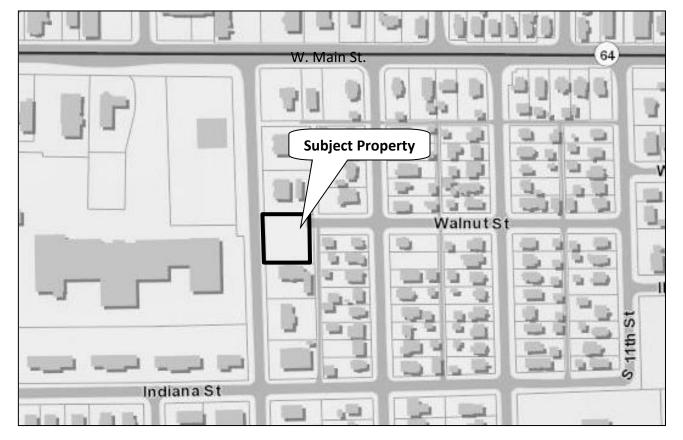
ST. CHARLES ZONING BOARD OF APPEALS

| VARIATION #: | V-3-2023 |
|--------------------|--|
| LOCATION: | VACANT LOT ON S. 14^{TH} St. |
| Requested Action: | Zoning Variation to reduce the landscape buffer yard along the east property line from 30 ft. to 14 ft. $7\frac{1}{2}$ in. along the north and south portions of the parking lot and from 30 ft. to 16 ft. $7\frac{1}{2}$ in. along the middle portion of the parking lot (as shown on the attached site plan). |
| Purpose and Scope: | The applicant is proposing to construct an eight-unit apartment building on the property. A 30 ft. landscape buffer yard is required along the east property line. The applicant is requesting a Variation to reduce the landscape buffer yard to allow construction of a parking lot up to 14 ft. $7\frac{1}{2}$ in. from the east property line. |
| | A similar Variation was granted by the Zoning Board of Appeals in 2012 and 2018. Approval of that Variation expired because the parking lot was not constructed within one year of approval. |
| Existing Land Use: | Vacant |
| Existing Zoning: | RM-3 General Residential District |



Zoning Board of Appeals CITY OF ST. CHARLES TWO EAST MAIN STREET ST. CHARLES, ILLINOIS 60174-1984



V-3-2023 PLVAR202300120

| FOR OFFICE USE Received | |
|----------------------------|---|
| File # | _ |
| Fee Paid \$ | _ |
| Receipt | |

APPLICATION FOR A VARIATION

PLEASE PRINT AND PROVIDE ALL INFORMATION AS REQUESTED.

APPLICANT & OWNER:

| Name of A | | | Mark Pro | opert | ies, | LLC | | | | | | |
|--------------|------------------|-------------|-----------|--------|-------|----------|--------|--------|------|---------|-----|---------|
| Phone 6 | 30-779-9295 | | | | | Email | Addres | s Just | in@n | orthma | rkh | omes.co |
| Address/C | ity/State/Zip_ | 36w538 | Michael | Ct. S | st. c | harles, | IL 60 | 175 | | | | |
| Applicant' | s interest in th | e propert | y Under (| Contra | act | | | | | | | |
| Name and | Phone of Own | ner(s) of | Record*V | icki : | Stato | n, Exec | utor, | estate | of | Kevin : | J. | Staton |
| Inallic allu | r none of Owl | 161(5) 01 1 | Kecola. | ICKI . | Statu | II, EXEC | utor, | estate | 01 | Kevin . | J. | Stat |

Applicant is (check one) _____ Attorney ___ Agent ____ Owner ____ Other: Contract Purchaser Owner acquired the property on (date):

ADDRESS, USE & ZONING OF PROPERTY:

Address of Property (attach legal description) 20 s. 14th Street, Vacant Lot Present Use (commercial, industrial, residential, etc.) Vacant Zoning District <u>RM-3</u> To your knowledge, have any previous applications for variations been filed in connection with this property? Yes

If YES, provide relevant information Variation application was approved in 2018 and expired 12 months

ACTION BY APPLICANT ON PROPERTY:

Permit applied for and denied? (yes or no) <u>No</u> An Appeal was made with respect to this property? (yes or no) <u>No</u> Appeal Application File Number <u>N/A</u> Appeal approved? (yes or no) <u>N/A</u> Appeal Application accompanies this request for variation? (yes or no) <u>N/A</u>

*In the event that the applicant or owner is a trustee of a land trust or beneficiary of a land trust, a statement identifying each beneficiary by name and address of such land trust and defining his/her interest therein must be attached hereto. Such statement shall be verified by the trustee of such trust.

REASON FOR REQUEST:

A. Variation requested (state specific measurements): Reduce the landscape buffer yard to allow for construction of a parking lot up to 14' 7.5" to the North, and 16' 7.5" to the <u>south</u>. Reduced by 15' 4.5" to the north and 13' 4.5" to the south. In the middle

South

- B. Reason for request: The variation approval in 2018 has expired and a new variation application required to provide adequate parking for the residents.
- C. Purpose for which property will be used: Used for an 8-unit apartment building

CRITERIA FOR VARIATION:

The Board of Zoning Appeals may approve a Variation only when it makes written findings with respect to each requested Variation, based upon the evidence presented at the public hearing, that strict compliance with the regulations and standards of the Zoning Ordinance would create practical difficulties or particular hardships for the subject property, and the requested Variation is consistent with the stated purposes and intent of the Zoning Ordinance.

In making its determination of whether practical difficulties or particular hardships exist, the Board of Zoning Appeals must take into consideration the extent to which evidence has been submitted substantiating the criteria have been met.

Provide a response under each item to substantiate that the requested variation meets the criteria:

1. Do the particular physical surroundings, shape or topographical condition of the specific property involved result in a practical difficulty or particular hardship to the property owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out? (Explain)

Due to the shape of the property, it does not allow for the building and parking lot to be constructed with the current required setbacks and landscape buffer.

2. Are the conditions upon which the petition for a Variation is based applicable, generally, to other property within the same zoning classification? (Explain)

Yes, the properties to the north & south of the subject property do not have the prescribed landscape buffer

3. Is the purpose of the Variation based exclusively upon a desire to make more money out of the property? (Explain)

No, the property was intended to be built a long time ago and current restrictions have since been placed on the property not allowing the development to proceed.

4. Has the alleged practical difficulty or particular hardship been created by any person presently having an interest in the property? (Explain)

No, not to my knowledge.

5. Will the Variation, if granted, alter the essential character of the neighborhood? (Explain)

No, it will match the existing buildings to the North & South.

6. Will granting of the Variation be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located? (Explain)

No, the variance will not be noticeable to the general public.

7. Will the proposed Variation impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood? (Explain)

No, the newer property will enhance the property values surrounding the subject property.

ATTACHMENTS REQUIRED:

- A. <u>PLAT OF SURVEY</u>: One (1) copy of a plat of survey (to scale) of the property showing dimensions of all lot lines, existing and proposed structures and distances from lot lines, easements and adjoining streets or uses.
- B. <u>MAILING LIST:</u> A written certified list (form attached) containing the registered owners, their mailing and tax parcel numbers as recorded in the Office of the Recorder of Deeds in the county in which the property is located and as appears from the authentic tax records of such county, of all property within 250 feet in each direction of the location for which the variation is requested, provided all the number of feet occupied by all public roads, streets, alleys and other public ways shall be excluded in computing the 250 feet requirement. Registered owner information may be obtained at the St Charles Township Assessor's office, 1725 Dean St., St. Charles, (630) 584-2040. The Kane County Recorder of Deeds is located in the Kane County Government Center, 719 Batavia Ave., Geneva, and (630) 232-5935. The DuPage County Recorder of Deeds is located in the DuPage County Government Center, 421 N. County Farm Rd., Wheaton, and (630) 682-7200.
- C. <u>FILING FEE:</u> Filing fee in the amount of **\$300.00** must be rendered at the time the application is submitted. If payment is made by check, it should be made payable to the City of St. Charles.
- D. <u>REIMBURSEMENT OF FEES AGREEMENT:</u> An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning

Ordinance. By signing this Agreement, the applicant agrees to reimburse the City all costs incurred during review of the application, including but not limited to: the cost of the newspaper notice publication; certified mailing to surrounding property owners; Court Reporter at the public hearing(s); and City staff time spent on review and administration of the application.

