



**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 3a

Title:	Plan Commission recommendation to remove a Special Use for PUD and approve a Preliminary Plat of Subdivision for Cityview Subdivision, 895 Geneva Rd.
Presenter:	Ellen Johnson

Meeting: Planning & Development Committee

Date: March 12, 2018

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

**Executive Summary** *(if not budgeted please explain):*

The subject property is a vacant, one-acre parcel located at the northwest corner of Geneva Rd. and Mosedale St. The Cityview PUD was approved for the property in 2016 which involved a seven-lot single-family subdivision with lots fronting on the interior of the site along an extended Keller Place. The approved project has not moved forward and the property remains vacant.

John Henry Builder Developer Inc., represented by John Cebzynski, is proposing subdivision of the property following the requirements of the underlying RT-2 District. Four lots are proposed, each fronting on Mosedale St. A detention basin is provided at the northeast corner.

The Zoning Ordinance does not identify a process to remove or rescind a Special Use for PUD that has been approved, but not constructed, prior to the PUD automatically expiring after 3 years. Because the PUD is still valid and shown on the Zoning Map, the City advised the applicant it would be appropriate to file a Special Use for PUD application requesting to remove the PUD, in order to follow the same procedure and provide the same public notice that was utilized to originally establish the PUD.

The Preliminary Plat of Subdivision submitted for the project should be reviewed for conformance with zoning and subdivision requirements. Once the PUD is removed, the property will default to the underlying zoning district. The property owner has the right to subdivide the property under the existing zoning.

**Plan Commission Review**

Plan Commission held a public hearing on the Special Use application on 3/6/18 and recommended approval of the Special Use and Preliminary Plat of Subdivision, subject to resolution of staff comments, by a vote of 8-0. Commissioners discussed the following:

- Vacation of Keller Pl. should be pursued by the City as it does not serve a purpose as right-of-way.
- The HOA outlot for the detention basin could be moved or extended to the southeast corner, allowing a landscape buffer to be provided along Rt. 31.
- The developer should be sensitive to the architectural appearance of the rear elevations given that they will be visible from Rt. 31.

In addition, the neighbor to the west voiced concerns about the building setback and the existing retaining wall near the property line. The applicant agreed to meet with him on site.

**Attachments** *(please list):*

Plan Commission Resolution, Staff Memo, Preliminary Plat of Subdivision, Applications, PUD Ordinance

Plan Commission recommendation to remove a Special Use for PUD and approve a Preliminary Plat of Subdivision for Cityview Subdivision, 895 Geneva Rd.

**City of St. Charles, Illinois**  
**Plan Commission Resolution No. 2-2018**

**A Resolution Recommending Removal of a Special Use for PUD and approval  
Preliminary Plat of Subdivision for Cityview Subdivision  
(John Henry Builder Developer Inc.)**

**Passed by Plan Commission on March 6, 2018**

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use for PUD and Preliminary Plat of Subdivision; and,

WHEREAS, the Plan Commission held a public hearing and reviewed the Application for Special Use to remove the Cityview PUD (Ord. 2016-Z-15) and reviewed the Preliminary Plat of Subdivision for Cityview Subdivision (John Henry Builder Developer Inc.).

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council removal of Special Use for PUD and approval of the Preliminary Plat of Subdivision for Cityview Subdivision (John Henry Builder Developer Inc.); contingent upon the resolution of all staff comments prior to City Council action.

Roll Call Vote:

Ayes: Pretz, Purdy, Kessler, Wallace, Holderfield, Funke, Pietryla, Vargulich

Nays: None

Absent: Schuetz

Motion carried: 8-0

PASSED, this 6th day of March 2018.

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Chairman  
St. Charles Plan Commission

Community & Economic Development  
 Planning Division

Phone: (630) 377-4443  
 Fax: (630) 377-4062



**Staff Report**

**TO:** Chairman Ed Bessner  
 And the Members of the Planning & Development Committee

**FROM:** Ellen Johnson, Planner

**RE:** Cityview – 895 Geneva Rd.

**DATE:** March 7, 2018

**I. APPLICATION INFORMATION:**

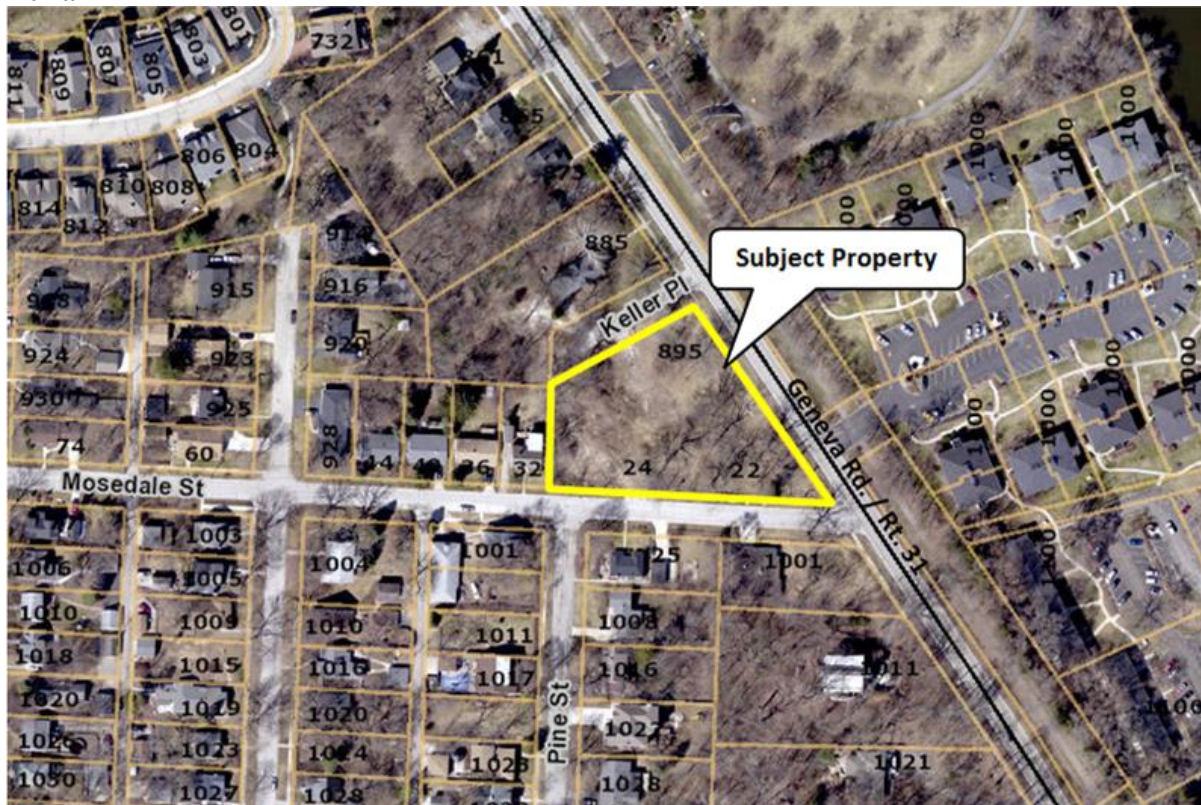
**Project Name:** Cityview – 895 Geneva Rd.

**Applicant:** John Henry Builder Developer, Inc.

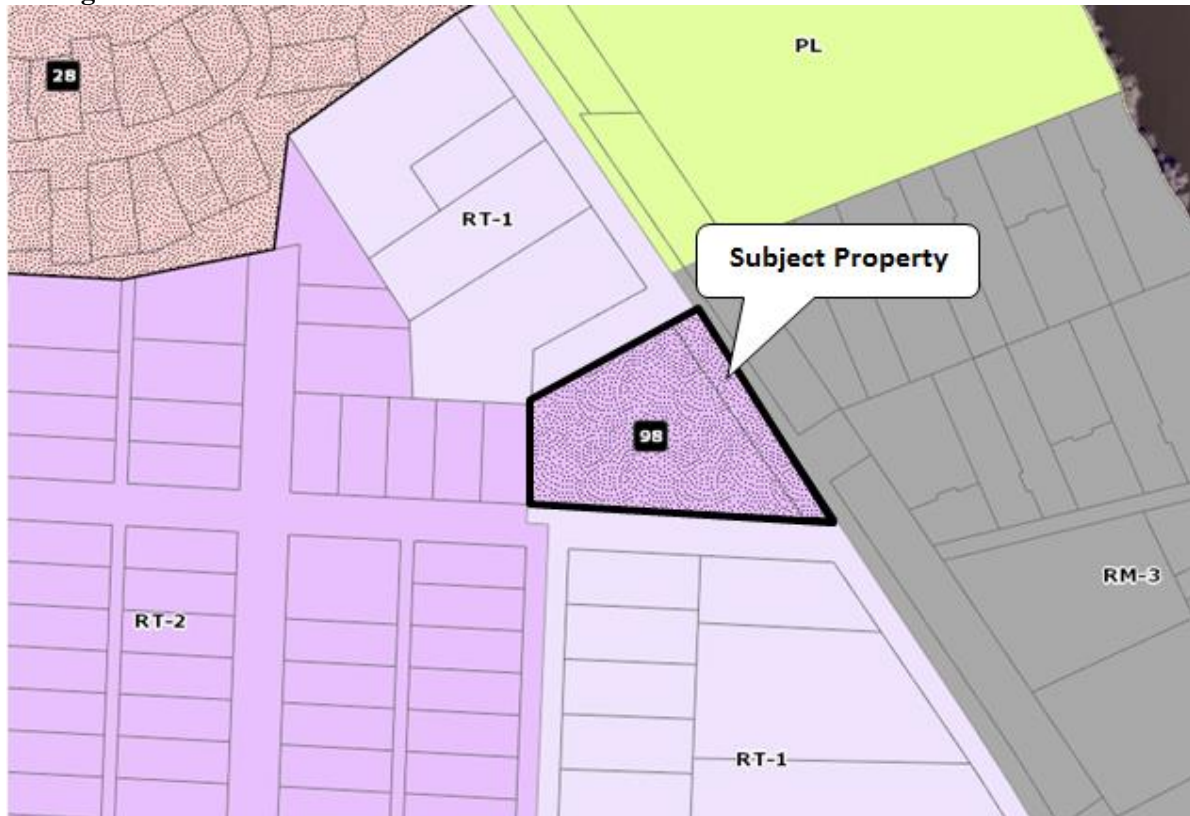
**Purpose:** Residential subdivision consisting of 4 single-family lots

<b>General Information:</b>		
<b>Site Information</b>		
Location	895 Geneva Rd. (northwest corner of Geneva Rd. and Mosedale St.)	
Acres	1.036 acres (45,167 sf)	
Applications:	Special Use for Planned Unit Development Preliminary Plat of Subdivision	
Applicable City Code Sections	Title 17, Chapter 17.12 Residential Districts Title 16 Subdivisions and Land Improvement	
<b>Existing Conditions</b>		
Land Use	Vacant	
Zoning	RT-2 Traditional Single-Family Residential & PUD	
<b>Zoning Summary</b>		
North	RT-1 Traditional Single-Family Residential	Single-family home
East	RM-3 General Residential District	Park Shore Apartments
South	RT-1 Traditional Single-Family Residential	Single-family homes
West	RT-2 Traditional Single-Family Residential	Single-family homes
<b>Comprehensive Plan Designation</b>		
Single Family Detached Residential		

**Aerial**



**Zoning**



## II. BACKGROUND

### A. PROPERTY HISTORY

The subject property is a vacant, one-acre parcel located at the northwest corner of Geneva Rd. and Mosedale St., south of Keller Place. A doctor's office was constructed on the property in the late 1950s. The building was demolished in 2005.

In 2016, a Planned Unit Development requested by David Weekley Homes was approved for the property under Ordinance No. 2016-Z-15, "An Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan for 895 Geneva Road (Cityview PUD)". The ordinance approved rezoning of the property to the RT-2 Traditional Single-Family Residential District along with development plans for a seven-lot single-family subdivision. The lots fronted on Keller Place, which was to be extended through the site to Mosedale St.

Since approval of the Cityview PUD, the project has not moved forward to the construction phase. David Weekley Homes is no longer involved with the property. The property remains a single parcel because a Final Plat of Subdivision was never prepared to formally plat it into seven lots.

### B. PROPOSAL

John Henry Builder Developer Inc., represented by John Cebzynski, has submitted applications to allow subdivision and development of the property following the requirements of the underlying RT-2 zoning district. A PUD is not necessary. Details of the proposal are as follows:

- Subdivide the property into four (4) single-family lots and an outlot for stormwater detention.
  - All four homes will front on Mosedale St.
  - The detention basin is located at the northeast corner of the property.
- Install sidewalk along Mosedale St., connecting to the existing sidewalk along Geneva Rd.

The following Zoning Applications have been submitted in support of this project:

1. **Special Use** – To remove the Special Use for PUD approved for the property. The Zoning Ordinance does not identify a process to remove or rescind a Special Use for PUD that has been approved, but not constructed, prior to the PUD automatically expiring after 3 years. Because the PUD is still valid and shown on the Zoning Map, the City advised the applicant it would be appropriate to file a Special Use for PUD application requesting to remove the PUD, in order to follow the same procedure and provide the same public notice that was utilized to originally establish the PUD.
2. **Preliminary Plat of Subdivision** – To divide the property into four single-family lots and an outlot for stormwater detention.

### III. ANALYSIS

#### A. COMPREHENSIVE PLAN

The Land Use Plan adopted as part of the 2013 Comprehensive Plan identifies the subject property as “Single Family Detached Residential”. The Plan states:

*“An important objective of the Plan is to continue to protect and enhance the City’s single-family residential neighborhoods. Future development should be respectful and sensitive to the existing homes while allowing reinvestment in the form of rehabilitation, additions, and new construction in existing neighborhoods...Single-family residential areas should consist primarily of detached homes on lots subdivided and platted in an organized and planned manner” (p.42)*

The following Residential Areas Framework Plan policy is particularly applicable to this project (p. 43):

- ***Preserve the character of the City’s existing single family residential neighborhoods:*** *The City’s residential areas are composed of a number of unique and distinct neighborhoods. While they may differ in configuration, unit type, and lot size, these neighborhoods are well established and have their own character. Development and reinvestment within these neighborhoods should be context sensitive, and compatible with the established neighborhood character and fabric. Regardless of the location or housing type, residential development or redevelopment should be carefully regulated to ensure compatibility with the scale and character of surrounding and adjacent residential neighborhoods. New infill development, teardown redevelopment, and alterations to existing development should maintain a setback, height, bulk, and orientation similar to its surroundings.*

The following Culture and Identity recommendation regarding Development Character and Urban Design also applies (p. 122):

- *New neighborhood development or local infill should respect the surrounding context in the design of street networks, infrastructure, housing stock, and other built elements. Infill development should strive to reflect the context in terms of site design, massing and scale, and architectural design. New neighborhoods should be designed to integrate local site characteristics, such as existing trees, unique topography, local building materials, etc.*

#### B. ZONING REVIEW

The property is zoned RT-2 Traditional Single-Family Residential District which requires a minimum lot size of 6,600 sf. The property was rezoned to the RT-2 District in 2016 with the Cityview PUD. The applicant has requested removal of the PUD on the property. The plans must meet the standards of the underlying RT-2 District.

The table below compares the RT-2 District standards with the proposal. All standards appear to be met. The applicant has stated they intend to construct 1½ story homes on the lots.

