



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: 3a

Title:

Plan Commission recommendation to approve an Amendment to Special Use for PUD and PUD Preliminary Plan for Meijer – Drive-Thru, Parking, Signage (Meijer PUD).

Presenter:

Ellen Johnson

Meeting: Planning & Development Committee

Date: May 14, 2018

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

Executive Summary (if not budgeted please explain):

The subject property is the site of the Meijer store, which is part of the Meijer PUD approved under Ordinance 1999-M-24.

Craig M. Armstrong of Elevatus Architecture, on behalf of Meijer, Inc., is requesting approvals related to the following:

1. Pharmacy Drive-Thru – Change the location of the pharmacy drive-thru from the approved location at the north side of the store to the northeast corner of the store along the front of the building.
2. Parking Requirement – Reduce the parking requirement for the store from 831 spaces to 792 spaces to allow for an outlot development at the northeast corner of the parking lot. (The outlot development is a separate item on the agenda for this meeting.)
3. Signage – Modify the permitted signage for the Meijer property.

The proposal requires a PUD Amendment to change the approved location of the pharmacy drive-thru, reduce the parking requirement, and change the permitted signage.

A PUD Preliminary Plan pertaining to the drive-thru related improvements has also been submitted.

Plan Commission Review

Plan Commission held a public hearing on 5/8/18 and recommended approval, subject to resolution of staff comments, by a vote of 8-0. The applicant has provided revised plans conforming to the following staff comments in the staff report:

- The crosswalk to the Garden Center has been shifted north so that it does not extend through the drive-thru stacking lane.
- Left turns out of the drive-thru lane will be prohibited.

Annexation Agreement Amendment

Property within the Meijer PUD is subject to the provisions of an annexation agreement between the City and property owner, expiring in 2019. The annexation agreement will need to be amended to incorporate the proposed changes to the Meijer PUD. A public hearing to consider the annexation agreement amendment will be scheduled for the City Council meeting on June 4, pending a recommendation from Planning & Development Committee.

Attachments (please list):

Plan Commission Resolution, Staff Memo, Applications, Plans, PUD Ordinances

Plan Commission recommendation to approve an Amendment to Special Use for PUD and PUD Preliminary Plan for Meijer – Drive-Thru, Parking, Signage (Meijer PUD), contingent upon resolution of all staff comments prior to final Council action.

City of St. Charles, Illinois
Plan Commission Resolution No. 5-2018

A Resolution Recommending Approval of an Application for Special Use to amend Ordinances 1999-M-24 and 2017-Z-11 (Meijer PUD) regarding a Pharmacy Drive-Thru, Parking, and Signage and Approval of a PUD Preliminary Plan for Meijer, 855 S. Randall Rd. (Craig M. Armstrong, Elevatus Architecture)

Passed by Plan Commission on May 9, 2018

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Uses; and

WHEREAS, the Plan Commission held a public hearing and has reviewed the petitions for a Special Use and PUD Preliminary Plan for Meijer, 855 S. Randall Rd. regarding pharmacy drive-thru, parking, and signage (Craig M. Armstrong, Elevatus Architecture) and;

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Special Use for PUD and PUD Preliminary Plan to be in the public interest based on the following criteria for Planned Unit Developments:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

Pharmacy Drive-Thru: The Pharmacy Drive-thru canopy addition would be constructed in a manner that would blend in with the existing architectural style and materials that exist today. The location on the front would only require a slight alteration to one parking island, resulting in maintaining the overall integrity of the existing vegetation and topographic features. This location also would be more recognizable from the south-east entrance, whereas if it were on the north, it may not be. This feature would help promote economic development in offering a popular service to the people of St. Charles and the surrounding communities.

Signage Revisions: Allowing for this requested increase in signage area from the latest amendment would help the public navigate the site to get to their desired destination. Signs assist the public in going to the right place without additional need for circulation or walking. If customers are able to enter the Meijer parking lot and be able to tell immediately which side of the store they would like to visit, it will reduce driving and thus reduce the possibility of vehicle/pedestrian issues.

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Parking Reduction: A reduction in the required parking spaces from 831 parking spaces to 792 (39 space reduction) is necessary to allow for the new Outlot to be parceled off and developed to offer new dining and retail to the residents of St. Charles and the surrounding areas. This initiative, in conjunction with the Outlot Development, promotes not only an economic development aspect, but makes more efficient use of the existing, underutilized area of the parking lot associated with Meijer. The existing Meijer parking closest to Randall Rd. is rarely used and provides no amenity to residents of St. Charles. The addition of restaurants and retail in this location keeps commercial development in the commercial district while not overburdening any single location.

- ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
 - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Pharmacy Drive-Thru: The currently approved location of the Pharmacy Drive-thru on the north side of the building is not readily visible from the traffic entering the site from the east and southeast portions of the site. This may result in difficulty for customers to locate the Pharmacy Drive-thru. Locating it on the front of the building would assist with wayfinding. With the construction of this highly sought-after amenity, it would enable customers who utilize the Pharmacy to not have to leave their vehicle when filling their prescription. Finally, the revised location would be more advantageous to preserve the existing conditions of the site from both a hardscape and softscape perspective.

Signage Revisions: As stated above, these signage revisions would assist the public with wayfinding and could ultimately make circulation easier for drivers coming into the site. Also, the proposed outlot development would screen a significant portion of the Meijer building frontage, meaning the additional signage would not be readily visible from the public right of way (Randall Rd.). All locations, mounting heights, and illumination requirements would comply with local regulations.

Parking Reduction: Conforming to the requirements of the zoning ordinance with respect to the amount of parking spaces required is impractical and an inefficient use of the land. At no point does Meijer currently use all of their existing parking spaces. This Meijer store's actual area that the customers shop in is around 65% of the total GFA. The other 35% of the store is primarily warehouse space with some staff and food preparation areas not accessible to customers. Also, granting this small parking reduction requirement would allow for the outlot development to proceed and to draw patrons from St. Charles, surrounding communities and the broader region. It should also be noted that several

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landscaping enhancements are associated with outlot development which could not occur without granting this parking requirement quantity.

iii. **The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):**

A. **Public Convenience: The Special Use will serve the public convenience at the proposed location.**

Pharmacy Drive-Thru: The proposed drive-thru will offer the public the convenience of not having to leave their car to pick up their prescriptions. This is a definite benefit for people who are not feeling well or have a disability that makes it difficult to enter the store to purchase their prescriptions. Meijer has received feedback that parents with sick children and elderly customers specifically seek the drive-thru amenity to allow them to pick up prescriptions without having to walk into the Meijer store.

Signage: Increasing the size of the signs on the building will be a convenience to the public by helping the customers find the side of the store where the desired product types are located as soon as they enter Meijer property.

Parking Reduction: If the reduction of the parking spaces is allowed it will offer new amenities to the area. New dining and retail will be available to the residents of the City if the parking spaces are allowed to be reduced.

B. **Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

Pharmacy Drive-Thru: The location of this drive-thru is located within Meijer's existing site so there is sufficient infrastructure for it. It also does not increase the impervious area that exists today on site. It does slightly alter the drive.

Signage: The proposed signage will only need power for the illuminated ones. Sufficient structure is or will be provided to support signage.

Parking Reduction: The reduction of the amount of parking spaces required will not impact the existing infrastructure in a negative way. The utilities are all in place to allow for these new businesses to connect.

C. **Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

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Pharmacy Drive-Thru: The design of the drive-thru will not be injurious to the surrounding properties nor will it diminish or impair the surrounding property values in the area. The drive-thru sits back from Lincoln Highway 370 feet and 760 feet back from Randall Road. Existing parking lots, retention pond, garden center and landscaping will provide some screening and buffers of the drive-thru from the neighboring properties.

Signage: The signs are located on the front of the building approximately 760 feet away from Randall Road and will be partially screened by the outlot development so it would not adversely impact the surrounding properties.

Parking Reduction: The reduction in the amount of parking spaces required will not adversely impact the surrounding properties. As previously stated, the actual area of the building that is accessible to the consumer is around 65% of the total GFA. The loss of these 39 spaces would not impact the day-to-day operations of this store.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

Pharmacy Drive-Thru: Since the drive-thru is being located where existing pavement is today on Meijer's existing site, the drive-thru will not impede any development or improvements to any of the surrounding properties.

Signage: The proposed signs will not impede any development or improvements to the surrounding properties because these signs are being located on the front of Meijer's existing building which is approximately 790 feet away from Randall Road. This distance away from the road, along with the outlot development, will make it difficult for the surrounding properties to see the proposed wayfinding signs. The signs will not face Lincoln Highway.

Parking Reduction: The reduction of the amount of parking spaces required will not adversely impact the surrounding properties. The existing parking lot is underutilized for the Meijer site. By reducing the amount provided it will neither result in any issues to the surrounding properties nor impair their property values. The outlot uses that are being proposed are permitted in the district and fit the character and type of development of the Randall Road corridor. Adding commercial development to an already commercial site will limit expansion and keep those uses in the intended corridor.

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- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

Pharmacy Drive-Thru: The drive-thru lane will be marked with traffic control signage to direct vehicular traffic to stop and allow the crossing of pedestrians into the store entrance and Garden Center area. Meijer's customers cross the existing front access lane today and the new drive-thru lane will not impact the majority of Meijer's customers. The cars using this lane will be driving slower than the cars that use the existing front access lane, so this drive-thru lane will not be a detriment to the public's safety, comfort or general welfare. The Drive- thru could actually improve upon the general welfare as it should reduce pedestrians who were crossing the main drive solely to visit the Meijer pharmacy to pick up a prescription.

Signage: The general welfare of the people will not be harmed as this addition will actually improve the general welfare.

Parking Reduction: The general welfare of the residents of St. Charles will not be impacted in a negative way. There is excess existing parking and by removing unused spaces, there will be no impact on Meijer customers.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

Pharmacy Drive-Thru: The Pharmacy drive-thru will conform to all codes with the exception of this request to locate the drive-thru along the front of the store in lieu of the side as originally approved.

Signage: Other than the signs requested to be larger than permitted by the existing PUD ordinance, all other aspects of the signage will conform to the local, state and federal regulations.

Parking Reduction: All local, state and federal codes will be followed with the exception of this request to reduce the parking requirement for the site.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

Pharmacy Drive-Thru: By allowing the Pharmacy drive-thru to be located in the front of the store it will be a benefit to Meijer's customers because it allows for the Garden Center's size to remain as it is today. This specific Garden Center ranks among the

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highest utilized within the entire fleet of stores. If there was a reduction in the area of the Garden Center, it would reduce the amount of products available to the consumer. This would impact the economic well-being of Meijer and in turn would reduce product selection to the customers.

Signage: The proposal to increase to size of the proposed signs on the Meijer building will be a benefit to the economic well-being of the City by allowing their customers to better maneuver around the site and know what is being offered at Meijer, which could increase their spending. The more comfortable someone is in an area the greater chance they will return to the area.

Parking Reduction: The proposal to reduce the amount of parking spaces required on the Meijer site will benefit the City economically because it will allow for the development of a new outlot within the area of the existing parking lot. The new outlot businesses will be attractive developments that will enhance St. Charles, will provide additional services to the residents, will make a significant contribution to the tax base over the existing vacant parking lot use, and will contribute to the economic well-being of the city through added real estate and sales tax.

v. **The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

Pharmacy Drive-Thru: This area is located in the West Gateway Subarea region as outlined in the Comprehensive Plan. This area is comprised of a mixture of retail and commercial businesses. The area of the proposed Pharmacy Drive-Thru is located within development that already exists. The use of the site is not changing from what it is today which is a retail/grocery store. It conforms to the uses as outlined in the West Gateway Subarea region designation. The drive-thru also will not impact the existing landscaping which borders the surrounding streets so it will not impact the area in a negative manner.

Signage: The larger signs being submitted will conform to the Comprehensive Plan since they will be located on the existing building which is already a part of the larger retail/commercial business area. The larger signs will help avoid confusion for its customers without being excessive in size.

Parking Reduction: The proposal to reduce the amount of parking spaces required on the Meijer site will conform to the intent and purposes of the Comprehensive Plan since it will not change the use of the site. The new Outlot development that will be located in the area of the existing, underutilized portion of the parking lot will also conform to the types of facilities which are classified to be located in the West Gateway Subarea region.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of a Special Use requesting an amendment to Ordinances 1999-M-24 and 2017-Z-11 regarding a pharmacy drive-thru, parking, and signage and a PUD Preliminary

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Plan for Meijer, 855 S. Randall Rd., subject to resolution of outstanding staff comments prior to City Council action.

Roll Call Vote:

Ayes: Holderfield, Schuetz, Vargulich, Purdy, Wallace, Pretz, Kessler, Pietryla

Nays:

Absent: Funke

Motion carried: 8-0

PASSED, this 8th day of May 2018.

Chairman
St. Charles Plan Commission

Community & Economic Development
 Planning Division

Phone: (630) 377-4443
 Fax: (630) 377-4062



Staff Report

TO: Chairman Ed Bessner
 And the Members of the Planning & Development Committee

FROM: Ellen Johnson, Planner

RE: Amendment to Special Use for Planned Unit Development & PUD Preliminary Plan –
 Meijer PUD (855 S. Randall Rd.)

DATE: May 9, 2018

I. APPLICATION INFORMATION

Project Name: Meijer Pharmacy Drive-Through, Parking, Signage

Applicant: Craig M. Armstrong, Elevatus Architecture

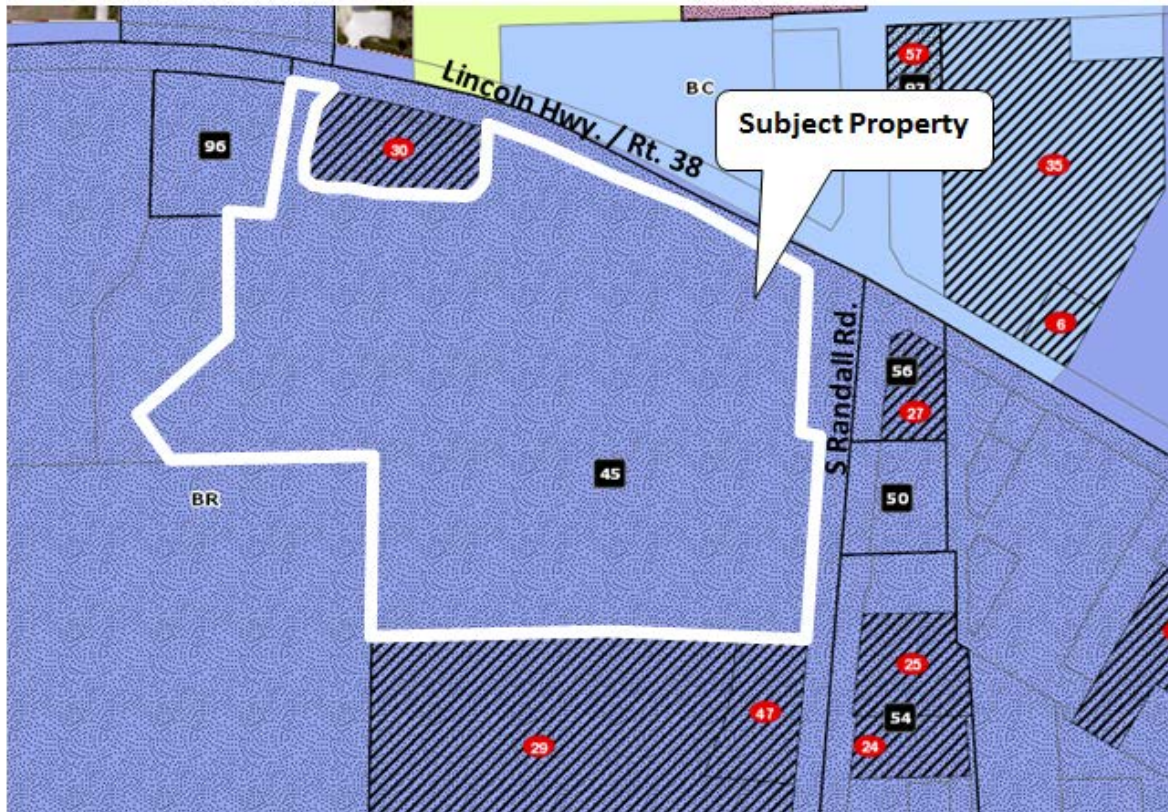
Purpose: To amend the location of the pharmacy drive-thru, reduce the parking requirement, and modify the permitted signage

| | | |
|--|--|--|
| General Information: | | |
| Site Information | | |
| Location | 855 S. Randall Rd. | |
| Acres | 27.8 acres | |
| Applications | 1) Special Use (PUD Amendment) 2) PUD Preliminary Plan | |
| Applicable Ordinances and Zoning Code Sections | 17.04 Administration Ordinance No. 1999-M-24 “An Ordinance Granting a Special Use as a Planned Unit Development (Meijer PUD)” Ordinance No. 2017-Z-11 “An Ordinance Amending Ordinance No. 1999-M-24 to Modify the Permitted Wall Signage for Meijer, 855 S. Randall Road” | |
| Existing Conditions | | |
| Land Use | Commercial- Meijer store | |
| Zoning | BR Regional Business & PUD (Meijer PUD) | |
| Zoning Summary | | |
| North | BC Community Business PL Public Lands | Retail strip center, Moose Lodge, Fair Grounds |
| East | BR Regional Business & PUD (Randall Road Commercial PUDs) | Commercial uses |
| South | BR Regional Business & PUD (Meijer PUD) | Lowe’s |
| West | BR Regional Business & PUD (Bricher Commons PUD & Metro Storage PUD) | Metro Storage facility, vacant land |
| Comprehensive Plan Designation | | |
| Corridor/Regional Commercial | | |

Aerial



Zoning



II. BACKGROUND

The subject property is the site of the Meijer store, located at the southwest corner of Randall Rd. and Lincoln Hwy. The property is 27.8 acres in size and contains the Meijer building and adjacent parking lot, Meijer gas station, and two detention ponds.

The Meijer store was constructed in 2000. Development of the property was approved under Ordinance 1999-M-24 “An Ordinance Granting a Special Use as a Planned Unit Development (Meijer PUD)”. The PUD Preliminary Plan for the property was approved under Resolution 1999-24 “Resolution Approving a Preliminary Plan for the Meijer PUD”.

A PUD Amendment for changes to the wall signage was approved in 2017 under Ordinance 2017-Z-11 “An Ordinance Amending Ordinance No. 1999-M-24 to Modify the Permitted Wall Signage for Meijer, 855 S. Randall Road”. That amendment brought wall signage that existed on the building into compliance with the PUD ordinance and allowed for an additional sign for a future pharmacy drive-thru.

III. PROPOSAL

Craig M. Armstrong of Elevatus Architecture, on behalf of Meijer, Inc., is requesting approvals related to the following:

1. Pharmacy Drive-Thru – Change the location of the pharmacy drive-thru from the approved location at the north side of the store to the northeast corner of the store along the front of the building.
2. Parking Requirement – Reduce the parking requirement for the store from 831 spaces to 792 spaces.
3. Signage – Modify the permitted signage for the Meijer property.

The following zoning applications were submitted in support of this project:

- **Special Use (PUD Amendment)** – To change the approved location of the pharmacy drive-thru, reduce the parking requirement, and change the permitted signage.
- **PUD Preliminary Plan** – Approval of the site plan showing the layout of the pharmacy drive-thru and parking lot and architectural elevations. [Note the architectural elevations depict a number of cosmetic changes related to painting of the building. These types of changes do not require review/approval by Plan Commission.]

IV. ANALYSIS

A. PHARMACY DRIVE-THRU

Exhibit III of the Meijer PUD Ordinance includes the following on the list of permitted uses for the Meijer property:

“Drive-in Pharmacy (as shown on the Preliminary Plan)”

The approved PUD Preliminary Plan shows the pharmacy drive-thru on the north side of the building, north of the garden center. The drive-thru was never constructed.

The applicant is proposing to locate the pharmacy drive-thru at the northeastern corner of the store, along the front of the Garden Center and building. Details of the drive-thru are as follows:

- The main north-south drive aisle along the front of the store will be shifted to the east to create the drive-thru lane. 18 parking spaces will be eliminated.
- The drive-thru will be oriented north to south, with stacking for five (5) vehicles.
- The drive-thru lane will be separated from the main drive aisle by a raised barrier median.
- Sidewalk along the Garden Center entrance will be straightened out and widened to the west edge of the drive-thru lane. A decorative fence will run between the sidewalk and drive-thru.
- A canopy is proposed over the drive-thru window.
- Pedestrian access to the Garden Center through the north end of the drive-thru lane.

The table below compares the plans with the standards of Section 17.24.100 “Drive-Through Facilities”. All standards are met.

| Category | Zoning Ordinance Standard | Proposed |
|--|---|---|
| Screened from Public Street | Stacking spaces concealed from view from public streets to greatest extent possible by orientation, design or screening | Meets requirement based on location within the site |
| Obstruction of Required Parking | Stacking spaces cannot obstruct access to required parking spaces | Meets requirement |
| Obstruction of Ingress/Egress | Location of stacking spaces cannot obstruct ingress/egress to the site or interfere with vehicle circulation | Meets requirement |
| Lane Configuration | Stacking spaces must be placed in a single line up to point of service | Meets requirement |
| Required Stacking Spaces | 5 | 5 |
| Required Stacking Space Size | 9' x 20' | 9' x 20' |

Aerial of Proposed Drive-Thru Area



Traffic Study

A Traffic Study prepared by Gewalt Hamilton Associates, Inc. dated 4/2/18 was submitted by the applicant. The following information is a summary of the study's findings.

Traffic counts were conducted at the Oswego Meijer to provide a basis for projecting traffic at the St. Charles store. The study projects a total of 43 drive-thru transactions per day, with 6-10 transactions per hour during the peak periods.

Regarding vehicle stacking, observed stacking at the Oswego Meijer averaged just over 1 vehicle during the morning peak hour and almost 3 vehicles at the evening peak hour. No more than 4 vehicles were queued at one time during the observation period.

A capacity analysis was performed at the exit of the proposed drive-thru which shows, "the introduction of the drive-through traffic is expected to have a minimal impact on the operations along the main drive aisle fronting the store".

The study provides a number of recommendations regarding signage:

- Add signage at the Rt. 38 and Randall Rd. access points to direct patrons to arrive from the north for the pharmacy drive-thru.
- Add signage to restrict U-turns from the main drive aisle into the drive-thru.
- Add signage to restrict vehicles exiting the drive-thru to right-turns only.
- Add "Do Not Enter" signage at the exit end of the drive-thru lane.

Staff Comments

- At staff's request, the plans have been revised to shift the crosswalk to the north, behind the start of the drive-thru lane to minimize interference with pedestrian traffic.
- At staff's request, signage restricting left turns for vehicles exiting the drive-thru lane has been added. Other signage recommended in the traffic study has also been added, however staff needs to further review the plans to ensure that all required signage has been incorporated.

B. PARKING

A significant portion of the Meijer parking lot is proposed to be sold for an outlet development. The outlet is proposed at the northeast corner of the parking lot. Applications for the outlet development are also scheduled for review by the Plan Commission.

A total of 372 existing Meijer parking spaces are proposed to be removed, including the spaces eliminated for the pharmacy drive-thru and the outlet development.

The parking requirement for Meijer based on the PUD Ordinance is 5 spaces per 1,000 sf of net floor area of the building. Net floor area does not include stairs/elevators, mechanical/utility rooms, interior mezzanines, loading areas, restrooms, storage areas, or foyers.

Per the applicant, the net floor area of the building is 166,180 sf. This equates to a parking requirement of 831 spaces. There are currently 1,164 parking spaces for the store, which is 333 spaces in excess of the requirement.

Based on the site plan, a total of 792 spaces are proposed (372 spaces will be removed). This is **39 spaces** less than required under the PUD Ordinance. The applicant has requested to amend the PUD Ordinance to reduce the parking requirement.

According to the applicant, Meijer’s parking standard is 3.5 parking spaces per 1,000 sf of gross floor area. This equates to 773 spaces. The proposed parking count of 792 spaces meets Meijer’s standard.

C. SIGNAGE

Permitted signage on the property was amended in 2017 under ordinance 2017-Z-11. The applicant is now proposing to change the sign standards to allow a greater total sign area for wall signs on the Meijer building.

The table below lists the Meijer signage currently permitted per the PUD Ordinance, alongside the signage proposed by the applicant.

| PUD Ordinance (2017-Z-11) | | Proposed | |
|--|------------------------------------|--|--|
| Sign | Sign Area (square feet) | Sign | Sign Area (square feet) |
| Meijer | 410.90 sf | Meijer | 395.67 sf |
| Welcome | 12 sf | Fresh | 51.7 sf |
| Welcome | 12 sf | Home | 49.5 sf |
| Pharmacy | 16.11 | Pharmacy Drive-Up | 30.74 sf |
| Pharmacy Drive-Up | 43.88 sf | Starbucks | 16 sf |
| Garden Center | 19.28 sf | US Bank | 27 sf |
| Starbucks | 16 sf | | |
| US Bank | 27 sf | | |
| TOTAL WALL MOUNTED | 8 signs; 557.17 sf | TOTAL WALL MOUNTED | 6 signs; 570.61 sf |
| Meijer Monument Signs (2) | 58 sf each, 116 sf total | Meijer Monument Signs (2) | 57.56 sf each; 115.12 sf total (Reface existing) |
| Gas Station Freestanding Price Cabinet | 69 sf | Gas Station Freestanding Price Cabinet | 70.63 sf (Reface existing) |
| Gas Station Canopy Signs (3) | 20 sf each, 60 sf total | Gas Station Canopy Signs (3) | 14.6 sf each; 43.8 sf total |

Per the PUD Ordinance, eight (8) total building mounted signs are permitted with a total sign area of 557.17 sf. Proposed is to update the signage on the building, replacing some signs and removing others. A total of six (6) building mounted signs are proposed, with a total sign area of 570.61 sf, which constitutes 13.44 sf more sign area than currently permitted.

The freestanding signs on the site, two Meijer monument signs and the gas station price cabinet, will be refaced. The sign areas shown on the plan reflect the signs that currently exist. These measurements are more accurate than currently listed in the PUD ordinance.

D. ENGINEERING REVIEW

Review comments on the engineering plans were provided to the applicant and a revised plan submittal is under review to ensure all comments are addressed prior to City Council action.

Engineering staff have identified that the detention facility located west of the store, to which the development is tributary, has not operated effectively or property and has caused issues for

the adjacent property owners. Staff has requested that modifications be made to the pond to limit future issues.

V. PLAN COMMISSION RECOMMENDATION

Plan Commission held a public hearing on the Special Use (PUD Amendment) application on 5/8/18 and recommended approval of the Special Use (PUD Amendment) and PUD Preliminary Plan applications, subject to resolution of staff comments, by a vote of 8-0.

VI. ATTACHMENTS

- Application for Special Use; received 4/4/2018
- Application for PUD Preliminary Plan; received 4/4/2018
- Engineering Plans; dated 3/12/2018
- Sign Package
- Architectural Renderings; dated 1/2/2018
- Ordinance 1999-M-24 & 2017-Z-11
- Resolution 1999-24

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

| | |
|---------------------|-------------------------------------|
| For City Use | |
| Project Name: | Meijer Drive-Thru, signage, Parking |
| Project Number: | 2018 -PR- 003 |
| Application Number: | 2018 -AP- 005 |



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

| | | |
|-------------------------------------|--|--|
| 1. Property Information: | Location: 855 S. Randall Road, St. Charles, IL 60174 | |
| | Parcel Number (s): 09-32-476-008 | |
| | Proposed Name: Meijer 182 - Pharmacy Drive-Thru | |
| 2. Applicant Information: | Name Craig M. Armstrong, Elevatus Architecture | Phone (260) 424-9080 |
| | Address 111 E. Wayne St., Suite 555 Fort Wayne, IN 46802 | Fax |
| | | Email carmstrong@elevatusarchitecture.com |
| 3. Record Owner Information: | Name Meijer Stores Limited Partnership | Phone (616) 735-8713 |
| | Address 2929 Walker Avenue NW Grand Rapids, MI 49544 | Fax |
| | | Email christopher.mankowski@meijer.com |

Please check the type of application:

- Special Use for Planned Unit Development - PUD Name:** 1999-M-24 Meijer PUD
 - New PUD
 - Amendment to existing PUD- Ordinance #: 2017-Z-11, 1999-M-24
 - PUD Preliminary Plan filed concurrently

- Other Special Use (from list in the Zoning Ordinance):** _____
 - Newly established Special Use
 - Amendment to an existing Special Use Ordinance #: _____

Information Regarding Special Use:

Comprehensive Plan designation of the property: West Gateway Subarea area

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? BR - Regional Business

What is the property currently used for? Retail / Grocery Store

If the proposed Special Use is approved, what improvements or construction are planned?

A new pharmacy drive-thru will be constructed at the northeast corner along the front of the building.
Building Signage will be upgraded.
Required parking as outlined in the ordinance would be reduced to allow for a new parcel development.
Construction is scheduled to commence in June 2018 and the meijer work completed by October 2018.

For Special Use Amendments only:

Why is the proposed change necessary?

The drive-thru was originally approved to be located on the north side of the building, not along the front where we would now like to have it. This will afford Meijer to keep the Garden Center extents in tact for this highly utilized location. The signage aspect of this application would more closely match Meijer's current prototypical sizes and styles. The Reduction in Parking aspect of this application is to allow for the Outlot development within the existing parking lot.

What are the proposed amendments? (Attach proposed language if necessary)

Relocate the Existing Approved Drive-through from the north side of the building to be in front at the Northeast corner.
Increase the sizes of previously approved signs.
Reduce the Required Parking Counts to allow for Outlot Development project.

Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

Attachment Checklist:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

☒ APPLICATION FEE:

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

☒ REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

| Number of Review Items | Under 5 Acres | 5-15 Acres | 16-75 Acres | Over 75 Acres |
|------------------------|---------------|------------|-------------|---------------|
| 1 | \$1,000 | \$2,000 | \$3,000 | \$4,000 |
| 2 or 3 | \$2,000 | \$4,000 | \$5,000 | \$7,000 |
| 4 or more | \$3,000 | \$5,000 | \$7,000 | \$10,000 |

☒ PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

☒ LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper Refer to Exhibit 'A'

☒ PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☒ FINDINGS OF FACT:

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

☒ LIST OF PROPERTY OWNERS WITHIN 250 FT.:

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

SOIL AND WATER CONSERVATION DISTRICT APPLICATION:
N/A

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

ENDANGERED SPECIES REPORT:
N/A

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

TRAFFIC STUDY: If requested by the Director of Community Development.

Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.

PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line



Meijer Real Estate

Matthew Levitt
Real Estate Manager
2350 3 Mile Rd NW
Grand Rapids, MI 49544
Telephone: (616) 791-3909
matt.levitt@meijer.com

VIA EMAIL

Mr. Craig Armstrong
Elevatus Architecture
111 East Wayne Street, Suite 555
Fort Wayne, IN 46802

Craig:

Please utilize this letter as evidence of Meijer's authorization of you and Elevatus to make submission and represent Meijer to the City of St. Charles regarding the Meijer project to take place at the store located at 855 S. Randall Rd., St. Charles, IL 60123.

Elevatus is authorized to represent Meijer, Inc. and Meijer Stores, L.P. in all respects for the project.

Best regards,

A handwritten signature in black ink that reads "Matt Levitt". The signature is written in a cursive style.

Matt Levitt

OWNERSHIP DISCLOSURE FORM
PARTNERSHIPS

MICHIGAN)
STATE OF ILLINOIS)
KENT) SS.
KANE COUNTY)

I, Michael L. Kinstle, being first duly sworn on oath depose and say that I am
the Vice President-Real Estate of Meijer Group, Inc., the
General Partner of Meijer Stores Limited Partnership, a Michigan, ~~an Illinois~~

~~(General)~~ (Limited) Partnership and that the following ~~persons~~ are all of the partners thereof:

- Meijer Group, Inc. ~~(General)~~ (Limited) Partner
- Meijer Distribution, Inc. ~~(General)~~ (Limited) Partner
- _____ (General)(Limited) Partner
- _____ (General)(Limited) Partner
- _____ (General)(Limited) Partner
- _____ (General)(Limited) Partner

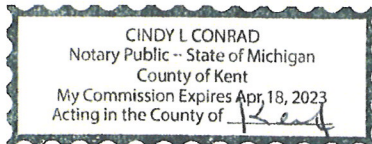
MEIJER STORES LIMITED PARTNERSHIP

By: Meijer Group, Inc., its general partner

By: [Signature] ~~(General)(Limited) Partner~~
Michael L. Kinstle
Its: Vice President-Real Estate

Subscribed and Sworn before me this 30th day of
March, 2018.

Cindy L. Conrad
Notary Public





ELEVATUS
ARCHITECTURE

April 13th, 2018

Ellen Johnson, City Planner
City of St. Charles
2 E. Main Street
St. Charles, IL 60174-1984

Subject: Meijer Pharmacy Drive-thru Project
Project No.: 1701812

Ellen:

We are submitting this Parking Count Summary letter per your request to supplement the Meijer's PUD Amendment for the Meijer located at 855 S. Randall Street, St. Charles, Illinois.

The parking count at this property is based on 5 parking spaces per 1,000 sf of Net Floor Area. Please see the following parking summary:

- Net Building Floor Area: 166,180 sf
- Parking Calculation: 166,190 sf/1,000 sf x 5 = 831 parking spaces required.

- Parking Required: 831 parking spaces
- Parking Provided: 792 parking spaces
- Parking Reduction: 39 space parking space reduction requested.

It is Meijer's parking standards for stores the size of this one to design to meet 3.5 parking spaces per 1,000 sf of Gross Floor Area. So, based on these standards the parking required would be 773 parking spaces (220,791 sf/1,000 sf x 3.5 = 773 parking spaces). Based on Meijer's standards for a store this size they would have sufficient parking stalls to provide for their client's demands.

Sincerely,

ELEVATUS Architecture

Craig M. Armstrong, AIA
Architect, Project Manager

Exhibit B, Legal Description

cc:

EXHIBIT "B"

MEIJER PHARMACY DRIVE-THRU

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDS)

There are three separate items that Meijer is submitting for consideration for the amendment to their existing PUD #1999-M-24. The three items are as follows: providing a Pharmacy Drive-Thru in the front of the store instead of on the side of the store, increasing the size of three proposed signs that were approved during the amendment process per Ordinance #2017-Z-11, and a variance to reduce the amount of parking provided beyond what the zoning ordinance requires due to a sale of a portion of Meijer's property for outlot development. We have answered all the questions on the criteria for planned unit developments for each separate item being submitted. Please see below:

i. **The proposed PUD amendment advances one or more of the Planned Unit Development procedure stated in Section 17.04.400.A:**

Pharmacy Drive-Thru: The Pharmacy Drive-thru canopy addition would be constructed in a manner that would blend in with the existing architectural style and materials that exist today. The location on the front would only require a slight alteration to one parking island, resulting in maintaining the overall integrity of the existing vegetation and topographic features. This location also would be more recognizable from the south-east entrance, whereas if it were on the north, it may not be. This feature would help promote economic development in offering a popular service to the people of St. Charles and the surrounding communities.

Signage Revisions: Allowing for this requested increase in signage area from the latest amendment would help the public navigate the site to get to their desired destination. Signs assist the public in going to the right place without additional need for circulation or walking. If customers are able to enter the Meijer parking lot and be able to tell immediately which side of the store they would like to visit, it will reduce driving and thus reduce the possibility of vehicle/pedestrian issues.

Parking Reduction: A reduction in the required parking spaces from 831 parking spaces to 792 (39 space reduction) is necessary to allow for the new Outlot to be parceled off and developed to offer new dining and retail to the residents of St. Charles and the surrounding areas. This initiative, in conjunction with the Outlot Development, promotes not only an economical development aspect, but makes more efficient use of the existing, underutilized area of the parking lot associated with Meijer. The existing Meijer parking closest to Randall Rd. is rarely used and provides no amenity to residents of St. Charles. The addition of restaurants and retail in this location keeps commercial development in the commercial district while not overburdening any single location.

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

A. **Conforming to the requirements would inhibit creative design that serves community goals,**
or

B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Pharmacy Drive-Thru: The currently approved location of the Pharmacy Drive-thru on the north side of the building is not readily visible from the traffic entering the site from the east and southeast portions of the site. This may result in difficulty for customers to locate the Pharmacy Drive-thru. Locating it on the front of the building would assist with wayfinding. With the construction of this highly sought-after amenity,

it would enable customers who utilize the Pharmacy to not have to leave their vehicle when filling their prescription. Finally, the revised location would be more advantageous to preserve the existing conditions of the site from both a hardscape and softscape perspective.

Signage Revisions: As stated above, these signage revisions would assist the public with wayfinding and could ultimately make circulation easier for drivers coming into the site. Also, the proposed outlot development would screen a significant portion of the Meijer building frontage, meaning the additional signage would not be readily visible from the public right of way (Randall Rd.). All locations, mounting heights, and illumination requirements would comply with local regulations.

Parking Reduction: Conforming to the requirements of the zoning ordinance with respect to the amount of parking spaces required is impractical and an inefficient use of the land. At no point does Meijer currently use all of their existing parking spaces. This Meijer store's actual area that the customers shop in is around 65% of the total GFA. The other 35% of the store is primarily warehouse space with some staff and food preparation areas not accessible to customers. Also, granting this small parking reduction requirement would allow for the outlot development to proceed and to draw patrons from St. Charles, surrounding communities and the broader region. It should also be noted that several landscaping enhancements are associated with outlot development which could not occur without granting this parking requirement quantity.

iii. **The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):**

A. Public Convenience: The special use will serve the public convenience at the proposed location.

Pharmacy Drive-Thru: The proposed drive-thru will offer the public the convenience of not having to leave their car to pick up their prescriptions. This is a definite benefit for people who are not feeling well or have a disability that makes it difficult to enter the store to purchase their prescriptions. Meijer has received feedback that parents with sick children and elderly customers specifically seek the drive-thru amenity to allow them to pick up prescriptions without having to walk into the Meijer store.

Signage: Increasing the size of the signs on the building will be a convenience to the public by helping the customers find the side of the store where the desired product types are located as soon as they enter Meijer property.

Parking Reduction: If the reduction of the parking spaces is allowed it will offer new amenities to the area. New dining and retail will be available to the residents of the City if the parking spaces are allowed to be reduced.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Pharmacy Drive-Thru: The location of this drive-thru is located within Meijer's existing site so there is sufficient infrastructure for it. It also does not increase the impervious area that exists today on site. It does slightly alter the drive.

Signage: The proposed signage will only need power for the illuminated ones. Sufficient structure is or will be provided to support signage.

Parking Reduction: The reduction of the amount of parking spaces required will not impact the existing infrastructure in a negative way. The utilities are all in place to allow for these new businesses to connect.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

Pharmacy Drive-Thru: The design of the drive-thru will not be injurious to the surrounding properties nor will it diminish or impair the surrounding property values in the area. The drive-thru sits back from Lincoln Highway 370 feet and 760 feet back from Randall Road. Existing parking lots, retention pond, garden center and landscaping will provide some screening and buffers of the drive-thru from the neighboring properties.

Signage: The signs are located on the front of the building approximately 760 feet away from Randall Road and will be partially screened by the outlot development so it would not adversely impact the surrounding properties.

Parking Reduction: The reduction in the amount of parking spaces required will not adversely impact the surrounding properties. As previously stated, the actual area of the building that is accessible to the consumer is around 65% of the total GFA. The loss of these 39 spaces would not impact the day-to-day operations of this store.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Pharmacy Drive-Thru: Since the drive-thru is being located where existing pavement is today on Meijer's existing site, the drive-thru will not impede any development or improvements to any of the surrounding properties.

Signage: The proposed signs will not impede any development or improvements to the surrounding properties because these signs are being located on the front of Meijer's existing building which is approximately 790 feet away from Randall Road. This distance away from the road, along with the outlot development, will make it difficult for the surrounding properties to see the proposed wayfinding signs. The signs will not face Lincoln Highway.

Parking Reduction: The reduction of the amount of parking spaces required will not adversely impact the surrounding properties. The existing parking lot is underutilized for the Meijer site. By reducing the amount provided it will neither result in any issues to the surrounding properties nor impair their property values. The outlot uses that are being proposed are permitted in the district and fit the character and type of development of the Randall Road corridor. Adding commercial development to an already commercial site will limit expansion and keep those uses in the intended corridor.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Pharmacy Drive-Thru: The drive-thru lane will be marked with traffic control signage to direct vehicular traffic to stop and allow the crossing of pedestrians into the store entrance and Garden Center area. Meijer's customers cross the existing front access lane today and the new drive-thru lane will not impact the majority of Meijer's customers. The cars using this lane will be driving slower than the cars that use the existing front access lane, so this drive-thru lane will not be a detriment to the public's safety, comfort or general welfare. The Drive-thru could actually improve upon the general welfare as it should reduce pedestrians who were crossing the main drive solely to visit the Meijer pharmacy to pick up a prescription.

Signage: The general welfare of the people will not be harmed as this addition will actually improve the general welfare.

Parking Reduction: The general welfare of the residents of St. Charles will not be impacted in a negative way. There is excess existing parking and by removing unused spaces, there will be no impact on Meijer customers.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State, and local legislation and regulation and meets or exceeds all applicable provisions of this Title except as may be varied pursuant to a Special Use for Planned Unit Development.**

Pharmacy Drive-Thru: The Pharmacy drive-thru will conform to all codes with the exception of this request to locate the drive-thru along the front of the store in lieu of the side as originally approved.

Signage: Other than the signs requested to be larger than permitted by the existing PUD ordinance, all other aspects of the signage will conform to the local, state and federal regulations.

Parking Reduction: All local, state and federal codes will be followed with the exception of this request to reduce the parking requirement for the site.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City:**

Pharmacy Drive-Thru: By allowing the Pharmacy drive-thru to be located in the front of the store it will be a benefit to Meijer's customers because it allows for the Garden Center's size to remain as it is today. This specific Garden Center ranks among the highest utilized within the entire fleet of stores. If there was a reduction in the area of the Garden Center, it would reduce the amount of products available to the consumer. This would impact the economic well-being of Meijer and in turn would reduce product selection to the customers.

Signage: The proposal to increase to size of the proposed signs on the Meijer building will be a benefit to the economic well-being of the City by allowing their customers to better maneuver around the site and know what is being offered at Meijer, which could increase their spending. The more comfortable someone is in an area the greater chance they will return to the area.

Parking Reduction: The proposal to reduce the amount of parking spaces required on the Meijer site will benefit the City economically because it will allow for the development of a new outlot within the area of the existing parking lot. The new outlot businesses will be attractive developments that will enhance St. Charles, will provide additional services to the residents, will make a significant contribution to the tax base over the existing vacant parking lot use, and will contribute to the economic well-being of the city through added real estate and sales tax.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan:**

Pharmacy Drive-Thru: This area is located in the West Gateway Subarea region as outlined in the Comprehensive Plan. This area is comprised of a mixture of retail and commercial businesses. The area of the proposed Pharmacy Drive-Thru is located within development that already exists. The use of the site is not changing from what it is today which is a retail/grocery store. It conforms to the uses as outlined in the West Gateway Subarea region designation. The drive-thru also will not impact the existing landscaping which borders the surrounding streets so it will not impact the area in a negative manner.

Signage: The larger signs being submitted will conform to the Comprehensive Plan since they will be located on the existing building which is already a part of the larger retail/commercial business area. The larger signs will help avoid confusion for its customers without being excessive in size.

Parking Reduction: The proposal to reduce the amount of parking spaces required on the Meijer site will conform to the intent and purposes of the Comprehensive Plan since it will not change the use of the site. The new Outlot development that will be located in the area of the existing, underutilized portion of the parking lot will also conform to the types of facilities which are classified to be located in the West Gateway Subarea region.

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION

| | |
|---------------------|-------------------------------------|
| For City Use | |
| Project Name: | Meijer Drive-Thru, Signage, Parking |
| Project Number: | 2018 -PR- 003 |
| Application Number: | 2018 -AP- 006 |



To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

| | | | |
|-------------------------------------|--------------------|---|--|
| 1. Property Information: | Location: | 855 S. Randall Road, St. Charles, IL 60174 | |
| | Parcel Number (s): | 09-32-476-008 | |
| | Proposed PUD Name: | Meijer 182 Minor Reset - Pharmacy Drive-Thru | |
| 2. Applicant Information: | Name | Craig M. Armstrong, Elevatus Architecture | Phone (260) 424-9080 |
| | Address | 111 E. Wayne St., Suite 555 Fort Wayne, IN 46802 | Fax |
| | | | Email carmstrong@elevatusarchitecture.com |
| 3. Record Owner Information: | Name | Meijer Stores Limited Partnership | Phone |
| | Address | 2929 Walker Avenue NW Grand Rapids, MI 49544 | Fax |
| | | | Email christopher.mankowski@meijer.com |

Please check the type of application:

- New proposed PUD- Planned Unit Development (Special Use Application filed concurrently)
- Existing PUD-Planned Unit Development
 - PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

Subdivision of land:

- Proposed lot has already been platted and a new subdivision is not required.
- New subdivision of property required:
 - Final Plat of Subdivision Application filed concurrently
 - Final Plat of Subdivision Application to be filed later

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.

APPLICATION FEE: Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

| Number of Review Items | Under 5 Acres | 5-15 Acres | 16-75 Acres | Over 75 Acres |
|------------------------|---------------|------------|-------------|---------------|
| 1 | \$1,000 | \$2,000 | \$3,000 | \$4,000 |
| 2 or 3 | \$2,000 | \$4,000 | \$5,000 | \$7,000 |
| 4 or more | \$3,000 | \$5,000 | \$7,000 | \$10,000 |

PROOF OF OWNERSHIP and DISCLOSURE:

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

☒ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

N/A ☐ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

N/A ☐ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

☒ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☒ **SITE/ENGINEERING PLAN:**

PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with

the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting
 - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

N/A SKETCH PLAN FOR LATER PHASES OF PUD:

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

☒ ARCHITECTURAL PLANS:

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

N/A ☐ TREE PRESERVATION PLAN:

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, “Tree Preservation Requirements for Preliminary Plans”.

N/A ☐ LANDSCAPE PLAN:

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

N/A ☐ STORMWATER MANAGEMENT:

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

N/A ☐ SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

☒ PUBLIC BENEFITS, DEPARTURES FROM CODE:

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

See Exhibit "B" - Criteria for Planned Unit Developments (PUD)s attached for this information.

N/A ☐ SCHEDULE: Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.



N/A ☐ PARK AND SCHOOL LAND/CASH WORKSHEETS

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

N/A ☐ INCLUSIONARY HOUSING SUMMARY

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

| | |
|---|-----------------|
|  | <u>3/30/18</u> |
| Record Owner | Date |
|  | <u>4/2/2018</u> |
| Applicant or Authorized Agent | Date |

Traffic Planning Study

To: Mr. Craig Armstrong, AIA
Elevatus Architecture

From: Daniel P. Brinkman, P.E., PTOE
Senior Transportation Engineer

Date: April 2, 2018

Subject: Proposed Pharmacy Drive-Through
Meijer #182
855 S Randall Road
St Charles, Illinois

Part I. Introduction and Project Context

Gewalt Hamilton Associates, Inc. (GHA) has conducted a traffic planning study for the proposed addition of a Pharmacy drive through to the northeast corner of the existing Meijer building located at 855 S. Randall Road in St Charles, IL.

As proposed, the drive through will be located near the northeast corner of the building, south of the existing entrance to the Garden Center. The drive through will consist of a new drive aisle separated from the existing main north-south drive aisle in front of the building by a barrier median and a new canopy. The drive through will be oriented north to south, with all transactions between Meijer Pharmacy staff and patrons occurring through an overhead pneumatic tube.

The following provides a summary of existing conditions, site traffic characteristics, and the analyses of the proposed drive through's impact on the existing parking lot circulation. *Exhibits* and *Appendices* referenced are located at the end of this document.

Part II. Background Information

Site Location Map and Roadway Inventory

Exhibit 1 provides a location map of the site vicinity. *Exhibit 2* provides a photo inventory of current site conditions. Pertinent comments to the adjacent roadways include:

Meijer #182

- Meijer #182 is located at the southwest corner of the IL Rte 38 (Roosevelt Road) and S Randall Road intersection in St Charles, IL.
- The main north-south drive aisle in front of the store provides direct access to IL Rte 38 via a signalized intersection.
- An internal ring road intersects the main north-south aisle at a three way Stop intersection (inbound traffic does not stop) approximately 300 feet north of the north end of the existing building.
- The main drive aisle provides a single wide travel lane in each direction and has Stop signs posted at the existing marked pedestrian crossings from the parking field located east of the store.

- There is currently a bypass or parking lane in front of the Garden Center that will be relocated as part of the development of the Pharmacy Drive Through.

Existing Traffic

Exhibit 3 summarizes the existing weekday morning and evening peak hour traffic volumes. GHA conducted peak period (8:30-10:30 am and 3:00-6:00 pm) manual traffic counts at the intersection of the parking lot aisle and the main drive aisle on Thursday March 8, 2018. The observed weekday morning and evening peak hours occurred between 9:30 to 10:30 AM and 4:00 to 5:00 PM respectively.

Additionally, GHA conducted similar peak period counts and observations at an existing Meijer Pharmacy Drive Through in Oswego, IL on Wednesday March 7, 2018 to establish a basis for estimating Drive-Through traffic at the St. Charles store.

A summary of our manual observations is attached as *Appendix A*.

Part III. Traffic Evaluation

Proposed Plan

Exhibit 4 provides an excerpt from the March 12, 2018 site development plan prepared by Elevatus Architecture and Engineering Resources, Inc. As can be seen, to provide for the construction of the Pharmacy drive through, portions of the existing sidewalk and aforementioned Garden Center bypass will be eliminated to make room for the new drive through lane. To ensure that the main drive aisle width is preserved, several parking “trees” will be shortened and the accessible parking spaces relocated. Lastly, an existing landscaped island will be modified to maintain the width of the main drive aisle.

Trip Generation Observations and Projections

Exhibit 5 tabulates the traffic generation calculations for the proposed drive through. Normally trip generation rates for development are based on information published by the Institute of Transportation Engineers (ITE) in the 10th Edition of the Manual *Trip Generation*. However, there is no ITE data for the addition of a Drive-Through to an existing Pharmacy. Therefore, GHA conducted counts and observations at the existing Oswego store to serve as a basis for projecting traffic in St Charles.

During the observation period, the peak activity of the Oswego store resulted in between 8 and 11 Drive-Through transactions (15 to 23 trips) per hour. Based on transaction data provided by Meijer (See *Appendix B*) there were 50 Drive-Through transactions at the Oswego store on the day of our observations and 133 total Pharmacy transactions. Accordingly, the drive through transactions at Oswego were approximately 38% of the daily total. The observed Morning and Evening Peak Hours through the Drive-Through represented 11% and 17% respectively of the daily total transactions.

Note: A car entering and exiting the drive through is considered two trips, but only one transaction.

Projecting the observed percentage of drive through transactions at Oswego to the 112 daily transactions at the St Charles store suggest that the new Pharmacy drive through will represent about 43 trips (38%) and generate between 6 and 10 transactions, resulting in between 12 and 19 trips during the peak periods.

In addition to volume observations at the Oswego Meijer, GHA also observed and tabulated data related to the maximum number of vehicles queued (stacked) at the Drive-Through window. As can be seen in *Appendix A* during the Morning Peak Hour the observed queue at the window averaged just over one vehicle and during the Evening Peak Hour, the average increased to nearly 3 vehicles with the queue during our observation period never extending to more than 4 vehicles including the vehicle at the Pharmacy window.

Site and Total Traffic Assignments

Exhibit 6 illustrates the drive through traffic assignments during the weekday peak hours, which are based on the traffic characteristics summarized in *Exhibit 5* (traffic generations) and assigned to the parking lot circulation system. Drive Through and Existing traffic (see *Exhibits 6* and *3*, respectively) were combined to develop Total Traffic, which is illustrated on *Exhibit 7*.

To be conservative we assumed that all of the Pharmacy drive through traffic is new, when in reality it is much more likely that existing patrons will choose to make use of the convenient drive through in lieu of parking and walking into the store if not making a trip as part of their normal shopping habits.

Capacity Analysis

Capacity analyses are a standard measurement in the industry that identifies how an intersection operates. *Exhibit 8 – Part A* lists the analysis parameters, as published in the Transportation Research Board's (TRB) Highway Capacity Manual (HCM), sixth edition, 2016. They are measured in terms of level of service (LOS). The concept of LOS is defined as a qualitative measure describing operational conditions within a traffic stream and their perception by motorists and/or passengers. A level-of-service definition provides an index to quality of traffic flow in terms of such factors as speed, travel time, freedom to maneuver, traffic interruptions, comfort, convenience, and safety.

Six levels of service are defined for each type of facility. They are given letter designations from A to F, with LOS A representing the best operating conditions and LOS F the worst. LOS C is often considered acceptable for design purposes and LOS D is usually considered as providing the lower threshold of acceptable operations. Since the level of service of a traffic facility is a function of the traffic flows placed upon it, such a facility may operate at a wide range of levels of service, depending on the time of day, day of week or period of year.

Capacity analyses were performed at the exit of the proposed Drive-Through using the Highway Capacity Software (HCS) for the following scenarios:

- *Total Traffic* – Existing traffic (year 2018) plus the addition of Drive-Through traffic.

Exhibit 8 - Part B summarizes the intersection capacity analysis results and calculated 95th-percentile queues. As can be seen, the introduction of Drive-Through traffic is expected to have a minimal impact on the operations along the main drive aisle fronting the store.

Capacity analysis summary printouts are provided in *Appendix C*.

Drive Through Operations

As proposed, the drive through will be located near the northeast corner of the building, south of the existing entrance to the Garden Center. The drive through will consist of a new drive aisle separated from the existing main north-south drive aisle in front of the building by a barrier median and a new canopy. The drive through will be oriented north to south, with all transactions between Meijer Pharmacy staff and patrons occurring through an overhead pneumatic tube. We offer the following comments and recommendations regarding the drive through operation.

- The proposed drive through can accommodate approximately 5 queued (stacked) vehicles before impacting on site circulation. See Exhibit 9 for an excerpt from the Elevatus / Engineering Resources site plan. This is consistent with the requirement from Section 17.24.140 and table 17.24.3 of the City of St. Charles Zoning Code.
- We recommend that signage be installed at the IL Rte 38 and Randall Road access points to direct patrons to arrive from the north at the new Pharmacy drive through.
- Signage should be installed to restrict U-Turns from the main drive aisle into the Pharmacy drive through.
- Signage should be installed to restrict exiting movements from the Pharmacy drive through to right turns only.
- DO NOT ENTER signage should be installed at the exit end of the proposed drive through to help ensure no vehicles try to approach the drive through from the south. This is particularly important given the somewhat unusual orientation of the drive through and that patrons do not interact with Pharmacy staff at a traditional "window".

Drive Through Queuing

As previously noted, the proposed plan provides for queuing of 5 vehicles prior to having any impacts on the vehicular operations along the drive aisles. See Exhibit 9 for an excerpt of the Engineering Resources site plan. Based on our observations at a similar store the maximum observed queue was 4 vehicles including the vehicle at the window, with average queues during the peak hours being less than 3.

The average number of queued vehicles is important for this location as the introduction of the drive through and the approach lane will cross over the front of the Garden Center. A queue of three cars or less, does not impact the new pedestrian crossing from the parking field to the Garden Center entrance and provides clear visibility for pedestrians to see the proposed guardrail /fence along the Drive-Through lane. This will help "train" customers to walk around the raised island and to the north end of the Drive-Through to minimize conflicts.

Part IV. Conclusions

GHA prepared a traffic study for the proposed Pharmacy Drive-Through to be located on the northeast corner of the existing Meijer store in St Charles, Illinois. Overall, the introduction of the Drive-Through is anticipated to have little effect on the existing operations along the front of the store. The queueing capacity of the proposed Drive-Through is 5 vehicles, which is adequate to accommodate the anticipated vehicle queues based on our observations at a similar store. Furthermore, based on the traffic analysis, even assuming all the Drive-Through traffic is all new traffic, the Drive-Through exit intersection is expected to operate efficiently, with minimal disturbance to the flow of traffic along the front of the store.

Part V. Technical Addendum

The following *Exhibits* and *Appendices* were previously referenced. They provide technical support for our observations, findings and recommendations discussed in the text.

Exhibits

1. Location Map
2. Photo Inventory
3. Existing Traffic
4. Site Plan Excerpt
5. Project Traffic Characteristics
6. Drive through Traffic
7. Total Traffic
8. Intersection Capacity Analyses
9. Drive-Through Stacking Excerpt

Appendices

- A. Traffic observations Summary
- B. Meijer Pharmacy Transaction Data
- C. Highway Capacity Software (HCS) Summary Reports.

