

ZONING REQUIREMENTS SUMMARY		
ZONING DISTRICT	ZONE BC (BUSINESS AND MIXED USED DISTRICTS - COMMUNITY BUSINESS DISTRICT)	
BULK REGULATIONS		
17.14.030	MINIMUM LOT AREA	1 ACRE
17.14.030	MINIMUM LOT WIDTH	NONE
17.14.030	MAXIMUM BUILDING COVERAGE	40%
17.14.030	MAXIMUM GROSS FLOOR AREA PER BUILDING	75,000 SF
17.14.030	FRONT YARD (SEE NOTE #1)	40 FT
17.14.030	REAR YARD	BUILDING/PARKING: 20 FT
17.14.030	INTERIOR SIDE YARD	BUILDING: 10 FT / PARKING: NONE
17.14.030	EXTERIOR SIDE YARD	BUILDING/PARKING: 20 FT
17.14.030	MINIMUM REAR YARD	BUILDING: 30 FT / PARKING: NONE
17.14.030	LANDSCAPE BUFFER YARD	25 FT
FENCE HEIGHT		
17.22.020C	FRONT YARD	6 FEET 4 INCHES
17.22.020C	REAR YARD	8 FEET
17.22.020C	EXTERIOR SIDE YARD/REAR YARD OF THROUGH LOT	6 FEET 4 INCHES
17.22.020C	INTERIOR SIDE YARD	8 FEET
17.22.020C	BUILDING AREA OF LOT	8 FEET
17.22.020C	WITHIN 40 FEET OF ROW	4 FEET
PARKING		
17.24.070B	PARKING STALL WIDTH	9 FT
17.24.070B	PARKING STALL LENGTH	18 FT
17.24.070B	aisle width	21.5 FT (75") / 24 FT (90")
17.24.070B	ONE-WAY CROSS AISLE	14 FT
17.24.070B	TWO-WAY CROSS AISLE	24 FT
17.24.070B	VERTICAL CLEARANCE	11 FT
17.24.070C3	DRIVEWAY WIDTH	TWO-WAY: 30 FEET MAX. HIGH TRAFFIC GENERATORS: 48 FEET MAX.
REQUIRED OFF-STREET PARKING		
17.24.140	GAS STATION	1 PER SERVICE BAY + 4 PER 1000 SF OF GFA
17.24.140	RESTAURANT	10 PER 1000 SF OF GFA
LANDSCAPING		
17.26.060	LANDSCAPED AREA	20% OF LOT/PARCEL W/ ON-SITE STORMWATER STORAGE
17.26.100	LANDSCAPE ISLAND	10% OF LOT/PARCEL W/ OFF-SITE STORMWATER STORAGE
17.26.130	REFUSE DUMPSTER SCREENING	ONE LANDSCAPE ISLAND SHALL BE REQUIRED PER TEN (10) PARKING SPACES GATED MASONRY SCREEN WALL / OPAQUE FENCE
FREESTANDING SIGNS		
17.28.050A1	MINIMUM ROW SETBACK	10 FT
NOTES		
1. PER 17.24.010.A - "IF AN EXISTING PARKING LOT IS RESURFACED OR RECONSTRUCTED, AND THE PARKING LOT DOES NOT MEET THE CURRENT YARD REQUIREMENT, THE REQUIRED YARD MAY BE REDUCED BY FIFTY PERCENT (50%). IF THE EXISTING PARKING LOT IS SET BACK AT A DISTANCE GREATER THAN FIFTY PERCENT (50%) OF THE REQUIRED YARD OF THE ZONING DISTRICT, THE EXISTING PARKING LOT SETBACK SHALL NOT BE REDUCED FURTHER THAN THE DISTANCE THE EXISTING PARKING LOT IS SET BACK FROM THE PROPERTY LINE."		

PARKING SUMMARY					
LOT #	GROSS FLOOR AREA (GFA)	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED	ACCESSIBLE PARKING REQUIRED	ACCESSIBLE PARKING PROVIDED
LOT 1	1,999 SF	20	21	1	1
LOT 2	5,000 SF	20	24	2	2
LOT 3	2,615 SF	27	44	2	2

ZONING SUMMARY					
LOT #	LAND USE	AREA OF PROPERTY (SF)	AREA OF PROPERTY (AC)	LANDSCAPE AREA REQUIRED (SF)	LANDSCAPE AREA PROVIDED (SF)
LOT 1	RESTAURANT	22,850	0.525	2,285	3,930
LOT 2	GAS STATION	65,998	1.515	6,600	17,870
LOT 3	RESTAURANT	35,095	0.806	3,510	5,580

