

ST. CHARLES ZONING BOARD OF APPEALS

VARIATION #: V-3-2023

LOCATION: VACANT LOT ON S. 14TH ST.

Requested Action:

Zoning Variation to reduce the landscape buffer yard along the east property line from 30 ft. to 14 ft. 7½ in. along the north and south portions of the parking lot and from 30 ft. to 16 ft. 7½ in. along the middle portion of the parking lot (as shown on the attached site plan).

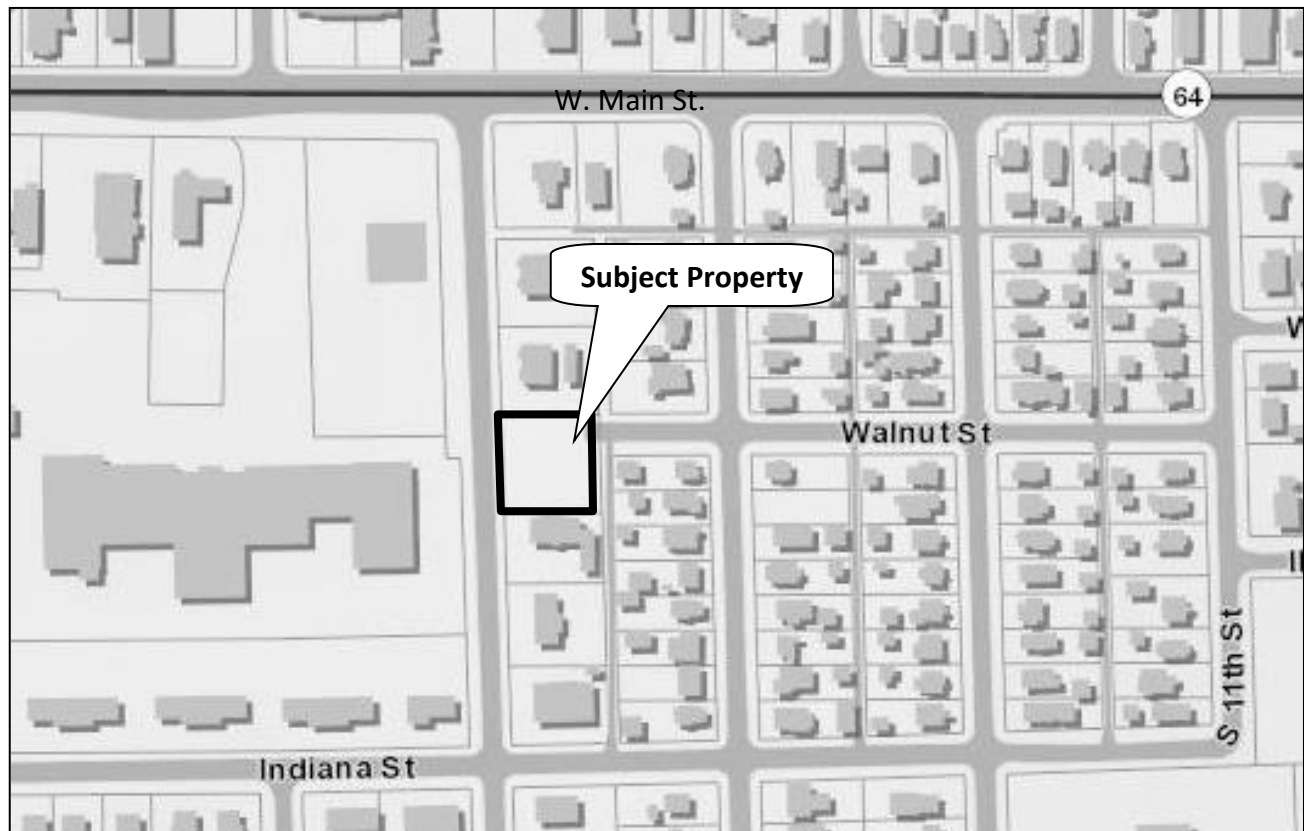
Purpose and Scope:

The applicant is proposing to construct an eight-unit apartment building on the property. A 30 ft. landscape buffer yard is required along the east property line. The applicant is requesting a Variation to reduce the landscape buffer yard to allow construction of a parking lot up to 14 ft. 7½ in. from the east property line.

A similar Variation was granted by the Zoning Board of Appeals in 2012 and 2018. Approval of that Variation expired because the parking lot was not constructed within one year of approval.

Existing Land Use: Vacant

Existing Zoning: RM-3 General Residential District



Zoning Board of Appeals
CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



V-3-2023
PLVAR202300120

FOR OFFICE USE	
Received	_____
File #	_____
Fee Paid \$	_____
Receipt	_____

APPLICATION FOR A VARIATION

PLEASE PRINT AND PROVIDE ALL INFORMATION AS REQUESTED.

APPLICANT & OWNER:

Name of Applicant* North Mark Properties, LLC
 Phone 630-779-9295 Email Address Justin@northmarkhomes.com
 Address/City/State/Zip 36w538 Michael Ct. St. Charles, IL 60175
 Applicant's interest in the property Under Contract
 Name and Phone of Owner(s) of Record* Vicki Staton, Executor, estate of Kevin J. Staton

Applicant is (check one) Attorney Agent Owner Other: Contract Purchaser
 Owner acquired the property on (date): _____

ADDRESS, USE & ZONING OF PROPERTY:

Address of Property (attach legal description) 20 S. 14th Street, Vacant Lot
 Present Use (commercial, industrial, residential, etc.) Vacant
 Zoning District RM-3

To your knowledge, have any previous applications for variations been filed in connection with this property? Yes
 If YES, provide relevant information Variation application was approved in 2018 and expired 12 months

ACTION BY APPLICANT ON PROPERTY:

Permit applied for and denied? (yes or no) No
 An Appeal was made with respect to this property? (yes or no) No
 Appeal Application File Number N/A
 Appeal approved? (yes or no) N/A
 Appeal Application accompanies this request for variation? (yes or no) N/A

**In the event that the applicant or owner is a trustee of a land trust or beneficiary of a land trust, a statement identifying each beneficiary by name and address of such land trust and defining his/her interest therein must be attached hereto. Such statement shall be verified by the trustee of such trust.*

REASON FOR REQUEST:

- A. Variation requested (state specific measurements): Reduce the landscape buffer yard to allow for construction of a parking lot up to 14' 7.5" to the North, and 16' 7.5" to the South. Reduced by 15' 4.5" to the north and 13' 4.5" to the south. In the middle
- B. Reason for request: The variation approval in 2018 has expired and a new variation application required to provide adequate parking for the residents.
- C. Purpose for which property will be used: Used for an 8-unit apartment building

CRITERIA FOR VARIATION:

The Board of Zoning Appeals may approve a Variation only when it makes written findings with respect to each requested Variation, based upon the evidence presented at the public hearing, that strict compliance with the regulations and standards of the Zoning Ordinance would create practical difficulties or particular hardships for the subject property, and the requested Variation is consistent with the stated purposes and intent of the Zoning Ordinance.

In making its determination of whether practical difficulties or particular hardships exist, the Board of Zoning Appeals must take into consideration the extent to which evidence has been submitted substantiating the criteria have been met.

Provide a response under each item to substantiate that the requested variation meets the criteria:

- 1. Do the particular physical surroundings, shape or topographical condition of the specific property involved result in a practical difficulty or particular hardship to the property owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out? (Explain)
Due to the shape of the property, it does not allow for the building and parking lot to be constructed with the current required setbacks and landscape buffer.
- 2. Are the conditions upon which the petition for a Variation is based applicable, generally, to other property within the same zoning classification? (Explain)
Yes, the properties to the north & south of the subject property do not have the prescribed landscape buffer
- 3. Is the purpose of the Variation based exclusively upon a desire to make more money out of the property? (Explain)
No, the property was intended to be built a long time ago and current restrictions have since been placed on the property not allowing the development to proceed.

- 4. Has the alleged practical difficulty or particular hardship been created by any person presently having an interest in the property? (Explain)

No, not to my knowledge.

- 5. Will the Variation, if granted, alter the essential character of the neighborhood? (Explain)

No, it will match the existing buildings to the North & South.

- 6. Will granting of the Variation be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located? (Explain)

No, the variance will not be noticeable to the general public.

- 7. Will the proposed Variation impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood? (Explain)

No, the newer property will enhance the property values surrounding the subject property.

ATTACHMENTS REQUIRED:

- A. PLAT OF SURVEY: One (1) copy of a plat of survey (to scale) of the property showing dimensions of all lot lines, existing and proposed structures and distances from lot lines, easements and adjoining streets or uses.
- B. MAILING LIST: A written certified list (form attached) containing the registered owners, their mailing and tax parcel numbers as recorded in the Office of the Recorder of Deeds in the county in which the property is located and as appears from the authentic tax records of such county, of all property within 250 feet in each direction of the location for which the variation is requested, provided all the number of feet occupied by all public roads, streets, alleys and other public ways shall be excluded in computing the 250 feet requirement. Registered owner information may be obtained at the St Charles Township Assessor's office, 1725 Dean St., St. Charles, (630) 584-2040. The Kane County Recorder of Deeds is located in the Kane County Government Center, 719 Batavia Ave., Geneva, and (630) 232-5935. The DuPage County Recorder of Deeds is located in the DuPage County Government Center, 421 N. County Farm Rd., Wheaton, and (630) 682-7200.
- C. FILING FEE: Filing fee in the amount of \$300.00 must be rendered at the time the application is submitted. If payment is made by check, it should be made payable to the City of St. Charles.
- D. REIMBURSEMENT OF FEES AGREEMENT: An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning

Ordinance. By signing this Agreement, the applicant agrees to reimburse the City all costs incurred during review of the application, including but not limited to: the cost of the newspaper notice publication; certified mailing to surrounding property owners; Court Reporter at the public hearing(s); and City staff time spent on review and administration of the application.