Technical Addendum

Exhibits



Sources: Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



Drawn By: drinkman File: P:\558-5390\552-2002 Meijer St Charles, IL\GIS\Exhibits\552-2001 Location Map.mxd



1 inch = 200 Feet

Exhibit 1 - Location Map

Meijer - 855 S. Randall Road
St Charles, IL



Looking south along front of store



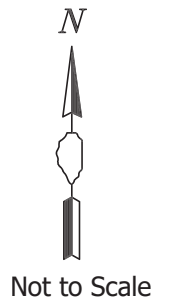
Looking north along front of store



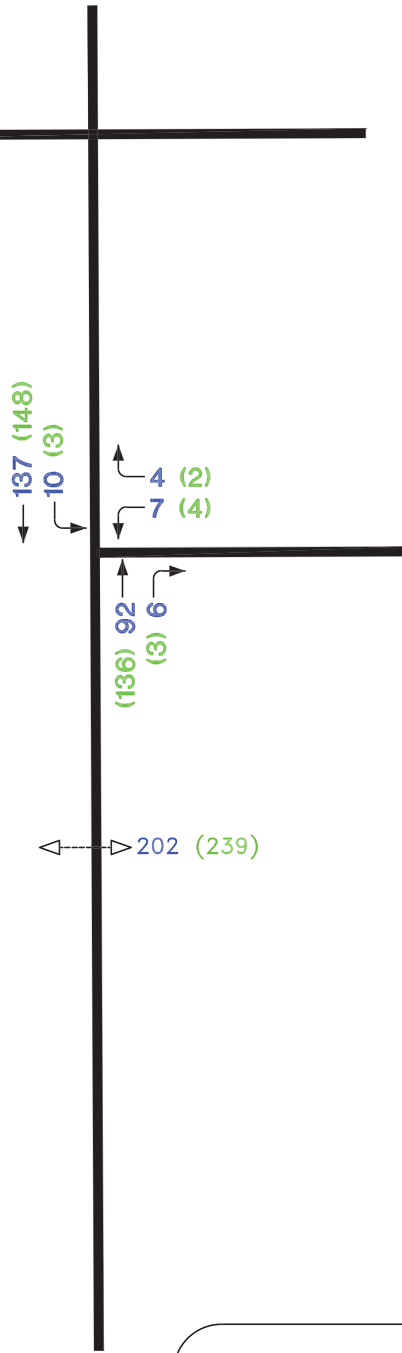
Future Drive – Thru location



Looking across main entrance drive at Garden Center

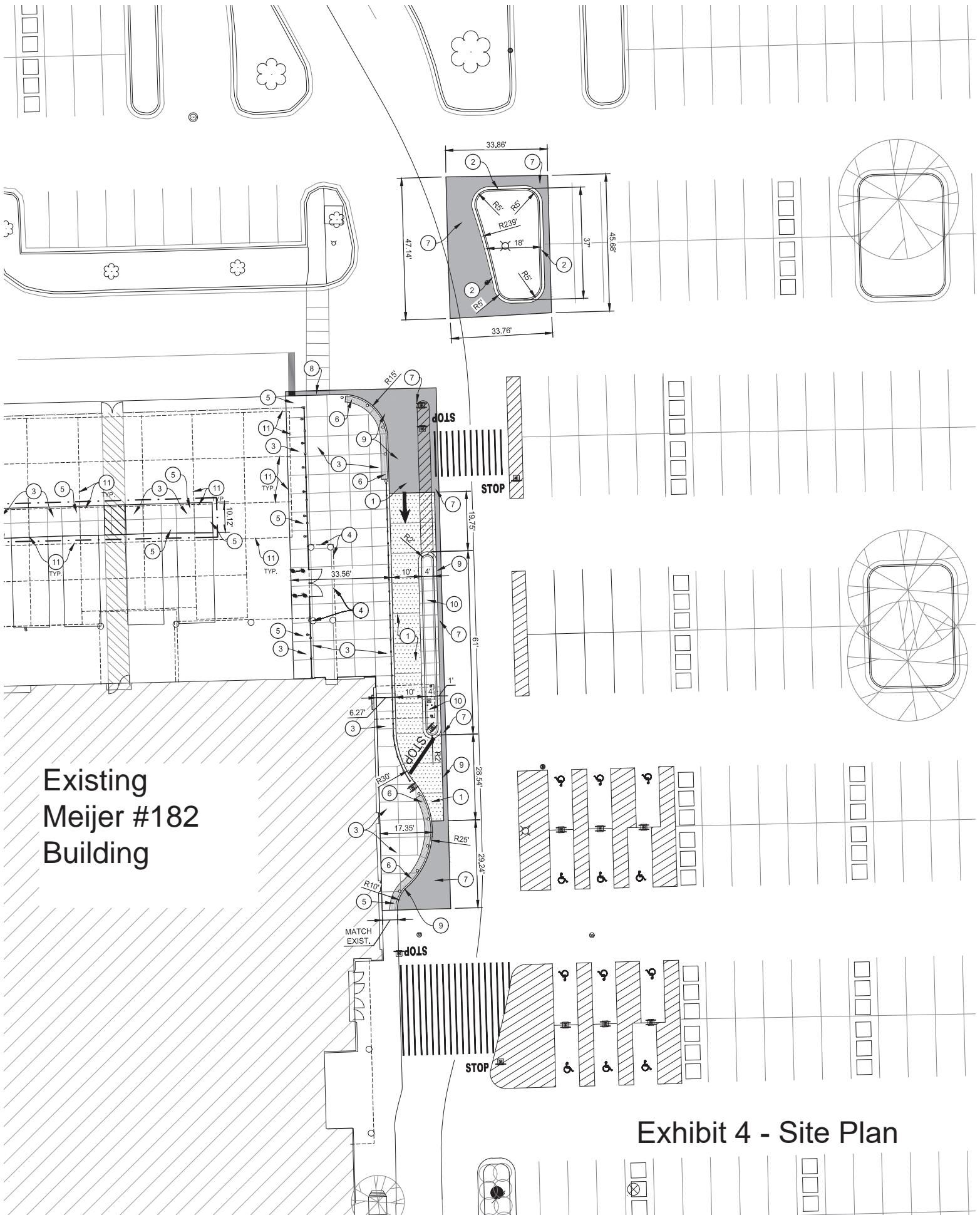


Existing
Meijer
Building



Legend:

- XX — AM Peak Hour 9:30–10:30
- (XX) — PM Peak Hour 3:45–4:45
- ←XX→ — AM Peak Hour Pedestrian Volumes
- ←(XX)→ — PM Peak Hour Pedestrian Volumes



Existing
Meijer #182
Building

Exhibit 4 - Site Plan

Exhibit 5

Project Traffic Characteristics

Pharmacy Drive-Thru Meijer #182, 855 S Randall Rd: St Charles, Illinois

| ITE Land Use Code | Morning Peak Hour | | Evening Peak Hour | | Daily Total |
|-------------------|-------------------|-----|-------------------|-----|-------------|
| | In | Out | In | Out | |

Observations

| | | | | | | | | |
|-----------------------------------|-----|---|---|----|----|----|----|-----|
| Meijer Oswego #239 | n/a | 7 | 8 | 15 | 12 | 11 | 23 | 133 |
| • 50 D-T Transactions | | | | | | | | 38% |
| • 133 Pharmacy Transactions Total | | | | | | | | 17% |

GHA observed D-T operations at Oswego Store (#239) on March 7, 2018.

Oswego Store experienced 133 total Pharmacy Transactions

Oswego Store experienced 50 D-T Pharmacy Transactions

D-T Transactions were 38% of total Pharmacy Transactions

Observed Peak Hours represent 11% and 17% of Total Daily Pharmacy Transactions

Projections

Using observed daily and Peak Hour Pharmacy Transaction Percentage applied to 112 Daily Pharmacy Transaction

| | | | | | | | | |
|-----------------------------------|-----|---|---|----|----|---|----|-----|
| Meijer St Charles #182 | n/a | 6 | 6 | 12 | 10 | 9 | 19 | 112 |
| • 112 Pharmacy Transactions Total | | | | | | | | 38% |
| • 43 D-T Transactions (estimated) | | | | | | | | 17% |

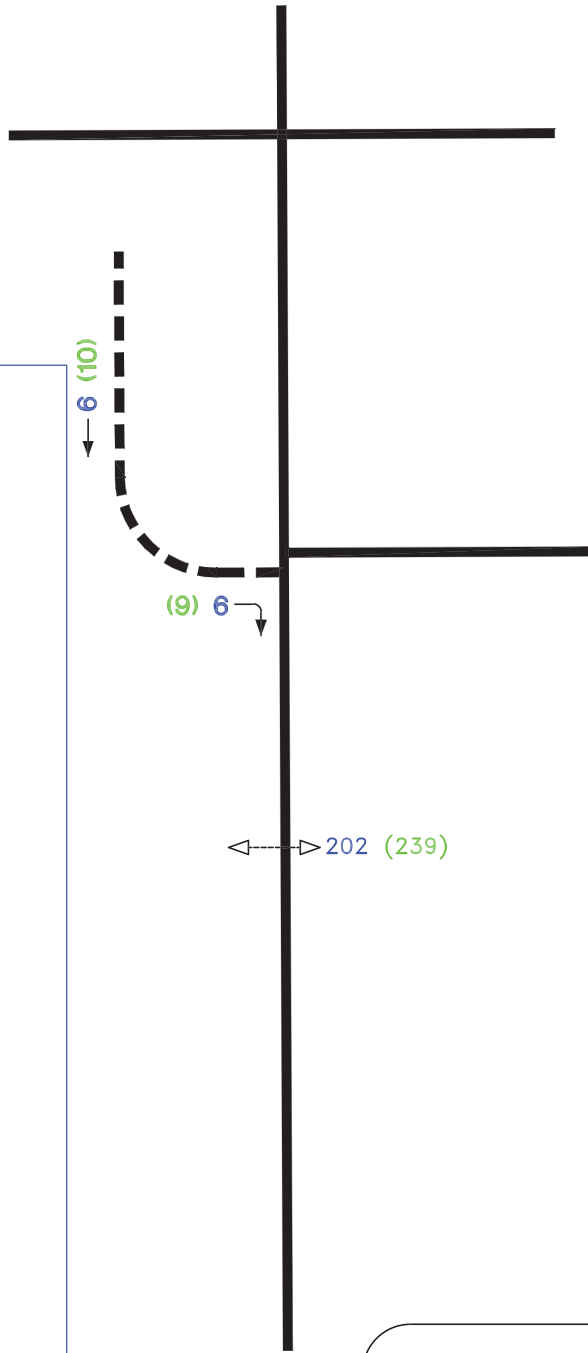




Not to Scale

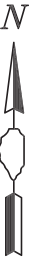


Existing
Meijer
Building

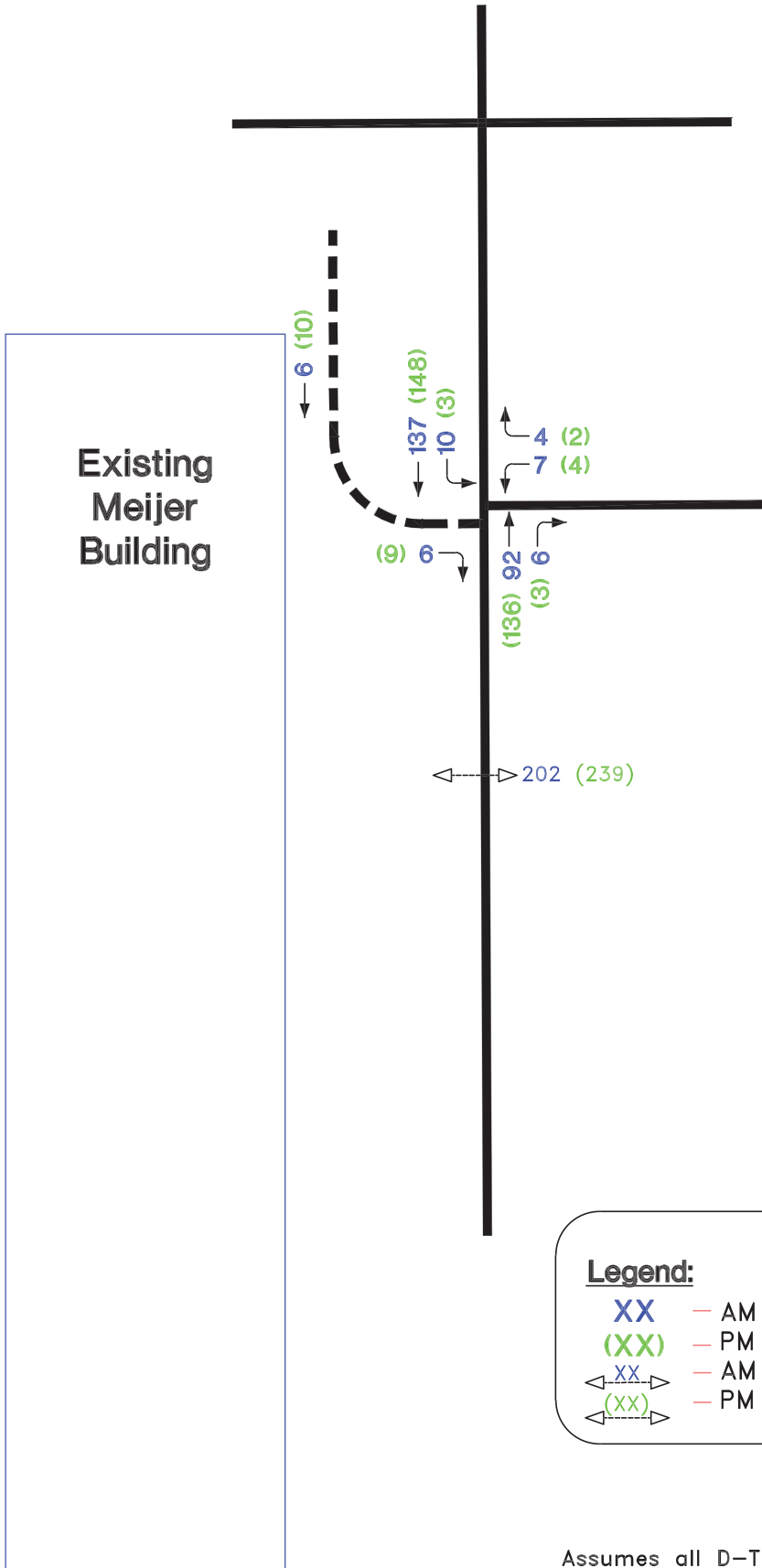


Legend:

- XX** — AM Peak Hour 9:30–10:30
- (XX)** — PM Peak Hour 3:45–4:45
- ◄ **XX** ► — AM Peak Hour Pedestrian Volumes
- ◄ **(XX)** ► — PM Peak Hour Pedestrian Volumes



Not to Scale



Legend:

- XX — AM Peak Hour 9:30–10:30
- (XX) — PM Peak Hour 3:45–4:45
- ← XX → — AM Peak Hour Pedestrian Volumes
- ← (XX) → — PM Peak Hour Pedestrian Volumes

Assumes all D-T Traffic is New

Exhibit 8

Intersection Capacity and Queue Analyses

Pharmacy Drive-Thru Meijer #182, 855 S Randall Rd: St Charles, Illinois

Part A. Parameters - Type of Traffic Control (Source: Highway Capacity Manual 6th Edition)

I. Traffic Signals

| <u>LOS</u> | <u>Delay (sec / veh)</u> | <u>Description</u> | <u>Delay (sec / veh)</u> |
|------------|--------------------------|---|--------------------------|
| A | <10 | All signal phases clear waiting vehicles without delay | < 10 |
| B | >10 and < 20 | Minimal delay experienced on select signal phases | >10 and < 15 |
| C | >20 and < 35 | Some delay experienced on several phases; often used as design criteria | >15 and < 25 |
| D | >35 and < 55 | Usually considered as the acceptable delay standard | >25 and < 35 |
| E | >55 and < 80 | Very long delays experienced during the peak hours | >35 and < 50 |
| F | >80 | Unacceptable delays experienced throughout the peak hours | >50 |

Part B. Results

| | Roadway Conditions | LOS Per Movement By Approach | | | | | | | | Intersection / Approach | | | | |
|---|---|---|----|-----------|----|------------|----|------------|----|-------------------------|-----|-------|-----|---|
| | | > = Shared Lane - = Non Critical or not Allowed Movement | | | | | | | | Delay (sec / veh) | LOS | | | |
| | | Eastbound | | Westbound | | Northbound | | Southbound | | | | | | |
| LT | TH | RT | LT | TH | RT | LT | TH | RT | LT | TH | RT | Delay | LOS | |
| 1. Drive-Thru Exit Lane at Drive Aisle | | | | | | | | | | | | | | |
| TWSC - EB/ WB Stops | | | | | | | | | | | | | | |
| A. Weekday Morning Peak Hour | <ul style="list-style-type: none"> • As Planned • 95th Queue Length (Veh) | - | - | A | > | A | < | - | - | - | - | A | 9.0 | A |
| Total Traffic (See Exhibit 7) | | | | <1 | | <1 | | | | | <1 | | | |
| B. Weekday Evening Peak Hour | <ul style="list-style-type: none"> • As Planned • 95th Queue Length (Veh) | - | - | A | > | B | < | - | - | - | - | A | 9.1 | A |
| Total Traffic (See Exhibit 7) | | | | <1 | | <1 | | | | | <1 | | | |



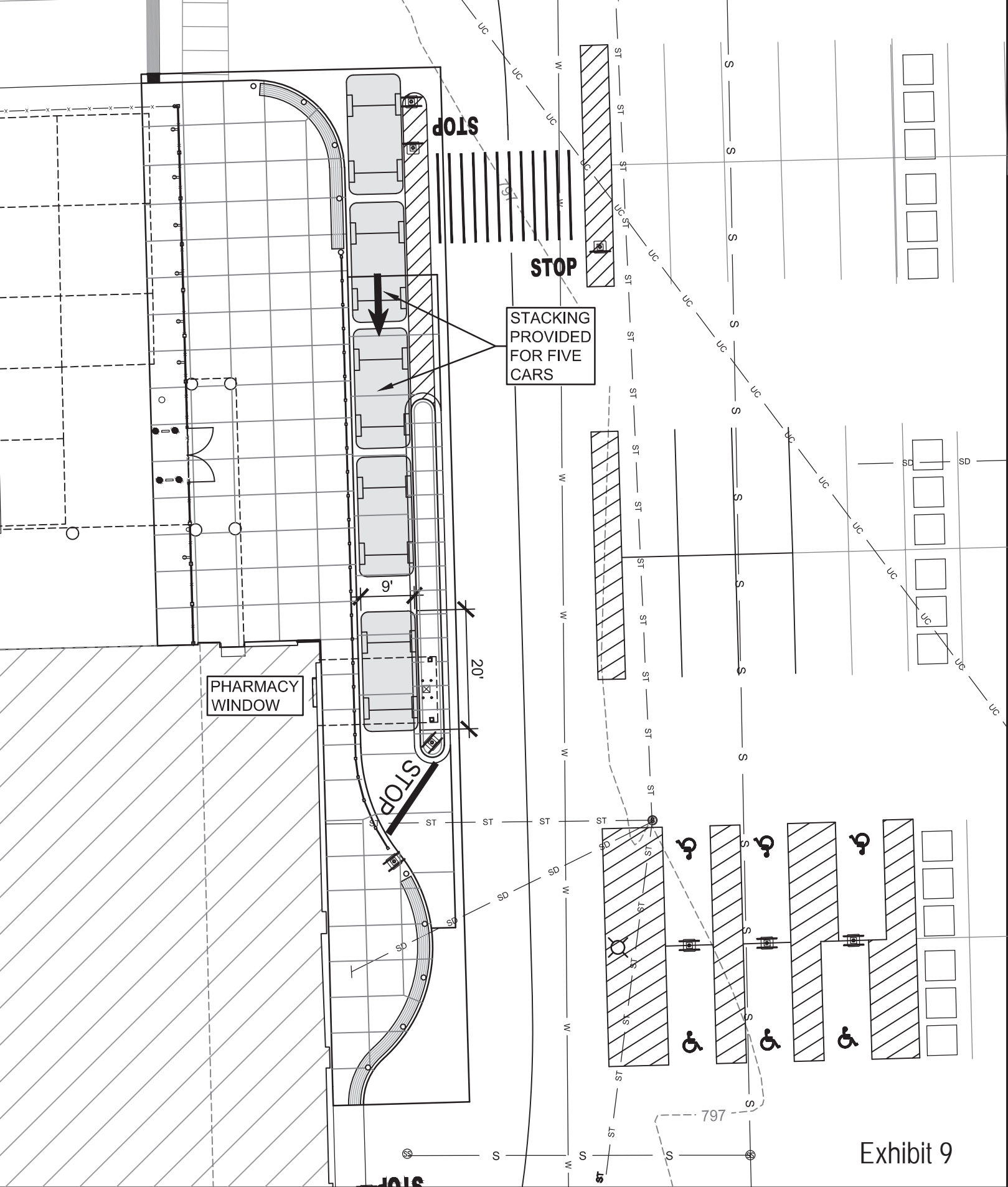


Exhibit 9



CAR STACKING ENLARGEMENT

SCALE: 1" = 20'

Appendices

Appendix A
March 2018 Traffic Observations

| Appendix A | | | | | | | | | | | |
|--|--------|------------|--------------------|-----------------------|--------------|------------------|----------------------|-------|-------------------|--|--|
| Manual Counts for St. Charles & Oswego | | | | | | | | | | | |
| 3/7/2018 | Oswego | Peds | Cars on Main Drive | TMC into Aisle (from) | | | Parking Aisle TMC | | Pharmacy Drive up | | |
| | | | | Oswego North | Oswego South | Oswego Left Turn | Oswego S. Right Turn | Queue | Exit | | |
| 8:30 AM | 25 | N-5; S-20 | 0 | 0 | 0 | 0 | 0 | 1 | 1 | | |
| 8:45 AM | 39 | N-1; S-10 | 2 | 0 | 0 | 0 | 0 | 1 | 1 | | |
| 9:00 AM | 19 | N-9; S-6 | 0 | 1 | 0 | 0 | 0 | 1 | 1 | | |
| 9:15 AM | 38 | N-13; S-15 | 1 | 2 | 0 | 1 | 3 | 3 | 3 | | |
| 9:30 AM | 26 | N-20; S-18 | 1 | 0 | 0 | 0 | 2 | 2 | 1 | | |
| 9:45 AM | 37 | N-13; S-22 | 0 | 1 | 0 | 1 | 1 | 1 | 2 | | |
| 10:00 AM | 17 | N-23; S-16 | 1 | 0 | 0 | 0 | 1 | 1 | 2 | | |
| 10:15 AM | 23 | N-26; S-11 | 0 | 0 | 1 | 3 | 0 | 0 | 1 | | |
| 10:30 AM | Finish | | | | | AVG= | 1.3 | | | | |
| 3:00 PM | 38 | N-7; S-22 | 0 | 0 | 0 | 0 | 3 | 3 | 3 | | |
| 3:15 PM | 41 | N-25; S-33 | 0 | 2 | 0 | 0 | 4 | 4 | 3 | | |
| 3:30 PM | 39 | N-12; S-31 | 0 | 0 | 1 | 0 | 0 | 0 | 1 | | |
| 3:45 PM | 53 | N-24; S-27 | 0 | 0 | 2 | 1 | 1 | 1 | 1 | | |
| 4:00 PM | 40 | N-7; S-41 | 1 | 3 | 0 | 0 | 2 | 2 | 1 | | |
| 4:15 PM | 66 | N-45; S-18 | 2 | 0 | 1 | 4 | 1 | 1 | 2 | | |
| 4:30 PM | 59 | N-34; S-41 | 0 | 0 | 0 | 0 | 4 | 4 | 2 | | |
| 4:45 PM | 53 | N-18; S-34 | 2 | 1 | 0 | 0 | 4 | 4 | 3 | | |
| 5:00 PM | 68 | N-34; S-27 | 0 | 1 | 0 | 0 | 4 | 4 | 3 | | |
| 5:15 PM | 71 | N-15; S-31 | 1 | 1 | 0 | 2 | 3 | 3 | 3 | | |
| 5:30 PM | 69 | N-23; S-47 | 0 | 0 | 0 | 1 | 4 | 4 | 3 | | |
| 5:45 PM | 46 | N-19; S-33 | 0 | 0 | 0 | 0 | 2 | 2 | 3 | | |
| 6:00 PM | Finish | | | | | AVG= | 2.7 | | 3 | | |

| Appendix A | | | | | | | | | |
|--|-------------|------|-----------------------|-------------------|-----------------------|---------------------------|--|-------------------|--|
| Manual Counts for St. Charles & Oswego | | | | | | | | | |
| 3/8/2018 | St. Charles | Peds | TMC into Aisle (from) | | | Parking Aisle TMC | | Pharmacy Drive up | |
| | | | St. Charles North | St. Charles South | St. Charles Left Turn | St. Charles N. Right Turn | | | |
| 8:30 | | 34 | 3 | 2 | 0 | 0 | | | |
| 8:45 | | 40 | 1 | 0 | 2 | 1 | | | |
| 9:00 | | 50 | 1 | 4 | 0 | 2 | | | |
| 9:15 | | 42 | 2 | 6 | 1 | 1 | | | |
| 9:30 | | 56 | 0 | 3 | 2 | 0 | | | |
| 9:45 | | 69 | 1 | 0 | 2 | 1 | | | |
| 10:00 | | 62 | 5 | 2 | 3 | 2 | | | |
| 10:15 | | 50 | 4 | 1 | 0 | 0 | | | |
| 10:30 | | | | | | | | | |
| 3:00 | | 60 | 2 | 4 | 2 | 3 | | | |
| 3:15 | | 56 | 0 | 3 | 4 | 5 | | | |
| 3:30 | | 60 | 2 | 0 | 2 | 3 | | | |
| 3:45 | | 61 | 0 | 0 | 1 | 0 | | | |
| 4:00 | | 74 | 0 | 0 | 0 | 0 | | | |
| 4:15 | | 79 | 1 | 0 | 1 | 0 | | | |
| 4:30 | | 70 | 2 | 3 | 0 | 0 | | | |
| 4:45 | | 48 | 0 | 1 | 2 | 4 | | | |
| 5:00 | | 66 | 2 | 0 | 0 | 0 | | | |
| 5:15 | | 60 | 2 | 3 | 0 | 0 | | | |
| 5:30 | | 56 | 0 | 3 | 1 | 1 | | | |
| 5:45 | | 56 | 0 | 4 | 3 | 0 | | | |
| 6:00 | Finish | | | | | | | | |

Appendix B
Meijer Pharmacy Transaction Data

Appendix B – Meijer Store Pharmacy Transaction Data

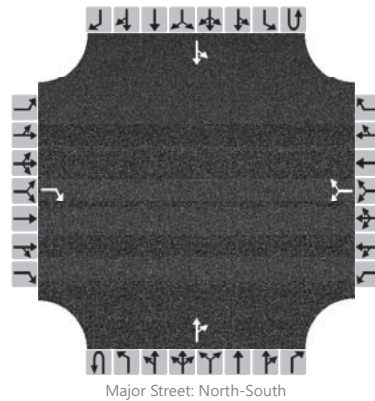
| Store Number | Drive Thru Count | Pharm Terminal Count | Total |
|---------------------|-------------------------|-----------------------------|--------------|
| <u>Store 239</u> | | | |
| 7-Mar – Wed | 50 | 83 | 133 |
| <u>Store 182</u> | | | |
| 7-Mar – Wed | N/A | 112 | 112 |
| 8-Mar – Thur | N/A | 110 | 110 |
| 9-Mar – Fri | N/A | 112 | 112 |
| 10-Mar – Sat | N/A | 102 | 102 |
| 11-Mar – Sun | N/A | 68 | 68 |

Appendix C
Highway Capacity Software (HCS) Summary Reports

HCS7 Two-Way Stop-Control Report

| General Information | | | | Site Information | | | |
|--------------------------|---------------|--|--|----------------------------|--------------|--|--|
| Analyst | DPB | | | Intersection | DT EXIT | | |
| Agency/Co. | GHA | | | Jurisdiction | LOCAL | | |
| Date Performed | 4/2/2018 | | | East/West Street | DT - PARKING | | |
| Analysis Year | 2018 | | | North/South Street | MAIN AISLE | | |
| Time Analyzed | AM | | | Peak Hour Factor | 0.92 | | |
| Intersection Orientation | North-South | | | Analysis Time Period (hrs) | 0.25 | | |
| Project Description | MEIJER 182 DT | | | | | | |

Lanes



Vehicle Volumes and Adjustments

| Approach | Eastbound | | | | Westbound | | | | Northbound | | | | Southbound | | | |
|----------------------------|-----------|----|----|----|-----------|---|----|---|------------|---|----|----|------------|----|-----|---|
| | U | L | T | R | U | L | T | R | U | L | T | R | U | L | T | R |
| Movement | | | | | | | | | | | | | | | | |
| Priority | | 10 | 11 | 12 | | 7 | 8 | 9 | 1U | 1 | 2 | 3 | 4U | 4 | 5 | 6 |
| Number of Lanes | | 0 | 0 | 1 | | 0 | 1 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 1 | 0 |
| Configuration | | | | R | | | LR | | | | | TR | | LT | | |
| Volume, V (veh/h) | | | | 6 | | 7 | | 4 | | | 92 | 6 | | 10 | 137 | |
| Percent Heavy Vehicles (%) | | | | 2 | | 2 | | 2 | | | | | | 2 | | |
| Proportion Time Blocked | | | | | | | | | | | | | | | | |
| Percent Grade (%) | 0 | | | | 0 | | | | | | | | | | | |
| Right Turn Channelized | No | | | | No | | | | No | | | | No | | | |
| Median Type/Storage | Undivided | | | | | | | | | | | | | | | |

Critical and Follow-up Headways

| | | | | | | | | | | | | | | | | |
|------------------------------|--|--|--|------|--|--|--|------|--|--|--|------|--|--|--|------|
| Base Critical Headway (sec) | | | | 6.2 | | | | 7.1 | | | | 6.2 | | | | 4.1 |
| Critical Headway (sec) | | | | 6.22 | | | | 7.12 | | | | 6.22 | | | | 4.12 |
| Base Follow-Up Headway (sec) | | | | 3.3 | | | | 3.5 | | | | 3.3 | | | | 2.2 |
| Follow-Up Headway (sec) | | | | 3.32 | | | | 3.52 | | | | 3.32 | | | | 2.22 |

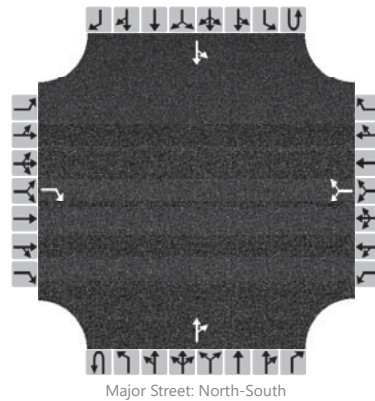
Delay, Queue Length, and Level of Service

| | | | | | | | | | | | | | | | | |
|---|-----|--|--|------|------|--|--|------|--|--|--|--|-----|--|--|------|
| Flow Rate, v (veh/h) | | | | 7 | | | | 12 | | | | | | | | 11 |
| Capacity, c (veh/h) | | | | 897 | | | | 739 | | | | | | | | 1483 |
| v/c Ratio | | | | 0.01 | | | | 0.02 | | | | | | | | 0.01 |
| 95% Queue Length, Q ₉₅ (veh) | | | | 0.0 | | | | 0.0 | | | | | | | | 0.0 |
| Control Delay (s/veh) | | | | 9.0 | | | | 10.0 | | | | | | | | 7.4 |
| Level of Service, LOS | | | | A | | | | A | | | | | | | | A |
| Approach Delay (s/veh) | 9.0 | | | | 10.0 | | | | | | | | 0.6 | | | |
| Approach LOS | A | | | | A | | | | | | | | | | | |

HCS7 Two-Way Stop-Control Report

| General Information | | | | Site Information | | | |
|--------------------------|---------------|----------------------------|--------------|------------------|--|--|--|
| Analyst | DPB | Intersection | DT EXIT | | | | |
| Agency/Co. | GHA | Jurisdiction | LOCAL | | | | |
| Date Performed | 4/2/2018 | East/West Street | DT - PARKING | | | | |
| Analysis Year | 2018 | North/South Street | MAIN AISLE | | | | |
| Time Analyzed | PM | Peak Hour Factor | 0.92 | | | | |
| Intersection Orientation | North-South | Analysis Time Period (hrs) | 0.25 | | | | |
| Project Description | MEIJER 182 DT | | | | | | |