	<b>RT-2 District</b>	<b>Proposed</b>
<b>Min. Lot Area</b>	6,600 sf	8,541 sf
<b>Min. Lot Width</b>	50 ft.	60 ft.
<b>Max. Building Coverage</b>	30% for structures 1½ stories or less; 25% for structures over 1½ stories	29.35% (1½ stories)
<b>Max. Building Height</b>	Lesser of 34 ft. or 2 stories	26 ft. (1½ stories)
<b>Min. Front Yard</b>	25 ft. or average of block	20 ft. (based on average of block)
<b>Min. Interior Side Yard</b>	Greater of 6 ft. or 10% of lot width for structures 1½ stories or less; Greater of 8 ft. or 10% of lot width for structures over 1½ stories	6 ft. (1½ stories)
<b>Min. Exterior Side Yard</b>	20 ft.	24 ft.
<b>Min. Rear Yard</b>	30 ft.	37 ft.

**C. PLAT OF SUBDIVISION**

The Preliminary Plat of Subdivision depicts four (4) single-family lots and an outlot for the stormwater detention basin.

Staff has provided the applicant with some minor review comments on the Preliminary Plat. These comments must be addressed prior to City Council action:

- 10 ft. wide utility and drainage easements must be provided around the full perimeter of each lot (5 ft. along common lot lines).
- Add easement provision language as provided in Title 16, Appendix B.
- Add the acreage total to the gross site area.
- Add a chart identifying all easements and the easement area within each lot.

***Staff Comments:***

- A Final Plat of Subdivision will need to be submitted for review and approval along with Final Engineering plans. The Final Plat will need to be recorded prior to issuance of building permit.
- A homeowners’ association will need to be established to allow for maintenance of the detention basin. The Declaration of Covenants establishing the HOA and identifying the maintenance responsibilities will need to be provided with the Final Plat for the City’s review and approval.
- The City may have an interest in vacating Keller Place, the public right-of-way north of the subject property. Keller Place currently provides access only to the lot to the north and will not be used as an access to the proposed lots. If Keller Place is vacated, property could be added to the proposed subdivision, upon approval of the property owner. If this occurs, the building lots could be lengthened and/or the stormwater detention basin could be shifted to the north. It would not result in creation of any additional building lots. The Final Plat of Subdivision would need to reflect any additional area and any changes to the lot lines.

#### D. TREE PRESERVATION

The plan identifies the intention for some of the trees on the site. Trees that are in conflict with the building footprints or the sidewalk along Mosedale St. are shown to be removed. Protective fencing is shown around some of the trees that are to be preserved.

***Staff Comments:***

- The plan needs to be updated to identify the intention for all trees which are 6” or more DBH. The species of the trees that will be preserved must be identified along with the protective measures that will be taken to protect those trees during construction.

#### E. ENGINEERING REVIEW

The applicant has been provided with detailed engineering review comments. The comments are technical in nature and will not have a significant impact on the layout of the development. All comments will need to be addressed prior to City Council approval.

***Staff Comments:***

- Retaining walls are proposed in the front yards. The applicant has been asked to clarify whether any of the walls are over 4 ft. in height at any point. Retaining walls over 4 ft. in height require a terrace or stepping back of the wall to allow for a planting area.
- The applicant has been asked to clarify the intention for the existing retaining wall along the west property line. It appears the wall will be removed.

#### F. BUILDING DESIGN

Architectural elevations are not required for plats of subdivision. Elevations will be reviewed at the time of building permit. New homes in the RT zoning districts are subject to the Design Review requirements of Section 17.06.060 Standards and Guidelines – RT-1, RT-2, RT-3, RT-4, and CBD-2 Districts.

***Staff Comments:***

- Based on the building footprints shown on the plan, it appears that the buildings will need to be modified slightly to meet the requirement that attached garages with an overhead door facing a street must be set back from the front lot line at least 5 ft. more than the rest of the house or from a porch that extends at least 75% of the length of the remainder of the dwelling walls.

#### G. INCLUSIONARY HOUSING

The Inclusionary Housing worksheet has been submitted, indicating the applicant’s intent to pay the full fee in-lieu of providing affordable units.



#### **H. SCHOOL AND PARK CONTRIBUTIONS**

School and Park Land-Cash worksheets have been submitted. Full cash donation to the park and school districts is proposed. Copies of the worksheets and plans have been forwarded to the school and park districts for comment.

#### **IV. PLAN COMMISSION RECOMMENDATION**

Plan Commission held a public hearing on the Special Use application on 3/6/18 and recommended approval of removal of the Special Use for PUD and Preliminary Plat of Subdivision by a vote of 8-0.

#### **V. ATTACHMENTS**

- Plans
- Application for Special Use and Preliminary Plat of Subdivision; received 1/15/18
- Ordinance No. 2016-Z-15

PRELIMINARY PLAT AND PRELIMINARY  
SITE DEVELOPMENT PLAN

FOR  
**CITYVIEW SUBDIVISION**  
ST. CHARLES, ILLINOIS

LEGAL DESCRIPTION

BLOCK 2 OF THE RIVERVIEW ADDITION TO ST. CHARLES, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.  
PIN: 09-34-401-015

BENCHMARKS

**STATION SIC 07** STATION IS LOCATED 11.7 KM (9.7 MILES) SOUTHWEST OF BARTLETT, 6.1 KM (3.8 MILES) NORTH-NORTHWEST OF BATAVIA, AND 5.50M (7.8 MILES) SOUTH OF ELGIN COMMUNITY COLLEGE, IN THE CITY OF SAINT CHARLES, IN SECTION 34, T40N, R8E. 2 1/2 INCH DIAMETER ALUMINUM DISK IN PLASTIC CYLINDER, APPROXIMATE NAD 83 COORDINATES N. 1907580, E. 984599. ELEVATION = 790.50 FT. NAVD 88

**STATION SIC 16** STATION IS LOCATED 11.6 KM (8.9 MILES) SOUTHWEST OF BARTLETT, 4.8 KM (3.4 MILES) NORTH OF BATAVIA, AND 6.8 KM (8.0 MILES) SOUTH OF ELGIN COMMUNITY COLLEGE IN THE CITY OF SAINT CHARLES IN SECTION 34, T40N, R8E. 2 1/2 INCH DIAMETER ALUMINUM DISK IN PLASTIC CYLINDER, APPROXIMATE NAD 83 COORDINATES N. 1906120, E. 991732. ELEVATION = 709.53 FT. NAVD 88

**CP104** CROSS IN WALK ON WEST SIDE OF GENEVA ROAD (IL ROUTE 31) ADJACENT TO FIRST UTILITY POLE NORTHWESTERLY OF KELLER PLACE. ELEVATION = 695.46 FT. NAVD 88

**CP109** CROSS IN WALK ON WEST SIDE OF GENEVA ROAD (IL ROUTE 31) ADJACENT TO FIRST UTILITY POLE NORTHWESTERLY OF MOSEDALE STREET. ELEVATION = 693.7146 FT. NAVD 88

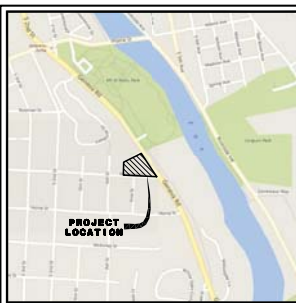
EXISTING	PROPOSED	DESCRIPTION
○	●	MANHOLE
○	⊙	CATCH BASIN
○	⊖	INLET
○	⊕	CLEAROUT
○	⊗	SLOPE INLET BOX
○	⊘	HEADWALL
○	⊙	END BRITING
○	⊙	STORM BOWER
○	⊙	SANITARY BOWER
○	⊙	WATER MAIN VALVE & BOX
○	⊙	WATER VALVE IN VAULT
○	⊙	FIRE HYDRANT
○	○	CONTOURS
○	○	ELEVATIONS
○	○	STREET LIGHT
○	○	WATERMAIN PROTECTION
○	○	SILT FENCE INLET PROTECTOR
○	○	TEMPORARY STRAW BALE DITCH CHECK
○	○	SILT FENCE DITCH CHECK
○	○	ENERGY DISSIPATOR
○	○	RIP-RAP
○	○	OVERFLOW ROUTE
○	○	PUBLIC UTILITY, DRAINAGE AND STORMWATER MANAGEMENT FACILITY
○	○	EXISTING TREE TO BE REMOVED
○	○	EXISTING TREE WITH TREE PROTECTION FENCE. TO BE PRESERVED IF IN GOOD CONDITION. SEE LANDSCAPE PLAN FOR FURTHER INFORMATION.

SITE ANALYSIS	
EXISTING ZONING:	R1-2 TRADITIONAL SINGLE FAMILY RESIDENCE DISTRICT WITH SPECIAL USE FOR PUD AND PUD PRELIMINARY PLAN
GROSS SITE AREA:	45,937± S.F.
LOT SIZE:	5,787± S.F.
MINIMUM LOT SIZE:	8,541± S.F.
AVERAGE LOT SIZE:	10,036± S.F.

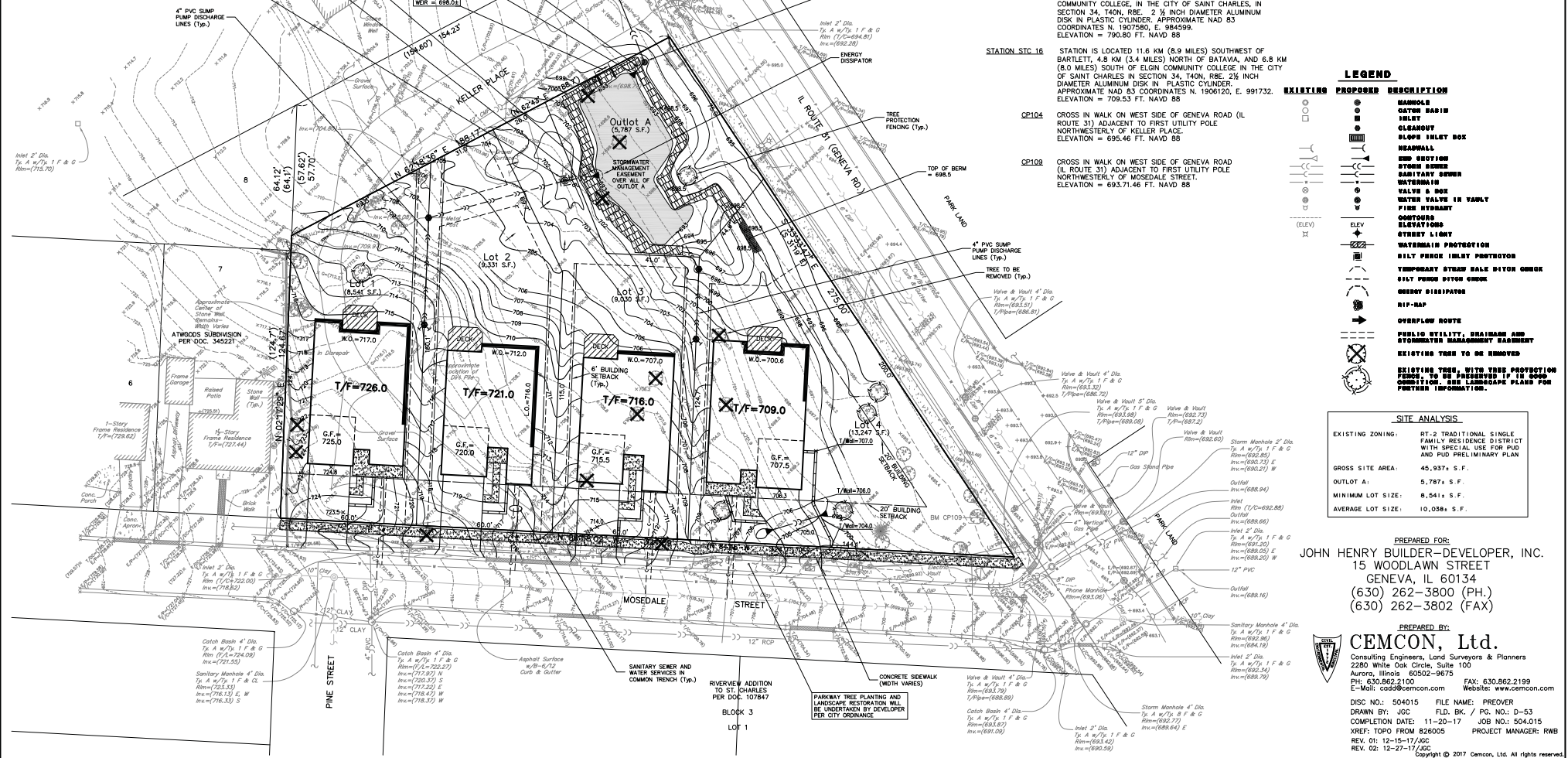
PREPARED FOR:  
**JOHN HENRY BUILDER-DEVELOPER, INC.**  
15 WOODLAWN STREET  
GENEVA, IL 60134  
(630) 262-3800 (PH.)  
(630) 262-3802 (FAX)

PREPARED BY:  
**CEMCON, Ltd.**  
Consulting Engineers, Land Surveyors & Planners  
2280 White Oak Circle, Suite 100  
Aurora, Illinois 60502-9675  
PH: 630.862.2100  
E-MAIL: ccm@cemcon.com FAX: 630.862.2199  
Website: www.cemcon.com

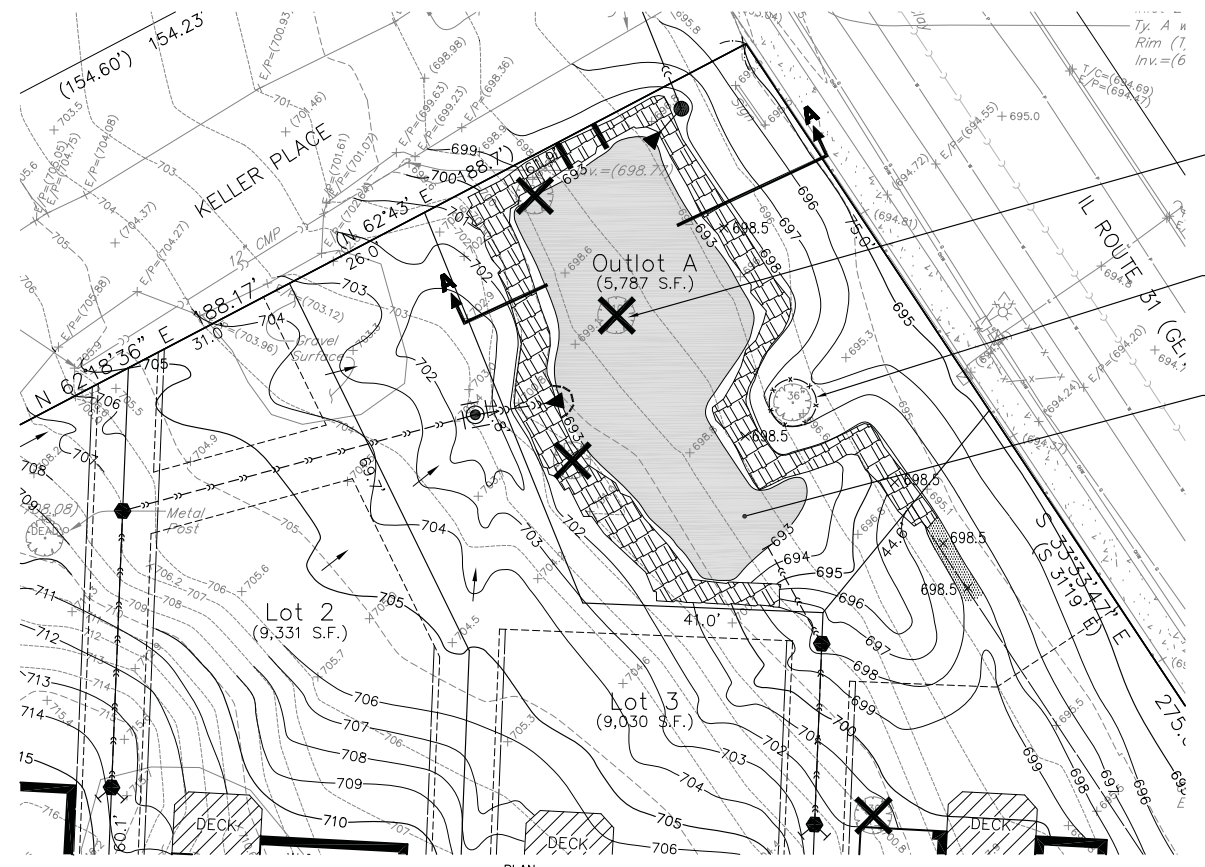
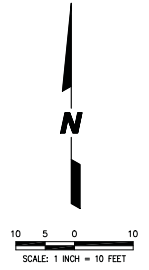
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XREF: TOPO FROM 826005 PROJECT MANAGER: RWB  
REV. ON: 12-15-17/JOC  
REV. ON: 12-27-17/JOC



