 PRIOR TO TRANSFER OF SERVICES. RESIDENTS AND BUSINESS MUST BE INFORMED A MINIMUM OF 24 HOURS IN ADVANCE OF ANY INTERRUPTION BY THE CITY OF ST. CHARLES WATER DIVISION STAFF.

6. SERVICE TAPS TO WATER MAINS ARE NOT PERMITTED UNTIL AFTER BACTERIOLOGICAL SAMPLING AND ANALYSIS HAS BEEN COMPLETED TO THE SATISFACTION OF THE APPROPRIATE ENGINEERING DIVISION. NO WATER SERVICE CONNECTION SHALL BE MADE BY ANY PERSON OR FIRM OTHER THAN A STATE OF ILLINOIS LICENSED CONTRACTOR, WITH A STATE OF ILLINOIS LICENSED CONTRACTOR ON THE JOB, BONDING WITH THE CITY.

7. ALL UTILITY AND SERVICE TRENCHES WITHIN 10' FEET OF PAVED SURFACES, OR AT A DISTANCE SPECIFIED BY THE ENGINEER, SHALL BE BACKFILLED WITH CA-7 FURBISH BLENDED BEDDING, 1.5" (CLEAR) READY MIXED MATERIAL SHALL BE USED IN ALL OTHER UNPAVED LOCATIONS. ALL DEGREE ANGLES SHALL BE PROPERLY COMPACTED PER SPECIFICATIONS DIRECTED BY THE APPROPRIATE ENGINEERING DIVISION BACKFILL UNDER EXISTING PAVEMENTS. WHERE AN OPEN CUT OF THE PAVEMENT HAS BEEN APPROVED, SHALL BE FLOWED IF ALL THAT MEETS THE MOST STRINGENT OF CONTROLLED LOW STRENGTH MATERIAL (CLSM) WRITING #1. NO 4" ISH SHALL BE PERMITTED IN THIS SIX FEET TO CITY FIREMAN DETAIL.

STORM STRUCTURE TABLE

STRUCTURE NAME	DETAILS
D1	STORM MANHOLE INV. 774.50 (S. FT.) INV. OUT: 767.13 (W. FT.)
E1	CONNECT TO EXISTING STORM MANHOLE R/W TO BE RAISED. INV IN: 767.45 (S. FT.) INV. OUT: 767.45 (S. FT.) INV. OUT: 767.45 (S. FT.)
E2	CONNECT TO EXISTING STORM MANHOLE R/W TO BE RAISED. INV IN: 768.84 (S. FT.) INV. OUT: 768.84 (S. FT.)
E3	CONNECT TO EXISTING STORM MANHOLE INV. 772.20 INV. OUT: 768.84 (S. FT.)

SANITARY STRUCTURE TABLE

STRUCTURE NAME	DETAILS
S3	GRATE: TRAP INV. 774.24 (S. FT.) INV. OUT: 767.83 (W. FT.)
S4	4" DIA. SANITARY MANHOLE TO BE RAISED. INV IN: 767.28 (S. FT.) INV. OUT: 767.28 (S. FT.) INV. OUT: 767.28 (S. FT.)
S5	CONNECT TO EXISTING SANITARY MANHOLE R/W TO BE RAISED. INV IN: 768.18 (S. FT.) INV. OUT: 768.18 (S. FT.)

MISCELLANEOUS SANITARY STRUCTURE TABLE

STRUCTURE NAME	DETAILS
S1	BUILDING CONNECTION INV. OUT: 767.84 (S. FT.)
S2	BUILDING CONNECTION INV. OUT: 767.74 (S. FT.)
S6	BUILDING CONNECTION INV. OUT: 766.38 (W. FT.)

WATER STRUCTURE TABLE

STRUCTURE NAME	DETAILS
W1	PIPE: FIRE HYDRANT PG ELEV: 772.49
W2	CONNECT TO EXIST WATER W/ 2"1/2" IN. PG ELEV: 620
W3	CONNECT TO EXIST WATER W/ 2"1/2" IN. PG ELEV: 772.81

CITY OF ST CHARLES NOTES

- A CURRENT COLOR VIDEO RECORD AND A TRUE WRITTEN TRANSCRIPTION OF THE INTERNAL INSPECTION OF THE NEWLY CONSTRUCTED SEWER SYSTEM SHALL BE SUBMITTED PRIOR TO BEGINNING OF SITE IMPROVEMENT CONSTRUCTION WORKS BY THE CITY OF ST. CHARLES. ALL PUBLIC MAINS SHALL BE RECORDED. THE CONTRACTOR MUST ROTATE THE END OF THE CAMERA TO LOOK AT ALL SERVICES THE SERVICE CONNECTION MUST BE NOTED IN THE TELEVISION REPORT WITH THE PROPOSED MAIN AND THE SERVICE TO AN EXISTING SANITARY MAIN FROM ADJUTING THE PROPERTY. THE CONTRACTOR MUST ALSO PROVIDE A TRUE WRITTEN TRANSCRIPTION OF THE TELEVISION OF EXISTING CONTIGUOUS SEWER WITH THE CITY OF ST. CHARLES. ALL LINES SHALL BE FLOWED AND CLEANED PRIOR TO WEEDING.
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KIMBLE
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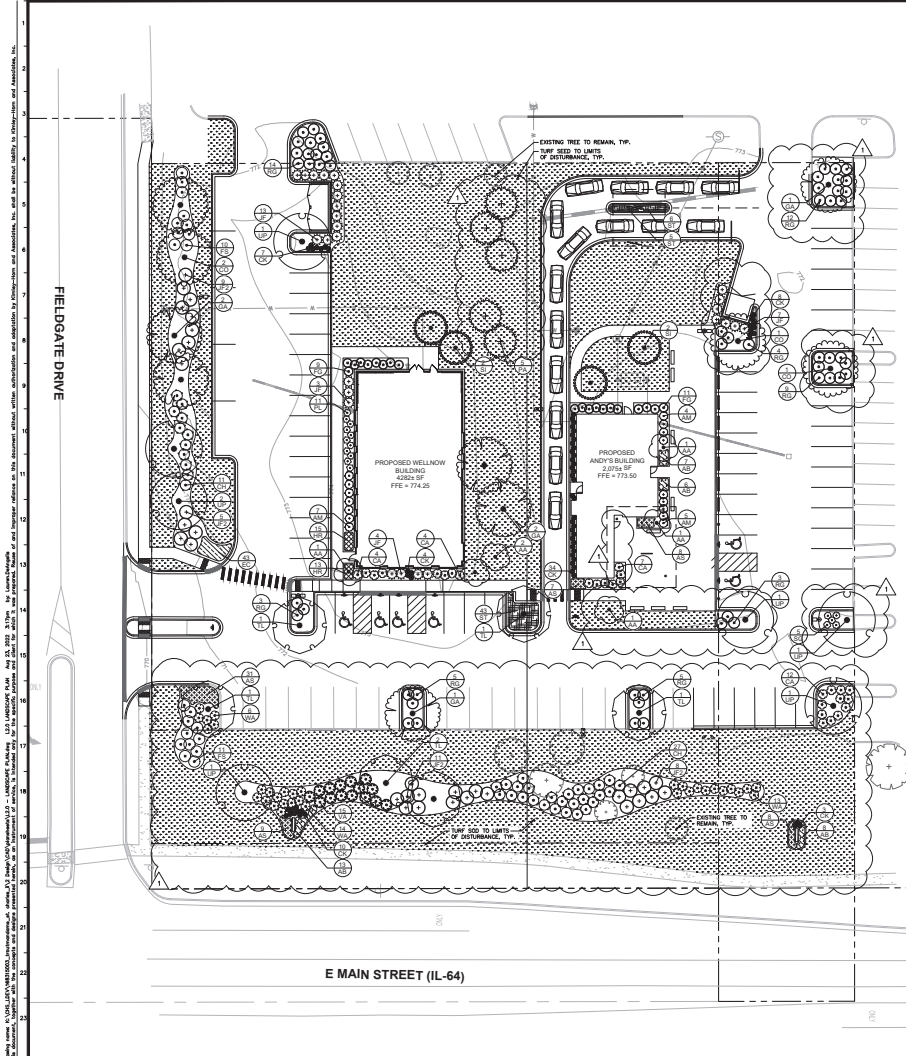
UTILITY PLAN