The total cost of an application typically amounts to approximately \$1,000. However, the cost of each application varies depending on the following:

- Location of the property, due to the number of surrounding property owners and resulting number of certified letters that will be sent.
- Length of the newspaper notice publication which is based on the legal description of the property.
- Length and number of public hearings, which effect the cost of the Court Reporter. Note that if not all Board members are in attendance at the meeting, the applicant may request a continuation of the public hearing in the interest of having more Board members in attendance at a later meeting. If the public hearing is continued, at the request of the applicant or otherwise, the applicant is responsible for the cost of the Court Reporter at the additional public hearing(s).
- Amount of City staff time spent on review and administration of the application.

- E. REIMBURSEMENT OF FEES INITIAL DEPOSIT: Deposit of funds in escrow with the City. For properties less than 5 acres, a deposit in the amount of \$1,000 is needed. For larger properties, see the table in the Reimbursement of Fees Agreement. These funds will be used to reimburse the City for all costs incurred during review of the application, per the Reimbursement of Fees Agreement. The applicant may need to provide additional funds to cover costs.
- F. LETTER OF AUTHORIZATION: Letter of authorization from the property owner as to the request for the zoning variation must be included, if the applicant is not the property owner.
- G. DISCLOSURE: Disclosure of beneficiaries of a land trust must be included, if the applicant or owner is a land trust.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Jeff Pelock
Signature of Applicant or agent

Jeff Pelock
Print name of applicant/agent

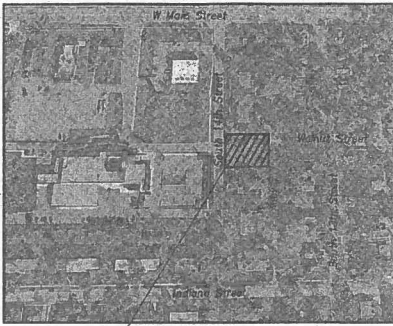
6/1/2023
Date

Vicki Staton
SignNow e-signature ID: a93bf79a26...
Signature of Owner

Vicki Lynn Staton
Print name of owner

Jul 12, 2023
Date

Vicinity Map
Not to Scale



Subject Property

ALTA/NSPS LAND TITLE SURVEY

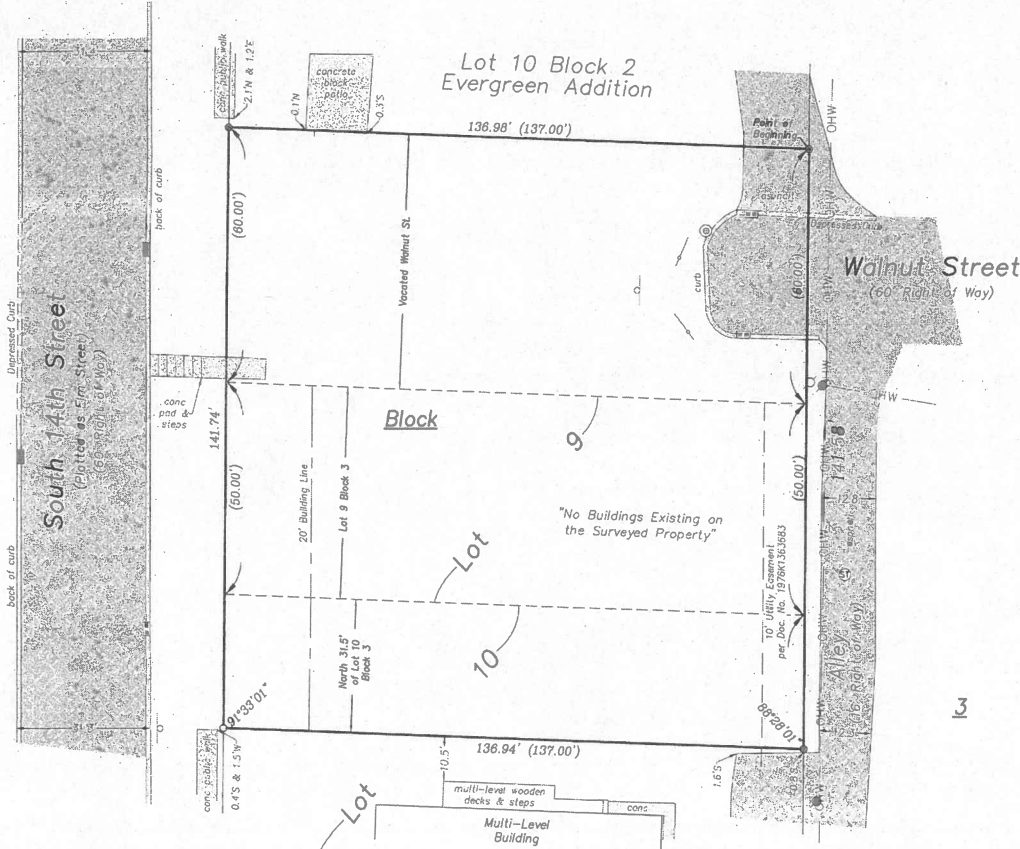
P.I.N.# 09-33-128-026

LOT 9 AND THE NORTH 31.5 FEET OF LOT 10 IN BLOCK 3 OF EVERGREEN ADDITION TO ST. CHARLES, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS, AND ALSO THAT PART OF WALNUT STREET AS SHOWN ON THE PLAT OF EVERGREEN ADDITION TO ST. CHARLES, ILLINOIS, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEASTERLY CORNER OF LOT 10 OF BLOCK 2 OF EVERGREEN ADDITION TO ST. CHARLES; THENCE 137 FEET WESTERLY TO THE SOUTHWESTERLY CORNER OF LOT 10; THENCE 60 FEET SOUTHERLY TO THE NORTHWESTERLY CORNER OF LOT 9 IN BLOCK 3 OF EVERGREEN ADDITION TO ST. CHARLES; THENCE 137 FEET EASTERLY TO THE NORTHEASTERLY CORNER OF LOT 9; THENCE 60 FEET NORTHERLY TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 20 SOUTH FOURTEENTH STREET, ST. CHARLES, ILLINOIS.

Legend

- = curb inlet
- = catch basin
- = sign
- = utility pole
- = storm manhole
- = guardrail
- = overhead wires
- = concrete
- = asphalt



SURVEYOR'S NOTES:

1. DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY, IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
2. THE LOCATION AND/OR EXISTENCE OF UTILITY SERVICE LINES TO THE PROPERTY SURVEYED ARE UNKNOWN AND ARE NOT SHOWN.
3. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS SURVEY TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES, PLEASE CONTACT THE APPROPRIATE AGENCIES.
4. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
5. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/ STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/ STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE EXCAVATIONS ARE BEGUN, THE FOLLOWING OFFICES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS: TELEPHONE, ELECTRIC, WATER, SEWER, STORM, AND CABLE T.V.
6. THIS IS AN ALTA/ACSM SURVEY. IT IS NOT INTENDED TO BE USED AS THE BASIS FOR ENGINEERING/STRUCTURAL DESIGN.
7. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS, ADJOINERS, AND OTHER DOCUMENTS WHICH MIGHT AFFECT THE QUALITY OF TITLE TO TRACT SHOWN WERE OBTAINED FROM TITLE COMMITMENT NO. 23004790370V PREPARED BY CHICAGO TITLE INSURANCE COMPANY, WITH AN EFFECTIVE DATE OF APRIL 05, 2023.

George A. Smith's Solar Condo

TABLE A - OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS:

- ITEM 1 - MONUMENTS FOUND/SET AS SHOWN ON SURVEY.
- ITEM 2 - PROPERTY ADDRESS AS SHOWN ON SURVEY.
- ITEM 4 - GROSS LAND AREA = 19,393.9 SQUARE FEET - 0.45 ACRES, MORE OR LESS.
- ITEM 8 - ONLY OBSERVED FEATURES AS SHOWN ON SURVEY.
- ITEM 16 - NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

TO: NORTH MARK PROPERTIES, LLC AND CHICAGO TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 4, 8, AND 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 09, 2023.

DATED AT YORKVILLE, ILLINOIS ON 14th July 2023.

ERIC C. POKORNY
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3818



Scale: 1" = 20'

- = Found 3/4" Dia. Iron Pipe
- ⊙ = Found 1/2" Dia. Iron Pipe
- ⊙ = Found 1/8" Dia. Iron Rod
- ⊙ = Found 1" Dia. Iron Pipe
- N = North E = East
- S = South W = West
- (XX.XX)' = Record Distance
- XX.XX' = Measured Distance

Michel C. Ensalaco, P.L.S. 2768, Exp. 11/30/2024
Eric C. Pokorny, P.L.S. 3818, Exp. 11/30/2024

TODD SURVEYING

Professional Land Surveying Services
"Cornerstone Surveying PC"
759 John Street, Suite D
Yorkville, IL 60550
Phone: 630-892-1309 Fax: 630-892-5544

Survey is only valid if original seal is shown in red.

Client:	North Mark Homes, LLC
Book #:	2018-1946
Drawn By:	ER.MEZ
Plot #:	2167
Reference:	2018-1946, 2013-0148, 2012-0032, 2011-0728
Field Work Completed:	06/09/2023
Rev. Date/Rev. Description:	
Project Number:	2023-0479 ALTA

Authorization Letter

Owner: Vicki Staton

Date 7 / 14 / 2023

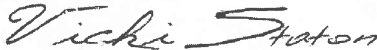
To whom it may concern:

RE: approximately 1 +/- acres of land located in St. Charles, IL commonly known as 20 S. 14th Street.
Whose legal description and address is noted in exhibit A.

Please accept this letter as our authorization to allow North Mark Properties LLC and our company employees, consultants and / or their assigns to serve as agents in my behalf on matters relating to establishing the zoning, land use and related real estate development approvals for the intended residential development including any related facilities and utilities to serve the above caption property. Such development approval shall include, but not be limited to, any governing municipality, County, state, or any other governing agency having jurisdiction or control over the property or deemed necessary to permit the development of the property.

Thank you for your consideration in this matter.