**LOCATION MAP**



DRAWING DATE: 11/27/17 BY: JOC

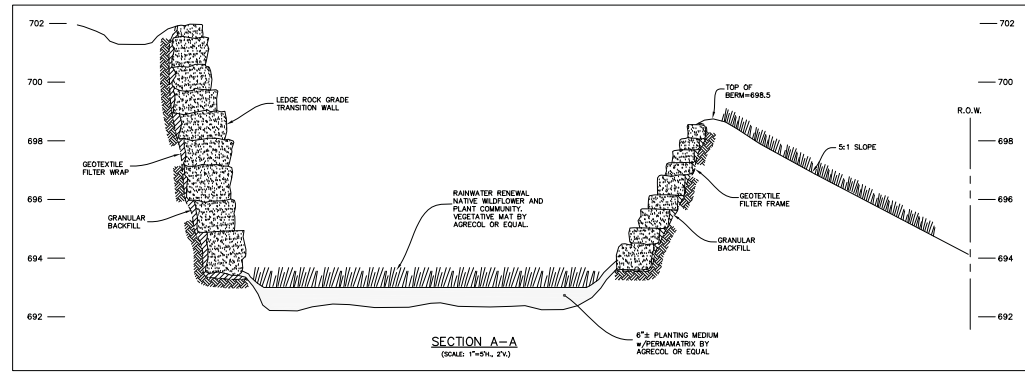
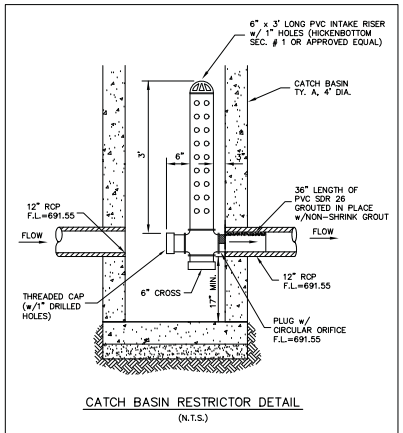


- TREE TO BE REMOVED (Typ.)
- TREE PROTECTION FENCING (Typ.)
- 0.35± Ac.-Fl. STORMWATER MANAGEMENT FACILITY (NATIVE WILDFLOWER AND PLANT COMMUNITY VEGETATION)

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
○	○	MANHOLE
□	□	CATCH BASIN
○	○	INLET
○	○	OUTLET
○	○	CLEANOUT
○	○	SLOPE INLET BOX
○	○	HEADWALL
○	○	END SECTION
○	○	STONE SPUR
○	○	EMERGENCY SPUR
○	○	WATERMAIN
○	○	VALVE & BOX
○	○	WATER VALVE IN VAULT
○	○	WIRE UTILITY
○	○	CONTOURS
○	○	ELEVATION
○	○	STREET LIGHT
○	○	WATERMAIN PROTECTION
○	○	SILT FENCE INLET PROTECTION
○	○	TEMPORARY STRAW BALE DITCH CHECK
○	○	SILT FENCE DITCH CHECK
○	○	EMERY DIFFUSION
○	○	RIP-RAP
○	○	OVERFLOW ROUTE
○	○	PUBLIC UTILITY, DRAINAGE AND STORMWATER MANAGEMENT ASSEMBLY
○	○	EXISTING TREE TO BE REMOVED
○	○	EXISTING TREE, WITH TREE PROTECTION FENCE, TO BE PRESERVED IF IN GOOD CONDITION. SEE LANDSCAPE PLAN FOR FURTHER INFORMATION.

PLAN  
(SCALE: 1"=10')



PREPARED FOR:  
JOHN HENRY BUILDER-DEVELOPER, INC.  
15 WOODLAWN STREET  
GENEVA, IL 60134  
(630) 262-3800 (PH.)  
(630) 262-3802 (FAX)

PREPARED BY:  
**CEMCON, Ltd.**  
Consulting Engineers, Land Surveyors & Planners  
2280 White Oak Circle, Suite 100  
Aurora, Illinois 60502-9675  
PH: 630.862.1000 FAX: 630.862.2199  
E-Mail: cadd@cemcon.com Website: www.cemcon.com

DISC NO.: 504015 FILE NAME: PREOVER  
DRAWN BY: JGC FLD. BK. / PG. NO.: D-53  
COMPLETION DATE: 11-20-17 JOB NO.: 504.015  
XREF: TOPO FROM 826005 PROJECT MANAGER: RWB  
REV. 01: 12-15-17/JGC  
REV. 02: 12-27-17/JGC

# CITY OF ST. CHARLES

TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



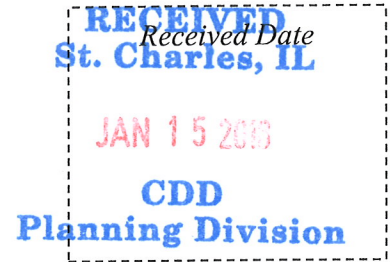
COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

## SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

<b>For City Use</b>	
Project Name:	<u>CityView - 895 Geneva Rd.</u>
Project Number:	<u>2018 -PR- 001</u>
Application Number:	<u>2018 -AP- 002</u>



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

<b>1. Property Information:</b>	Location: <u>WEST OF ILLINOIS RT 31 (GENEVA RD) AND NORTH OF MOSEDALE ST.</u>	
	Parcel Number (s): <u>09-34-401-015 895 GENEVA RD.</u>	
	Proposed Name: <u>CITY VIEW</u>	
<b>2. Applicant Information:</b>	Name: <u>JOHN HENRY BUILDER-DEVELOPER INC.</u>	Phone: <u>630-262-3800</u>
	Address: <u>15 WOODLAWN ST. GENEVA, IL. 60134</u>	Fax: <u>630-262-3802</u>
		Email: <u>JOHN@JOHNHENRY.PRO</u>
<b>3. Record Owner Information:</b>	Name: <u>Don R. Park Vice President BEL AIR DEVELOPMENT CORPORATION</u>	Phone: <u>808-829-1690</u>
	Address: <u>409 KAY ST. CRYSTAL LAKE IL. 60014</u>	Fax:
		Email: <u>bbella@GMAIL.COM</u>

**Please check the type of application:**

- Special Use for Planned Unit Development - PUD Name:** Cityview PUD
- New PUD
- Amendment to existing PUD- Ordinance #: 2016-Z-15
- PUD Preliminary Plan filed concurrently
- Other Special Use (from list in the Zoning Ordinance):** \_\_\_\_\_
- Newly established Special Use
- Amendment to an existing Special Use Ordinance #: \_\_\_\_\_

**Information Regarding Special Use:**

Comprehensive Plan designation of the property: Single-Family Detached Residential

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? RT-2 PUD

What is the property currently used for? Vacant

If the proposed Special Use is approved, what improvements or construction are planned?  
A single family residential subdivision following the underlying RT-2 zoning requirements.

**For Special Use Amendments only:**

Why is the proposed change necessary?  
The proposed development will follow the existing underlying zoning and a PUD is not necessary.

What are the proposed amendments? (Attach proposed language if necessary)  
The applicant is requesting that the existing Special Use for PUD be eliminated in its entirety.  
The property will remain zoned RT-2.

**Note for existing buildings:**

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

**Attachment Checklist:**

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**APPLICATION FEE:**

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

**REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**PROOF OF OWNERSHIP and DISCLOSURE:**

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

**LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper

**PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

**FINDINGS OF FACT:**

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

**LIST OF PROPERTY OWNERS WITHIN 250 FT.:**

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

**SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

**ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

**TRAFFIC STUDY:** If requested by the Director of Community Development.

*Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.*

**PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.


**SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

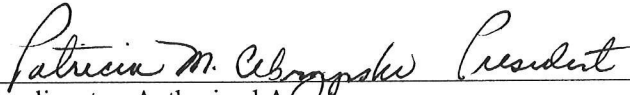
- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
  - a. Location, height, intensity and fixture type of all proposed exterior lighting
  - b. Photometric information pertaining to locations of proposed lighting fixtures

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**


1/10/2019  


---

 Record Owner Date


1/9/2018  


---

 Applicant or Authorized Agent Date



January 23, 2018

City of St. Charles

Ellen Johnson, Planner

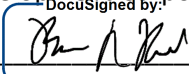
2 East main Street

St. Charles, Illinois 60174

Ms Ellen Johnson,

This is my written consent and confirmation that John Cebzynski of John Henry Builders Developers regarding City View / 895 Geneva Road St Charles has my complete authority to apply for sub-division and sign, present all documents for the City of St Charles on my behalf.

Bel Air Development Corporation

By:  \_\_\_\_\_  
DocuSigned by:  
5AA8292A10C4463...

Bryan Bellah, Vice-President

Date : 1/23/2018

yes

OWNERSHIP DISCLOSURE FORM  
CORPORATION

STATE OF ILLINOIS )  
                                  ) SS.  
KANE COUNTY         )

I, Bryan Bellah, being first duly sworn on oath depose and say that I am the  
Vice President of Bel Air Development, an

(Illinois) ( ) Corporation and that the following persons are all of the shareholders  
of 7% or more of the common stock of said Corporation:

WILLIAM BELLAH, PRESIDENT

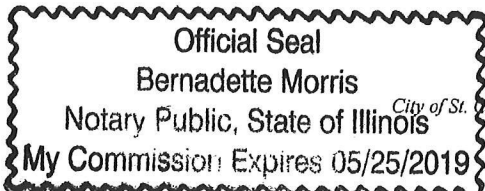
BRYAN BELLAH, VICE PRESIDENT

BY: [Signature]

TITLE: VICE PRESIDENT

Subscribed and Sworn before me this 10 day of  
JANUARY, 20 18.

[Signature]  
Notary Public



City of St. Charles Ownership Disclosure Forms

# CITY OF ST. CHARLES

TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984

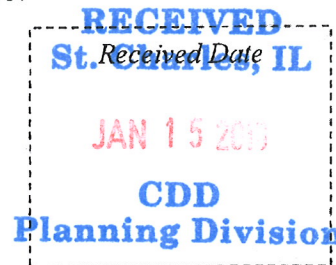


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

## PRELIMINARY PLAT OF SUBDIVISION APPLICATION

<b>For City Use</b>	
Project Name:	<u>Cityview - 895 Geneva Rd.</u>
Project Number:	<u>2018 -PR- 001</u>
Application No.	<u>2018 -AP- 001</u>



*To request preliminary approval of a subdivision, complete this application and submit it with all required attachments to the Planning Division.*

*When the application is complete City staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the proposed subdivision on a Plan Commission meeting agenda.*

*The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Location: West of Illinois Route 31 (Geneva Rd.) and North of Musedale Street.	
	Parcel Number (s): 09-34-401-015 895 Geneva Road	
	Proposed Subdivision Name: Cityview	
<b>2. Applicant Information:</b>	Name John Henry Builder - Developer, Inc.	Phone (630) 262-3800
	Address 15 Woodlawn Street Geneva, IL 60134	Fax (630) 262-3802
		Email john@johnhenry.pro
<b>3. Record Owner Information:</b>	Name Bel Air Development Corporation <i>Bel Air Development</i> Vice President 1/10/18	Phone 808-829-1690
	Address 409 Kay St. CRYSTAL LAKE IL. 60014	Fax
		Email bbellair@gm4cc.com

**Please check the type of application:**

- Preliminary Plat of Subdivision** (Final Plat of Subdivision to be filed later)
- Combined Preliminary-Final Review Process** (Final Plat Application filed concurrently)

**This application is not required for:**

- **Minor Subdivision** – File only a Minor Subdivision - Final Plat application (Minor Subdivision per City Code Section 16.04.040: Meets all subdivision design standards, no more than 4 lots, no utility extensions or new streets, no stormwater detention required, lots meet minimum zoning standards)
- **Planned Unit Developments - PUD** (The PUD Preliminary Plan Application should be filed instead)

**Attachment Checklist:**

*For Combined Preliminary-Final Review or where multiple applications have been submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**APPLICATION FEE:**

Application fee in accordance with Appendix A of the Subdivision Code. Refer to attached Schedule of Application Fees.

**REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Exhibit B of the Zoning Ordinance.

**REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**PROOF OF OWNERSHIP and DISCLOSURE:**

Submit one of the following:

- a) A current title policy report; or (see attached)
- b) A deed and a current title search.

If the owner is not the applicant, submit the attached Ownership Authorization form to permit the applicant to act on the owner's behalf. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).)

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions*

*or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

☒ **LEGAL DESCRIPTION:** - Block 2 of Riverview Addition to St. Charles in the City of St. Charles, IL

For entire subject property, on 8 1/2 x 11 inch paper

☒ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☒ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:** (see previous submittal)

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

☒ **ENDANGERED SPECIES REPORT:** (see previous submittal)

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

☒ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☒ **SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the plat.

☒ **PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans.

☒ **STORMWATER MANAGEMENT:** (see narrative attached with storage volume)

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached).

**☒ TREE PRESERVATION PLAN:**

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

**☒ DEPARTURES FROM SUBDIVISION CODE STANDARDS:**

List any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and reasons for requesting each departure. (possible variation in width of sidewalk)

**☒ PARK AND SCHOOL LAND/CASH WORKSHEETS:**

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

**☒ INCLUSIONARY HOUSING SUMMARY:**

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

Don R. Park Vice President 1/10/18  
Record Owner Date

Patricia M. Cebrynska President 1/9/2018  
Applicant or Authorized Agent Date

# INCLUSIONARY HOUSING WORKSHEET



Name of Development: CITY VIEW  
 Date Submitted: 11/1/2018  
 Prepared by: Tom Henry Builder Developer Inc

Use this worksheet to determine the affordable unit requirement for the proposed development and to propose how the development will meet the Inclusionary Housing requirements of Title 19.