The total cost of an application typically amounts to approximately \$1,000. However, the cost of each application varies depending on the following:

- Location of the property, due to the number of surrounding property owners and resulting number of certified letters that will be sent.
- Length of the newspaper notice publication which is based on the legal description of the ... property.
- Length and number of public hearings, which effect the cost of the Court Reporter. Note that if not all Board members are in attendance at the meeting, the applicant may request a continuation of the public hearing in the interest of having more Board members in attendance at a later meeting. If the public hearing is continued, at the request of the applicant or otherwise, the applicant is responsible for the cost of the Court Reporter at the additional public hearing(s).
- Amount of City staff time spent on review and administration of the application.
- E. REIMBURSEMENT OF FEES INITIAL DEPOST: Deposit of funds in escrow with the City. For properties less than 5 acres, a deposit in the amount of \$1,000 is needed. For larger properties, see the table in the Reimbursement of Fees Agreement. These funds will be used to reimburse the City for all costs incurred during review of the application, per the Reimbursement of Fees Agreement. The applicant may need to provide additional funds to cover costs.
- F. LETTER OF AUTHORIZATION: Letter of authorization from the property owner as to the request for the zoning variation must be included, if the applicant is not the property owner.
- G. DISCLOSURE: Disclosure of beneficiaries of a land trust must be included, if the applicant or owner is a land trust.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Signature of Applicant or agent

e-signature ID: a93bf79a26 Signature of owner

<u>Jeff Pelock</u> Print name of applicant/agent

6/1/2023

Vicki Lynn Staton Print name of owner

Jul 12, 2023 Date

Vicinity Map

ALTA/NSPS LAND TITLE SURVEY

LOT 9 AND THE NORTH 31.5 FEET OF LOT 10 IN BLOCK 3 OF EVERGREEN ADDITION TO ST. CHARLES, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS, AND ALSO THAT PART OF WALNUT STREET AS SHOWN ON THE PLAT OF EVERGREEN ADDITION TO ST. CHARLES, ILLINOIS, DESCRIBED AS FOLOWS: BEGINNING AT THE SOUTHEASTRENLY CORNER OF LOT 10 OF BLOCK 2 OF EVERGREEN ADDITION TO ST. CHARLES, ITHONE STERLY CORNER OF LOT 10; THENCE 60 FEET SOUTHERLY TO THE NORTHWESTERLY CORNER OF LOT 10; THENCE 60 FEET SOUTHERLY TO THE NORTHWESTERLY CORNER OF LOT 10; THENCE 60 FEET SOUTHERLY TO CHARLES; THENCE 137 FEET EASTERLY TO THE NORTHEASTERLY CORNER OF LOT 9; THENCE 60 FEET NORTHERLY TO THE POINT OF BEGINNING. IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 20 SOUTH FOURTEENTH STREET, ST. CHARLES, ILLINOIS.

P.I.N.# 09-33-128-026



-Subject Property

mm = curb inlet ■ = curb initit
● = catch basin
_____ = sign
∅ = utility pole
⑤ = storm manhole -----= guardrall wm--= overhead wires = concrete

LAND

IG C. POKORNY 035-883818

YORKVILLE, OF ILL MO

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. 2023.

Ca

14th July

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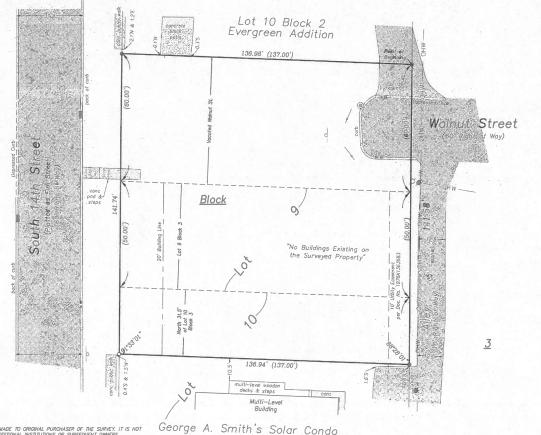
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALT AVISYS LAND TITLE SURVEYS, JOINTLY ESTABUSHED AND ADOPTED BY ALTA AND NSPS, AND NULUPES ITEMS 1, 2, 4, 8, MON 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 09, 2023.

TO: NORTH MARK PROPERTIES, LLC AND CHICAGO TITLE INSURANCE COMPANY;

DATED AT YORKVILLE, ILLINOIS ON .

ERIC C. POKORNY ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3818

Legend



SURVEYOR'S NOTES:

1. DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

2. THE LOCATION AND/OR EXISTENCE OF UTILITY SERVICE LINES TO THE PROPERTY SURVEYED ARE UNKNOWN AND ARE NOT SHOWN.

3. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS SURVEY TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY OR MUNICIPAL/PUBLIC SERVICE FACULTY. FOR INFORMATION REACHDING THESE UTILITIES OR FACULTIES, PLEASE CONTACT THE APPROPRIATE AGENCIES.

4. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SUPEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FAOLITES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.

5. THE LOCATIONS OF UNDERGROUND UTUITES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAMMICS PROVIDED THE SURVEYOR LOCATIONS OF UNDERGROUND UTUITES/ STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURED UTUITES/ STRUCTURES MAY VARY FROM LOCATIONS HOWN HEREON. ADDITIONAL BURED UTUITES/ STRUCTURES OF THIS SURVEY TO LOCATION DO EXCANTONS WERE HADE DURING THE PROGRESS OF THIS SURVEY TO LOCATION BURIED UTUITES/STRUCTURES. BEFORE EXCANTIONS ARE BEGUN. THE FOLLOWING OFFICES SHOULD BE CONTACTOR VERTICATIONS AND UTUITY THE AND FOR PELID LOCATIONS: TELEPHONE, ELECTRIC, WATER, SEVER, STREM, AND CABLE T.V.

THIS IS AN ALTA/ACSM SURVEY. IT IS NOT INTENDED TO BE USED AS THE BASIS FOR ENGINEERING/STRUCTURAL DESIGN.

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR. ALL INFORMATION REGARDING REGORD EASEMENTS, ADJOINERS, AND OTHER DOCUMENTS WHICH MIGHT AFFECT THE QUALITY OF TITLE TO THACT SHOWN REFERON WAS GAINED FROM TITLE COMMITMENT NO. 33GN04700376V PREPARED BY CHICAGO TITLE WISHARKE COMMITMENT NO. 33GN04700376V PREPARED BY CHICAGO TITLE WISHARKE COMMITMENT NO. 33GN04700376V PREPARED BY CHICAGO TITLE 2023.



SURVEY. ITEM 16 - NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING

TABLE A – OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS: ITEM 1 - MONUMENTS FOUND/SET AS SHOWN ON THEM 1 - MUNUMENTS FUDRUSSEL AS SHOWN ON THEM 20 PROPERTY ADDRESS AS SHOWN ON SURVEY. THEM 4 - GROSS LAND AREA = 19,93.8 SQUARE FEET - 0.43 AGRES, MORE OF LESS. THEM δ - ONLY OBSERVED FEATURES AS SHOWN ON

Authorization Letter

Owner: Vicki Staton

Date 7 / 14 / 2023

To whom it may concern:

RE: approximately 1 +/- acres of land located in St. Charles, IL commonly known as 20 S. 14th Street. Whose legal description and address is noted in exhibit A.

Please accept this letter as our authorization to allow North Mark Properties LLC and our company employees, consultants and / or their assigns to serve as agents in my behalf on matters relating to establishing the zoning, land use and related real estate development approvals for the intended residential development including any related facilities and utilities to serve the above caption property. Such development approval shall include, but not be limited to, any governing municipality, County, state, or any other governing agency having jurisdiction or control over the property or deemed necessary to permit the development of the property.

Thank you for your consideration in this matter.

Sincerely yours

Vicki Staton SignNow e-signature ID: ab3990393d... 07/14/2023 21:29:33 UTC

Date Jul 14, 2023

By: Vicki Lynn Staton, as Executor of the Estate of Kevin J. Staton

14th STREET DEVELOPMENT ST. CHARLES IL SITE IMPROVEMENTS **PROPOSED BUILDING**

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PROJECT LOCATION MAP

OWNER: JUJ DEVELOPMENT, LLC. 2400 BIG TIMBER ROAD, SUITE 105 A ELGIN, ILLINOIS 60124

SHEAFFER & ROLAND, INC. 611 STEVENS STREET GENEVA, ILLINOIS 60134 TEL. (630) 208-9898 ENGINEER:

LOCATION: THON RE SECTION 33 TOTAL ACERAGE: 0.45 ACRES EXISTING ZONING RM-3 GENERAL

> BENCHMARKS Northwest Tag Bolt of Hydrant located on the north side of Indiano Street, between 13th and 14th Streets. Elevation=772.17 U.S.G.S./City Datum

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| 1 | | COVER SHEET & DRAWING INDEX |
| 2 | | General Notes |
| 3 | | SITE PLAN |
| .4 | | GRADING PLAN |
| 5 | | GEOMETRY PLAN |
| 6 | | MISCELLANEOUS DETAILS - 1 |
| 7 | | MISCELLANEOUS DETAILS - 2 |

NOTES: ANY REVISIONS TO THE STAMPED APPROVED FINAL ENGINEERING PLANS MUST BE REVIEWED AND APPROVED BEFORE ANY WORK IS COMPLETED REGARDING THE REVISED ITEM.