Sincerely yours



SignNow e-signature ID: ab3990393d...
07/14/2023 21:29:33 UTC

Date Jul 14, 2023

By: Vicki Lynn Staton, as Executor of the Estate of Kevin J. Staton

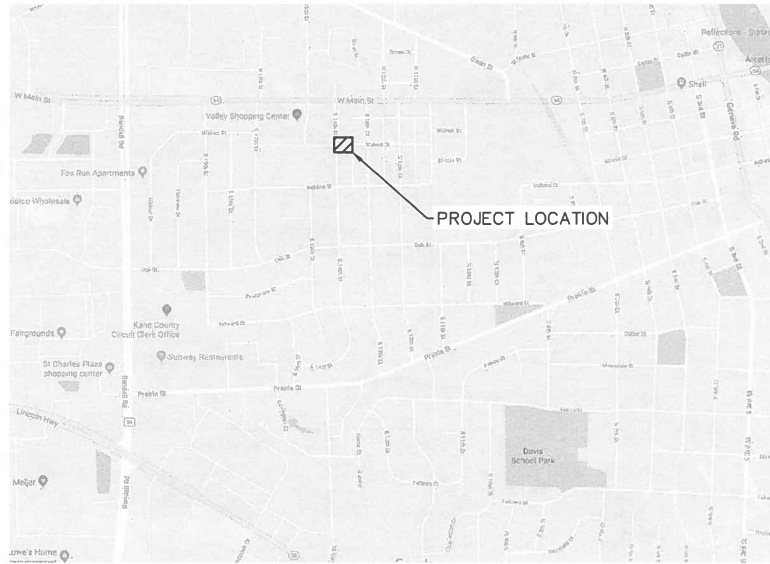
14th STREET DEVELOPMENT

ST. CHARLES IL

SITE IMPROVEMENTS

PROPOSED BUILDING

DRAWING INDEX	
SHEET NO.	DRAWING TITLE
1	COVER SHEET & DRAWING INDEX
2	General Notes
3	SITE PLAN
4	GRADING PLAN
5	GEOMETRY PLAN
6	MISCELLANEOUS DETAILS - 1
7	MISCELLANEOUS DETAILS - 2



PROJECT LOCATION MAP

OWNER: JJJ DEVELOPMENT, LLC.
2400 BIG TIMBER ROAD, SUITE 105 A
ELGIN, ILLINOIS 60124

ENGINEER: SHEAFFER & ROLAND, INC.
611 STEVENS STREET
GENEVA, ILLINOIS 60134
TEL. (815) 208-8888

LOCATION: T40N R8E SECTION 33
TOTAL ACERAGE: 0.45 ACRES
EXISTING ZONING RM-3 GENERAL

BENCHMARKS

- Northwest Tap Ball of Hydrant located on the north side of Indiana Street, between 13th and 14th Streets. Elevation=772.17 U.S.G.S./City Datum

LEGEND	
	FORCE MAIN
	WELL WATER MAIN
	WATER MAIN
	WATER SERVICE CONNECTION
	EXISTING VALVE VAULT
	PROPOSED VALVE VAULT
	WATER MAIN VALVE VAULT LOCATION (PROFILE ONLY)
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	SUMP PUMP DRAIN PIPE
	SUMP PUMP SERVICE CONNECTION
	SUMP PUMP JUNCTION BOX
	EXISTING MANHOLE
	PROPOSED MANHOLE
	EXISTING INLET
	PROPOSED INLET
	FLARED END SECTION
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	SANITARY SERVICE CONNECTION
	SANITARY SERVICE RISER
	SPECIAL SANITARY SERVICE
	FL800.00 GUTTER FLOWLINE ELEVATION (FT)
	EOP800.30 EDGE OF PAVEMENT ELEVATION (FT)
	TC800.50 TOP OF CURB ELEVATION (FT)
	EXISTING CONTOUR (FT)
	PROPOSED CONTOUR (FT)
	BACK OF CURB
	FLOWLINE
	EDGE OF PAVEMENT
	CURB SPILLOUT
	UTILITY SLEEVES
	STREET LIGHT
	HANDICAP ACCESS RAMP

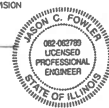
CALL 48 HOURS PRIOR TO DIGGING



Know what's below.
Call 811 before you dig.

THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION

JASON C. FOWLER
ILLINOIS REGISTERED PROFESSIONAL ENGINEER
NO. 062-062789
EXPIRES: NOV. 30, 2023



SHEAFFER & ROLAND, INC.
CONSULTING ENGINEERS
611 STEVENS STREET
GENEVA, ILLINOIS 60134-1359
TEL. (815) 208-8888 FAX. (815) 208-8889
LI000 200-0000 THE LODGE AT 100-000001 (01-02779)

REVISIONS	
DATE	BY
2/24/23	JCF
2/24/23	JCF
2/24/23	JCF
2/24/23	JCF
2/24/23	JCF
2/24/23	JCF
2/24/23	JCF

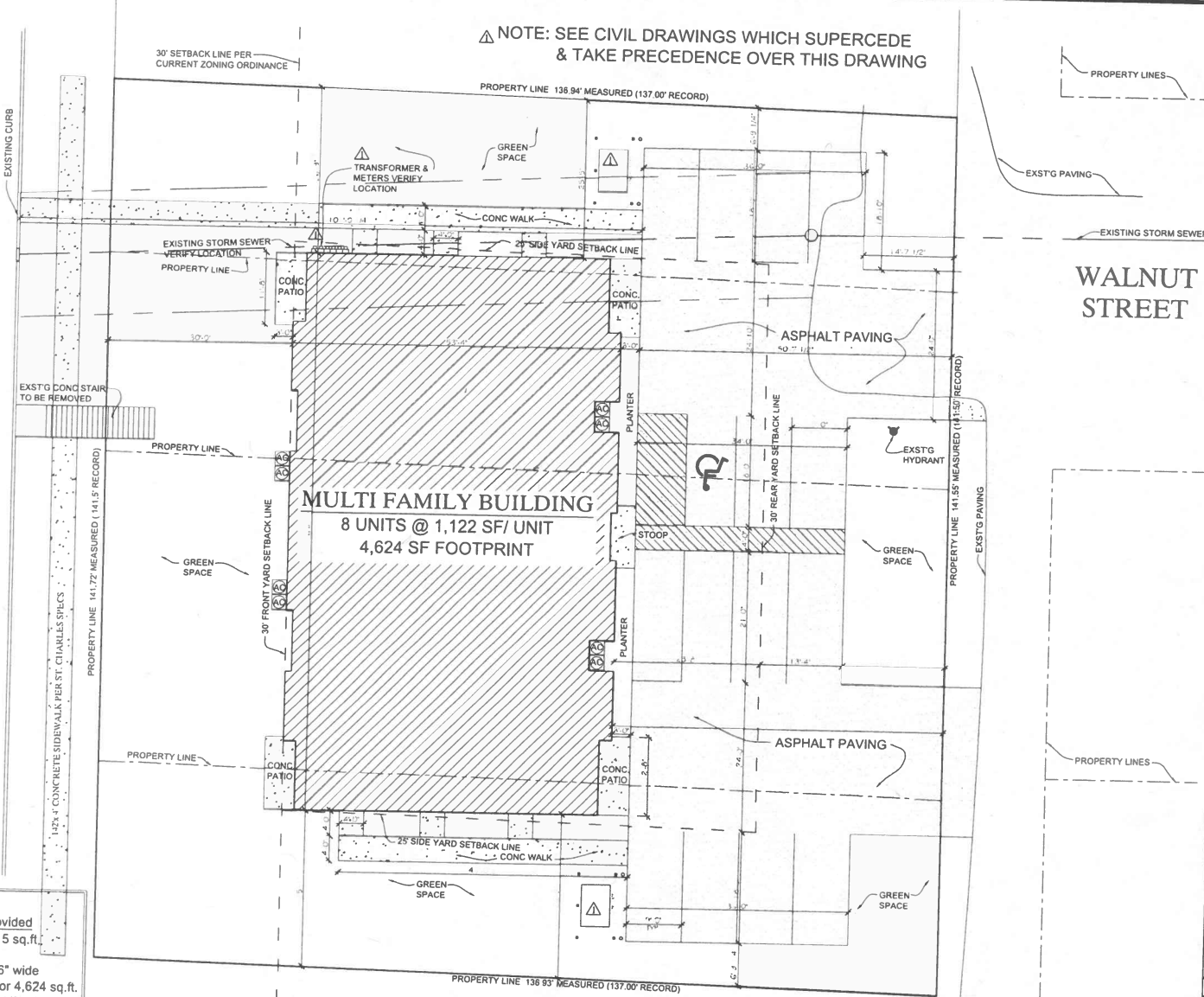
14TH STREET DEVELOPMENT
SITE IMPROVEMENTS
MULTIFAMILY DEVELOPMENT
JJJ DEVELOPMENT, LLC
2400 BIG TIMBER ROAD, SUITE 105 A
ELGIN, ILLINOIS 60124

COVER SHEET &
DRAWING INDEX

DATE: 1/4SEP/23
PROJECT NO: 2018-085F
CAD: COVER
SHEET: 1 of 7

7/31/2023 2:35 PM G:\STANTON\FINAL\COVER.DWG

NOTE: SEE CIVIL DRAWINGS WHICH SUPERCEDE & TAKE PRECEDENCE OVER THIS DRAWING



AFFORDABLE UNITS REQ'D
 1 to 10 Dwelling Units: 5 percent
 (8) Dwelling Units = 0.4* units
 * Fee In-Lieu of Affordable Units to be determined at 40% of per unit cost

PARKING REQUIREMENTS
 Multi-Family Dwelling:
 Two-Bedroom Units: 1.7 per du
 (8) Two-Bedroom Units = 13.6 req. spaces
 Parking Spaces Provided = 13 spaces
 ADA Parking Provided = 1 space
 Total Parking Provided = 14 spaces

HARD SURFACES
 Building Footprint = 4,624 sq.ft.
 Parking (Bituminous) = 5,218 sq.ft.
 Patios (Concrete) = 247 sq.ft.
 Stoops (Concrete) = 141 sq.ft.
 Leed Walks (Conc.) = 534 sq.ft.
TOTAL: 10,764 sq.ft.
 (or 55%)

RM-3 ZONING DATA

	Code Req'd	Provided
Min. Lot Area:	Multiple-Family: 2,200 sf/du (8) 2,200 sf/du = 17,600 sq.ft.	19,415 sq.ft.
Min. Lot Width:	65 ft	141'-6" wide
Max. Bldg. Coverage:	40% = 7,766 sq.ft.	23% or 4,624 sq.ft.
Max. Bldg. Ht.:	45 ft or 4 stories	34'-1 1/2" high
Min. Front Yard:	30 ft.	30 ft.
Min. Side Yard:	25 ft. each side	25 ft. each side
Min. Rear Yard:	30 ft.	53'-7 1/2"
Landscape Buffer Yards:	30 ft.	Varies
Req'd Green Space:	15% = 2,912 sq.ft.	45% or 8,651 sq.ft.