## Calculate the number of affordable units required:

Unit Count Range	# of Units Proposed in Development		% of Affordable Units Required		# of Affordable Units Required
1 to 15 Units	4	X	5%	=	2
More than 15 Units		X	10%	=	

## How will the Inclusionary Housing requirement be met?

- Provide on-site affordable units
- Pay a fee in-lieu of providing affordable units (calculate fee in-lieu below)
- Provide a mixture of affordable units and fee in-lieu
  - # of affordable units to be provided: \_\_\_\_\_
  - Amount of fee in-lieu to be paid (calculate below): \_\_\_\_\_

## Fee In-Lieu Payment Calculation – Single-family/Duplex/Townhome Development

# of Affordable Units Required	# of Affordable Units Proposed to Pay the Fee-In-Lieu		Fee-In-Lieu Amount Per Unit		Total Fee-In-Lieu Amount
	2	X	\$72,819.50	=	145,639.00

## Fee In-Lieu Payment Calculation – Multi-Family Development

# of Affordable Units Required	# of Affordable Units Proposed to Pay the Fee-In-Lieu		Fee-In-Lieu Amount Per Unit		Total Fee-In-Lieu Amount
		X	\$5,000	=	

*City View Subdivision  
John Henry Bussard Developer  
10/26*

City of St. Charles Land/Cash Worksheet

Dwelling Type/Bedroom Count	# of Units	Park	Est. Park Pop.	Elem.	Est. Pop.	Middle School	Est. Pop.	High School	Est. Pop.
Detached Single Family									
2 bedroom	4	2.017	8.068	0.136	0.544	0.048	0.192	0.02	0.08
3 bedroom		2.899	0	0.369	0	0.173	0	0.184	0
4 bedroom	0	3.764	0	0.53	0	0.298	0	0.36	0
5 bedroom	0	3.77	0	0.345	0	0.248	0	0.3	0
Attached Single Family (Townhomes)									
1 bedroom	0	1.193	0	0	0	0	0	0	0
2 bedroom	0	1.99	0	0.088	0	0.048	0	0.038	0
3 bedroom	0	2.392	0	0.234	0	0.058	0	0.059	0
4 bedroom	0	3.145	0	0.322	0	0.154	0	0.173	0
Multi Family (Condo/Apartment)									
Efficiency	0	1.294	0	0	0	0	0	0	0
1 bedroom	0	1.758	0	0.002	0	0.001	0	0.001	0
2 bedroom	0	1.914	0	0.086	0	0.042	0	0.046	0
3 bedroom	0	3.053	0	0.234	0	0.123	0	0.118	0
<b>Estimated Population</b>	<b>4</b>		<b>8.068</b>		<b>0.544</b>		<b>0.192</b>		<b>0.08</b>
<b>Park Acreage @ 10 acres per 1,000 population</b>			<b>0.08068</b>	<b>acres</b>					
<b>Park Land Dedication</b>			<b>0</b>	<b>acres</b>					
<b>Park Cash in Lieu @ \$240,500 per acre</b>			<b>\$19,403.54</b>						
Elementary School Acreage @ .025 acres per student					0.0136				
Middle School Acreage @ .0389 acres per student						0.0074688			
High School Acreage @ .072 acres per student								0.00576	
<b>Total School Acreage</b>					<b>0.0268288</b>				
<b>Total School Cash in Lieu @ \$240,500 per acre</b>					<b>\$6,452.33</b>				



Refer to:  
Minutes 8-15-16  
Page \_\_\_\_\_

**City of St. Charles, Illinois**

**Ordinance No. 2016-Z-15**  
  
**Motion to approve an Ordinance Granting Approval of  
a Map Amendment, special Use for Planned Unit  
Development and PUD Preliminary Plan for 895 Geneva  
Road (Cityview PUD).**

**Adopted by the  
City Council  
of the  
City of St. Charles  
August 15, 2016**

**Published in pamphlet form by  
authority of the City Council  
of the City of St. Charles,  
Kane and Du Page Counties,  
Illinois, August 20, 2016**

*Nancy St. Johnson*  
\_\_\_\_\_  
City Clerk

**(SEAL)**



102

**City of St. Charles, Illinois**  
**Ordinance No. 2016-Z- 15**

**An Ordinance Granting Approval of a Map Amendment, Special Use for  
Planned Unit Development and PUD Preliminary Plan for 895 Geneva Road  
(Cityview PUD)**

WHEREAS, on or about June 16, 2016, David Weekley Homes (the "Applicant") filed petitions for 1) Map Amendment from RT-1 Traditional Single Family Residential District to RT-2 Traditional Single Family Residential District, 2) Special Use for Planned Unit Development, and 3) PUD Preliminary Plan, all for the real estate legally described on Exhibit "A" attached hereto and incorporated herein (the "Subject Property"), for the purpose of constructing 7 single-family homes; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Special Use for Planned Unit Development was published on or about July 1, 2016 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about July 19, 2016 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development, and PUD Preliminary Plan petitions on or about July 19, 2016; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of said petitions on or about August 8, 2016; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.
2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the RT-1 Traditional Single Family Residential District to RT-2 Traditional Single Family Residential District, and the Findings of Fact for Map

Amendment attached hereto and incorporated herein as Exhibit “B” are expressly adopted by the corporate authorities of the City.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant’s petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit “C”, which is attached hereto and incorporated herein.

4. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit “D”, such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Preliminary Engineering Plans, Atwell, revisions dated 8/4/2016
- Preliminary Plat of Subdivision, Atwell, revisions dated 8/4/2016
- Landscape Plan, Atwell, revisions dated 8/1/2016
- Tree Preservation Plan, dated 6/29/2016
- Architectural Elevations, David Weekley Homes, not dated

5. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. Zoning: The Subject Property shall be subject to the requirements of the RT-2 Traditional Single Family Residential District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the “PUD Deviations” attached hereto and incorporated herein as Exhibit “E”.
- b. Owners’ Association: The Applicant shall create one or more Owners’ Associations and create a Declaration of Covenants, Conditions & Restrictions that clearly identifies all responsibilities of the Owners Associations with respect to the use, maintenance and continued protection of common open space and improvements in the Subject Property, including, but not limited to, the stormwater detention facility and the off-street parking area. Such Declaration shall be in a form reasonably acceptable to the City and shall be recorded immediately following the recording of the Final Plat of Subdivision for the Subject Property.
- c. Special Service Area: Following a recording of the Final Plat of Subdivision, the City shall initiate the formation of a Special Service Area for the purpose of maintaining and repairing stormwater management facilities and other facilities serving the Subject Property. The Record Owner shall not sell or transfer ownership of any individual single-family lots within the Subject Property until

such Special Service Area has been established. Such Special Service Area shall be of perpetual duration with a maximum rate sufficient to provide for maintenance, repair, and reconstruction of such facilities. Such Special Service Area may provide for maintenance by the City in the event that stormwater management facilities or other facilities are not adequately maintained by the Owner or successors.

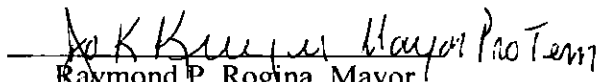
- d. School and Park Contributions: The Park and School contributions shall be provided by the Applicant as cash in lieu of land contribution in accordance with the provisions of Title 16 of the St. Charles Municipal Code, as the same may be amended from time to time.
- e. Inclusionary Housing: The Inclusionary Housing contribution shall be provided by the Applicant as a cash in lieu of affordable units in accordance with the provisions of Title 19 of the St. Charles Municipal Code, as the same may be amended from time to time.

7. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 15<sup>th</sup> day of August, 2016.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 15<sup>th</sup> day of August, 2016.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 15<sup>th</sup> day of August, 2016.

  
Raymond P. Rogina, Mayor

Attest:

  
Nancy Garrison, City Clerk

Vote:  
Ayes: 9  
Nays: 0  
Absent: 0  
Abstain: 0



Ordinance No. 2016-Z- 15

Page 4

Date: \_\_\_\_\_

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

DATE: \_\_\_\_\_

**EXHIBIT "A"**

**LEGAL DESCRIPTION**

BLOCK 2 OF THE RIVERVIEW ADDITION TO ST. CHARLES, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

## EXHIBIT "B"

### FINDINGS OF FACT FOR MAP AMENDMENT

**1. The existing uses and zoning of nearby property.**

Detached single family resides to the west, north and south. The residential areas to the north and south are zoned RT-1 and the residential area to the west is zoned RT-2. The apartments contiguous to the east are zoned RM-3.

**2. The extent to which property values are diminished by the existing zoning restrictions.**

The addition of seven new single family homes priced in the \$500,000's will increase the neighboring property values versus a site that has been vacant for fifteen years.

**3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.**

The Cityview development will re-build Keller Place and tie it into Mosedale St. along with adding public sidewalk. With this development the turf and trees will be maintained over its current state in which the City electric department has had issue with their overhead lines and trees and limbs falling from the property.

**4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.**

The physical constraints of the site (i.e. dramatic 30 ft. of fall) along with the flat market conditions are two strong factors why the current zoning isn't suitable for the property's highest and best use.

**5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.**

While this property has been on the market and vacant, St. Charles has seen development opportunities at the Corporate Reserve site, Lexington Club site, Parkside Reserves and the Heritage Green re-development.

**6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district.**

The market since the downturn has refocused on smaller lot opportunities with great access to community and regional amenities. During the downturn, infill opportunities such as this project were the last to decline and the first to ascend.

**7. The consistency of the proposed amendment with the City's Comprehensive Plan.**  
Our proposal is consistent with the City's comprehensive plan which identified this site as detached single family.

**8. Whether the proposed amendment corrects an error or omission in the Zoning Map.**

This amendment does not correct an error in the Zoning Map.

**9. The extent to which the proposed amendment creates nonconformities.**

This application does not create nonconformities. The development presents an increased opportunity for new residential construction.

**10. The trend of development, if any, in the general area of the property in question.**

Since the market downturn new residential and commercial development has focused on infill and redevelopment opportunities. As the market recovers these smaller projects allow for new development without the increased risk of greenfield development.



## EXHIBIT "C"

### CRITERIA FOR PLANNED UNIT DEVELOPMENTS

- i. **The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
- 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
  - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
  - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
  - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
  - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
  - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
  - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

The development achieves several points when evaluating a PUD opportunity. This is a creative redevelopment of a vacant site that achieves purposes noted in items 1, 2, 3, 5, 6 and 7.

- ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
  - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

**Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:**

1. **The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public are, pedestrian and transit facilities.**
2. **The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
3. **The PUD will provide superior landscaping, buffering or screening.**
4. **The buildings within the PUD offer high quality architectural design.**
5. **The PUD provides for energy efficient building and site design.**
6. **The PUD provides for the use of innovative stormwater management techniques.**
7. **The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
8. **The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
9. **The PUD preserves historic buildings, sites or neighborhoods.**

This development provides values as noted in items 3, 4, 5, and 6 with the challenging topography of the site (30 ft. of fall from the west property line to the east). The current zoning is challenging with safe access onto Mosedale St.

**iii. The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):**

**A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

This project will provide public walks tying into Pine Street and also tying in Keller Place to Mosedale from Rt. 31.

**B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

The developer has met with the City development staff including the Public Works Director and Engineering Director as well as the Fire Department to ensure a safe addition to the community.

**C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

Adding seven new single family homes will not diminish the property values of surrounding homes.

**D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

This development will not adversely impact the traffic with only seven homes. Safe passive foot traffic will be improved with installing public walk tying in Pine Street walks to Rt. 31 walks.

**E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The public safety and general welfare will be improved with this development. The site is currently vacant. The roads and public walk will be improved to deliver a safer passage.

**F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The proposed Special Use will conform to all Federal, State and Local legislation and regulation.

**iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The redevelopment of this former doctor's office which has sat vacant for over 15 years will enhance the residential product offering in downtown St. Charles. This location will also lead to increased revenue for the downtown businesses. Additionally, the tax base will increase dramatically with seven single family homes occupying the site.

**v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The City's Comprehensive Plan calls for detached single family homes for this site, while also achieving a Comprehensive Plan land use goal of diversified residential product and increased use of downtown St. Charles businesses and amenities.

**EXHIBIT "D"**

**PUD PRELIMINARY PLAN  
(17 pages)**



- LEGEND**
- BOUNDARY LINE
  - EXISTING ROW
  - ELEVATION ADJUSTMENT LINE
  - EXISTING EASEMENT LINE
  - EXISTING SETBACK LINE
  - EXISTING CONTOUR
  - EXISTING CURB AND GUTTER
  - EXISTING SANITARY SEWER
  - EXISTING STORM SEWER
  - EXISTING WATER LINE
  - EXISTING UNDERGROUND GAS
  - EXISTING UNDERGROUND TELEPHONE
  - EXISTING OVERHEAD TELEPHONE
  - EXISTING UNDERGROUND ELECTRIC
  - EXISTING OVERHEAD ELECTRIC
  - EXISTING UNDERGROUND CABLE
  - EXISTING OVERHEAD CABLE
  - EXISTING DEVELOPMENT OF OTHER
  - EXISTING FENCE
  - EXISTING VEGETATION LINE
  - SECTION CORNER
  - SOIL BORING, REFER TO GEOTECHNICAL REPORT
  - FOUND IRON PILE
  - FOUND IRON PIPE
  - FOUND WIRE LINE
  - EXISTING SIGN
  - EXISTING BOLLARD
  - EXISTING FENCE
  - EXISTING SANITARY MANHOLE
  - EXISTING STORM CATCH BASIN/MANHOLE
  - EXISTING WATER VALVE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER METER
  - EXISTING WATER MARKER
  - EXISTING GAS METER
  - EXISTING GAS RISER
  - EXISTING GAS MANHOLE
  - EXISTING TELEPHONE MANHOLE
  - EXISTING TELEPHONE MARKER
  - EXISTING TELEPHONE WIRE
  - EXISTING TRAFFIC SIGNAL
  - EXISTING ELECTRIC TRANSFORMER
  - EXISTING ELECTRIC BOX
  - EXISTING ELECTRIC METER
  - EXISTING ELECTRIC MARKER
  - EXISTING LIGHT POLE
  - EXISTING LIGHT RISER
  - EXISTING MARKER
  - EXISTING ASPHALT
  - EXISTING CONCRETE
  - EXISTING GRAVEL

