	AGENDA ITEM EXECUTIVE SUMMARY					
	Title:	Plan Commission recommendation to approve an Amendment to Special Use for PUD and PUD Preliminary Plan for First Street PUD Building #3.				
	Presenter:	Russell Colby				
<i>Please check appropriate box:</i>						
	Government Operations				Government Services	
X	Planning & Development – 8/8/16				City Council	
	Public Hearing					
Estimated Cost:		N/A		Budgeted:		YES <input type="checkbox"/> NO <input type="checkbox"/>
Budgeted Project Amount/Engineers Estimate:						
If NO, please explain how item will be funded:						
Executive Summary:						
<p>The First Street Redevelopment PUD was approved in 2006 as a five-phase mixed use downtown redevelopment project spanning five blocks along First Street between Prairie St. and Main St. Construction is currently underway on Phase 3 of the project, which is the property by First Street, Illinois Street and the Fox River. The project is subject to a redevelopment agreement between the City, as the property owner, and First Street Development II, LLC, as the developer.</p> <p>A PUD Preliminary Plan for Phase 3 was approved by the City Council in March 2015 (Ordinance #2015-Z-5). This plan included three mixed use buildings and a public parking deck. Construction is now underway on Building #1 and the parking deck.</p> <p>Building #3 is planned for the lot located between the parking deck and the river, adjacent to Illinois Street. In 2015, a plan was approved for a 5 story building for the site, but detailed drawings of the building were not provided at that time.</p> <p>The developer has now brought forward detailed plans for Building #3. The plans include first floor bank and office uses, which per the 2006 First Street PUD ordinance are not permitted on the first floor. The developer is requesting approval of an amendment to the PUD to allow the first floor bank/office use, subject to the Downtown Overlay District office criteria, and approval of a detailed Preliminary Plan for Building #3. The Preliminary Plan includes building uses/square footages and architectural elevations.</p>						
Historic Preservation and Plan Commission review						
<p>On 6/15/16, the Historic Preservation Commission reviewed the applications, including the first floor use change; size, scale and mass of the building; and preliminary architectural drawings, and recommended approval of the proposal (vote of 6-0).</p> <p>On 8/2/16, the Plan Commission held a public hearing and reviewed the applications. The Plan Commission recommended approval of Amendment to Special Use for the first floor bank/office use (vote of 6-0, 1 abstain) and the PUD Preliminary plan (vote of 7-0).</p>						
Attachments: <i>(please list)</i>						
Plan Commission Resolutions, Staff Report, Applications and Plans, Applicable sections of Existing PUD ordinances (full ordinances available upon request)						
Recommendation / Suggested Action <i>(briefly explain):</i>						
Plan Commission recommendation to approve an Amendment to Special Use for PUD and PUD Preliminary Plan for First Street PUD Building #3.						
<i>For office use only:</i>		<i>Agenda Item Number: 3c</i>				

City of St. Charles, Illinois
Plan Commission Resolution No. 12-2016

**A Resolution Recommending Approval of an Application for Amendment to
Special Use for Planned Unit Development for First Street Redevelopment PUD-
Phase 3, Building 3 (First Street Development II, LLC)**

Passed by Plan Commission August 2, 2016

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Amendments to Special Use for Planned Unit Development; and

WHEREAS, the Plan Commission held a public hearing and has reviewed the petition for an Amendment to Special Use for Planned Unit Development for First Street Redevelopment PUD Phase 3, Building 3 (First Street Development II, LLC); and

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Special Use for PUD to be in the public interest based on the following criteria for Planned Unit Developments:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The proposed Amendment meets the original intent of the PUD focusing on harmonious

Resolution 12-2016

mixed use in an attractive building design. The plan is sensitive to the Riverwalk and promotes social interaction and enjoyable use of the open space.

The Amendment requests the change of use on the first floor to allow office use in addition to possible retail use in accordance with the current Downtown Overlay District which did not exist when the original PUD was granted.

- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
 - A. Conforming to the requirements would inhibit creative design that serves community goals, or**
 - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

The building is to be constructed pursuant to the requirements of Ordinance 2006-Z-29 (First Street PUD).

The proposed building 3 exhibits high quality architectural design providing mixed use of residential units, office use, and potential retail use. The Amendment to allow office use on the first floor in accordance with the Downtown Overlay District will benefit the

Resolution 12-2016

overall development by creating a daytime population utilizing existing businesses and create daytime use of the Riverwalk and open space.

iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The Special Use will enhance the overall business environment of the First Street project and therefore benefit the public.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

All infrastructure including utilities, access points and drainage are in place.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The Special Use will not be injurious to the use and adjoining property but rather increase property values by allowing the property to be occupied.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The Special Use will allow for the orderly development of the property with the completion of buildings 2 and 3 thereby completing this phase of the First Street project.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The Special Use will not endanger the public health, safety, or general welfare but rather benefit the public by allowing the vacant structure to be occupied.

Resolution 12-2016

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The Special Use if granted will conform to all state and local requirements.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The proposed Amendment will provide economic wellbeing to the City including increase of the tax base and overall business diversity within the First Street Development.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The proposed amendment conforms to the overall purpose and intent of business diversity within the entire downtown area of St. Charles.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of an Amendment to Special Use for Planned Unit Development for First Street Redevelopment PUD-Phase 3, Building #3 (First Street Development II, LLC) subject to resolution of all staff comments prior to City Council action.

Roll Call Vote:

Ayes: Kessler, Spruth, Holderfield, Schuetz, Macklin-Purdy, Wallace

Nays:

Absent: Frio, Doyle

Abstain: Pretz

Motion carried: 6 - 0

PASSED, this 2nd day of August 2016.

Chairman
St. Charles Plan Commission

City of St. Charles, Illinois
Plan Commission Resolution No. 13-2016

**A Resolution Recommending Approval of an Application for PUD Preliminary
Plan for First Street Redevelopment PUD-Phase 3, Building 3 (First Street
Development II, LLC)**

Passed by Plan Commission August 2, 2016

WHEREAS, it is the responsibility of the St. Charles Plan Commission to review requests Applications for PUD Preliminary Plans; and

WHEREAS, the Plan Commission has reviewed the petition approval of a PUD Preliminary Plan for First Street Redevelopment PUD-Phase 3, Building 3 (First Street Development II, LLC), and;

WHEREAS, the Plan Commission finds said PUD Preliminary Plan to be in conformance with the First Street PUD Ordinance No. 2006-Z-29 and amendments, and all applicable requirements of the Zoning Ordinance.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of a PUD Preliminary Plan for First Street Redevelopment PUD-Phase 3, Building #3 (First Street Development II, LLC) subject to resolution of all staff comments prior to City Council action.

Roll Call Vote:

Ayes: Kessler, Pretz, Spruth, Holderfield, Schuetz, Macklin-Purdy, Wallace

Nays:

Absent: Frio, Doyle

Motion carried: 7 - 0

PASSED, this 2nd day of August 2016.

Chairman
St. Charles Plan Commission

Community & Economic Development
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



STAFF MEMO

TO: Chairman Todd Bancroft
And the Members of the Planning & Development Committee

FROM: Russell Colby
Planning Division Manager

RE: First Street Phase 3, Buildings #3: Amendment to PUD (First floor uses) and PUD Preliminary Plan

DATE: August 5, 2016

APPLICATION INFORMATION:

Project Name: First Street Phase 3 – Buildings # 3

Applicant: First Street Development II, LLC

Purpose: -Change the First Street PUD first floor use restrictions for Building #3 to permit bank/office use on the first floor.
-Review PUD Preliminary Plans for Building #3

General Information:		
Site Information		
Location	Between First St. & the Fox River, north of Illinois St.	
Application:	Special Use for PUD – PUD Amendment PUD Preliminary Plan for Building #3	
Applicable City Code Sections	First St. PUD Ords. 2006-Z-26 & 2008-Z-22 Title 17, Chapter 17.06 Design Review Standards & Guidelines, Chapter 17.14 – Business & Mixed Use Districts	
Existing Conditions		
Land Use	Vacant building lot (being utilized for construction staging)	
Zoning	CBD-1 Central Business District - PUD	
Zoning Summary		
North	CBD-1 Central Business District - PUD	Vacant land (planned bi-level riverwalk and East Plaza)
East	CBD-1 Central Business District	Riverwalk & Fox River
South	CBD-1 Central Business District	Illinois St. & Fox Island Square
West	CBD-1 Central Business District - PUD	Parking deck- under construction
Comprehensive Plan Designation		
Mixed Use		

II. OVERVIEW

A. PROPERTY HISTORY/BACKGROUND

The First Street Redevelopment PUD was approved in 2006 as a five-phase project spanning a 7.6 acre area of properties along First Street between Prairie St. and Main St.

Phases 1 and 2 were constructed from 2007 to 2009 and included: New utility and road infrastructure; Relocation of the Blue Goose store; Building 7A-BMO Harris Bank & 16 affordable rental units; Building 4- The Plaza Parking Deck; and the western portion of the First Street Plaza.

Phase 3 is the riverfront property located between Main & Illinois Streets. The original 2006 plan for the site included:

- Public plaza opposite the existing plaza and a bi-level walkway along the riverfront
- A four-story building at the corner of Main St. and First St.
- Three, five-story buildings wrapped around a parking garage on the remainder of the site.

B. 2015 APPROVED PLAN

In March 2015, the City approved a revised PUD Preliminary Plan for the Phase 3 site that included the following:

- Public plaza and bi-level Riverwalk in the locations per the original 2006 plan
- Three mixed-use buildings and a public parking deck within the previously planned building footprint areas:
 - Building 1: 4 story; first floor retail/restaurant, upper level office.
 - Building 2: 4 story; first floor retail/restaurant, upper level residential (36 units)
 - Building 3: 5 story; first floor retail/restaurant, upper level residential (32 units)
- Preliminary architectural plans were approved for Buildings 1, 2 and the parking deck.

Construction of Building #1 and the parking deck began in Fall 2015.

C. CURRENT PROPOSAL

First Street Development II, LLC has filed the following applications regarding Building #3:

- **Special Use application** to amend to the First Street PUD ordinance first floor use regulations to permit Bank and Office use on the first floor of Building #3 (following the Downtown Overlay office criteria). The Special Use application requires a public hearing.
- **PUD Preliminary Plan** approval for Building #3. The building was approved in 2015 as a 5-story mixed use structure. The 2015 PUD approval requires the building architecture to be submitted for review and approval. The developer is now also proposing to modify the planned uses within the building.

No changes are proposed to the planned public spaces around the Phase 3 site.

III. ANALYSIS

A. COMPREHENSIVE PLAN

Project Planning History

The First Street project was identified in the 2000 Downtown Strategy Plan, which was part of the City's Comprehensive Plan. The Strategy Plan identified the First Street corridor as underutilized and as the most significant opportunity for new development in the downtown. Through a public planning process, the City formulated and adopted the First Street Design Guidelines in 2002 and then utilized this document as a basis to plan the project. The project was ultimately approved as a PUD in 2006.

Land Use

The 2013 Comprehensive Plan Land Use Plan identifies the site as "Mixed Use." In the Downtown Subarea Plan in Chapter 8, the remaining undeveloped First Street building sites are identified as Opportunity Sites. The Phase 3 property is identified as Site J:

"The western portion of the 1st Street development has been constructed and contributed positively to the energy and appearance of Downtown. This site represents the east half of the development which stalled during the economic downturn associated with the housing market collapse. It is recommended that the City continue to promote the approved plan as a viable option for the site, including the residential units that will bring more residents to the Downtown area."

First Floor Uses in the Downtown

In 2006, the City created a zoning "overlay" district within the downtown to "preserve economic vitality and the pedestrian character of the downtown's shopping core." The Downtown Overlay District limits the type of businesses that can locate in the first floor/street level spaces to a set of businesses that are expected to generate pedestrian activity. The Comprehensive Plan provides the following recommendations regarding the Downtown Overlay District:

The Downtown Overlay District is intended to preserve the economic vitality and pedestrian character of Downtown's shopping core by limiting uses on the first floor that "typically generate relatively little pedestrian activity or are otherwise incompatible with a pedestrian oriented shopping area." While this is an admirable objective, defining "typical" can result in missed opportunities. In addition, while all successful and vibrant downtowns have a large component of retail, they are also characterized by a varying mix of uses that generate activity at all periods of the day. Furthermore a detailed market analysis conducted as part of this process found that key retail categories are fairly saturated within the Downtown's trade area. Given the number of vacancies Downtown, along with current market and economic conditions, the City should consider relaxing use restrictions in the District to fill storefronts on a temporary basis until demand for downtown retail space is stronger.

Based upon this plan recommendation, the Downtown Overlay District was amended by the City in 2013 to permit first floor bank/office uses that generate pedestrian activity.

B. HISTORIC PRESERVATION COMMISSION REVIEW

The subject property is located within the Central Historic District, requiring review of the Special Use and PUD Preliminary Plan applications by the Historic Preservation Commission regarding its potential impact on the historic district.

The Historic Preservation Commission reviewed the proposal for Building #3 on 6/15/16. The Commission unanimously voted to recommend to the Plan Commission approval of:

- The PUD Amendment to permit bank/office uses on the first floor of Building #3
- The size, scale and mass of the proposed Building #3
- The preliminary architectural elevations for Building #3.

C. ZONING REVIEW:

The 2006 First Street PUD established zoning parameters for the project. For the Phase 3 site, deviations to the underlying CBD-1 Central Business zoning district were granted to permit building sizes in excess of 40,000 square feet and building height in excess of 50 ft.

The table below lists the development data for: Buildings 1, 2, and 3 plans as approved in 2015; the proposed 2016 Building 3; and the PUD ordinance deviations approved in the original 2006/2008 First Street PUD ordinance.

Development data per building in Phase 3					
	2015 Current Approved Plan			2016 Proposed Building #3	2006/2008 PUD Ordinance Maximums
	Building #1	Building #2	Building #3		
Building Footprint	11,865 sf	11,846 sf	11,966 sf	13,350 sf	20,056 sf.
Building Square footage	47,460 sf	47,384 sf	59,830 sf	58,212 sf	89,196 sf.
Building Floors	4	4	5	4 (bank portion) 5 (office/residential portion)	5+ mezzanine
Building Height	54' (67' to tower)	49'2" to parapet	Unknown	66'4" to main parapet	75 ft.
Ground floor uses	Retail & Restaurant	Retail & Restaurant	Retail & Restaurant	Bank and Office per Downtown Overlay criteria	-
Upper level uses	Office	Residential	Residential	Bank/Office and Residential	-

Changes to the Building Program for Building #3 vs. the 2015 Plan:

- The Building #3 footprint is now larger because the outdoor dining area at north end of the building is part of building footprint. The internal floor area is slightly less primarily due to the building having only a partial 5th story. (Additionally, there are some two-story interior spaces and outdoor terraces within the bank portion of the building that reduce the interior floor area.)
- The building is split between commercial and residential uses on the upper floors, with the entire 4-story southern portion of the building to be occupied by Sterling Bank.
- Bank and Office use are proposed on the first floor. An amendment to the First Street PUD ordinance is required to modify the first floor use restrictions for this building.
- Residential unit count has been reduced from 32 units down to a range of 12 to 20 units.

The table below compares the combined development data for Buildings 1, 2, and 3 for: the original 2006/2008 PUD plan; the approved 2015 plan; and the 2016 plan with the proposed modifications to Building #3.

Combined development data for Phase 3- Buildings 1, 2 & 3				
		2006/2008 Plan	2015 Current Approved Plan	2016 Proposed Plan
Total Building Square footage	Restaurant/ Retail/Service	40,374	35,729	23,763
	Bank/Office	32,592	35,595	60,375
	Residential	139,509	83,402 sf	69,432
	Total	212,475 sf	154,726 sf	153,570 sf
Residential Units	Studio	-	12	12
	1 BR	10	20	12
	2 BR	28	28	12
	3 BR	6	8	-
	4 BR	1	-	-
	TBD	16	-	12 to 20 in Building 3
	Total	61	68	Range of 48 to 56
Parking Provided		170 Private 99 Public	79 Private 110 Public	83 Private 110 Public
Parking ratio with Phase 3 vs. CBD-1 ordinance requirement*		81%	59%	58 to 60%

**For locations within the CBD-1 zoning district that are within Downtown Special Service Areas 1A (parking) and 1B (revitalization), there is no on-site parking requirement. These calculations are provided for comparison purposes.*

D. FIRST FLOOR USE RESTRICTIONS

Although the Phase 3 site is located within the Downtown Overlay District, more limited restrictions on first floor uses were included in the 2006 First Street PUD Ordinance. The PUD restrictions control the ground floor uses within the entire First Street project.

In addition to restricting the individual business types that can occupy first floor spaces, the PUD also imposes a limitation on certain uses as a percentage of all first floor space in the PUD, which would include all phases of the project.

The first floor use restrictions were written based upon the original 2006 PUD plan for First Street and were not revised when the 2015 plan was approved.

Existing first Floor permitted use list (per Ord. 2006-Z-26):

Only the following uses are permitted on the first floor of enclosed buildings within the First Street Project:

1. *Art Gallery/Studio*
2. *Coffee or Tea Room*
3. *Cultural Facility**
4. *Indoor Recreation and Amusement**
5. *Live Entertainment*
6. *Personal Services**
7. *Restaurant*
8. *Retail Sales*
9. *Tavern/Bar*
10. *Theater**
11. *Utility, Local**
12. *Accessory uses to the preceding uses 1 through 11.*

**Not more than 25% of the total gross leasable floor area on the first floor of all enclosed buildings within the Project, exclusive of ground floor parking areas, the Blue Goose and Building 7A, may be occupied by these uses.*

Building #3 First Floor Use Proposal

Building #3 is currently subject to the first floor use restrictions. The proposal is to allow for bank and office uses on the first floor of Building #3, subject to the Office Certification Criteria for the Downtown Overlay District (Section 17.14.020.B.2 of the Zoning Ordinance).

The First Street PUD ordinance would be amended by adding the following exception for Building #3:

In addition, the following uses, as defined in the City's Zoning Ordinance, shall be permitted on the first floor of the following buildings, as shown in the PUD Preliminary Plan:

Building 3: Bank and Financial Institution, Office- Business or Professional, and Medical/ Dental Clinic meeting the following criteria:

- a. *The business will be open to the general public during normal business hours and may require that customers make an appointment for service.*
- b. *The primary function of the business establishment will be to provide direct services to customers that are physically present.*

- c. The interior space of the business will be configured such that a) the street-level storefront entrance will serve as the public entrance and b) a reception area or waiting area for visitors will be provided directly accessible from the public entrance.
- d. Street-facing storefront windows and doors will not be obstructed at any time and shall be utilized to provide a view of the interior office visible to pedestrians on the street. Illuminated exterior signs and the interior of the storefront shall be illuminated during evening hours.

E. SITE LAYOUT AND ENGINEERING REVIEW

The applicant has submitted engineering plans reflecting the new building footprint for Building #3. The site engineering is consistent with the plan approved for the entire Phase 3 property in 2015.

- The bi-level public riverwalk will be located adjacent to Building #3. The width of the riverwalk is unchanged.
- The street-level pedestrian entrances to building will be from Illinois Street for the bank, and from the riverwalk for the other ground floor office uses and upper floor residential uses.
- Parking within the basement level of the building will be accessed through the lower level of the adjacent public parking deck, which is currently under construction. The lower level of the parking deck will be accessed from Illinois Street.
- Pedestrians walking from Building #3 to the parking deck can use the Illinois Street sidewalk (to the first floor) or the parking deck ramp and stairs (to both the lower and upper level of the deck) located along the riverwalk, north of Building #3.
- An open pedestrian corridor through the north end of the building will provide City maintenance access to a storm sewer line.
- The service corridor between Building #3 and the parking deck will be privately owned and will not be open for public pedestrian use. Easements will be provided over the corridor for the City to access the area for maintenance of utilities and the parking deck structure.
- A location for a refuse enclosure serving Building #3 has been planned on the adjacent parking deck lot, near Illinois St.
- Access to Building #3 for emergency services is limited due to the placement of the parking deck. The Fire Department will be able to access the building from Illinois St. and the second level of the parking deck.

Future plan reviews:

- Plans for the Illinois Street streetscaping and riverwalk adjacent to Building #3 will need to be drawn based on the final design of the building. The design will account for the location of building storefronts, doors and balconies in determining the placement of planter beds and landscaping. The design will be similar to the streetscaping plan approved for Illinois and First Streets adjacent to Buildings #1 and #2.
- A revised Plat of Subdivision will be required to modify the building lot lines based on the proposed footprint of Building #3. The lot lines for the parking deck lot will also be adjusted to follow the actual footprint of the parking deck, which is currently under constructed.

F. BUILDING ARCHITECTURE

The proposal is in compliance with the applicable Design Standards in the Zoning Ordinance and the First Street Design Guidelines. Elements include:

- Scale and proportion that is complementary to surrounding buildings
- Façade broken into sections to reduce the visual scale of the building.
- 360 degree building architecture, meaning that architectural design elements are consistent on all sides of the buildings.
- Use of traditional architectural materials, including brick as the primary wall material, cornices, stone lintels, and parapets.
- High level of first floor window transparency. Storefront windows wrap the public facades of the building, with the exception of the bank portion of the building facing the riverwalk.
- The ground floor scaled to the pedestrian.
- Attention to architectural details (sills, lintels, cornices, awnings, parapets, etc.)
- Balconies for the residential units overlooking the river.

G. INCLUSIONARY HOUSING

The First Street PUD was approved in 2006, prior to the City adopting an Inclusionary Housing Ordinance in 2008. As a part of the 2006 PUD and Redevelopment Agreement, 16 affordable rental units were provided in Building 7A (the BMO Harris Bank building). These units were constructed in Phases 1 and 2 of the project.

In March 2016, the City's Inclusionary Housing Ordinance was amended and reactivated as Title 19 of the City Code. The code exempts PUD developments that pre-date February 16, 2016. Therefore, there is no requirement to provide any additional affordable units (or the equivalent fee-in-lieu thereof) over and above what was required at the time of the 2006 PUD approval.

H. SCHOOL AND PARK FEE-IN-LIEU CONTRIBUTIONS

School and Park Land Cash Fees will be due at the time of building permit. Land-Cash worksheets have been completed and submitted, but will be subject to change based on final unit and bedroom counts prior to the time of building permit.

IV. PLAN COMMISSION REVIEW

On 8/2/16, the Plan Commission held a public hearing and reviewed the applications. The Plan Commission recommended approval of Amendment to Special Use for the first floor bank/office use (vote of 6-0, 1 abstain) and the PUD Preliminary plan (vote of 7-0).

Staff has found the application materials to be complete. Upon resolution of outstanding staff comments, the proposal has the ability to meet City Code requirements.