CITY OF ST. CHARLES
LLC

SHEET NUMBER
C5.0

ORIGINAL ISSUE:
05/04/2022

REVISION:
07/25/22 LAD



PLANT SCHEDULE

NO.	SYMBOL	PLANT / COMMENTS	QTY	DATE
001	(Symbol)	PLANT SCHEDULE		
002	(Symbol)	PLANT SCHEDULE		
003	(Symbol)	PLANT SCHEDULE		
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100	(Symbol)	PLANT SCHEDULE		

ST. CHARLES, IL - LANDSCAPE CODE REQUIREMENTS

ZONING ORDINANCE	REQUIREMENT	PROVIDED
17.26.00 GENERAL LANDSCAPING REQUIREMENT	TOTAL LOT AREA = 78,204 SQ. FT. THE MINIMUM PERCENTAGE OF A LOT OR PARCEL THAT IS LANDSCAPED SHALL BE 15% FOR A LOT OR PARCEL WITH OFF-SITE STORMWATER STORAGE. 16,731 SQ. FT. OF LANDSCAPE AREA REQUIRED	37,187.21 SQ. FT. OF LANDSCAPE AREA PROVIDED THROUGHOUT THE SITE
17.26.00 BUILDING FOUNDATION LANDSCAPING	TOTAL BUILDING FOUNDATION PERIMETER = 475' 40" LF 3.5" x 7' TREES = 742 + 7 TREES REQUIRED 3.5" x 20 SHRUBS/PERENNIALS = 702 + 70 SHRUBS/PERENNIALS REQUIRED FOR EVERY 50 LINEAL FEET OF BUILDING FOUNDATION, EITHER 2 SHADE, ORNAMENTAL OR EVERGREEN TREES, OR A COMBINATION OF 20 SHRUBS AND PERENNIALS SHALL BE PROVIDED.	7 TREES AND 70 SHRUBS/PERENNIALS PROVIDED ALONG THE BFC BUILDING FOUNDATION 3 TREES AND 30 SHRUBS/PERENNIALS PROVIDED ALONG THE ANDY'S BUILDING FOUNDATION
17.26.00 PUBLIC STREET FRONTAGE LANDSCAPING	ALONG FIELDGATE DRIVE TOTAL STREET FRONTAGE = 320' LF 6 STREET TREES REQUIRED ALONG E MAIN STREET TOTAL STREET FRONTAGE = 190' LF 6 STREET TREES REQUIRED ALONG FIELDGATE DRIVE (EXCLUDING DRIVEWAYS) TOTAL STREET FRONTAGE = 206' 29" LF 6 STREET TREES REQUIRED ALONG E MAIN STREET TOTAL STREET FRONTAGE = 230' LF 6 STREET TREES REQUIRED	6 TREES PROVIDED ALONG FIELDGATE DRIVE 6 EXISTING TREES TO REMAIN ALONG E MAIN STREET 202.25 LF OF LANDSCAPING PROVIDED ALONG FIELDGATE DRIVE 231 LF OF LANDSCAPING PROVIDED ALONG E MAIN STREET
17.26.100 PARKING LOT LANDSCAPING	PARKING LOTS WITH MORE THAN 5 SPACES SHALL BE SCREENED TO A MINIMUM HEIGHT OF 8' OR NO LESS THAN 50% OF A PUBLIC STREET FRONTAGE. THERE SHALL BE A MINIMUM OF ONE PLANTED ISLAND FOR EVERY 10 PARKING SPACES. THIS ISLAND MUST CONTAIN AT LEAST ONE SHADE TREE. 2 SHADE TREES ARE REQUIRED FOR ISLANDS THAT TERMINATE A DOUBLE ROW OF PARKING.	PARKING LOT SCREENING PROVIDED 12 PARKING LOT TREES PROVIDED



GW ST. CHARLES LLC
2000 E MAIN ST.
ST. CHARLES, ILLINOIS

LANDSCAPE PLAN

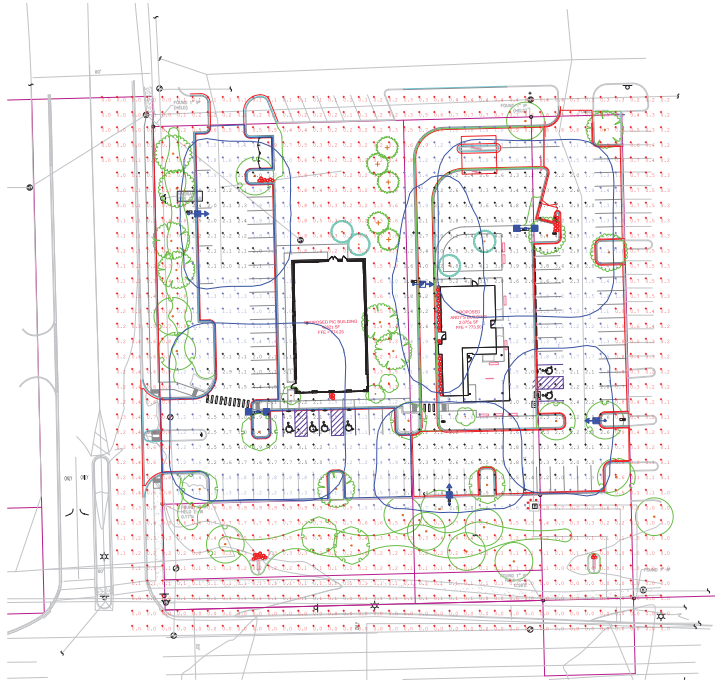
Krimley Horn
LANDSCAPE ARCHITECTS, INC.
1000 N. WASHINGTON ST.
ST. CHARLES, ILLINOIS 62206
TEL: 636.225.1100
WWW.KRIMLEYHORN.COM

DATE: 07/25/22 LAD
REVISIONS:

AS NOTED
DESIGNED BY LAD
DRAWN BY: LAD
CHECKED BY: LAD
SCALE:

ORIGINAL ISSUE: 05/04/2022
WORK PROJECT NO. 688315001
SHEET NUMBER L2.0

REVISIONS		
REV #	DATE	BY:
1	7/15/22	J.P.