SITE PLAN
 SCALE: 1/8" = 1'-0"
 NOTE: SEE CIVIL DRAWINGS WHICH SUPERCEDE & TAKE PRECEDENCE OVER THIS DRAWING

HOLD HARMLESS STATEMENT
 The Architect is not responsible for the construction of a structure by the Contractor, subcontractor, builder, or other party to a "hold harmless" agreement.

REVISIONS BY

NO. 1	DATE	BY

W. Alex Teipel - Architect
 427 W. State Street
 Geneva, Illinois 60134
 (630) 232-1774

I hereby certify that these plans were prepared under my direct supervision and that I am a duly licensed architect in the State of Illinois. I am duly licensed in the State of Illinois. I am duly licensed in the State of Illinois. I am duly licensed in the State of Illinois.

SITE PLAN
 Multi-Family Dwelling for:
 Kevin Stanton
 14th Street
 St. Charles, Illinois 60174

Date: 04/05/13

Scale: AS NOTED

Drawn: R.M.A.

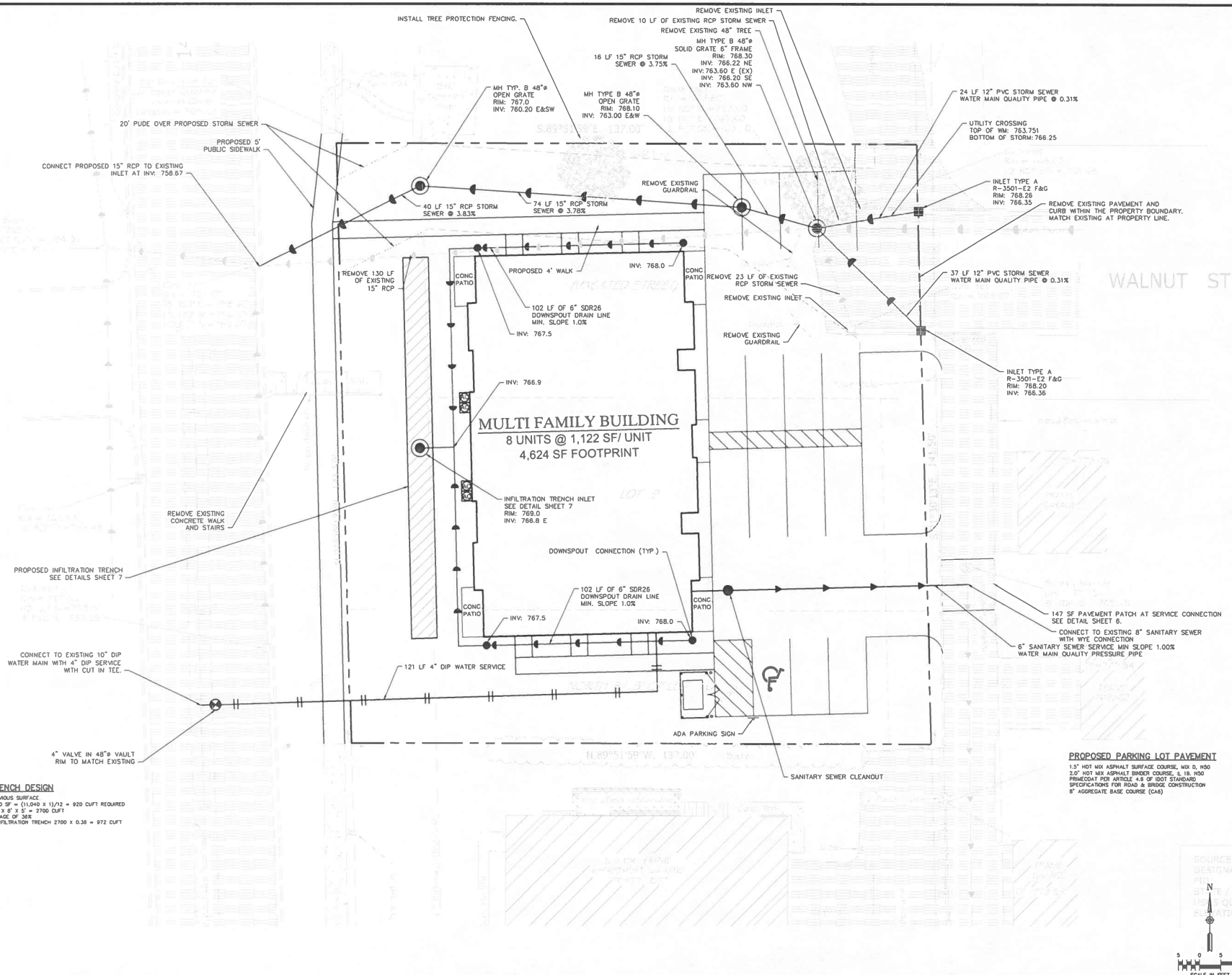
Job: 18-2775

Sheet

SP1

Of 1 Sheet


7/31/2023 2:36 PM G:\STANTON\FINAL\STEP PLAN.DWG



INFILTRATION TRENCH DESIGN
 11,040 SF OF NEW IMPERVIOUS SURFACE
 1" OF WATER OVER 11,040 SF = (11,040 x 1)/12 = 920 CUFT REQUIRED
 TRENCH DIMENSIONS: 87' x 8" x 2' = 2700 CUFT
 AVAILABLE VOID PERCENTAGE OF 36%
 AVAILABLE STORAGE IN INFILTRATION TRENCH 2700 x 0.36 = 972 CUFT

PROPOSED PARKING LOT PAVEMENT
 1.5" HOT MIX ASPHALT SURFACE COURSE, MIX 0, HSO
 2.0" HOT MIX ASPHALT BINDER COURSE, E 19, NSO
 PRICED OUT FOR ARTICLE 4.8 OF DOT STANDARD
 SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION
 8" AGGREGATE BASE COURSE (C-48)





SHEAFFER & ROLAND, INC.
 CONSULTING ENGINEERS
 811 STEVENS STREET
 GAITHERSBURG, MARYLAND 20878-1589
 TEL: 301-286-9895
 FAX: 301-286-9899
 WWW: WWW.SR-INC.COM

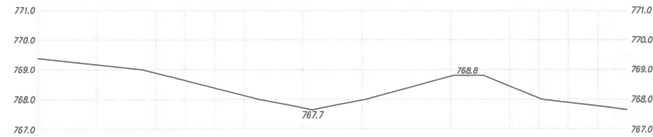
REVISIONS	
NO.	DESCRIPTION
1	DATE: 07/28/2023
2	24 HOUR PER CITY OF ST. CHARLES REVIEW
3	100% PER CITY OF ST. CHARLES REVIEW
4	ISSUED PER CITY OF ST. CHARLES
5	ISSUED OWNER INFORMATION

14TH STREET DEVELOPMENT
SITE IMPROVEMENTS
MULTIFAMILY DEVELOPMENT
LLJ DEVELOPMENT, LLC
 2400 BIG TIMBER ROAD, SUITE 105 A
 GAITHERSBURG, MD 20878

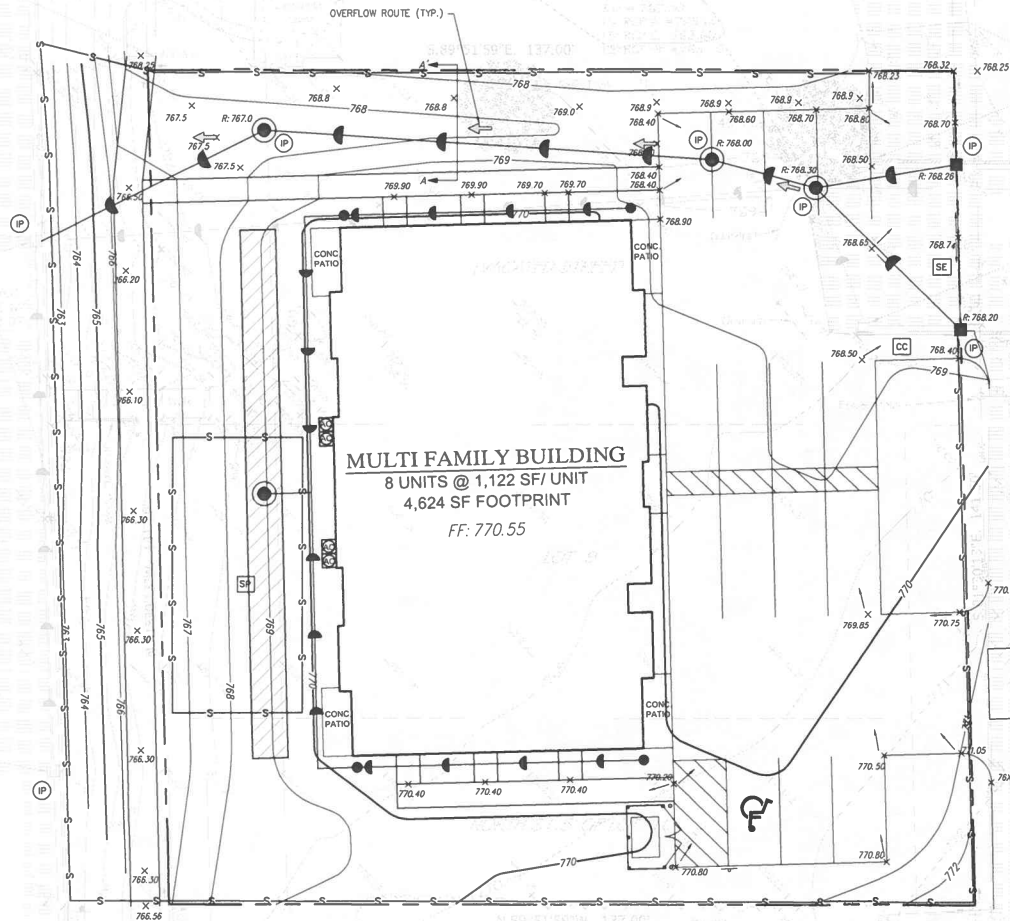
SITE PLAN

DATE:	14SEPT
PROJECT NO:	2018-085E
CAD:	SITEPLAN
SHEET:	3 of 7

7/31/2023 2:38 PM C:\STANTON\FINAL GRADING.DWG



SECTION A-A'