V. ATTACHMENTS

Staff Materials

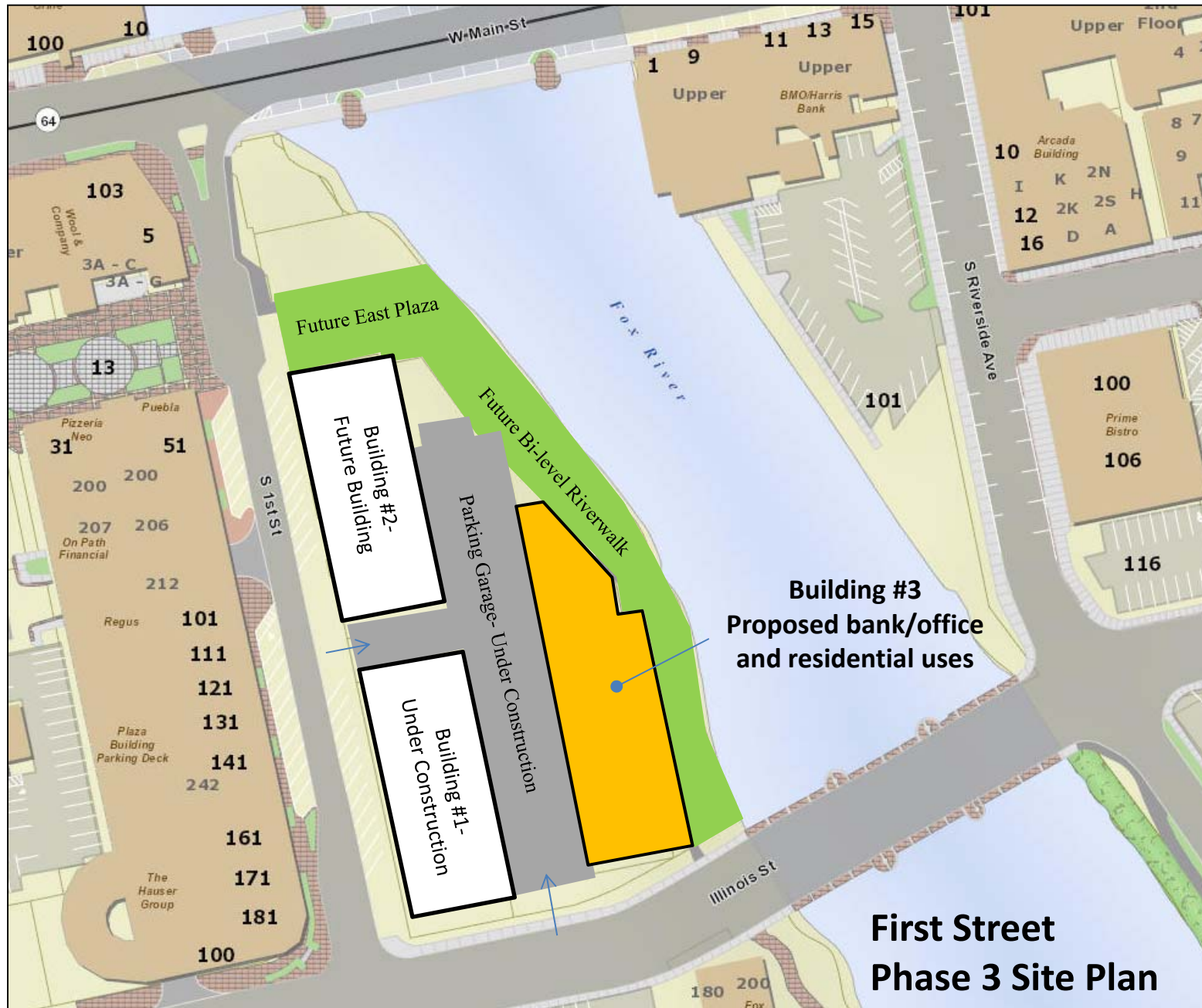
- Aerial Site Plan of Phase 3 Site
- Location/Site Plan

Application Materials

- Special Use Application
- PUD Preliminary Plan application
- Site/Engineering Plans
- Architectural Plans

PUD Ordinances

- PUD Ordinances: No.2006-Z-29 (First Street Redevelopment PUD)- without plans;
Ordinance No. 2008-Z-22 (Amendments for Phase 3)- without plans
- 2015 PUD Preliminary Plan Approval Ordinance No. 2015-Z-5



**First Street
Phase 3 Site Plan**

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use	
Project Name:	First Street Phase III
Project Number:	2013 -PR- 018
Application Number:	2016 -AP- 014



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location:	Vacant building lot located north Illinois Street, east of First Street, west of the Fox River	
	Parcel Number (s):	Lot 3: 09-34-127-012 Small areas where buildings overlap -008 and -010 parcels (Lots 4 & 5)	
	Proposed Name:	First Street Redevelopment PUD, Phase 3, Lots 2 & 3	
2. Applicant Information:	Name	First Street Development II, LLC	Phone 630-774-9101
	Address	409 Illinois Ave. #1C St. Charles, IL 60174	Fax
			Email
3. Record Owner Information:	Name	City of St. Charles	Phone 630-377-4400
	Address	2 E. Main St. St. Charles, IL 60174	Fax
			Email

Please check the type of application:

- ☒ **Special Use for Planned Unit Development - PUD Name:** First Street Redevelopment PUD
- ☐ New PUD
- ☒ Amendment to existing PUD- Ordinance #: 2006-Z-29 and amendments(2008-Z-22, 2013-Z-17)
- ☒ PUD Preliminary Plan filed concurrently
- ☐ **Other Special Use (from list in the Zoning Ordinance):** _____
- ☐ Newly established Special Use
- ☐ Amendment to an existing Special Use Ordinance #: _____

Information Regarding Special Use:

Comprehensive Plan designation of the property: Mixed Use

Is the property a designated Landmark or in a Historic District? Yes

What is the property's current zoning? CBD-1 PUD - First Street Redevelopment PUD

What is the property currently used for? Vacant lots prepared for development

If the proposed Special Use is approved, what improvements or construction are planned?

Building #3 (mixed use- bank, office and residential) in the First Street Redevelopment PUD

For Special Use Amendments only:

Why is the proposed change necessary?

Revision to First Street Redevelopment PUD First Floor use restrictions for the proposed building.

What are the proposed amendments? (Attach proposed language if necessary)

Building 3: Office uses per the Downtown Overlay District Office Certification criteria permitted on first floor. See attached language.

Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

Attachment Checklist:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

*** ☐ APPLICATION FEE:**

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

*** ☐ REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

*** ☐ REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

*** ☐ PROOF OF OWNERSHIP and DISCLOSURE:** Ownership Disclosure for Applicant LLC

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

☐ **LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper On file

☐ **PLAT OF SURVEY:** On file

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

*** ☐ FINDINGS OF FACT:**

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

☐ **LIST OF PROPERTY OWNERS WITHIN 250 FT.:** To be prepared by the City

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

❑ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:** N/A

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

❑ **ENDANGERED SPECIES REPORT:** N/A

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

❑ **TRAFFIC STUDY:** If requested by the Director of Community Development. N/A

Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.

❑ **PLANS:** N/A: See PUD Preliminary Plan Application

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

❑ **SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

21. Provision of handicapped parking spaces
22. Dimensions of handicapped parking spaces
23. Depressed ramps available to handicapped parking spaces
24. Location, dimensions and elevations of freestanding signs
25. Location and elevations of trash enclosures
26. Provision for required screening, if applicable
27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

City of St. Charles- See attached authorization form.

Record Owner

Date

Applicant or Authorized Agent

Date

For 1st Street Development II LLC

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS)
ADAMS) SS.
~~KANE~~ COUNTY)

I, ROBERT RASCHKE, being first duly sworn on oath depose and say that I am
Manager of FIRST STREET DEVELOPMENT II, LLC, an Illinois Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

<u>DRJ Investments, LLC</u>	_____
<u>W6, LLC</u>	_____
<u>Wolande Investments, LLC</u>	_____
<u>Philcor II. Investments, LLC</u>	_____
<u>AVM Investments, LLC</u>	_____
<u>DEKED LLC</u>	_____
_____	_____

By: [Signature], Manager

Subscribed and Sworn before me this 27TH day of
MAY, 2016.

[Signature]
Notary Public



First Street Development II, LLC
409 Illinois Ave, Suite 1C
St Charles, IL 60174

Member List (2016)

All have equal percentage of ownership

DRJ INVESTMENTS, LLC
Robert Rasmussen
409 Illinois Avenue, Suite 1D
St. Charles, IL- 60174
Managing Member and Plan Sponsor

W6, LLC
Philip Wilmington
402 Brownstone Drive
St. Charles, IL-60174

WOLANDE INVESTMENTS, LLC
Charles Wolande
409 Illinois Avenue, Suite 1C
St. Charles, IL 60174

PHILCOR II.IVESTMENTS, LLC
Philip Corcoran
409 Illinois Avenue, Suite 1C
St. Charles, IL 60174

AVM INVESTMENTS, LLC
Keith Kotche
1060 Lake Street, Suite 200
Hanover Park, IL 60133

DEKED LLC
Edward Levato
1060 Lake Street, Suite 200
Hanover Park, IL 60133



July 13, 2016

Re: First St. Redevelopment PUD Phase – Special Use for PUD and Preliminary Plan Applications for Building 3

The City of St. Charles, record owner, hereby authorizes the inclusion of certain City-owned parcels in the Special Use and PUD Preliminary Plan applications filed by First Street Redevelopment II, LLC, dated July 11, 2016. The property is legally described as:

Lots 3, 4 and 5 in the Resubdivision of First Street Phase III Subdivision, recorded as Document #2015K039582

Property located east of First Street, south of Main Street, north of Illinois Street, and west of the Fox River, in St. Charles, IL 60174

PIN Numbers: 09-34-127-008, 09-34-127-010, 09-34-127-012

Mark Koenen, City Administrator

C: John McGuirk, City Attorney
Rita Tungare, Director of Community & Economic Development

RAYMOND P. ROGINA *Mayor*
MARK KOENEN, P.E. *City Administrator*

PROPOSED PUD ORDINANCE AMENDMENT REGARDING USES:

PUD Ordinance, 2006-Z-29, amended by 2013-Z-17 (regarding Building 7A):

Section Six, Subsection A of Ordinance No. 2006-Z-29 “An Ordinance Granting Certain Special Use Permits, Granting Certain Exceptions and Deviations from the Requirements of the Zoning Ordinance and the Subdivision Regulations, Granting Preliminary Planned Unit Development Plan Approval, Granting Conditional Approval of the Final Plat of Subdivision for Phase I and Related Matters for the ‘First Street Redevelopment’” is hereby deleted in its entirety and replaced by the following:

(A) Only the following uses, as defined in the City's Zoning Ordinance, shall be permitted on the first floor of enclosed buildings located on the Subject Realty: Art Gallery/Studio, Coffee or Tea Room, Cultural Facility, Indoor Recreation and Amusement, Live Entertainment, Personal Services, Restaurant, Retail Sales, Tavern/Bar, Theater, Local Utility and Accessory Uses to the preceding uses.

In addition, the following uses, as defined in the City's Zoning Ordinance, shall be permitted on the first floor of the following buildings, as shown in the PUD Preliminary Plan:

- (a) Buildings 7B and the Blue Goose: Bank and Financial Institution
- (b) Building 7A: Bank and Financial Institution, Office- Business or Professional, and Medical/ Dental Clinic.
- (c) **Building 3: Bank and Financial Institution, Office- Business or Professional, and Medical/ Dental Clinic meeting the following criteria:**
 - a. **The business will be open to the general public during normal business hours and may require that customers make an appointment for service.**
 - b. **The primary function of the business establishment will be to provide direct services to customers that are physically present.**
 - c. **The interior space of the business will be configured such that a) the street-level storefront entrance will serve as the public entrance and b) a reception area or waiting area for visitors will be provided directly accessible from the public entrance.**
 - d. **Street-facing storefront windows and doors will not be obstructed at any time and shall be utilized to provide a view of the interior office visible to pedestrians on the street. Illuminated exterior signs and the interior of the storefront shall be illuminated during evening hours.**

Notwithstanding the foregoing, the following uses shall occupy no more than 25% of the gross leasable floor area on the first floor of the buildings located on the Subject Realty, exclusive of ground floor parking areas, the Blue Goose, and building 7A: Cultural Facility, Indoor Recreation and Amusement, Personal Services, Theater, Local Utility, Bank, Financial Institution. The 25% limitation shall be calculated on a cumulative basis among all of the buildings located on the Subject Realty, excluding ground floor parking areas, the Blue Goose, and building 7A.

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)



For Special Use for PUD or PUD Amendment applications.

The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.

As the applicant, the “burden of proof” is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.

(You may utilize this form or provide the responses on another sheet.)

First Street Redevelopment PUD
PUD Name

July 12, 2016
Date

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The proposed Amendment meets the original intent of the PUD focusing on harmonious mixed use in an attractive building design. The plan is sensitive to the Riverwalk and promotes social interaction and enjoyable use of the open space.

The Amendment requests the change of use on the first floor to allow office use in addition to possible retail use in accordance with the current Downtown Overlay District which did not exist when the original PUD was granted.

iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):

- A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The Special Use will enhance the overall business environment of the First Street project and therefore benefit the public.

- B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

All infrastructure including utilities, access points and drainage are in place.

- C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The Special Use will not be injurious to the use and adjoining property but rather increase property values by allowing the property to be occupied.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The Special Use will allow for the orderly development of the property with the completion of buildings 2 and 3 thereby completing this phase of the First Street project.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The Special Use will not endanger the public health, safety,
or general welfare but rather benefit the public by allowing
the vacant structure to be occupied.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The Special Use if granted will conform to all state and local
requirements.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The proposed Amendment will provide economic well being to the City
including increase of the tax base and overall business diversity
within the First Street Development.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The propsoed Amendment conforms to the overall purpose and intent
of business diversity within the entire downtown area of St. Charles.

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984

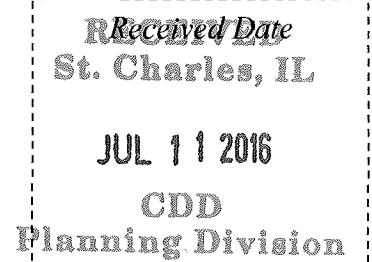


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION

For City Use	
Project Name:	First Street Phase 3
Project Number:	2013 -PR- 018
Application Number:	2016 -AP- 013



To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: Vacant building lots located north Illinois Street, east of First Street, west of the Fox River	
	Parcel Number (s): Lot 3: 09-34-127-012 Small areas where buildings overlap -008 and -010 parcels (Lots 4 & 5)	
	Proposed PUD Name: First Street Redevelopment PUD, Phase 3, Lots 2 & 3	
2. Applicant Information:	Name First Street Development II, LLC	Phone 630-774-9101
	Address 409 Illinois Ave #1C St. Charles, IL 60174	Fax
		Email
3. Record Owner Information:	Name City of St. Charles	Phone 630-377-4400
	Address 2 E. Main St. St. Charles, IL 60174	Fax
		Email

Please check the type of application:

- ☐ **New proposed PUD- Planned Unit Development** (Special Use Application filed concurrently)
☒ **Existing PUD-Planned Unit Development**
☒ PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

Subdivision of land:

- ☐ Proposed lot has already been platted and a new subdivision is not required.
☒ New subdivision of property required:
☐ Final Plat of Subdivision Application filed concurrently
☒ Final Plat of Subdivision Application to be filed later
(Minor adjustments to building lot boundaries based on proposed building footprints)

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.

* ☐ **APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

* ☐ **REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

* ☐ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

* ☐ **PROOF OF OWNERSHIP and DISCLOSURE:** Ownership Disclosure for Applicant LLC

- a) a current title policy report; or
b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

❑ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper On file

❑ **PLAT OF SURVEY:** On file

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

❑ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:** N/A

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

❑ **ENDANGERED SPECIES REPORT:** N/A

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

❑ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

* ❑ **SITE/ENGINEERING PLAN:**

PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with

the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermain, and appropriate appurtenant structures
36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting
 - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

□ **SKETCH PLAN FOR LATER PHASES OF PUD:** N/A

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

* ☐ **ARCHITECTURAL PLANS:**

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

☐ **TREE PRESERVATION PLAN:** N/A

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

☐ **LANDSCAPE PLAN:** N/A

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

☐ **STORMWATER MANAGEMENT:** N/A

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

☐ **SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:** N/A

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

* ☐ **PUBLIC BENEFITS, DEPARTURES FROM CODE:**

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

* ☐ **SCHEDULE:** Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

* ☐ **PARK AND SCHOOL LAND/CASH WORKSHEETS**

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

☐ **INCLUSIONARY HOUSING SUMMARY** N/A: Existing PUD

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

City of St. Charles - See attached authorization form.

Record Owner

Date

Applicant or Authorized Agent

Date

First Street Development II LLC

7-11-16

FINDING OF FACT FOR PLANNED UNIT DEVELOPMENT AMENDMENT AS STATED IN
SECTION 17.04.400.A

The proposed Amendment meets the original intent of the First Street Development PUD focusing on harmonious development of mixed use, in an attractive building design. The addition of office space to the first floor, in accordance with the downtown overlay district will promote daytime use. Pedestrian access and useable open space will be created for the enjoyment of all. The Amendment will encourage the harmonious mix of land uses.

JUSTIFICATION FOR RELIEF FROM REQUIREMENTS UNDER SECTION 17.04.400.B

The PUD will be constructed in substantial accordance with the City of St. Charles Central Downtown Tax Increment Financing Development Agreement (First Street Project) and the Planned Unit Development concept developed in accordance therewith. Building 3 will offer high quality architectural design incorporating pedestrian accessibility in accordance with the PUD design. The mixed use of residential units along with office space and potential retail use will create a daytime population benefiting existing businesses and use of the open space. The first floor retail component of the proposed financial institution will generate daytime traffic benefiting use of the open space and local businesses.

FINAL ENGINEERING PLANS
FOR
1ST STREET PHASE 3
(including BUILDING #3/PHASE 2)

NORTHEAST CORNER OF 1ST STREET AND ILLINOIS STREET
ST. CHARLES, ILLINOIS

CITY OF ST. CHARLES NOTES

1. ALL PVIOUS AREA SHALL BE SODDED OVER A MINIMUM OF 6" OF TOP SOIL UNLESS OTHER LANDSCAPING METHODS ARE APPROVED ON THE LANDSCAPING PLAN.
2. ALL CONDUIT OR PIPE CONSTRUCTED UNDER EXISTING OR PROPOSED PAVED SURFACES AND WALKS SHALL BE BACKFILLED WITH GRANULAR BACKFILL THOROUGHLY COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS. GRANULAR BACKFILL IS ALSO REQUIRED WITHIN 3' OF PAVED SURFACES.
3. ALL PAVING, SIDEWALK, AND EXCAVATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) AND THE CITY OF ST. CHARLES STANDARD DETAILS, CODES AND REQUIREMENTS.
4. ALL SEWER AND WATER MAIN WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND CITY OF ST. CHARLES CONSTRUCTION STANDARDS.
5. CONTRACTOR TO GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER ACCEPTANCE BY THE CITY.
6. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
7. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO VERIFY IN THE FIELD ALL EXISTING AND UNDERGROUND UTILITIES ADJACENT TO THE PROJECT, AND BE RESPONSIBLE FOR PROTECTION OF SAME.
8. ALL CONCRETE SHALL BE 6 BAG MIX, 3500 PSI CONCRETE AT 14 DAYS. CURING MATERIAL SHALL BE MEMBRANE CURING COMPOUND AND SHALL BE WHITE IN COLOR TO ASSURE ADEQUATE COVERAGE.
9. CONTRACTOR SHALL NOTIFY CITY 48 HOURS IN ADVANCE OF CONSTRUCTION OF UNDERGROUND WORK. NO UNDERGROUND WORK SHALL BE COVERED UNTIL SAME HAS BEEN INSPECTED BY THE CITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE CITY PRIOR TO INSTALLING PAVEMENT BASE, PAVEMENT BINDER, PAVEMENT SURFACE, AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
10. IF APPLICABLE, ALL NEW REINFORCED CONCRETE PIPE STORM SEWER 12" AND LARGER WHERE SHOWN ON THE PLANS SHALL BE ASTM DESIGNATION C-76 MINIMUM CLASS, CLASS III. ALL PIPE WITH LESS THAN 3' OF COVER AND MORE THAN 15' OF COVER SHALL BE CLASS V. ALL JOINTS SHALL BE "O" RING RUBBER GASKET CONFORMING TO ASTM C-361 SPECIFICATIONS. ALL STORM SEWERS WITH LESS THAN 1.75' OF COVER AND ALL DUCTILE IRON PIPE STORM SEWERS WHERE SHOWN ON THE PLANS SHALL BE DUCTILE (IRON PIPE CLASS 52 ANS) SPECIFICATIONS A-21.51 WITH PUSH-ON OR MECHANICAL JOINTS AND POLYETHYLENE ENCASEMENT.
11. BITUMINOUS PAVEMENT MATERIAL MUST BE PLACED IN TWO LIFTS. THICKNESS OF EACH LIFT SHALL BE AS SHOWN ON APPROVED PLANS. ALL MATERIAL SHALL BE CLASS I BITUMINOUS AS PER IDOT STANDARDS. THE FINAL SURFACE COURSE SHALL NOT BE INSTALLED UNTIL THE CITY HAS APPROVED THE COMPACTION OF THE BINDER MATERIAL. THE BINDER COURSE SHALL NOT BE INSTALLED UNTIL THE COMPACTION OF THE STONE BASE HAS BEEN APPROVED BY THE CITY. THE FINAL SURFACE COURSE MAY NOT BE INSTALLED UNTIL THE MAJOR PORTION OF BUILDING CONSTRUCTION HAS BEEN COMPLETED AS DETERMINED AND APPROVED BY THE CITY.

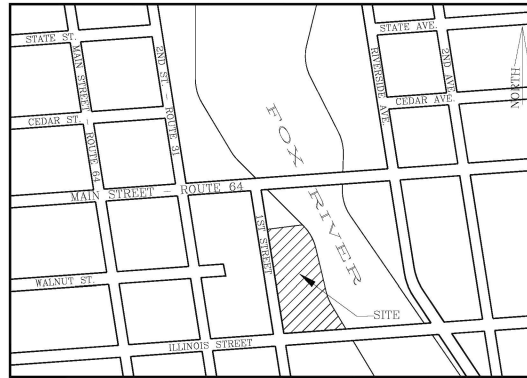
NOTE: IN CASE OF CONFLICT WITH OTHER NOTES AND SPECIFICATIONS, THE CITY'S STANDARD NOTES AND DETAILS SHALL APPLY.

UNDERGROUND UTILITY NOTE:

The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and the Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

HOLD HARMLESS STATEMENT

The Engineer is not overseeing the construction of this project. The use of these Drawings and Specifications by any Contractor, Subcontractor, Builders, Mechanics, Tradesmen or Worker shall constitute a Hold Harmless Agreement between the User and the Engineer. The User shall in fact agree to hold the Engineer harmless for any responsibility in regard to construction means, methods, techniques, sequences or procedures and for any safety precautions and programs in connection with the work and further shall hold the Engineer harmless for costs and problems arising from the negligence of Contractor, Subcontractor, Builders, Mechanics, Tradesmen or Workers. The use of these Drawings also implies that the Engineer shall take no responsibility for the plan User's failure to carry out the work in accordance with the Drawing and Specifications.