Label	Units	Avg	Max	Min	Avg/Min	Max/Min	#FtSpLx	#FtSpFt
ANDY'S DRIVE THRU	Fc	2.12	5.8	0.8	2.65	7.25	10	15
ANDY'S PARKING	Fc	1.91	5.1	0.5	3.82	10.20		
PIC PARKING	Fc	2.00	5.1	0.5	4.00	10.20		

Symbol	Qty	Label	Lum. Lumens	LLF	Description	Item Watts
	2	A	22900	0.980	WLS-WL-221-4007-50-SLM 30' MOUNTING HEIGHT	132
	3	B	17000	0.980	WLS-WL-221-4007-30-SLM 30' MOUNTING HEIGHT	132
	1	C	22100	0.980	WLS-WL-221-4007-30-SLM 30' MOUNTING HEIGHT	132

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

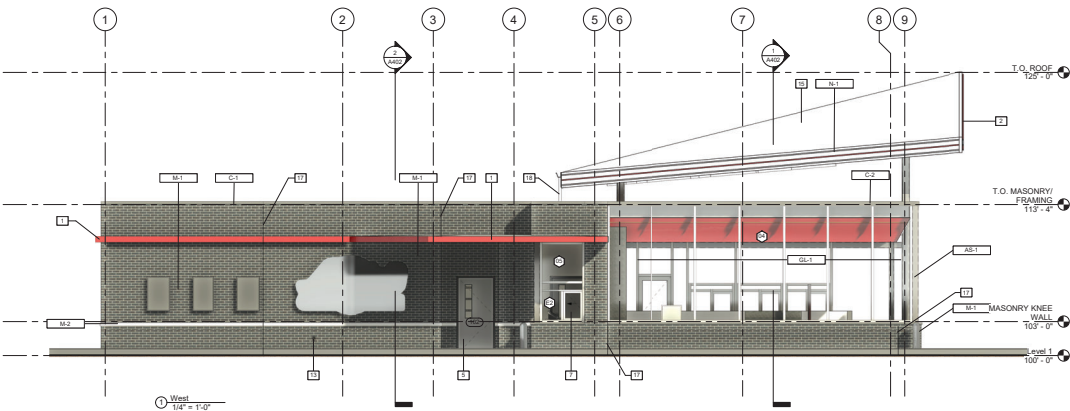
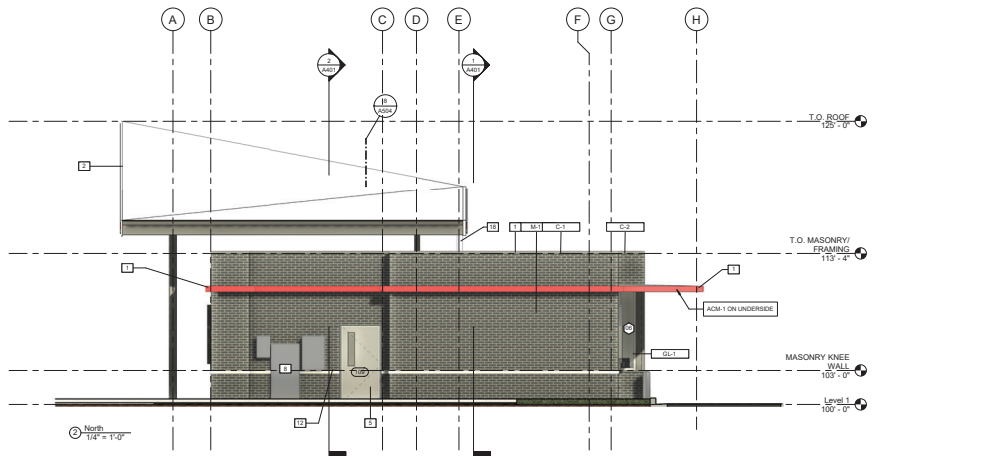
THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

6550 CORPORATION PKWY
FORT WORTH, TX 76116
WWW.WSLIGHTING.COM

WLS LIGHTING
a WLS company

PROPOSED REDEVELOPMENT
ST CHARLES, IL

WLS-17012 DATE -4/22/22 SCALE: 1"=30' 800-633-8711 PM: HOLLY BY: J.P. SHEET 1 OF 1



- ELEVATION KEYNOTES**
- 1 DRIVE THRU CANOPY & SIGNAGE LIGHTING BAND. SIGNAGE LIGHTING BAND PROVIDED BY FRANKLE SIGN GROUP
 - 2 PATIO CANOPY AND STRUCTURE. RE: STRUCT DWG
 - 3 EXPOSED STRUCTURAL FRAMING TO BE PAINTED. REF: F1
 - 4 3/4" DOOR PFD. TO MATCH MASONRY WALL. SIGNAGE SIGNAGE. RE: ELEC DWG & SIGNAGE DWG
 - 5 ALL SIGNAGE PROVIDED BY FRANKLE SIGN GROUP
 - 6 PERMANENT DRIVE THRU WINDOW. RE: ELEC DWG
 - 7 ELEC. EQUIP. PAINTED TO MATCH M-1 (RE: MANUF. SPECIFICATIONS). RE: MEP DWG
 - 8 ELECTRICAL EQUIP. PAINTED TO MATCH DWG
 - 9 EMERGENCY LIGHT FIXTURE
 - 10 DOOR CASE
 - 11 WALL MOUNTED. RE: PLUMB DWG
 - 12 EXTERIOR HEATER MOUNTED TO STEEL FRAME. RE: MEP
 - 13 BEAN WHITE TPO ROOFING. FULLY ADHERED
 - 14 KEYNOTE NOT USED
 - 15 RE: FRAMING CUTTER & DOWNPOUT. DRAIN DOWN TO LOWER BUILDING ROOF
 - 16 COORDINATE FACIA W/ FRANKLE SIGN GROUP
 - 17 KNOWN KEY ROCK. COORDINATE LOCATION WITH LOCAL JURISDICTION