2. ALL REVISED ITEMS MUST BE ACCOUNTED FOR IN THE RECORD

GENERAL:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE O.S.H.A. STANDARDS AND REQUIREMENTS.

ALL GRADING, STREET, AND STORM SEWER CONSTRUCTION WITHIN THE LIMITS OF THE PROJECT SHALL BE DONE IN ACCORDINCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION BY LIANCES (10.0.1), AS ADOPTID APRIL 1, 2016, NO. ALL SUPPLIAINTS, ADDENDA, AND REYMONS THEFETO, AND STANDARD SPECIFICATIONS FOR SOLIE RESOLAND SEMILATION CONTROL," AND WITH THESE SITE IMPROVEMENT SPECIFICATIONS.

ALL WATER, SANITARY SCHER, AND STORM SCHER MAN CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT SHALL BE DOLE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SCHER MAIN CONSTRUCTION IN ALLOSS (W.S.K.C.). DATED ARY 2014 7TH EDITION, AND ALL SCHERLIGHT, ADDRIDA, MOR REVISION'S THERE TO, AND WITH THESE SITE WIRPOYEDENT

4. THE CONTRACTOR SHALL BE RESPONSELE FOR VERIFING ALL QUANTITIES AS INDICATED ON THE EXEMPTING DRAMMES. THE QUANTIES INDUCATED ARE FOR BIDDAR PURPOSES ONLY AND SHALL BE VORTED. ANY TO DECREMANCE SHALL BE REPORTED TO THE DE DORTER. THE CONTRACTOR SHALL BE RESPONSELE FOR EXAMPLE ALL STE CONTINUE FINOR TO COMMENSION OF ONSTRUCTION AND SHALL COMPARE THE STE CONTINUES TO THOSE MOLITION OF THE DORTERIO RAMMESS.

5. THE CONTRACTOR SMALL BE RESPONSIBLE FOR ORTHANCE ALL REGISTER TRADITS FOR TO THE DOWNLE AND ADDRESS AND THE RESPONSIBLE FOR THE DOWNLE AND THE DOWNLE TOR THE PROPER BLACKS, SOBRIG, AND DIFFE FOR MERT PROTECTION OF ALL MACE AND CONTRACTOR BLACKS, SOBRIG, AND DIFFE FOR MERT PROTECTION OF ALL MACE AND CONTRACTOR BLACKS, SOBRIG, AND DIFFE FOR MERT PROTECTION OF ALL MACE AND CONTRACTOR BLACKS, SOBRIG, AND DIFFE FOR MERT PROTECTION OF ALL MACE AND THE DOWNLE AND THE DOWNLE AND ADDRESS AND THE DOWNLE RESPONSESS FOR PROTECTION OF ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS TO PROVE AND PROTECTION OF AND ADDRESS A RRANGEMENTS

6. THE CONTRACTOR SHALL CONTACT ALL PUBLIC AND PRIVATE UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION. COST OF REPLACEMENT AND REPAR OF EXISTING UTILITIES DAMAGED AS A RESULT OF CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESP. CONTRACTOR SHALL CALL "JULLE." (1-800-892-0123), AND NOTIFY CITY OF ST. CHARLES.

8. F UNMAPPED AGRICULTURAL DRAIN TILES ARE ENCOUNTERED DURING CONSTRUCTION, THE SZE, TYPE OF MATERIAL PERCENT OF FLOW, SILTATION COMPTION, DEPTH, INVERT ELEVATION, AND LOCATION SHALL BE, DETERMINED AND REPORTED DIMEDIATELY TO THE ENGENEET INFO SMALL DECORE UPON THE ACTION TO BE TAKEN

BEFORE APPROVAL BY THE OWNER AND FINAL PAYMENT, ALL WORK WILL BE INSPECTED BY THE OWNER OR INS REPRESENTATIVE. TINAL PAYMENT WILL BE MADE AFTER ALL OF THE CONTRACTOR'S WORK HAS BEEN APPROVED AND CERTIFIE COMPLET.

10. EXISTING UTILITY INFORMATION COMPILED FROM FIELD SURVEYS AND EXISTING CITY MAPS AND AS RUIL TS

RECORD_DRAWINGS:

A RECORD OF THE LOCATION OF ALL FIELD THE OR DRAIN FIPE DACOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND SHALL BE TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT.

THE CONTRACTOR SMALL PROVIDE LEVATION AND NORTHING-EASTING COORDINATES FOR THE PREPARATION OF RECORD DRAWINGS INCLUDING ALL INVERT AND RIM COORDINATES FOR ALL INVES. TESS, STUBS, BUTCH DRUSS, BUTCH, SMARDLS, TALVERTS, VALV, MALLS, TIRE HYDRANTS, CASING PRES, UILTY SELVES, MOS STREET LIGHTS SWIMEN IN THE DRAWINGS.

3. THE CONTRACTOR SHALL REFERENCE THE LOCATION OF ALL BUFFALO BOXES AND ALL SANTARY SERVICE WES, TELS, AND STUBS TIMES BY MEASUREMENTS TO LOT CORRERS OR BY MEASUREMENT TO THE MEAREST DOMINISTIKAM MANINGL OR VALVE VALIT. THE INFORMATION SHALL BE FURNISHED TO THE EVALUATER WITH THE RECORD ORAMINES.

SITE GRADING AND PAVING:

I. EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPEING TOPSOL, REMOVING UNSUTTABLE MATERIALS, CONSTRUCTING ENBANMENTS, CONSTRUCTION (INCISTRUCTIONA, FILLS, AND FIRML SHAPPING, AND TRAIMING TO THE LIARS, CARACTER, AND COSSS-SECTIONS SHORM (ON THE PLANS, THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE PROVISIONS OF SECTION 200 OF THE STANDARD SPECIFICATIONS (LD.O.T.)

2. ALL PROPOSED ELEVATIONS SHOWN ON PLANS ARE FINISHED SURFACE ELEVATIONS UNLESS OTHERWISE NOTED.

EXCAVATED MATERIAL SHALL BE STOCKPIED IN SUCH A SEQUENCE SO AS TO ELIBINATE ANY REHABOLING OR DOUBLE MOVEMENTS BY THE CONTRACTOR. FAILURE TO PROPERTY SEQUENCE THE STOCKPILING DEPERTION SHALL NOT CONSTITUTE A CLAIM FOR ADDITIONAL COMPENSATION.

4. ALL SLOPES SHALL CONFORM TO CURRENT SIL CHARLES SUBDIVISION RECOLLITIONS RECARDING RESIDENTIAL YARDS, SWALES, LINBANKUENTS AND ROADWAYS, TOP OF FOUNDATION SHALL BE A MONIMUM OF 8 INCRES ADDRE PROSPEC GRAGE AT FOUNDATION, AND GRAGE SHALL SLOPE AWAY FROM FOUNDATION AT A MONIMUM OF 2020.

5. ALL UNPAVED, DISTURBED AREAS SHALL BE DRESSED WITH A MINIMUM OF 6 INCHES OF TOPSOIL

6. NO PAYMENT WILL BE APPROVED FOR UNDERCUT OF UNSUITABLE SOLS OR FOR OTHER REASONS UNLESS THE CONTRACTOR NOTIFIES THE OWNER OR THE ENGINEER OF SPECIFIC LOCATIONS OF UNSUITABLE SOLS AND PROVIDES REASONABLE OPPORTUNITY FOR THE OWNER OR THE ENGINEER TO RESPECT AND APPROVE.

7. THE CONTRACTOR SHALL CALL THE ENGINEER, THE OWNER, THE CITY, 24 HOURS PRIOR TO REQUIRED INSPECTION. CONTACT CITY OF ST. CHARLES AT 630-377-3677.

8. THE GRADING OPERATIONS SHALL BE CLOSELY SUPERVISED AND INSPECTED, PARTICILARLY DURING THE RELIAVAL OF UNSUTTABLE MATERIAL AND THE CONSTRUCTION OF DEMANKIENTS BY THE SOLS ENDMEER OR HIS REPRESENTATIVE. GRADING OPERATIONS OF THE ROADWAYS SHALL ALSO BE INSPECTED BY THE DIT.

9. ANY CHANGES PROPOSED BY THE CONTRACTOR TO THE PLANS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. THE CHANGE SHALL NOT BE ENACTED UNTIL APPROVED BY

10. PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIALS, THE ENTIRE LENGTH OF ALL STREETS, ACCESS DRIVES, ETC, SHALL BE PROOF-ROLLED TO THE SATES/ACTION OF THE DEGREER, CITY, MAS DOLS ENDERER (AS SELECTED BY THE OWNER), BUILTSHING RESALTS SHALL BE SUBMITED TO THE DHGMEER, THE CITY, AND THE CITY CONSULTANT FOR REMEW.