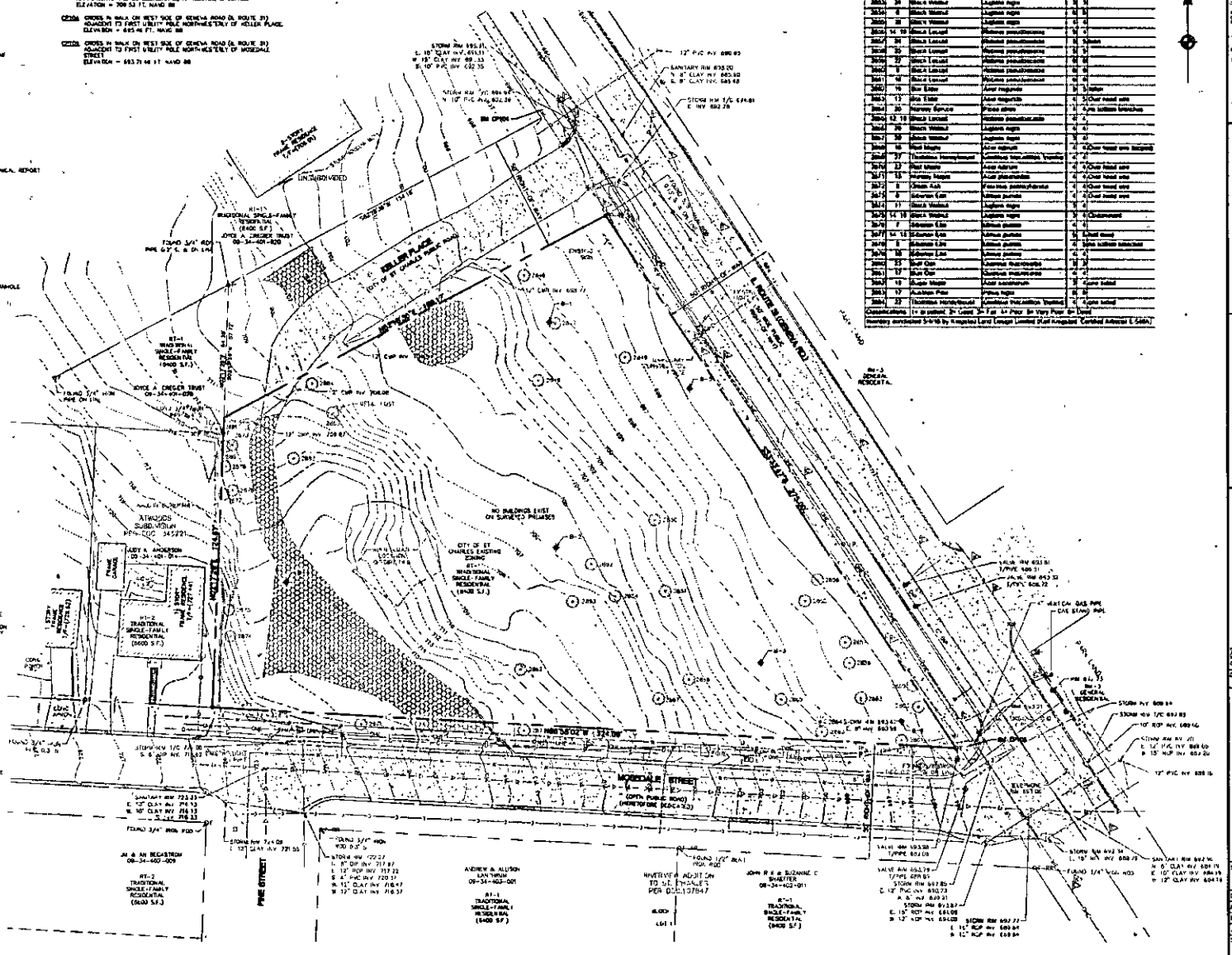
**REMARKS**

**STATION 21C-02:**  
STATION IS LOCATED 11.7 HRS (17 HRS) SOUTHWEST OF HANLEY, #1  
ON 13.8 HRS NORTHWEST CORNER OF BAYVIEW AND 5.1 HRS SOUTH  
EAST CORNER OF CLON COMMUNITY COLLEGE, IN THE CITY OF SAINT CHARLES, MO.  
SECTION 24, TOWNSHIP 15 N, RANGE 06E, MERIDIAN 91 W. PLATON COLUMBIA  
APPROXIMATE AND AS COORDINATES IN 1983.00, E. 865999  
SECTION 24, TOWNSHIP 15 N, RANGE 06E, MERIDIAN 91 W.

**STATION 21C-03:**  
STATION IS LOCATED 11.6 HRS (16 HRS) SOUTHWEST OF HANLEY, #3  
ON 13.8 HRS NORTHWEST CORNER OF BAYVIEW AND 5.1 HRS SOUTH  
EAST CORNER OF CLON COMMUNITY COLLEGE, IN THE CITY OF SAINT CHARLES, MO.  
SECTION 24, TOWNSHIP 15 N, RANGE 06E, MERIDIAN 91 W. PLATON COLUMBIA  
APPROXIMATE AND AS COORDINATES IN 1983.00, E. 865999  
SECTION 24, TOWNSHIP 15 N, RANGE 06E, MERIDIAN 91 W.

**STATION 21C-04:**  
STATION IS ON WEST SIDE OF BAYVIEW ROAD (R. ROUTE 21)  
ADJACENT TO FIRST UTILITY POLE NORTHWEST CORNER OF KELLER PLACE.  
ELEVATION = 855.00 FT. NAVD 83

**STATION 21C-05:**  
STATION IS ON WEST SIDE OF BAYVIEW ROAD (R. ROUTE 21)  
ADJACENT TO FIRST UTILITY POLE NORTHWEST CORNER OF WOODDALE  
STREET.  
ELEVATION = 855.70 FT. NAVD 83



**FIELD INVENTORY**  
PREPARED BY AUSTRIAC LAND DESIGN LIMITED

NO.	DATE	PPPP	SCIENTIFIC NAMES	NO.	COMMENTS
1668	01/20/16	1668	...	1	...
1669	01/20/16	1669	...	1	...
1670	01/20/16	1670	...	1	...
1671	01/20/16	1671	...	1	...
1672	01/20/16	1672	...	1	...
1673	01/20/16	1673	...	1	...
1674	01/20/16	1674	...	1	...
1675	01/20/16	1675	...	1	...
1676	01/20/16	1676	...	1	...
1677	01/20/16	1677	...	1	...
1678	01/20/16	1678	...	1	...
1679	01/20/16	1679	...	1	...
1680	01/20/16	1680	...	1	...
1681	01/20/16	1681	...	1	...
1682	01/20/16	1682	...	1	...
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1698	01/20/16	1698	...	1	...
1699	01/20/16	1699	...	1	...
1700	01/20/16	1700	...	1	...

**NOTES**

- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPARE WITH THE EXISTING UTILITIES IN THE AREA. OTHER THAN AS SHOWN, THE SURVEYOR MAKES NO GUARANTEE THAT THE EXISTING UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE, THE SURVEYOR HAS NO PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- COMPARE THE DESCRIPTION ON THIS PLAN WITH YOUR DEED ABSTRACTS OR CERTIFICATE OF TITLE. ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME. AND REPORT ANY DISCREPANCIES IMMEDIATELY.
- EASEMENTS AND ENCUMBRANCES SHOWN HEREON ARE BASED UPON A TITLE COMMITMENT OBTAINED BY CHARGED TITLE INSURANCE COMPANY IDENTIFIED AS NUMBER REFERENCED BY REFERENCE TO THE DATE OF RECORDATION.
- THE RECORDS SHOWN HEREON ARE BASED UPON THE WEST LINE OF BAYVIEW ROAD BEING 53.32477' (AS SHOWN).
- ALL MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
- PER = FOUND IRON PIPE (AS SHOWN)  
FIR = FOUND IRON ROD  
SP = SET ROD PIPE (AS SHOWN)
- BASED ON REVIEW OF FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP PANEL NO. 1208080001B IN AN EFFECTIVE DATE OF AUGUST 7, 2006. IT IS CONSIDERED THAT NO PART OF THE SUBJECT DEVELOPMENT HEREON FALLS WITHIN A SPECIAL FLOOD ZONE (AS SHOWN) AS AS DISCLOSED AND EXTENDED BY FEMA.
- PANEL CONTAINS LESS THAN OR EXACTLY SQUARE FEET MORE OR LESS.

**DATE OF REVISION:**  
BLOCK 2 OF INVERTER ADDITION TO ST. CHARLES IN THE CITY OF SAINT CHARLES, MISSOURI

**ATWELL**  
LAND SURVEYING & ENGINEERING  
INCORPORATED

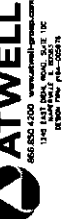
SECTION 24  
TOWNSHIP 15 NORTH, RANGE 6 EAST  
ST. CHARLES  
KANE COUNTY, MISSOURI

DAVID WEDDELEY, HOMES  
CITYVIEW SUBDIVISION  
EXISTING CONDITIONS PLAN

DATE: 05/09/2016  
DRAWN BY: JLD  
SCALE: 1" = 40 FEET  
SHEET NO. 15007338



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SECTION 34  
TOWNSHIP 40 NORTH, RANGE 8 EAST  
ST. CHARLES  
KANE COUNTY, ILLINOIS

DAVID WENZLEY HOMES  
CITYVIEW SUBDIVISION  
PUD PRELIMINARY PLAN

DATE: 06/09/2018

NO.	DATE	BY	DESCRIPTION
1	06/09/2018	PAUL E. LORD	PRELIMINARY PLAN

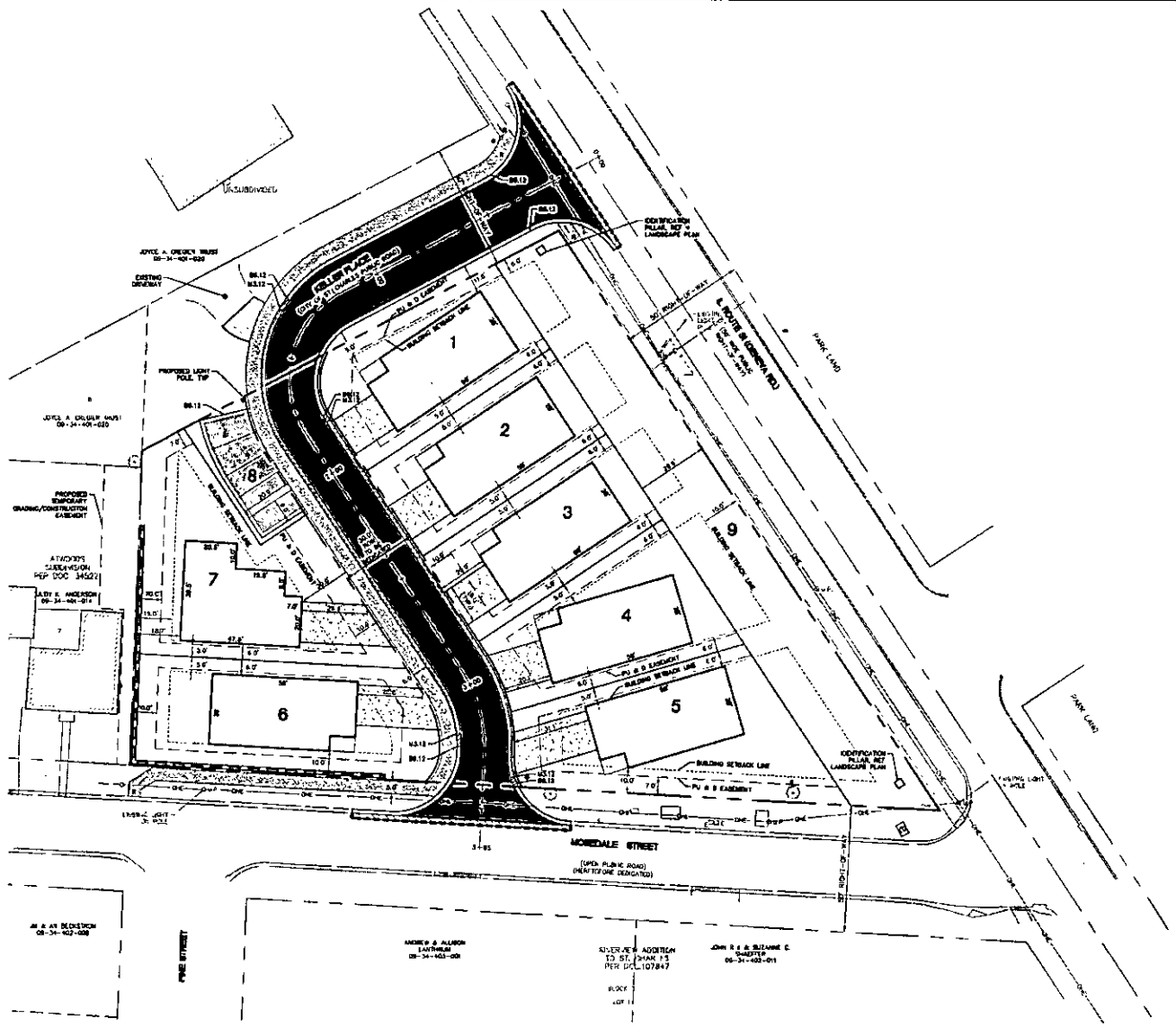
SCALE: 1" = 20 FEET  
DR. REX CH. ED.  
PAUL E. LORD  
DATE: 06/09/2018  
JOB: 15002336  
SHEET NO: C-00



- LEGEND**
- BOUNDARY LINE
  - EXISTING ROW
  - PROPOSED ROW
  - EXISTING CURB AND GUTTER
  - PROPOSED #6.12 CURB AND GUTTER
  - PROPOSED #6.13 CURB AND GUTTER
  - PROPOSED CURB TRANSITION
  - SETBACK LINES
  - PROPOSED FENCE
  - PROPOSED UTILITY AND DRAINAGE (PUBD) EASEMENT LINE
  - PROPOSED BUILDING SETBACK LINE
  - EXISTING ASPHALT
  - PROPOSED SOI
  - PROP. STOP SOI
  - PROPOSED JOINT POLE SEE SHEET C-06 FOR CITY OF ST. CHARLES C-ROAD DETAIL
  - EXISTING JOINT POLE
  - PROPOSED CONCRETE PAVEMENT
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED HOUSING ASPHALT PAVEMENT SEE DETAIL SHEET C-00
  - PROPOSED STANDARD DUTY ASPHALT PAVEMENT
  - PAVEMENT PATCH

LOT	AREA
LOT 1	3,887 SQ. FT. / 0.09 ACRES
LOT 2	2,041 SQ. FT. / 0.05 ACRES
LOT 3	2,041 SQ. FT. / 0.05 ACRES
LOT 4	4,043 SQ. FT. / 0.09 ACRES
LOT 5	4,043 SQ. FT. / 0.09 ACRES
LOT 6	8,387 SQ. FT. / 0.19 ACRES
LOT 7	8,387 SQ. FT. / 0.19 ACRES
LOT 8	1,316 SQ. FT. / 0.03 ACRES
LOT 9	7,943 SQ. FT. / 0.18 ACRES
ROAD	6,847 SQ. FT. / 0.16 ACRES
<b>TOTAL</b>	<b>48,838 SQ. FT. / 1.12 ACRES</b>

- DEVELOPER DATA:**
- BUILDING SETBACKS:**
- FRONT YARD = 8' MINIMUM FROM BACK OF CURB (EAST SIDE OF KELLER PLACE)
  - REAR YARD = 20' MINIMUM FROM SIDEWALK (WEST SIDE OF KELLER PLACE)
  - REAR YARD = 12' MINIMUM FROM REAR PROPERTY LINE
  - SIDE YARD = 6' MINIMUM FROM SIDE PROPERTY LINE
  - CORNER YARD / STREET SIDE YARD = 6' MINIMUM FROM SIDE PROPERTY LINE
  - STREET SIDE YARD = 10' MINIMUM FROM MOOSECANY STREET RIGHT OF WAY
  - STREET SIDE YARD = 6' MINIMUM FROM KELLER STREET RIGHT OF WAY