EXTERIOR FINISH SCHEDULE

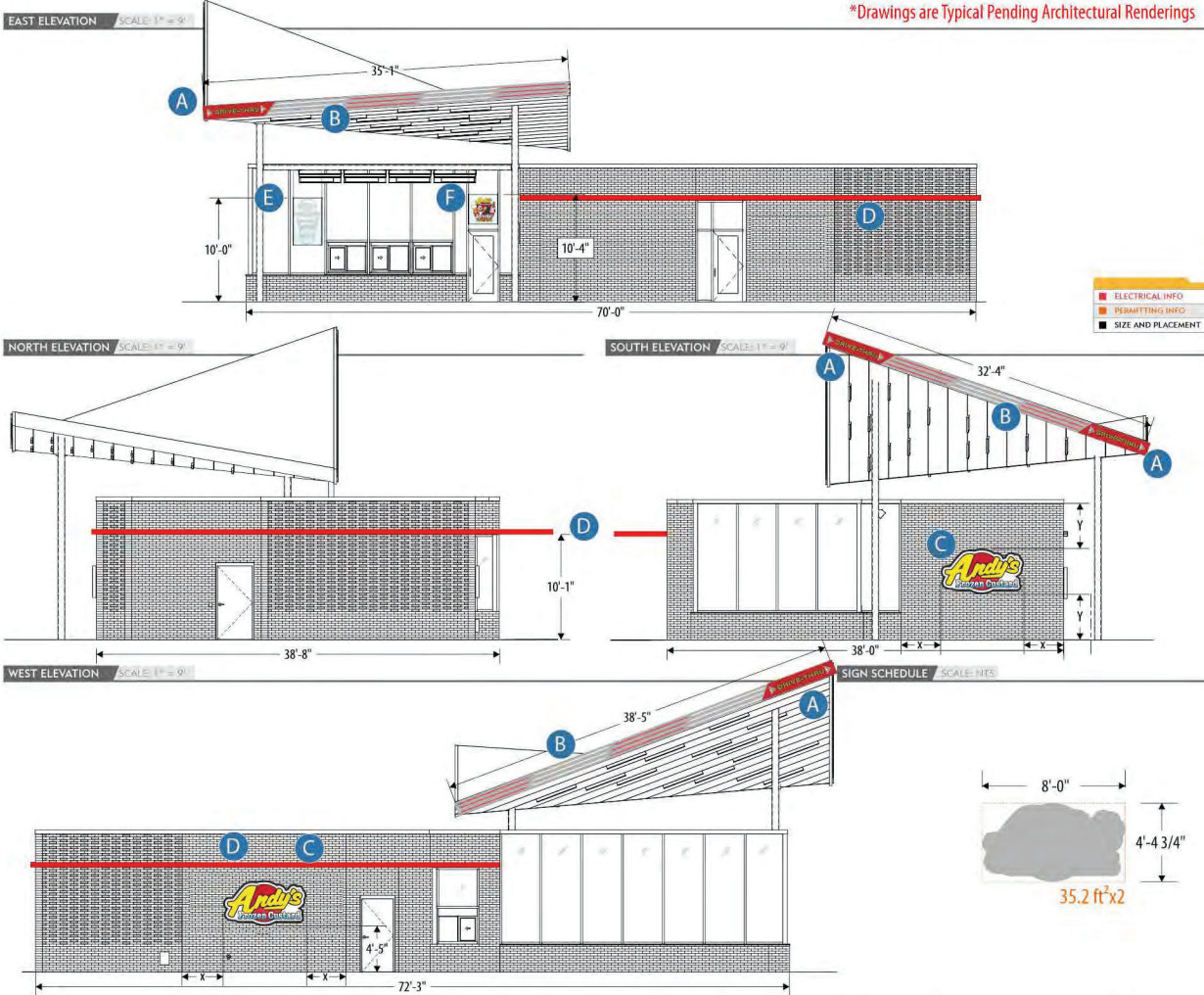
#	DESCRIPTION
ACM-1	COMPOSITE PANEL TYPE 1: LAMINATORS: MC, CHEMICALITE PANEL COLOR: PVD/PACTHAW SOL. BRITE RED
ACM-2	COMPOSITE PANEL TYPE 2: LAMINATORS: MC, CHEMICALITE PANEL COLOR: PROFITUR SOL. BONE WHITE
AS-1	ALUMINUM STOREFRONT: KAWNEER 4011 COLOR: CLEAR ANODIZED
C-1	COPING ROOF EDGE TYPE 1: PRE-FINISHED ALUMINUM CAP AND SILL FRAMING: 2" MASONRY MINNER AND SILL COLOR: MATCH MASONRY COLOR
C-2	COPING ROOF EDGE TYPE 2: ANODIZED ALUMINUM CAP AND SILL FRAMING: 2" STOREFRONT TR COLOR: MATCH STOREFRONT FRAMING
GL-1	GLAZING TYPE 1: STOREFRONT KAWNEER 451T COLOR: CLEAR ANODIZED
M-1	MASONRY TYPE 1: GLEN GERY SIZE: MEDIUM COLOR: BURNED RED/CLAY OR EQUAL GROUT: LIGHT CHOCOLATE BOX
M-2	MASONRY TYPE 2: CORONA STUCCO COLOR: CHARLES BAND SIZE: CHARLES BAND COLOR: LIMESTONE OR EQUAL TEXTURE: CHARLES BAND
N-1	PERIMETER FACIA & NEON LIGHTING: BY FRANKLE SIGN GROUP ANODIZED ALUM. FACIA W/ SHIELDED LED LIGHTING
ST-1	STUCCO MASONRY TYPE 1: 3/8" STUCCO ON METAL LATH TO MATCH P-1
VF-1	VINYL FILM: WHITE VINYL FILM ON INSIDE FACE OF GLASS

ANDY'S FROZEN CUSTARD
2630 E. MAIN ST., ST. CHARLES, IL 60174

ARCHITECTS AND PLANNERS
MARK T. DEGANCI
REGISTERED ARCHITECT
ILLINOIS LICENSE # 01000002

A302

*Drawings are Typical Pending Architectural Renderings



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PINNACLE SIGN GROUP

ANDY'S FROZEN CUSTARD

CUSTOMER: ANDY'S FROZEN CUSTARD
 DRAWING NUMBER: 0726-22-ELEV-1 AS SHOWN ELEVATION

DATE REVISED: 08.03.22

DESIGNER: DEREK CROUCH
 PROJECT MANAGER: TIM SWAIM

ST. CHARLES, IL

LOCATION: ST. CHARLES, IL
 SCOPE OF WORK:

BUILDING SIGNAGE

- Neon Illuminated Corner Fascia Cabinets (AFC-STND-FASC-2)
- Neon Illuminated Fascia Cabinets (AFC-STND-FASC-1)
- Pan Embossed Wall Logo (AFC-OPT-EWAL-8)
- LED Illuminated Reverse Channel Accent Lighting (0726-22-BANCH-1)

WINDOW SIGNAGE

- Neon "Made Fresh Hourly" Sign (AFC-STND-IWAL-2)
- Neon "Sprecher" Sign (AFC-STND-IWAL-3)

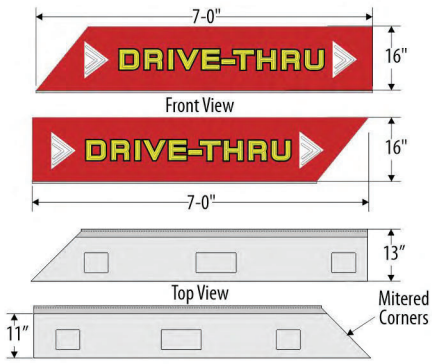
EXTERIOR 1" SOUTH

FACADE AREA LF	38'
ALLOWABLE sq ft (LF x 1.5)	57
8" ANDY'S LOGO: 35.2ft ² x 1	35.2
TOTAL SIGNAGE ft ² :	35.2

EXTERIOR 4" SOUTH

FACADE AREA LF	72'-3"
ALLOWABLE sq ft (LF x 1.5)	108
8" ANDY'S LOGO: 35.2ft ² x 1	35.2
TOTAL SIGNAGE ft ² :	35.2

ORTHOGRAPHIC VIEWS SCALE: 1/2"=1"



AFC DISCLAIMER - FASCIA

THE LIGHTED FASCIA SYSTEM PSG IS PROVIDING IS PURELY DECORATIVE AND NOT TO BE MADE PART OF A WATERPROOF ENVELOP DESIGN.