THE ACCRECATE BASE COURSE TYPE "B" SHALL BE PLACED BY MEANS OF A SPREADER (HER APPROVED MEASURING DEVICE TO THE SATESFACTION OF THE CITY THE MATERIAL SHALL VITALS APPRIVILY INLASURING DEVICE TO THE SATISFACTION OF THE CITY THE MATERIA SHALL MEET THE STANDARD SPECIFICATION FOR COURSE AGGREGATE GRADE CA-6. ADJUSTNENTS OF SUBGRADE TO FINAL ELEVATIONS SHALL BE MADE BY THE CONTRACTOR

12. THE HOT MIX ASPHALT TREATMENT SHALL BE CONSTRUCTED ACCORDING TO THE STANDARD TAC THE THO BIAL APPLICATION AND A CONSTRUCT A RECEIPTION OF THE <u>STRATEGIES</u> THE CONTRACTOR SHALL PLACE SUFFACE CONSER. THE CONTRACTOR SHALL PLACE SUFFACE CONSER THE CONTRACTOR SHALL PLACE SUFFACE CONSER THE SUFFACE AND REPART OF THE ACCEPTABLE.

ALL CONCRETE SURFACES PLACED AS PART OF THIS CONTRACT SHALL HAVE A LINEED OIL COMPOUND CONCRETE PROTECTIVE COAT APPLIED TO ALL EXPOSED SURFACES. THE THE PROTECTIVE COAT SHALL BE EVOD UNSEED OIL COMPOUND OR APPROVED COULA.

14. THE CITY SHALL BE NOTIFIED 24 HOURS PRIOR TO ANY CONCRETE CURB POURS.

15. ALL TESTING, RESPECTION AND SUPERVISION OF SOLS QUALITY, UNSUITABLE REMOVAL AND ITS REPLACEMENT AND OTHER SOLS RELATED OPERATIONS SHALL BE ENTRELY THE RESPONSIBILITY OF THE SOLS ENGNEER AND THE OWNER.

16. THE CONTRACTOR WILL USE CARE IN GRADING NEAR TREES, SHRUBS AND BUSINES WHICH ARE NOT TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS. SEE LANDSCAPE PLANS FOR TREES THAT ARE NOT TO BE REMOVED.

17. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL DISTING TIEMS WHICH ARE NOT INGCATED TO BE REMOVED. ANY DAMAGE DONE TO THESE DISTING TIEMS BY CONTRACTOR'S OPERATIONS SHALL BE REPARED BY THIA IT HIS OWN EXPENSE.

19. WASTE EXCAVATION SHALL BE DISPOSED OF BY THE CONTRACTOR AT HIS OWN EXPENSE AND AT A LOCATION MICH SHALL BE APPROVED BY THE OWNER AND THE ENGINEER. IF ADDITIONAL FILL MATERIAL IS NEEDED, THE CONTRACTOR SHALL MPORT AND PLACE THIS FILL MATERIAL AT HIS OWN EXPENSE.

20. ANY SAWOUTTING OF THE PAVEMENT THAT IS REQUIRED SHALL BE CONSIDERED AS INCIDENTAL TO THE BUTT JOINT.

| STABILIZATION TYPE | JAN. | FEB. | MAR. | APR. | MAY | JUNE | JULY | AUG. | SEPT. | OCT. | NOV. | DEC. |
|--|-----------|-------|-------------------|--------------------|---|---------------|------|---------------|--------------------------------|--------|---------|--------------------------------------|
| PERMANENT | | | + A | | A' | | | | | A' | | |
| DORMANT | B | | - | 1 | | | | | | | + 8 | - |
| TEMPORARY SEEDING | | | + C + D + D | | | - | | | | | | |
| SODDING | | | + === | | - | | | | | | | |
| MULCHING | F | | | | | | | | | | | - |
| KENTUCKY BLUE MIXED WITH PERI 30 LBS/ACRE NATIVE SEEDING KENTUCKY BLUE | ENNIAL RY | GRÁSS | | D C 9 W 9 | ATS 90 LI EREAL RY 0 LBS/AC HEAT 0 LBS/AC ERENNIAL | E RE RE | | 2 T • IRRI | AW MULC O 3 TON GATION N | S WHEN | NÓ SEED | WHEN SEED IS APPLIED NE AND JU |

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILING OF ALL WALLS TO THE RECURED ELEVATION WITH SUITABLE MATERIAL WHICH SHALL BE COMPACTED UNTIL FIRM AND SOLID, AND NEATLY GRADED.

WATER MAIN, SANITARY SEWER, AND STORM SEWER:

ALL WATER MAIN SHALL BE CLASS 52 DUCTLE IRON PIPE IN ACCORDANCE WITH ANSI A21.51

VALVES 4" THROUGH 16" DAMETER SHALL BE RIGHT-HAND CLOSING RESELENT WEDGE GATE VALVES, CONFORMING TO ANNIA STANDARD C-5509 AS MANUFACTURED BY THE CLOW CORPORATION WATEROUS COMPANY OR APPROVED EQUIL. ALL BELOW GRADE FACTORY INSTALLED BOLTS AND FASTINERS SHALL BE JOH-GRADE STANLESS STELL.

3. MINIMUM DEPTH OF COVER OVER ALL WATER MADES SHALL BE 5 FEET BELOW FINISHED GRADE MINIMUM DEPTH OF COVER OVER ALL WATER SERVICES SHALL BE 5 FEET BELOW FINISHED GRADE. MAXIMUM DEPTH OF COVER OVER ALL WATER MAINS SHALL BE 50 FEET BELOW FINISHED GRADE.

4. PRESSURE TESTING AND CHLORINATION SHALL COMPLY WITH CITY OF ST. CHARLES STANDARDS.

5. A IMPRIME 10 FOOT HORZONTAL DISTANCE BETWEEN SEWERS AND WATER MAINS SHALL BE IMARTANED. WHENEVER THE SEWER CROSSES ABOVE THE WATER MAIN OR THE 10 FOOT HORZONTAL SEPARATION CAN HOT BE MAINTAINED, THE SEWER SHALL BE OF THE WATER MAIN CLASS MATERIAL MITH JOINTS AT EQUAL DISTANCE UNBIANI IN EFECT FROM THE CROSSING. A VERTICAL SEPARATION OF 18 INCHES BETWEEN SEWERS AND WATER MAINS SHALL BE MAINTAINED. STRUCTURAL SUPPORT OF THE SEWER SHALL BE PROVIDED. SEE WISCELLANEOUS DETAILS.

6. ALL SANITARY SEWERS AND SERVICES SHALL HAVE A MINIMUM COVER OF FOUR (4) FEET. ALL 6. ALL SWITHIN'S AREA THE SHOLL BE PROSENTED AND ALL TOTAL A MINIMUM CONTLO OF THE THE THE SWITHIN THE SHOLL BE PROSENTED AS A STATE PROVIDED AND A THE PROSENTED AND A THE PROSENTED AND A THE PROSENTED AND A THE PROSENTED AS A STATE AND A STAT

7. SANTARY SEWERS SHALL BE TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE PROVISIONS OF SECTION 31-1.1.3.8 OF THE <u>STANDARD SPECIFICATIONS (W.S.M.C.)</u> AND WITNESSED BY THE OWNER OR HIS REPRESENTATIVE. EXFLITATION OF AIR UNDER PRESSURE. TELEVISION INSPECTION, AND DEFLECTION TESTING (PER ILLINDIS RECOMMENDED STANDARDS FOR SEWAGE WORKS, LATEST EDITION WITH ALL SUPPLEMENTS, ADDENDA, AND REVISIONS THERETO) SHALL BE USED.

8. ALL SANITARY SEVER JOINTS SHALL CONFORM TO ASTM D-3212 FOR PVC AND ASTM A-746 FOR DUCTILE IRON. BOTH PIPE TYPES SHALL BE JOINED BY MEANS OF A FLEXIBLE GASKET. GASKETS FOR PVC JOINTS SHALL BE IN CONFORMANCE WITH ASTM A 21.11-79 (AWWA C111).

ALL CONDRIFE POPE UNDER ROADINAYS SHALL BE RENFORCED. MINIMUM CULVERT POPE DAMETER UNDER ROADINAYS SHALL BE 18 INCHES. STOOM SZNEWS SHALL BE A NORMAN OF 12 INCHES IN DAMETER ALL STORM SZNEWS AND CULVERTS SHALL HAVE A NORMAN OF 24 INCHES OF COVER ROW IN THE SANTIAY'S SENER SHALL BE UNAVIANED AT ALL TIMES. TO DERICT THE ROW

10. ALL UTILITY AND SERVICE TRENCHES WITHIN THREE (3) FEET OF PAVED SURFACES, OR AT A DISTANCE SPECIFIED BY THE ENGINEER, SHALL BE BACKFILLED WITH CA-7 (VIRGIN CRUSHED LIMESTONE).