ATWELL & ASSOCIATES  
1401 E. ANDERSON  
06-34-401-011

ANDERSON & ALLISON  
1401 E. ANDERSON  
06-34-401-008

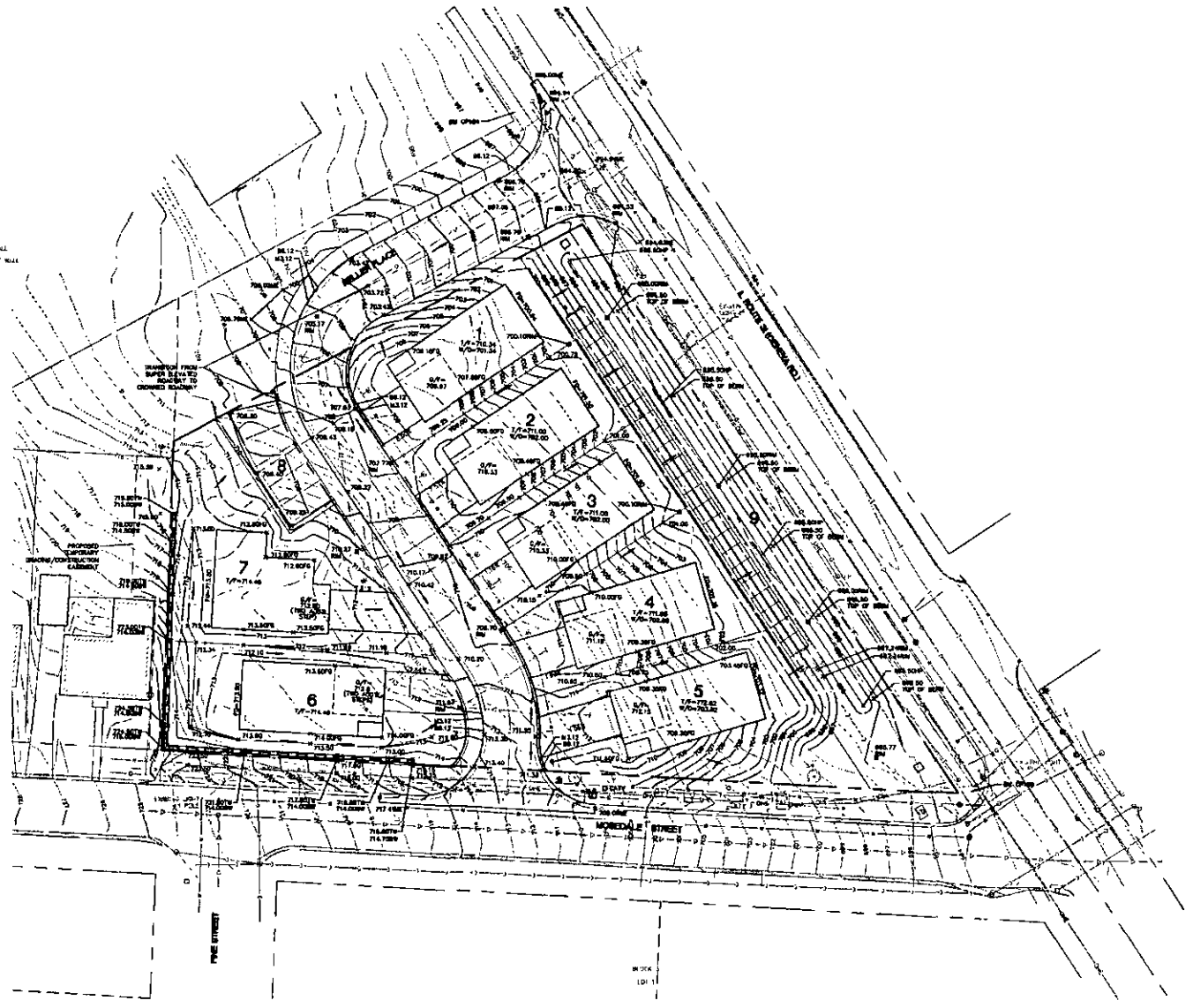
SILVERSTEIN & ASSOCIATES  
10 ST. CHARLES  
PER D.C. 107847

JOHN R. & SUZANNE C. QUARTER  
06-34-401-011

PAUL E. LORD  
06-34-401-008

**LEGEND**

---	BOUNDARY LINE
---	EXISTING ROW
---	PROPOSED ROW
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SHALE
---	PROPOSED HEDGE LINE
---	TREE PROTECTION FENCE
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	EXISTING STORM CATCH BASIN/MANHOLE
---	PROPOSED STORM CATCH BASIN/MANHOLE
---	PROPOSED SPOT ELEVATION
---	PROPOSED FINISHED GRADE ELEVATION
---	PROPOSED TOP OF CURB ELEVATION
---	PROPOSED FINISHED GRADE AT TOP OF WALL
---	PROPOSED FINISHED GRADE AT BOTTOM OF WALL
---	PROPOSED DRAINAGE ARROW



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SECTION 34  
TOWN 40 NORTH, RANGE 8 EAST  
ST. CHARLES  
KANE COUNTY, ILLINOIS

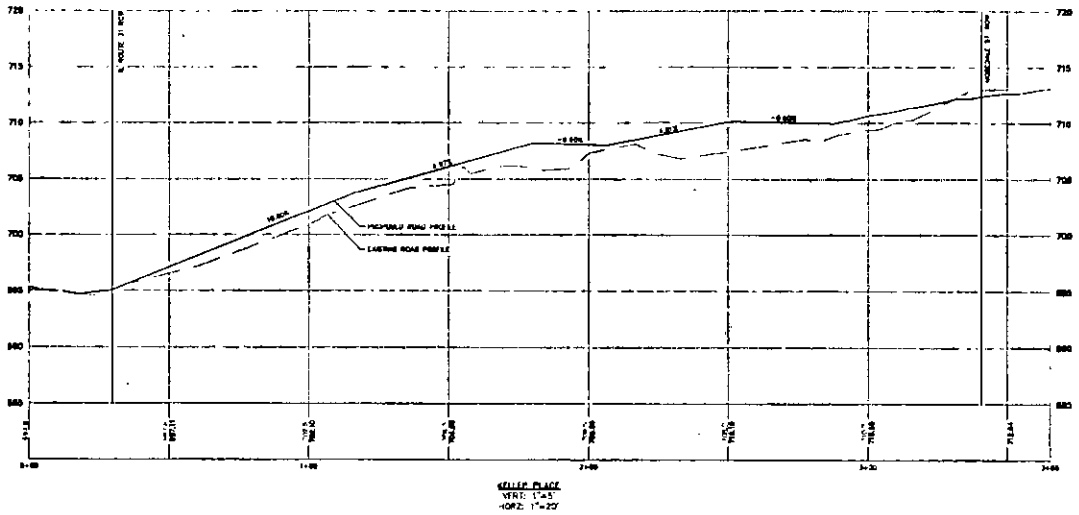
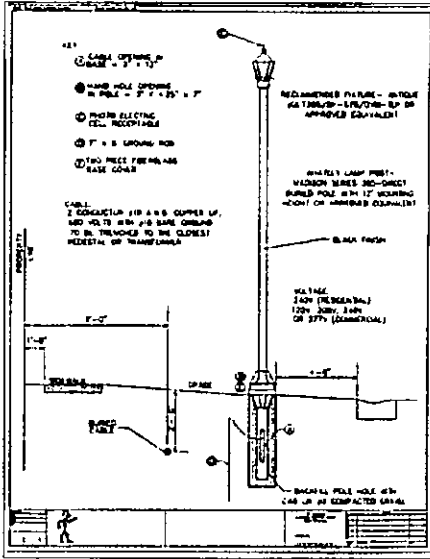
DAVID WEDDELEY HONES  
CITYVIEW SUBDIVISION  
PRELIMINARY GRADING PLAN

DATE: 06/09/2016  
DRAWN BY: JEFF COOPER  
CHECKED BY: JEFF COOPER

REVISIONS  
SCALE: 0 20 40  
1" = 20 FEET  
DR. NEX NICH. EL.  
PAK E. LORD  
BOOK: --  
JOB: 15007336  
SHEET NO: C-04

DATE PLOTTED: 06/09/2016 10:44:11 AM





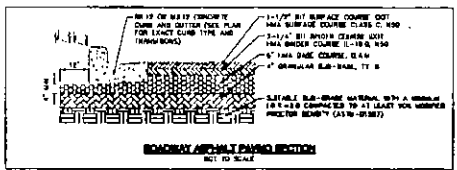
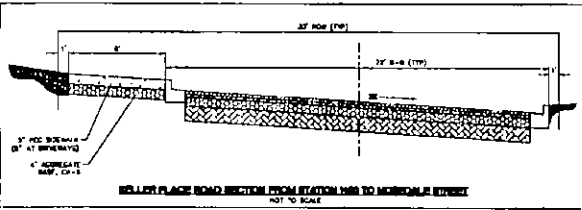
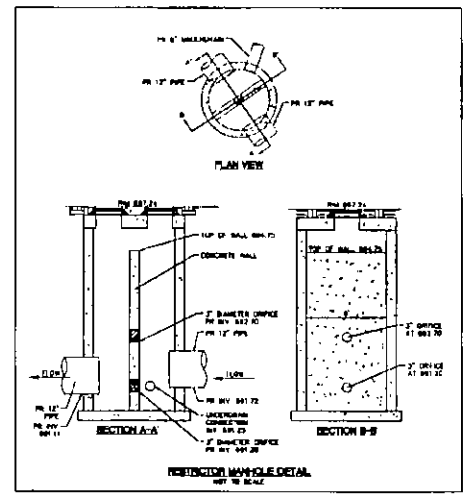
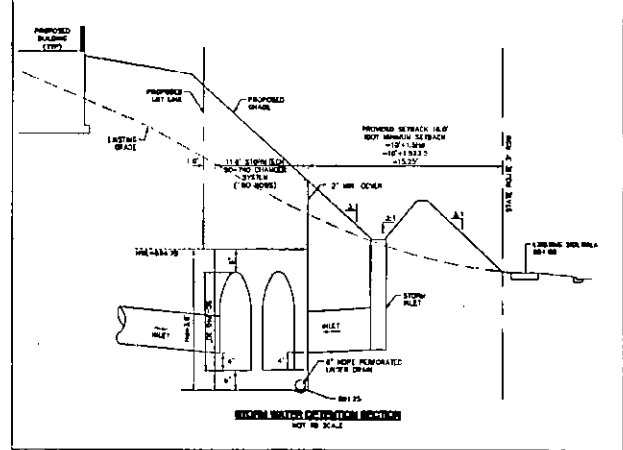
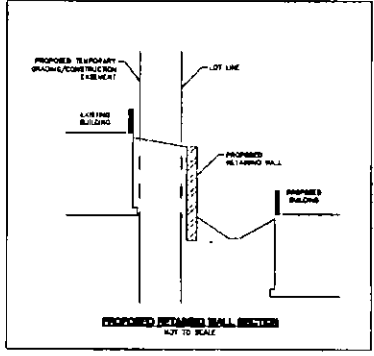
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SECTION 34  
 TOWN OF WEST BAKER & EAST  
 ST. CHARLES  
 ST. CHARLES, MISSOURI  
 -CANE COUNTY, ILLINOIS

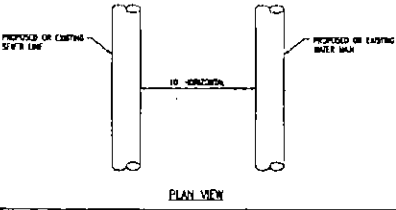
DAVID WEDALEY HOMES  
 CITYVIEW SUBDIVISION  
 PROFILES AND DETAILS

DATE: 08/09/2018  
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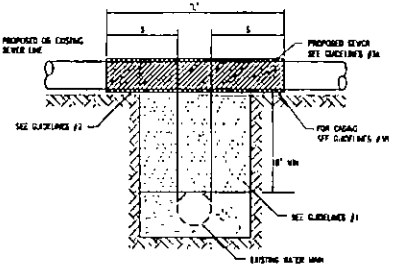




WHEN PROPOSED SEWER (OR WATER) IS LOCATED 10 FEET OR MORE FROM EXISTING WATER (OR SEWER), NO SPECIAL CONSTRUCTION REQUIRED. SEE ARTICLE 41-2014 (1)



PROPOSED WATER MAIN **ABOVE** EXISTING SEWER LINE WITH 18" MINIMUM VERTICAL SEPARATION ABOVE EXISTING WATER MAIN. NOTE: COMPACTION REQUIREMENTS REFER TO ARTICLE 20-4

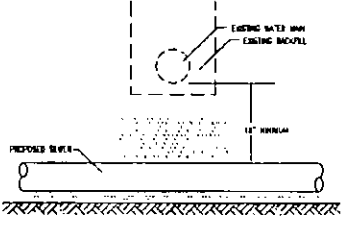


NOTE: "X" THE LENGTH NECESSARY TO PROVIDE 10 FEET OF SEPARATION AS MEASURED PERPENDICULAR TO THE EXISTING WATER MAIN

- GUIDELINES**
1. IF SELECT GRANULAR BACKFILL EXIST, REMOVE WITHIN WIDTH OF PROPOSED SEWER TRENCH AND REPLACE WITH SELECT ENHANCED MATERIAL (CLASS #4) AND COMPACT.
  2. IF SELECT GRANULAR BACKFILL EXIST, REMOVE WITHIN WIDTH OF EXISTING SEWER LINE TRENCH AND REPLACE WITH SELECT ENHANCED MATERIAL (CLASS #4) AND COMPACT THE LENGTH OF "X".
  3. A) CONSTRUCT 7" FEET OF PROPOSED SEWER OF WATER MAIN MATERIAL AND PRESSURE TEST, OR.  
B) USE 7" FEET OF WATER MAIN MATERIAL FOR CASING OF PROPOSED SEWER AND SEAL ENDS OF CASING.

WATER AND SEWER SEPARATION REQUIREMENTS  
VERTICAL SEPARATION  
STANDARD DRAWING NO. 10

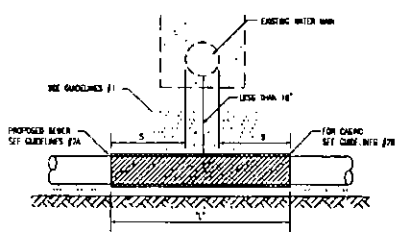
PROPOSED SEWER LINE **BELOW** EXISTING WATER MAIN WITH 18" MINIMUM VERTICAL SEPARATION



- GUIDELINES**
1. PROVIDE ADEQUATE SUPPORT FOR EXISTING WATER MAIN TO PREVENT DAMAGE DUE TO SETTLEMENT OF SEWER TRENCH.

WATER AND SEWER SEPARATION REQUIREMENTS  
VERTICAL SEPARATION  
STANDARD DRAWING NO. 10

PROPOSED SEWER LINE **BELOW** EXISTING WATER MAIN WITH **LESS THAN 18"** MINIMUM VERTICAL SEPARATION. NOTE: COMPACTION REQUIREMENTS REFER TO ARTICLE 20-4

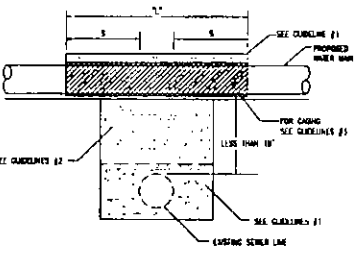


NOTE: "X" THE LENGTH NECESSARY TO PROVIDE 10 FEET OF SEPARATION AS MEASURED PERPENDICULAR TO THE EXISTING WATER MAIN

- GUIDELINES**
1. DO NOT SELECT GRANULAR BACKFILL AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF SEWER AND USE SELECT ENHANCED MATERIAL (CLASS #4) AND COMPACT FOR 7" FEET ON EACH SIDE OF WATER MAIN.
  2. A) CONSTRUCT 7" FEET OF PROPOSED SEWER OF WATER MAIN MATERIAL AND PRESSURE TEST, OR.  
B) USE 7" FEET OF WATER MAIN MATERIAL FOR CASING OF PROPOSED SEWER AND SEAL ENDS OF CASING.
  3. PROVIDE ADEQUATE SUPPORT FOR EXISTING WATER MAIN TO PREVENT DAMAGE DUE TO SETTLEMENT OF SEWER TRENCH.