Lanes



Vehicle Volumes and Adjustments

| Approach | Eastbound | | | | Westbound | | | | Northbound | | | | Southbound | | | |
|----------------------------|-----------|----|----|----|-----------|---|----|---|------------|---|-----|----|------------|----|-----|---|
| | U | L | T | R | U | L | T | R | U | L | T | R | U | L | T | R |
| Movement | | | | | | | | | | | | | | | | |
| Priority | | 10 | 11 | 12 | | 7 | 8 | 9 | 1U | 1 | 2 | 3 | 4U | 4 | 5 | 6 |
| Number of Lanes | | 0 | 0 | 1 | | 0 | 1 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 1 | 0 |
| Configuration | | | | R | | | LR | | | | | TR | | LT | | |
| Volume, V (veh/h) | | | | 9 | | 4 | | 2 | | | 136 | 3 | | 3 | 148 | |
| Percent Heavy Vehicles (%) | | | | 2 | | 2 | | 2 | | | | | | 2 | | |
| Proportion Time Blocked | | | | | | | | | | | | | | | | |
| Percent Grade (%) | 0 | | | | 0 | | | | | | | | | | | |
| Right Turn Channelized | No | | | | No | | | | No | | | | No | | | |
| Median Type/Storage | Undivided | | | | | | | | | | | | | | | |

Critical and Follow-up Headways

| | | | | | | | | | | | | | | | | |
|------------------------------|--|--|--|------|--|--|--|------|--|--|--|------|--|--|--|------|
| Base Critical Headway (sec) | | | | 6.2 | | | | 7.1 | | | | 6.2 | | | | 4.1 |
| Critical Headway (sec) | | | | 6.22 | | | | 7.12 | | | | 6.22 | | | | 4.12 |
| Base Follow-Up Headway (sec) | | | | 3.3 | | | | 3.5 | | | | 3.3 | | | | 2.2 |
| Follow-Up Headway (sec) | | | | 3.32 | | | | 3.52 | | | | 3.32 | | | | 2.22 |

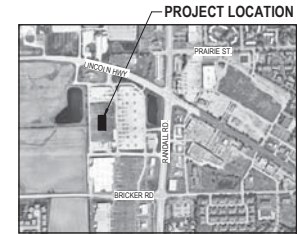
Delay, Queue Length, and Level of Service

| | | | | | | | | | | | | | | | | |
|---|-----|--|--|------|------|--|--|------|--|--|--|--|-----|--|--|------|
| Flow Rate, v (veh/h) | | | | 10 | | | | 6 | | | | | | | | 3 |
| Capacity, c (veh/h) | | | | 884 | | | | 693 | | | | | | | | 1429 |
| v/c Ratio | | | | 0.01 | | | | 0.01 | | | | | | | | 0.00 |
| 95% Queue Length, Q ₉₅ (veh) | | | | 0.0 | | | | 0.0 | | | | | | | | 0.0 |
| Control Delay (s/veh) | | | | 9.1 | | | | 10.2 | | | | | | | | 7.5 |
| Level of Service, LOS | | | | A | | | | B | | | | | | | | A |
| Approach Delay (s/veh) | 9.1 | | | | 10.2 | | | | | | | | 0.2 | | | |
| Approach LOS | A | | | | B | | | | | | | | | | | |

STORE 182 MINOR RESET

CP-18-00182

855 South Randall Rd.
St Charles, IL 60174



PLAN NORTH
Location Map
Not To Scale



111 E. Wayne Street, Suite 555, Fort Wayne, IN 46802
260 424-9080
ElevatusArchitecture.com

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NOT RELEASED FOR CONSTRUCTION

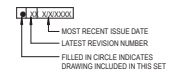
Design Team

ELEVATUS Architecture
111 E. Wayne Street, Suite 555
Fort Wayne, IN 46802
260 424-9080

Engineering Resources, Inc.
11020 Diebold Rd.
Fort Wayne, IN 46845
260 490-1025

| GENERAL | | | |
|------------|---|-----------|---|
| ■ | T | 1/25/2018 | G-001 Cover Sheet |
| CIVIL | | | |
| ■ | | C-100 | Overall Site Plan |
| ■ | | C-100E | Site Survey |
| ■ | | C-101 | Site Demolition Plan |
| ■ | | C-200 | Site Layout and Pavement Plan |
| ■ | | C-301 | Site Storage, Storage, and Amenity Plan |
| ■ | | C-300 | Site Grading and Utility Plan |
| ■ | | C-400 | Site Details |
| ELECTRICAL | | | |
| ■ | | ES101 | Electrical Site Plan |
| ■ | | ES102 | Electrical Site Plan - Photometrics |

SHEET INDEX LEGEND



STORE 182 MINOR RESET
CP-18-00182
855 South Randall Rd.
St Charles, IL 60174

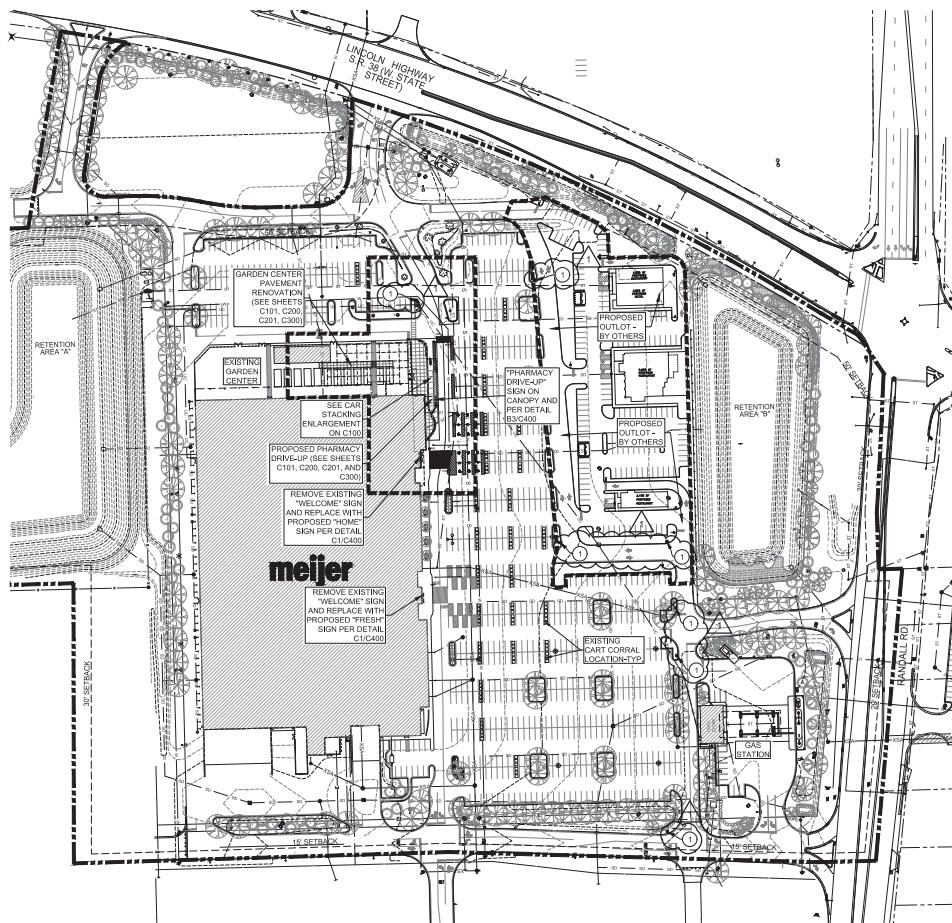
| REVISIONS | | |
|-----------|-------------|-----------|
| NO. | DESCRIPTION | DATE |
| 1 | Adendum #1 | 1/25/2018 |

PROJECT NO. 1701812
ISSUE DATE 3/12/2018

SUBMITTAL
Bids, Permits, & Construction

Cover Sheet

G-001



LANDSCAPE LEGEND:

- ORIGINAL LANDSCAPE TREES AND SHRUBS FROM DESIGN PLANS
- EXISTING TREES AS SURVEYED

SURVEY NOTE:
 EXISTING TOPOGRAPHY IS BASED ON TOPOGRAPHIC SURVEY PROVIDED BY DALE FLOYD SURVEYING, L.L.C. PROJECT #117451 DATED DECEMBER 15, 2017. ADDITIONAL SITE INFORMATION WAS MERGED WITH THIS SURVEY. THE ADDITIONAL DESIGN DOCUMENTS WERE SUPPLIED TO ELEVATUS ARCHITECTURE FROM MEIJER, INC.
 CONTROL POINTS PROVIDED FROM TOPOGRAPHIC SURVEY BY EXCEL ENGINEERING, INC.

LOT INFORMATION:
 MAIN STORE AND GAS STATION PARCEL #1: #09-32-476-008
 PROPERTY ZONING: BR REGIONAL BUSINESS
 COUNTY: KANE COUNTY
 ACRES: 39.3± ACRES
 DISTURBED AREA: 9,500± SQUARE FEET
 NEW IMPERVIOUS AREA: 250± SQUARE FEET

SURROUNDING LAND USE: RETAIL, RESTAURANTS, BANKS AND BUSINESSES BORDER MEIJER ON THE NORTH, EAST AND SOUTH. OPEN FARM LAND BORDERS MEIJER ON THE WEST.

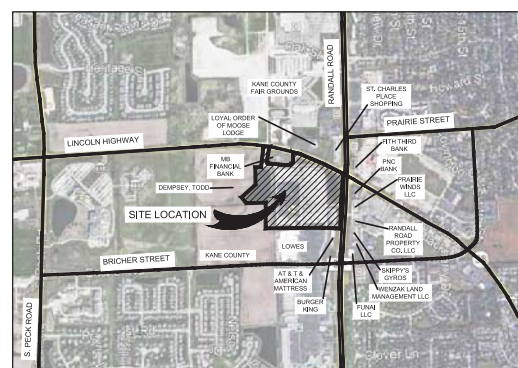
EXISTING PARKING (MAIN STORE AND GAS STATION):
STORE PARKING LOT:
 1,140 STANDARD SPACES
 24 HANDICAP ACCESSIBLE SPACES
 1,164 TOTAL SPACES
GAS STATION PARKING LOT:
 11 STANDARD SPACES
 1 HANDICAP SPACE
 12 TOTAL SPACES
 EXISTING CART CORRALS: 25 CORRALS

PROPOSED PARKING (MAIN STORE AND GAS STATION):
STORE PARKING LOT:
 831 STANDARD SPACES
 24 HANDICAP ACCESSIBLE SPACES
 762 TOTAL SPACES PROVIDED (89 UNDER REQUIRED)
 831 PARKING SPACES REQUIRED (8 SPACES PER 1,000 SF OF GFA (166,180 SF) X 1,000 = 831)
GAS STATION PARKING LOT:
 11 STANDARD SPACES
 1 HANDICAP SPACE
 12 TOTAL SPACES
 EXISTING CART CORRALS: 25 CORRALS

MEIJER PARKING STANDARDS:
 1.5 PARKING SPACES PER 1,000 SF OF BUILDING AREA. (220,791 / 1,000 x 3.5 = 773 SPACES MINIMUM)
 MEIJER STANDARD PARKING SPACE SIZES ARE 9.5' X 19'

- SITE PLAN NOTES:**
- OWNER INFORMATION: MEIJER, INC. (GOOD WILL INC.) 2980 THREE MILE ROAD GRAND RAPIDS, MI 49544
 - STORM DRAINAGE PATTERNS AND STORM WATER MANAGEMENT SHALL REMAIN AS EXISTING. NO INCREASE IN STORMWATER QUANTITY OR IMPERVIOUS AREA.
 - PROPOSED CONSTRUCTION IS NOT LOCATED IN A DESIGNATED FLOODPLAIN OR WETLAND AREA.
 - EXISTING UTILITIES SHALL REMAIN EXCEPT AS INDICATED ON THE DRAWINGS.
 - EXISTING BUILDING AND POLE-MOUNTED SITE LIGHTING FIXTURES SHALL REMAIN. TWO LIGHTS WILL BE RELOCATED SEE MS-2 FOR NEW LOCATIONS. ALL PROPOSED LIGHT FIXTURES IN PROPOSED CANOPIES (E.G. PHARMACY DRIVE-UP) SHALL BE SHIELDED AS REQUIRED BY ZONING ORDINANCE LIGHTING REQUIREMENTS.
 - EXISTING LANDSCAPING SHALL REMAIN. LANDSCAPING IN RELOCATED CURB ISLAND TO BE REPLANTED TO MATCH THE RELOCATION THAT WAS REMOVED.
 - CONSTRUCTION DRAWINGS WILL INCLUDE REQUIRED SOIL EROSION CONTROL MEASURES INCLUDING INLET PROTECTION AT ALL AFFECTED STORMWATER INLETS.
 - SEE ARCHITECTURAL DRAWINGS FOR CHANGES TO EXTERIOR SIGNAGE.

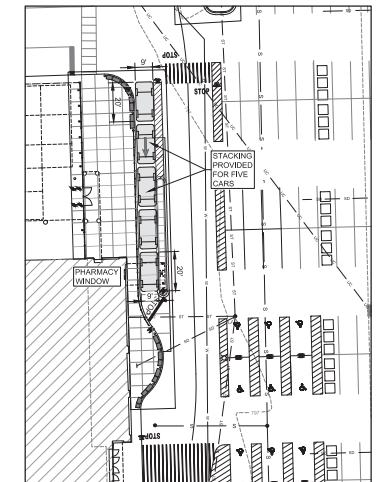
- FIRE DEPARTMENT NOTES:**
- THE EXISTING BUILDING ADDRESS(S) SHALL REMAIN UNCHANGED.
 - THE PROPOSED BUILDING ADDITION SHALL BE FULLY SPRINKLED AS REQUIRED BY BUILDING AND FIRE CODES.
 - EXISTING FIRE LINES AND FIRE DEPARTMENT ACCESS ROAD WIDTHS SHALL REMAIN.
 - ALL FIRE HYDRANTS SHALL REMAIN.



SITE LOCATION MAP
 SCALE: 1" = 1,000±

BUILDING SQUARE FOOTAGE:
 BUILDING EXISTING: 220,791 SF
 BUILDING PROPOSED: 220,791 SF
 BUILDING NET FLOOR AREA: 166,180 SF
 CANOPY: 3,435 SF

LEGAL DESCRIPTION:
 MEIJER STORE #182 - ST. CHARLES, KANE COUNTY, ILLINOIS
 CORPORATE OWNER: MEIJER STORES LIMITED PARTNERSHIP
 SITUATE IN SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN CITY OF ST. CHARLES, COUNTY OF KANE, STATE OF ILLINOIS, AND BEING LOT 1 OF THE RESUBDIVISION #2 OF THE RESUBDIVISION OF THE MEIJER #182 SUBDIVISION AS RECORDED IN DOCUMENT NO. 2002K140590 OF THE KANE COUNTY, ILLINOIS RECORDERS' OFFICE.



CAR STACKING ENLARGEMENT
 SCALE: 1" = 30"

SITE SIGNAGE NOTES:
 ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS/HER EXPENSE PER THE CONTRACT DOCUMENTS.
 1. PHARMACY DRIVE-UP WAYFINDING SIGN "E" PER DETAIL C4/C400

PROPOSED SITE LAYOUT
 SCALE: 1" = 100'

MEIJER MAIN STORE BUILDING SIGNAGE SUMMARY

| TYPE | LOGO | NUMBER | 2017 FIELD APPROVED SQ.FT. OF EACH | EXISTING TOTAL SQ.FT. | NO CHANGE | REMOVE | NEW SIGN | UPDATE SIGN | 2018 SIGN REQ. FT. EACH | 2018 TOTAL SQ. FT. |
|--|-------------------|--------|------------------------------------|-----------------------|-----------|--------|----------|-------------|-------------------------|--------------------|
| WALL SIGN | MEIJER | 1 | 416.00 | 395.67 | | | X | | 395.67 | 395.67 |
| WALL SIGN | WELCOME | 1 | 12.00 | 12.00 | | X | | | 0 | 0 |
| WALL SIGN | FRESH | 1 | 12.00 | 12.00 | | | X | | 0 | 0 |
| WALL SIGN | PHARMACY | 1 | 16.11 | 16.11 | | X | | | 0 | 0 |
| WALL SIGN | GARDEN CENTER | 1 | 16.28 | 16.28 | | | X | | 0 | 0 |
| WALL SIGN | PHARMACY DRIVE-UP | 1 | 43.88 | 0 | | | | X | 0 | 0 |
| WALL SIGN | STAIRWALKS | 1 | 16.00 | 16.00 | X | | | | 16.00 | 16.00 |
| WALL SIGN | USE BANK | 1 | 37.00 | 37.00 | X | | | | 37.00 | 37.00 |
| TOTAL AREA OF EXISTING MAIN STORE SIGNS = 439.67 | | | | | | | | | | |

PROPOSED MAIN STORE BUILDING SIGNAGE SUMMARY

| TYPE | LOGO | NUMBER | 2017 FIELD APPROVED SQ.FT. OF EACH | EXISTING TOTAL SQ.FT. | NO CHANGE | REMOVE | NEW SIGN | UPDATE SIGN | 2018 SIGN REQ. FT. OF EACH | 2018 TOTAL SQ. FT. |
|--|-------------------|--------|------------------------------------|-----------------------|-----------|--------|----------|-------------|----------------------------|--------------------|
| WALL SIGN | MEIJER | 1 | 420.00 | 0 | | | X | | 420.00 | 420.00 |
| WALL SIGN | FRESH | 1 | 6.00 | 0 | | | X | | 6.00 | 6.00 |
| WALL SIGN | PHARMACY DRIVE-UP | 1 | 0.00 | 0 | | | X | | 32.30 | 32.30 |
| TOTAL AREA OF NEW MAIN STORE SIGNS = 117.30 | | | | | | | | | | |
| 2018 TOTAL SQ. FT. OF MAIN STORE SIGNAGE REQUESTED = 570.81 S.F. | | | | | | | | | | |

2018 TOTAL SQ. FT. OF ALL SIGNAGE (EXISTING & PROPOSED) REQUESTED FOR THE MEIJER PROPERTY = 812.16 S.F.

MEIJER SITE SIGNAGE SUMMARY

| TYPE | LOGO | NUMBER | 2017 FIELD APPROVED SQ.FT. OF EACH | EXISTING TOTAL SQ.FT. | NO CHANGE | REMOVE | NEW SIGN | UPDATE SIGN | 2018 SIGN REQ. FT. OF EACH | 2018 TOTAL SQ. FT. |
|--|-----------|--------|------------------------------------|-----------------------|-----------|--------|----------|-------------|----------------------------|--------------------|
| MONUMENT SIGN | MEIJER | 2 | 58.00 | 115.42 | | | X | | 57.26 | 115.10 |
| GAS STATION | WALL SIGN | 1 | 69.00 | 70.53 | | | X | | 70.63 | 70.63 |
| 2018 TOTAL SQ. FT. OF SITE SIGNAGE REQUESTED = 185.75 S.F. | | | | | | | | | | |

MEIJER GAS STATION BUILDING SIGNAGE SUMMARY

| TYPE | LOGO | NUMBER | 2017 FIELD APPROVED SQ.FT. OF EACH | EXISTING TOTAL SQ.FT. | NO CHANGE | REMOVE | NEW SIGN | UPDATE SIGN | 2018 SIGN REQ. FT. OF EACH | 2018 TOTAL SQ. FT. |
|---|---------|--------|------------------------------------|-----------------------|-----------|--------|----------|-------------|----------------------------|--------------------|
| GAS STATION | MEIJER | 3 | 20.00 | 43.80 | | | X | | 14.4 | 43.80 |
| WALL SIGN | WELCOME | 1 | 0.00 | 12.0 | X | | | | 12.0 | 12.00 |
| 2018 TOTAL SQ. FT. OF GAS STATION BUILDING SIGNAGE REQUESTED = 65.80 S.F. | | | | | | | | | | |



ELEVATUS ARCHITECTURE
 111 E. River Street, Suite 201, St. Charles, IL 60174
 312.424.9300
 ELEVATUS@ELEVATUS.COM



Siwek CONSTRUCTION MANAGEMENT
 11000 Orchard Road, Fort Worth, TX 76185
 817.346.0655, Fax 817.346.0622
 www.siwekconstruction.com



meijer
 STORE #182 MNOR RESET
 MEIJER PROJECT #: CP-18-00-182
 855 S. Randall road
 St. Charles, IL 60174
 2018 MNOR RESET

REVISIONS

| NO. | DESCRIPTION | DATE |
|-----|----------------------|-----------|
| 1 | City Review Comments | 5/13/2018 |

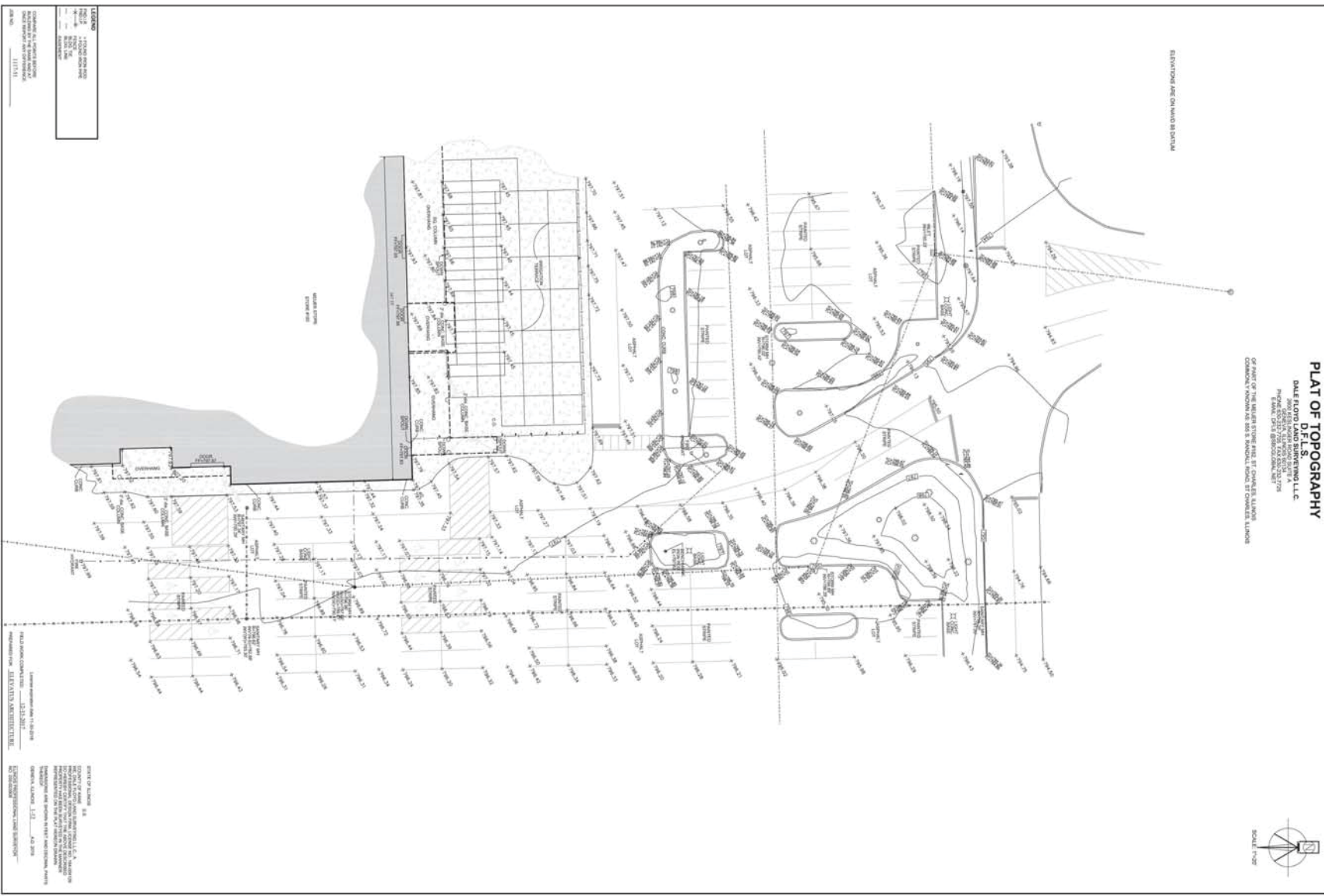
PROJECT NO: 1701912
 ISSUE DATE: 09/10/2018
 SUBMITTAL: Blg. Permits and Construction Set

Overall Site Plan

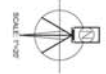
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 User: jheiser

March 30, 2018, 3:07 PM
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 182: SITE (D:\meijer\Draws\C100E\C100E.dwg) Survey.dwg



**PLAT OF TOPOGRAPHY
 D.F.L.S.**
 DALE FLOYD LAND SURVEYING L.L.C.
 1100 N. WINDYBROOK ROAD, SUITE 200, ST. CHARLES, ILLINOIS 62278
 TEL: 618.381.8888 FAX: 618.381.8889
 WWW.DALEDL.COM



LEGEND

| | |
|--|--------------------------------|
| | Survey Boundary |
| | Easement |
| | Proposed Building Footprint |
| | Proposed Parking |
| | Proposed Walkway |
| | Proposed Driveway |
| | Proposed Utility |
| | Proposed Fence |
| | Proposed Retention Wall |
| | Proposed Stormwater Management |
| | Proposed Site Elevation |

ELEVATIONS ARE GIVEN IN FEET



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FOR PERMITTING ONLY
 CIVIL/CONSTRUCTION SERVICES



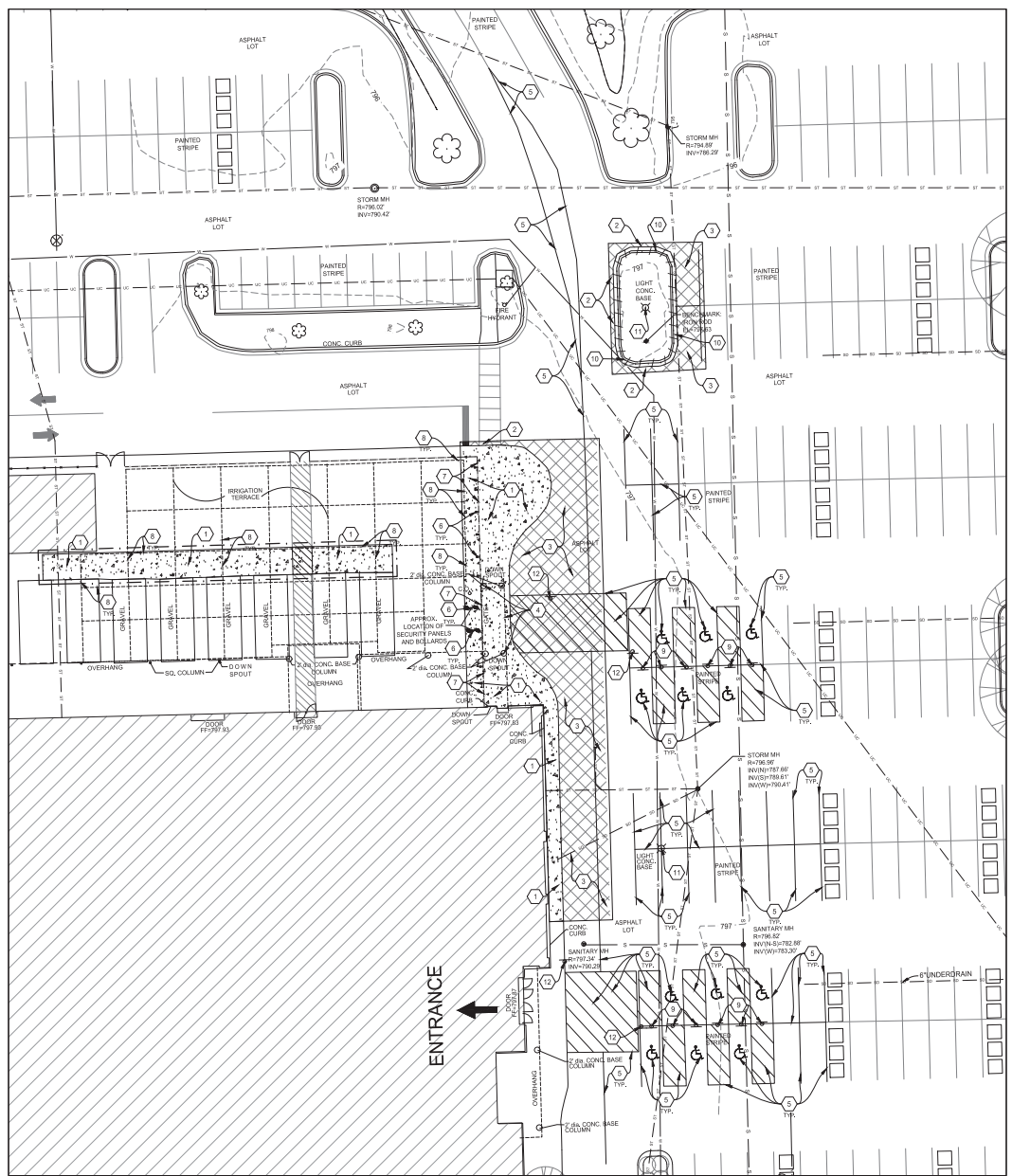
meijer
 STORE #182 MINOR
 RESET
 MEIJER PROJECT #:
 CP-18-00-182
 855 S. Randall road
 St. Charles, IL 60174
 2018 MINOR RESET

| REVISIONS | | |
|-----------|-------------|------|
| NO. | DESCRIPTION | DATE |
| | | |
| | | |
| | | |

| | |
|---|---------------------------------|
| PROJECT NO. 1701812 | ISSUE DATE 03/12/2018 |
| SUBMITTAL Set, Permits and Construction Set | |

Site Survey
C100E

March 30, 2018, 3:07 PM
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SITE DEMOLITION PLAN
 SCALE: 1" = 20'

DEMOLITION NOTES:

- 1 SAWCUT AND REMOVE CONCRETE SIDEWALK/PAVEMENT TO NEAREST JOINT.
- 2 SAWCUT AND REMOVE 18" MINIMUM OF ASPHALT PAVEMENT TO PROVIDE CLEAN EDGE.
- 3 SAWCUT AND REMOVE ASPHALT PAVEMENT.
- 4 GARDEN CENTER ENTRY FEATURE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 5 REMOVE PAVEMENT MARKINGS AS NECESSARY BY GRINDING.
- 6 ELECTRICAL OUTLETS, ELECTRIC PANEL SENSOR AND SOLAROS TO REMAIN. PROTECT DURING CONSTRUCTION.
- 7 REMOVE ALUMINUM FENCE AND GATE INCLUDING FOUNDATIONS. SEE ARCHITECTURAL DRAWINGS FOR LIMITS OF FENCE REMOVAL.
- 8 STEEL SHADECLOTH STRUCTURE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 9 REMOVE HANDICAP SIGNS AND RESET AFTER CONSTRUCTION IS COMPLETE.
- 10 REMOVE CONCRETE CURB.
- 11 REMOVE AND RELOCATE LIGHT. SEE ELECTRICAL SHEETS FOR INFORMATION.
- 12 REMOVE STOP SIGNS AND RESET AFTER CONSTRUCTION IS COMPLETE.