- LEGEND:**
- STOCK PILE
 - STABILIZED ENTRANCE
 - INLET PROTECTION (CATCH ALL BASKET)
 - CONCRETE CLEANOUT
 - SILT FENCE
 - STORM PIPES

BMP NOTES

1) ALL PONDS USED AS SEDIMENT BASINS SHALL BE CONSTRUCTED TO HOLD THE SPECIFIED SEDIMENT STORAGE AND BUILT IN ACCORDANCE WITH THE POND PIPE OUTLET DETAIL. ALL OTHER SEDIMENT BASINS SHALL BE CONSTRUCTED TO MEET THE REQUIREMENT OF THE SEDIMENT BASIN DETAIL. THE RETENTION VOLUME DESIGNED FOR EACH OF THE PONDS CONSISTS OF THE BOTTOM 1'5" OF THE POND BELOW THE OUTLET STRUCTURE. THIS VOLUME WILL BE USED FOR SEDIMENT STORAGE. DURING THE CONSTRUCTION PHASE OF THE PROJECT, THE SEDIMENT BASINS SHALL BE INSPECTED REGULARLY AND ONCE 50% OF THE PROPOSED STORAGE HAS BEEN REACHED THE SEDIMENT SHALL BE REMOVED AND APPROPRIATELY PLACED ON SITE. AT THE COMPLETION OF THE PROJECT AND ONCE PERMANENT VEGETATION IS ESTABLISHED THE BASINS SHALL EXCAVATED WHERE NECESSARY TO THE GRADES SHOWN ON THE PLANS AND THE APPROPRIATE PLANTING AND EROSION CONTROL INSTALLED.

- 2) STOCK PILES SHALL BE PROTECTED WITH A SILT FENCE AND IF LEFT FOR MORE THAN 7 DAYS THEY SHALL BE STABILIZED WITH SEEDING. IF THE STOCK PILE IS TOP SOIL USE SEED MIX 260 OR 270 OTHERWISE SEED MIX 250 IS ACCEPTABLE.
- 3) IN ALL AREAS OF COMPLETION, PERMANENT STABILIZATION SHALL OCCUR WITHIN 7 DAYS OF COMPLETION. AREAS TO BE LEFT IDLE FOR 14 DAYS OR MORE, TEMPORARY STABILIZATION SHALL BE IN PLACE THE 7TH DAY AFTER WORK HAS CEASED. TEMPORARY STOCK PILES TO BE STABILIZED AFTER 3 DAYS.
- 4) EROSION CONTROL BLANKETS AND/OR STRAW MULCH WITH NETTING SHALL BE INSTALLED PER DETAIL ON ALL SLOPES, DETENTION BASINS, BERMS, AND IN SWALES IMMEDIATELY UPON COMPLETION OF FINAL GRADING AND MAINTAINED UNTIL FINAL STABILIZATION HAS BEEN ACHIEVED.
- 5) WINTER SHUTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL.
- 6) NO WORK SHALL BE PERFORMED IN FLOWING WATER, WORK IN AND NEAR THE CRITICAL AREAS SHALL BE ISOLATED FROM CONCENTRATED FLOWS OR STREAM FLOW. ONCE WORK STARTED IN THESE AREAS THEY SHALL RECEIVE FIRST PRIORITY AND EMPHASIS GIVEN TO MINIMAL IMPACT AND TIMELY COMPLETION AND STABILIZATION.

IMPLEMENTATION:

PRIOR TO GRADING, SILT FENCE SHALL BE PUT UP SURROUNDING THE SITE AND WETLAND BUFFERS SHALL BE ESTABLISHED AND STABILIZED FOR ADDED PROTECTION.

ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER "X" RAINS.

ALL SEEDING ON SLOPES THAT ARE 4:1 OR GREATER SHALL HAVE EROSION BLANKETS OR MULCH.

SUITABLE MULCH INCLUDE AIR DRIED STRAW APPLIED EVENLY AT APPROXIMATELY TWO TONS PER ACRE, EXCELSIOR BLANKET, JUTE NETTING, OR A SIMILAR SYSTEM APPLIED ACCORDING TO MANUFACTURERS' SPECIFICATIONS, AND WOOD CELLULOSE FIBER MIXED WITH WATER AND APPLIED WITH HYDRO-SEEDER TO FORM A DENSE MAT AFTER DRYING.

DUST CONTROL MEASURES INCLUDE EROSION BLANKETS, ANCHORED MULCH, AND/OR WETTING DOWN THE SOIL.



SHEAFFER & ROLAND, INC.
CONSULTING ENGINEERS & SURVEYORS
801 STEVENS STREET
DENVER, COLORADO 80202-1359
TEL: (303) 736-8879
FAX: (303) 736-8879
E-MAIL: S&R@SRI-INC.COM

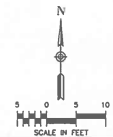
REVISIONS

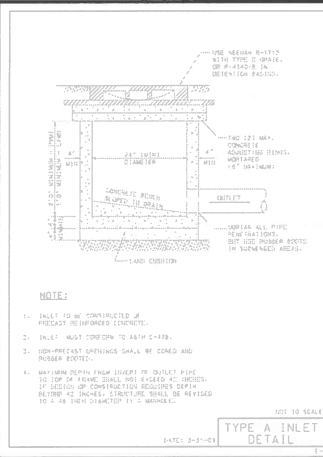
NO.	DATE	DESCRIPTION
1	7/27/23	PER CITY OF ST. CHARLES REVIEW
2	7/27/23	PER CITY OF ST. CHARLES REVIEW
3	7/27/23	PER CITY OF ST. CHARLES REVIEW
4	7/27/23	REVISED OWNER INFORMATION
5	7/27/23	REVISED OWNER INFORMATION

14TH STREET DEVELOPMENT
SITE IMPROVEMENTS
MULTIFAMILY DEVELOPMENT
444 DEVELOPMENT, LLC
2400 800 TIMBER ROAD, SUITE 105-A
DENVER, COLORADO 80202

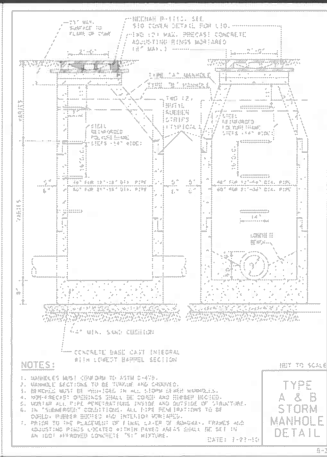


DATE: 14SEP23
PROJECT NO: 2018-085E
CAD: GRADING
SHEET: 4 of 7

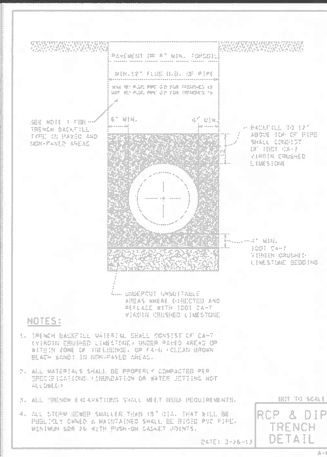




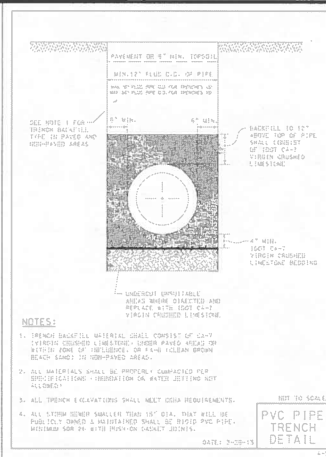
- NOTE:**
- INLET TO BE CONCRETE OR PRECAST (REINFORCED CONCRETE).
 - INLET MUST TAPER TO 5\"/>



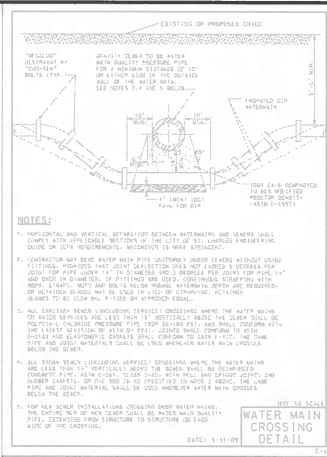
- NOTE:**
- MANHOLE MUST CONFORM TO STD 5-47.
 - MANHOLE LATCHING TO BE TOP AND CLOSED.
 - MANHOLE MUST BE REINFORCED WITH 1\"/>