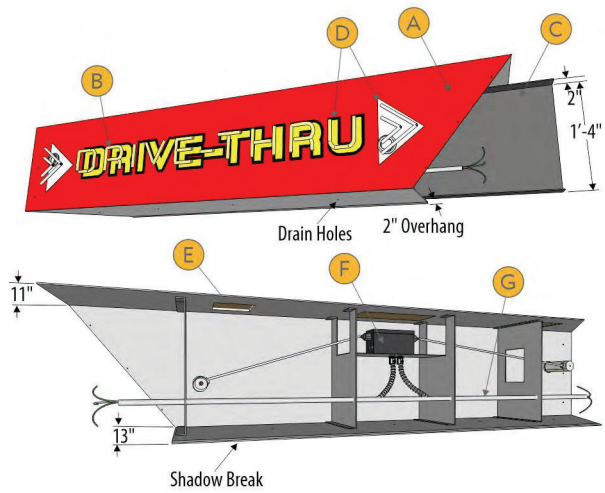
PSG WILL NOT BE RESPONSIBLE FOR WATER INFILTRATION AND RESULTING BUILDING DAMAGE AS IT RELATES TO THE DECORATIVE FASCIA SYSTEM. DECORATIVE FASCIA IS NOT DESIGNED TO BE WATER PROOF AND INCLUDES WEEP HOLES AT THE BOTTOM FOR WATER TO ESCAPE; BUILDING ENVELOPE TO BE WATERPROOF OUTSIDE OF OUR ASSEMBLY.

PHOTO EXAMPLE SCALE: NTS



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EXPLODED VIEW SCALE: NTS



PINNACLE SIGN GROUP

ANDY'S FROZEN CUSTARD

CUSTOMER: ANDY'S FROZEN CUSTARD
DRAWING NUMBER: AFC-STND-FASC-2
ELEVATION: AS SHOWN

DATE: 02.21.22
DATE REVISED:

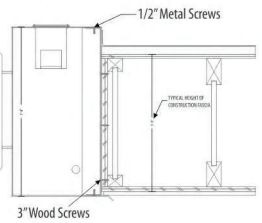
DESIGNER: BUDDY HINDS
PROJECT MANAGER: TIM SWAIM

ALL LOCATION

- SCOPE OF WORK
- Pointed .040 Aluminum Face
 - Face - To Match PMS 186 (Gloss)
 - Neon Illuminated Glass Tubes w/ Tube Supports
 - Clear Red 12mm Neon
 - Bright Yellow 12mm Neon
 - .063 Aluminum Backpan
 - Cut Vinyl Applied to Face
 - Vinyl - 3M Black (Opaque)
 - Vinyl - 3M White (Opaque)
 - Vinyl - Opacal Yellow (Opaque)
 - Access Panel
 - Transformer
 - 3/8" Flexible M/C Tube
- ELECTRICAL REQUIREMENTS
120V; 2.75A per Cabinet

ARCHITECT SHALL COORDINATE ALL FLASHING DETAILS TO PROVIDE WEATHERTIGHT SEAL BETWEEN FASCIA AND ROOF SYSTEM

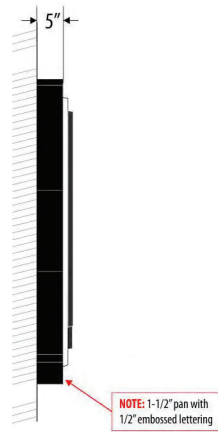
ATTACHMENT METHOD



ANDY'S FROZEN CUSTARD MASTER RENDERINGS

ELEVATION VIEW SCALE: 1"=1'

SIDE VIEW SCALE: 1"=1'



ATTACHMENT POINTS SCALE: NTS

● ATTACHMENT POINT



PHOTO EXAMPLE SCALE: NTS



ANDY'S FROZEN CUSTARD - MASTER

CUSTOMER	
DRAWING NUMBER	AS SHOWN
DATE REVISED	ELEVATION
DESIGNER	PROJECT MANAGER
BUDDY HINDS	TIM SWAIM

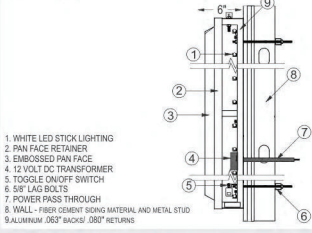
ALL

EDUCATION

SCOPE OF WORK

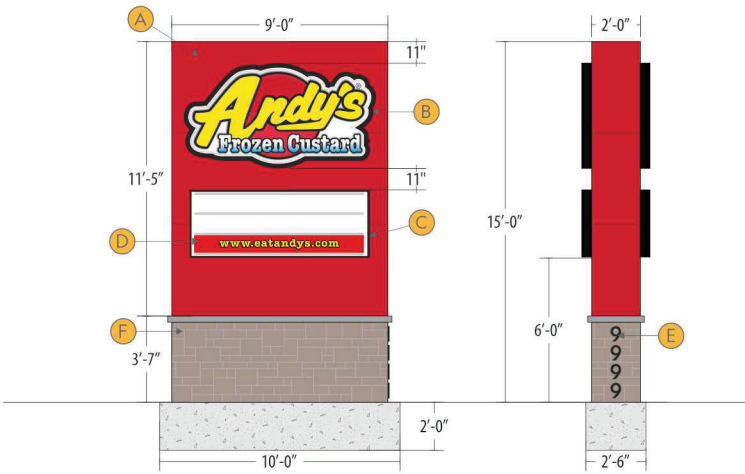
- Internally Illuminated Panfaced Wall Sign
- Internally LED Illuminated Contour Cabinet
 - Paint - Black
- Multi-Level Embossed Pan Face (Glass); Back Spray-Painted (2nd Surface)
 - See Logo Chart for Color Specs
- Mounted Flush

ATTACHMENT METHOD

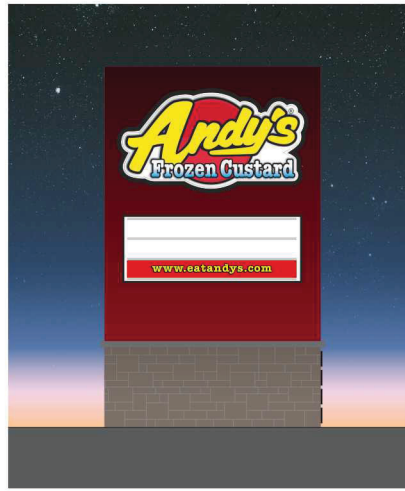


- WHITE LED STICK LIGHTING
- PAN FACE RETAINER
- EMBOSSSED PAN FACE
- 12 VOLT DC TRANSFORMER
- TOGGLE ON/OFF SWITCH
- 5/8" LAG BOLTS
- POWER PASS THROUGH
- WALL - FIBER CEMENT SIDING MATERIAL AND METAL STUD
- ALUMINUM "J" BACKS "J" RETURNS

ORTHOGRAPHIC VIEWS SCALE: 1/4" = 1'



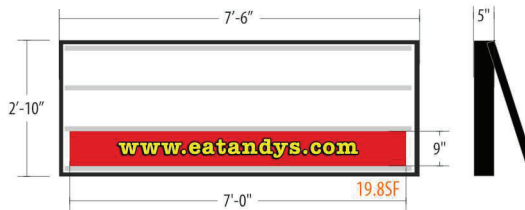
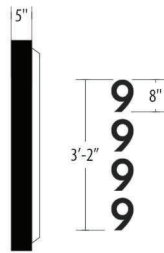
ILLUMINATED VIEW SCALE: NTS