DEMOLITION LEGEND:

- SAWCUT AND REMOVE ASPHALT PAVEMENT.
- SAWCUT AND REMOVE CONCRETE SIDEWALK OR SLAB.
- REMOVE CURB
- ALTERNATE BOUNDARY. SEE ALTERNATE SPECIFICATION SECTION 9012300 FOR ADDITIONAL INFORMATION.

LOCAL UTILITY LOCATING AGENCY:

1. ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES, IN WRITING, OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS) AND CONTACT "JULIE" LOCAL UTILITY LOCATING AGENCY AT illinois1call.com.
2. EXISTING UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

SURVEY:

EXISTING TOPOGRAPHY IS BASED ON TOPOGRAPHIC SURVEY PROVIDED BY DALE FLOYD AND SURVEYING PROJECT #11134 DATED DECEMBER 15, 2017. ADDITIONAL SITE INFORMATION WAS MERGED WITH THIS SURVEY. THE ADDITIONAL DESIGN DOCUMENTS WERE SUPPLIED TO ELEVATUS ARCHITECTURE FROM MEIJER, INC.
 CONTROL POINTS PROVIDED FROM TOPOGRAPHIC SURVEY BY EXCEL ENGINEERING, INC.

DEMOLITION GENERAL NOTES:

1. OBTAIN ALL REQUIRED PERMITS AND COORDINATE INSPECTIONS FROM AUTHORITIES HAVING JURISDICTION.
2. CONTRACTOR SHALL NOT INTERRUPT ANY SERVICE TO ADJACENT PROPERTIES WITHOUT WRITTEN AUTHORIZATION FROM PROPERTY OWNER. AN EMERGENCY PLAN SHALL BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION TO OUTLINE CORRECTIVE MEASURES IN THE EVENT OF ANY UNAUTHORIZED UTILITY SHUTDOWN.
3. CONTRACTOR SHALL STUDY ALL DRAWINGS PRIOR TO CONSTRUCTION. RESEARCH PUBLIC UTILITY RECORDS, CONTACT THE LOCAL UTILITY LOCATOR SERVICE, AND FIELD VERIFY ALL EXISTING STRUCTURES PRIOR TO CONSTRUCTION. CONTACT ENGINEER FOR DIRECTION IF EXISTING UTILITY CONDITIONS CONFLICT WITH PROPOSED WORK. OR ANY ALTERATIONS SHALL BE THE CONTRACTORS RESPONSIBILITY.
4. EXISTING UTILITIES ARE APPROXIMATIONS BASED ON BEST AVAILABLE DATA. CAUTION SHALL BE EXPRESSED TO NOT INTERRUPT SERVICE TO ANY BUILDING. EXPLORATORY TRENCH TO VERIFY DEPTH AND LOCATION OF SERVICES PRIOR TO CONSTRUCTION OF NEW SEWER UTILITIES. ASSURE ALL SANITARY FLOW IS DIRECTED INTO THE SANITARY SEWER ON-SITE AND ALL STORM WATER IS DIRECTED INTO THE STORM SEWER SYSTEM.
5. CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION REQUIRED BY UTILITY OWNERS TO CONSTRUCT PROJECT.
6. CONTRACTOR SHALL LOCATE ALL PRIVATE UTILITIES NOT COVERED BY THE PUBLIC UTILITY SERVICES.
7. ADJUST ALL EXISTING MANHOLES, VALVES, HYDRANTS, HANDHOLES THAT ARE WITHIN THE PROJECT LIMITS TO PROPOSED GRADES.
8. CONTRACTOR SHALL SUPPORT ALL EXISTING UTILITIES DURING CONSTRUCTION OF ADJACENT WORK.
9. SEE SITE SURVEY FOR EXISTING CONDITIONS.
10. COORDINATE ALL DEMOLITION WORK WITH OWNER.
11. CONTRACTOR IS RESPONSIBLE FOR ALL PERMIT FEES, TAPPING FEES, INSPECTION FEES, ETC.
12. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS, AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.

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Siwek
 3100 Redwood Road, Oak Brook, IL 60452
 Tel: 630.486.1200, Fax: 630.486.1201
www.esignetgroup.com

3-12-2018

 K. Hedenreich
 FOR PERMITTING ONLY
 SIWEK'S CONSTRUCTION SERVICES

meijer
 STORE #182 MNOR
 RESET

MEIJER PROJECT #:
 CP-18-00-182
 855 S. Randall road
 St. Charles, IL 60174
 2018 MNOR RESET

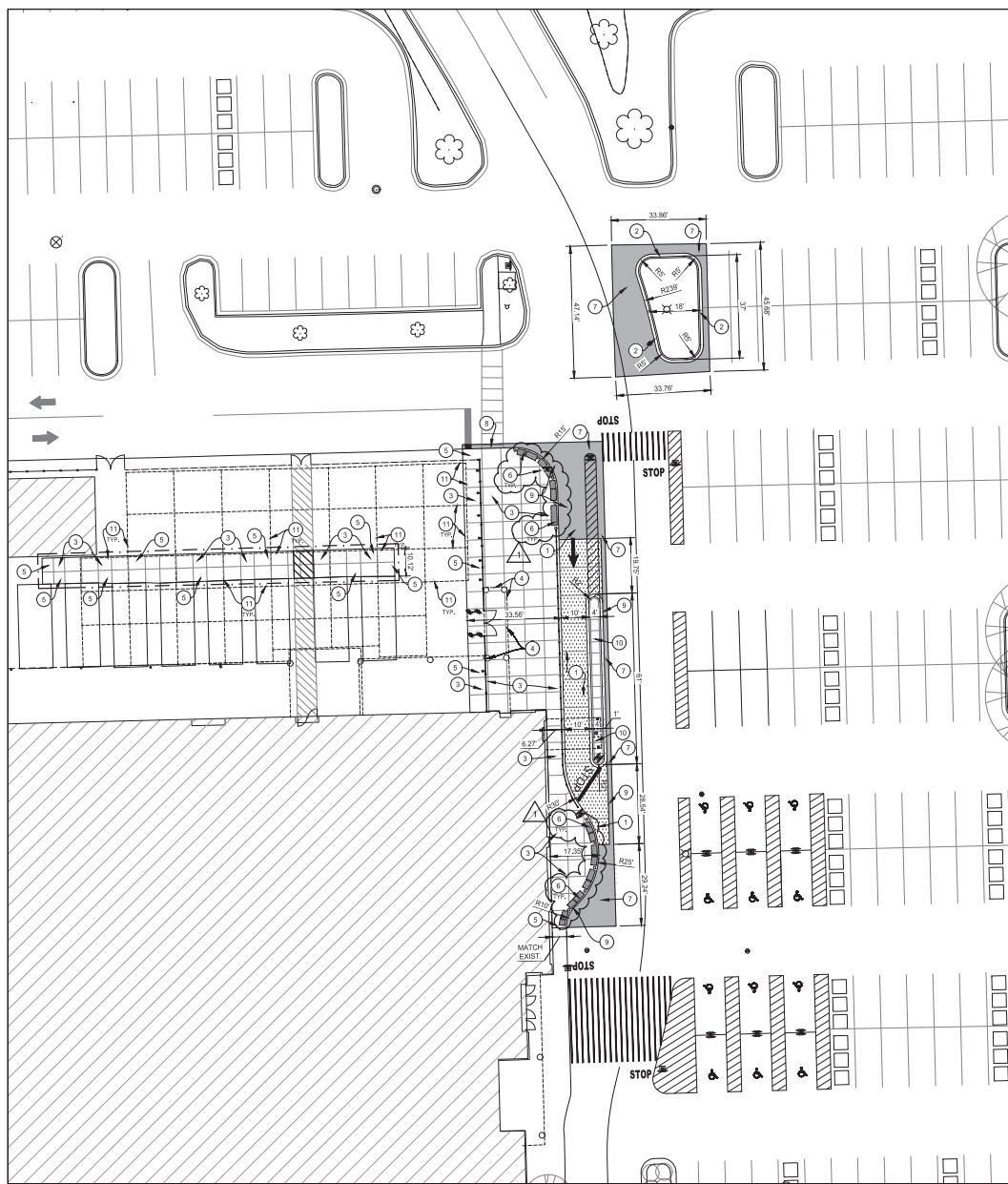
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PROJECT NO. 1701812 ISSUE DATE 03/12/2018
 SUBMITTAL
 Bid, Permits and Construction Set

Site Demolition Plan

C101

May 6, 2018 3:07 PM
 C:\Users\jshelton\OneDrive\Documents\Projects\4150-1182\4150-1182.dwg - 182 - SITE LAYOUT AND PAVEMENT PLAN



SITE LAYOUT AND PAVEMENT PLAN
SCALE: 1" = 20'

- LAYOUT AND PAVEMENT NOTES:**
- ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS HER EXPENSE PER THE CONTRACT DOCUMENTS.
- 6" CONCRETE SLAB W/ 6" W2.9W2.9 WWF AND HEAVY BROOM FINISH OVER NEW 4" COMPACTED BASE AGGREGATE COURSE. (TYP.) SEE A1/C400 FOR CONCRETE JOINT DETAILS AND A2/C400 FOR PAVEMENT EDGE DETAILS. PROVIDE A DOWELED BUTT JOINT PER DETAIL A3/C400 WHEN CONCRETE IS ADJACENT TO PROPOSED CURBING OR CONCRETE.
 - STRAIGHT CURB AND GUTTER PER DETAIL D3/C400.
 - 5" CONCRETE SLAB W/ 6" W2.9W2.9 WWF OVER NEW 4" COMPACTED BASE AGGREGATE COURSE. SEE A1/C400 FOR CONCRETE JOINT DETAILS AND A2/C400 FOR PAVEMENT EDGE DETAILS. PROVIDE A DOWELED BUTT JOINT PER DETAIL A3/C400 WHEN CONCRETE IS ADJACENT TO PROPOSED CURBING OR CONCRETE.
 - EXISTING BUILDING CANOPY AND COLUMNS TO REMAIN. PROTECT DURING CONSTRUCTION.
 - DOWELED BUTT JOINT PER DETAIL A3/C400.
 - DETECTABLE WARNING AREA PER DETAIL A4/C400.
 - HEAVY DUTY BITUMINOUS PAVEMENT. SEE DETAIL B1/C400.
 - THICKENED PAVEMENT EDGE PER DETAIL A2/C400.
 - BITUMINOUS PAVEMENT EDGE WITH UNDERDRAIN PER DETAIL C3/C400.
 - CONCRETE MEDIAN WITH CURB AND GUTTER PER DETAIL D3/C400.
 - PROTECT EXISTING SHADE CLOTH STRUCTURE COLUMNS. ANY DAMAGED COLUMNS SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
 - 3" OF HARDWOOD SHREDDED MULCH.
 - PLANT SHRUBS PER PLANTING DETAIL D4/C400.

LAYOUT LEGEND:

- HEAVY DUTY BITUMINOUS PAVEMENT. SEE DETAIL B1/C400.
- 6" CONCRETE SLAB W/ 6" W2.9W2.9 WWF AND HEAVY BROOM FINISH OVER NEW 4" COMPACTED BASE AGGREGATE COURSE. (TYP.) SEE A1/C400 FOR CONCRETE JOINT DETAILS.

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.

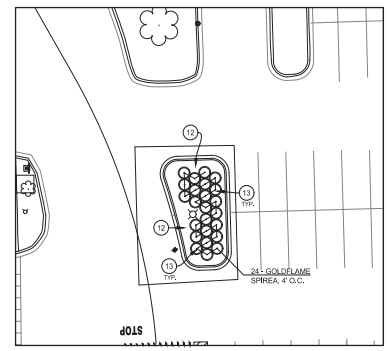
PROPOSED LEGEND:

- ORNAMENTAL FENCE
- BOLLARDS WITH DETECTABLE WARNING AREA
- CONCRETE SCORE JOINTS
- LIGHT - SEE ELECTRICAL PLANS
- ALTERNATE BOUNDARY - SEE ALTERNATE SPECIFICATION SECTION 012300 FOR ADDITIONAL INFORMATION.

- LAYOUT GENERAL NOTES:**
- NO DIMENSION MAY BE SCALED. REFER UNCLER ITEMS TO THE CONSTRUCTION MANAGER FOR INTERPRETATION.
 - REFER TO SHEET C100 FOR PARKING COUNT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND PERFORM REQUIRED COMPACTOR OPERATIONS.
 - PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
 - NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED IN THE RIGHT-OF-WAY.
 - WORK SHALL CONFORM TO THE REQUIREMENTS OF MEET STANDARD SPECIFICATIONS & GOVERNING AGENCIES HAVING JURISDICTION. ORDERS, PAVING AND MATERIALS SHALL COMPLY WITH THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
 - EXTERIOR CONCRETE SLABS ADJACENT TO BUILDING SHALL BE PLACED ON A NEW COMPACTED AGGREGATE BASE COURSE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
 - AGGREGATE BASE FOR CONCRETE ADJACENT TO BUILDING SHALL BE AS SPEC'ED IN DETAIL 312306.
 - AGGREGATE TO EXTEND 12" BEYOND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE DETAIL A2/C400.
 - SEE ARCHITECTURAL PLANS FOR TREATMENT OF CONCRETE CURB AGAINST BUILDING.
 - PROVIDE SHOP DRAWING SUBMITTAL FOR SCORING JOINT & EXPANSION JOINT LAYOUT FOR ALL CONCRETE WALKS, DRIVES & SLABS. INCLUDE LOCATIONS OF EXISTING SCORE JOINTS FOR REFERENCE.
 - SEE ARCHITECTURAL PLANS AND/OR OTHER DOCUMENTS FOR BUILDING ELEVATIONS FOR NEW SIGN LOCATIONS, ELEVATIONS AND MOUNTING SYSTEMS.

PLANTING SCHEDULE

| QTY | COMMON NAME | BOTANICAL NAME | SIZE | ROOT | SPACING |
|-----|------------------|-------------------------------|---------|----------|---------|
| 23 | Goldflame Spirea | Spiraea x bumalda 'Goldflame' | 15"-18" | 3 Gallon | 4' O.C. |



LANDSCAPE ENLARGEMENT
SCALE: 1" = 20'

1111 W. Lake Street, Suite 910, Fort Worth, TX 76102
202.424.9000 | info@elevatus.com

CONSULTANT

1800 Industrial Road, Fort Worth, TX 76105
817.726.7943 | www.siwekconstruction.com

FOR PERMITTING ONLY

Kurt Heidenreich

meijer

STORE #182 MINOR RESET

MEIJER PROJECT #: CP-18-00-182

855 S. Randall road
St. Charles, IL 60174

2018 MINOR RESET

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| NO. | DESCRIPTION | DATE |
| 1 | City Review Comments | 5/13/18 |

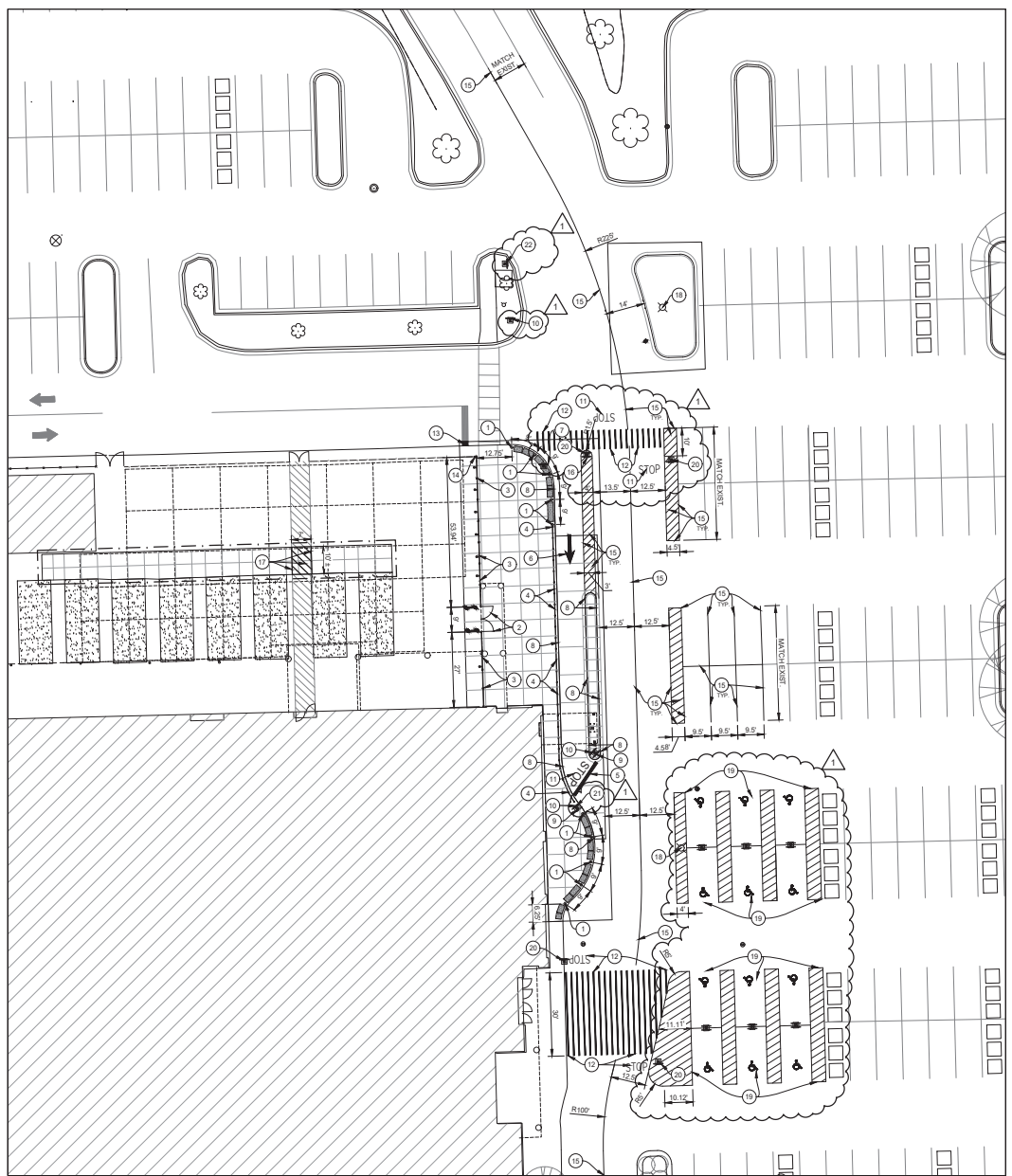
PROJECT NO: 1701812 ISSUE DATE: 03/13/2018

SUBMITTAL: Bl, Permits and Construction Set

Site Layout and Pavement Plan

C200

May 16, 2018 10:07 PM
 C:\Users\jwheeler\OneDrive\Documents\Projects\4100-1182\4100-1182-CP201 Site Striping, Signage, and Site Amenity Plans.dwg



SITE SIGNAGE, STRIPING AND SITE AMENITY PLAN
 SCALE: 1" = 20'

SITE STRIPING, SIGNAGE & SITE AMENITY NOTES:

- ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS HER EXPENSE PER THE CONTRACT DOCUMENTS.
- 1 DECORATIVE BOLLARD. SEE GUARD POST DETAIL A5/C400.
 - 2 GARDEN CENTER GATE (SEE ARCH. PLANS).
 - 3 6'-0" HIGH GARDEN CENTER ORNAMENTAL FENCE (SEE ARCH. PLANS).
 - 4 3'-0" HIGH ORNAMENTAL FENCE (SEE ARCH. PLANS).
 - 5 12" STOP LINE, WHITE.
 - 6 LANE ARROW, SEE DETAIL A6/C400.
 - 7 "PHARMACY DRIVE-UP" SIGN WITH ARROW TO LANE, SIGN "A", SEE DETAIL B2/C400. (ONE SIDE)
 - 8 4" SINGLE SOLID, YELLOW, LINE ALONG EDGE OF DRIVEWAY AND TOP OF CURB.
 - 9 "WRONG WAY" SIGN "C" PER DETAIL B2/C400. (ONE SIDE)
 - 10 "STOP" SIGN "D" PER DETAIL B2/C400. (ONE SIDE)
 - 11 3'-0" TALL X 6'-0" SOLID PAINTED LETTERS, WHITE, SEE PLAN FOR WORKINGS.
 - 12 CROSSWALK PER DETAIL D1/C400.
 - 13 STOP LINE, WHITE, MATCH EXISTING WIDTH.
 - 14 PROVIDE NEW END POST FOR EXISTING CHAIN LINK FENCE AS REQUIRED. SEE ARCHITECTURAL PLANS.
 - 15 4" SINGLE SOLID, YELLOW, LINE.
 - 16 "NO LEFT TURN" SIGN "F" PER DETAIL B2/C400. (ONE SIDE)
 - 17 EMERGENCY EGRESS STRIPING, 4" SINGLE SOLID YELLOW LINES.
 - 18 LIGHT POLE, SEE SITE ELECTRICAL PLAN.
 - 19 HANDICAP PARKING PER DETAIL C2/C400.
 - 20 RELOCATED STOP SIGNS REMOVED DURING DEMOLITION.
 - 21 "NO LEFT TURN" SIGN "F" PER DETAIL B2/C400. (ONE SIDE) - ATTACH SIGN TO STOP SIGN POST.
 - 22 PHARMACY DRIVE-UP WAYFINDING SIGN "E" PER DETAIL C4/C400.

PROPOSED LEGEND:

- SIGN
- ORNAMENTAL FENCE
- BOLLARDS WITH DETECTABLE WARNING AREA
- CONCRETE SCORE JOINTS
- LIGHT - SEE ELECTRICAL PLANS
- ALTERNATE BOUNDARY - SEE ALTERNATE SPECIFICATION SECTION #012300 FOR ADDITIONAL INFORMATION.

PAVEMENT STRIPING NOTES:

1. REFER TO SHEET C400 FOR SIGNAGE/STRIPING DETAILS
2. ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS NOTED OTHERWISE.

BUILDING AND SITE SIGNAGE NOTES:

1. STOP SIGNS AND FIRE LANE SIGNS ALONG FRONT OF THE STORE TO BE ON MOVABLE CONCRETE BASES



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CONTRACTOR'S RESPONSIBILITY
 12 ARCHITECTS, LLC HAS EXERCISED REASONABLE CARE AND DILIGENCE IN THE PREPARATION OF THESE PLANS AND SPECIFICATIONS. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND CONDITIONS OF THE SITE AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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3-12-2018

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STORE #182 MINOR RESET

MEIJER PROJECT #:
 CP-18-00-182

855 S. Randall road
 St. Charles, IL 60174

2018 MINOR RESET

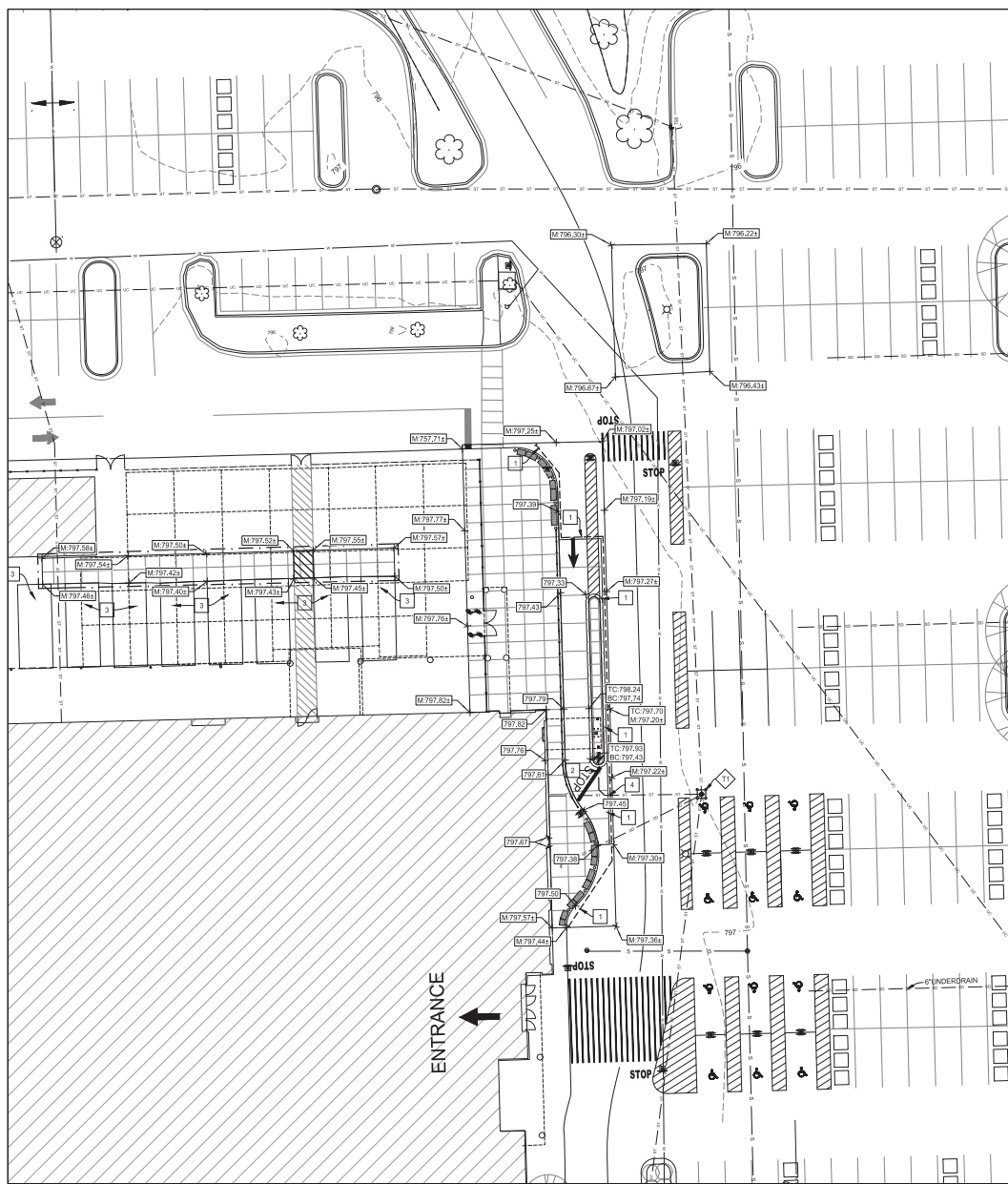
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| NO. | DESCRIPTION | DATE |
| 1 | City Review Comments | 5/11/2018 |
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| PROJECT NO. 1701812 | ISSUE DATE 08/10/2018 |
| SUBMITTAL Bld. Permits and Construction Set | |

Site Signage, Striping and Site Amenity Plan

C201

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SITE GRADING AND UTILITY PLAN
SCALE: 1" = 20'

GRADING LEGEND:

- - - - 801 - - - - EXISTING CONTOUR
- PROPOSED CONTOUR
- MXXXX.XX MATCH EXISTING ELEVATION
- XXXX.XX PROPOSED SPOT ELEVATION
- TCXXXX.XX PROPOSED TOP OF CURB
- BCXXXX.XX PROPOSED BOTTOM OF CURB

NOTE: ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.

GRADING NOTES:

ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS EXPENSE PER THE CONTRACT DOCUMENTS.

- GENERAL NOTE (NOT LABELED ON PLAN), MAINTAIN A MINIMUM SLOPE OF 0.5% AND NO GREATER SLOPE THAN 2% ON PROPOSED CONCRETE SIDEWALK. CONTRACTOR TO ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING STRUCTURE WHILE MAINTAINING MIN. MAX. SLOPES. CONTACT ENGINEER IF CONFLICT EXISTS FOR FURTHER INSTRUCTION.
- GENERAL NOTE (NOT LABELED ON PLAN), SURVEY PROVIDED DURING THE DESIGN PHASE BID NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO FIELD VERIFY AND ADJUST ANY UTILITY CASTINGS WITHIN PROJECT LIMITS TO PROPOSED GRADE.

EROSION CONTROL SEQUENCING

NOTE:
CONTRACTOR SHALL DETERMINE INSTALLATION SCHEDULE TO MINIMIZE EROSION.