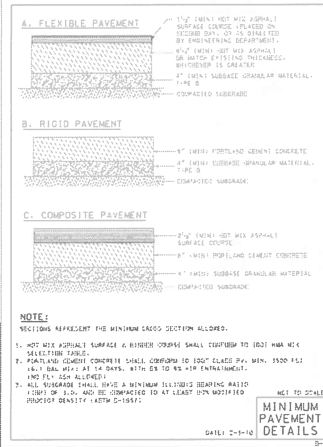
- NOTE:**
- TRENCH BASEFILL MATERIAL SHALL CONSIST OF 3\"/>



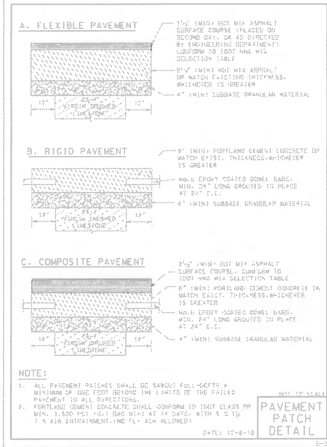
- NOTE:**
- TRENCH BASEFILL MATERIAL SHALL CONSIST OF 3\"/>



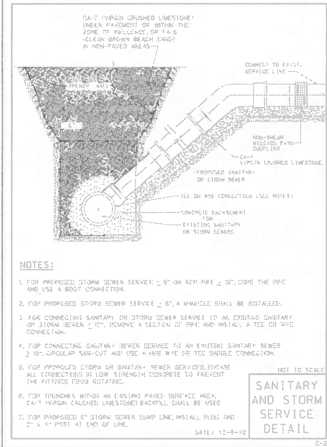
- NOTE:**
- INDUSTRIAL AND RESIDENTIAL SERVICES BETWEEN WATERMANS AND SEWERS SHALL COMPLY WITH ALL LOCAL REGULATIONS OF THE CITY OF ST. CHARLES REGARDING SOURCE OF SUCH REQUIREMENTS. RESOURCES IS WASTEWATER.
 - CONTRACTOR MUST KEEP SEWER PIPE CONTINUOUS UNDER WITHOUT STOPS UNLESS REQUIRED FOR JOINTS. JOINTS SHALL BE MADE WITH 3\"/>



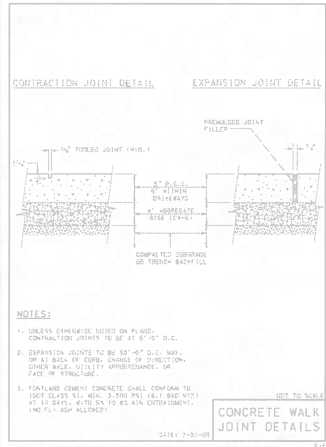
- NOTE:**
- NOT VISIBLE PAVEMENT TYPE SHALL BE DETERMINED BY THE ENGINEER.
 - MINIMUM PAVEMENT SHALL BE 4\"/>



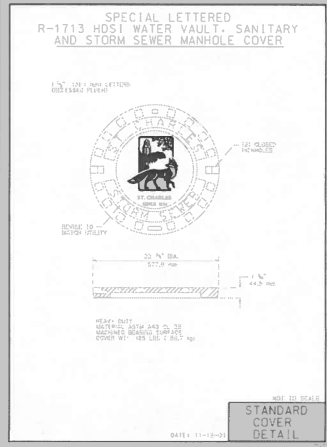
- NOTE:**
- ALL PAVEMENT PATCHES SHALL BE TIGHT FULL-DEPTH & MATCH WITH ADJACENT PAVEMENT TO ALL DIRECTIONS.
 - PAVEMENT PATCHES SHALL BE 4\"/>



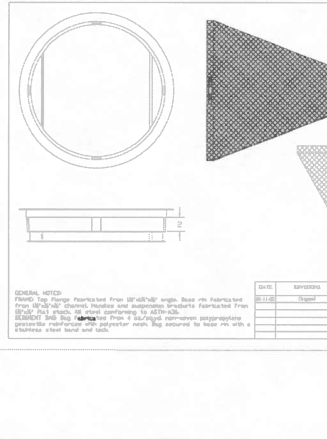
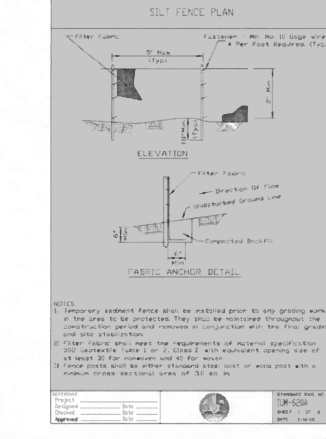
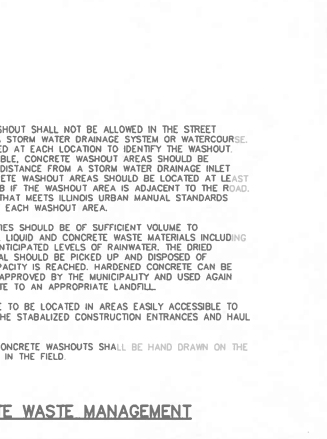
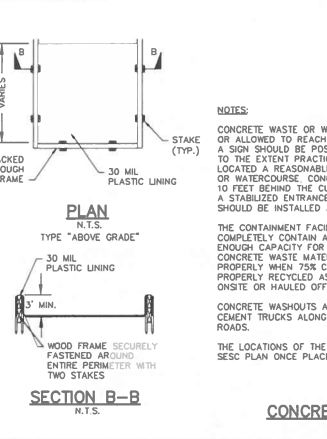
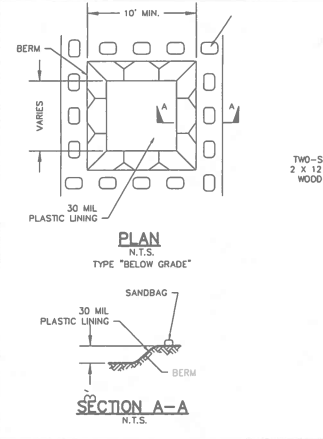
- NOTE:**
- FOR PROPOSED STORM SEWER SERVICE 18\"/>



- NOTE:**
- CONCRETE JOINTS SHALL BE 18\"/>



- NOTE:**
- COVER SHALL BE 18\"/>



SHEAFFER & ROLAND, INC.
CONSULTING ENGINEERS
81 STEVENS STREET
ST. CHARLES, MISSOURI 63304-1359
TEL: (630) 266-8800
FAX: (630) 266-8800
WWW: WWW.SHEAFFER-ROLAND.COM

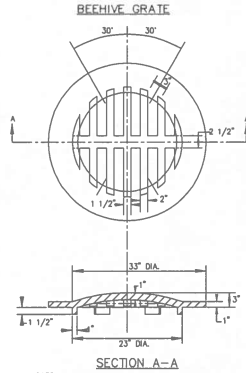
REVISIONS

DATE	BY	REVISION
03/14/23	SR	PER CITY OF ST. CHARLES REVIEW
03/14/23	SR	PER CITY OF ST. CHARLES REVIEW
03/14/23	SR	PER CITY OF ST. CHARLES REVIEW
03/14/23	SR	REVISED OWNER INFORMATION
03/14/23	SR	REVISED OWNER INFORMATION

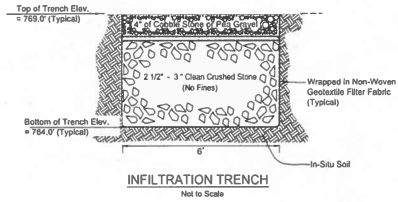
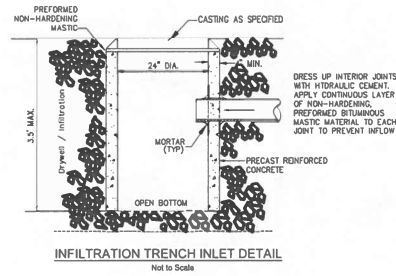
14TH STREET DEVELOPMENTS
SITE IMPROVEMENTS
MULTIFAMILY DEVELOPMENT
LUJ DEVELOPMENT, LLC
2400 BIG BARBER ROAD, SUITE 105 A
ST. CHARLES, MISSOURI 63304

MISCELLANEOUS DETAILS - 1

7/31/2023 2:37 PM G:\STANTON\FINAL\NOTES.DWG



- NOTES.**
- 1) THE CAST GRATE MAY BE MADE OF EITHER GRAY IRON OR DUCTILE IRON CONFORMING TO THE STANDARD SPECIFICATIONS.
 - 2) DUCTILE IRON CASTING SHALL BE GRADE 65-45-12.
 - 3) THIS TYPE OF GRATE SHALL BE USED IN GRADE AREAS.
 - 4) DIMENSIONS ARE COMPARABLE TO MEDIAN IN-3408 OR EAST ORION 8527 OR EQUAL, APPROVED BY THE CITY ENGINEER.
 - 5) ALL CASTING MUST BE SHOP PAINTED WITH AN ASPHALT BASE PAINT.



DATE:	14SEP18
PROJECT NO:	2018-085E
CAD:	NOTE
SHEET:	7

MISCELLANEOUS DETAILS - 2

14TH STREET IMPROVEMENTS
 MULTIFAMILY DEVELOPMENT
 ALLI DEVELOPMENT, LLC
 2400 BIG WILDER ROAD, SUITE 105 A
 CHICAGO, ILLINOIS 60641