DEVIATIONS LIST	
(17.14.030)	MINIMUM LOT AREA LESS THAN 1 ACRE.
(17.14.030)	PAVEMENT WITHIN 20 FEET OF FRONT YARD SETBACK.
(17.24.070.C.3)	DRIVEWAY WIDTH ADJOINING PUBLIC STREETS GREATER THAN 30 FEET IN WIDTH FOR TWO-WAY.
(17.26.080.C)	LESS THAN 50% OF BUILDING WALLS ARE LANDSCAPED.
(17.28.050)	FREESTANDING SIGN MINIMUM ROW SETBACK LESS THAN 10 FEET
(17.28.050)	MORE THAN (1) WALL SIGN.
(17.28.060)	ELECTRONIC CHANGEABLE SIGN EXCEEDING 50% OF TOTAL SIGN AREA.
(17.28.090)	MORE THAN 1 GROUND (DIRECTIONAL SIGN) ADJACENT TO DRIVEWAY ACCESS FROM A PUBLIC STREET.

LEGEND			
—	BOUNDARY LINE	○	GAS VALVE (GV)
---	PROPOSED LOT LINE	⊕	FIRE HYDRANT (FH)
---	BUILDING SETBACK LINE (BSL)	⊕	SANITARY STAMP
---	EASEMENT LINE	W	WATER STAMP
---	EXISTING RIGHT-OF-WAY LINE	⊕	ELECTRIC MANHOLE (EMH)
---	EXISTING LOT LINE	⊕	TELEPHONE MANHOLE (TMH)
---	FENCE	⊕	HANDHOLE (HH)
○	GUARDRAIL	⊕	TRAFFIC SIGNAL BOX (TSB)
○	MANHOLE (MH)	⊕	TRAFFIC SIGNAL (TS)
○	CATCH BASIN (CB)	⊕	LIGHT (LHT)
○	INLET (INL)	⊕	GROUND LIGHT (GLHT)
○	FLARED END SECTION (FES)	⊕	POWER POLE (PP)
○	VALVE VAULT (VV)	⊕	CABLE PEDESTAL (PEDC)
○	VALVE BOX (VB)	⊕	ELECTRIC PEDESTAL (PEDE)
○	BUFFALO BOX (BB)	⊕	TELEPHONE PEDESTAL (PEDT)
○	BUFFALO BOX PIPE ONLY (BBP)	⊕	TRANSFORMER
○	AUXILIARY VALVE (AV)	⊕	SIGN
○	CLEANOUT (CO)	⊕	MAILBOX (MB)
○	BOLLARD (BOL)	⊕	

NOTES

- REFER TO PLAT OF SUBDIVISION FOR LOT DIMENSIONS, BEARING, LEGAL DESCRIPTIONS, EASEMENTS PROVISIONS, ETC.
- REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL PROPOSED DETAILS.

Mackie Consultants, LLC
 9575 W. Higgins Road, Suite 500
 Rosemont, IL 60018
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 www.mackieconsult.com