ELEMENT DETAILS SCALE: 1/2" = 1'

Total Square Footage - 55ft²

Flat Acrylic Cut Size: -87.5" x 31.5"



PINNACLE SIGN GROUP

ANDY'S FROZEN CUSTARD

CUSTOMER: ANDY'S FROZEN CUSTARD
DRAWING NUMBER: 0726-22-MONU-1A AS SHOWN
ELEVATION

DATE REVISED: 08.02.22

DESIGNER: BUDDY HINDS
PROJECT MANAGER: TIM SWAIM

LOCATION: ST. CHARLES, IL

LOCATION:

SCOPE OF WORK:

2-Sided Monument

- A Painted .125 Aluminum Cladding Cabinet
 - Floor - MP 10224 Her Rail Rail
- B LED Illuminated Contoured Aluminum Cabinet with Pan Embossed Backspray Painted Face
 - Black
 - See Logo Chart for Color Specs
- C Flush Mounted 1-Sided LED Illuminated Cabinets
 - Flat Face with 3 Line Letter Face, 2 Thumb Screw Latches per Retainer (4 Total) and Vandal Cover
 - Black
- D Changeable Copy Panel to Slide In and Out
 - Digital Print
- E Painted 1/4" Aluminum FCO Address; Stud Mounted Flush to Monument Face
 - Black
- F Stone Masonry Base and Top Cap by Others
- G Qty. 2-100 pc. 8 on 9 Std Cond. Font Letters; Qty. 1-50 pc. 8 on 9 Std Cond. Font Punctuation Set
- H Changeable Copy Letter Storage Cabinet

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ANDY'S FROZEN CUSTARD LOCATIONS (ILLINOIS) ST. CHARLES (RENDERING)

SIGN A	DM-28
Type:	DM
Illumination:	YES
Sq Ft:	68.27

AWNINGS D
Type: METAL
Illumination: NO

AWNINGS E1
Type: METAL
Illumination: NO

AWNINGS E2
Type: METAL
Illumination: NO



Design #	0418312A
Sheet	2 of 9
Client	WellNOW
Address	2600 E. Main St. St. CHARLES, IL
Account Rep.	FF/RM
Designer	BR
Date	09/01/22
Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	
Revision / Date	



PROPOSED SOUTH ELEVATION - DM-28 & AWNINGS SCALE: 1/8" = 1' - 0"

CHANNEL LETTERS WILL REQUIRE 5/8" PLYWOOD BLOCKING UNLESS TO BE INSTALLED ON CONCRETE BLOCK OR BRICK - TO BE PROVIDED BY LANDLORD

AWNINGS WILL REQUIRE 2" x 8" DIMENSIONAL WOOD BACKING UNLESS ON CONCRETE BLOCK OR BRICK - TO BE PROVIDED BY LANDLORD

Allowable Sq Ft this elevation:	73.15
Actual Sq Ft proposed:	68.27

CHANDLER SIGNS
chandler signs.com

National Headquarters: 45251 Sycamore Road #101 Fort Worth, TX 76155 (817) 412-2200 (817) 412-2201

San Antonio: 1722 San Pedro Avenue San Antonio, TX 78215 (214) 584-4444 (214) 584-4434

Northeast US: 2925 River Road, Suite 201 Louisville, KY 40228 (502) 451-0000 (502) 451-0001

Georgia: 111 Woodstock Place Decaturville, GA 30534 (800) 755-8882 (404) 244-4434

South Texas: PO Box 100, 100 South Street Portland, TX 78362 (361) 444-4434

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FINAL ELECTRICAL CONNECTION BY CUSTOMER

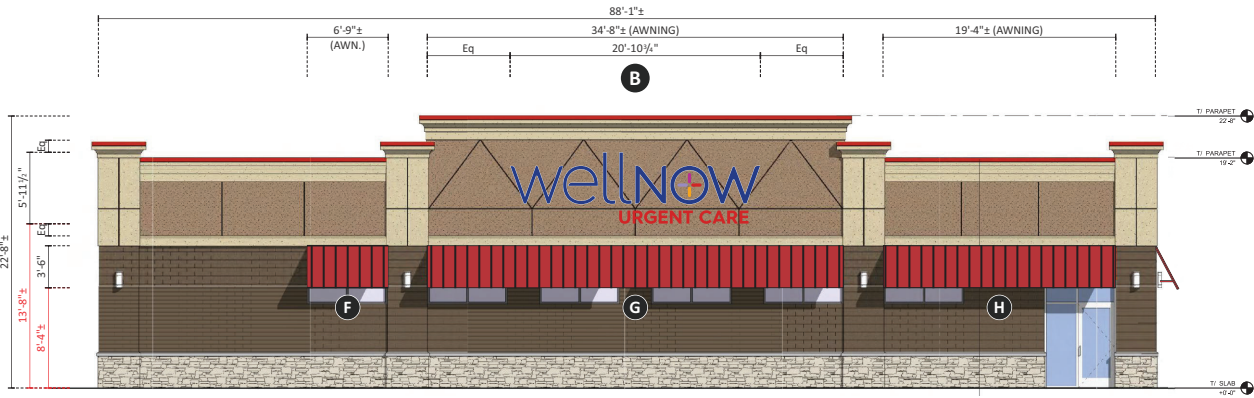
THE USER IS ADVISED TO BE INFORMED, IN ACCORDANCE WITH ARTICLE 900 OF THE NATIONAL ELECTRICAL CODE AND ARTICLE 900.1 LOCAL CODES, THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70-2017 (NEC) SHALL BE KEPT IN A READ-TO-LABELLED STATE.

SIGN B	DM-38
Type:	DM
Illumination:	YES
Sq Ft:	124.5

AWNINGS F
Type: METAL
Illumination: NO

AWNINGS G
Type: METAL
Illumination: NO

AWNINGS H
Type: METAL
Illumination: NO



PROPOSED WEST ELEVATION - DM-38 & AWNINGS

SCALE: 1/8" = 1'-0"

CHANNEL LETTERS WILL REQUIRE 5/8" PLYWOOD BLOCKING UNLESS TO BE INSTALLED ON CONCRETE BLOCK OR BRICK - TO BE PROVIDED BY LANDLORD

AWNINGS WILL REQUIRE 2" x 8" DIMENSIONAL WOOD BACKING UNLESS ON CONCRETE BLOCK OR BRICK - TO BE PROVIDED BY LANDLORD

Allowable Sq Ft this elevation:	131.75
Actual Sq Ft proposed:	124.5



Design #	0418312A
Sheet	3 of 9
Client	WellNOW
Address	2600 E. Main St. St. CHARLES, IL
Account Rep.	FF/RM
Designer	BR
Date	09/01/22
Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	
Revision / Date	