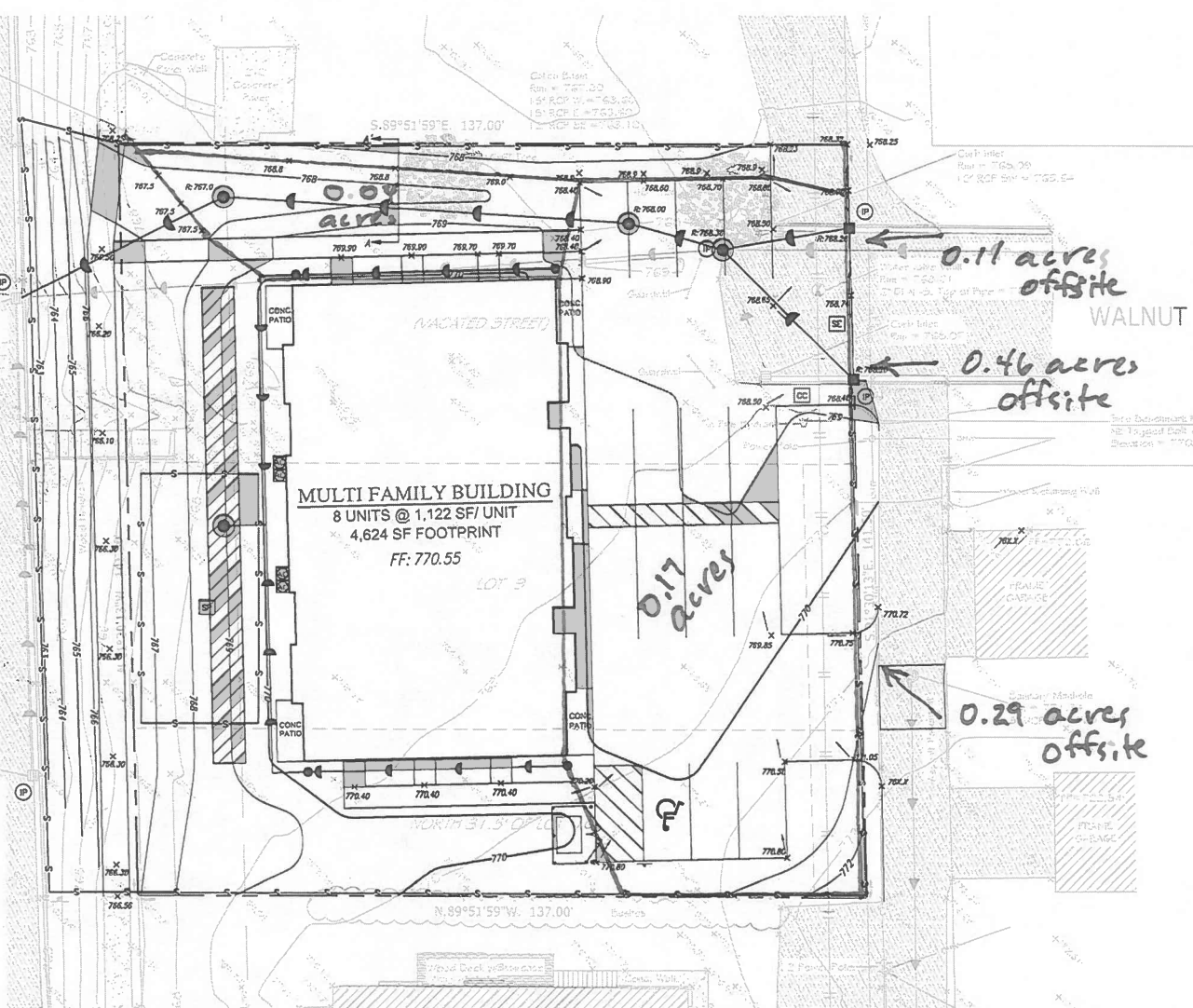
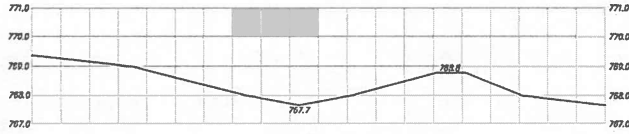
DATE	REVISIONS	BY
24.AUG18	PER CITY OF ST. CHARLES REVIEW	1
10.OCT18	PER CITY OF ST. CHARLES REVIEW	2
09.AUG18	PER CITY OF ST. CHARLES REVIEW	3
09.AUG18	PER CITY OF ST. CHARLES REVIEW	4
31.AUG18	REVISED OWNER INFORMATION	5

SHEAFFER & ROLAND, INC.
 CONSULTING ENGINEERS
 811 STEVENS STREET
 GENEVA, ILLINOIS 60134-1359
 (630) 206-8800 FAX (630) 206-8805
 WWW.SHEAFFER-ROLAND.COM



2/9/2020 2:48 PM C:\STANTON\14TH ST\MULTIFAMILY\14TH ST\MULTIFAMILY GRADING.DWG

- LEGEND:**
- STOCK PILE
 - STABILIZED ENTRANCE
 - INLET PROTECTION (CATCH ALL BASKET)
 - CONCRETE CLEANDOUT
 - SILT FENCE
 - STORM PIPES



- NOTES**
- 1) ALL PONDS USED AS SEDIMENT BASINS SHALL BE CONSTRUCTED TO HOLD THE SPECIFIED SEDIMENT STORAGE AND BUILT IN ACCORDANCE WITH THE POND PIPE OUTLET DETAIL. ALL OTHER SEDIMENT BASINS SHALL BE CONSTRUCTED TO MEET THE REQUIREMENT OF THE SEDIMENT BASIN DETAIL. THE RETENTION VOLUME DESIGNED FOR EACH OF THE PONDS CONSISTS OF THE BOTTOM 1.5' OF THE POND BELOW THE OUTLET STRUCTURE. THIS VOLUME WILL BE USED FOR SEDIMENT STORAGE. DURING THE CONSTRUCTION PHASE OF THE PROJECT, THE SEDIMENT BASINS SHALL BE INSPECTED REGULARLY AND ONCE SIX OF THE PROPOSED STORAGE HAS BEEN REACHED THE SEDIMENT SHALL BE REMOVED AND APPROPRIATELY PLACED ON SITE. AT THE COMPLETION OF THE PROJECT AND ONCE PERMANENT VEGETATION IS ESTABLISHED THE BASINS SHALL BE EXCAVATED WHERE NECESSARY TO THE GRADES SHOWN ON THE PLANS AND THE APPROPRIATE PLANTING AND EROSION CONTROL INSTALLED.
 - 2) STOCK PILES SHALL BE PROTECTED WITH A SILT FENCE AND IF LEFT FOR MORE THAN 7 DAYS THEY SHALL BE STABILIZED WITH SEEDING. IF THE STOCK PILE IS TOP SOIL USE SEED MIX 250 OR 270 OTHERWISE SEED MIX 250 IS ACCEPTABLE.
 - 3) IN ALL AREAS OF COMPLETION PERMANENT STABILIZATION SHALL OCCUR WITHIN 7 DAYS OF COMPLETION. AREAS TO BE LEFT IDLE FOR 14 DAYS OR MORE TEMPORARY STABILIZATION SHALL BE IN PLACE THE 7TH DAY AFTER WORK HAS CEASED. TEMPORARY STOCK PILES TO BE STABILIZED AFTER 3 DAYS.
 - 4) EROSION CONTROL BLANKETS AND/OR STRAW MULCH WITH NETTING SHALL BE INSTALLED FOR DETAIL ON ALL SLOPES, SEDIMENT BASINS, AND IN SWALES IMMEDIATELY UPON COMPLETION OF FINAL GRADING AND MAINTAINED UNTIL FINAL STABILIZATION HAS BEEN ACHIEVED.
 - 5) WATER SHUTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL.
 - 6) NO WORK SHALL BE PERFORMED IN FLOWING WATER, WORK IN AND NEAR THE CRITICAL AREAS SHALL BE ISOLATED FROM CONCENTRATED FLOWS OR STREAM FLOW. ONCE WORK STARTED IN THESE AREAS THEY SHALL RECEIVE FIRST PRIORITY AND EMPHASIS GIVEN TO MINIMAL IMPACT AND TIMELY COMPLETION AND STABILIZATION.

IMPLEMENTATION:
 PRIOR TO GRADING, SILT FENCE SHALL BE PUT UP SURROUNDING THE SITE AND WETLAND BUFFERS SHALL BE ESTABLISHED AND STABILIZED FOR ADDED PROTECTION.
 ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER "X" RAINS.
 ALL SEEDING ON SLOPES THAT ARE 4:1 OR GREATER SHALL HAVE EROSION BLANKETS OR MULCH.
 SUITABLE MULCH INCLUDE AIR DRIED STRAW APPLIED EVENLY AT APPROXIMATELY TWO TONS PER ACRE, EXCESSOR BLANKET, JUTE NETTING, OR A SIMILAR SYSTEM APPLIED ACCORDING TO MANUFACTURERS SPECIFICATIONS, AND WOOD CELLULOSE FIBER MIXED WITH WATER AND APPLIED WITH HYDRO-SEEDER TO FORM A DENSE MAT AFTER DRYING.
 BEST CONTROL MEASURES INCLUDE EROSION BLANKETS, ANCHORED MULCH, AND/OR NETTING DOWN THE SOIL.

Offsite Area

0.11
 0.46
 + 0.29

 0.86 acres

Trib to overflow

0.86
 + 0.17

 1.03 acres



SHEAFFER & ROLAND, INC.
 CONSULTING ENGINEERS & SURVEYORS
 811 STOCK STREET
 CHEVA, ILLINOIS 60514-1340
 (630) 296-9797 fax: (630) 296-4833
 LICENSE NUMBER FOR LICENSE NO. 04-000007 (66-000009)

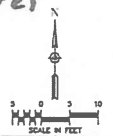
DATE	REVISIONS	BY	CHKD
11/11/19	REVISED PER ST. CHARLES REVIEW	1	1
11/11/19	REVISED PER ST. CHARLES REVIEW	1	1
11/11/19	REVISED PER ST. CHARLES REVIEW	1	1

**14TH STREET DEVELOPMENT
 SITE IMPROVEMENTS
 MULTIFAMILY DEVELOPMENT**

KEVIN STANTON
 97 EAST RICHAUD DRIVE
 CHEVA, IL 60514

GRADING PLAN

DATE	14SEP18
PROJECT NO.	2018-085E
CAD	GRADING
SHEET	4 OF 7

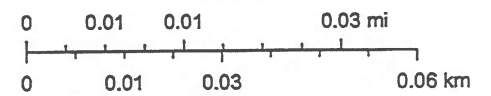


Offsite Tributary Area



October 18, 2019

1:1,500



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus

These layers do not represent a survey. No Accuracy is assumed for the data records, including plats, surveys, recorded deeds, and contracts, and only contains information required for local government purposes. See the recorded documents for more detailed legal information.