PRE-CONSTRUCTION ACTIVITY

- CONTACT THE ILLINOIS ONE-CALL SYSTEM "JULIE" TO LOCATE UNDERGROUND UTILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO EARTH DISTURBING ACTIVITIES. MARK UTILITIES ON THE PROJECT SITE.
- PRESERVE AND PROTECT TREES, SHRUBS, EXISTING VEGETATION, AND EXISTING ITEMS TO REMAIN ON THE SITE.
- ESTABLISH EQUIPMENT AND EMPLOYEE PARKING AND STAGING AREAS.
- PROTECT EXISTING STORM WATER SEWER SYSTEM INLETS WITH INLET PROTECTION DEVICES.

CONSTRUCTION ACTIVITY

- DE-WATER THE CONSTRUCTION SITE WHEN NEEDED.
- BEGIN DEMOLITION OF ITEMS TO BE REMOVED FOR THE PROPOSED CONSTRUCTION.
- INSTALL CONCRETE WASHOUT AREAS TO BE USED DURING CONSTRUCTION OF ROADS, PARKING LOTS, SIDEWALKS, AND BUILDINGS. CONTRACTOR TO USE PREFABRICATED PORTABLE CONCRETE WASHOUT SYSTEMS / CONTAINERS WITH A MINIMUM SUMP CAPACITY OF 2 CU YDS.
- PLACE INLET PROTECTION DEVICES AT ALL INLETS SPECIFIED ON THE SITE GRADING PLAN.
- CONSTRUCT SIDEWALKS AND DRIVEWAY.
- REMOVE TEMPORARY EROSION CONTROL DEVICES AND MEASURES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

GENERAL NOTE:
FRAME: TOP FLANGE FABRICATED FROM 1" x 1 1/2" x 2" CHANNEL, HANDLES AND SUSPENSION BRACKETS FABRICATED FROM 1 1/2" x 1 1/2" PLAT STOCK. ALL STEEL CONFORMING TO ASTM/A500.
SEDIMENT BAG: BAG FABRICATED FROM 4 OZ./SQ. YD. NON-WOVEN POLYPROPYLENE GEOTEXTILE REINFORCED WITH POLYESTER MESH. BAG SECURED TO BASE RW WITH A STAINLESS STEEL BAND AND LOCK.

A1 TYPICAL ROUND CATCH-ALL

UTILITY NOTES:

ALL UTILITIES AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS EXPENSE PER THE CONTRACT DOCUMENTS.

- PERFORATED UNDERDRAIN PER DETAIL C3/C400. TIE INTO STORM SEWER NETWORK.
- ROOF DRAIN COLLECTION SYSTEM - 6" STORM SEWER @1.00% MINIMUM SLOPE AND 30" MINIMUM COVER.
- PROTECT EXISTING SUBDRAIN BELOW GRAVEL BEDS DURING ALL PHASES OF CONSTRUCTION.
- APPROXIMATE LOCATION OF EXISTING STORM COLLECTOR PIPE. FIELD VERIFY EXACT LOCATION AND DEPTH AND MAKE CONNECTION WITH PROPOSED SUBDRAIN AND ROOF DRAIN.

UTILITY LEGEND:

----- SUBDRAIN

NOTE:

ALL UTILITIES SHOWN ARE APPROXIMATE LOCATION FROM FIELD DATA, DESIGN DRAWINGS, AND AVAILABLE INFORMATION. THEY SHOULD NOT BE INTERPRETED AS EXACT LOCATIONS NOR SHOULD THEY BE ASSUMED TO BE THE ONLY UTILITIES IN THE AREA.

EROSION CONTROL LEGEND:

[Symbol] INLET PROTECTION

EROSION CONTROL KEY:

[Symbol] INSTALL INLET PROTECTION IN CATCH BASIN PER DETAIL A1/C300.



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CONSTRUCTION

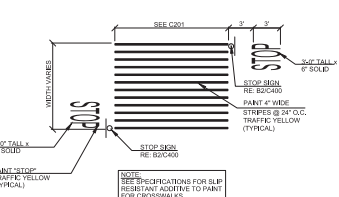
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| 1 | City Review Comments | 5/11/2018 |

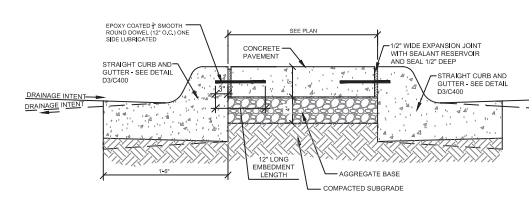
PROJECT NO: 170912 ISSUE DATE: 09/10/2018

SUBMITTAL: Bl. Permits and Construction Set

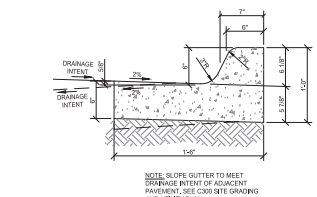
Site Grading and
Utility Plan
C300



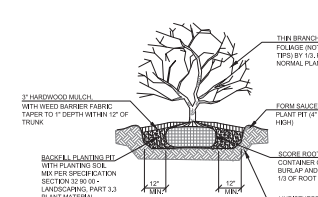
D1 CROSSWALK STRIPING PLAN
NTS



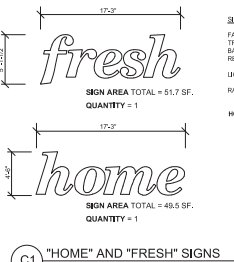
D2 CONCRETE MEDIAN WITH CURB AND GUTTER
NTS



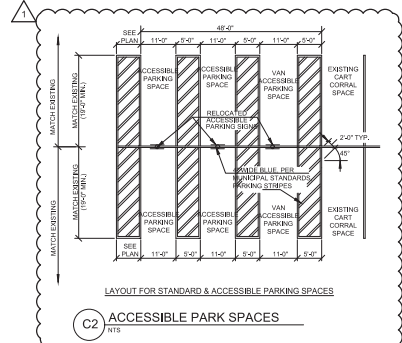
D3 STRAIGHT CURB AND GUTTER
NTS



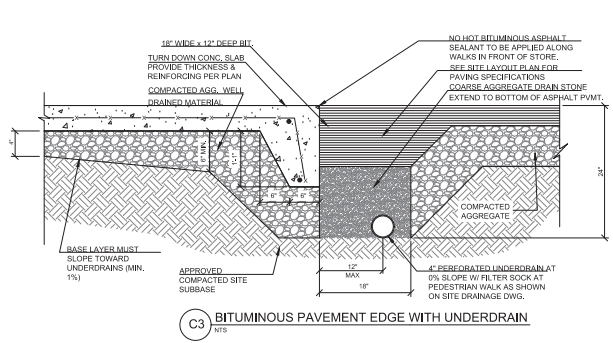
D4 SHRUB PLANTING
NTS



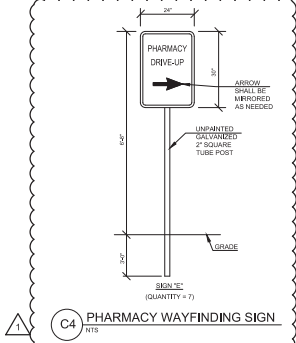
C1 "HOME" AND "FRESH" SIGNS
NTS



C2 ACCESSIBLE PARK SPACES
NTS

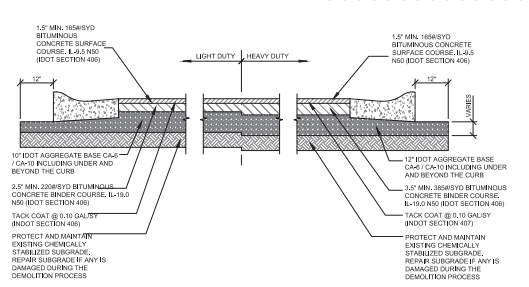


C3 BITUMINOUS PAVEMENT EDGE WITH UNDERDRAIN
NTS

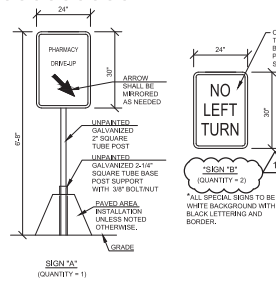


C4 PHARMACY WAYFINDING SIGN
NTS

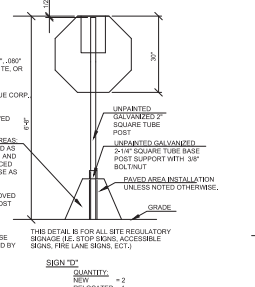
- NOTE:
1. ALL ITEM NUMBERS REFER TO STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 2. THE SURFACE FOR BOTH TYPES CAN BE COMPLETED AT THE SAME TIME. ALL PAVEMENT JOINTS SHOULD BE SQUARE WITHOUT FEATHERING.
 3. SEE SPECIFICATIONS FOR MODIFICATIONS TO STANDARD BITUMINOUS D.O.T. MIXES.
 4. ANY EXISTING PAVEMENT REMOVED SHALL BE SAWCUT FULL DEPTH AND RESTORED TO MATCH THE EXISTING PAVEMENT CROSS SECTION WITH THE CROSS SECTION SHOWN IN THE DETAIL, AS A MINIMUM.
 5. AFTER BITUMINOUS PAVEMENT HAS BEEN REPLACED, SAWCUT OR ROUTE JOINT BETWEEN EXISTING AND NEW PAVEMENT AND FILL HOT FOAMED RUBBER JOINT SEALER PRODUCT, OR FOAMED RUBBER JOINT SEALER SHALL BE ONE OF THE FOLLOWING OR APPROVED EQUAL:
 - 5.1. ROADMAKER 921 CRAFTCO INC. PRODUCT #068 F #8003 KOCH MATERIAL COMPANY
 - 5.2. BEALIGHT H-ASPEC: WUL MEADOWS, INC.
 - 5.3. ELASTOR EX 63 BY MAXWELL PRODUCTS.



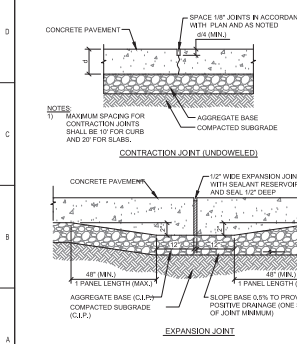
B1 LIGHT DUTY/HEAVY DUTY PAVEMENT SECTION
NTS



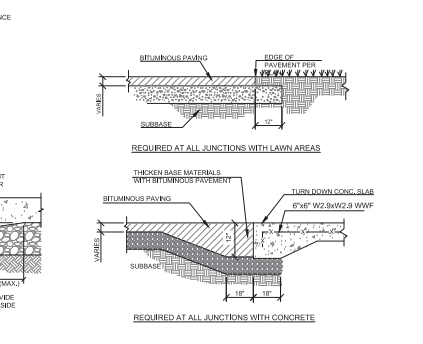
B2 TRAFFIC CONTROL SIGNAGE
NTS



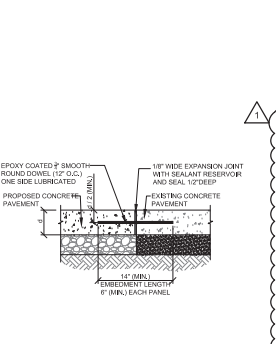
B3 "PHARMACY DRIVE-UP" SIGN
NTS



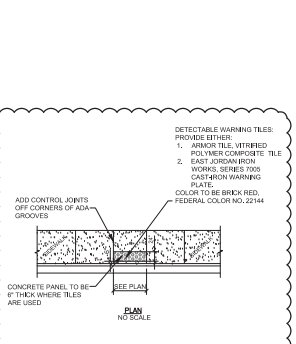
A1 CONCRETE JOINT DETAILS
NTS



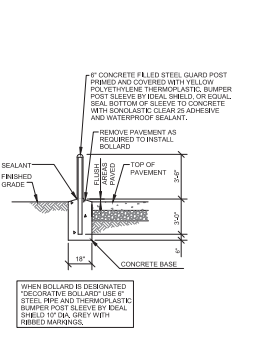
A2 PAVEMENT EDGE DETAILS
NTS



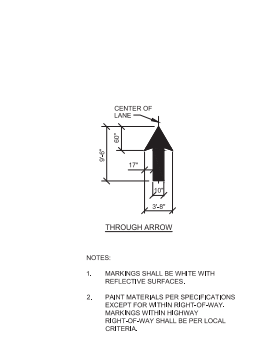
A3 DOWELED BUTT JOINT DETAIL
NTS



A4 DETECTABLE WARNING AREA
NTS



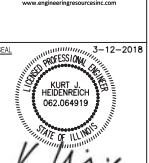
A5 GUARD POST DETAIL
1/2" = 1'-0"



A6 PAVEMENT MARKING
NTS



CONTRACTOR CONTACT: 10 ARCHITECTURE, LLC AN ELEVATUS ARCHITECTURE COMPANY
111 E. North State Street, Suite 100, Chicago, IL 60610
312.464.1000
www.elevatusarch.com



FOR PERMITTING ONLY
Siwek CONSTRUCTION SERVICES
5820 Higgins Road, Suite 100, Skokie, IL 60077
847.978.7943 • Fax: 847.978.7927

meijer
STORE #182 MNOR
RESET


| REVISIONS | | |
|-----------|----------------------|-----------|
| NO. | DESCRIPTION | DATE |
| 1 | City Review Comments | 8/11/2018 |

PROJECT NO: 170912 ISSUE DATE: 09/10/2018
SUBMITTAL: Bl, Permits and Construction Set

Site Details
C400




ELEVATUS
ARCHITECTURE
111 E. Wacker Drive, Suite 500, Fort Wayne, IN 46802
317.424.4500
ElevatusArchitecture.com



PRIMARY
ENGINEERING INC.
Fort Wayne
200 S. Wacker
Fort Wayne, Indiana 46802
317.424.4500
primaryeng.com
indianapolis

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CONSULTANT

SEAL



062-057294
LICENSED
PROFESSIONAL
ENGINEER
Andrew J. Anderson

OWNER'S CONSTRUCTION MANAGER



Siwek
CONSTRUCTION
2020 Progress Road • Ellettsville, IN 47420
812.736.7642 • Fax: 812.736.7787



meijer

STORE #182 MINOR
RESET

MEJER PROJECT #:
CP-18-00182

855 S Randall Rd
St Charles, IL 60174

2018 STORE REFRESH

| REVISIONS | | |
|-----------|-------------|------|
| NO. | DESCRIPTION | DATE |
| | | |

PROJECT NO. 170182
ISSUE DATE 04/02/2018

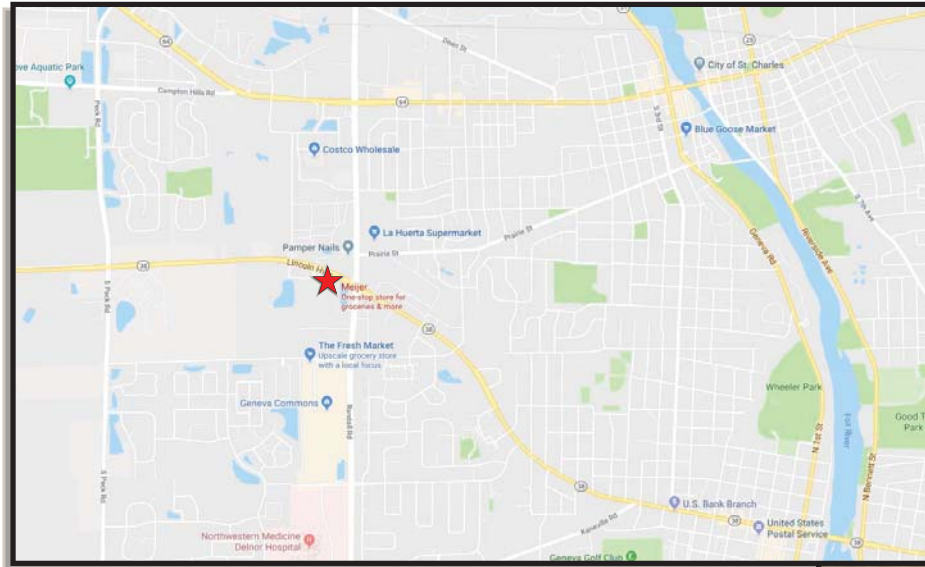
SUBMITTAL
Issue for Bids, Permits, & Construction

Electrical Site Plan

ES102

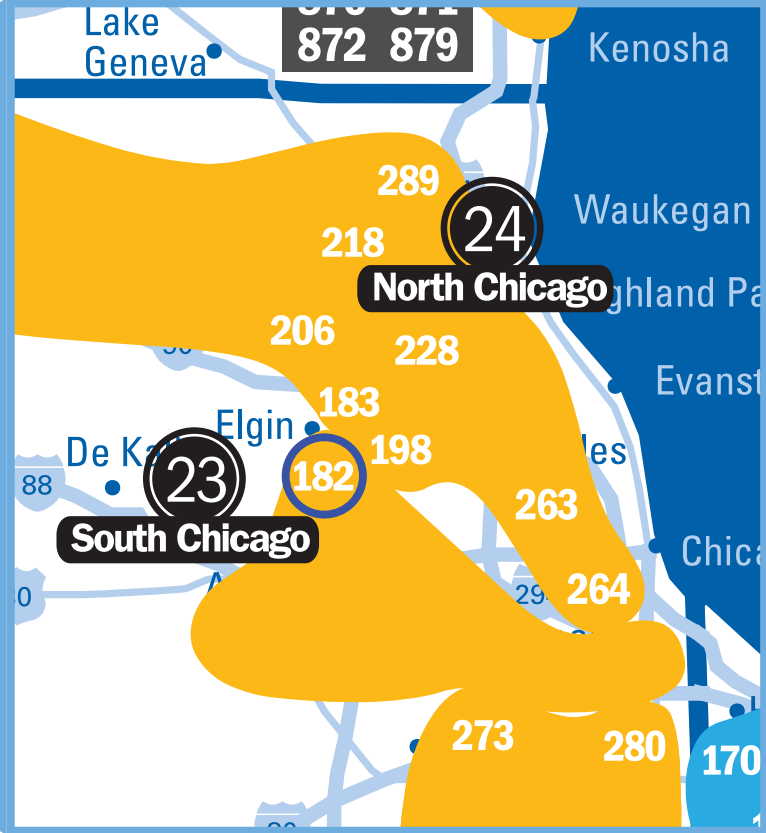
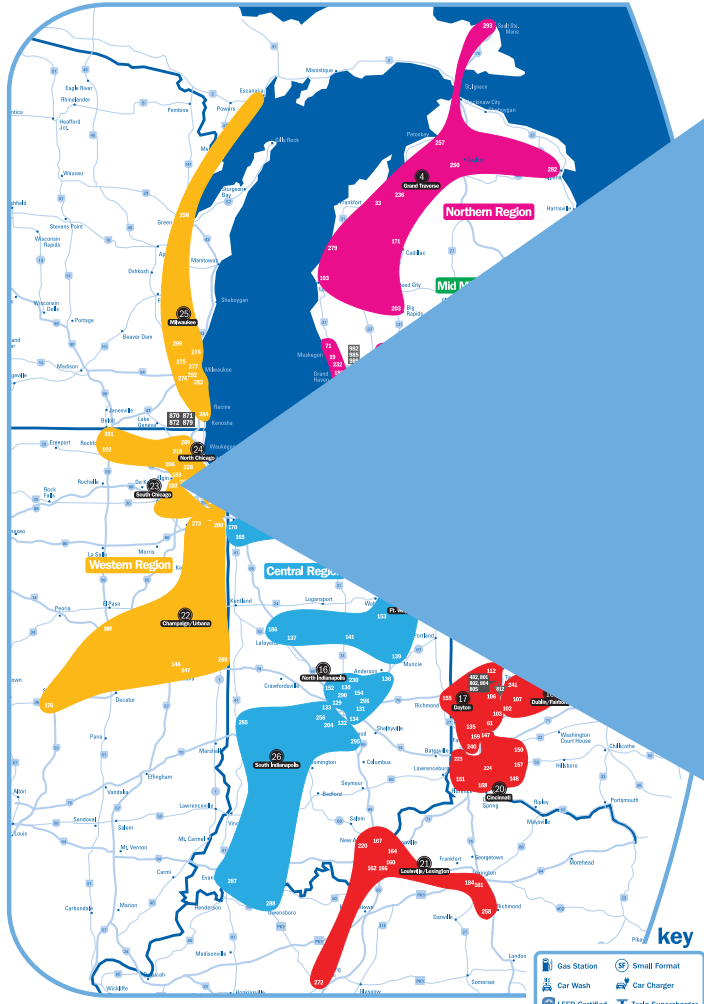
meijer

Meijer #182
855 S. Randall Rd.
St. Charles, IL 60174



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HARMONSIGN DIVISION

meijer 2017 stores



key

- Gas Station
- Small Format
- Car Wash
- Car Charger
- LEED Certified
- Testa Supercharger

For location addresses, visit the [Meijer Portal Site](#) Properties, Real Estate & Procurement > Services > Meijer Unit Addresses

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HARMONSIGN DIVISION
 419.841.6656 / 800.338.9773
 www.allenindustries.com

Directional Reference



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD
PROJECT MGR REBEKAH SZCZERBIAK

DRAWING # MJR.182
SCALE NTS
FILENAME MEIJER-STCHARIL-18-STORES

DRAWN BY KARA FREY
DATE 2-14-18
REVISION # 00

Client Review Status

Approved" drawing to be obtained from client prior to any production release or production release revision.
 Approved Approved as Noted Revise & Resubmit

Name: _____
Title: _____ **Date:** _____

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Signage Location Plan



| EXISTING SIGN | NEW SIGN | PHOTO # | DESCRIPTION | SqFt |
|-------------------------------|----------|---------|-----------------------------|---------------|
| E1 | N1 | 1; 2 | MEIJER LIGHTED LETTERS | 395.67 |
| E2 | N2 | 3; 4 | FRESH LIGHTED LETTERS | 51.7 |
| E3 | N3 | 5; 6 | HOME LIGHTED LETTERS | 49.5 |
| E4 | N/A | 7; 8 | US BANK | N/A |
| E5 | N/A | 3; 4 | STARBUCKS | N/A |
| E6 | N4 | 10; 12 | PHARMACY NONLIGHTED LETTERS | 30.74 |
| E7 | N/A | 11; 12 | GARDEN CENTER | N/A |
| E8 | N5 | 13; 14 | GAS STATION CANOPY | 14.6 |
| E9 | N6 | 15; 17 | GAS STATION CANOPY | 14.6 |
| E10 | N7 | 18; 20 | GAS STATION CANOPY | 14.6 |
| E11 | N/A | 21 | NON LIGHTED WELCOME | N/A |
| E12 | N8/N9 | 24; 25 | MONUMENT FACE REPLACEMENT | 57.56 |
| E13 | N10/N11 | 22; 23 | MONUMENT FACE REPLACEMENT | 57.56 |
| E14 | N12 | 26; 27 | GAS STATION PRICER | 70.625 |
| N/A | N13 | N/A | GAS STATION BANDING | N/A |
| TOTAL NEW SIGNAGE SqFt | | | | 757.16 |

Directional Reference



CUSTOMER MEIJER #182
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD
PROJECT MGR REBEKAH SZCZERBIAK

DRAWING # MJR.182
SCALE NTS
FILENAME MEIJER-STCHARIL-18-SP

DRAWN BY KARA FREY
DATE 2-19-18
REVISION # 2-28-18 3-8-18 4-3-18

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

Name:

Title:

Date:

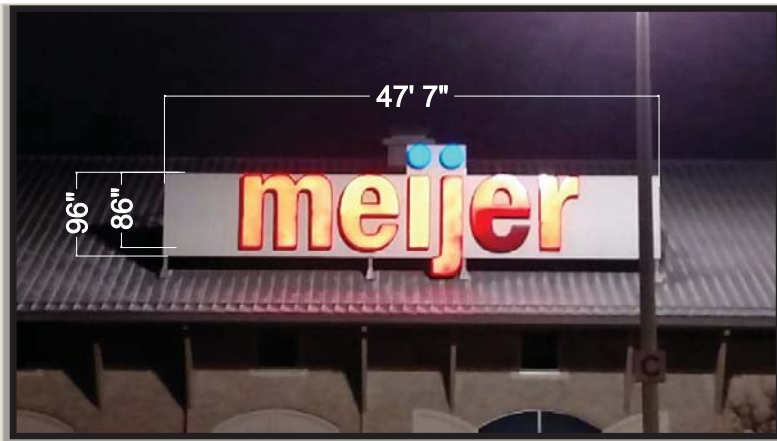
Declaration

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E1 - East Elevation - Lighted Letters
EXISTING



Day Photo



Night Photo

Replaced by: N1 Meijer Lighted Letters

SIGN TYPE LIGHTED LETTERS

PHOTO # 1;2

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

FACE

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

FASCIA COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

FACE

- SINGLE
- DOUBLE

HEIGHT ABOVE GROUND: 25'

CABINET/LETTER HEIGHT: 86" M

OVERALL SIGN LENGTH: 47' 7"

CABINET/LETTER DEPTH: 7-1/4"

RETAINER SIZE: N/A

ACCESS BEHIND WALL?

- YES
- NO

ACCESS ABOVE ROOF?

- YES
- NO

ACCESS OBSTURCTIONS?

N/A

ELECTRICAL OUTLET

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

EXISTING CIRCUITS

- 120 VOLT
 - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

PENETRATION PLACEMENT

- TOP
- MIDDLE
- LOW
- OTHER:

RACEWAY COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

ESTIMATED TRUCK SIZE/EQUIPMENT:

N/A



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-E1
DRAWN BY KARA FREY
DATE 2-14-18
REVISION# 2-21-18 3-9-18

ADDITIONAL COMMENTS:

- Faces stapled to retainers
- Self contained primary back wiring behind sheet metal backer
- F moulding retainers attached to faces
- Rivets inside through flange & into plex
- Second surface vinyl
- Replace with new
- Re use existing backer
- Backer repainted by others

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

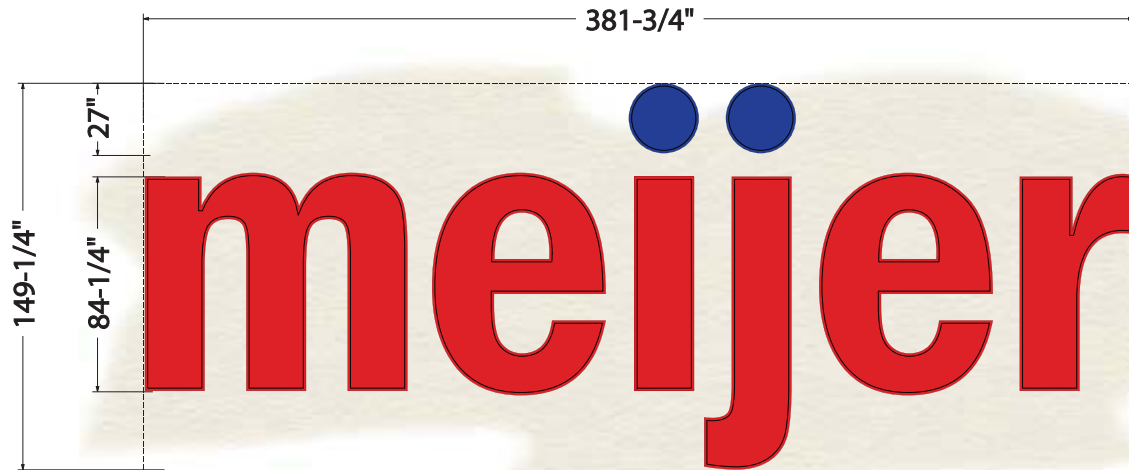
Approved Approved as Noted Revise & Resubmit

Name: _____ Date: _____

Declaration

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N1 - Lighted Letters



ELEVATION



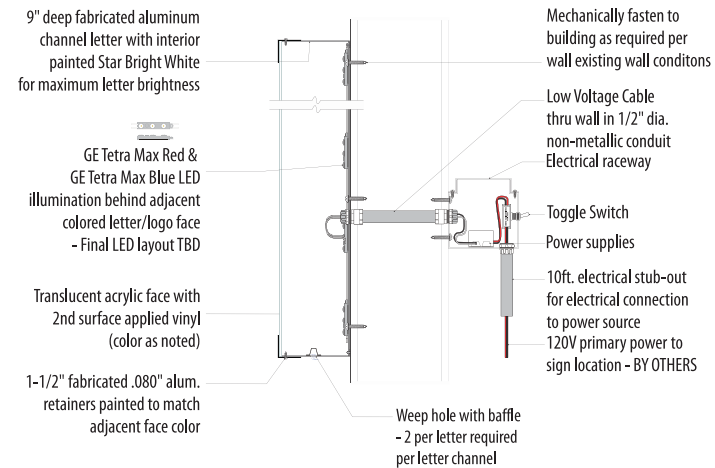
INSTALLED RENDERING NEW SIGN

"MEIJER" COPY:

- FACES:** .177 Clear polycarbonate with 2nd surface applied Translucent Red vinyl overlays
- RETAINERS:** 1-1/2" fabricated .080" alum. retainers painted Red (per spec)
- BACKS:** .100" alum. - interior painted Star Brite White
- RETURNS:** 9" deep fabricated .063" alum. - interior painted Star Brite White, exterior painted Red (per spec)
- LIGHTING:** GE Tetra Max Red LED (qty. & layout as req. by manufacturer)
- DOTS :**
- FACES:** .177 Clear polycarbonate with 2nd surface applied Translucent Red vinyl overlays
- RETAINERS:** 1-1/2" fabricated .080" alum. retainers painted Red (per spec)
- BACKS:** .100" alum. - interior painted Star Brite White
- RETURNS:** 9" deep fabricated .063" alum. - interior painted Star Brite White, exterior painted Red (per spec)
- LIGHTING:** GE Tetra Max Red LED (qty. & layout as req. by manufacturer)

GENERAL SPECS:

- Letters flush mounted to existing backer; mechanical fasteners as required
 - Remote located LED power supplies (in box as required)
 - 120V primary electrical feed with disconnect by others
 - All paint finishes to be high gloss
 - Re use existing backer - (OTHERS TO REPAINT BACKER)
- Allowable Signage: 410 sf
New Signage: 395.67 sf



SECTION DETAIL

Not to Scale



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/4" = 1'-0"
FILENAME MEIJER-STCHARIL-18-LL N1
DRAWN BY KARA FREY
DATE 2-15-18
REVISION # 2-21-18 2-28-18 3-8-18 4-3-18

SIGN TYPE LIGHTED LETTERS

QUANTITY 1

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

COLORS:

- P1 Star Brite White #83990
- P2 Alzo Red to match 3M 3635-33 Red
- P3 Alzo Red to match PMS 286 C Blue
- V1 3M 3635-70 White Diffuser Vinyl
- V2 3M 3635-33 Red (trans) Vinyl
- V3 3M 3635-97 Brilliant Blue (trans) Vinyl

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

FACE

- SINGLE
- DOUBLE

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

SQ. FTG. ALLOWANCE N/A

SITE MEASUREMENTS
N/A

ADDITIONAL NOTES
N/A

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

Name: _____ Date: _____

Title: _____ Date: _____

Declaration

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E2 - East Elevation - Non Lighted Letters
EXISTING



Day Photo



Night Photo

Replaced by: N2 FRESH Lighted Letters

SIGN TYPE NON LIGHTED LETTERS

PHOTO # 3;4

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

FACE

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

FASCIA COLOR: SW 7499U

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

FACE

- SINGLE
- DOUBLE

HEIGHT ABOVE GROUND: 12' 9"

CABINET/LETTER HEIGHT: 18"

OVERALL SIGN LENGTH: 8'

CABINET/LETTER DEPTH: 1"

RETAINER SIZE: N/A

ACCESS BEHIND WALL?