11. AROUND CERTIAN AREAS OF CONSTRUCTION, THE CONTRACTOR SMALL PROVIDE FOR AND SEE TO THIS DORESCIN PROMIDIE ANY SPECIAL TEMPORATY PRAYS OR TELEPORATY CONDUCTS REQUIRED TO ACCOMPLISH THE CONTRASTING AT SUCCESS TO THE WORK SUCCESSFORMED ANY ADV AT NO ADDITIONAL COST TO THE OWNER. SIZE OF ADVISOR SO AS NOT TO OELAY THE WORK, AND AT NO ADDITIONAL COST TO THE COMPLICATION OF ADVISOR SO AS NOT TO OELAY THE WORK, AND AT NO ADDITIONAL COST TO THE COMPLICATION OF ADVISOR SO AS NOT TO OELAY THE WORK, AND AT NO ADDITIONAL COST TO THE COMPLICATION OF ADVISOR SO ADVISOR SO ADVISOR SO ADVISOR SO ADVISOR ADVISOR ADVISOR SO ADVISOR AD

12. ALL STORM SEVERS AND CULVERTS SHALL BE GASKETED IN ACCORDANCE WITH ASTM C-361 OR THE JOINTS SEALED WITH MASTIC.

13. UTILITY SLEEVES SHALL BE SET 2 FOOT 6 INCHES BELOW ROAD CENTERLINE FINISHED GRADE. UTILITY SLEEVES SHALL EXTEND TO 2 FOOT 6 INCHES BEYOND BACK OF CURB ON BOTH SDES OF STREET (2 FOOT 6 INCHES BEYOND EDGE OF PANEMENT WHERE THERE IS NO CURB).

 All Culverts, Sanitary sever pipes, storm sever pipes, water mains, forcemains, pipelines, casing pipes, sanitary sever services, water main services, samp pand dram pipes, and utility seleves shall be installed without induct deplection, bending, or strum. AND IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES.

15. THE CONTRACTOR SMALL TERMONATE ALL PIPES IN THIS CONTRACT BY COMPLETING THE CONNECTIONS TO EXISTING STUBS: IF NO STUBS EXIST, THE CONTRACTOR SMALL PLACE PLUGS AND BLOCKS ON PRE EXIST, FILE (S) FEET FROM THE PROFOSED CONNECTIONS, UNLESS OTHERMINE

16 ALL DRICTLE IRON PIPE AND ETTINGS SHALL BE POLYWRAPPED IN ACCORDANCE WITH AWWA C-105. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE CEMENT LIKED IN ACCORDANCE WITH AWWA C-104. BRASS WEDGE SHALL BE INSTALLED AT ALL ALL PIPE JOINTS.

17. FERNCO NON-SHEAR COUPLINGS OR EQUAL SHALL BE USED AT ALL POINTS OF CHANGE IN SEVER PIPE MATERIAL COUPLINGS SHALL CONFORM TO ASTM C-564.

18. REPAIR SLEEVES SHALL NOT BE USED TO WAKE CLOSURES DURING NEW CONSTRUCTION.

TOPS OF FRAMES FOR STORM AND SANITARY MANHOLE AND VALVE VAULT COVERS SHALL BE ADJUSTED TO WEET FINAL FINISHED GRADE.

20. STRUCTURES LOCATED WITHIN THE CURB LINE ARE PICTORIALLY LOCATED AT THE BACK OF CURB. ACTUAL LOCATION SHALL BE AS REQUEED TO PROPERLY LOCATE THE FRAME AND CONNECTED PPPS.

21. ALL BELDW GRADE FACTORY INSTALLED BOLTS AND FASTENERS SHALL BE 304 GRADE STAINLESS STEEL

22. ALL MECHANICAL JOHT FITTINGS SHALL HAVE RESTRAINING GLANDS INSTALLED. RESTRAINT DEVICE SHALL BE LUNA-TLANEE BY FORD COLUMNY OR MEGA-LUG BY EBBA ROIN. PUSH JOINT PPE RESTRAINT SHALL BE FITLD LOC ASSETTS BY US PPC OF SERES 1300 AUGULATION OF SERES 1300 PPE RESTRAINT BY FORD. LUNGTHS OF PIPE RESTRAINT SHALL BE DETERMINED FROM CITY STANDARD # 16.44.070.04

23. BRASS WEDGES SHALL BE INSTALLED AT WATER MAIN JOINTS FOR ELECTRICAL

24. WATER SAMPLES MUST BE TAKEN ON TWO (2) CONSECUTIVE DAYS, NOT LESS THAN 24 HOURS APART.

25. ALL NEWLY LAD PIPE SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE OF ONI 23. All refer to use pressonal de subaction of a monosinia pressone of vere humored prefix (159) pounds pressonare incl. Durantion of facant test shall be for a period of not less their two (2) hours. Each valved section of ppe shall be filled with water and the specified test pressure shall be applied by weaks of a pump connected to the pper. Before apply two the specified test pressure, all all an CAMECIED TO THE PTPL BUCKE APPLIENT IN STELLING THE STELLING THE STELLING THE ADDRES ALL ALL AND STALL BE EXPERILED FROM THE PTPL ALL LEAS STALL BE REPROVED UNTIL TOTAL. ANY CRACKED OR DEFECTIVE PTPLS, ITTINGS, VALVES OR HYDRANTS DISCOVERED IN CONSEQUENCE OF THIS PRESSURE TEST STALL BE RENOVED AND REPLACED AND THE TEST REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED.

26. ALL TESTING SHALL BE DONE BEFORE THE INSTALLATION OF SERVICE LINES. SUITABLE MEANS SHALL BE PROVIDED FOR DETERMINING THE QUANTITY OF WATER LOST BY LEAKAGE UNDER THE SPECIFIC DEST PRESSURE.

27. A LURKIT COLOR MOD AND A THE WHITLI TRANSCRIPTION OF THE INTERNAL MERICIDIN OF ME WHI Y CORFERENCE DISKER SYSTEL ANLL SE DIBLIFTED PROFID REFUNDING OF SITE IMPROVIDENT ECCORE RETINION MORES BY THE CITY OF SITE OWNERS. ALL RURKE MARK SHALL BE WIEGENEED. THE CONTRACTION MUST FORTE THE LUBS OF THE CAMERA TO LOOK AT ALL SERVICES. THE SERVICE COMECTIONS MUST BE NOTED IN THE ELEVISION REFORM. WHILL THE REFORES DAMARKY SERVES SYSTEM IS TO COMENT TO AN CAMERA TO LOOK AT ALL SERVICES. THE SERVICE COMECTIONS MUST BENTLE THE COMENT ON TRANSCRIPTION. WHILL THE REFORED SAMILARY SERVED SYSTEM IS TO COMENT TO AN ALL STRUCK MARK THEM THE REFORE SERVICES. THE SERVICE COMECTIONS MUST BE NOTED IN THE ELEVISION REFORM. WHILL THE REFORED SAMILARY SERVES STRUCK IS TO COMENT ON THE SERVICE AND ALL SERVICES. THE SERVICE STRUCK IS THE SERVICE TO AN ALL STRUCK MARK THE ALL SERVICES. THE SERVICE STRUCK IS TO COMENT ON THE SERVICE AND ALL SERVICES. THE SERVICE STRUCK IS THE SERVICE TO AN ALL SERVICE MERCINE. THE SERVICE DAMARKY SERVICE STRUCK IS TO COMENT ON THE SERVICE AND ALL SERVICES. THE SERVICE STRUCK IS TO COMENT ON THE SERVICE AND REFORMED TO AND ALL SERVICES. THE SERVICE TO AND ALL SERVICE MERCINE TO AN ALL SERVICES. THE SERVICE TO AND ALL SERVICE AND ALL SERVICES. THE SERVICE STRUCK IS TO COMENT ON ALL SERVICES TO AND ALL SERVICES. THE SERVICE SERVICE AND ALL SERVICES TO AND ALL SERVICES. THE SERVICE AND ALL SERVICES TO AND ALL SERVICES TO AND ALL SERVICES. THE SERVICE AND ALL SERVICES TO EXISTING SAMTARY SEVER SYSTEM ABUTTING THE PROPERTY, THE EXISTING SEVER MUST ALSO BE TELEVISED AND REPORTED. THE CONTRACTOR SHALL COORDINATE THE TELEVISING OF UNIS SEWERS WITH THE CITY OF ST CHARLES ALL LINES SHALL BE FLUSHED AND CLEANED PRIOR TO VIDEOTAPING

POLLUTION PREVENTION PLAN CERTIFICATION

LCRBTY UNDER PERALTY OF LW THAT DIS DOCUMENT AND ALL ATACHMENTS WERE LCRBTY UNDER PERALTY OF LW THAT DIS DOCUMENT AND ALL ATACHMENTS WERE DESIGNED TO ASSAVE THAT CILLUTED PERSONNEL, PROPENY CANFEED WIN FAULTED THE INFORMATION SUBMITED ABAED ON WIN NOLWING OF THE FERSON OR PERSONS WIND MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSEDE FOR GARDENOS WE BELLET, TRU, ACUTARE AND OWNERT L AN AWARE THAT THERE ARE SIGNIFICANT PENALTHES FOR SUBMITION FALSE HERDWARDN, INCLUDING THE POSSIBILITY OF PINE FAMO IMPROVINGENT FOR KOUNNEY OUALTONS.