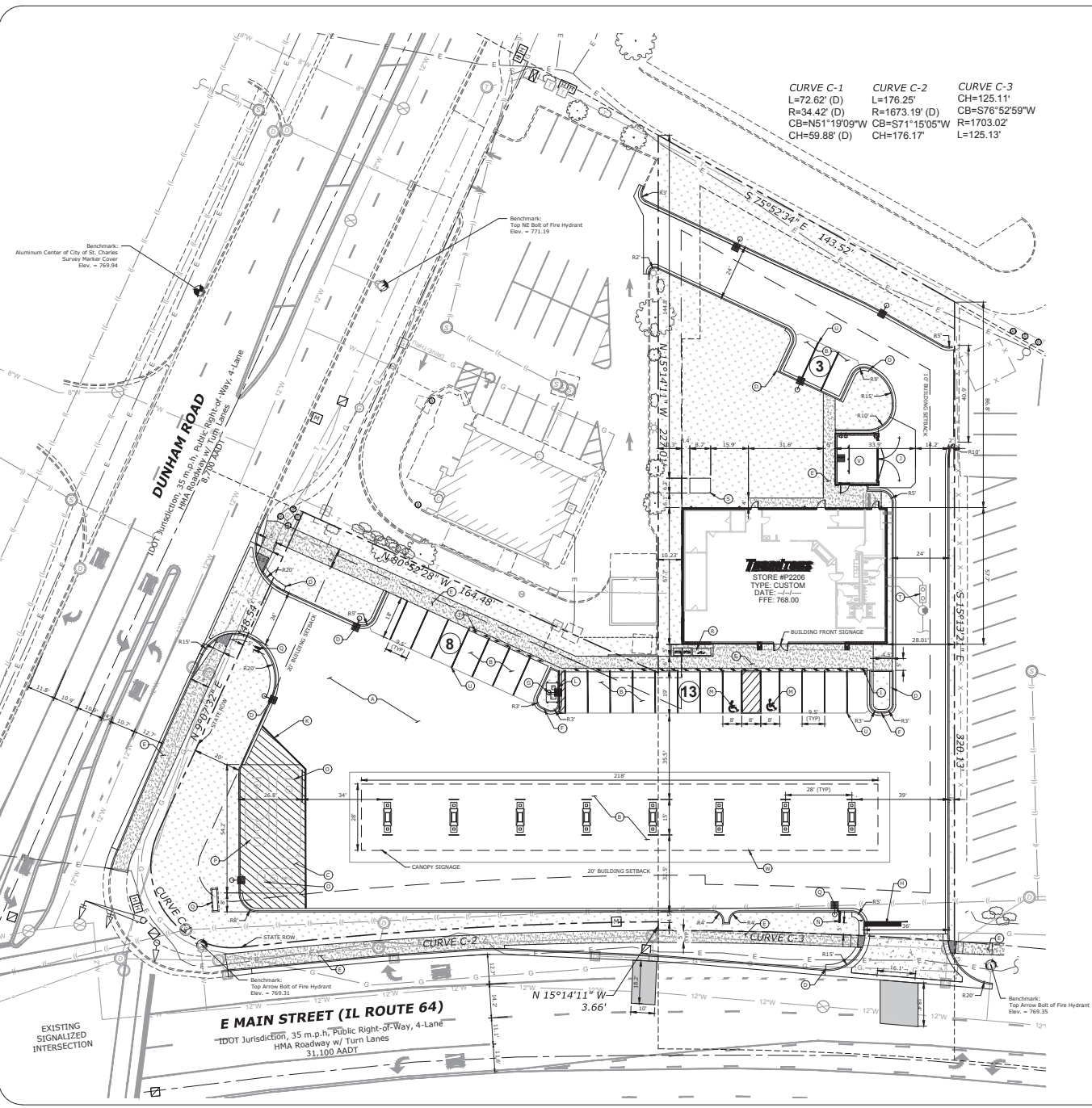
CLIENT: **Day & Robert, PC**
 300 E. 4th Avenue, Suite 365
 St. Charles, Illinois

DATE	DESCRIPTION OF REVISION	BY	SCALE
2023-01-25	REVISED PER THORNTONS GEOMETRY	AJ	DESIGNED
2021-11-10	REVISED PER CITY COMMENTS.	AJ	DRAWN
2021-07-09	PUD PRELIMINARY PLAN SUBMITTAL	RLM	APPROVED
2021-06-11	REVISED DEVIATIONS LIST	RLM	DATE
2021-06-08	UPDATED CIRCLE K LAYOUT	RLM	11/13/2020
2021-06-08	REVISED DEVIATIONS LIST	RLM	
2021-06-07	REVISED ACCESS EASEMENTS AND DEVIATIONS LIST	RLM	

PLANNED DEVELOPMENT EXHIBIT (PHASE 1)
IL ROUTE 64 AND DUNHAM ROAD
ST. CHARLES, ILLINOIS

PROPOSED (UPDATED) PUD EXHIBIT

1/25/2024 4:54:07 PM H:\2023\Engineering\Plan\1423\Prop_2.mxd - Summit



CURVE C-1
L=72.62' (D)
R=34.42' (D)
CB=N51°19'09"W
CH=59.88' (D)

CURVE C-2
L=176.25'
R=1673.19' (D)
CB=S71°11'05"W
CH=176.17'

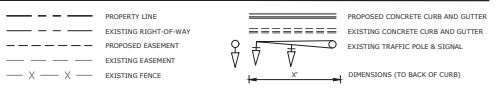
CURVE C-3
CH=125.11'
CB=S76°52'59"W
R=1703.02'
L=125.13'

Site Plan Summary Table		
	Building Setbacks	
	Required	Provided
Front: South	20	120+
Rear: North	30	85+
Side: East	10	10.2
Side: West	20	28
Dispenser Setbacks	20	45+
	Parking	
Minimum	20	24 + 32 (fueling stations)
Maximum	---	---
Accessible / Van Accessible	1 (1)	2 (2)
Land Use Data		
Max Building Height (Ft)	40	
Zoning Category / Zoning Agency (City, County, etc.)	BC, Community Business - City of St. Charles, Kane County	
Total Site Area (S.F.)	72,264	
Building Area (S.F.)	5,000	
Existing Building Area (S.F.)	7,717	
On-site Vehicular Circulation (Paved) (S.F.)	36,403	
On-site Sidewalk (S.F.)	3,209	
Tank Pad Area (S.F.)	1,612	
Canopy Area (S.F.)	6,104	
Open Space (S.F.)	17,692	
Off-site Sidewalk Area (New and/or Replaced) (S.F.)	2,171	
Driveway Apron / Turnout Areas (in Public ROW) (S.F.)	1,375	
Off-site Roadway Improvements (Turn Lane, etc.) (S.F.)	2,235	