Hydrology Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

Monday, Mar 2 2020

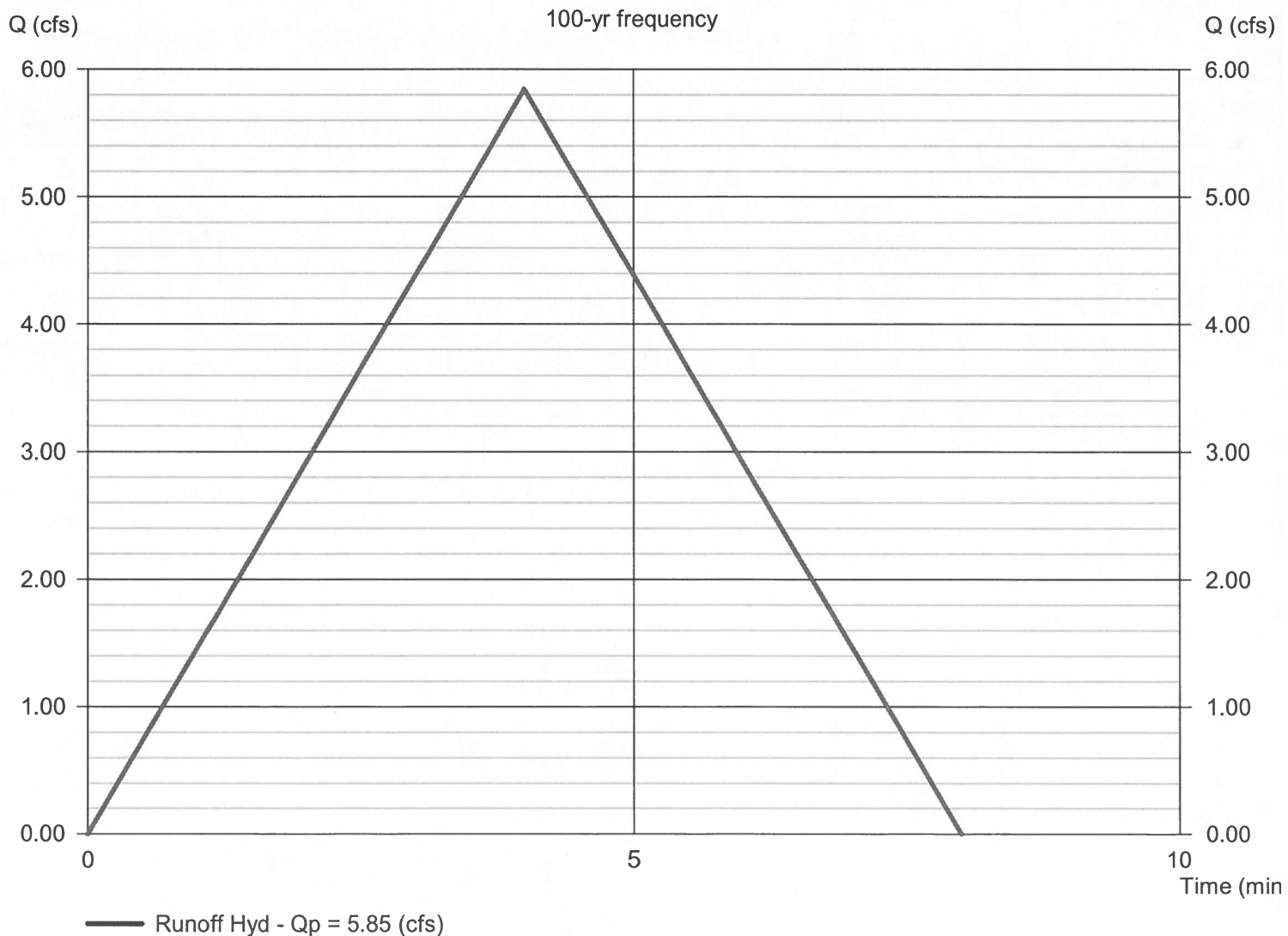
Area Tributary to Overflow

Hydrograph type = Rational
Storm frequency (yrs) = 100
Drainage area (ac) = 1.030
Rainfall Inten (in/hr) = 11.350
IDF Curve = B70.IDF

Peak discharge (cfs) = 5.845
Time interval (min) = 1
Runoff coeff. (C) = 0.5
Tc by TR55 (min) = 4
Rec limb factor = 1.00

Hydrograph Volume = 1,403 (cuft); 0.032 (acft)

Runoff Hydrograph



TR55 Tc Worksheet

Hydraflow Express by Intelisolve

Rational

Area Tributary to Overflow

<u>Description</u>	<u>A</u>		<u>B</u>		<u>C</u>		<u>Totals</u>	
Sheet Flow								
Manning's n-value	= 0.011		0.011		0.011			
Flow length (ft)	= 30.0		0.0		0.0			
Two-year 24-hr precip. ((in))	= 3.04		0.00		0.00			
Land slope (%)	= 1.50		0.00		0.00			
Travel Time (min)	= 0.53	+	0.00	+	0.00	=	0.53	
Shallow Concentrated Flow								
Flow length (ft)	= 445.00		0.00		0.00			
Watercourse slope (%)	= 1.34		0.00		0.00			
Surface description	= Paved		Paved		Paved			
Average velocity (ft/s)	= 2.35		0.00		0.00			
Travel Time (min)	= 3.15	+	0.00	+	0.00	=	3.15	
Channel Flow								
X sectional flow area ((sqft))	= 0.00		0.00		0.00			
Wetted perimeter ((ft))	= 0.00		0.00		0.00			
Channel slope (%)	= 0.00		0.00		0.00			
Manning's n-value	= 0.015		0.015		0.015			
Velocity (ft/s)	= 0.00		0.00		0.00			
Flow length (ft)	= 0.0		0.0		0.0			
Travel Time (min)	= 0	+	0	+	0	=	0.00	
Total Travel Time, Tc							=	4.00 min

Weir Report

Overflow West of Manhole NW Corner of Parking Lot Bottom Elevation 768.40

Trapezoidal Weir

Crest = Sharp
Bottom Length (ft) = 13.00
Total Depth (ft) = 0.40
Side Slope (z:1) = 3.00

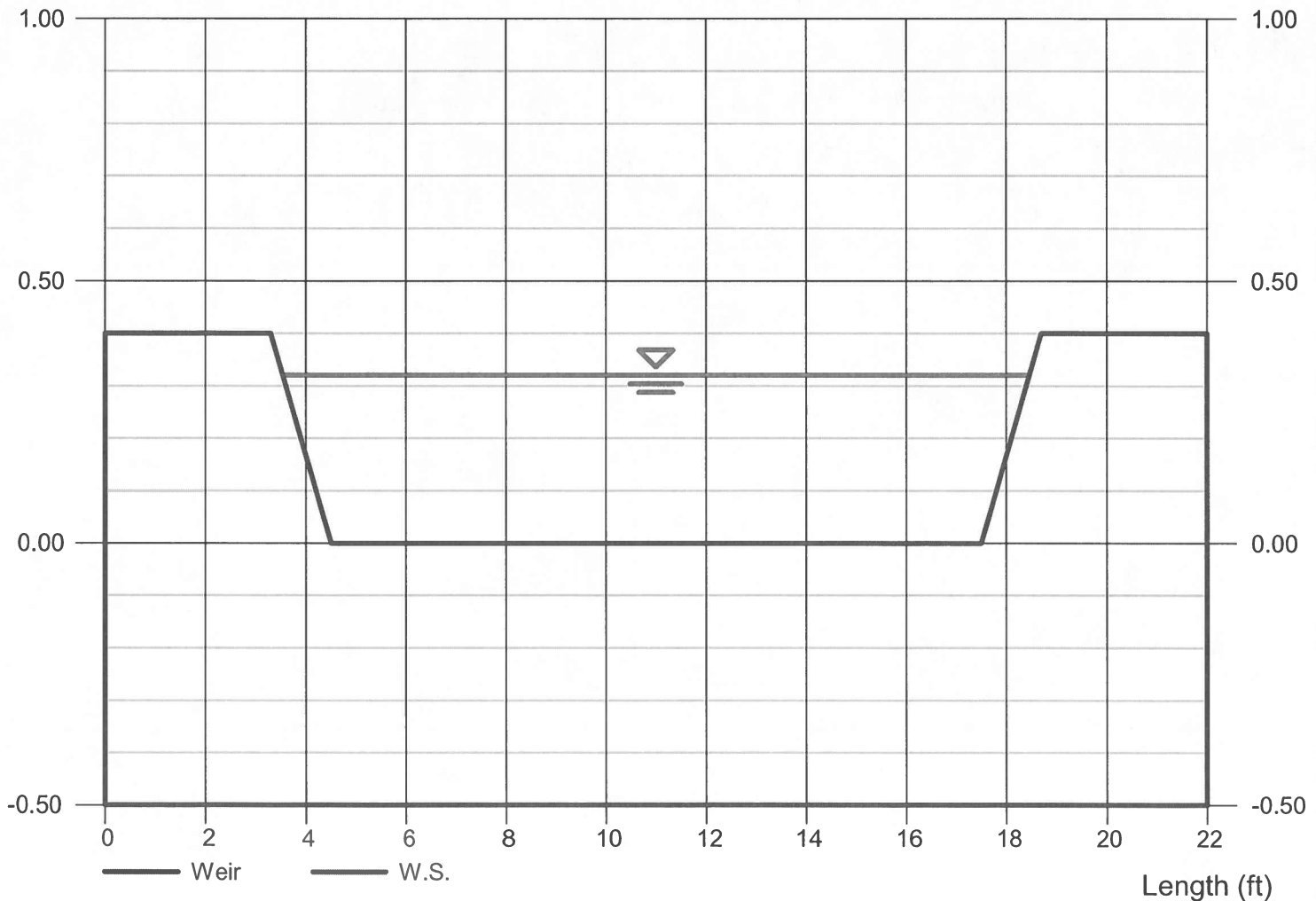
Highlighted

Depth (ft) = 0.32
Q (cfs) = 6.530
Area (sqft) = 4.47
Velocity (ft/s) = 1.46
Top Width (ft) = 14.92

Calculations

Weir Coeff. Cw = 2.62
Compute by: Q vs Depth
No. Increments = 10

Depth (ft) **Overflow West of Manhole NW Corner of Parking Lot Bottom Elevation 768.40** Depth



Channel Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

Monday, Mar 2 2020

Swale North of Building

User-defined

Invert Elev (ft) = 767.70
Slope (%) = 2.00
N-Value = 0.027

Highlighted

Depth (ft) = 1.10
Q (cfs) = 32.42
Area (sqft) = 5.92
Velocity (ft/s) = 5.48
Wetted Perim (ft) = 10.04
Crit Depth, Yc (ft) = 1.21
Top Width (ft) = 9.79
EGL (ft) = 1.57

Calculations

Compute by: Known Depth
Known Depth (ft) = 1.10

(Sta, El, n)-(Sta, El, n)...

(0.00, 769.35)-(3.53, 769.00, 0.027)-(7.54, 768.00, 0.027)-(9.32, 767.70, 0.027)-(11.18, 768.00, 0.027)-(14.12, 768.80, 0.027)