LOCATION MAP
NOT TO SCALE

LEGEND

	PROPOSED STORM SEWER		PROPOSED SPOT GRADE
	EXISTING STORM SEWER		EXISTING SPOT GRADE
	PROPOSED SANITARY SEWER		PROPOSED CONTOUR
	EXISTING SANITARY SEWER		EXISTING CONTOUR
	PROPOSED WATER MAIN		SILT FENCE
	EXISTING WATER MAIN		OVERFLOW DIRECTION
	PROPOSED SANITARY MAN-HOLE		PROPOSED CURB
	EXISTING SANITARY MAN-HOLE		EXISTING CURB
	EXISTING STORM STRUCTURE		PROPOSED EDGE OF PAVEMENT
	PROPOSED STORM STRUCTURE		
	PROPOSED FIRE HYDRANT		
	PROPOSED GATE VALVE		

SHEET INDEX

TITLE	SHEET NO.
TITLE SHEET.....	1
GEOMETRIC/PHASE PLAN.....	2
GRADING PLAN.....	3
UTILITY PLAN--OVERALL.....	4
24" STORM SEWER PROFILE.....	5
UTILITY PLAN--PHASE I.....	6
PHASE I MASS GRADING.....	7
PHASE I EROSION CONTROL MEASURES.....	8
SWPPP.....	9
DETAILS.....	10
SPECIFICATIONS.....	11
BUILDING 1--WATER MAIN SERVICE.....	12

BENCHMARK:

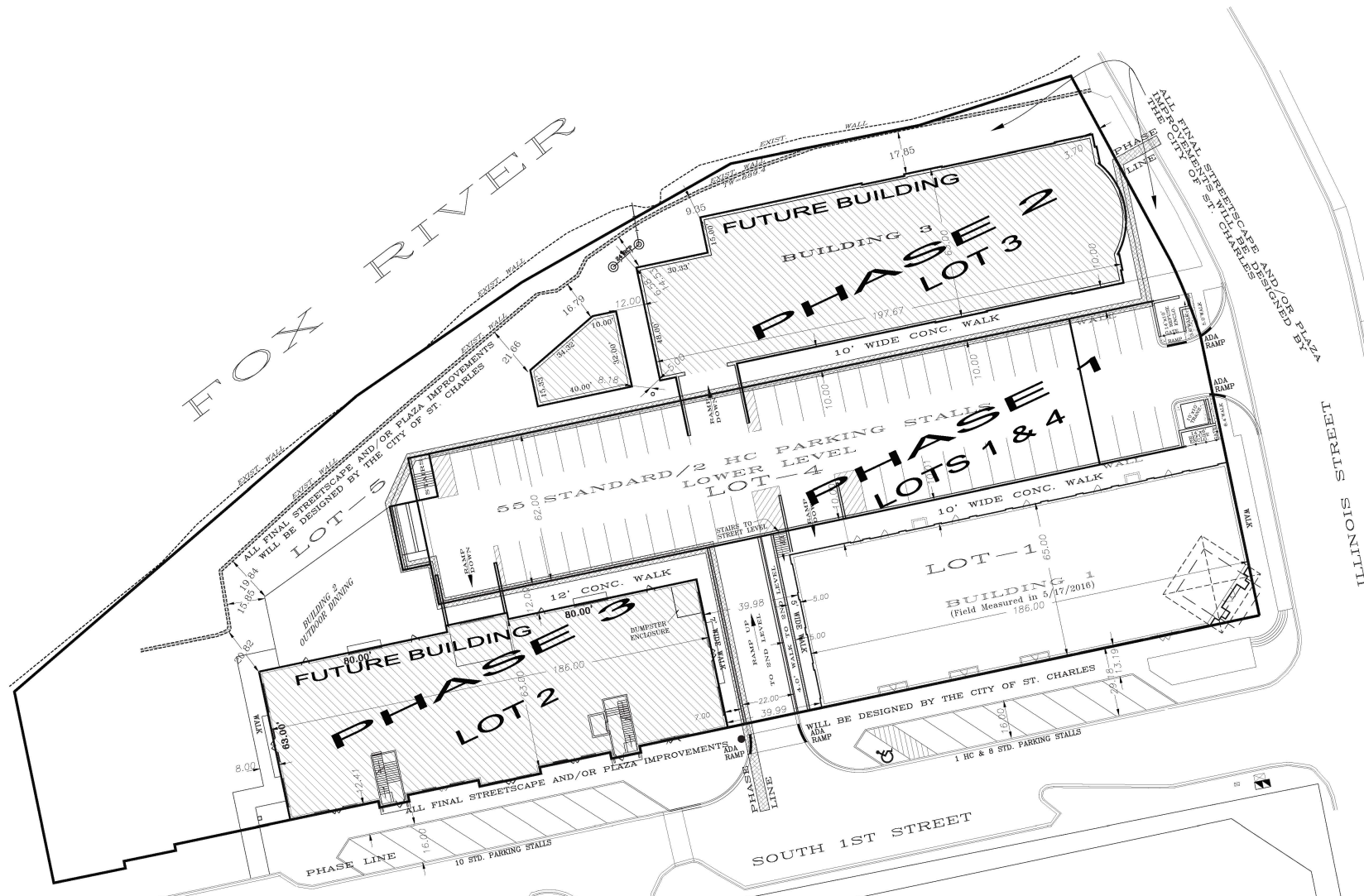
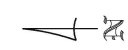
CITY OF ST. CHARLES--
STATION N 19 ELEV=696.45 NAVD83
AT SAINT CHARLES, KANE COUNTY, IN NORTHEAST
LIMESTONE CORNER OF THE REHMS ELECTRICAL
BUILDING, 6 FEET EAST OF THE NORTH (FRONT)
ENTRANCE, AND ABOUT 1 FOOT ABOVE SIDEWALK.
A STANDARD DISC, STAMPED N 19 1934 AND SET
VERTICALLY.



COUNTY ENGINEERS INC.
2202 GARY LANE, GENEVA, ILLINOIS 60134
630.364.6976 ceillinois@aol.com

Rev. 7/24/2016
Rev. 6/2/2016
OCTOBER 12, 2015

FOX RIVER



BUILDINGS:

BLDG-1.....	11,781.6 SF
BLDG-2.....	11,923.3 SF
BLDG-3.....	13,115.0 SF

REVISIONS:

1	0/20/2016	BUILDINGS 2 AND 3
2	7/24/2016	BUILDINGS 2 AND 3
3		

GEOMETRIC/PHASE PLAN

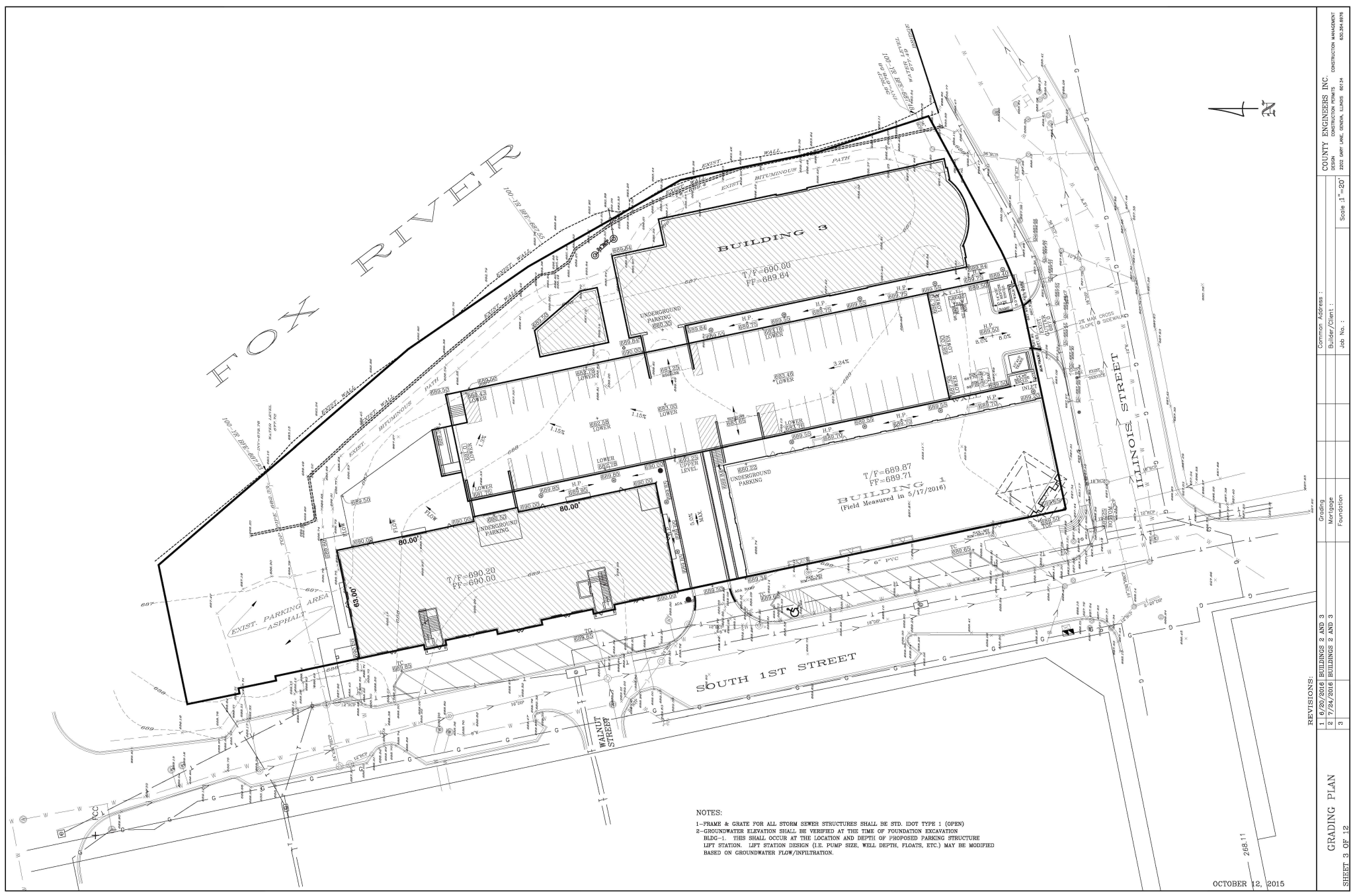
SHEET 2 OF 12

Grading
Mortgage
Foundation

Common Address :
Builder/Client :
Job No. :

COUNTY ENGINEERS INC.
CONSTRUCTION MANAGEMENT
2302 60th LANE, CHICAGO, ILLINOIS 60634
Scale: 1"=20'

OCTOBER 12, 2015



NOTES:
1-FRAME & GRATE FOR ALL STORM SEWER STRUCTURES SHALL BE STD. IDOT TYPE 1 (OPEN)
2-GROUNDWATER ELEVATION SHALL BE VERIFIED AT THE TIME OF FOUNDATION EXCAVATION
HDC-1, THIS SHALL OCCUR AT THE LOCATION AND DEPTH OF PROPOSED PARKING STRUCTURE
LIFT STATION. LIFT STATION DESIGN (I.E. PUMP SIZE, WELL DEPTH, FLOATS, ETC.) MAY BE MODIFIED
BASED ON GROUNDWATER FLOW/INFILTRATION.

REVISIONS:

1	0/20/2016	BUILDINGS 2 AND 3
2	7/24/2016	BUILDINGS 2 AND 3
3		

GRADING PLAN
SHEET 3 OF 12

COUNTY ENGINEERS INC.
CONSTRUCTION MANAGEMENT
2302 60th AVE, CHICAGO, ILLINOIS 60634
Scale: 1"=20'

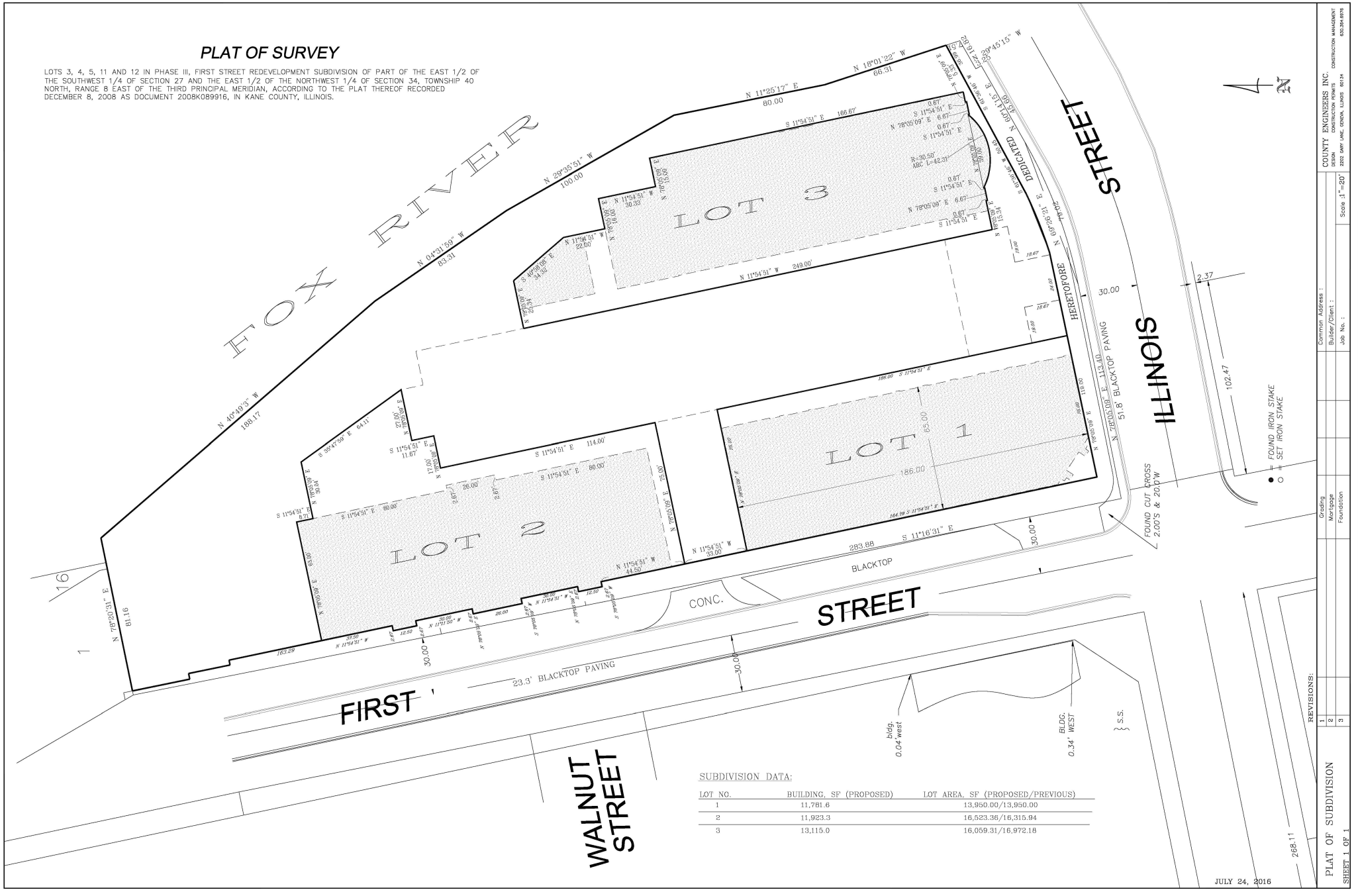
Common Address :
Builder/Client :
Job No. :

Grading
Mortgage
Foundation

OCTOBER 12, 2015

PLAT OF SURVEY

LOTS 3, 4, 5, 11 AND 12 IN PHASE III, FIRST STREET REDEVELOPMENT SUBDIVISION OF PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 27 AND THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 34, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 8, 2008 AS DOCUMENT 2008K089916, IN KANE COUNTY, ILLINOIS.



SUBDIVISION DATA:

LOT NO.	BUILDING, SF (PROPOSED)	LOT AREA, SF (PROPOSED/PREVIOUS)
1	11,781.6	13,950.00/13,950.00
2	11,923.3	16,523.36/16,315.94
3	13,115.0	16,059.31/16,972.18

COUNTY ENGINEERS INC.
CONSTRUCTION MANAGEMENT
630.354.8774
2302 60TH LANE, CHICAGO, ILLINOIS 60634

Common Address :
Builder/Client :
Job No. :
Scale : 1"=20'

Grading
Mortgage
Foundation

REVISIONS:
1
2
3

PLAT OF SUBDIVISION
SHEET 1 OF 1

JULY 24, 2016

[illegible]

- 1 IF THE BUYER HAS THE DESIRE TO OBTAIN THE INLAND
2 TRANSPORTATION, THE BUYER SHALL OBTAIN THE NECESSARY PERMITS,
3 LICENSES AND INSURANCE COVERAGE FROM THE LOCAL AUTHORITIES.
4 THE BUYER SHALL BE RESPONSIBLE FOR THE COST OF THE TRANSPORTATION.
5 THE BUYER SHALL BE RESPONSIBLE FOR THE COST OF THE TRANSPORTATION.
6 THE BUYER SHALL BE RESPONSIBLE FOR THE COST OF THE TRANSPORTATION.
7 THE BUYER SHALL BE RESPONSIBLE FOR THE COST OF THE TRANSPORTATION.
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14 THE BUYER SHALL BE RESPONSIBLE FOR THE COST OF THE TRANSPORTATION.
15 THE BUYER SHALL BE RESPONSIBLE FOR THE COST OF THE TRANSPORTATION.
16 THE BUYER SHALL BE RESPONSIBLE FOR THE COST OF THE TRANSPORTATION.
17 THE BUYER SHALL BE RESPONSIBLE FOR THE COST OF THE TRANSPORTATION.

[illegible]

SPRINKLER CONTRACTOR SHALL INSTALL NEW SPRINKLER SYSTEM
AS REQUIRED TO MEET LATEST CODES AND ORDINANCES.

SPRINKLER CONTRACTOR SHALL SUBMIT PLANS AND DETAILS
TO THE CITY FOR REVIEW.

SPRINKLER DRAWINGS FOR TENANT SPACES TO BE SUBMITTED TO
THE CITY FOR REVIEW AT THE TIME OF TENANT SPACE PERMIT SUBMISSION

SMOKE DETECTORS PER CODE

ALL HINGES SHALL BE RATED FOR HEAVY DUTY COMMERCIAL USE.

ACCESSIBLE DOOR HARDWARE (CLOCKERS, HANDLES, ETC.) SHALL MEET THE REQUIREMENTS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR ACCESSIBLE DOOR HARDWARE.

ALL HARDWARE ON ACCESSIBLE DOORS HANDLES, PULLS, LATCHES, LOCKS, ETC. SHALL BE CAPABLE TO GRASP WITH ONE HAND AND DOOR MUST BE OPENED BY GRASPING, TIGHT PUNCHING, OR TWISTING OF THE WRIST TO OPERATE.

ROCKET DOOR HARDWARE SHALL BE EXPULSION AND USABLE ON BOTH SIDES WHEN DOOR IS FULLY OPEN.

THE MAXIMUM FORCE FOR PUSHING OR PULLING A DOOR SHALL BE:

EXTERIOR HINGED DOORS --- 30 LBS

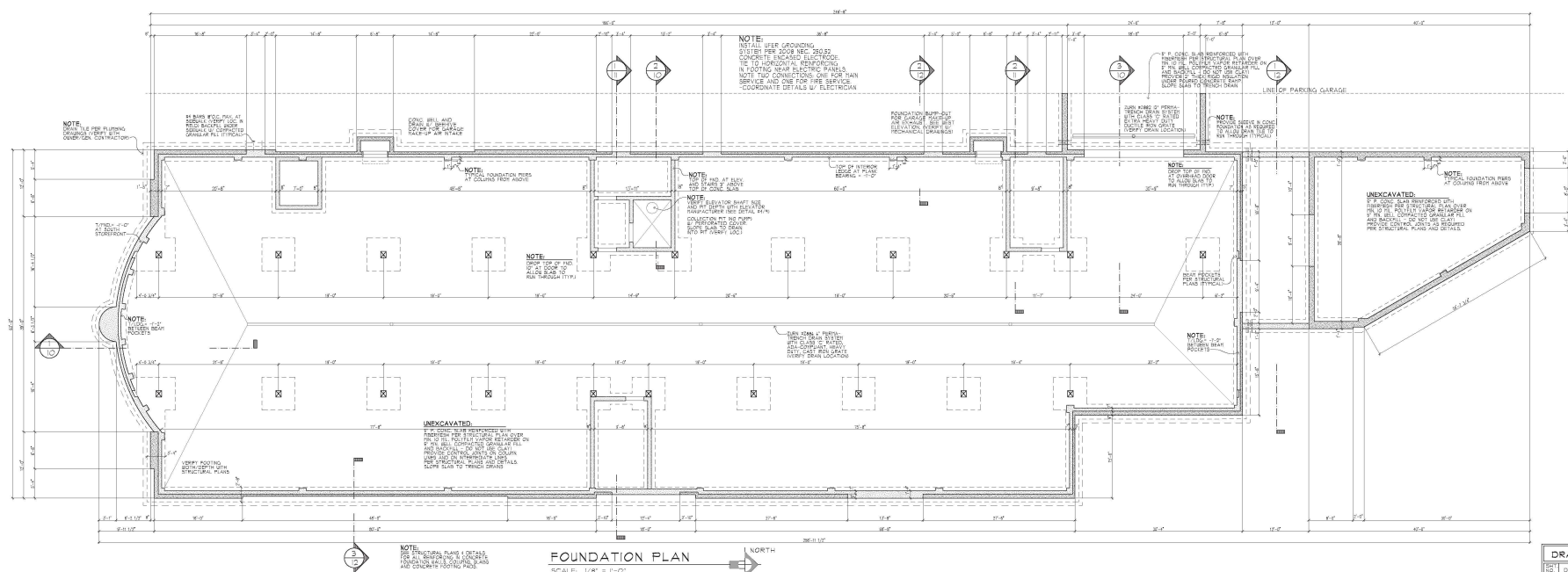
INTERIOR HINGED DOORS --- 5 LBS

SLIDING DOORS --- 15 LBS

SITE CRITERIA	
TOTAL FLOOR:	8,474 S.F.
TOTAL GROSS BUILDING AREA, INCLUDING ALL STORES, ROOFTOP, LOUVER LEVEL, GARAGE:	41,521 S.F.
GROSS FIRST FLOOR AREA:	3,042 S.F.
EXCLUDES COVERED WALKWAY:	
GROSS 2ND-4TH FLOOR AREA:	30,443 S.F.
GROSS FIFTH FLOOR AREA:	8,434 S.F.
LOUVER LEVEL PARKING:	21 SPACES
BUILDING CRITERIA	
USE GROUP:	5-2 (PARKING)
BASEMENT:	SMALL (FIGURE M) / B (A)
2ND, 3RD & 4TH FLOORS:	SMALL (FIGURE R)
CONSTRUCTION TYPE:	TYPE III OR 4.5 AS FLOORING
FIRE SPRINKLER:	YES

T/FND.: $0^{\circ}-0^{\circ} = 690.00$
(1' ABOVE FINISHED FIRST FLOOR)
T/LDG.: $-1^{\circ}-0^{\circ} = 689.00$
(PRECAST BEARING)
T/FTG.: $= 679.83 (-10^{\circ}-2')$
(VERIFY BEARING DEPTH IN FIELD)