SITE LEGEND

- A STANDARD DUTY ASPHALT PAVEMENT SECTION AND NOTES. SEE SHEET C3.2 - PAVEMENT PLAN FOR SITE PAVING INFORMATION
- B LIGHT DUTY PAVEMENT SECTION. SEE SHEET C3.2 - PAVEMENT PLAN FOR SITE PAVING INFORMATION
- C TANK PAD PAVING SECTION AND CONCRETE NOTES. SEE SHEET C3.2 - PAVEMENT PLAN FOR SITE PAVING INFORMATION
- D HARDSCAPE BUFFER. SEE DETAILS SHEET C7.1 - THORNTONS DETAILS
- E CONCRETE SIDEWALK. SEE SHEET C7.1 - THORNTONS DETAILS
- F CONCRETE CURB. SEE SHEET C7.1 - THORNTONS DETAILS
- G LIGHT POLE. SEE DETAILS ON SHEET C7.2 - THORNTONS DETAILS. CONFIRM LIGHT POLE FIXTURE TYPE AND ORIENTATION WITH PHOTOGRAPHIC PLAN
- H PAVEMENT MARKING. SEE DETAIL ON C7.0 - THORNTONS DETAILS
- I PIPE BOLLARD. SEE DETAILS ON C7.0 - THORNTONS DETAILS AND C7.2 - THORNTONS DETAILS
- J HEAVY DUTY PAVEMENT SECTION. SEE SHEET C3.2 - PAVEMENT PLAN FOR SITE PAVING INFORMATION
- K LIST PAVEMENT HATCHING - SEE DETAILS CDS-08 AND CSD-09 ON C7.0 - THORNTONS DETAILS
- L SERVICE ISLAND SEE DETAILS ON C7.2 - THORNTONS DETAILS
- M ACCESSIBLE PARKING SPACE. DETAIL FOR AUTHORITY HAVING JURISDICTION AND DETAILS ON C7.0 - THORNTONS DETAILS
- N FUTURE TACO BELL DIRECTIONAL SIGN
- O SINGLE COMPARTMENT TANK. REFERENCE FUEL DRAWINGS
- P DUAL COMPARTMENT TANK REFERENCE FUEL DRAWINGS
- Q MONUMENT/PYLON/GROUND/DIRECTIONAL SIGN. SEE SIGNAGE PLANS
- R OUTDOOR MERCHANDISING
- S PROPOSED TRANSFORMER LOCATION. COORDINATE PAD WITH COMED
- T PROPOSED GREASE TRAP LOCATION. REFERENCE MEP PLANS
- U PAINTED 4" WIDE YELLOW STRIPE
- V WASTE ENCLOSURE. REF. ARCH. PLANS
- W PROPOSED CANOPY. REF. CANOPY PLANS
- X PROPOSED BUILDING SETBACK LINE
- Y RESERVED FOR FUTURE EV CHARGING STATIONS