| SIGNED: | |
|---------|--|
| TITLE: | |
| DATE: | |

CONTRACTORS CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS OF THE GENERAL NATIONAL POLUTIANT DISCHARGE ELUMINATION SYSTEM (NPDES) PERMIT (UR 10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

| חדונ: | | | |
|-------------------|--------|---|--|
| NAME OF FIRM: | | | |
| STREET ADDRESS: | | | |
| CITY: | STATE: | | |
| ZIP CODE: | | | |
| TELEPHONE NUMBER: | | | |
| SIGNATURE: | | | |
| TITLE: | | | |
| NAME OF FIRM: | | | |
| STREET ADDRESS: | | | |
| CITY: | STATE: | | |
| ZIP CODE: | | | |
| TELEPHONE NUMBER: | | | |
| | | | |
| SIGNATURE: | | | |
| TITLE: | | | |
| NAME_OF_FIRM: | | | |
| STREET ADDRESS: | | _ | |
| CITY: | STATE: | | |

ZIP CODE:

TELEPHONE NUMBER:

SOIL EROS EROSION AND SEDIMENT

Unless otherwise indicated, all vegetative and structural erosion and sediment control practices will be constructed according to minimum standards and specifications in the illinois Urban Manual revised February 2009

The City of St. Charles must be notified one week prior to the pre-construction conference, one week prior to the commencement of land disturbing activities, and one week prior to the final inspection.

A copy of the approved erosion and sediment control plan shall be maintained on the site at all times.

Prior to commencing land-disturbing activities in areas other than indicated on these plans (including but not limited to, additional phases of development and off-site berrow or waste areas) a supplementary erasion control plan shall be submitted to the owne

The contractor is responsible for installation of any additional erosion control measures necessary to prevent erosion and sedimentation as

Inform only sub-contractor(s) who may perform work on this project, of the requirements in implementing and maintaining these eracion control plans and the National Pollutant Discharge Elimination System (NPDES) permit requirements set forth by the Illinois EPA.



and

SHeaf

SHEAFFER & ROLAND, II CONSULTING ENGINEERS 611 STEVOS STREET GREV, LUNGS 6034-139 (100) 20-493 / 102 (200) 20-493

REVISIONS DESCRIPTION DESCRIPTION OF ST. CHARLES REMEW FOR ST. CHARLES REMEW FOR ST. CHARLES REMEW FOR ST. CHARLES REMEW OTHER INFORMATION

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NI, I SUITE

60134-1359 FAX: (6.0) 208 2005 ND: 184-002

NC.

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for review by the City.

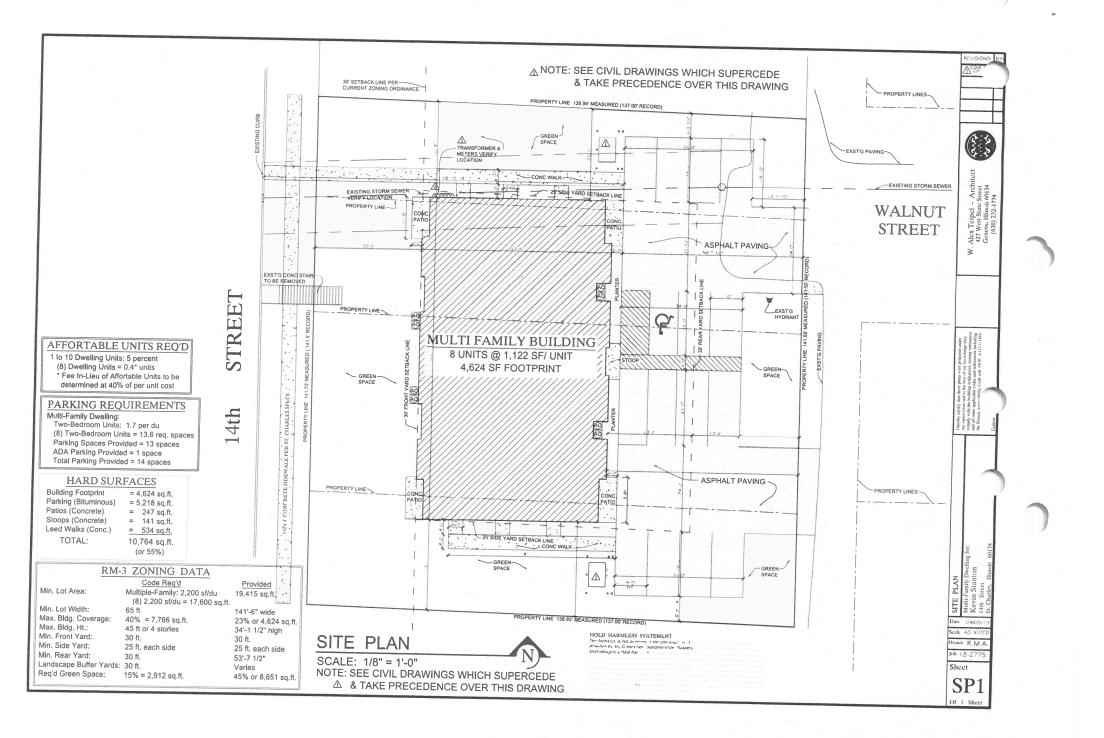
determined by the City.

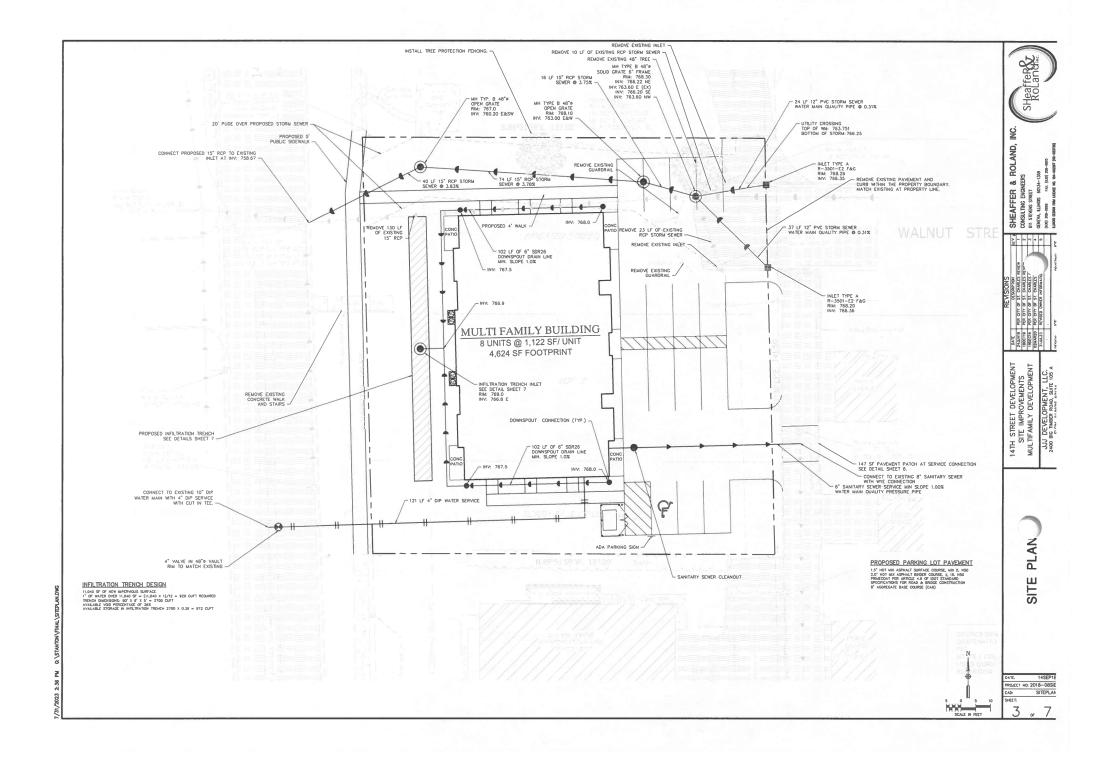
It is the responsibility of the landowner and/or general contractor