WATER AND SEWER SEPARATION REQUIREMENTS  
VERTICAL SEPARATION  
STANDARD DRAWING NO. 10

PROPOSED WATER MAIN **ABOVE** EXISTING SEWER LINE WITH **LESS THAN 18"** MINIMUM VERTICAL SEPARATION. NOTE: COMPACTION REQUIREMENTS REFER TO ARTICLE 20-4

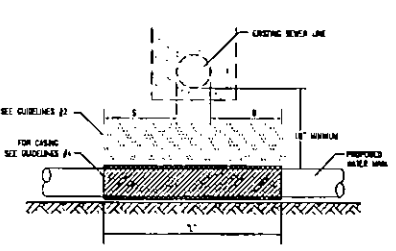


NOTE: "X" THE LENGTH NECESSARY TO PROVIDE 10 FEET OF SEPARATION AS MEASURED PERPENDICULAR TO THE EXISTING SEWER LINE.

- GUIDELINES**
1. DO NOT SELECT GRANULAR BACKFILL AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF WATER MAIN AND USE SELECT ENHANCED MATERIAL (CLASS #4) AND COMPACT THE LENGTH OF "X".
  2. IF SELECT GRANULAR BACKFILL EXIST, REMOVE WITHIN BOTH OF EXISTING SEWER LINE TRENCH AND REPLACE WITH SELECT ENHANCED MATERIAL (CLASS #4) AND COMPACT.
  3. USE 7" FEET OF WATER MAIN MATERIAL FOR CASING OF PROPOSED WATER MAIN AND SEAL ENDS OF CASING.
  4. POINT LOADS SHALL NOT BE ALLOWED BETWEEN WATER MAIN CASING AND SEWER.

WATER AND SEWER SEPARATION REQUIREMENTS  
VERTICAL SEPARATION  
STANDARD DRAWING NO. 10

PROPOSED WATER MAIN **BELOW** EXISTING SEWER LINE WITH 18" MINIMUM VERTICAL SEPARATION. NOTE: COMPACTION REQUIREMENTS REFER TO ARTICLE 20-4

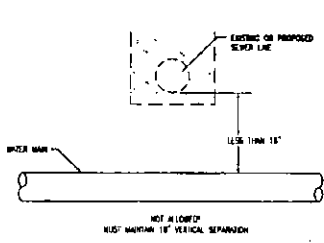


NOTE: "X" THE LENGTH NECESSARY TO PROVIDE 10 FEET OF SEPARATION AS MEASURED PERPENDICULAR TO THE EXISTING SEWER LINE.

- GUIDELINES**
1. DO NOT SELECT GRANULAR BACKFILL AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF WATER MAIN AND USE SELECT ENHANCED MATERIAL (CLASS #4) AND COMPACT THE LENGTH OF "X".
  2. IF SELECT GRANULAR BACKFILL EXIST, REMOVE WITHIN BOTH OF EXISTING SEWER LINE TRENCH AND REPLACE WITH SELECT ENHANCED MATERIAL (CLASS #4) AND COMPACT.
  3. PROVIDE ADEQUATE SUPPORT FOR EXISTING SEWER LINE TO PREVENT DAMAGE DUE TO SETTLEMENT.
  4. USE 7" FEET OF WATER MAIN MATERIAL FOR CASING OF PROPOSED WATER MAIN AND SEAL ENDS OF CASING.

WATER AND SEWER SEPARATION REQUIREMENTS  
VERTICAL SEPARATION  
STANDARD DRAWING NO. 10

PLACEMENT OF WATER MAIN **BELOW** EXISTING OR PROPOSED SEWER LINE WITH **LESS THAN 18"** MINIMUM VERTICAL SEPARATION. NOT ALLOWED.



WATER AND SEWER SEPARATION REQUIREMENTS  
VERTICAL SEPARATION  
STANDARD DRAWING NO. 10

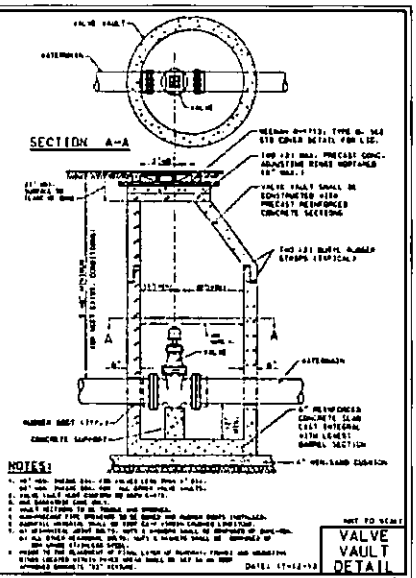
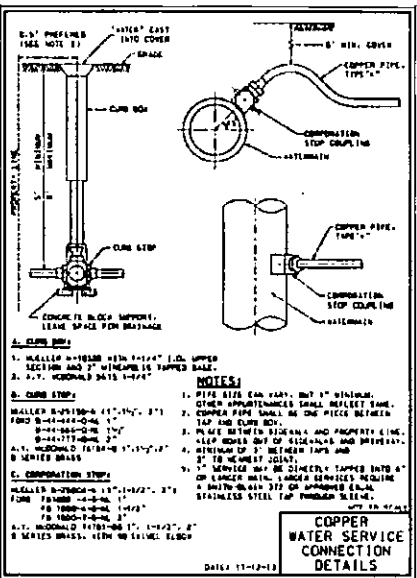
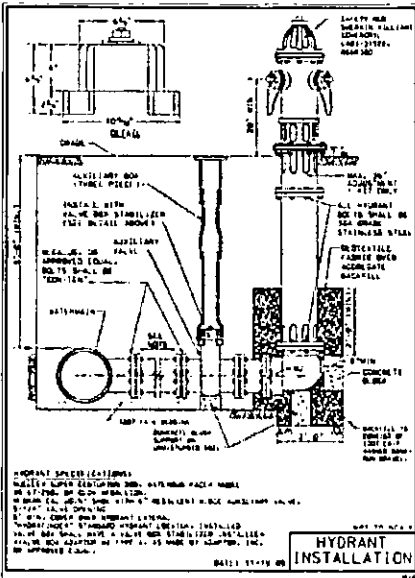
**811**  
Kansas City, MO  
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www.811.com

**ATWELL**  
INCORPORATED  
1000 S. W. 10th St., Suite 100  
Lawrence, KS 66044  
TEL: 785.842.1111  
WWW.ATWELLINC.COM

SECTION 34  
TOWN OF WORTH, RANGE 8 EAST  
ST. CHARLES  
KANE COUNTY, ILLINOIS

DAVID WEDDELEY HOMES  
CITYVIEW SUBDIVISION  
WATER AND SEWER SEPARATION  
DETAILS

DATE: 08/09/2016  
PROJECT: 1608-10-000-0000  
SCALE: AS SHOWN  
SHEET NO. 160822330  
C-07



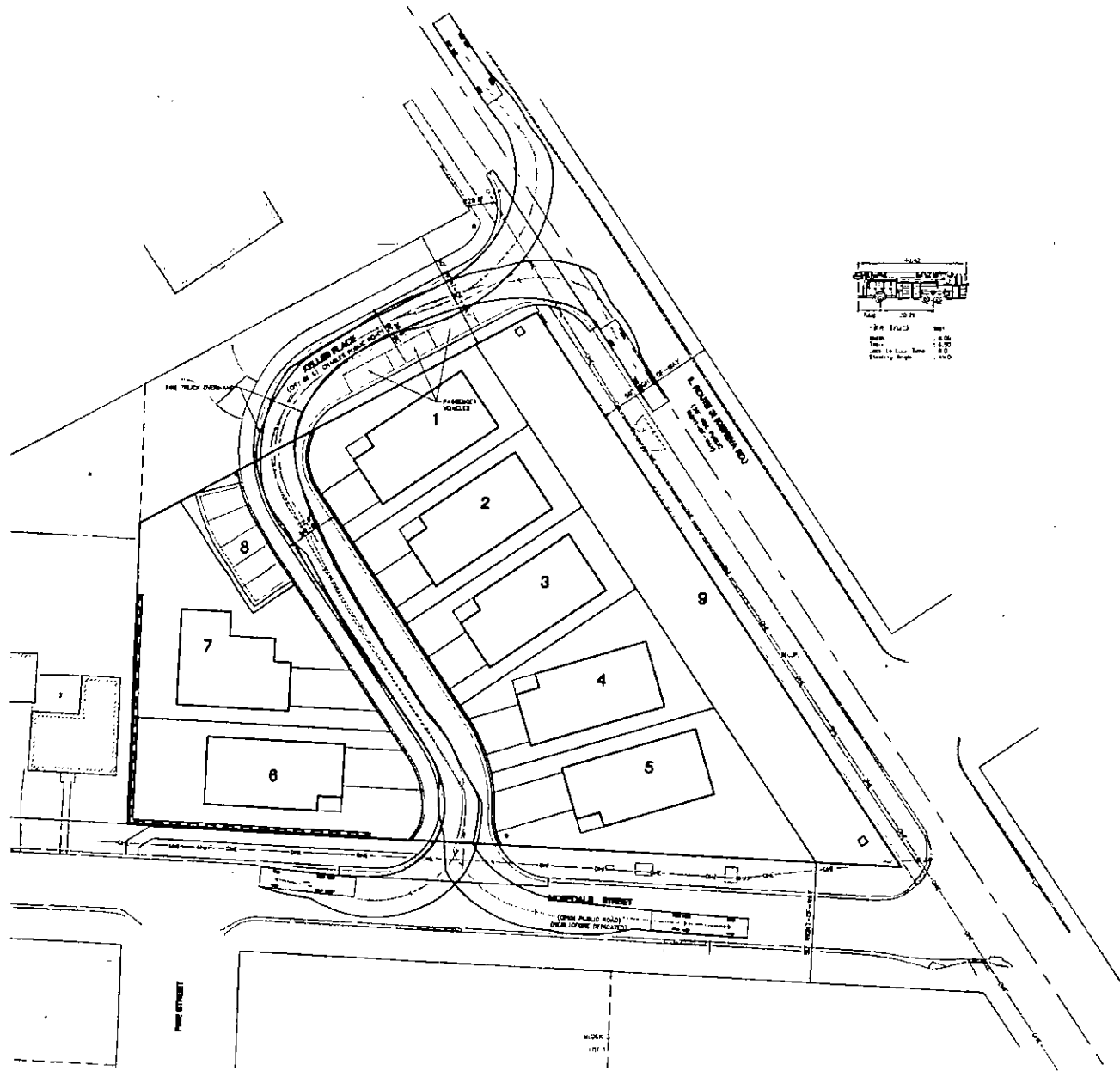
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**ATWELL**  
1000 W. 10TH ST. ST. CHARLES, MO 63301  
314.733.1111

SECTION 34  
TOWN OF NORTH RANGE & EAST  
ST. CHARLES  
CLAY COUNTY, MISSOURI

DAVID WEDDELEY HOMES  
CITYVIEW SUBDIVISION  
CITY WATER DETAILS

DATE: 08/08/2018  
SCALE: AS SHOWN  
DRAWN BY: JLD  
CHECKED BY: JLD  
DATE: 08/08/2018  
PROJECT NO: C-08



**81**

Call before you dig  
800-4-A-DIG

ATWELL

SECTION 34  
TOWN 45 NORTH, RANGE 8 EAST  
ST. CHARLES  
4-ME COUNTY, ILLINOIS

DAVID WEDLEY, HOMES  
CITYVIEW SUBDIVISION  
FIRE TRUCK TURN EXHIBIT

DATE: 04/04/2018

SCALE: 1" = 20 FEET  
BY: M.C. [unclear]  
CHK: E. LUND  
JOB: 10002330  
SHEET NO: C-08











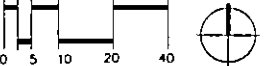
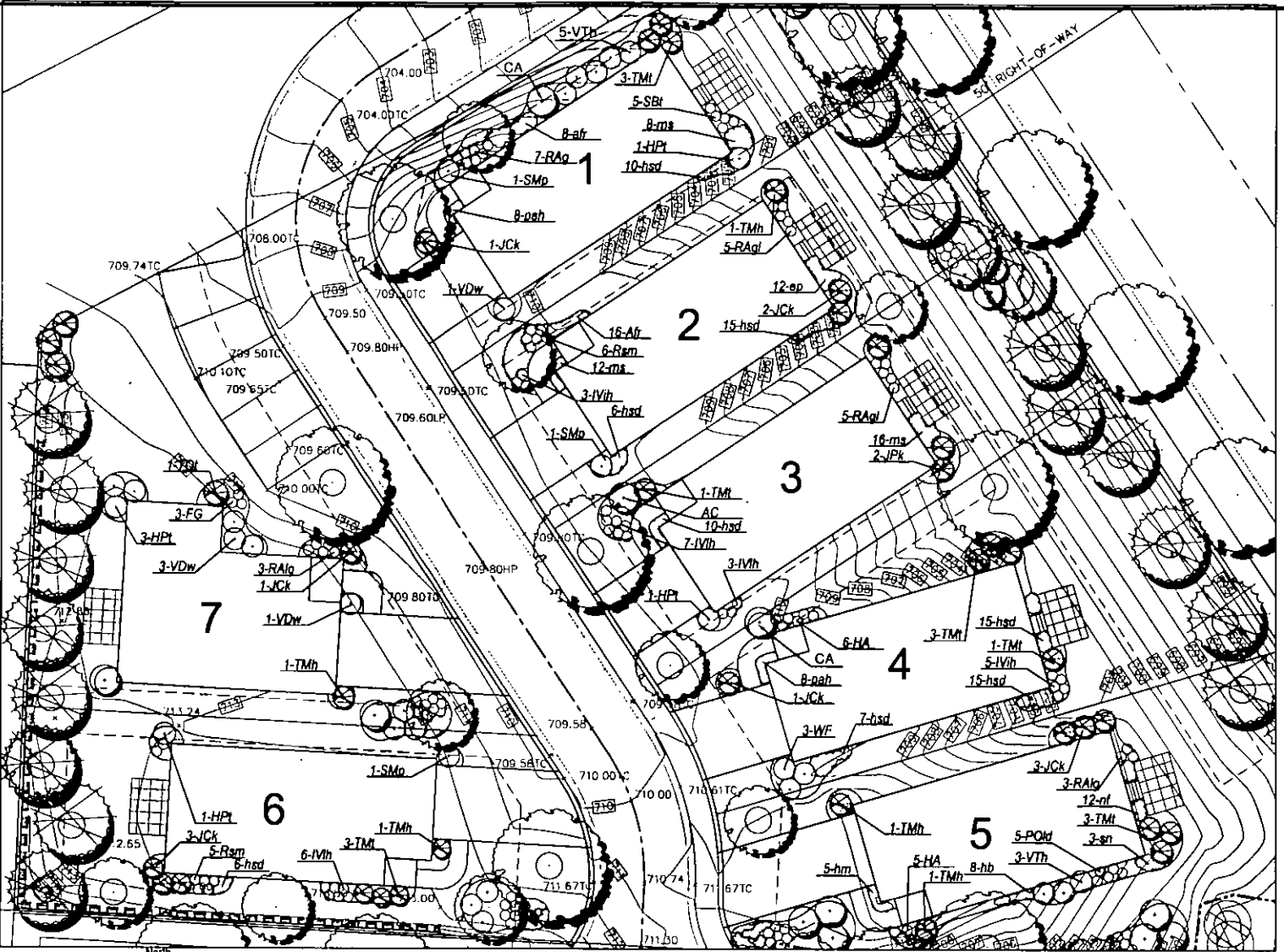
See notes below. Call when you go to job.