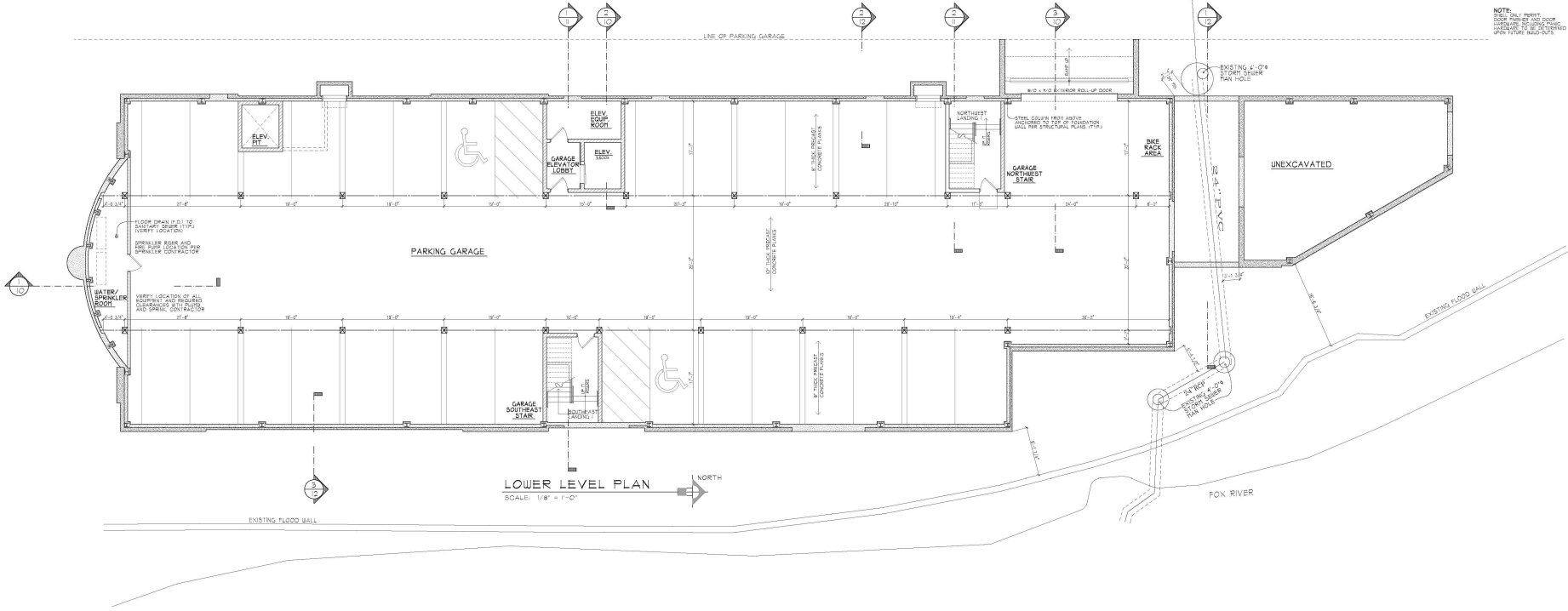
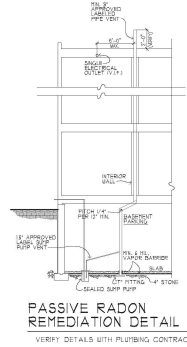
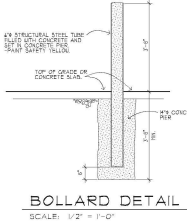
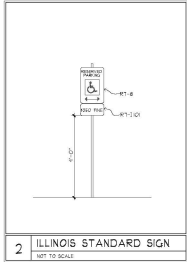
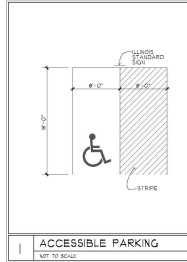
VERIFY TOP OF FOUNDATION
AND FINISHED GRADES WITH
CIVIL ENGINEERING DRAWINGS



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

DRAWING SHEET INDEX	
SHEET NO.	DESCRIPTION
1	FOUNDATION PLAN & GENERAL NOTES
2	LOWER LEVEL PARKING PLAN
3	FIRST FLOOR PLAN
4	SECOND FLOOR PLAN
5	THIRD FLOOR PLAN
6	FOURTH FLOOR PLAN
7	FIFTH FLOOR AND ROOF PLANS
8	SOUTH AND WEST ELEVATIONS
9	NORTH AND EAST ELEVATIONS
10	SECTIONS
11	SECTIONS
12	SECTIONS

SHEETS LISTED ARE LISTED ABOVE. OTHERS PREPARED BY ARCHITECTS SUPERVISION.



JULY 27, 2016 - PROGRESS SET - NOT FOR CONSTRUCTION

MARSHALL ARCHITECTS
201 E. Main Street
Suite 100
Chicago, Illinois 60601
Tel: 312.321.1111
Fax: 312.321.1112

STATE OF ILLINOIS
DESIGN PROFESSIONAL
REGISTRATION NUMBER
041002451

PROPOSED NEW OFFICE/CONDOMINIUMS:
FIRST STREET
ST. CHARLES, ILLINOIS 60184
FIRST STREET DEVELOPMENT, LLC

BLDG. 3

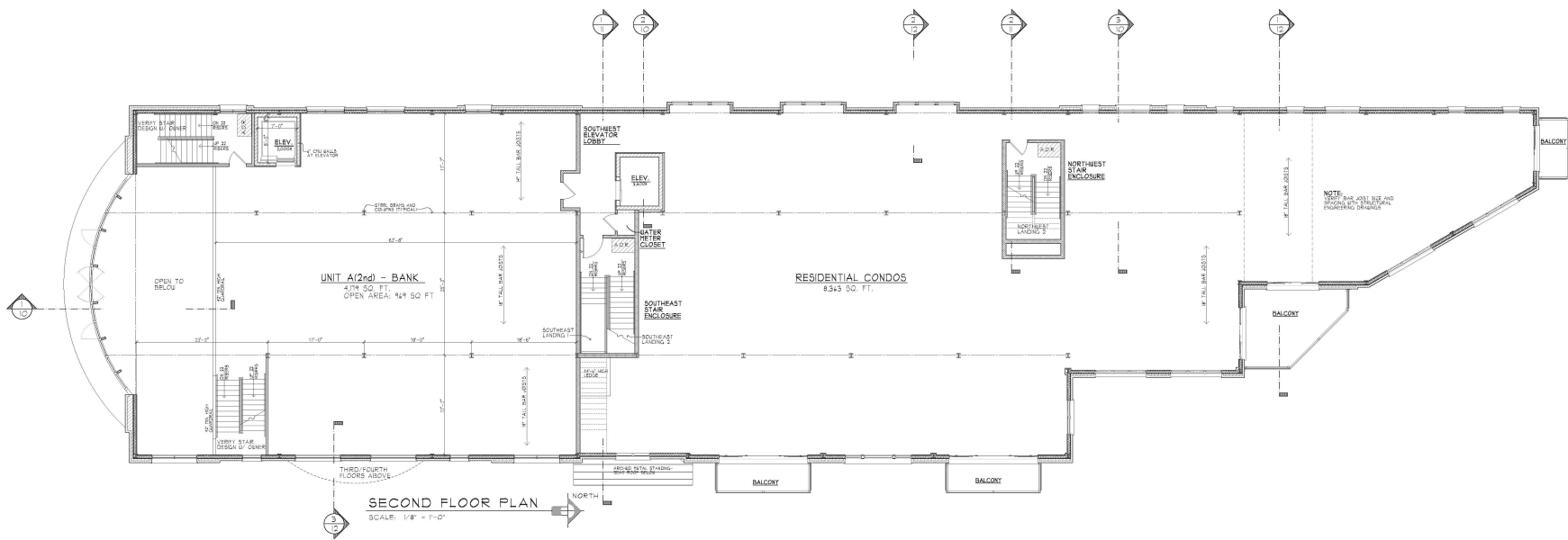
Revisions:

No.	Description	Date

Commission: 2506
Issue Date:
Drawn By: CDL
Sheet:
A2
of 12

SECOND FLOOR SQUARE FOOTAGE	
GROSS SQUARE FOOTAGE (FLOOR):	112,542 S.F.
BANK - FLOOR AREA:	14,174 S.F.
BANK - (OPEN AREA TO BELOW):	1,511 S.F.
RESIDENTIAL CONDO AREA:	83,343 S.F.

NOTE:
SQUARE FOOTAGE IS CALCULATED
FROM OUTSIDE OF EXTERIOR WALLS
AND CENTER OF DOORING WALLS.



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

JULY 27, 2016 - PROGRESS SET - NOT FOR CONSTRUCTION



STATE OF ILLINOIS
DESIGN PROFESSIONAL
REGISTRATION NUMBER
04-002451

PROPOSED NEW OFFICE/CONDOMINIUMS:
FIRST STREET
ST. CHARLES, ILLINOIS 60184
FIRST STREET DEVELOPMENT, LLC

BLDG. 3

Revisions

Commission: 2505
Issue Date:
Drawn By: CDL

Sheet:
A41
of 12

NOTE:
SQUARE FOOTAGE IS CALCULATED
FROM OUTSIDE OF EXTERIOR WALLS
AND CENTER OF DEMISING WALLS.



FIRST STREET
ST. CHARLES, ILLINOIS 60141
FIRST STREET DEVELOPMENT, LLC

Reviews:

©COPYRIGHT 2004
BY STARKWALL ARCHITECTS
ALL RIGHTS RESERVED

Commission: 2505
Issue Date:
Drawn By: CDZ

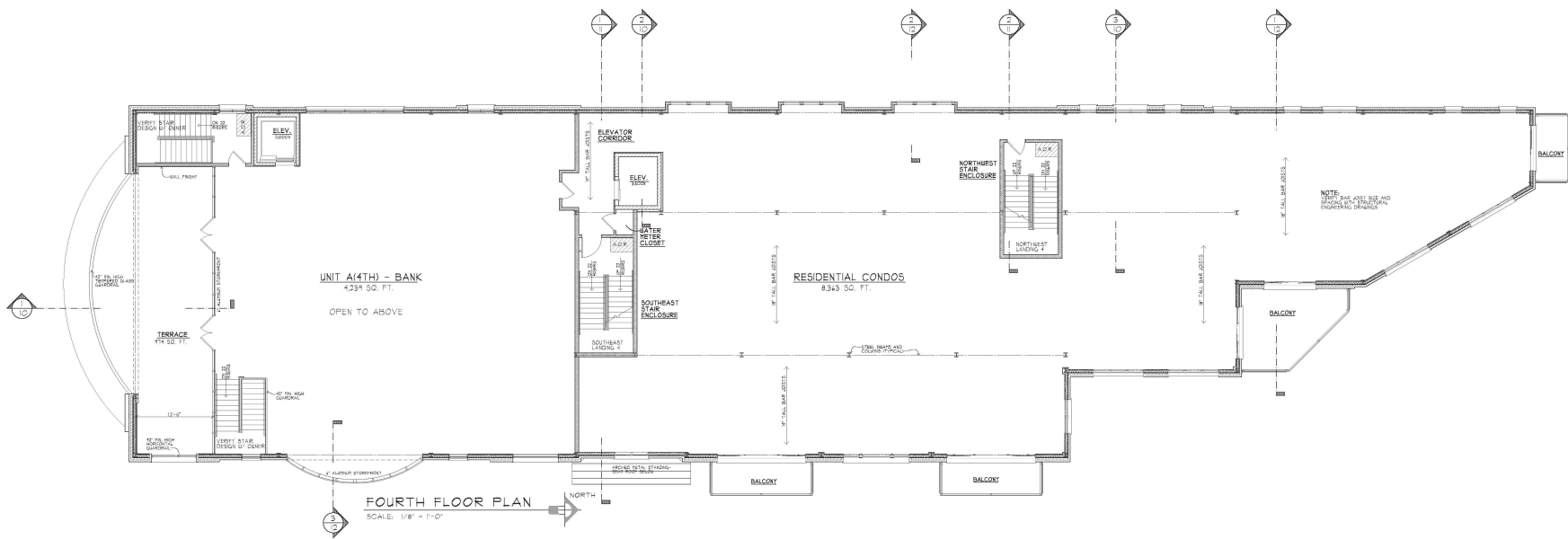
Sheet: **A5**
of: 12



STATE OF ILLINOIS
DESIGN FIRM
REGISTRATION NUMBER
184.002459

FOURTH FLOOR SQUARE FOOTAGE	
GROSS SQUARE FOOTAGE:	113,574 S.F.
BANK - FLOOR AREA:	14,231 S.F.
BANK - TERRACE:	1,114 S.F.
RESIDENTIAL CONDO AREA:	88,343 S.F.

NOTE:
SQUARE FOOTAGE IS CALCULATED
FROM OUTSIDE OF EXTERIOR WALLS
AND CENTER OF DOORING WALLS.



JULY 27, 2016 - PROGRESS SET - NOT FOR CONSTRUCTION



STATE OF ILLINOIS
DESIGN PROFESSIONAL
REGISTRATION NUMBER
84-002451

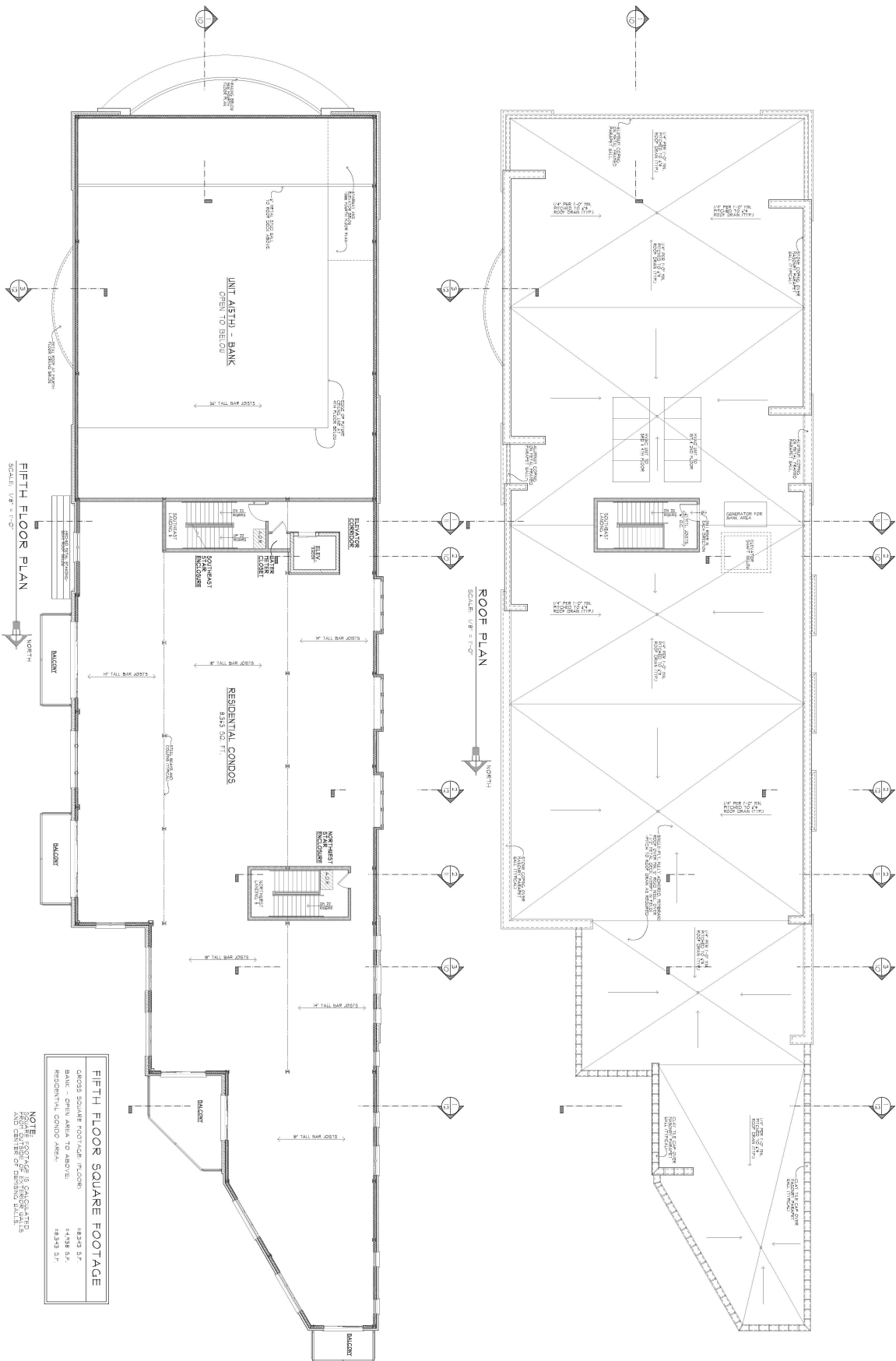
PROPOSED NEW OFFICE/CONDOMINIUMS:
FIRST STREET
ST. CHARLES, ILLINOIS 60184
FIRST STREET DEVELOPMENT, LLC

BLDG. 3

Revisions

Commission: 2505
Issue Date:
Drawn By: CDE

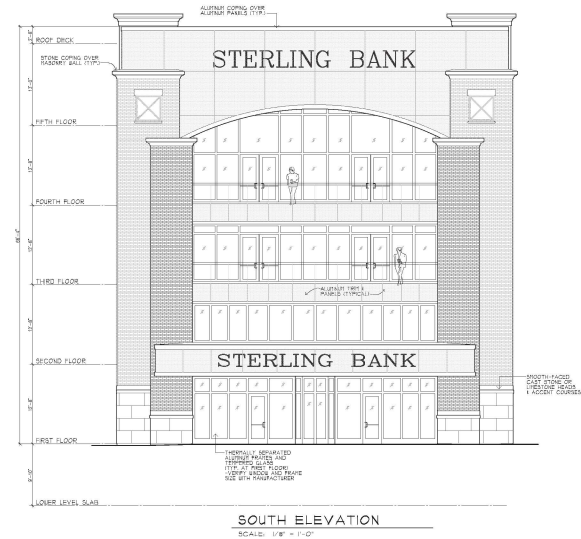
Sheet:
A6
of 12



JULY 27, 2016 - PROGRESS SET - NOT FOR CONSTRUCTION



EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

JULY 27, 2016 - PROGRESS SET - NOT FOR CONSTRUCTION



STATE OF ILLINOIS
DESIGN PROFESSIONAL
REGISTRATION NUMBER
04-002491

PROPOSED NEW OFFICE/CONDOMINIUMS:
FIRST STREET
ST. CHARLES, ILLINOIS 60174
FIRST STREET DEVELOPMENT, LLC

BLDG. 3

Revisions

DATE: 7/27/2016
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

Commission: 2505

Issue Date:

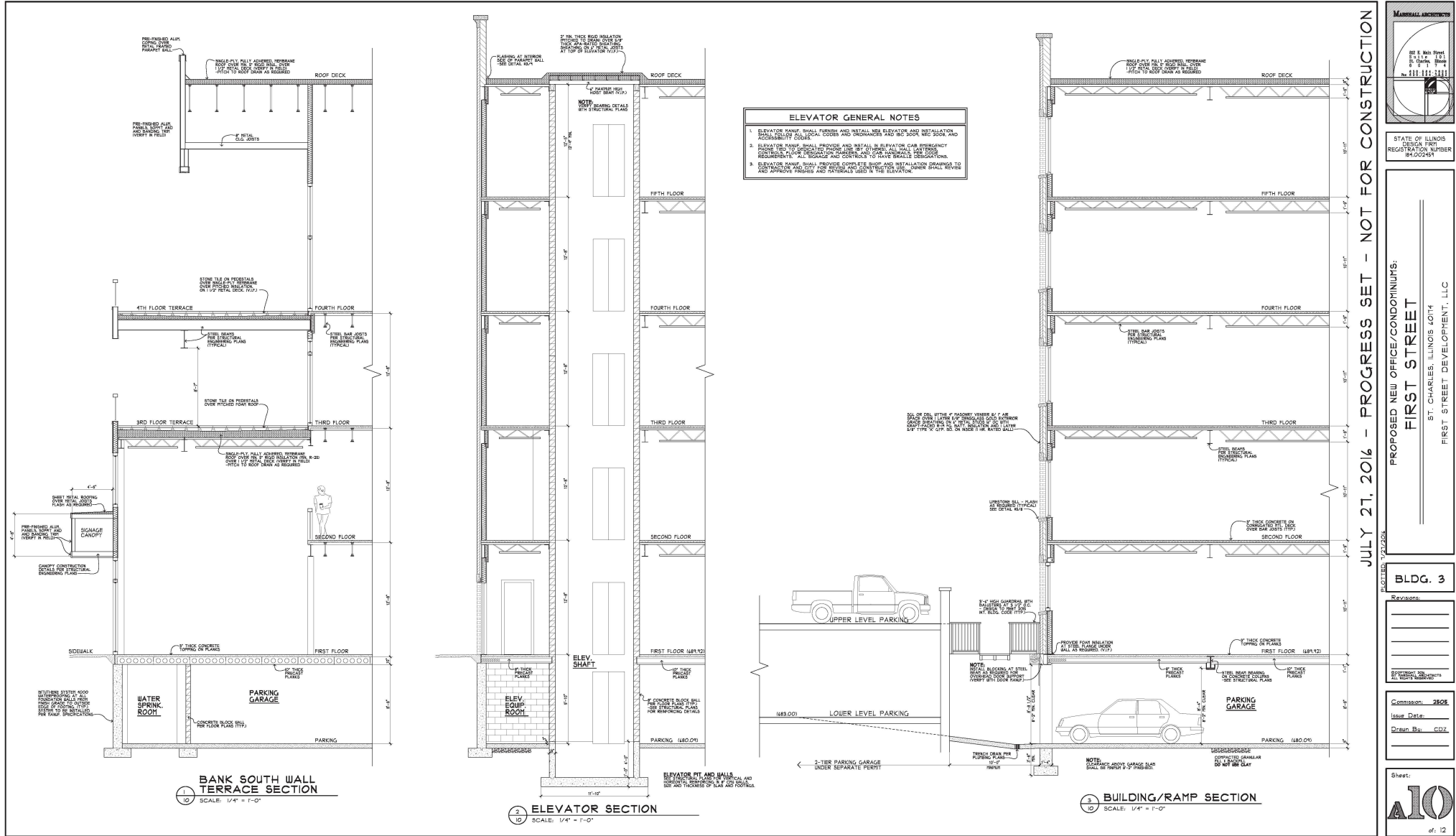
Drawn By: CDK

Sheet:



of 9

[illegible]





COMPACTED GRANULAR
FILL BACKFILL
DO NOT USE CLAY

NOTE: DROP FOOTINGS AS SHOWN TO
BEAR ON UNDISTURBED, NON-ORGANIC
SOL CAPABLE OF BEARING 3000
PSF MIN. (TYPICAL)



PLOTTED: 7/27/2016

PROPOSED NEW OFFICE/CONDOMINIUMS:

USED NEW OFFICE/CONDO
FIRST STREET

ST. CHARLES, ILLINOIS 2014
FIRST STREET DEVELOPMENT, LLC

BLDG. 3

Revisions:

Commission: 2508

Issue Date:

Sheet:

All

of: 12

TYPICAL STORM TRENCH SECTION
WITHIN PARKING STRUCTURE

TYPICAL SECTION
24" STORM THROUGH WALL

SECTION B-B

SECTION A-A

GREASE TRAP/INTERCEPTOR DE

NOTES: NTS

PROVIDE SHOP DRAWINGS AND/OR MANUFACTURER'S SPEC TO THE CITY'S BUILDING DEPT. FOR APPROVAL. CIGARETTE TRAP SHALL BE:

- A-1500 GAL. PROCEPTOR BY GREENVILLE.
- CWC 1500 UPC PW PACKAGE, WITH 8-24" HERRIS OR
- B-1500 GAL. AND GREEN INTERCEPTOR, 60" DIAMETER.
- WITH 2-24" IDCA. WALL, 2000 LB.
- C-1500 GAL. CONCRETE 3-CELL CHAMBER (AS SHOWN ABOVE)
- AS MANUFACTURED BY NORMALK TANK COMPANY.
- DR. JOSEPH, CLINGENS (815/726-3551). OR
- D-A COMBINATION RATED 1500-GAL. APPROVED EQUAL.