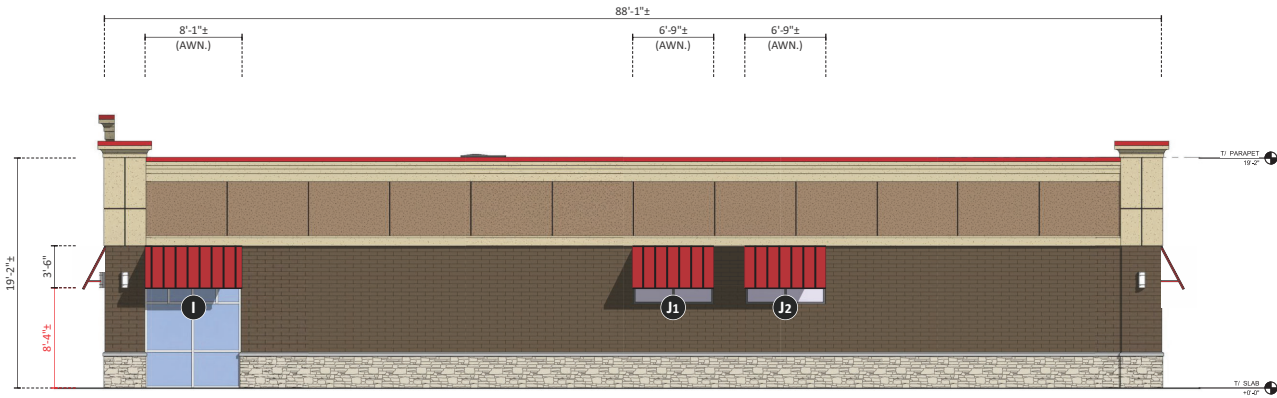
chandlerdesigns.com
 National Headquarters: 45251 Sycamore Road #101 Fort Worth, TX 76155
 San Antonio: 17325 San Pedro Avenue Suite 200 San Antonio, TX 78238
 Northeast US: 2925 River Road, Suite 201 Louisville, KY 40220
 Georgia: 111 Woodhouse Place Decaturville, GA 30534
 South Texas: 4000 103 100 South Street Portland, TX 78354

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FINAL ELECTRICAL CONNECTION BY CUSTOMER

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL ELECTRICAL CODES AND ALL APPLICABLE LOCAL CODES. THE INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES. THE INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES.

AWNINGS 1	Type: METAL	AWNINGS J1	Type: METAL	AWNINGS J2	Type: METAL
illumination: NO		illumination: NO		illumination: NO	



PROPOSED EAST ELEVATION - AWNINGS ONLY

SCALE: 1/8" = 1' - 0"

AWNINGS WILL REQUIRE 2" x 8" DIMENSIONAL WOOD BACKING UNLESS ON CONCRETE BLOCK OR BRICK - TO BE PROVIDED BY LANDLORD

Allowable Sq Ft this elevation:	N/A
Actual Sq Ft proposed:	N/A



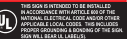
Design #	0418312A
Sheet	4 of 9
Client	WellNOW
Address	2600 E. Main St. St. CHARLES, IL
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Art	
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Landlord	
Revision / Date	



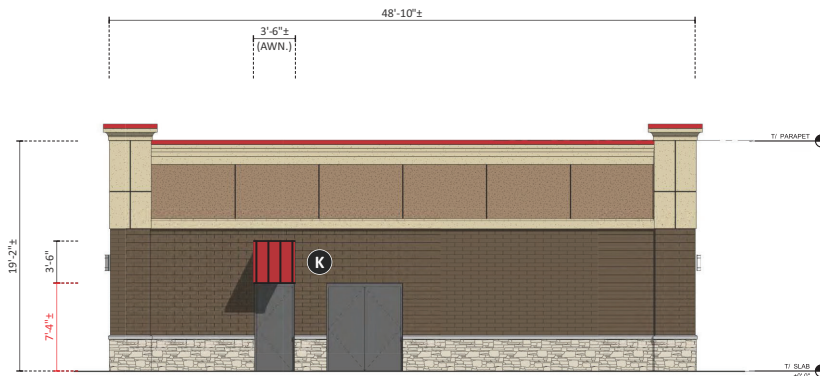
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 National Headquarters: 45251 Sycamore Road #101 Fort Worth, TX 76155 (817) 412-1201 (817) 412-1202
 San Antonio: 17323 San Pedro Avenue San Antonio, TX 78238 (214) 494-4444 (214) 494-4434
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 Georgia: 111 Woodhouse Place, Decaturville, GA 30034 (404) 755-8882 (404) 755-8434
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FINAL ELECTRICAL CONNECTION BY CUSTOMER



AWNINGS K	
Type:	METAL
Illumination:	NO



PROPOSED NORTH ELEVATION - AWNING ONLY

SCALE: 1/8" = 1' - 0"

AWNINGS WILL REQUIRE 2" x 8" DIMENSIONAL WOOD BACKING UNLESS ON CONCRETE BLOCK OR BRICK - TO BE PROVIDED BY LANDLORD

Allowable Sq Ft this elevation:	N/A
Actual Sq Ft proposed:	N/A



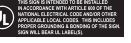
Design #	
0418312A	
Sheet	5 of 9
Client	
WellNOW	
Address	
2600 E. Main St. St. CHARLES, IL	
Account Rep.	FF/RM
Designer	BR
Date	09/01/22
Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	
Revision / Date	

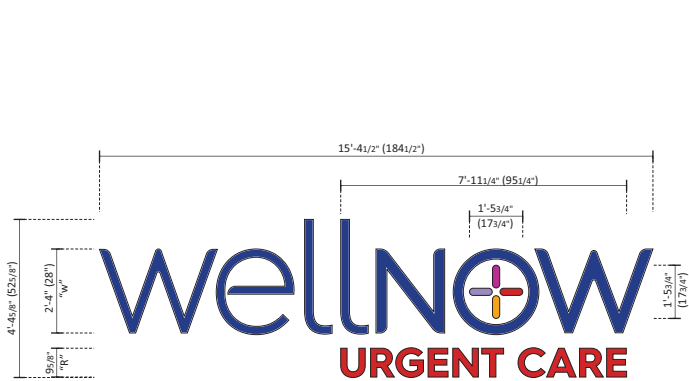


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FINAL ELECTRICAL CONNECTION BY CUSTOMER





A FACE-LIT CHANNEL LETTERS ID# DM-28
 ONE (1) SET REQUIRED - MANUFACTURE & INSTALL

SCALE: 3/8" = 1' - 0"
 68 SQ FT

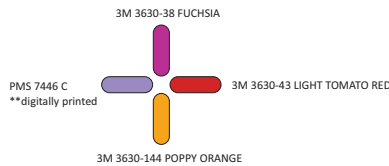
CHANNEL LETTERS WILL REQUIRE 5/8" PLYWOOD BLOCKING
 UNLESS TO BE INSTALLED ON CONCRETE BLOCK OR BRICK -
 TO BE PROVIDED BY LANDLORD

COLOR CHART

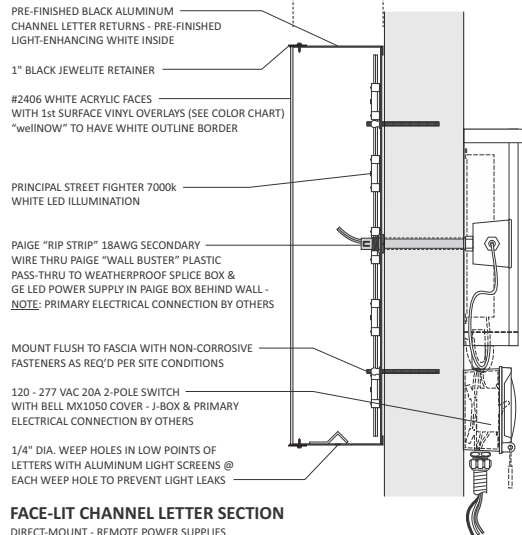
- "wellNOW"
- 3M 3630-38 FUCHSIA
- 3M 3630-157 SULTAN BLUE
- 3M 3630-43 LIGHT TOMATO RED
- 3M 3630-144 POPPY ORANGE
- PMS 7446 C
- 3M 3630-43 LIGHT TOMATO RED
- 3M 3630-144 POPPY ORANGE
- PMS 7446 C
- **digitally printed