SITE PLAN LEGEND



REVISIONS	
NO.	DATE / DESCRIPTION

ARC DESIGN
ARCHITECTURAL

15201 Zanith Parkway
Loves Park, IL 61111

REGISTRATION NUMBER:
19400.1334-010

DATE: 2/9/2023

THORNTONS ST. CHARLES, IL

DESIGN: RCS DRAFTING: LND
SCALE: 1:20 DATE: 2/9/2023

SITE PLAN

THORNTONS

2500 E MAIN STREET
ST. CHARLES, IL 60174

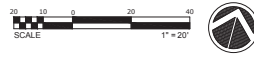
C3.0

PLANT LIST

KEY	QTY	Botanical name COMMON NAME	SIZE	REMARKS
AC	3	Alexis concolor WHITE FIR	6'	EVERGREEN
ACB	3	Amelanchier canadensis 'Beltedrimosa' BRILLIANCE SERVICEBERRY	6'	ORNAMENTAL / UPRIGHT
AAB	3	Acor x Autumn Joy AUTUMN JOY SEDGE	2.5"	
GTS	5	Glaucidium trichanthos 'Savilyn' SKYLARK HONEYLOCUST	2.5"	THORNLESS / SEEDLESS
MR	2	Malus x Red Rainier RED BARRON CRABAPPLE	6'	ORNAMENTAL
MS	4	Malus x Red Sparrow IVORY SPOON CRABAPPLE	6'	ORNAMENTAL / UPRIGHT
QB	1	Quercus bicolor SWAMP WHITE OAK	2.5"	SPECIMEN
SRT	3	Syringa reticulata JAPANESE TREE LILAC	6'	ORNAMENTAL
TCL	5	Tilia cordata LITTLE LEAF LINDEN	2.5"	
AMH	15	Aronia melanocarpa 'Vardon' TRIOLOGY BEAUTY CHOKEBERRY	24" X 5 GAL	
XCS	18	Juniperus chinensis 'variegata' 'Vividus' GREEN SARGENT JUNIPER	5 GAL	EVERGREEN
JHG	31	Juniperus chinensis 'Gold Lace' GOLD LACE JUNIPER	5 GAL	EVERGREEN
JHW	22	Juniperus horizontalis 'Hughes' HUGHES CREEPING JUNIPER	5 GAL	EVERGREEN
POS	14	Physocarpus opulifolius 'Summer Wine' SUMMER WINE DOGWOOD	24" X 5 GAL	
SRG	23	Spiraea bumalda 'Snow Girl' GLOW GIRL TOR SPYREA	24" X 5 GAL	
SR	23	Spiraea japonica 'Sonnenschein' RED DOUBLE-FLY ARTISAN SPIREA	24" X 5 GAL	
SPB	12	Syringa patula x 'Bloomerang' BLOOMERANG BEEBLOOMING KOREAN LILAC	24" X 5 GAL	
TMT	12	Taxus media x 'Taintor's' TAINTOR'S JAPANESE YEW	24" X 5 GAL	
TOT	5	Thuja occidentalis 'Emerald' EMERALD ARBORVITAE	4"	EVERGREEN
CFR	44	Calamagrostis scutellaria 'Karl Forster' FEATHER REED GRASS	3" 0" O.C. - ORN. GRASS	
EPH	15	Echinacea purpurea 'Magnus' PURPLE CONEFLOWER	2" 0" O.C. - PERENNIAL	
HRH	24	Hemerocallis 'Red Hot Return' EVERAFTER RED HOT RETURNS DAYLILY	2" 0" O.C. - PERENNIAL	
RFG	15	Rubusckia rugosa 'Goldsmum' BLACKBERRY SUSAN	2" 0" O.C. - PERENNIAL	
SEA	25	Sedum x Autumn Joy AUTUMN JOY SEDUM	2" 0" O.C. - PERENNIAL	
SP	30	Spiraea x 'Fast Phalaris' PHEASANT MEADOW SAGE	2" 0" O.C. - PERENNIAL	
SHP	43	Sporobolus heterostachys PRAIRIE DROPSIDE	2" 4" O.C. - ORN. GRASS	

ZONING DATA

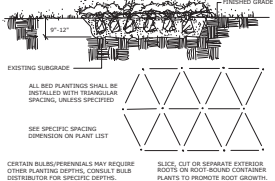
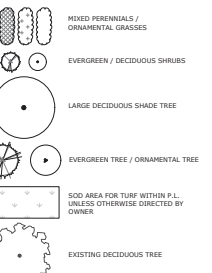
CATEGORY	AREA/QUANTITY	REQUIREMENT	PROVISION
STREET FRONTAGE / ROW LANDSCAPE AREA	IL RT AT MAIN ST: 324' DUNHAM ROAD: 174'	7 TREES x 328' PLANTING AREA 4 TREES x 132' PLANTING AREA (REQ: 1 TREE / 50' ROW + MIN. 75% PLANTING W/ SHRUBS/PERENNIALS)	7 TREES x 246' (89%) PLANTED AREA 4 TREES x 120' (75%) PLANTED AREA
PARKING LANDSCAPE AREA	30 PARKING SPACES	3 ISLANDS x 3 TREES (1 ISLAND + 1 TREE / 10 SPACES W/ PLANTS TO FILL AREA)	4 ISLANDS (2 TERMINAL) x 4 TREES WITH PLANTS TO FILL AREA
FOUNDATION LANDSCAPE AREA	278 LF FOUNDATION AREA	111 SHRUBS = 20 / 50 LF OF FOUND. MIN. 5' WIDTH AREA, 50% PLANTED	155 SHRUBS + MIN. 5' WIDTH AND 50% OF FOUNDATION PLANTED
FOUNDATION TREES	141 LF FOUND. PLANT BED	3 TREES = 2 / 50 LF OF PLANT BED	4 TREES
BUFFER LANDSCAPE AREA	N/A - SAME ZONING	ALL SIDES PROPERLY LANDSCAPED W/ PLANTINGS	ALL SIDES PROPERLY LANDSCAPED W/ PLANTINGS
OVERALL LANDSCAPE AREA	65,993 SF (1.515 AC)	MIN. 15% COVERAGE = 9,899 SF	20% COVERAGE (13,099 SF)