- YES
- NO

ACCESS ABOVE ROOF?

- YES
- NO

ACCESS OBSTURCTIONS?

N/A

ELECTRICAL OUTLET

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

EXISTING CIRCUITS

- 120 VOLT
 - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

PENETRATION PLACEMENT

- TOP
- MIDDLE
- LOW
- OTHER:

RACEWAY COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

ESTIMATED TRUCK SIZE/EQUIPMENT:

N/A



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-E2
DRAWN BY KARA FREY
DATE 2-14-18
REVISION # 2-21-18 2-28-18 3-20-18

ADDITIONAL COMMENTS:

- REMOVED BY OTHERS
- Patch, paint & repair by others

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

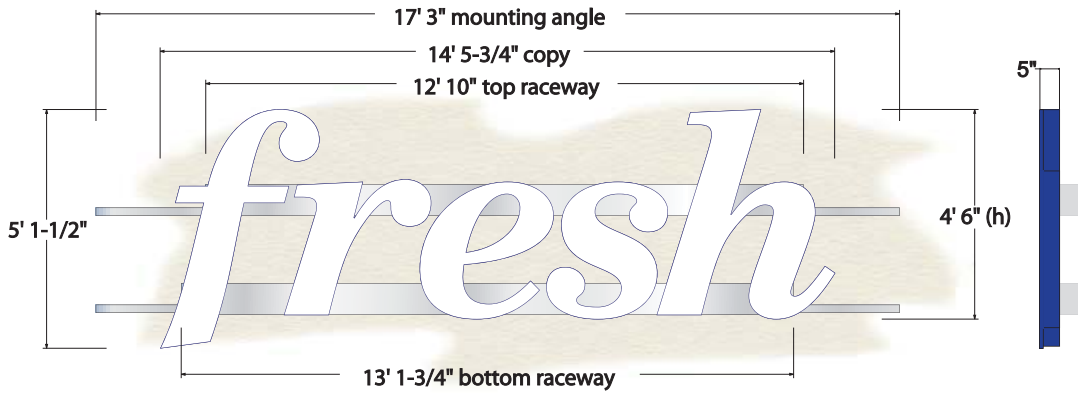
Name: _____

Title: _____ Date: _____

Declaration

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N2 - Lighted Channel Letters



ELEVATION - N2

END VIEW

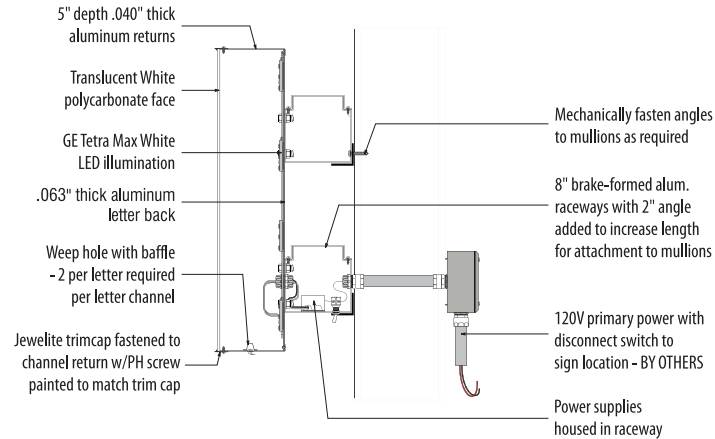


LETTER SPECS:

- FACES:** .177 White polycarbonate
- TRIM CAP:** 1" White Jewelite trim cap, painted as noted
- BACKS:** .063" alum. - prefinished White interior
- RETURNS:** 5" deep .040" alum. - prefinished White interior, exterior painted as noted
- LIGHTING:** GE Tetra Max WHITE LED (qty. & layout as req. by manufacturer)
- RACEWAY:** 8"H brake-formed .063" aluminum, painted as noted

GENERAL SPECS:

- Raceway mounted letters mounted to upper glass of entry tower
- New channel letters to be installed on pre-mounted 2" angle by Allen
- Installation of 2" angle to mullions by others, Allen to provide mounting patterns only
- LED power supplies contained within raceway
- 120V primary electrical feed with disconnect by others
- Existing signage: N/A
- New signage: 51.7 SF



SECTION DETAIL

Not to Scale



INSTALLED RENDERING NEW SIGN

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HARMONSIGN DIVISION

419.841.6656 / 800.338.9773
www.allenindustries.com

CUSTOMER: MEIJER
LOCATION: ST CHARLES, IL
ADDRESS: 855 S RANDALL RD

SALESPERSON: PM REBEKAH SZCZERBIAK
DRAWING #: 00

SCALE: 3/8" = 1'-0"
FILENAME: MEIJER-STCHARIL-18-LL N2
DRAWN BY: KARA FREY
DATE: 2-28-18
REVISION#: 3-8-18 4-3-18

SIGN TYPE: LIGHTED LETTERS

QUANTITY: 1

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

COLORS:

- WHITE
- PANTONE 286 BLUE
- AKZO NOBEL BRUSHED ALUMINUM

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

FACE

- SINGLE
- DOUBLE

LIGHTING

- LIGHTED
 - NON-LIGHTED
- TYPE: INTERNALLY

SQ. FTG. ALLOWANCE: N/A

SITE MEASUREMENTS: N/A

ADDITIONAL NOTES: N/A

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

Name: _____ Date: _____

Declaration

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E3 - East Elevation - Non Lighted Letters
EXISTING



Day Photo



Night Photo

Replaced by: N3 HOME Lighted Letters

SIGN TYPE NON LIGHTED LETTERS

PHOTO # 5;6

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

FACE

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

FASCIA COLOR: SW 7499U

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

FACE

- SINGLE
- DOUBLE

HEIGHT ABOVE GROUND: 12' 9"

CABINET/LETTER HEIGHT: 18"

OVERALL SIGN LENGTH: 8'

CABINET/LETTER DEPTH: 1"

RETAINER SIZE: N/A

ACCESS BEHIND WALL?

- YES
- NO

ACCESS ABOVE ROOF?

- YES
- NO

ACCESS OBSTURCTIONS?

N/A

ELECTRICAL OUTLET

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

EXISTING CIRCUITS

- 120 VOLT
 - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

PENETRATION PLACEMENT

- TOP
- MIDDLE
- LOW
- OTHER:

RACEWAY COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

ESTIMATED TRUCK SIZE/EQUIPMENT:

N/A



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-E2
DRAWN BY KARA FREY
DATE 2-14-18
REVISION# 2-21-18 2-28-18 3-20-18

ADDITIONAL COMMENTS:

- REMOVED BY OTHERS
- Patch, paint & repair by others

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

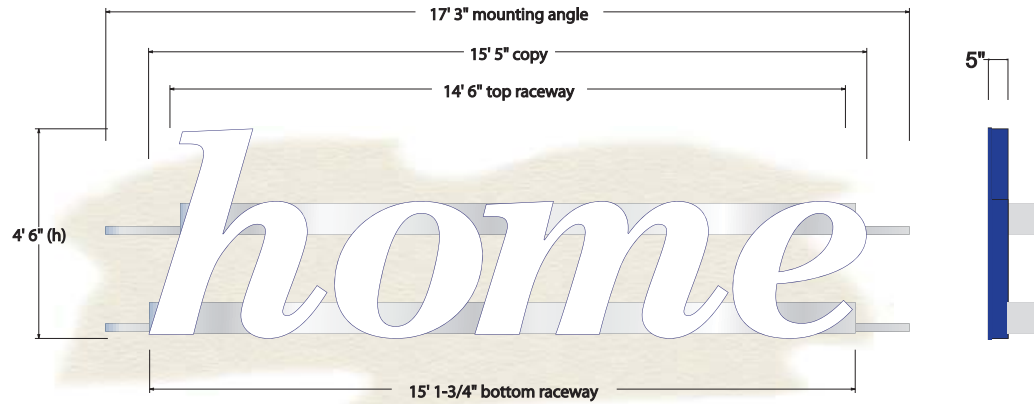
Name: _____ Date: _____

Title: _____ Date: _____

Declaration

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N3 - Lighted Channel Letters



ELEVATION - N3

END VIEW



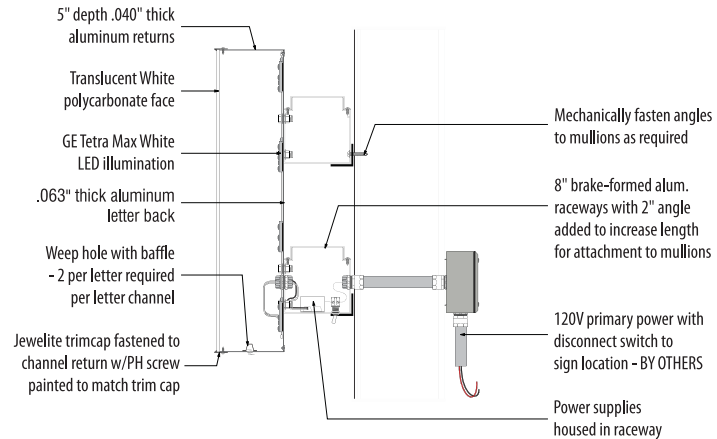
INSTALLED RENDERING NEW SIGN

LETTER SPECS:

- FACES:** .177 White polycarbonate
- TRIM CAP:** 1" White Jewelite trim cap, painted as noted
- BACKS:** .063" alum. - prefinished White interior
- RETURNS:** 5" deep .040" alum. - prefinished White interior, exterior painted as noted
- LIGHTING:** GE Tetra Max White LED (qty. & layout as req. by manufacturer)
- RACEWAY:** 8"H brake-formed .063" aluminum, painted as noted

GENERAL SPECS:

- Raceway mounted letters mounted to upper glass of entry tower
- New channel letters to be installed on pre-mounted 2" angle by Allen
- Installation of 2" angle to mullions by others; Allen to provide mounting pattern only
- LED power supplies contained within raceway
- 120V primary electrical feed with disconnect by others
- Existing signage: N/A
- New signage: 49.5 SF



SECTION DETAIL

Not to Scale

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HARMONSIGN DIVISION

419.841.6656 / 800.338.9773
www.allenindustries.com

CUSTOMER: MEIJER
LOCATION: ST CHARLES, IL
ADDRESS: 855 S RANDALL RD

SALESPERSON: PM REBEKAH SZCZERBIAK
DRAWING #: 00

SCALE: 3/8" = 1'-0"
FILENAME: MEIJER-STCHARIL-18-LL N3
DRAWN BY: KARA FREY
DATE: 2-28-18
REVISION #: 3-8-18 4-3-18

SIGN TYPE: LIGHTED LETTERS

QUANTITY: 1

- GRAPHICS**
- DIGITAL PRINT
 - VINYL
 - PAINTED

- ARTWORK**
- PRODUCTION READY
 - PRESENTATION ONLY
 - NETWORK

- COLORS:**
- WHITE
 - PANTONE 286 BLUE
 - AKZO NOBEL BRUSHED ALUMINUM

- MOUNTING**
- FLUSH
 - RACEWAY
 - FLAG MOUNTED
 - STAND-OFFS
- FACE**
- SINGLE
 - DOUBLE

- LIGHTING**
- LIGHTED
 - NON-LIGHTED
- TYPE: INTERNALLY

SQ. FTG. ALLOWANCE: N/A

SITE MEASUREMENTS: N/A

ADDITIONAL NOTES: n/a

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production revision.

Approved Approved as Noted Revise & Resubmit

Name: _____ Date: _____

Declaration

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E4 - East Elevation - Lighted Cabinet
EXISTING



Day Photo



Night Photo

Replaced by: Existing to Remain

SIGN TYPE LIGHTED CABINET

PHOTO # 7;8

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

FACE

- ALUMINUM ROUNDED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

FASCIA COLOR: SW 7499U

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

FACE

- SINGLE
- DOUBLE

HEIGHT ABOVE GROUND: N/A

CABINET/LETTER HEIGHT: 36"

OVERALL SIGN LENGTH: 9'

CABINET/LETTER DEPTH: N/A

RETAINER SIZE: N/A

ACCESS BEHIND WALL?

- YES
- NO

ACCESS ABOVE ROOF?

- YES
- NO

ACCESS OBSTURCTIONS?

N/A

ELECTRICAL OUTLET

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

EXISTING CIRCUITS

- 120 VOLT
 - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

PENETRATION PLACEMENT

- TOP
- MIDDLE
- LOW
- OTHER:

RACEWAY COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

ESTIMATED TRUCK SIZE/EQUIPMENT:

N/A



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-E4
DRAWN BY KARA FREY
DATE 2-14-18
REVISION# 3-20-18 4-3-18

ADDITIONAL COMMENTS:

- NO ACTION

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

Name: _____ Date: _____

Title: _____ Date: _____

Declaration

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E5 - East Elevation - Lighted Sign
EXISTING



Day Photo

Replaced by: Existing to Remain

SIGN TYPE LIGHTED SIGN

PHOTO # 9

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

FACE

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

FASCIA COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

FACE

- SINGLE
- DOUBLE

HEIGHT ABOVE GROUND: N/A

CABINET/LETTER HEIGHT: 48"

OVERALL SIGN LENGTH: 48"

CABINET/LETTER DEPTH: 6"

RETAINER SIZE: N/A

ACCESS BEHIND WALL?

- YES
- NO

ACCESS ABOVE ROOF?

- YES
- NO

ACCESS OBSTURCTIONS?

N/A

ELECTRICAL OUTLET

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

EXISTING CIRCUITS

- 120 VOLT
 - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

PENETRATION PLACEMENT

- TOP
- MIDDLE
- LOW
- OTHER:

RACEWAY COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

ESTIMATED TRUCK SIZE/EQUIPMENT:

N/A



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-E5
DRAWN BY KARA FREY
DATE 2-14-18
REVISION# 3-20-18 4-3-18

ADDITIONAL COMMENTS:

- NO ACTION

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

Name: _____ Date: _____

Declaration

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**E6 - East Elevation - Non Lighted Letters
EXISTING**



Day Photo



Night Photo

Replaced by: N4 Pharmacy Non Lighted Letters

SIGN TYPE NON LIGHTED LETTERS

PHOTO # 10; 12

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

FACE

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

FASCIA COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

FACE

- SINGLE
- DOUBLE

HEIGHT ABOVE GROUND: N/A

CABINET/LETTER HEIGHT: 18"

OVERALL SIGN LENGTH: 8'

CABINET/LETTER DEPTH: 1"

RETAINER SIZE: N/A

ACCESS BEHIND WALL?

- YES
- NO

ACCESS ABOVE ROOF?

- YES
- NO

ACCESS OBSTURCTIONS?

N/A

ELECTRICAL OUTLET

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

EXISTING CIRCUITS

- 120 VOLT
 - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

PENETRATION PLACEMENT

- TOP
- MIDDLE
- LOW
- OTHER:

RACEWAY COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

ESTIMATED TRUCK SIZE/EQUIPMENT:

N/A



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-E6
DRAWN BY KARA FREY
DATE 2-14-18
REVISION# 3-20-18

ADDITIONAL COMMENTS:

- REMOVED BY OTHERS
- Patch, paint & repair by others

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

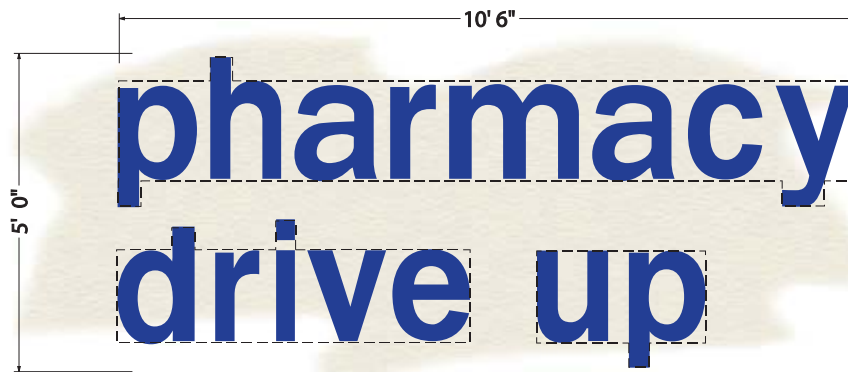
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Title: _____

Declaration

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N4 - Non-Lighted Letters



ELEVATION



END VIEW

SIGNAGE SPECS:

- #10 pound 1" deep sign foam routed flat cut letters
- Faces & returns painted **PMS 286 C Blue**
- Flush mounted with 1/4"-20 aluminum threaded (rod) stud fasteners in silicone filled holes
- Minimum (3) fasteners per letter

GENERAL SPECS:

- Non Lighted Letters flush mounted to building
- Installation by Allen
- Existing signage: N/A
- New signage: **30.74 ft²**



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-NLL N4
DRAWN BY KARA FREY
DATE 2-15-18
REVISION# 2-28-18 4-3-18

SIGN TYPE NON-LIGHTED LETTERS

QUANTITY 1

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

COLORS:

- PANTONE 286 C BLUE

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

FACE

- SINGLE
- DOUBLE

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

SQ. FTG. ALLOWANCE N/A

SITE MEASUREMENTS
N/A

ADDITIONAL NOTES
N/A

Client Review Status

Approved drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

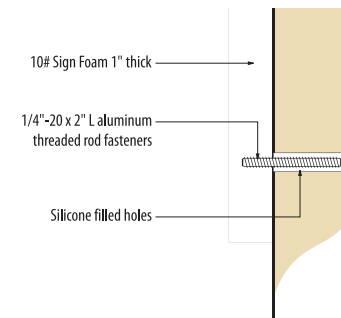
Name: _____ Date: _____

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INSTALLED RENDERING NEW SIGN



SECTION DETAIL (not to scale)

E7 - East Elevation - Non Lighted Letters
EXISTING



Day Photo



Night Photo

Replaced by: Removal by Others

SIGN TYPE NON LIGHTED LETTERS

PHOTO # 11; 12

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

FACE

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

FASCIA COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

FACE

- SINGLE
- DOUBLE

HEIGHT ABOVE GROUND: N/A

CABINET/LETTER HEIGHT: 18"

OVERALL SIGN LENGTH: 12' 10-1/2"

CABINET/LETTER DEPTH: 1"

RETAINER SIZE: N/A

ACCESS BEHIND WALL?

- YES
- NO

ACCESS ABOVE ROOF?

- YES
- NO

ACCESS OBSTURCTIONS?

N/A

ELECTRICAL OUTLET

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

EXISTING CIRCUITS

- 120 VOLT
 - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

PENETRATION PLACEMENT

- TOP
- MIDDLE
- LOW
- OTHER:

RACEWAY COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

ESTIMATED TRUCK SIZE/EQUIPMENT:

N/A



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-E7
DRAWN BY KARA FREY
DATE 2-14-18
REVISION# 3-20-18 4-3-18

ADDITIONAL COMMENTS:

- REMOVED BY OTHERS
- Patch, paint & repair by others

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

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Title: _____ Date: _____

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E8 - East Elevation - Gas Canopy
EXISTING



Day Photo



Night Photo

Replaced by: N5 Gas Canopy Replacement Face

SIGN TYPE LIGHTED SIGN

PHOTO # 13; 14

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

FACE

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

FASCIA COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

FACE

- SINGLE
- DOUBLE

HEIGHT ABOVE GROUND: 18'

CABINET/LETTER HEIGHT: 48"

OVERALL SIGN LENGTH: 9' 9-3/4"

CABINET/LETTER DEPTH: N/A

RETAINER SIZE: N/A

ACCESS BEHIND WALL?

- YES
- NO

ACCESS ABOVE ROOF?

- YES
- NO

ACCESS OBSTURCTIONS?

N/A

ELECTRICAL OUTLET

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

EXISTING CIRCUITS

- 120 VOLT
 - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

PENETRATION PLACEMENT

- TOP
- MIDDLE
- LOW
- OTHER:

RACEWAY COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

ESTIMATED TRUCK SIZE/EQUIPMENT:

N/A



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-E8
DRAWN BY KARA FREY
DATE 2-14-18
REVISION# 3-20-18

ADDITIONAL COMMENTS:

- New cabinet & LED retrofit
- 1" bends on all sides
- (2) F96T12CW-HW lamps (existing)
- 1 Ballast (existing)

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

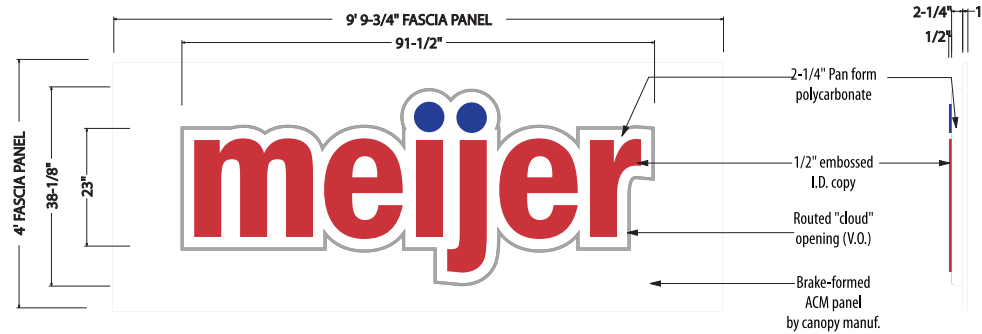
Approved Approved as Noted Revise & Resubmit

Name: _____ Date: _____

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N5 (East) - Replacement Face w/ Embossed Canopy Logo



ELEVATION

END VIEW



INSTALLED RENDERING NEW SIGN

REFURBISH SIGNAGE SPECS:

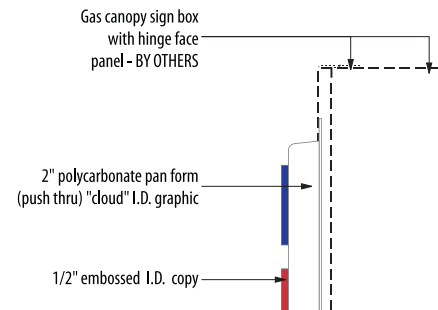
- Replacement face panels for back-lighted gas canopy sign
- Brake-formed ACM panel with routed "cloud" I.D. logo painted PAC CLAD Bone White (*panel by canopy manufacturer*)
- Pan form embossed polycarbonate I.D. logo pushed thru pan
- Copy & dots 1/2" embossed
- 2nd surface color decoration and back sprayed White
- GE Tetra Max White LED lighting kit (replaces fluorescent)
 - Qty. 27 modules - GEMX2471-W1
 - Qty. 1 - GEPS24-100U-NA power supplies 1.1 amps each max input @ 120V

GENERAL SPECS:

- Aluminum face replacement with routed push thru logo
- Removal and Installation by Allen
- Canopy painted white by others
- Existing signage: 14.6 SF
- New signage: 14.6 SF
- All paint high gloss

ELECTRICAL / POWER NOTES:

- GE Tetra Max White LED lighting (replaces fluorescent)
- POWER: (system draws) 1.1 amps total @ 120V**
- Re-use *EXISTING* 120V primary power in *EXISTING* sign



SECTION DETAIL (Not To Scale)



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18- LS N5
DRAWN BY KARA FREY
DATE 2-15-18
REVISION # 00

SIGN TYPE LIGHTED PANFORM SIGN

QUANTITY 1

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

COLORS:

- PANTONE 1797 C
- PANTONE 286 C BLUE
- PAC CLAD BONE WHITE

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

FACE

- SINGLE
- DOUBLE

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

SQ. FTG. ALLOWANCE N/A

SITE MEASUREMENTS
N/A

ADDITIONAL NOTES
N/A

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

Name: _____ Date: _____

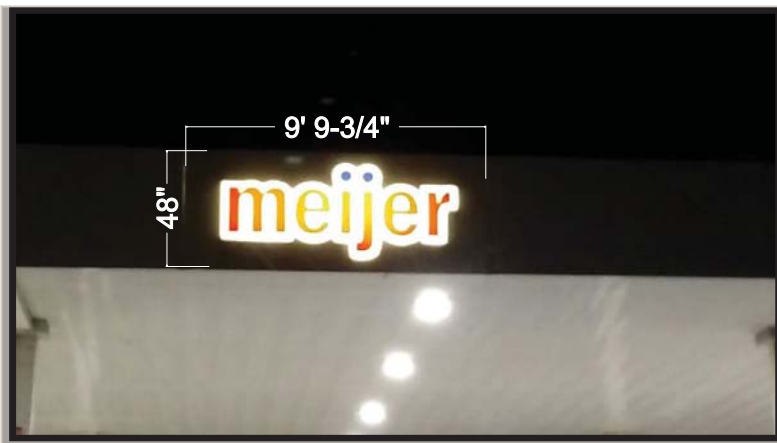
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E9 - North Elevation - Gas Canopy
EXISTING



Day Photo



Night Photo

Replaced by: N6 Gas Canopy Replacement Face

SIGN TYPE LIGHTED SIGN

PHOTO # 15; 17

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

FACE

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

FASCIA COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

FACE

- SINGLE
- DOUBLE

HEIGHT ABOVE GROUND: 18'

CABINET/LETTER HEIGHT: 48"

OVERALL SIGN LENGTH: 9' 9-3/4"

CABINET/LETTER DEPTH: N/A

RETAINER SIZE: N/A

ACCESS BEHIND WALL?

- YES
- NO

ACCESS ABOVE ROOF?

- YES
- NO

ACCESS OBSTURCTIONS?

N/A

ELECTRICAL OUTLET

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

EXISTING CIRCUITS

- 120 VOLT
- 277 VOLT

CIRCUIT BREAKER AMPERAGE:

PENETRATION PLACEMENT

- TOP
- MIDDLE
- LOW
- OTHER:

RACEWAY COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

ESTIMATED TRUCK SIZE/EQUIPMENT:

N/A



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-E9
DRAWN BY KARA FREY
DATE 2-14-18
REVISION# 3-20-18

ADDITIONAL COMMENTS:

- New cabinet & LED retrofit
- 1" bends on all sides
- (2) F96T12CW-HW lamps (existing)
- 1 Ballast (existing)

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

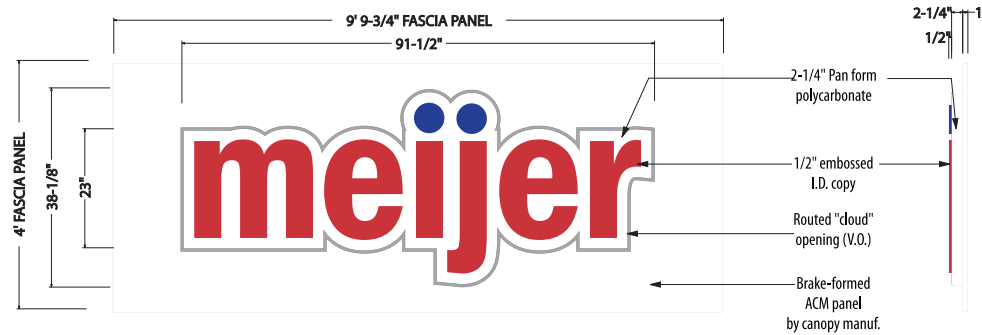
Approved Approved as Noted Revise & Resubmit

Name: _____ Date: _____

Declaration

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N6 (North) - Replacement Face w/ Embossed Canopy Logo



ELEVATION

END VIEW



INSTALLED RENDERING NEW SIGN

REFURBISH SIGNAGE SPECS:

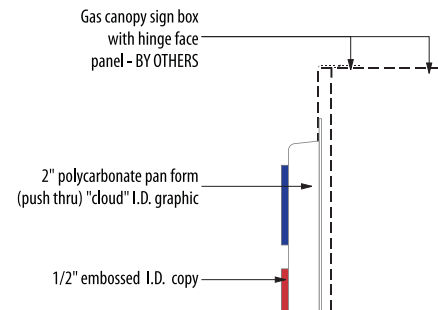
- Replacement face panels for back-lighted gas canopy sign
- Brake-formed ACM panel with routed "cloud" I.D. logo painted PAC CLAD Bone White (*panel by canopy manufacturer*)
- Pan form embossed polycarbonate I.D. logo pushed thru pan
- Copy & dots 1/2" embossed
- 2nd surface color decoration and back sprayed White
- GE Tetra Max White LED lighting kit (replaces fluorescent)
 - Qty. 27 modules - GEMX2471-W1
 - Qty. 1 - GEPS24-100U-NA power supplies 1.1 amps each max input @ 120V

GENERAL SPECS:

- Aluminum face replacement with routed push thru logo
- Removal and Installation by Allen
- Canopy painted white by others
- Existing signage: 14.6 SF
- New signage: 14.6 SF
- All paint high gloss

ELECTRICAL / POWER NOTES:

- GE Tetra Max White LED lighting (replaces fluorescent)
- POWER: (system draws) 1.1 amps total @ 120V**
- Re-use *EXISTING* 120V primary power in *EXISTING* sign



SECTION DETAIL (Not To Scale)

Allen Industries
YOUR BRAND AT ITS BEST™

HARMONSIGN DIVISION

419.841.6656 / 800.338.9773
www.allenindustries.com

CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18- LS N6
DRAWN BY KARA FREY
DATE 2-15-18
REVISION # 00

SIGN TYPE LIGHTED PANFORM SIGN

QUANTITY 1

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

COLORS:

- PANTONE 1797 C
- PANTONE 286 C BLUE
- PAC CLAD BONE WHITE

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

FACE

- SINGLE
- DOUBLE

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

SQ. FTG. ALLOWANCE N/A

SITE MEASUREMENTS
N/A

ADDITIONAL NOTES
N/A

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production revision.