SHOWING THE OPEN SPACE
 INSIDE THE "O" LETTER



LOGO COLORS DETAIL



FACE-LIT CHANNEL LETTER SECTION
 DIRECT-MOUNT - REMOTE POWER SUPPLIES



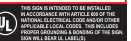
Design #	0418312A
Sheet	6 of 9
Client	WellNOW
Address	2600 E. Main St. St. CHARLES, IL
Account Rep.	FF/RM
Designer	BR
Date	09/01/22
Approval / Date	
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Estimating	
Art	
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Landlord	
Revision / Date	

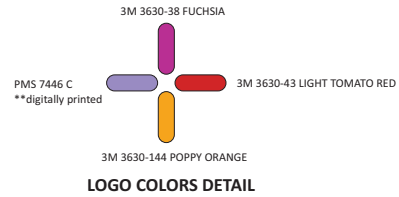


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FINAL ELECTRICAL CONNECTION BY CUSTOMER





B FACE-LIT CHANNEL LETTERS ID# DM-38
ONE [1] SET REQUIRED - MANUFACTURE & INSTALL

SCALE: 3/8" = 1' - 0"
124.5 SQFT

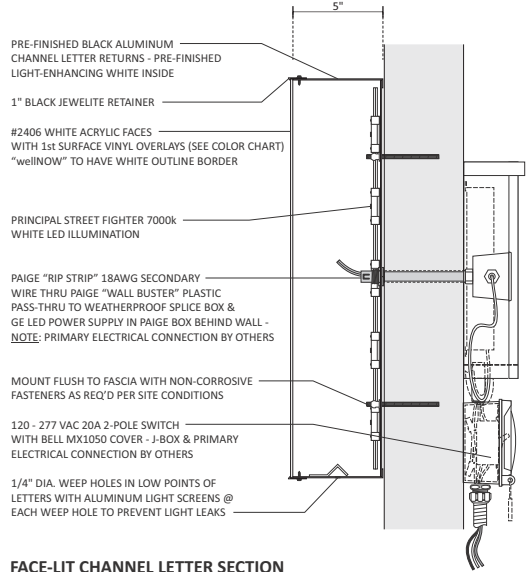
CHANNEL LETTERS WILL REQUIRE 5/8" PLYWOOD BLOCKING UNLESS TO BE INSTALLED ON CONCRETE BLOCK OR BRICK - TO BE PROVIDED BY LANDLORD

COLOR CHART

- "wellNOW"
- 3M 3630-157 SULTAN BLUE
- "URGENT CARE"
- 3M 3630-43 LIGHT TOMATO RED
- 3M 3630-144 POPPY ORANGE
- PMS 7446 C
- 3M 3630-38 FUCHSIA
- 3M 3630-43 LIGHT TOMATO RED
- **digitally printed



SHOWING THE OPEN SPACE INSIDE THE "O" LETTER



FACE-LIT CHANNEL LETTER SECTION
DIRECT-MOUNT - REMOTE POWER SUPPLIES



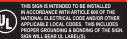
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Sheet	7 of 9
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Address	2600 E. Main St. St. CHARLES, IL
Account Rep.	FF/RM
Designer	BR
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Estimating	
Art	
Engineering	
Landlord	
Revision / Date	

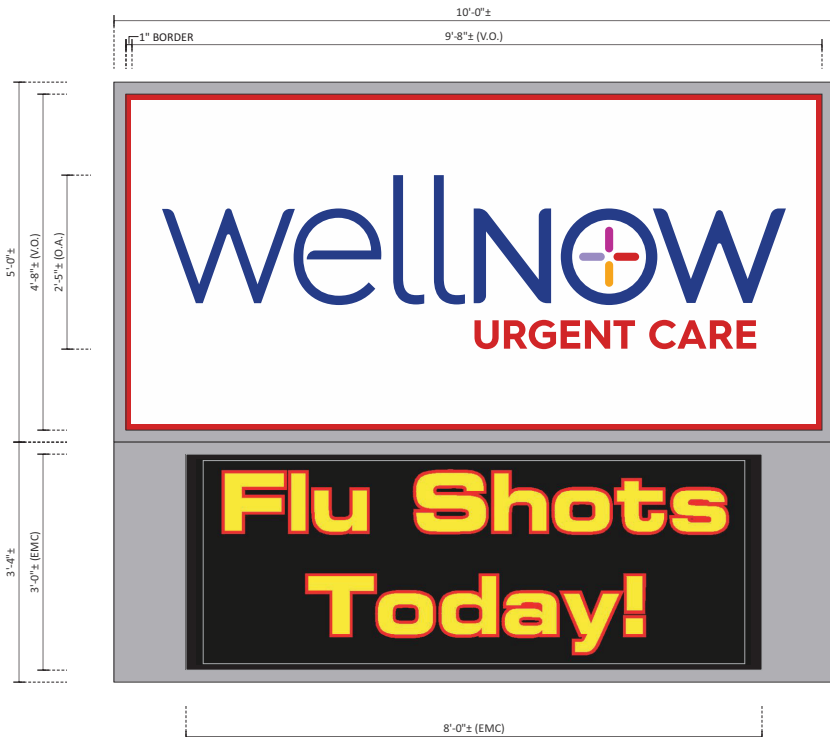


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FINAL ELECTRICAL CONNECTION BY CUSTOMER





C REPLACEMENT FACES for EXISTING MAIN ID CABINET

SCALE: 3/4" = 1' - 0"

TWO (2) SETS REQUIRED - MANUFACTURE & INSTALL

- WHITE POLYCARBONATE or FLEXIBLE FACE SUBSTRATE REPLACEMENT FACES w/ 1st SURFACE VINYL GRAPHICS & 1" THICK RED BORDER (SEE COLOR CHART) APPLIED TO EXISTING MONUMENT SIGN FACES (VERIFY V.O. DIMENSIONS)

- NEW 36"H x 96"W EMC UNITS (EXACT BRAND & SPECIFICATIONS T.B.D.)

NOTE: MANUFACTURING SURVEY REQUIRED PRIOR TO MANUFACTURE



EXISTING ELEVATION



PROPOSED ELEVATION

COLOR CHART

	"wellnow" 3M 3630-157 SULTAN BLUE		3M 3630-38 FUCHSIA
	"URGENT CARE" 3M 3630-43 LIGHT TOMATO RED		3M 3630-43 LIGHT TOMATO RED
			3M 3630-144 POPPY ORANGE
			PMS 7446 C
			**digitally printed



Design #	0418312A
Sheet	8 of 9
Client	WellNOW
Address	2600 E. Main St. St. CHARLES, IL
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Revision / Date	



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FINAL ELECTRICAL CONNECTION BY CUSTOMER