PLANTING NOTES

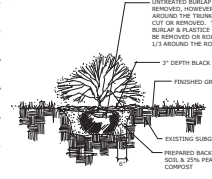
- Landscape Contractor (Contractor) shall make a site visit prior to bidding/construction to inspect the current site conditions and view proposed planting plan and related work. Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- Contractor shall verify locations of all underground utilities prior to beginning construction on his phase of work. Electric, gas, telephone, and cable television can be located by calling 311.L.I.E. at 311. For regional locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unexpected job conditions to owner's representative prior to commencing work.
- Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to owner and landscape architect.
- Contractor shall grade entire site to correct surface irregularities in preparation for sod/seed. Roll, disc, drag, harrow or hand rake sub grade in all lawn areas and remove construction debris, foreign matter or stones larger than 2". Grading shall provide slopes which are smooth, continuous, free from depressions or ridges. Level, rake and roll as necessary to an even and true condition and drain positive drainage in all areas. Finish grades shall meet the approval of owner prior to lawn installation.
- All disturbed areas should be brought to grade with "topsoil" to a depth of 6 inches in areas to be seeded or sodded, and 12 inches for interior (curbed) landscape islands. All lawn areas are to be finished with mulch, straw mulch, sand, and, etc. or as noted. All lawn areas to be watered until a healthy stand of grass is established. (See seed/soil notes for acceptance details).
- Quantity may be supplied as a convenience; however, the contractor should verify all quantities. The drawings shall take precedence over the lists.
- Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; however, quantities and sizes shall remain consistent with these plans. Size & grading standards of plant materials shall conform to the latest edition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association. Plant material shall be nursery grown and be either balled and burlap or container grown.
- All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.
- All plant materials with damaged or crooked/damaged leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected by Landscape Architect and/or Owner. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump.
- Upon inspection and acceptance of all landscape items by Landscape Architect and/or Owner the contractor shall assume maintenance responsibilities for a period of thirty (30) days, for all plant material, to include: watering, cultivating, weeding, pruning, mulching and spraying as necessary to keep plants free of insects and in a healthy, vigorous condition until responsibility is transferred to the owner (see below).
- All plant materials shall be guaranteed for one (1) year after acceptance by landscape architect and/or owner. After the first thirty (30) days, the owner shall assume maintenance responsibilities as described herein immediately in writing, any concerns related to maintenance practices, as determined by the landscape architect at the end of one (1) year guarantee period. Contractor shall notify immediately in writing, any concerns related to maintenance practices. All planting beds shall be mulched with 3"-4" depth shredded hardwood mulch, see planting details. All deciduous trees (balled & burlapped) that are not located in a planting bed shall be mulched with 3"-4" diameter circle. Evergreen trees and multi-stemmed ornamental trees shall be mulched to outer edge with a vertical fence abutting all lawn areas.
- Planting edge delineation at all planting beds and tree saucers shall require a minimum 4" depth "new" shaped cultivated, spaded edge with a vertical fence abutting all lawn areas and topped in place. Sodding strips shall be installed to ensure no overlap in strips. Joints shall be staggered (brick pattern).
- All turf areas shall be fertilized at placement with 6-17-17 analysis, at a rate of 6 lbs. per 1,000 sq. ft., a second application of 2.17-14 lbs. applied at rate of 6 lbs. per 1,000 sq. ft. after the first cutting. Acceptance and guarantee notes shall apply to all sodded areas.
- Acceptance of grading and seed shall be by landscape architect and/or owner. Contractor shall assume maintenance responsibilities for a minimum of sixty (60) days or until second cutting, whichever is longer. Maintenance shall include watering, weeding, re-seeding, re-sodding and other operations necessary to keep lawn in a thriving condition. Upon final acceptance, owner shall assume all maintenance responsibilities. After lawn areas have germinated, areas which fail to show a uniform stand of grass for any reason whatsoever shall be re-seeded or re-sodded repeatedly until all areas are covered with a satisfactory stand of grass. Minimum acceptance of lawn areas may include scattered bare or dead spots, none of which are larger than one (1) square foot and when combined do not exceed 2% of total lawn area.