TRENCH DAM DETAIL

Technical drawing showing a detail of a trench dam and a plan view of a dam section.

TRENCH DAM DETAIL
 R711

UNCONFINED MATERIAL

INSTALL MIN. 1" TRENCH DAM SEEDING BEFORE LAYING PIPE

10'-12" R.P.S.

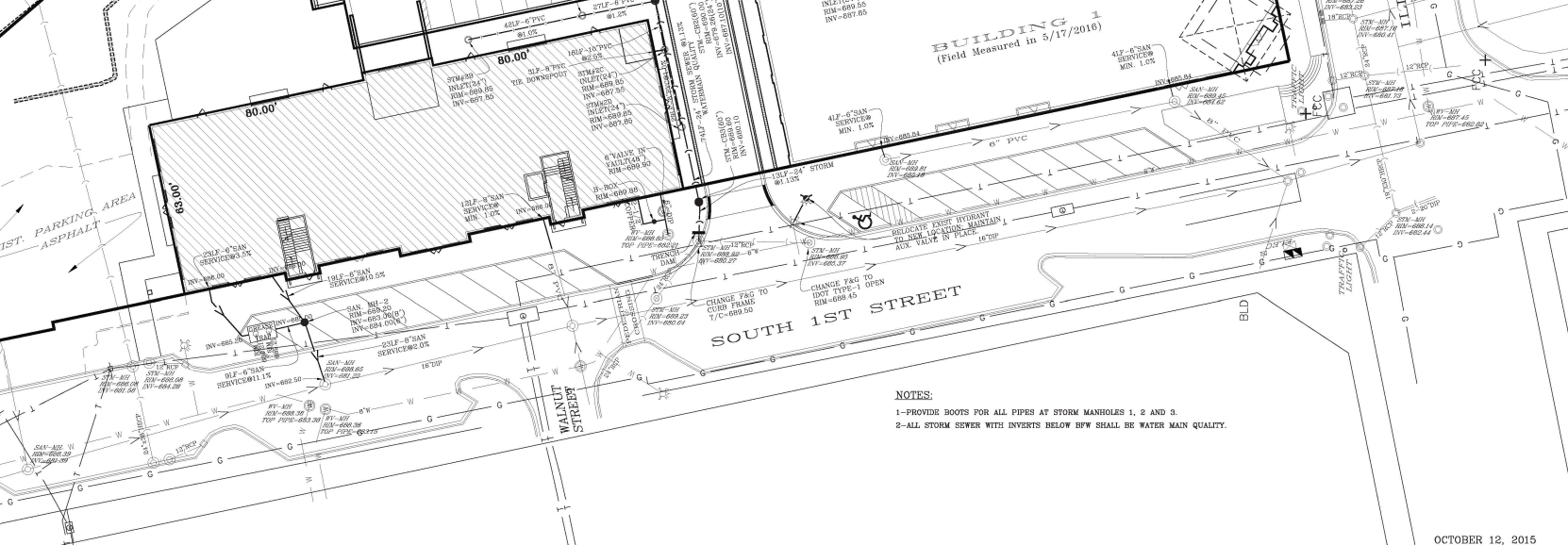
FOX RIVER

EXT. WALL

EXT. WALL

EXT. WALL

10'-12" R.P.S.



NOTES:

- 1-PROVIDE BOOTS FOR ALL PIPES AT STORM MANHOLES 1, 2 AND 3.
2-ALL STORM SEWER WITH INVERTS BELOW BFW SHALL BE WATER MAIN QUALITY.

OCTOBER 12, 2015

UTILITY PLAN-OVERALL

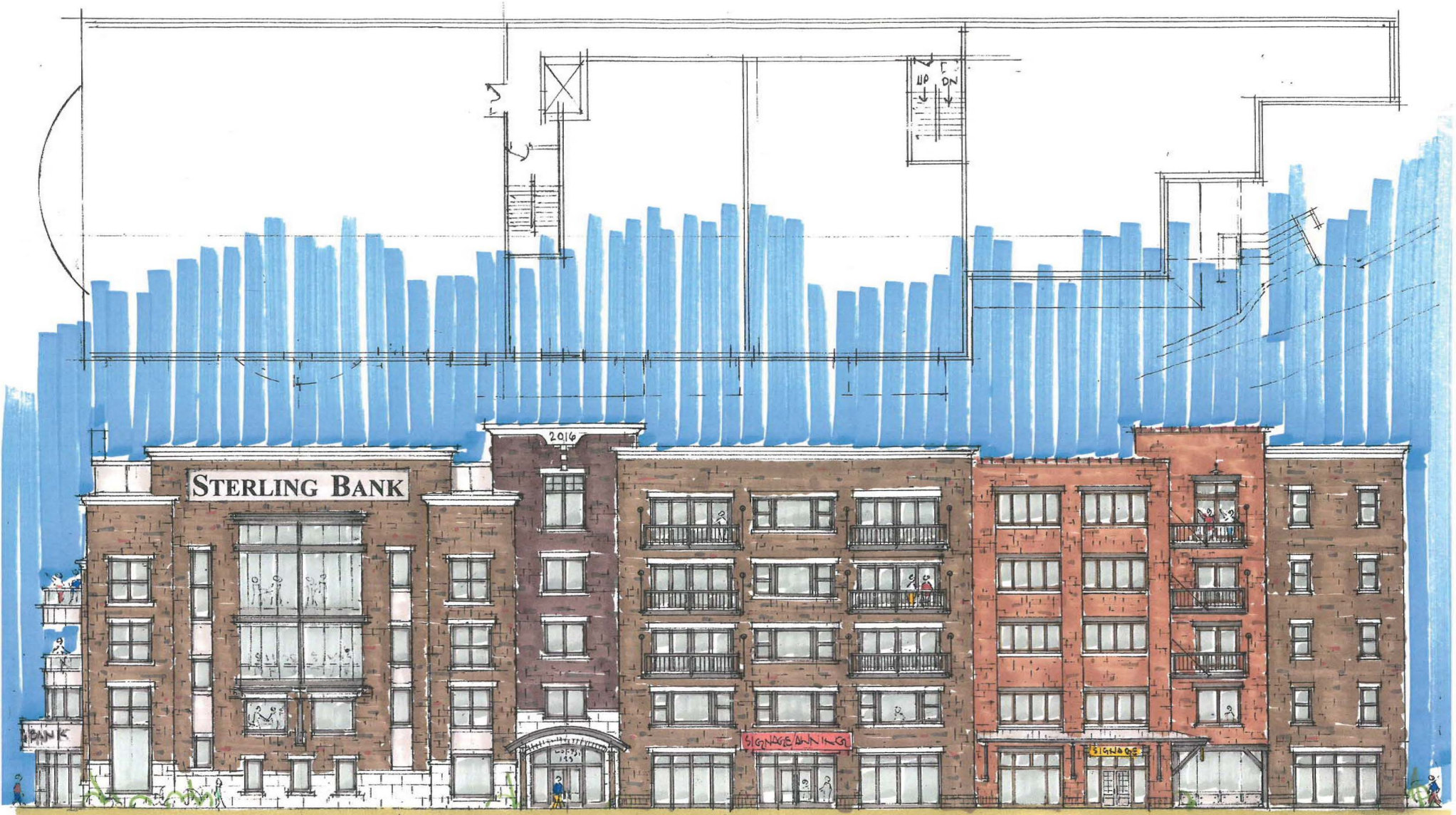
SHEET 4 OF 12

1	6/20/2016	BUILDINGS 2 AND 3
---	-----------	-------------------

Grading	
Mortgage	
Foundation	

Common Address :
Bullder/Client :
Job No. :

COUNTY ENGINEERS INC.		
DESIGN	CONSTRUCTION PERMITS	CONSTRUCTION MANAGEMENT
2202 OARY LANE, GENOA, ILLINOIS 60134		630.364.6976



EAST ELEVATION • BUILDING 3 4.10.10
FIRST STREET DEVELOPMENT II • STERLING BANK • MARSHALL ARCHITECTS
ST. CHARLES • ILLINOIS

A.

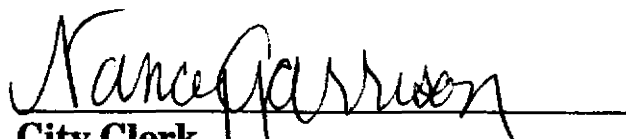
City of St. Charles, Illinois

Ordinance No. 2006-Z-29

**Ordinance Granting Certain Special Use Permits,
Granting Certain Exceptions and Deviations from the
Requirement of the Zoning Ordinance and the
Subdivisions Regulations Granting Preliminary
Planned Unit Development Plan Approval, Granting
Conditional Approval of the Final Plat of Subdivision
for Phase 1 and Related Matters for the "First Street
Redevelopment"**

**Adopted by the
City Council
of the
City of St. Charles
December 4, 2006**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, December 8, 2006**


City Clerk



ORDINANCE NO. 2006-Z-29

AN ORDINANCE GRANTING CERTAIN SPECIAL USE PERMITS, GRANTING CERTAIN EXCEPTIONS AND DEVIATIONS FROM THE REQUIREMENTS OF THE ZONING ORDINANCE AND THE SUBDIVISIONS REGULATIONS, GRANTING PRELIMINARY PLANNED UNIT DEVELOPMENT PLAN APPROVAL, GRANTING CONDITIONAL APPROVAL OF THE FINAL PLAT OF SUBDIVISION FOR PHASE 1 AND RELATED MATTERS FOR THE "FIRST STREET REDEVELOPMENT"

WHEREAS, on or about July 13, 2006, various owners of record and First Street Development, LLC (collectively, the "Applicant"), filed a special use application for a Planned Unit Development and a PUD Preliminary Plan application with the City of St. Charles with respect to the property legally described on Exhibit "A-1", attached hereto and incorporated herein by reference ("Subject Realty"); and,

WHEREAS, on or about August 29, 2006, the City of St. Charles filed a special use application for a drive through facility for Harris Bank with respect to the property legally described on Exhibit "A-2", attached hereto and incorporated herein by reference ("Harris Bank Parcel"); and,

WHEREAS, on or about September 16, 2006, First Street Development, LLC, the City of St. Charles and Daniel C. Lasse filed a Phase 1 Final Plat application with respect to the property legally described on Exhibit "A-3", attached hereto and incorporated herein by reference ("Phase 1 Parcels"); and,

WHEREAS, as a portion of the Subject Realty is located within a designated City Historic Preservation District, the Historic Preservation Commission reviewed the application and provided comments to the Plan Commission on or about September 20, 2006; and,

WHEREAS, Notice of Public Hearing on said applications for a special use for a Planned Unit Development and special use for a drive through facility was published on or about September 2, 2006, in a newspaper having general circulation within the City, to-wit, the *Kane County*

Chronicle newspaper, all as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission of the City of St. Charles conducted a Public Hearing on or about September 19, 2006, and continued said hearing to October 3, 2006, all as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said application and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission made the required Findings of Fact and recommended approval of the application on or about October 17, 2006; and,

WHEREAS, the City Planning and Development Committee recommended approval of the application on or about November 1, 2006; and

WHEREAS, the City Council received the recommendation of the Historic Preservation Commission, the Plan Commission and the Planning and Development Committee, and has considered same; and,

WHEREAS, all other public hearings required by law have been conducted, in all respects conforming to law and pursuant to notice duly given in accordance with law.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, as follows:

SECTION ONE: The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as if fully set out in this Section One.

SECTION TWO: That there is hereby granted with respect to the Subject Realty a special use for a Planned Unit Development and the Preliminary PUD Plan, as outlined in Section 6(B) hereof, is hereby approved. In connection with such approval, and based upon the application and

the evidence presented at the public hearing, the City Council hereby finds that the PUD is in the public interest and adopts the Findings of Fact set forth on Exhibit "B" attached hereto and incorporated herein.

SECTION THREE: That there are hereby granted certain exceptions and deviations from the provisions of the City's Zoning Ordinance and Subdivision Regulations, as set forth on Exhibit "C" attached hereto and made a part hereof. In connection with such approval, the City Council hereby finds that said exceptions and deviations satisfy the standards of the City's Zoning Ordinance applicable to special uses and planned unit developments.

SECTION FOUR: That there is hereby granted to the Harris Bank Parcel a special use for a drive through facility associated with a bank. In connection with such approval, the City Council hereby finds that said special use will conform to each of the standards set forth in the Findings of Fact adopted by the Plan Commission, attached hereto as Exhibit "D".

SECTION FIVE: That there is hereby granted a Conditional Approval of the final subdivision plat for the Phase 1 Parcels of the First Street Redevelopment Subdivision, as prepared by Marchese and Sons, Inc., consisting of two (2) sheet(s) and dated October 12, 2006, subject to compliance of the following conditions:

- a) Submittal of a copy of the Illinois Environmental Protection Agency permits for the water main and sanitary sewer installation as required by the provisions of Chapter 16.12 (Section 16.12.190) of the St. Charles Municipal Code.
- b) Approval from Illinois Department of Transportation

SECTION SIX: That the relief granted in Sections Two, Three, Four and Five is expressly conditioned upon the Subject Realty at all times being constructed, used, operated and maintained in accordance with the following terms, conditions and provisions:

(A) Only the following uses, as defined in the City's Zoning Ordinance, shall be permitted on the first floor of enclosed buildings located on the Subject Realty: Art Gallery/Studio, Coffee or Tea Room, Cultural Facility, Indoor Recreation and Amusement, Live Entertainment, Personal Services, Restaurant, Retail Sales, Tavern/Bar, Theater, Local Utility and Accessory Uses to the preceding uses. In addition, the following uses, as defined in the City's Zoning Ordinance, shall be permitted on the first floor of buildings 7A, 7B and the Blue Goose, as shown on the Preliminary PUD Plan: Bank and Financial Institution.

Notwithstanding the foregoing, the following uses shall occupy no more than 25% of the gross leasable floor area on the first floor of the buildings located on the Subject Realty, exclusive of ground floor parking areas and the Blue Goose: Cultural Facility, Indoor Recreation and Amusement, Personal Services, Theater, Local Utility, Bank, Financial Institution. The 25% limitation shall be calculated on a cumulative basis among all of the buildings located on the Subject Realty, excluding ground floor parking areas and the Blue Goose.

(B) That all construction, use, development and maintenance of the Subject Realty be substantially in accordance with the following documents which are on file with the City, subject to compliance with such conditions, corrections and modifications as may be required by the Director of Community Development and Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

1. Engineering Plans, as prepared by K-Plus Engineering, consisting of twelve (12) pages and dated November 13, 2006.
2. Streetscape Plan, as prepared by DLK Civic Design, consisting of twenty (20) pages, and bearing various dates between September, 2006 and November 14, 2006.
3. Building plans and elevations for Buildings 1, 2 & 3, as prepared by Knauer Incorporated, Job No. 2633, consisting of twenty three (23) pages, and bearing various dates.
4. Building plans and elevations for Building 4, as prepared by Knauer Incorporated, Job No. 2633, consisting of twenty one (21) pages, and bearing various dates.
5. Building plans and elevations for Building 6, as prepared by Knauer Incorporated, Job No. 2633, consisting of fourteen (14) pages, and bearing various dates.
6. Building plans and elevations for Buildings 7a and 7b, as prepared by Knauer Incorporated, Job No. 2633, consisting of fifteen (15) pages, and bearing various dates.
7. Building plans and elevations for Building 8, as prepared by Knauer Incorporated, Job No. 2633, consisting of seven (7) pages, and bearing various dates.

8. Building plans and elevations for Building 9, as prepared by Dan Marshall Architects, consisting of nine (9) pages, and dated on or about August 25, 2006.
9. Building plans and elevations for Building 10, as prepared by Design Services Group, Job No. 02636-0, consisting of four (4) pages, and dated November 10, 2006.
10. The First Street Redevelopment Tenant Design Criteria consisting of twenty (20) pages.
11. The First Street Downtown Redevelopment Development Data, dated November 15, 2006, attached hereto and incorporated herein as Exhibit "E".

(C) The Applicant and its successors and assigns shall be and remain in compliance with the terms and provisions of the Redevelopment Agreement (First Street Project) dated December 4, 2006 (the "Development Agreement"), entered into between the City and the Applicant. To the extent of any conflict between the provisions of this Ordinance and the provisions of the Development Agreement, the provisions of this Ordinance shall prevail.

(D) Prior to the issuance of building permits for any of the buildings located within the Historic Preservation District, a Certificate of Appropriateness by the Historic Preservation Commission be obtained.

(E) The Applicant shall provide necessary building, interior space, elevator capacity, conduit and funding to install and maintain electric transformers and other equipment within and to serve buildings 1, 2, 3 and 9, as shown on the Preliminary PUD Plan. Electric meters shall be located so that 24 hour access is provided for the City, but electric meters shall not be visible from public streets, public plazas, or the Fox River. Determination as to whether the locations and access for electric meters and transformers is acceptable shall be made by the Director of Public Works.

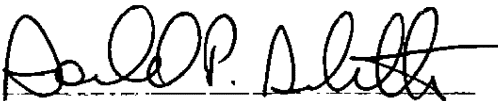
SECTION SEVEN: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

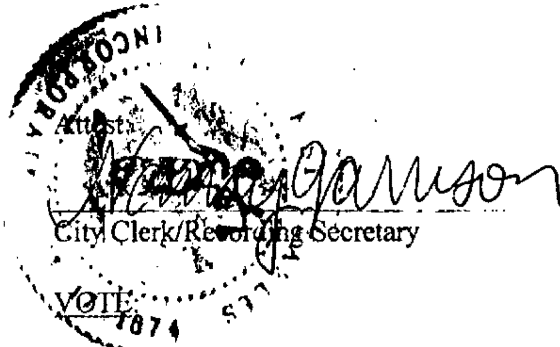
SECTION EIGHT: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 4 day of December, 2006.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois
this 4 day of December, 2006.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois
this 4 day of December, 2006.


Donald P. DeWitte, Mayor



AYES: 10
NAYS: 0
ABSENT:
ABSTAIN:

EXHIBIT "B"

FINDINGS OF FACT REGARDING THE PUD

A. The proposed PUD advances the purposes of the Planned Unit Development procedure.

The proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements. These benefits include:

1. A coordinated, comprehensive design for redevelopment of the area rather than a piecemeal approach
2. Two parking decks providing additional public parking for existing and new businesses
3. Reconstructed public utilities and elimination of overhead electric lines
4. A well designed bi-level river walk
5. Opportunity for outdoor dining for enjoyment of the riverfront
6. Streetscape improvements to create a pedestrian friendly environment
7. Public Plazas provide a gathering place that promotes social interaction
8. Opportunities for placement of public art
9. 16 units of affordable rental housing
10. A variety of high quality retail space to expand the available tenant mix
11. High quality office space to facilitate employment opportunities
12. Unique housing that helps to foster a 24 hour downtown

B. The proposed PUD Preliminary Plans conform to the applicable Design Review Standards (Chapter 17.06).

The proposed special use meets the applicable design review standards, except for the deviations being requested. Avoiding these deviations, including maximum building height and maximum floor area per building, would be impractical because it would impact the economic viability of the project. The standard ordinance requirements are intended to regulate developments that are not subject to the PUD review process. In this instance, building architecture and other positive design elements/public benefits of the plan can be used to justify the need for the planned unit development and the proposed deviations.

C. The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330).

Public Convenience: The Special Use will serve the public convenience at the proposed location;

Over the past 15 years, the City and the community have engaged in a series of studies, plans, improvement projects, organizational efforts, and programs to revitalize downtown St. Charles. The project area is mostly vacant, is in need of redevelopment, and in its present condition does not meet the goals of the Comprehensive Plan or the various

revitalization efforts. Granting the special use for the PUD will enable the property to be redeveloped, which in turn will help realize the goal of revitalizing downtown St. Charles.

The proposed pedestrian oriented, mixed use development will host a variety of uses that will complement the downtown area and provide new shopping, dining, working, and living opportunities. Therefore, the public convenience will be served by the proposed development.

Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided;

Infrastructure improvements planned along the First Street corridor include new water and sanitary sewer mains, new storm sewers, and new underground electric utility installations. First Street will be completely reconstructed, its right of way width will be increased from 60 to 80 feet (for the most part), and the street will include angle parking as well as public sidewalks and streetscape enhancements. Traffic improvements include reconfiguration and realignment of First Street at Main Street, and improvements to IL 31. A traffic study was conducted, and it recommends various improvements to minimize the traffic impact of the project.

Any development of this site that generates traffic will add somewhat to existing traffic congestion, but leaving the area undeveloped is not an appropriate option. Congestion may result in additional delays, but is not projected to be a safety issue.

Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood;

The proposed development will provide amenities, including the public plaza and parking, which will enhance the usability of existing development along Main Street, including the buildings on the south side of Main, west of First Street and the Hotel Baker. The residential and office components will bring potential customers for existing retail establishments and other uses. The project is expected to have a positive impact on the use and enjoyment of surrounding properties and is expected to enhance property values.

Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The surrounding properties are already developed, and the proposed uses are compatible with the mix of uses in the surrounding area. The proposed redevelopment could be a catalyst in coming years for more redevelopment to occur.

Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The proposed redevelopment will be a very significant component of the revitalization of downtown St. Charles and therefore will benefit the entire community. It will serve as a catalyst for other redevelopment opportunities within downtown, while supporting and complementing existing businesses. The existing infrastructure is old and will be upgraded. The project will also provide new public and private options for enjoying the river and the downtown area. In other words, the project will not be detrimental to or endanger the public health, safety, comfort or general welfare, but will instead have a positive impact.

D. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The proposed PUD will be beneficial to the physical development, diversity, tax base, and economic well-being of the City.

The proposed redevelopment will draw more people of all ages and backgrounds to downtown in offering some unique opportunities for shopping, restaurants, working, and living, thereby expanding the City's tax base. The project will also enable the enlargement of the Blue Goose market - a key element in the downtown area and the community. As such, the proposed PUD will be beneficial to the physical development, diversity, tax base, and economic well-being of the City.

E. The PUD conforms to the purposes and intent of the Comprehensive Plan.

The 2000 Downtown Strategy Plan establishes goals for development within downtown. The PUD plan supports the goal of creating a streetscape focused on pedestrian activity – it advances patterns of development that support the community's vision of a mixed use walkable district. The integration of parking structures in the plan furthers the goal of creating a strong pedestrian environment.