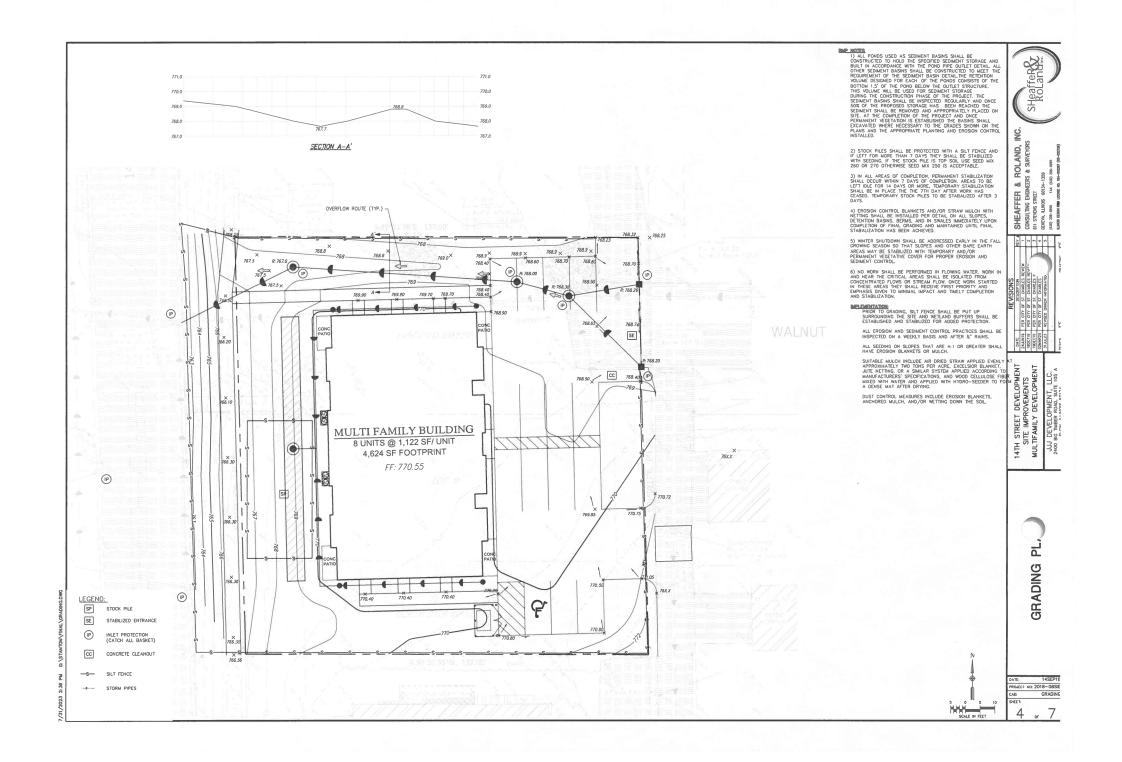
During dewatering operations, water will be pumped into sediment basins or sill traps. Dewatering directly into field tiles or stormwate structures is prohibited.