LEGEND

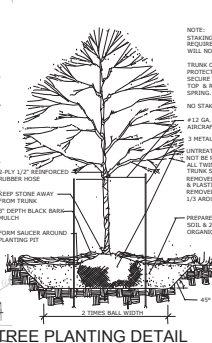


BED PLANTING DETAIL

(GROUNDCOVER, PERENNIALS & ANNUALS) NOT TO SCALE



SHRUB PLANTING DETAIL



TREE PLANTING DETAIL

Thornton's Landscaping Matrix

Owner's Landscape Plan Matrix (matrix only appears on Owner's Prelim and Pre-Bid review drawing set)	Answer	Code section reference
Continuous screening of vehicular use areas required?	Req'd: Yes. Parking lots, vehicle display or drive-throughs abutting a public street; screening at min. 30' for min. 50% of frontage (except for driveways and sidewalks); types of plants required not specified. *Road Frontage landscaping may be used to meet this standard. Provided: Road Frontage landscape meets the requirement.	Section 17.26.100 A.1
Total on-site trees	n/a Provided: n/a	n/a
Major road frontage tree requirements	Req'd: Yes. 1 tree/50' ROW + 75% of frontage area planted with trees, shrubs, perennials, etc. Provided: n/a	Section 17.26.090 C.1-2
Minor road frontage tree requirements	Provided: Yes. IL Rt 64 (Main St) 324' + 7 trees + 85% of frontage planted, trees, shrubs, perennials, etc. Provided: Yes. Dunham Rd 174' + 4 trees + 75% of frontage planted. Req'd: n/a - not adjacent to residential	Section 17.26.090 C.1-2
Residential boundary trees or buffer	Provided: n/a - not adjacent to residential Req'd: n/a - adjacent to same zoning uses	Section 17.26.070
Non-residential boundary trees or buffer	Provided: n/a - adjacent to same zoning uses Req'd: Raited, planted islands are required at 1 island / 10 spaces (min. 180 ± f.) Provided: 1 island at end of parking spaces.	Section 17.26.100
Are parking terminal painted islands permitted, or raised planted islands required?	Req'd: Yes. Raited, planted islands are required at 1 island + 1 tree and plants in 16 area / 10 spaces (min. 180 ± f.) Provided: 30 parking spaces = 3 islands + 3 trees + plants to fill area Req'd: Yes. 2 trees/50' LF of foundation	Section 17.26.100
Are trees required in parking terminal raised islands?	Req'd: Yes. Min. 15% site coverage of landscape area (for sites with off-site stormwater storage) Provided: Yes. Lot area 69,993 SF; 15% = 9,899 SF (19,099 SF provided)	Section 17.26.080 C.1.a-b
Open space on site		Section 17.26.060

NO.	DATE	REVISIONS	DESCRIPTION

ARC DESIGN
15201 24th Parkway
Loves Park, IL 61111
REGISTRATION NUMBER:
194001334-0010
DATE: 2/9/2023