F. The proposed PUD conforms to all existing Federal, State and local legislation and regulation.

The proposed PUD will conform to all Federal, State and local legislation and regulation with the exception of the deviations being requested to the St. Charles City Code and the relief requested to the Flood Protection Elevation for Bldgs 1, 2, 3 and 4 adjacent to the Fox River floodplain.

The regulation requires the floodplain protection elevation to be three feet for areas adjacent to the Fox River. The relief sought is to lower the FPE to the 500 year flood elevation. This elevation is still above the 2 foot FPE that is required on every other floodplain in the County. The variance is necessary to have the proposed buildings relate to the existing roadways and other adjacent buildings, in order to create a pedestrian oriented district.

EXHIBIT "C"

**EXCEPTIONS AND DEVIATIONS FROM THE ZONING ORDINANCE AND
SUBDIVISION REGULATIONS**

a) DEVIATIONS FROM ZONING ORDINANCE:

PROVISION	ORDINANCE REQUIREMENT	DEVIATION GRANTED
Maximum floor area per building	Table 17.14-2 - 40,000 SF per building	Bldg 1 – 85,422 SF Bldg 2 – 47,128 SF, plus 90,000 SF parking garage Bldg 3 - 55,650 SF Bldg 4 – 55,717 SF building area plus 169,744 SF parking garage Bldg 6- 70,351 SF
Parking lot setbacks	Table 17.14-2 - Minimum 5 feet setback where a surface parking lot adjoins a street	The angled parking spaces south of Bldg 7A have a zero setback off of First Street. The parking lot north of Bldg 7B has a four foot setback.
Maximum Building Height	Table 17.14-2 - 50 feet	Bldg 1 – 71 feet Bldg 2 – 68 feet Bldg 3 – 69 feet Bldg 4 – 55 feet Bldg 6 – 55 feet
Off-street parking spaces	Table 17.24-3 - 300 spaces required for area outside SSA boundary	Deviation required for 180 spaces for area outside the SSA boundary. Total number of off-street parking spaces provided per plan on Subject Realty: 830 spaces

Minimum dimensions of parking spaces for grocery	Section 17.24.070(B) - Minimum 9.5' wide spaces required for grocery stores	The proposed spaces for Blue Goose are 9 feet wide
Residential parking location	Section 17.24.060(B) - Required parking facilities accessory to uses in CBD-1 and CBD-2 Districts may be located on same lot, or on a different lot within 200 feet walking distance for residential uses	Residential units in Bldg 7A do not have parking on the same lot
Non-Residential parking location	Section 17.24.060(B) - Required parking facilities accessory to uses in CDB-1 and CBD-2 Districts may be located on same lot, or on a different lot within 500 feet walking distance for non-residential uses	Non-residential uses in Bldgs 7A and 7B do not meet this requirement
Design standards and guidelines – Location of surface parking lots	Section 17.06.040(2a) - Surface parking lots shall not be located between buildings and the street, but may instead be located behind or beside buildings	The parking lots east of the Blue Goose building and west of Bldg 6 are located adjacent to streets

b) DEVIATION FROM TITLE 16 (SUBDIVISION AND LAND IMPROVEMENTS)

1) To allow the pavement width of a public street to be reduced from 33 ft (back of curb width) to 20 ft (edge of pavement width) and for the parking stall depth for the angled on-street parking spaces to be 14.5 ft instead of 16 ft.

2) To exempt the 16 affordable housing units in Building 7A (as more fully described in the Development Agreement) from the requirements regarding land/cash dedication to school and parks.

City of St. Charles, Illinois

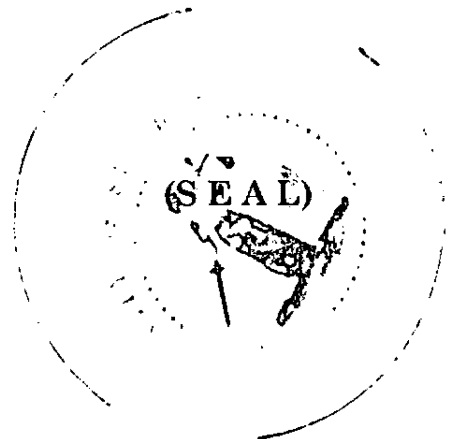
Ordinance No. 2008-Z-22

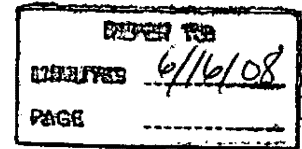
**An Ordinance Granting the First Amendment to Special
Use PUD Ordinance 2006-Z-29 and Revised PUD
Preliminary Plan Approval (First Street Redevelopment
PUD)**

**Adopted by the
City Council
of the
City of St. Charles
June 16, 2008**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, June 20, 2008**

Nancy Garrison
City Clerk





ORDINANCE NO. 2008-Z-22

**PRESENTED AND PASSED BY THE
CITY COUNCIL ON** June 16, 2008

**AN ORDINANCE GRANTING THE FIRST AMENDMENT TO SPECIAL
USE PUD ORDINANCE 2006-Z-29
AND REVISED PUD PRELIMINARY PLAN APPROVAL
(First Street Redevelopment PUD)**

WHEREAS, petitions to amend Special Use Ordinance 2006-Z-29 entitled " Ordinance Granting Certain Special Use Permits, granting certain exceptions and deviations from the requirements of the Zoning Ordinance and the Subdivision regulations, Granting Preliminary PUD plan approval, granting Conditional approval of the final plat of subdivision for Phase 1 and related matters for the First street Redevelopment" and approval of revised PUD Preliminary Plans for the real estate legally described in **Exhibit "I"** attached hereto (hereinafter referred to as "SUBJECT REALTY") has been filed by First Street Development, L.L.C.("APPLICANT"); and,

WHEREAS, Notice of Public Hearing on said applications for the Special Use Amendment was published on or about December 1, 2007, in a newspaper having general circulation within the City, to-wit, the Kane County Chronicle newspaper, all as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission of the City of St. Charles conducted a Public Hearing on or about December 18, 2007, all as required by the statutes of the State of Illinois and the ordinances of the City; and

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said application and all interested parties had an opportunity to be heard; and,

WHEREAS, the Subject Realty is located within a designated City Historic Preservation District, and the Historic Preservation Commission reviewed the application provided its recommendations (Resolution 10-2007) to the Plan Commission;

WHEREAS, the Plan Commission made the required Findings of Fact and recommended approval of the petitions on January 8, 2008 as per Plan Commission Resolution 1-2008; and

WHEREAS, the Planning and Development Committee recommended approval of the petitions on January 14, 2008, based on the Findings of Fact attached herein as “**Exhibit II**”; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and the Planning and Development Committee and has considered the same; and,

WHEREAS, an Application for a Minor Change to a PUD, including but not limited to changes to the description of the PUD Preliminary Plans in Exhibit “E” to Ordinance 2006-Z-9, was filed by the APPLICANT on June 9, 2008;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

SECTION 1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as if fully set out in this Section One.

SECTION 2. That Ordinance 2006-Z-29 is hereby amended by deleting the provisions of Exhibit “C” entitled “ Exceptions and Deviations from the Zoning Ordinance and Subdivision Regulations” and Exhibit “E” entitled “First Street Downtown Redevelopment Development Data” in their entirety, and by substituting, respectively, the provisions of Revised Exhibit “C” and Revised Exhibit “E” attached hereto and incorporated herein. In connection with such approval, and based upon the applications and the evidence presented at the public hearing, the City Council hereby finds that the Special Use Amendment and the PUD Preliminary Plan are in the public interest and adopts the Findings of Fact set forth in Exhibit II, attached hereto and incorporated herein. The City Council also finds that the additional changes in Exhibit “E” requested in the Application for a Minor Change to a PUD submitted on June 9, 2008 constitute a minor change to the PUD Preliminary Plans, and are approved as part of Revised Exhibit “E”.

SECTION 3. That approval is hereby granted for the Revised Preliminary Plan with respect to Buildings 1, 2 and 3 attached hereto and incorporated herein as **Exhibit “III”** including the following documents:

- ❑ Floor plans and Architectural Elevations/sections for Building 1 (6 sheets) prepared by Knauer Inc. dated 12/5/07
- ❑ Floor Plans and Architectural Elevations/sections for Buildings 2 and 3 (9 sheets) prepared by Knauer Inc. dated 10/12/07

Buildings 1, 2 and 3 shall be developed only in accordance with the Revised Preliminary Plan and in accordance with all ordinances of the City as now in effect or hereafter amended.

SECTION 4. That this Ordinance shall become effective from and after its passage and approval in accordance with law.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 16 day of June, 2008.

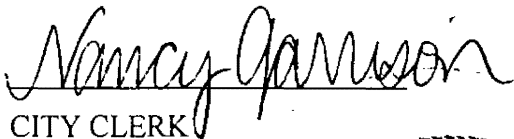
PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 16 day of June, 2008.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 16 day of June, 2008.



MAYOR Donald P. DeWitte

ATTEST:



CITY CLERK

COUNCIL VOTE:

AYES: 8

NAYS: 0

ABSENT: 2



“EXHIBIT II”

FINDINGS OF FACT FOR AMENDMENT TO SPECIAL USE FOR A PUD

Section A: Findings to determine whether the proposed PUD is in the public interest:

1. The proposed PUD advances the purposes of the Planned Unit Development procedure (Section 17.04.400 A through G):

- A. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.*

The proposed penthouses and duplex residential units will provide a unique housing opportunity.

- B. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.*

Not applicable to the PUD amendment.

- C. To encourage a harmonious mix of land uses and a variety of housing types and prices*

Both the Riverloft and River Terrace buildings have mixed uses (office, retail and residential); the condominiums are designed to cater to individual needs and offer variety.

- D. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.*

Not applicable to the PUD amendment.

- E. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.*

The infrastructure has been planned and is being constructed as part of the entire First Street redevelopment project.

- F. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.*

First Street PUD is a redevelopment project of an underutilized area in downtown.

- G. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community*

The First St project is a collaborative effort between several property owners including the City. Public hearings and meetings have been held to obtain public input.

2. The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330):

A. Public Convenience: The special Use will serve the public convenience at the proposed location.

The amendment to the PUD involves a request to allow for additional building floor area. An additional level is being proposed to the Riverloft parking deck that contributes to the increase in the allowable floor area. Additional public parking can serve the public convenience through the amendment to the PUD.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The access roads, drainage and utility layouts remain unchanged from the original PUD plan. Some internal reconfiguration has occurred within the building for electric and mechanical utility spaces which has partially triggered the amendment to the PUD for an increase in the overall building floor area.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The overall building footprint and the uses for Bldgs 1, 2 and 3 will remain unchanged from the original PUD plan. The additional building height is in locations which are setback from the outer edges of the buildings. The amendment to the PUD will therefore, not be injurious to the use and enjoyment of other properties in the immediate vicinity, nor substantially diminish property values within the neighborhood.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The surrounding properties are part of the First Street redevelopment project. Proposed changes to Bldgs 1,2 and 3 thru the amendment to the PUD will essentially be within the same building footprint that was approved with the PUD.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The requested amendment to the PUD will not be detrimental to the public health, safety, comfort or general welfare. The amendment allows for a variety in the types of housing opportunities and provides additional parking for the First Street project.

- F. Design Review: That the proposed Special Use meets or exceeds the applicable Design Review Standards of Chapter 17.06 and other applicable provisions of this Title.*

The changes to Bldgs 1, 2 and 3 will conform with all applicable standards and codes other than the requested deviations to building floor area and building height.

3. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well being of the City.

The changes to the residential units in Bldgs 1, 2 and 3 are being proposed to make the units more marketable, which in turn will contribute to the overall success of the project.

4. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The amendment to the PUD does not change or modify the originally approved land uses for the property.

5. The proposed PUD conforms to all existing Federal, State and local legislation and regulation.

The proposed amendment to the PUD complies with all applicable regulations other than the deviations being requested.

Section B: Determining whether the proposed relief from ordinance requirements is justified:

The relief from the requirements of the underlying zoning district is justified because:

_____ Conforming to the requirements would inhibit creative design that serves community goals, or

_____ Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

Factors to be considered in this determination shall include, but are not limited to the following:

- A. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.*

The 2006 PUD and approved preliminary plan included public plazas, a riverwalk and a unique streetscape design for the public realm – amenities that would serve the needs of the community. The amendment to the PUD does not change the approved plan. Additional parking is being proposed thru the amendment to the PUD.

- B. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.*

The amendment to the PUD does not change any of the open spaces that were approved with the original PUD.

- C. The PUD will provide superior landscaping, buffering or screening.*

Not applicable to the amendment to the PUD.

- D. The buildings within the PUD offer high quality architectural design.*

The original concept for the building architecture remains the same for Bldgs 1,2 and 3. The proposed changes add more modulation and interest to the original design.

- E. The PUD provides for energy efficient building and site design.*

Not applicable to the amendment to the PUD.

- F. The PUD provides for the use of innovative stormwater management techniques.*

Not applicable to the amendment to the PUD. No changes are contemplated from the original PUD.

- G. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.*

The dwelling units are all being designed to comply with all applicable codes. Plans will be reviewed in relation to issuance of building permits to confirm compliance.

- H. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.*

Not applicable to the amendment to the PUD. 16 affordable units have already been provided in Bldg 7A as part of the First Street project.

I. The PUD preserves historic buildings, sites or neighborhoods

Not applicable to the amendment to the PUD.

REVISED EXHIBIT "C"

**EXCEPTIONS AND DEVIATIONS FROM THE ZONING ORDINANCE AND
SUBDIVISION REGULATIONS**

a) DEVIATIONS FROM ZONING ORDINANCE:

PROVISION	ORDINANCE REQUIREMENT	DEVIATION GRANTED
Maximum floor area per building	Table 17.14-2 - 40,000 SF per building	Bldg 1 – 89,196 SF Bldgs 2 & 3 – 123,276 SF plus 117,602 SF parking garage Bldg 4 – 55,717 SF building area plus 169,744 SF parking garage Bldg 6 - 70,351 SF
Parking lot setbacks	Table 17.14-2 - Minimum 5 feet setback where a surface parking lot adjoins a street	The angled parking spaces south of Bldg 7A have a zero setback off of First Street. The parking lot north of Bldg 7B has a four foot setback.
Maximum Building Height	Table 17.14-2 - 50 feet	Bldg 1 – 75 feet Bldg 2 – 74 feet Bldg 3 – 74 feet Bldg 4 – 55 feet Bldg 6 – 55 feet
Off-street parking spaces	Table 17.24-3 - 300 spaces required for area outside SSA boundary	Deviation required for 180 spaces for area outside the SSA boundary. Total number of off-street parking spaces provided per plan on Subject Realty: 852 spaces
Minimum dimensions of parking spaces for grocery	Section 17.24.070(B) - Minimum 9.5' wide spaces required for grocery stores	The proposed spaces for Blue Goose are 9 feet wide
Residential parking location	Section 17.24.060(B) - Required parking facilities accessory to uses in CBD-1 and CBD-2 Districts may be located on same lot, or on a different lot within 200 feet walking distance for residential uses	Residential units in Bldg 7A do not have parking on the same lot
Non-Residential parking location	Section 17.24.060(B) - Required parking facilities accessory to uses in CDB-1 and CBD-2 Districts may be located on same lot, or on a different lot within 500 feet	Non-residential uses in Bldgs 7A and 7B do not meet this requirement

	walking distance for non-residential uses	
Design standards and guidelines – Location of surface parking lots	Section 17.06.040(2a) - Surface parking lots shall not be located between buildings and the street, but may instead be located behind or beside buildings	The parking lots east of the Blue Goose building and west of Bldg 6 are located adjacent to streets

b) DEVIATION FROM TITLE 16 (SUBDIVISION AND LAND IMPROVEMENTS)

1) To allow the pavement width of a public street to be reduced from 33 ft (back of curb width) to 20 ft (edge of pavement width) and for the parking stall depth for the angled on-street parking spaces to be 14.5 ft instead of 16 ft.

2) To exempt the 16 affordable housing units in Building 7A (as more fully described in the Development Agreement) from the requirements regarding land/cash dedication to school and parks.

REVISED EXHIBIT "E"
FIRST STREET DOWNTOWN REDEVELOPMENT
ST. CHARLES, ILLINOIS
DEVELOPMENT DATA

BUILDING No.	TYPE	FLOOR LEVEL	AREA/UNITS
<u>River Terrace Building 1</u>	Retail	1 st Level	20,056 S.F.
	Non-residential*	2 nd Level	20,196 S.F.
	Residential	3 rd Level	17,690 S.F.
	(6 units)		
	Residential	4 th Level	15,392 S.F.
	(6 units)		
	Residential	5 th Level	13,664 S.F.
	(4 units)		
	Penthouses	5 TH mezzanine	2,198 SF
<u>Total bldg area</u>			<u>89,196 S.F.</u>

<u>River Loft Buildings 2 And 3</u>	Retail	1 st Level	20,318 S.F.
	Non-residential*	2 nd level	12,396 S.F.
	Residential	2 nd Level	11,423 S.F.
	(4- 2 Bedroom)		
	(1-3 bedroom)		
	Residential	3 rd Level	23,907 S.F.
	(2-1 Bedroom)		
	(8-2 Bedroom)		
	(3-3 bedroom)		
	Residential	4 th Level	23,095 S.F.
	(2-1 Bedroom)		
	(9-2 Bedroom)		
	(2-3 bedroom)		
	Residential	5 th Level/ mezzanine	32,137 S. F.
	(6-1 bedroom)		
	(7-2 bedroom)		
	(1-4 bedroom)		
<u>Total building area</u>			<u>123,276 S.F.</u>

Riverloft (Buildings 2 and 3) Parking Garage

Parking	1 st level	21,778 SF	35 spaces
Parking	2 nd level	8,712 SF	22 spaces
Parking	3 rd level	21,778 SF	57 spaces
Parking	4 th level	21,778 SF	57 spaces
Parking	5 th level	21,778 SF	57 spaces
Parking	6 th level	21,778 SF	41 spaces
Total		117,602 SF	269 spaces

<u>Building 4</u>	Retail	1 st level	25,112 SF
	Non-residential*	2 nd level	30,273 SF
Total			55,385 SF

Building 4 Parking Garage

Parking	1 st Level	19,304 SF /45 spaces
Parking	2 nd Level	22,881 SF/52 spaces
Parking	3 rd Level	22,881 SF/50 Spaces
Parking	4 th Level	52,339 SF/140 spaces
Parking	5 th Level	52,339 SF/143 Spaces
Total		169,744 SF/ 429 spaces

<u>Building 6</u>	Parking	Below Grade Level	35 Spaces
	Retail	1 st Level	13,753 S.F.
	Non-residential*	2 nd Level	18,866 S.F.
	Residential	3 rd Level	18,866 S.F.
	(4 – 1 Bedroom)		
	(7 – 2 Bedroom)		
	Residential	4 th Level	18,866 S.F.
	(4 – 1 Bedroom)		
	(7 – 2 Bedroom)		
Total			70,351 S.F.

<u>Building 7A</u>	Retail	1 st Level	6,391 S.F.
	Apartments (8 -1 Bedroom)	2 nd Level	6,512 S.F.
	Apartments (8 -1 Bedroom)	3 rd Level	6,512 S.F.
	<u>Total</u>		<u>19,415 S.F.</u>

<u>Building 7B</u>	Retail	1 st Level	6,327 S.F.
	Non-residential*	2 nd Level	6,572 S.F.
	Office	3 rd Level	6,540 S.F.
	<u>Total</u>		<u>19,439 S.F.</u>

<u>Building 8</u>	Retail	1 st Level	4,387 S.F.
	Non-residential*	2 nd Level	4,660 S.F.
	Office	3 rd Level	4,660 S.F.
	<u>Total</u>		<u>13,707 S.F.</u>

Building 9

		Basement	5,987 SF
	Restaurant	1 st level	5,826 SF
	Office	2 nd level	5,943 SF
	Office	3 rd level	5,943 SF
	Office	4 th level	5,943 SF
<u>Total</u>			<u>29,636 SF</u>

Blue Goose

	Retail	1 st level	30,508 SF
	Office	Mezzanine	5,778 SF
<u>Total</u>			<u>36,286 SF</u>

*Includes the non-residential uses allowed in the CBD-1 Central Business District; any use classified as a special use in Table 17.14-1 requires the granting of a Special Use.

City of St. Charles, Illinois

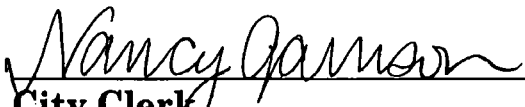
Refer to:	3-2-2015
Minutes	
Page	

Ordinance No. 2015-Z-5

**Motion to Approve an Ordinance Granting Approval of
a PUD Preliminary Plan for a portion of Phase 3 of the
First Street Redevelopment PUD (Buildings 1, 2, 3 and
Parking Deck).**

**Adopted by the
City Council
of the
City of St. Charles
March 2, 2015**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, March 6, 2015**



City Clerk



(SEAL)

City of St. Charles, Illinois
Ordinance No. 2015-Z-5

**An Ordinance Granting Approval of a PUD Preliminary Plan for a portion of
Phase 3 of the First Street Redevelopment PUD
(Buildings 1, 2, 3 and Parking Deck)**

WHEREAS, an application has been filed for PUD Preliminary Plan for a portion of Phase 3 of the First Street Redevelopment PUD, said realty being legally described on Exhibit "A" attached hereto and incorporated herein (the "Subject Realty"); and,

WHEREAS, said application was filed with the City on or about November 3, 2014, by First Street Development II, L.L.C. ("Applicant") and authorized by the record owner of the Subject Realty, the City of St. Charles ("Record Owner"); and,

WHEREAS, the Historic Preservation Commission recommended approval of the PUD Preliminary Plan on or about November 19, 2014; and,

WHEREAS, the Plan Commission recommended approval of the PUD Preliminary Plan on or about December 16, 2014; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of the PUD Preliminary Plan on or about February 17, 2015; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit "B", such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Development Data, dated February 27, 2015
- Specifications for the Proposed Parking Deck, dated February 27, 2015
- Preliminary Engineering Plans titled "1st Street Phase 3", prepared by County Engineers, Inc., dated January 28, 2015 and February 16, 2015

- Building Architectural Elevations for Building 1, Building 2, and the Parking Deck prepared by Marshall Architects, dated February 2, 2015.

3. Preliminary Plans shall be submitted for review by the Historic Preservation Commission and Plan Commission and approval by the City Council for the following:

- Streetscape Improvements for First and Illinois Streets.
- Building Architectural Elevations for Building #3.
- Riverwalk Improvements along the Fox River frontage.
- Plaza area north of Building #2

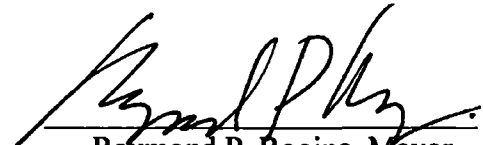
4. That the subject property may be developed and used only in accordance with all ordinances of the City now in effect or hereafter amended or enacted.

5. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 2nd day of March, 2015.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 2nd day of March, 2015.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 2nd day of March, 2015.