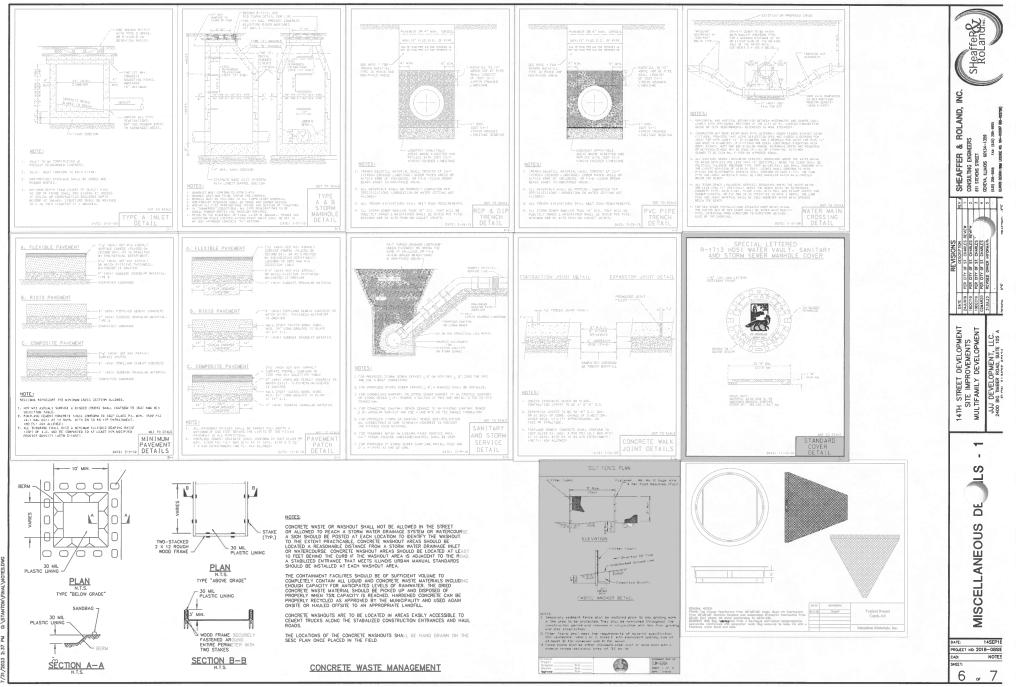


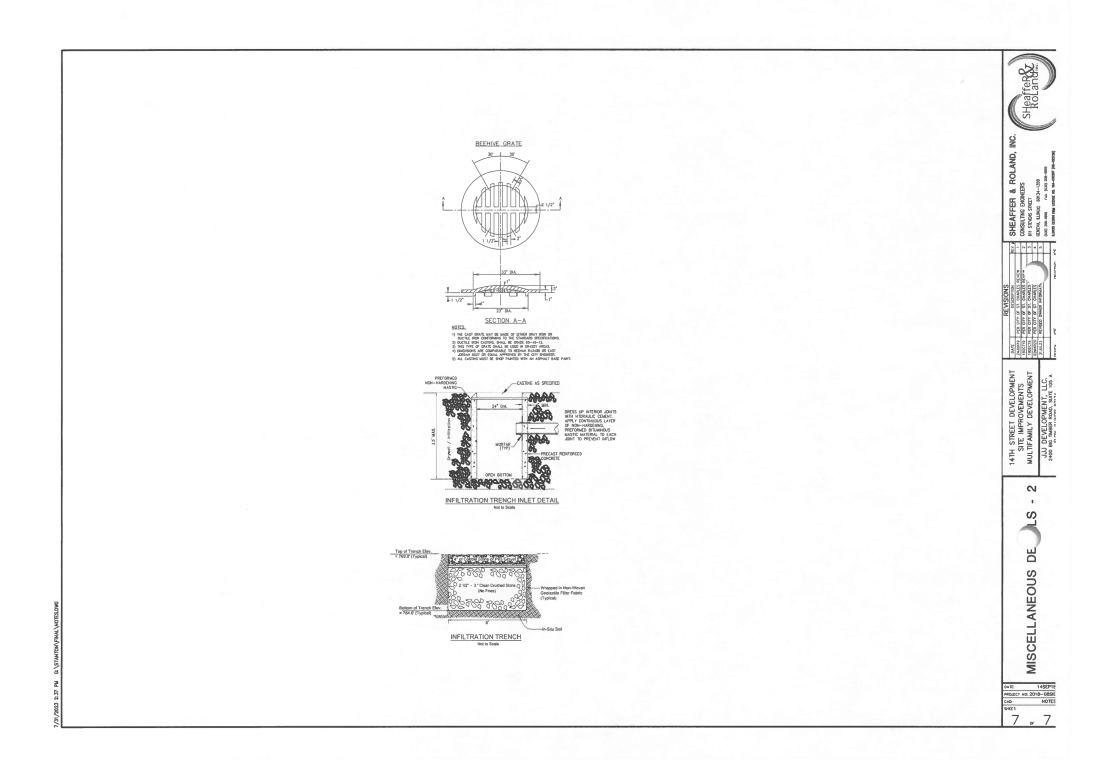


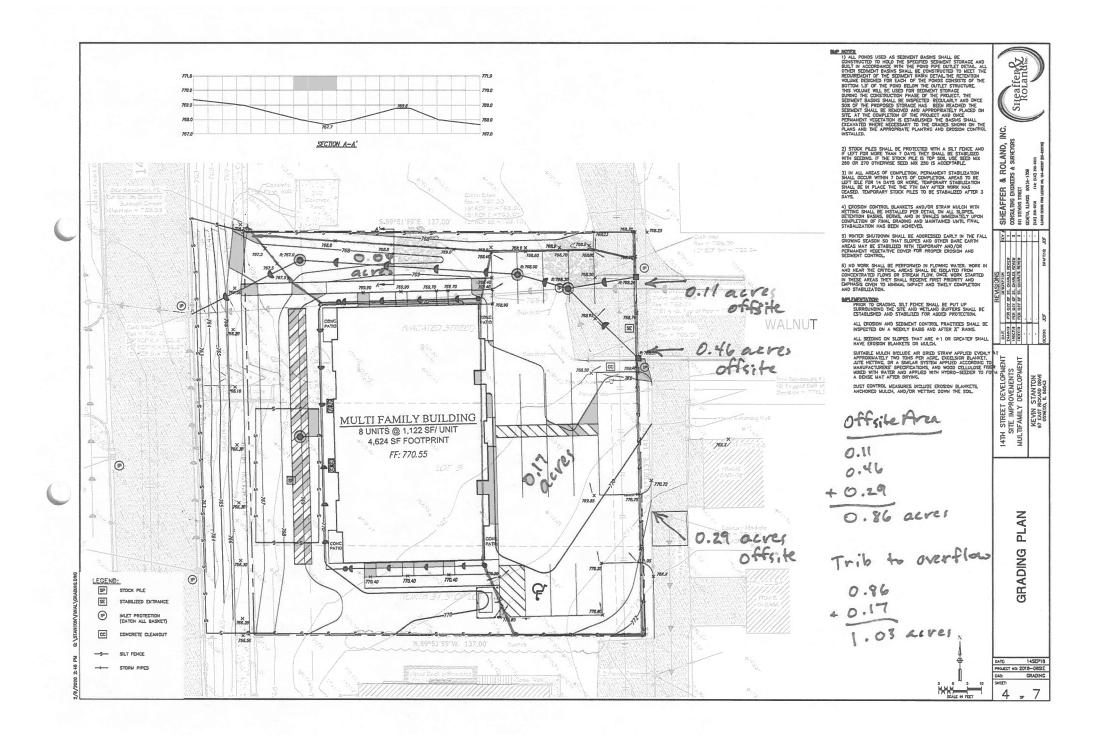








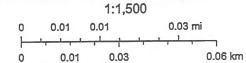




Offsite Tributary Area



October 18, 2019



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus

These layers do not represent a survey. No Accuracy is assumed for the data

records, including plats, surveys, recorded deeds, and contracts, and only contains information required for local government purposes. See the recorded documents for more detailed legal information.

Hydrology Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

C

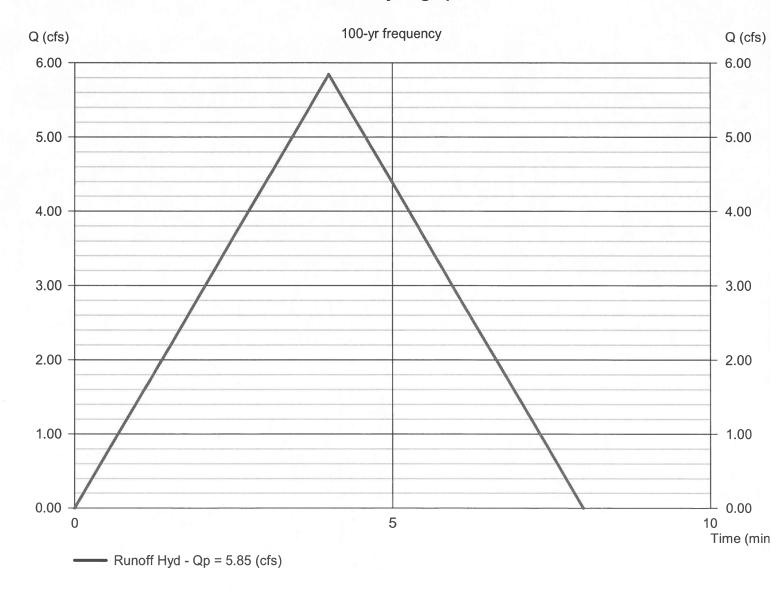
Monday, Mar 2 2020

Area Tributary to Overflow

| Hydrograph type | = Rational |
|------------------------|------------|
| Storm frequency (yrs) | = 100 |
| Drainage area (ac) | = 1.030 |
| Rainfall Inten (in/hr) | = 11.350 |
| IDF Curve | = B70.IDF |
| | |

| Peak discharge (cfs) | = 5.845 |
|----------------------|---------|
| Time interval (min) | = 1 |
| Runoff coeff. (C) | = 0.5 |
| Tc by TR55 (min) | = 4 |
| Rec limb factor | = 1.00 |

Hydrograph Volume = 1,403 (cuft); 0.032 (acft)



Runoff Hydrograph

Rational

Area Tributary to Overflow

| Description | A | | B | | <u>C</u> | | <u>Totals</u> |
|---|---|---|--|---|--|---|---------------|
| Sheet Flow Manning's n-value Flow length (ft) Two-year 24-hr precip. ((in)) Land slope (%) | = 0.011 = 30.0 = 3.04 = 1.50 | | 0.011 0.0 0.00 0.00 | | 0.011 0.0 0.00 0.00 | | |
| Travel Time (min) | = 0.53 | + | 0.00 | + | 0.00 | = | 0.53 |
| Shallow Concentrated Flow Flow length (ft) Watercourse slope (%) Surface description Average velocity (ft/s) | = 445.00 = 1.34 = Paved = 2.35 | | 0.00 0.00 Paved 0.00 | | 0.00 0.00 Paved 0.00 | | |
| Travel Time (min) | = 3.15 | + | 0.00 | + | 0.00 | _ | 3.15 |
| Channel Flow X sectional flow area ((sqft)) Wetted perimeter ((ft)) Channel slope (%) Manning's n-value Velocity (ft/s) Flow length (ft) | = 0.00 = 0.00 = 0.015 = 0.00 = 0.0 = 0.0 | | 0.00 0.00 0.00 0.015 0.00 0.0 | | 0.00 0.00 0.00 0.015 0.00 0.0 | | 5.15 |
| Travel Time (min) | = 0 | + | 0 | + | 0 | Π | 0.00 |
| Total Travel Time, Tc | | | | | | | 4.00 min |

Hydraflow Express by Intelisolve

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Weir Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

Monday, Mar 2 2020

= 0.32= 6.530

= 4.47

= 1.46

= 14.92

Overflow West of Manhole NW Corner of Parking Lot Bottom Elevation 768.40

Highlighted

Trapezoidal Weir

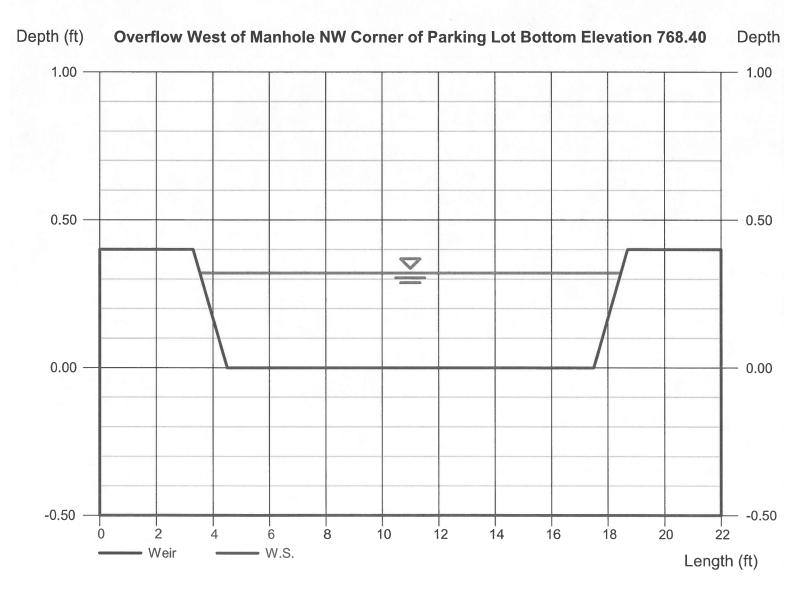
Compute by:

No. Increments

| Crest | = Sharp | Depth (ft) |
|--------------------|---------|-----------------|
| Bottom Length (ft) | = 13.00 | Q (cfs) |
| Total Depth (ft) | = 0.40 | Area (sqft) |
| Side Slope (z:1) | = 3.00 | Velocity (ft/s) |
| | | Top Width (ft) |
| Calculations | | |
| Weir Coeff. Cw | = 2.62 | |

Q vs Depth

= 10



Channel Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

Monday, Mar 2 2020

Swale North of Building

User-defined

| User-defined | | Highlighted | |
|------------------|-------------|---------------------|---------|
| Invert Elev (ft) | = 767.70 | Depth (ft) | = 1.10 |
| Slope (%) | = 2.00 | Q (cfs) | = 32.42 |
| N-Value | = 0.027 | Area (sqft) | = 5.92 |
| | | Velocity (ft/s) | = 5.48 |
| Calculations | | Wetted Perim (ft) | = 10.04 |
| Compute by: | Known Depth | Crit Depth, Yc (ft) | = 1.21 |
| Known Depth (ft) | = 1.10 | Top Width (ft) | = 9.79 |
| | | EGL (ft) | = 1.57 |

(Sta, El, n)-(Sta, El, n)... (0.00, 769.35)-(3.53, 769.00, 0.027)-(7.54, 768.00, 0.027)-(9.32, 767.70, 0.027)-(11.18, 768.00, 0.027)-(14.12, 768.80, 0.027)