Approved Approved as Noted Revise & Resubmit

Name: _____ Date: _____

Title: _____

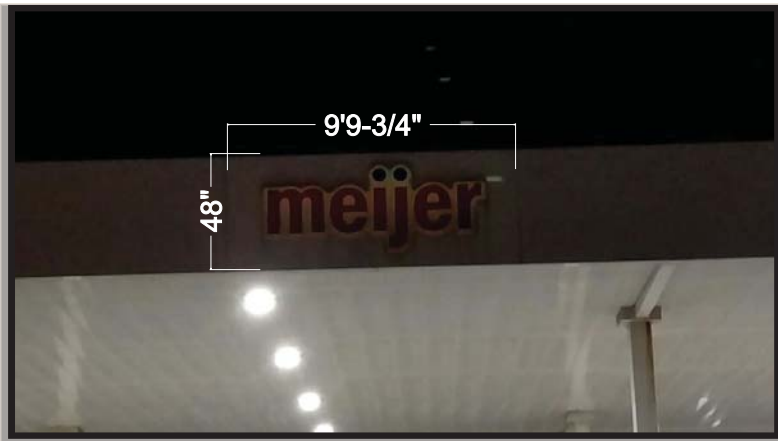
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E10 - South Elevation - Gas Canopy
EXISTING



Day Photo



Night Photo

Replaced by: N7 Gas Canopy Replacement Face

SIGN TYPE LIGHTED SIGN

PHOTO # 18; 20

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

FACE

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

FASCIA COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

FACE

- SINGLE
- DOUBLE

HEIGHT ABOVE GROUND: 18'

CABINET/LETTER HEIGHT: 48"

OVERALL SIGN LENGTH: 9' 9-3/4"

CABINET/LETTER DEPTH: N/A

RETAINER SIZE: N/A

ACCESS BEHIND WALL?

- YES
- NO

ACCESS ABOVE ROOF?

- YES
- NO

ACCESS OBSTURCTIONS?

N/A

ELECTRICAL OUTLET

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

EXISTING CIRCUITS

- 120 VOLT
- 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

PENETRATION PLACEMENT

- TOP
- MIDDLE
- LOW
- OTHER:

RACEWAY COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

ESTIMATED TRUCK SIZE/EQUIPMENT:

N/A



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-E10
DRAWN BY KARA FREY
DATE 2-14-18
REVISION# 3-20-18

ADDITIONAL COMMENTS:

- New cabinet & LED retrofit
- 1" bends on all sides
- (2) F96T12CW-HW lamps (existing)
- 1 Ballast (existing)

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

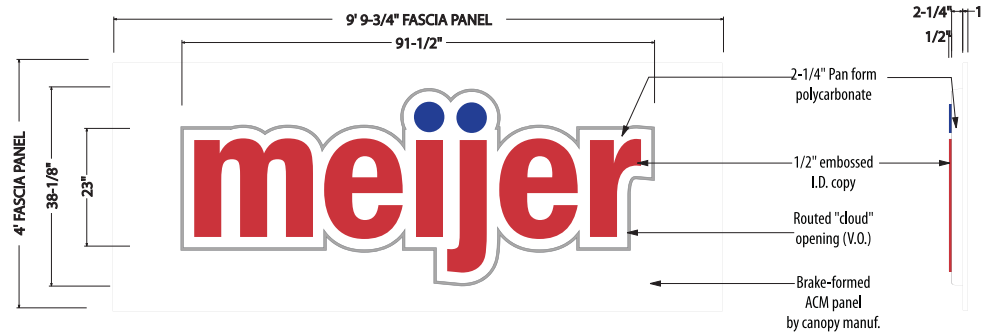
Name: _____ Date: _____

Title: _____ Date: _____

Declaration

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N7 (South) - Replacement Face w/ Embossed Canopy Logo



ELEVATION

END VIEW



INSTALLED RENDERING NEW SIGN

REFURBISH SIGNAGE SPECS:

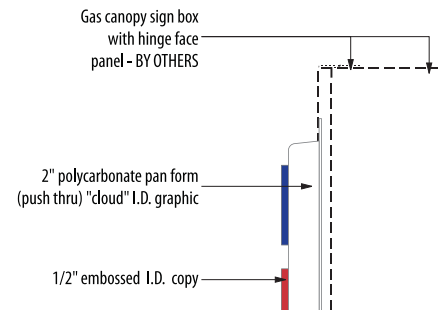
- Replacement face panels for back-lighted gas canopy sign
- Brake-formed ACM panel with routed "cloud" I.D. logo painted PAC CLAD Bone White (*panel by canopy manufacturer*)
- Pan form embossed polycarbonate I.D. logo pushed thru pan
- Copy & dots 1/2" embossed
- 2nd surface color decoration and back sprayed White
- GE Tetra Max White LED lighting kit (replaces fluorescent)
 - Qty. 27 modules - GEMX2471-W1
 - Qty. 1 - GEPS24-100U-NA power supplies 1.1 amps each max input @ 120V

GENERAL SPECS:

- Aluminum face replacement with routed push thru logo
- Removal and Installation by Allen
- Canopy painted white by others
- Existing signage: 14.6 SF
- New signage: 14.6 SF
- All paint high gloss

ELECTRICAL / POWER NOTES:

- GE Tetra Max White LED lighting (replaces fluorescent)
- POWER: (system draws) 1.1 amps total @ 120V**
- Re-use *EXISTING* 120V primary power in *EXISTING* sign



SECTION DETAIL (Not To Scale)

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HARMONSIGN DIVISION
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www.allenindustries.com

CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18- LS N7
DRAWN BY KARA FREY
DATE 2-15-18
REVISION # 00

SIGN TYPE LIGHTED PANFORM SIGN

QUANTITY 1

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

COLORS:

- PANTONE 1797 C
- PANTONE 286 C BLUE
- PAC CLAD BONE WHITE

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

FACE

- SINGLE
- DOUBLE

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

SQ. FTG. ALLOWANCE N/A

SITE MEASUREMENTS
N/A

ADDITIONAL NOTES
N/A

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

Name: _____ Date: _____

Title: _____ Date: _____

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E9 - East Elevation - Nonlighted Letters
EXISTING



Day Photo

Replaced by: Existing to Remain

SIGN TYPE NONLIGHTED LETTERS

PHOTO # 21

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

FACE

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: N/A

FASCIA COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

FACE

- SINGLE
- DOUBLE

HEIGHT ABOVE GROUND: N/A

CABINET/LETTER HEIGHT: N/A

OVERALL SIGN LENGTH: N/A

CABINET/LETTER DEPTH: N/A

RETAINER SIZE: N/A

ACCESS BEHIND WALL?

- YES
- NO

ACCESS ABOVE ROOF?

- YES
- NO

ACCESS OBSTURCTIONS?

N/A

ELECTRICAL OUTLET

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

EXISTING CIRCUITS

- 120 VOLT
- 277 VOLT

CIRCUIT BREAKER AMPERAGE:

PENETRATION PLACEMENT

- TOP
- MIDDLE
- LOW
- OTHER:

RACEWAY COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

ESTIMATED TRUCK SIZE/EQUIPMENT:

N/A



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-E11
DRAWN BY KARA FREY
DATE 2-14-18
REVISION# 3-20-18 4-3-18

ADDITIONAL COMMENTS:

-NO ACTION

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

Name: _____ Date: _____

Title: _____ Date: _____

Declaration

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E12 - North Elevation - Monument
EXISTING



Day Photo



Night Photo

Replaced by: N8/N9 Monument Face Replacement

SIGN TYPE LIGHTED MONUMENT SIGN

PHOTO # 24; 25

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

FACE

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

LIGHTING

- LIGHTED
 - NON-LIGHTED
- TYPE: INTERNALLY

FASCIA COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

FACE

- SINGLE
- DOUBLE

HEIGHT ABOVE GROUND: 36"

CABINET/LETTER HEIGHT: 4' 8"

OVERALL SIGN LENGTH: 12' 4"

CABINET/LETTER DEPTH: 24-1/2"

RETAINER SIZE: N/A

ACCESS BEHIND WALL?

- YES
- NO

ACCESS ABOVE ROOF?

- YES
- NO

ACCESS OBSTURCTIONS?

N/A

ELECTRICAL OUTLET

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

EXISTING CIRCUITS

- 120 VOLT
 - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

PENETRATION PLACEMENT

- TOP
- MIDDLE
- LOW
- OTHER:

RACEWAY COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

ESTIMATED TRUCK SIZE/EQUIPMENT:

N/A



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-E12
DRAWN BY KARA FREY
DATE 2-14-18
REVISION# 3-20-18

ADDITIONAL COMMENTS:

- 14 F48T12CW - HO lamps
- 3 ballasts
- Step down transformer inside sign
- 3M wedge clamp clips
- Replace faces & LED Retrofit

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

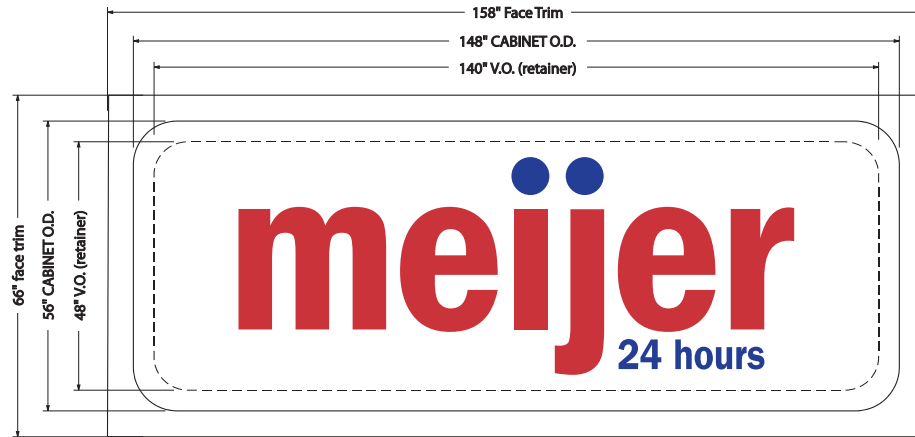
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N8/N9 - Lighted Face Replacement & Cabinet Repaint



ELEVATION



EXISTING SIGN



RENDERING REFRUBISHED SIGN

REFURBISHED SIGNAGE SPECS:

- 3M Flex face replacement w/ vinyl graphics (Meijer)
- GE Line Fit LED Retrofit lighting kit (replaces fluorescent)
 - Qty. 10 - 48" Sign White LED Lamps (5400k)
 - Qty. 3 - GEPS24-100U-NA power supplies
1.1 amps each max input @ 120V
- EXISTING D/F cabinet repainted to match PMS 286 BLUE
- All paint finishes to be high gloss

GENERAL SPECS:

- Flex face replacements
- Removal & installation by Allen Industries
- Existing signage: 56.76 SF
- New signage: 56.76 SF

ELECTRICAL / POWER NOTES:

- GE Line Fit LED Retrofit lighting kit (replaces fluorescent)
 - POWER: (system draws) 3.3 amps total @ 120V**
- Re-use *EXISTING* 120V primary power in *EXISTING* sign



CUSTOMER MEIJER
LOCATION LUDINGTON, MI
ADDRESS 3900 W US HWY 10

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-FR N8N9
DRAWN BY KARA FREY
DATE 2-19-18
REVISION # 00

SIGN TYPE FACE REPLACEMENT

QUANTITY 2

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

COLORS:

- PANTONE 286 C BLUE/3M 3630-97 BRISTOL BLUE
- PANTONE 1797 C RED/3M 3630-33

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

FACE

- SINGLE
- DOUBLE

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

SQ. FTG. ALLOWANCE N/A

SITE MEASUREMENTS
N/A

ADDITIONAL NOTES
N/A

Client Review Status

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Approved Approved as Noted Revise & Resubmit

Name: _____ Date: _____

Declaration

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E13 - South Elevation - Monument
EXISTING



Day Photo



Night Photo

Replaced by: N10/N11 Monument Face Replacement

SIGN TYPE LIGHTED MONUMENT SIGN

PHOTO # 22; 23

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

FACE

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

FASCIA COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

FACE

- SINGLE
- DOUBLE

HEIGHT ABOVE GROUND: 36"

CABINET/LETTER HEIGHT: 4' 8"

OVERALL SIGN LENGTH: 12' 4"

CABINET/LETTER DEPTH: 24-1/2"

RETAINER SIZE: N/A

ACCESS BEHIND WALL?

- YES
- NO

ACCESS ABOVE ROOF?

- YES
- NO

ACCESS OBSTURCTIONS?

N/A

ELECTRICAL OUTLET

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

EXISTING CIRCUITS

- 120 VOLT
 - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

PENETRATION PLACEMENT

- TOP
- MIDDLE
- LOW
- OTHER:

RACEWAY COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

ESTIMATED TRUCK SIZE/EQUIPMENT:

N/A



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-E13
DRAWN BY KARA FREY
DATE 2-14-18
REVISION# 3-20-18

ADDITIONAL COMMENTS:

- 14 F48T12CW - HO lamps
- 3 ballasts
- Step down transformer inside sign
- 3M wedge clamp clips
- Replace faces & LED Retrofit

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

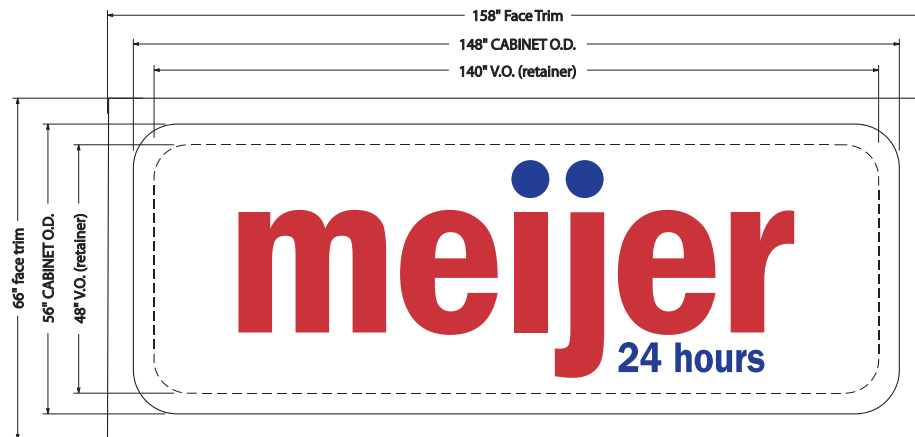
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Name: _____ Date: _____
Title: _____

Declaration

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N10/N11 - Lighted Face Replacement & Cabinet Repaint



ELEVATION



EXISTING SIGN



RENDERING REFRUBISHED SIGN

REFURBISHED SIGNAGE SPECS:

- 3M Flex face replacement w/ vinyl graphics (Meijer)
- GE Line Fit LED Retrofit lighting kit (replaces fluorescent)
 - Qty. 10 - 48" Sign White LED Lamps (5400k)
 - Qty. 3 - GEPS24-100U-NA power supplies
1.1 amps each max input @ 120V
- EXISTING D/F cabinet repainted to match PMS 286 BLUE
- All paint finishes to be high gloss

GENERAL SPECS:

- Flex face replacements
- Removal & installation by Allen Industries
- Existing signage: 56.76 SF
- New signage: 56.76 SF

ELECTRICAL / POWER NOTES:

- GE Line Fit LED Retrofit lighting kit (replaces fluorescent)
 - POWER: (system draws) 3.3 amps total @ 120V**
- Re-use *EXISTING* 120V primary power in *EXISTING* sign



CUSTOMER MEIJER
LOCATION LUDINGTON, MI
ADDRESS 3900 W US HWY 10

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-FR N10N11
DRAWN BY KARA FREY
DATE 2-19-18
REVISION # 00

SIGN TYPE FACE REPLACEMENT

QUANTITY 2

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

COLORS:

- PANTONE 286 C BLUE/3M 3630-97 BRISTOL BLUE
- PANTONE 1797 C RED/3M 3630-33

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

FACE

- SINGLE
- DOUBLE

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

SQ. FTG. ALLOWANCE N/A

SITE MEASUREMENTS
N/A

ADDITIONAL NOTES
N/A

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

Name: _____ Date: _____

Declaration

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E14 - East Elevation - Gas Monument
EXISTING



Day Photo



Night Photo

Replaced by: N12 Monument Retrofit

SIGN TYPE LIGHTED MONUMENT SIGN

PHOTO # 24; 25

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

FACE

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

LIGHTING

- LIGHTED
 - NON-LIGHTED
- TYPE: INTERNALLY

FASCIA COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

FACE

- SINGLE
- DOUBLE

HEIGHT ABOVE GROUND: 35"

CABINET/LETTER HEIGHT: 6' 3"

OVERALL SIGN LENGTH: 11' 3-1/2"

CABINET/LETTER DEPTH: 28"

RETAINER SIZE: N/A

ACCESS BEHIND WALL?

- YES
- NO

ACCESS ABOVE ROOF?

- YES
- NO

ACCESS OBSTURCTIONS?

N/A

ELECTRICAL OUTLET

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

EXISTING CIRCUITS

- 120 VOLT
 - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

PENETRATION PLACEMENT

- TOP
- MIDDLE
- LOW
- OTHER:

RACEWAY COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

ESTIMATED TRUCK SIZE/EQUIPMENT:

N/A



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-E14
DRAWN BY KARA FREY
DATE 2-14-18
REVISION# 3-20-18

ADDITIONAL COMMENTS:

- 12 F48T12CW - HO lamps
- 2 ballasts
- Daktronics digital pricers
- LED Retrofit product panels ONLY

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

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Name: _____ Date: _____

Declaration

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N12 - LED Retrofit & Cabinet Repaint



EXISTING SIGN

PRODUCT PANEL SPECS:

- LED retrofit existing product panels
- Re-use *EXISTING* 120V primary power in *EXISTING* sign
- Re-use *EXISTING* EMC gas pricers

GENERAL SPECS

- Repaint cabinet/dividers PMS 286 blue



RENDERING REFURBISHED SIGN

Allen Industries
YOUR BRAND AT ITS BEST™
HARMONSIGN DIVISION
419.841.6656 / 800.338.9773
www.allenindustries.com

CUSTOMER MEIJER
LOCATION LUDINGTON, MI
ADDRESS 3900 W US HWY 10

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-FR N12
DRAWN BY KARA FREY
DATE 2-19-18
REVISION# 2-21-18 3-8-18

SIGN TYPE REFURBISH

QUANTITY 1

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

COLORS:

- PMS 286C BLUE

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

FACE

- SINGLE
- DOUBLE

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

SQ. FTG. ALLOWANCE N/A

SITE MEASUREMENTS
N/A

ADDITIONAL NOTES
N/A

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

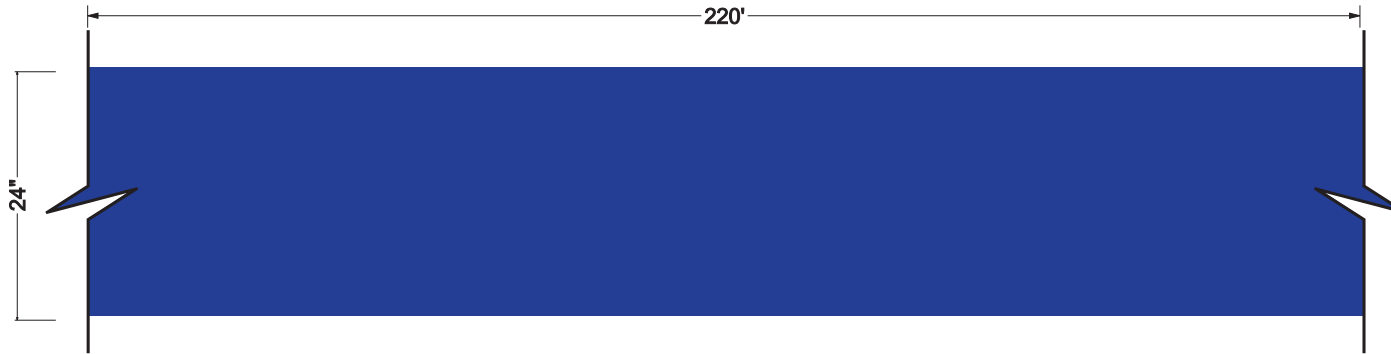
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Name: _____ Date: _____

Declaration

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N13 - Blue Vinyl Band



ELEVATION

SIGNAGE SPECS:

- 24" tall vinyl strip to go on canopy

GENERAL SPECS:

- Centered vertically & horizontally on fascia panel
- Installation by ALLEN



INSTALLED RENDERING NEW SIGN



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD

SALESPERSON PM REBEKAH SZCZERBIAK
DRAWING # 00

SCALE 1/2" = 1'-0"
FILENAME MEIJER-STCHARIL-18-VIN N13
DRAWN BY KARA FREY
DATE 4-3-18
REVISION# 00

SIGN TYPE VINYL

QUANTITY 1

GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

COLORS:

- PANTONE 286 C BLUE
- PAC-CLAD BONE WHITE

MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

FACE

- SINGLE
- DOUBLE

LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

SQ. FTG. ALLOWANCE N/A

SITE MEASUREMENTS
N/A

ADDITIONAL NOTES

N/A

Client Review Status

Approved* drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

Name: _____ Date: _____

Title: _____ Date: _____

Declaration

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Digital Photograph Overview



CUSTOMER MEIJER
LOCATION ST CHARLES, IL
ADDRESS 855 S RANDALL RD
PROJECT MGR REBEKAH SZCZERBIAK

DRAWING # MJR.182
SCALE NTS
FILENAME MEIJER-STCHARIL-18-PHOTOS

DRAWN BY KARA FREY
DATE 2-14-18
REVISION #

Client Review Status

Approved" drawing to be obtained from client prior to any production release or production release revision.

Approved Approved as Noted Revise & Resubmit

Name: _____

Title: _____

Date: _____

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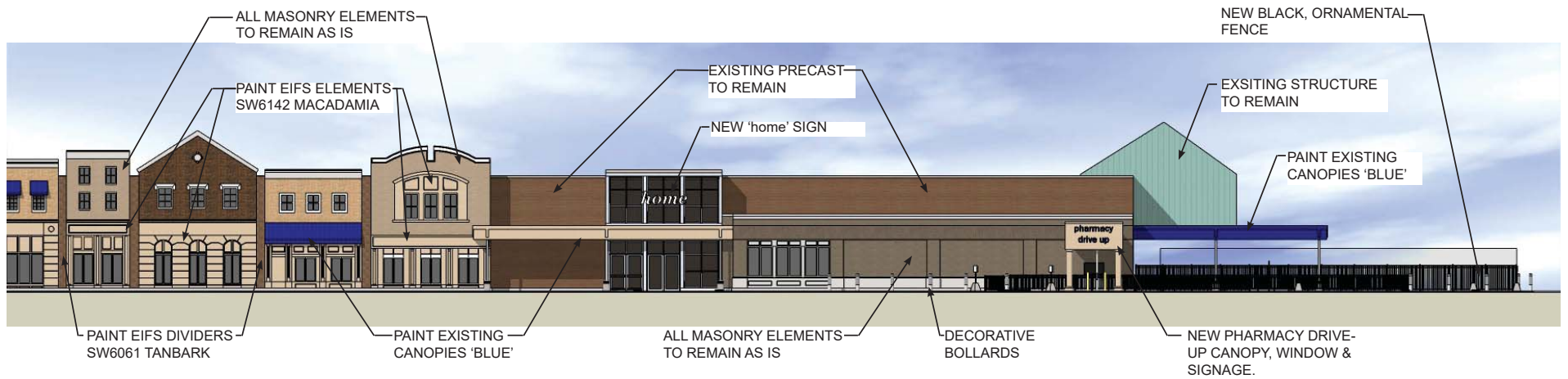
Existing Conditions Images



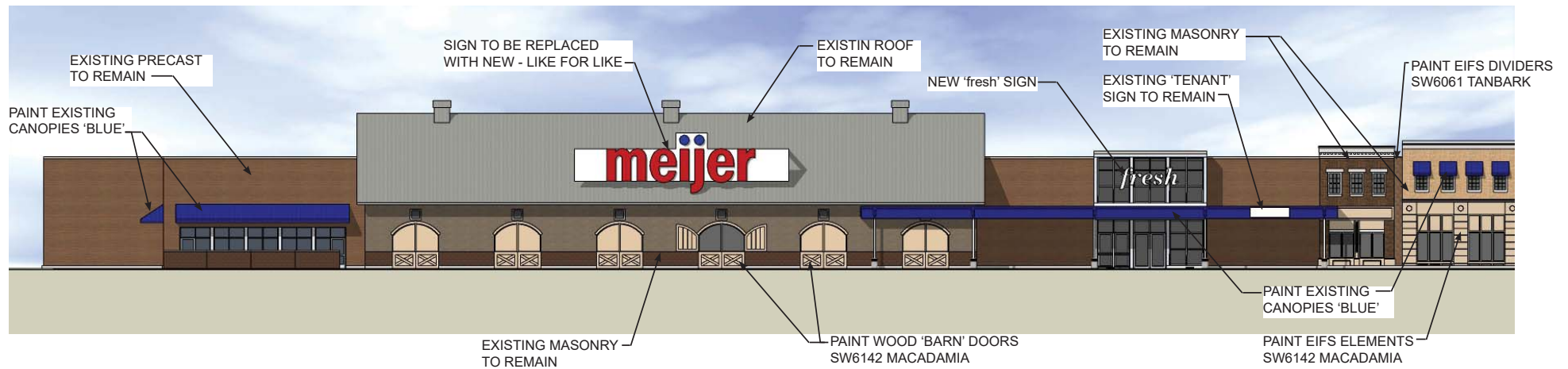
Proposed Elevation



MEIJER 182
 St. Charles, IL
 01.02.18



Proposed Elevation - Store Entrance and Pharmacy Drive-up



Proposed Elevation - Grocery Entrance



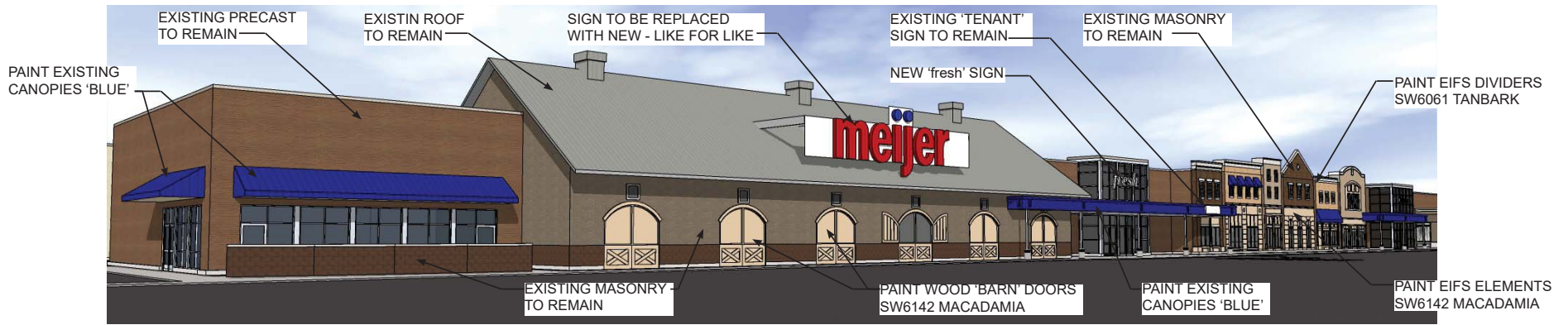
ELEVATUS
ARCHITECTURE

meijer

MEIJER 182

St. Charles, IL

01.02.18



Proposed Perspective - Grocery Entrance



Proposed Perspective - Store Entrance and Pharmacy Drive-up



ELEVATUS
ARCHITECTURE

meijer

MEIJER 182

St. Charles, IL

01.02.18

Paint 'Green' Roof 'Gray'

Add 'Blue' vinyl to canopy



Paint 'Green' Awning 'Blue'

Existing Gas Station

Add 'Blue' vinyl to canopy

Paint 'Green' Roof 'Gray'



Paint 'Green' Awning 'Blue'

Proposed Perspective - Gas Station

Paint 'Tan' EIFS to be 'Tan'

Add 'Blue' vinyl to canopy



Paint 'Green' Awning 'Blue'

Existing Gas Station

Paint 'Tan' EIFS to be 'Tan'

Paint 'Green' Roof 'Gray'



Proposed Perspective - Gas Station



ELEVATUS
ARCHITECTURE



MEIJER 182

St. Charles, IL

01.02.18