Raymond P. Rogina, Mayor

Attest:


Nancy Garrison, City Clerk

Vote: ☒
Ayes: ☐
Nays: ☐
Absent: ☐
Abstain: ☐
Date: _____



APPROVED AS TO FORM:

City Attorney

DATE: _____

EXHIBIT "A"

LEGAL DESCRIPTION

Lots 3, 4, 5 11 and 12 in the Phase III First Street Redevelopment Subdivision, according to the plat thereof recorded as Document No. 2008K089916, in the City of St. Charles, Kane County, Illinois.

EXHIBIT "B"

PUD PRELIMINARY PLAN

- Development Data, dated February 27, 2015
- Specifications for the Proposed Parking Deck, dated February 27, 2015
- Preliminary Engineering Plans titled "1st Street Phase 3", prepared by County Engineers, Inc., dated January 28, 2015 and February 16, 2015
- Building Architectural Elevations for Building 1, Building 2, and the Parking Deck prepared by Marshall Architects, dated February 2, 2015.

FIRST STREET PHASE 3 DEVELOPMENT DATA
2/27/15

Building No.	Type	Floor Level	Area/Units
Building 1	Parking	Basement	27 spaces
	Retail/Commercial	1 st level	11,865 sf
	Office	2 nd level	11,865 sf
	Office	3 rd level	11,865 sf
	Office	4 th level	11,865 sf
<u>Total Building area</u>			<u>47,460 sf</u>
Building 2	Parking	Basement	27 spaces
	Retail/Commercial	1 st level	11,898 sf
	Residential	2 nd level	12,000 sf
	Residential	3 rd level	12,000 sf
	Residential	4 th level	12,000 sf
Total Residential (12 Studio, 12 1-Bedroom, 12 2-Bedroom)			36 units
<u>Total Building area</u>			<u>47,898 sf</u>
Building 3	Parking	Basement	25 spaces
	Retail/Commercial	1 st level	11,966 sf
	Residential	2 nd level	11,966 sf
	Residential	3 rd level	11,966 sf
	Residential	4 th level	11,966 sf
	Residential	5 th level	11,966 sf
Total Residential (8 1-Bedroom, 16 2-Bedroom, 8 3-Bedroom)			32 units
<u>Total Building area</u>			<u>59,830 sf</u>
Parking Deck			
	Parking	1 st level	57 spaces
	Parking	2 nd level	53 spaces
<u>Total Parking Count</u>			<u>110 spaces</u>

SPECIFICATIONS FOR PROPOSED PARKING DECK

2/27/15

Revised 3/2/15

1. The proposed parking structure will be designed, constructed and considered as an "open air" parking structure as defined per building codes. Therefore, the following systems are not contemplated: Fire alarm, ventilation/vapor intrusion, drainage into the sanitary system/sand oil separator for the lower level of the deck, and no mechanical/electrical room is included in the plans.
2. Fire Sprinkler System: For an open deck, Installation of a dry type I standpipe system with a minimum of 2 hose stations located on each level of the parking structure. The fire department connection would be located near the Illinois St. entrance.
3. 8 feet of vertical clearance is required within the parking garages which includes the parking areas below buildings 1, 2, 3 and the open parking garage.
4. Larger double tee precast designed to accommodate the loads induced by the City's Fire Department ladder truck shall be located generally in the area approximately 62' east of the ramp from First Street and approximately 28' wide centered on the centerline of the ramp.
5. 3" concrete topping (broom finish and wet cured) over larger double tees included.
6. Control joints with sealant over each precast piece joint and the application of a silane sealer over the entire upper level surface.
7. Sealing and caulking for all precast joints is included.
8. Confirmation the proposed deck can handle anticipated snow loadings and snow removal operations as described:

It is thought that the 6-wheel dump would be backed up the ramp and parked in the middle (Area where the ladder truck was anticipated to sit) and then the other equipment would be used to push and load snow at the same time. It would be conceivable for at least the 6-wheeler, Wheel Loader and Backhoe to be up there at one time working.

Equipment	Operating Weight (lbs)	Contact Area Front (Sqi)	Contact Area Back (Sqi)	Total Contact Area (Sqi)	Ground Pressure per Contact (psi)
JD 544k Wheel Loader	28660	468	468	936.00	30.62
JD 410k Backhoe	16500	260	468	728.00	22.66
Case 410 Skid Steer (with bucket)	6200	189	189	378.00	16.40
6 Wheel Dump (Loaded w/plow)	50000	255	952	1207.00	41.43
* NOTE - Calculations based on level surface and no movement					
* * NOTE - Construction Equipment was calculated as "unloaded", Dump truck calculated as fully loaded.					

9. All conduit is rigid conduit and all fittings are rated for outdoor use.
10. Adequate light fixtures to meet required codes or industry standards including but not limited to emergency lighting, exit lighting, egress path lighting and also with respect to

lighting on the upper and lower level of the parking deck is included. Walker Parking's initial review indicated that more than 14 light fixtures on the lower level, as identified in the preliminary cost estimate from Premium Electric Services dated January 6, 2015, may be needed. All lighting fixtures to be subject to review and approval by the City. Developer has budgeted an allowance of \$28,000 for upper level fixtures. Should the City select a more expensive fixture for the upper level, the City would cover the cost difference. Photometrics to be included with Final Engineering plans prepared by the developer.

11. Lower level sump pumps (2) and back-up/alarm system is included.
12. Coverings/treatments over required openings to comply with the lower level being open air are included. Design subject to review by the City.
13. All required ramp/stair handrails, bollards, doors and door frames, flashing and trim are included.
14. Foundation: 6" perimeter drains is included.
15. Public storm sewer passing under the parking deck to be reconstructed per the Preliminary Engineering Plans.
16. Striping and directional signage
17. Future security and parking counter system to be determined jointly by developer and staff during Final Engineering.

1ST STREET PHASE 3 NORTHEAST CORNER OF 1ST STREET AND ILLINOIS STREET ST. CHARLES, ILLINOIS

WARNING

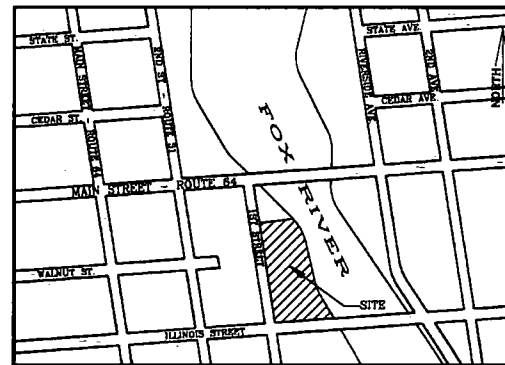


CALL BEFORE
YOU DIG
(48 HOURS NOTICE REQUIRED PRIOR TO DIGGING)

CITY OF ST. CHARLES NOTES

1. ALL PERVIOUS AREA SHALL BE SOODED OVER A MINIMUM OF 8" OF TOP SOIL UNLESS OTHER LANDSCAPING METHODS ARE APPROVED ON THE LANDSCAPING PLAN.
2. ALL CONDUIT OR PIPE CONSTRUCTED UNDER EXISTING OR PROPOSED PAVED SURFACES AND WALLS SHALL BE BACKFILLED WITH GRANULAR BACKFILL THOROUGHLY COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS. GRANULAR BACKFILL IS ALSO REQUIRED WITHIN 2' OF PAVED SURFACES.
3. ALL PAVING, SIDEWALK, AND EXCAVATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) AND THE CITY OF ST. CHARLES STANDARD DETAILS, CODES AND REQUIREMENTS.
4. ALL SEWER AND WATER MAIN WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND CITY OF ST. CHARLES CONSTRUCTION STANDARDS.
5. CONTRACTOR TO GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER ACCEPTANCE BY THE CITY.
6. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALLS, CURBS, PAVEMENT AND SIDEWALKS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
7. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO VERIFY IN THE FIELD ALL EXISTING AND UNDERGROUND UTILITIES ADJACENT TO THE PROJECT, AND BE RESPONSIBLE FOR PROTECTION OF SAME.
8. ALL CONCRETE SHALL BE 6 BAG MIX, 1000 PSI CONCRETE AT 14 DAYS. CURING MATERIAL SHALL BE NEOPRENE CURING COMPOUND AND SHALL BE WHITE IN COLOR TO ASSURE ADEQUATE COVERAGE.
9. CONTRACTOR SHALL NOTIFY CITY 48 HOURS IN ADVANCE OF CONSTRUCTION OF UNDERGROUND WORK. NO UNDERGROUND WORK SHALL BE COVERED UNTIL SAME HAS BEEN INSPECTED BY THE CITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE CITY PRIOR TO INSTALLING PAVEMENT BASE, PAVEMENT SLOPER, PAVEMENT SURFACE, AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
10. IF APPLICABLE, ALL NEW REINFORCED CONCRETE PIPE STORM SEWER 12" AND LARGER WHERE SHOWN ON THE PLANS SHALL BE ASTM DESIGNATION C-76 MINIMUM CLASS, CLASS II. ALL PIPE WITH LESS THAN 3' OF COVER AND MORE THAN 15' OF COVER SHALL BE CLASS V. ALL JOINTS SHALL BE "O" RING RUBBER GASKET CONFORMING TO ASTM C-301 SPECIFICATIONS. ALL STORM SEWERS WITH LESS THAN 1.75' OF COVER AND ALL DUCTILE IRON PIPE STORM SEWERS WHERE SHOWN ON THE PLANS SHALL BE DUCTILE IRON PIPE CLASS 52 AND SPECIFICATIONS A-21.51 WITH PUSH-ON OR MECHANICAL JOINTS AND POLYETHYLENE JACKBOARDS.
11. BITUMINOUS PAVEMENT MATERIAL MUST BE PLACED IN TWO LIFTS. THICKNESS OF EACH LIFT SHALL BE AS SHOWN ON APPROVED PLANS. ALL MATERIAL SHALL BE CLASS I BITUMINOUS AS PER IDOT STANDARDS. THE FINAL SURFACE COURSE SHALL NOT BE INSTALLED UNTIL THE CITY HAS APPROVED THE COMPACTION OF THE BASE COURSE. THE BASE COURSE SHALL NOT BE INSTALLED UNTIL THE COMPACTION OF THE STONE BASE HAS BEEN APPROVED BY THE CITY. THE FINAL SURFACE COURSE MAY NOT BE INSTALLED UNTIL THE MAJOR PORTION OF BUILDING CONSTRUCTION HAS BEEN COMPLETED AS DETERMINED AND APPROVED BY THE CITY.

NOTE: IN CASE OF CONFLICT WITH OTHER NOTES AND SPECIFICATIONS, THE CITY'S STANDARD NOTES AND DETAILS SHALL APPLY.



LOCATION MAP
NOT TO SCALE

LEGEND

—●—	PROPOSED STORM SEWER	701.30	PROPOSED SPOT GRADE
—●—	EXISTING STORM SEWER	701.30	EXISTING SPOT GRADE
—●—	PROPOSED SANITARY SEWER	701	PROPOSED CONTOUR
—●—	EXISTING SANITARY SEWER	701	EXISTING CONTOUR
—●—	PROPOSED WATER MAIN	701	SILT FENCE
—●—	EXISTING WATER MAIN		
—●—	PROPOSED SANITARY MANHOLE		OVERFLOW DIRECTION
—●—	EXISTING SANITARY MANHOLE		PROPOSED CURB
—●—	EXISTING STORM STRUCTURE		EXISTING CURB
—●—	PROPOSED STORM STRUCTURE		PROPOSED EDGE OF PAVEMENT
—●—	PROPOSED FIRE HYDRANT		
—●—	PROPOSED GATE VALVE		

SHEET INDEX

TITLE	SHEET NO.
TITLE SHEET	1
TOPOGRAPHY & DEMOLITION PLAN	2
GEOMETRIC PLAN	3
BUILDING 1 INFORMATION	4
BUILDING 2 INFORMATION	5
PARKING STRUCTURE UPPER/LOWER LEVELS	6
GRADING PLAN	7
UTILITY PLAN	8
PLAT OF SUBDIVISION	

BENCHMARK:

CITY OF ST. CHARLES—
STATION N 19 ELEV=696.45 NAVD88
AT SAINT CHARLES KANE COUNTY, IN NORTHEAST
LIMESTONE CORNER OF THE REHNS ELECTRICAL
BUILDING, 8 FEET EAST OF THE NORTH (FRONT)
ENTRANCE, AND ABOUT 1 FOOT ABOVE SIDEWALK.
A STANDARD DISC, STAMPED N 19 1934 AND SET
VERTICALLY.

UNDERGROUND UTILITY NOTE:
The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and the Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

USE OF DRAWINGS
Client agrees not to use or permit any other person to use plans, drawings, or other product prepared by the Engineer, which plans, drawings, or other work product are not final and which are not signed, sealed, and stamped or issued by the Engineer and contain the words "Released For Construction".

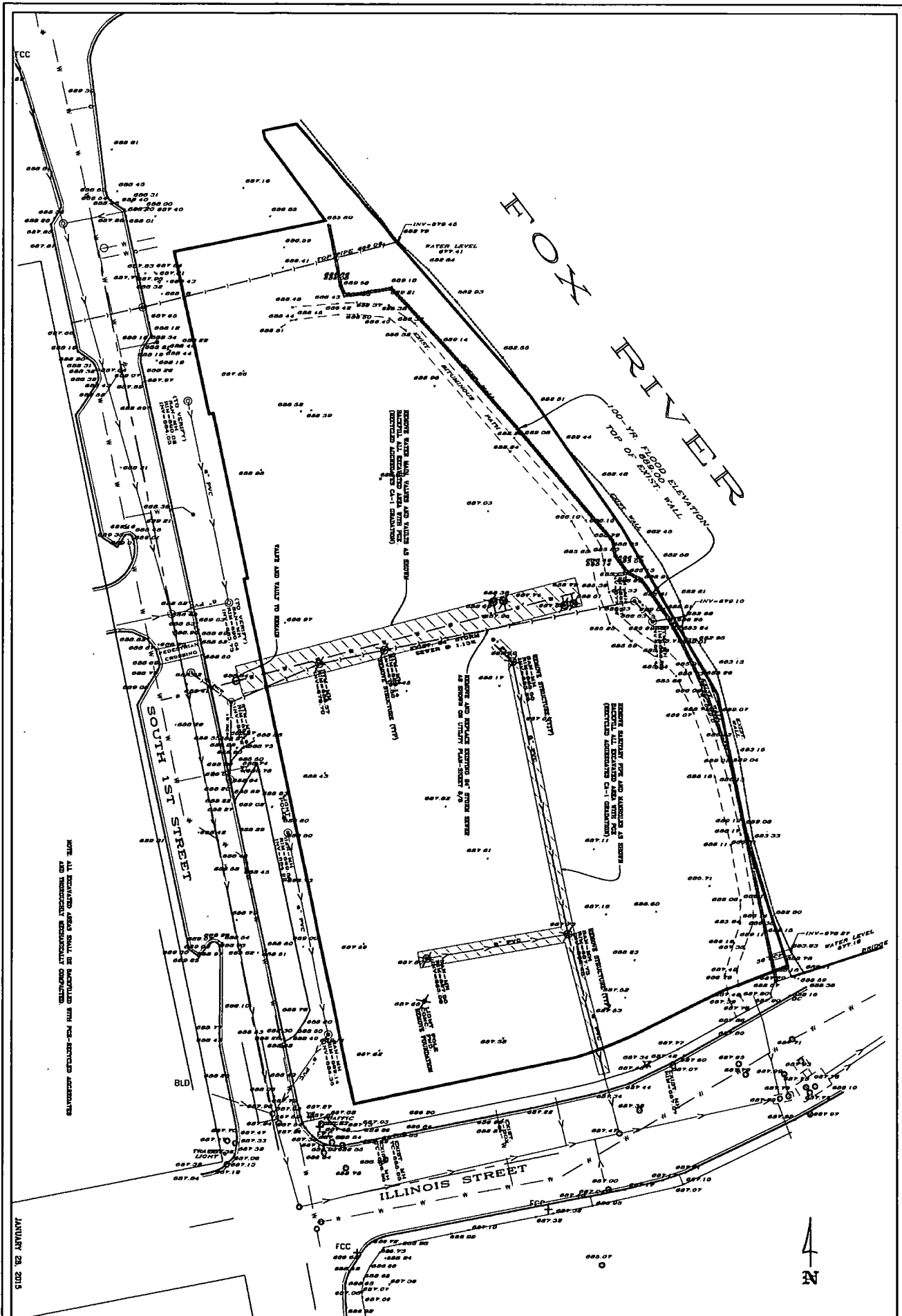
HOLD HARMLESS STATEMENT
The Engineer is not overseeing the construction of this project. The use of these Drawings and Specifications by and Contractor, Subcontractor, Builders, Mechanics, Tradesmen or others shall indicate a Hold Harmless Agreement between the User and the Engineer. The User shall in fact agree to hold the Engineer harmless for any responsibility in regard to construction means, methods, techniques, sequences or procedures and for any safety precautions and programs in connection with the work and further shall hold the Engineer harmless for costs and problems arising from the negligence of Contractor, Subcontractor, Builders, Mechanics, Tradesmen or others. The use of these Drawings also implies that the Engineer shall take no responsibility for the plan User's failure to carry out the work in accordance with the Drawing and Specifications.

COUNTY ENGINEERS INC.
2202 GARY LANE, GENEVA, ILLINOIS 60134
630.364.8978 ceillinois@aol.com



BRANDON J. JANT
REGISTERED PROFESSIONAL ENGINEER
RENEWAL DATE: 11/30/15

JANUARY 28, 2015



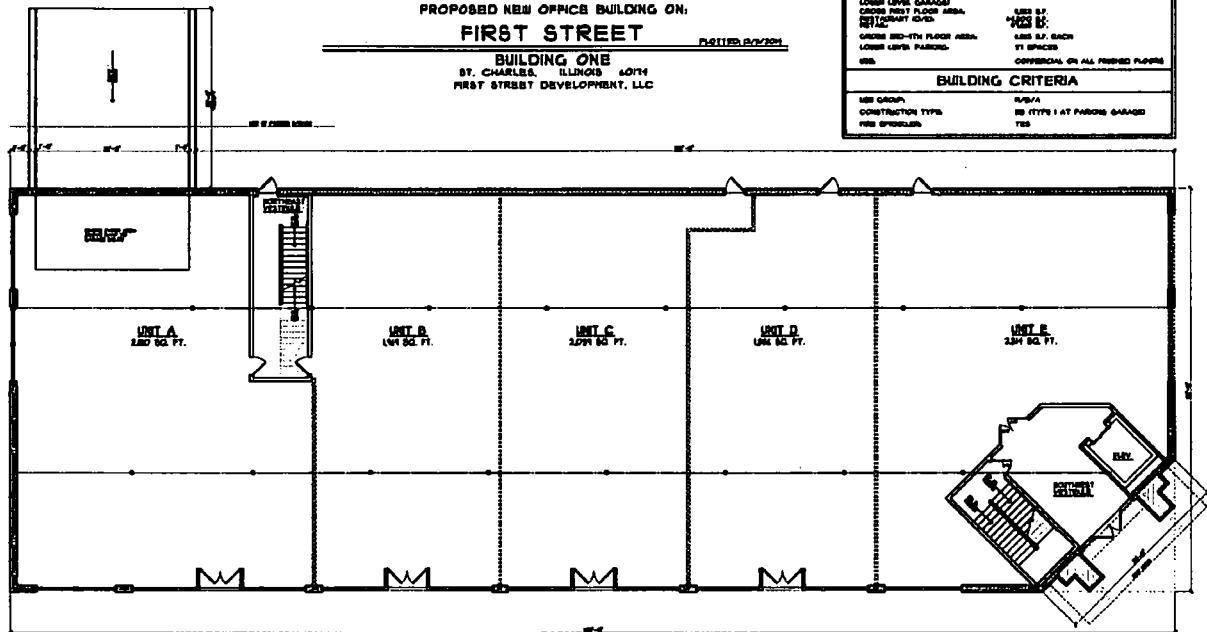
NOTE: ALL ELEVATIONS SHOWN SHALL BE BASED UPON THE FIRM'S SURVEY DATA AND FIELD MEASUREMENTS. ELEVATIONS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES WITHOUT THE FIRM'S WRITTEN CONSENT.