SECTION 24  
 20% OF WORK, MAKE 8 LAMPS  
 ST. CHARLES  
 KANE COUNTY, ILLINOIS

DAVID B. SCHILLER, LICENSED LANDSCAPE ARCHITECT  
 CITYVIEW SUBDIVISION

DATE:	08/05/2016
DATE:	08/26/2016
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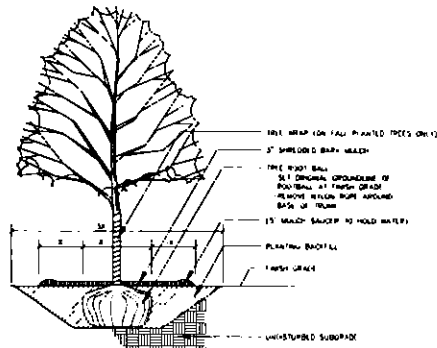


David Winkley Thomas, Landscape Architect  
 20% OF WORK, MAKE 8 LAMPS

### L-2 Foundation Planting Plan City View St Charles, Illinois

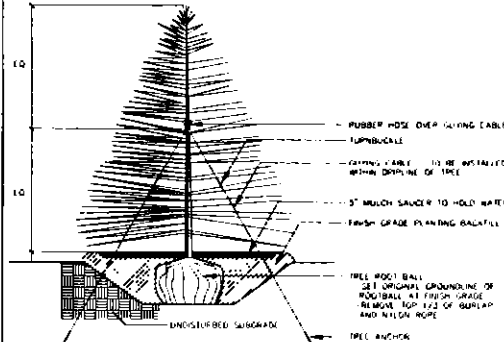


Revised August 1, 2016  
 June 8, 2016



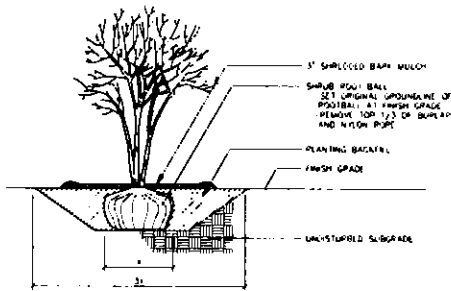
1 TREE PLANTING DETAIL

SCALE NONE



2 EVERGREEN TREE PLANTING DETAIL

SCALE NONE



3 SHRUB PLANTING DETAIL

SCALE NONE



David Woodruff & Thomas

PLANT LIST

SHADE TREES

QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	HT	PLANTING
1	[Symbol]	Prunella pennsylvanica	Black Cherry	16'	10/19/18
1	[Symbol]	Prunella pennsylvanica	Black Cherry	16'	10/19/18

INTERMEDIATE AND EVERGREEN TREES

QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	HT	PLANTING
1	[Symbol]	Prunella pennsylvanica	Black Cherry	16'	10/19/18
1	[Symbol]	Prunella pennsylvanica	Black Cherry	16'	10/19/18

SHRUBS

QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	HT	PLANTING
1	[Symbol]	Prunella pennsylvanica	Black Cherry	16'	10/19/18
1	[Symbol]	Prunella pennsylvanica	Black Cherry	16'	10/19/18

PERENNIALS AND GROUND COVER

QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	HT	PLANTING
1	[Symbol]	Prunella pennsylvanica	Black Cherry	16'	10/19/18
1	[Symbol]	Prunella pennsylvanica	Black Cherry	16'	10/19/18



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WWW.CITYOFCHICAGO.ILLINOIS/811  
OPERATING HOURS  
8:00 AM - 6:00 PM  
M-F



SECTION 34  
TOWN OF NORTH BROS. & EAST  
ST. CHARLES  
KANE COUNTY, ILLINOIS

DAVID WOODRUFF & THOMAS  
CITYVIEW SUBDIVISION

08/09/2018

08/01/2018

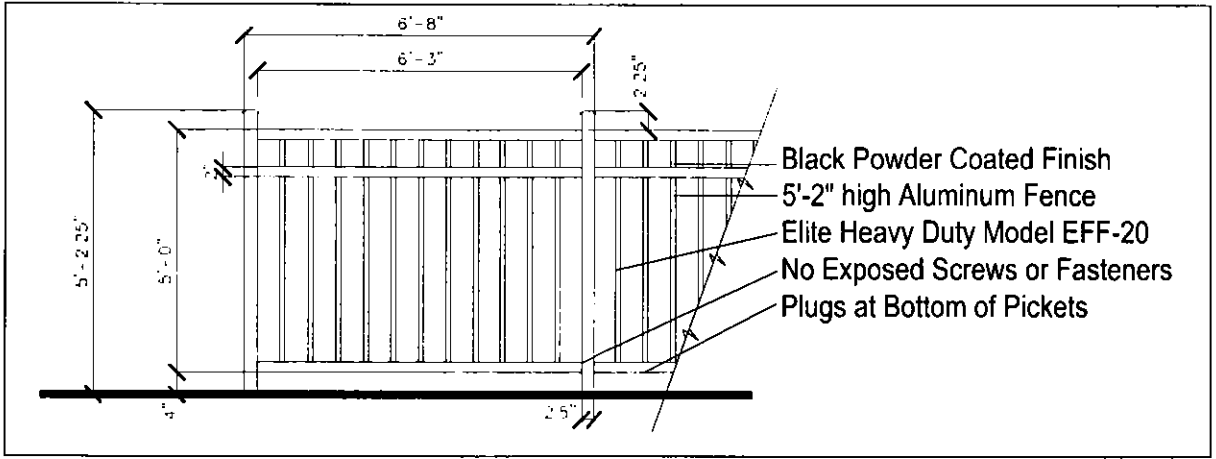
L-3  
Landscape Details  
City View

St. Charles, Illinois

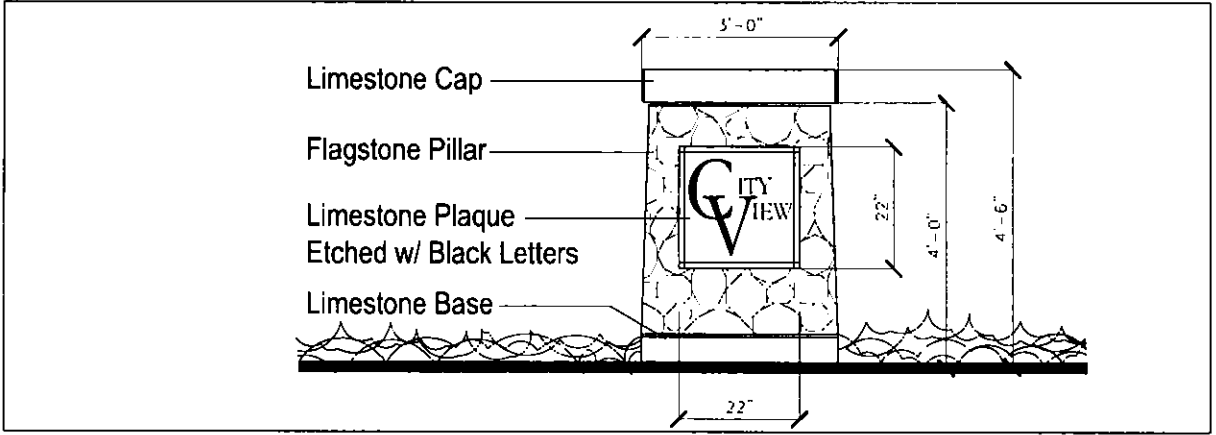
Revised August 1, 2016  
June 8, 2016



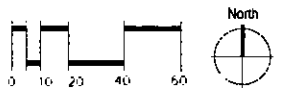
NO.	REV.	DATE	BY
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2	0	08/09/2018	



Fence Detail



Identification Pillar



David Woodley Homes

L-4  
 Landscape Plan  
 City View  
 St Charles, Illinois

Revised August 1, 2016  
 June 8, 2016



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**ATWELL**

DAVID WOODLEY HOMES

SECTION 34

TOWNSHIP OF NORTH, RANGE 8 EAST

ST. CHARLES

KANE COUNTY, ILLINOIS

DAVID WOODLEY HOMES

CITYVIEW SUBDIVISION

DATE: 08/04/2016

08/01/2016

SCALE: 1" = 10'-0"

BY: DL

CHECKED: DL

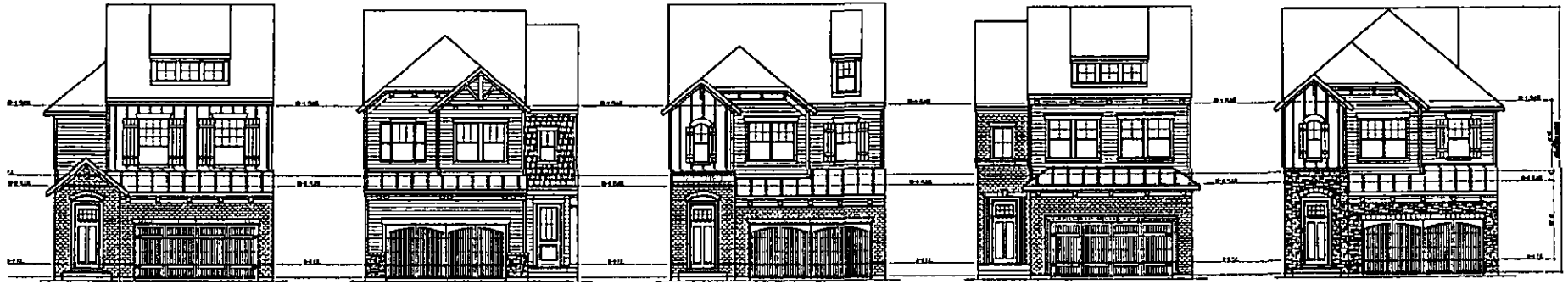
BOOK: ---

JOB: 15007338

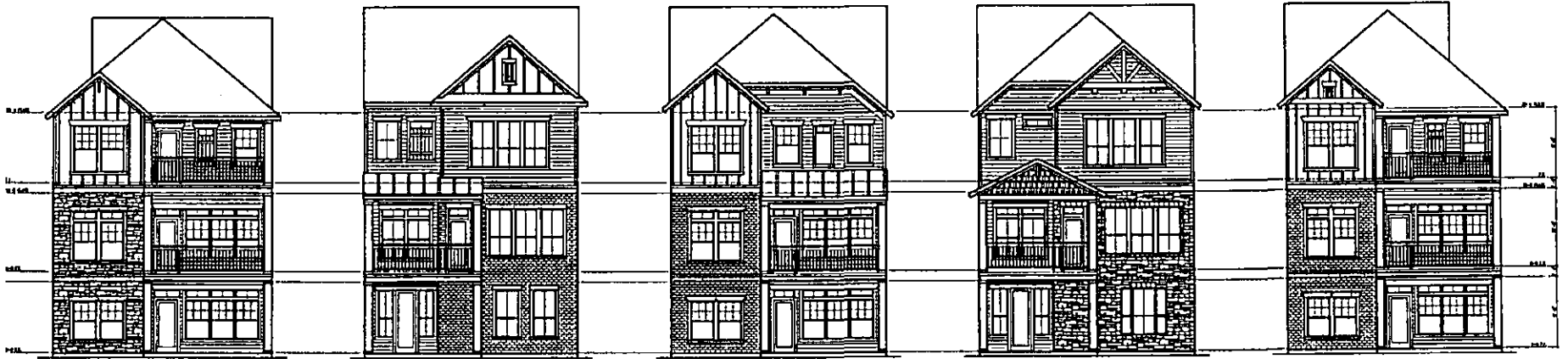
SHEET NO: ---

L-3





front ELEVATION



rear ELEVATION

KANE COUNTY, IL

CityView

David Weekley Homes

**EXHIBIT "E"**

**PUD DEVIATIONS**

<b>Table 17.12-2 Residential District Bulk Requirements - RT-2 District</b>	
<b>Minimum Lot Area</b>	3,561 sq. ft. (Lots 2 & 3) and as shown on the PUD Preliminary Plan.
<b>Minimum Lot Width</b>	30.29 ft. (Lot 5) and as shown on the PUD Preliminary Plan
<b>Maximum Building Coverage</b>	55% (based on building setbacks as shown on the PUD Preliminary Plan, however with a 0 ft. rear setback for Lots 1-5)
<b>Minimum Front Yard</b>	19 ft.
<b>Minimum Interior Side Yard</b>	6 ft.
<b>Minimum Exterior Side Yard</b>	6 ft.
<b>Minimum Rear Yard</b>	15 ft. (Lots 6 & 7) 0 ft. (Lots 1-5)
<b>Table 17.28-1 Permitted Signs for Residential Districts (RE, RS, RT, RM)</b>	
<b>Development Identification Signs</b>	2 signs permitted per design shown on the PUD Preliminary Plan
<b>Section 17.26.110 Retaining Walls</b>	
<b>17.26.110.C Retaining Walls over 4 ft. in height</b>	A terrace or stepping back of the retaining wall to allow for a planting area shall not be required. A decorative aluminum fence shall be installed along the retaining wall, as shown on the PUD Preliminary Plan.
<b>Section 17.22.020 Accessory Buildings and Structures</b>	
<b>17.22.020.B.5</b>	The width of attached garage doors facing a street may exceed 50% of the width of the dwelling, including the garage door, as measured along the front building line that it faces, as shown on the PUD Preliminary Plan.
<b>17.22.020.B.6</b>	Attached garages do not need to be setback back from the front lot line 5 ft. more than the remainder of the dwelling or front porch.

State of Illinois )  
 )  
 ) ss.  
Counties of Kane and DuPage )

## Certificate

I, NANCY GARRISON, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

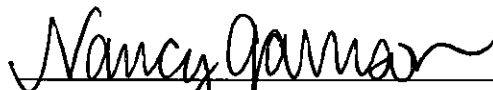
I further certify that on August 15, 2016, the Corporate Authorities of such municipality passed and approved Ordinance No. 2016-Z-15, entitled

"Motion to approve an Ordinance Granting Approval of  
a Map Amendment, special Use for Planned Unit  
Development and PUD Preliminary Plan for 895  
Geneva Road (Cityview PUD)."

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2016-Z-15, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on August 20, 2016, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

**DATED** at St. Charles, Illinois, this 15th day of August, 2016.

  
\_\_\_\_\_  
Municipal Clerk