THORNTONS ST. CHARLES, IL
DRAFTING: LND
DATE: 2/9/2023
DESIGN: RGS
SCALE: 1:20

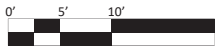
LANDSCAPE PLAN

THORNTONS
2500 E MAIN STREET
ST. CHARLES, IL 60174

L1.0



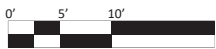
FRONT ELEVATION



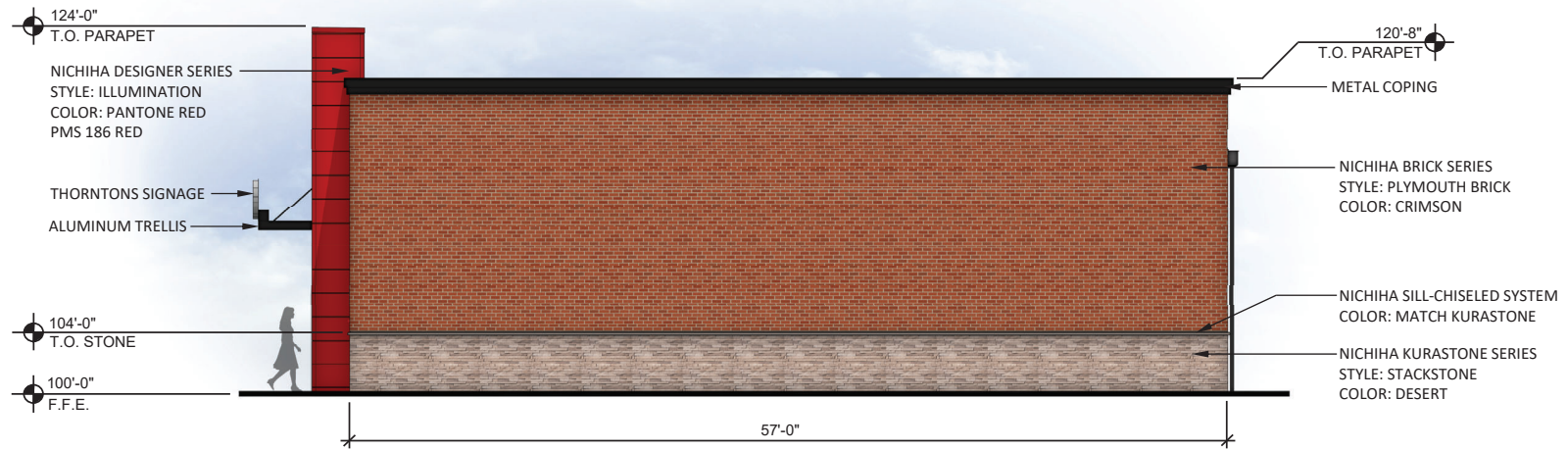
**PROPOSED
BUILDING
ELEVATIONS**



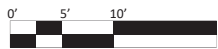
REAR ELEVATION



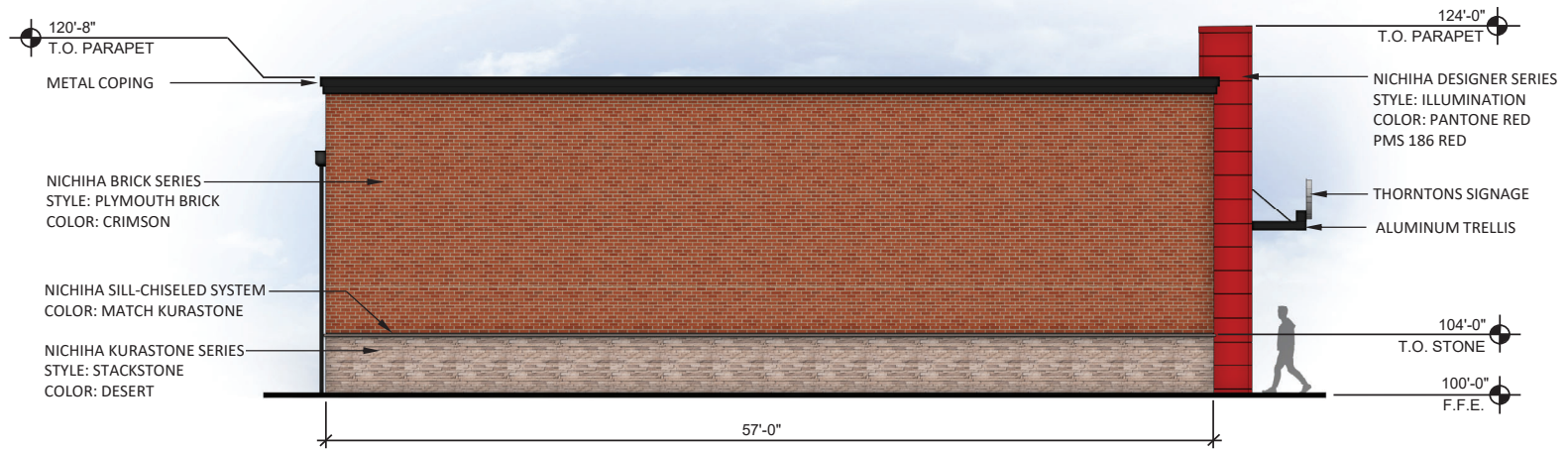
**PROPOSED
BUILDING
ELEVATIONS**



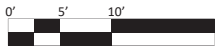
SIDE ELEVATION



PROPOSED
BUILDING
ELEVATIONS



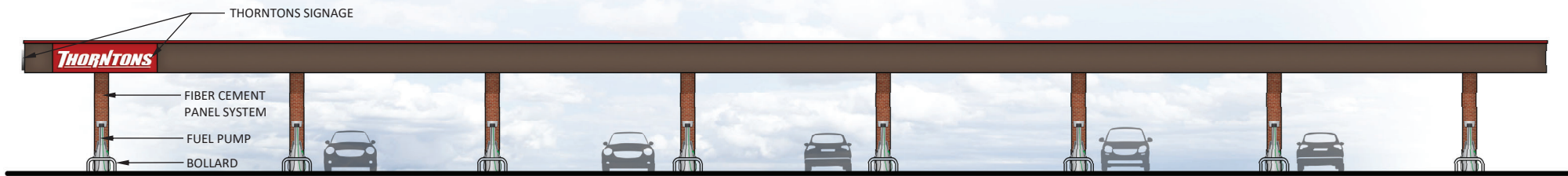
SIDE ELEVATION



PROPOSED
BUILDING
ELEVATIONS



SIDE ELEVATION



FRONT ELEVATION