JANUARY 28, 2015

TOPOGRAPHY AND DEMOLITION				Common Address:				COUNTY ENGINEERS INC.			
SHEET 2 OF 8				Buyer/Client:				CONSTRUCTION PROJECTS			
Type of Survey				Date				Scale: 1"=20'			
DK. - Pg. Date Dwn. / By				Foundation				CONSTRUCTION MANAGEMENT			
								888.888.888			

PL-011 FEB 12/7/2001

SITE CRITERIA	
FOOTPRINT:	625 SF.
TOTAL FLOOR AREA	11,150 SF.
GROUND FLOOR AREA	1,000 SF.
MECHANICAL ROOM	1,000 SF.
GROUND 2ND-TH FLOOR AREA	625 SF. EACH
VEHICLE PARKING	71 SPACES
USE	COMMERCIAL ON ALL FINISHED FLOORING
BUILDING CRITERIA	
USE GROUP	R/S-1/A
CONSTRUCTION TYPE	IB (TYPE 1 AT PARKING GARAGE)
FIRE EXTINGUISHER	YES



FIRST STREET

FOYTB, BAZON

JANUARY 28, 2015

BUILDING 1 INFORMATION
SHEET 4 OF 8

					Grading		
					Mortgage		
Type of Survey	Date	Bk. - Pg.	Date On. / By		Foundation		

Common Address :
Builder/Client :
Job No. :

COUNTY ENGINEERS INC.		
DESIGN	CONSTRUCTION PLANNING	CONSTRUCTION MANAGEMENT
2200 QUAY LANE, CORVUS, ILLINOIS 60434		535.284.8876

BUILDING TWO

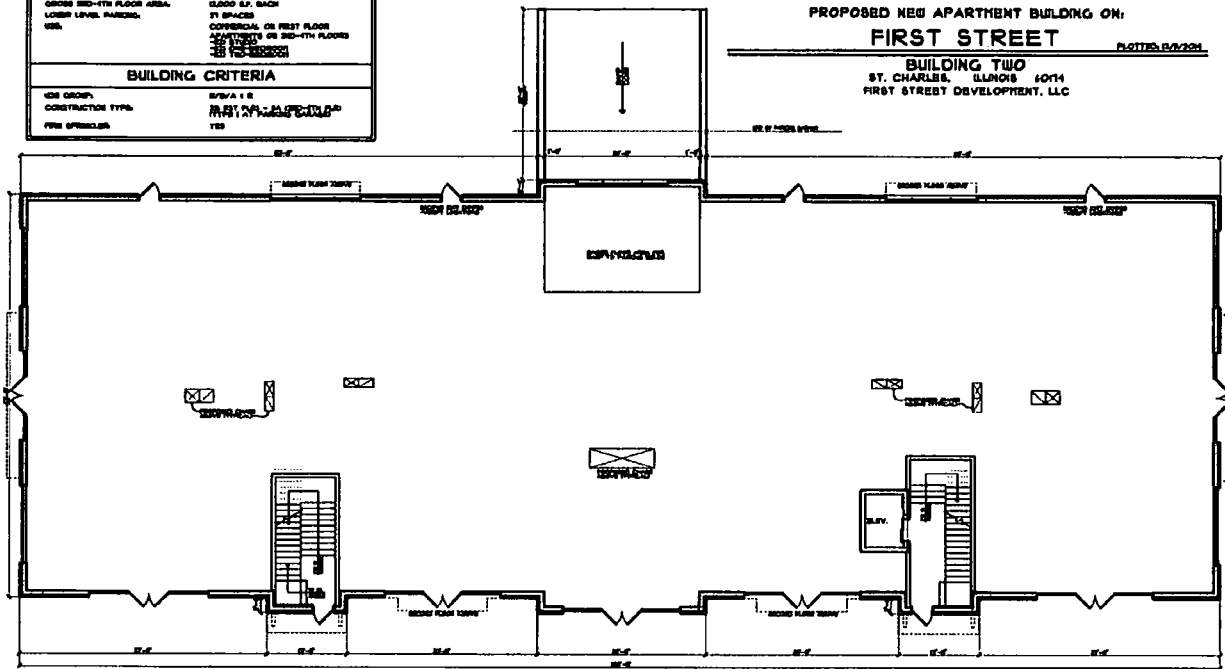
SITE CRITERIA	
FOOTPRINT:	6,000 S.F.
TOTAL GROSS FLOOR AREA:	41,100 S.F.
LOWER LEVEL FLOOR AREA:	14,700 S.F.
UPPER LEVEL FLOOR AREA:	26,400 S.F.
GRASS 2ND-4TH FLOOR AREA:	12,000 S.F. BACK
LOWER LEVEL PARKING:	51 SPACES
USE:	COMMERCIAL OR FIRST FLOOR APARTMENTS OR 2ND-4TH FLOOR APARTMENTS
BUILDING CRITERIA	
USE GROUP:	B/S/A 1 & 2
CONSTRUCTION TYPE:	REINFORCED CONCRETE
PER SPECIFICATIONS:	YES

PROPOSED NEW APARTMENT BUILDING ON:

FIRST STREET

PLATTED 8/9/2014

BUILDING TWO
ST. CHARLES, ILLINOIS 60114
FIRST STREET DEVELOPMENT, LLC



FIRST STREET

FIRST FLOOR PLAN

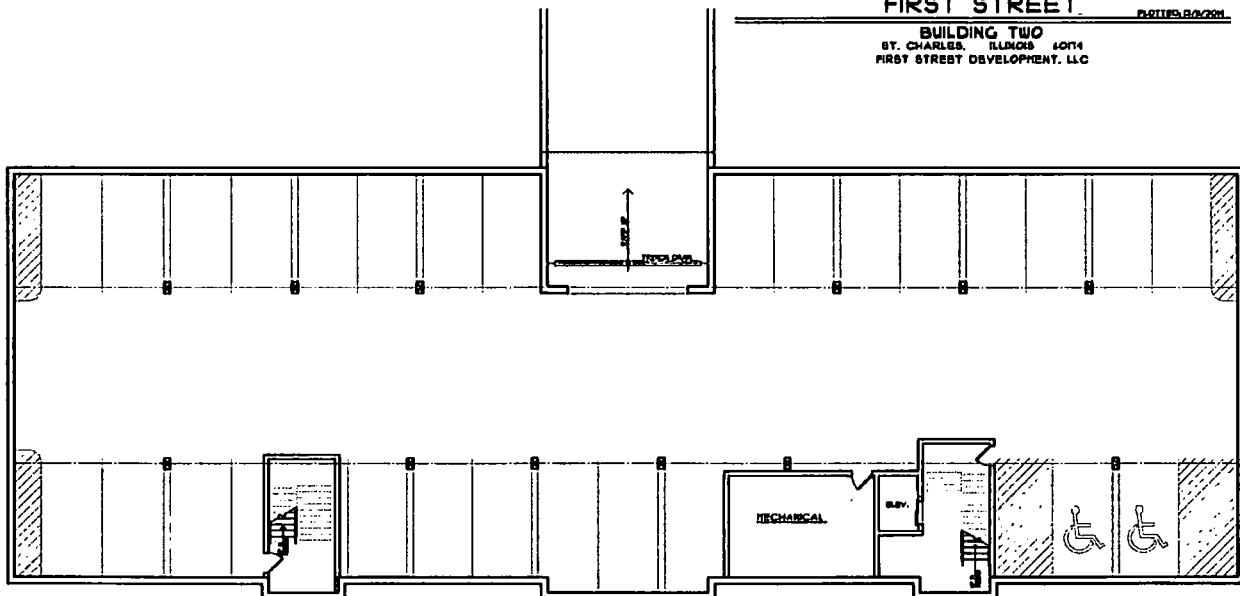


PROPOSED NEW APARTMENT BUILDING ON:

FIRST STREET

PLATTED 8/9/2014

BUILDING TWO
ST. CHARLES, ILLINOIS 60114
FIRST STREET DEVELOPMENT, LLC



LOWER LEVEL PLAN



JANUARY 29, 2015

BUILDING 2 INFORMATION
SHEET 5 OF 8

Vacant	Type of Survey	Date	Sh. - Pg.	Date Dwn. / By	Grading	Foundation

Common Address:
Builder/Client:
Job No.:

Scale: NTS

COUNTY ENGINEERS INC.
10000 CONSTRUCTION PLANS
10000 CONSTRUCTION PLANS
10000 CONSTRUCTION PLANS

FOX RIVER

100-YR. FLOOD ELEVATION
TOP OF EXIST. WALL

4 N

ILLINOIS STREET

SOUTH 1ST STREET

JANUARY 28, 2015

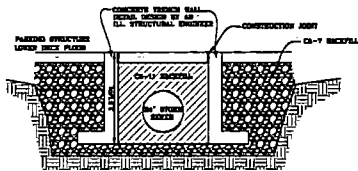
GRADING PLAN
SHEET 7 OF 8

COUNTY ENGINEERS INC.
CONSTRUCTION PLANS
1000 WEST 10TH STREET, SUITE 100
DES MOINES, IOWA 50319

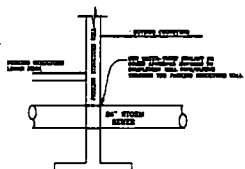
Common Address:
Builder/Client:
Job No.:
Scale: 1"=20'

Dwelling
Mortgage
Foundation

Map
Type of Survey
Date
Sh. - Pg
Drawn By: J. B.

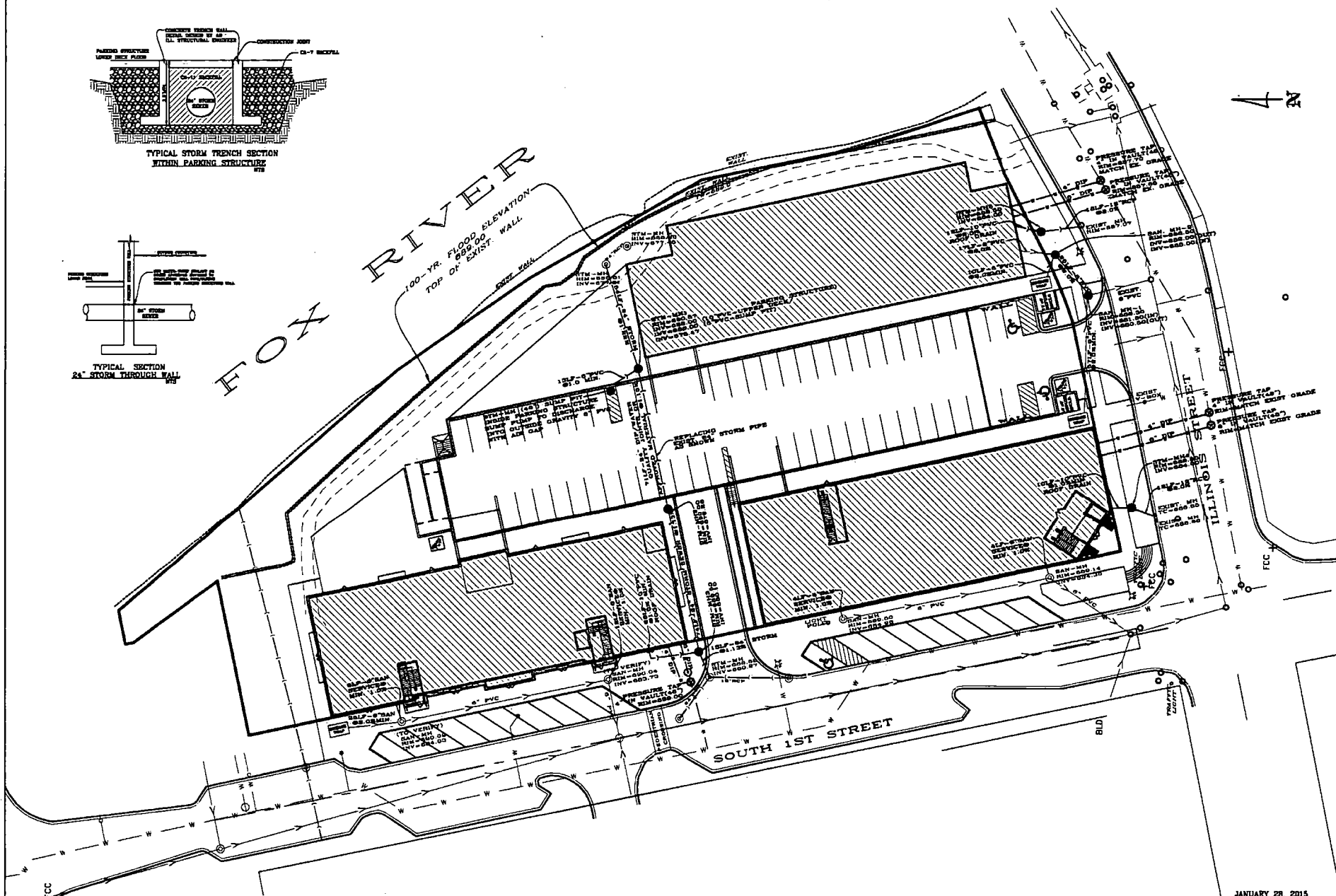


TYPICAL STORM TRENCH SECTION
WITHIN PARKING STRUCTURE



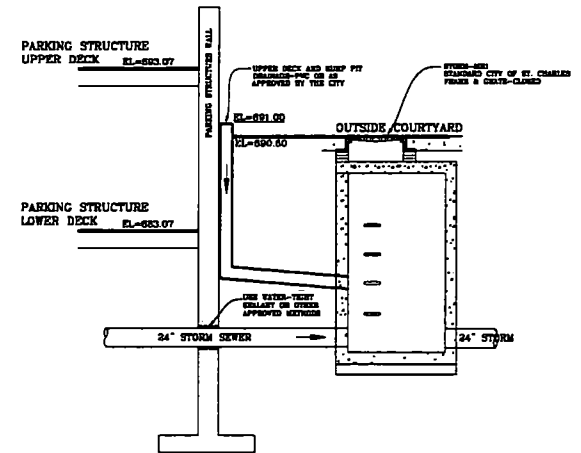
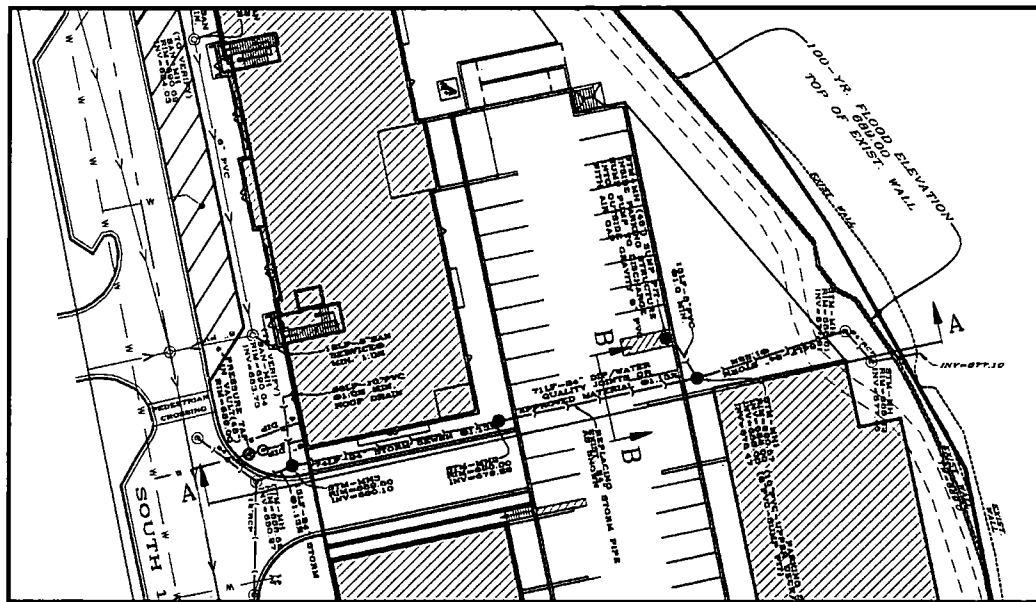
TYPICAL SECTION
24" STORM THROUGH WALL

FOX RIVER
100-YR. FLOOD ELEVATION
TOP OF EXIST. WALL

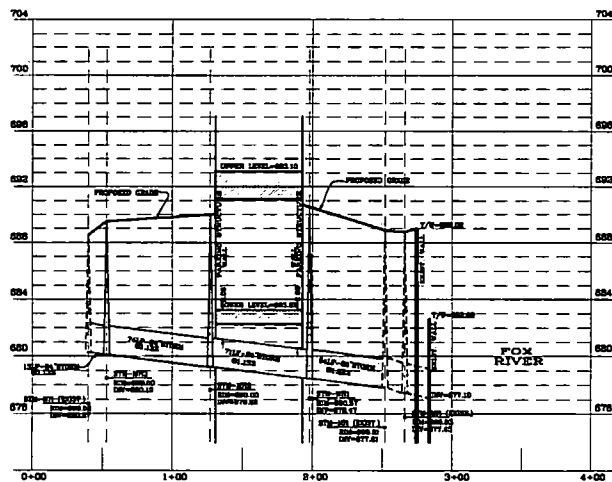


JANUARY 28, 2015

UTILITY PLAN SHEET 8 OF 8				COUNTY ENGINEERS, INC. CONSTRUCTION MANAGEMENT 1000 WEST 10TH STREET, SUITE 100 MILWAUKEE, WI 53233 Scale: 1"=20'			
Project	Date	Sh. - Pg.	Plot Dwg. / By	Ordering	Marketing	Production	Utility Plan

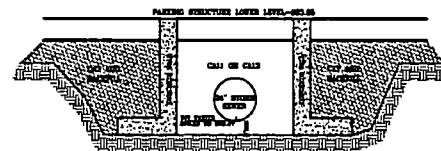


PARKING STRUCTURE LOWER DECK/
UPPER DECK DRAINAGE
NTS



PROFILE SECTION A-A
THROUGH 24" STORM SEWER

SCALE: 1"=40' HOR.
1"=4' VER.



SECTION B-B
24" STORM SEWER TRENCH
NTS

FOX RIVER

4 N

SOUTH 1ST STREET

ILLINOIS STREET

LOT BLDG-2

LOT BLDG-3

COMMON LOT-4

LOT BLDG-1

LOTS:

LOT BLDG-1	13,950 SF
LOT BLDG-2	18,315 SF
LOT BLDG-3	18,972 SF
COMMON LOT-4	41,428 SF
TOTAL AREA	88,665 SF

1ST STREET PHASE 3

PROPOSED PLAT

SHEET 1 OF 1

COUNTY ENGINEERS INC.
CONTRACTOR'S RECORD
DATE: JAN 28, 2015
SCALE: 1"=40'

Common Address:
Block/Chart:
Sub No.:

Survey:
Map Page:
Location:

Sh. - Pg. Date Dwn. / By
Name:
Type of Survey:

Date:
Date:

JANUARY 28, 2015

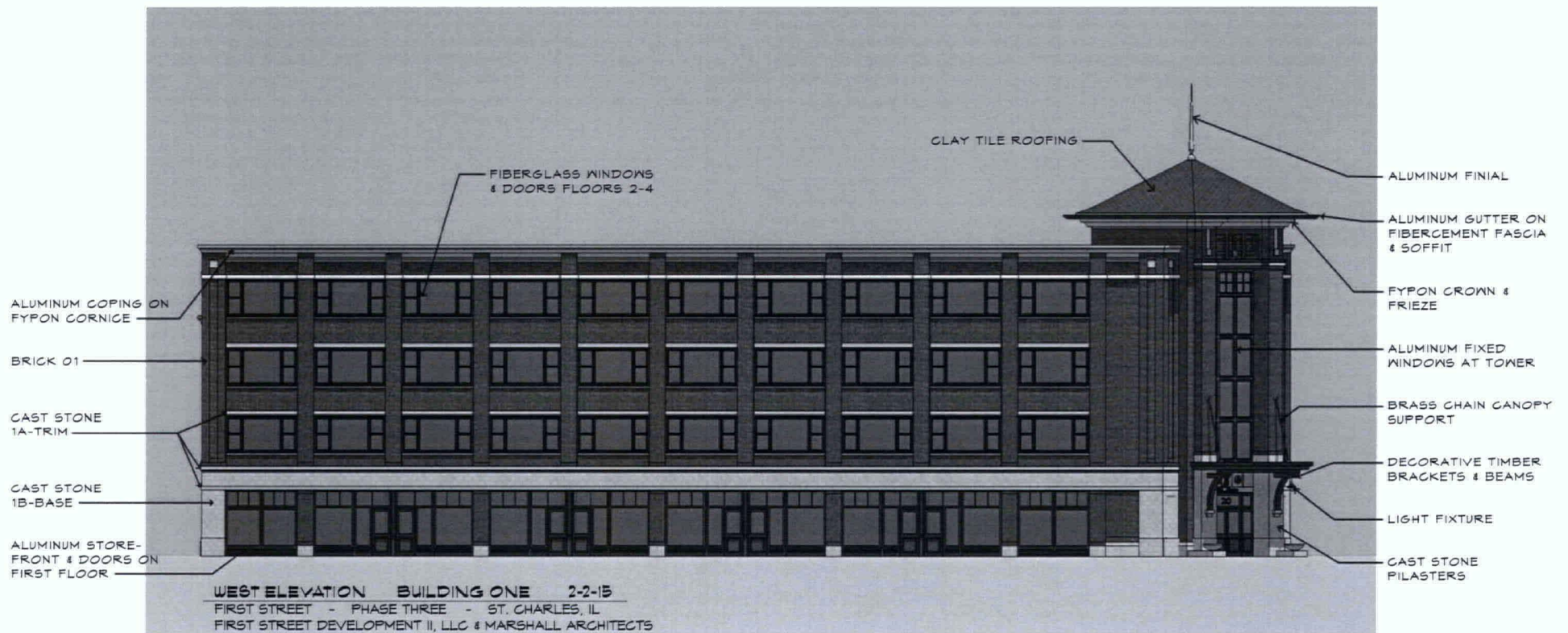
7CC

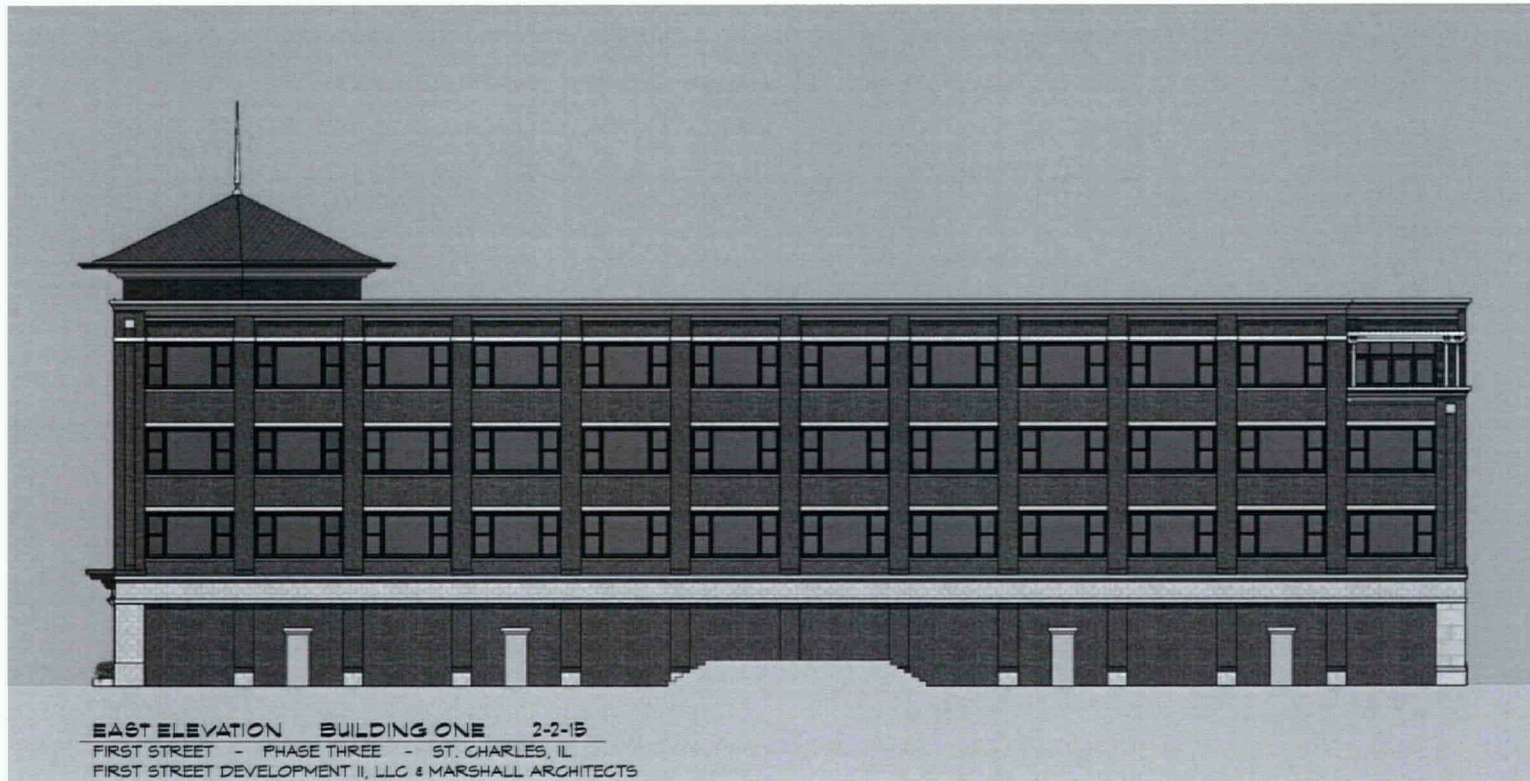


SOUTHELEVATION BUILDING ONE 2-2-15
 FIRST STREET - PHASE THREE - ST. CHARLES, IL
 FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



NORTHELEVATION BUILDING ONE 2-2-15
 FIRST STREET - PHASE THREE - ST. CHARLES, IL
 FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS





EAST ELEVATION BUILDING ONE 2-2-15
FIRST STREET - PHASE THREE - ST. CHARLES, IL
FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



WEST ELEVATION BUILDING TWO 2-2-15
 FIRST STREET - PHASE THREE - ST. CHARLES, IL
 FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



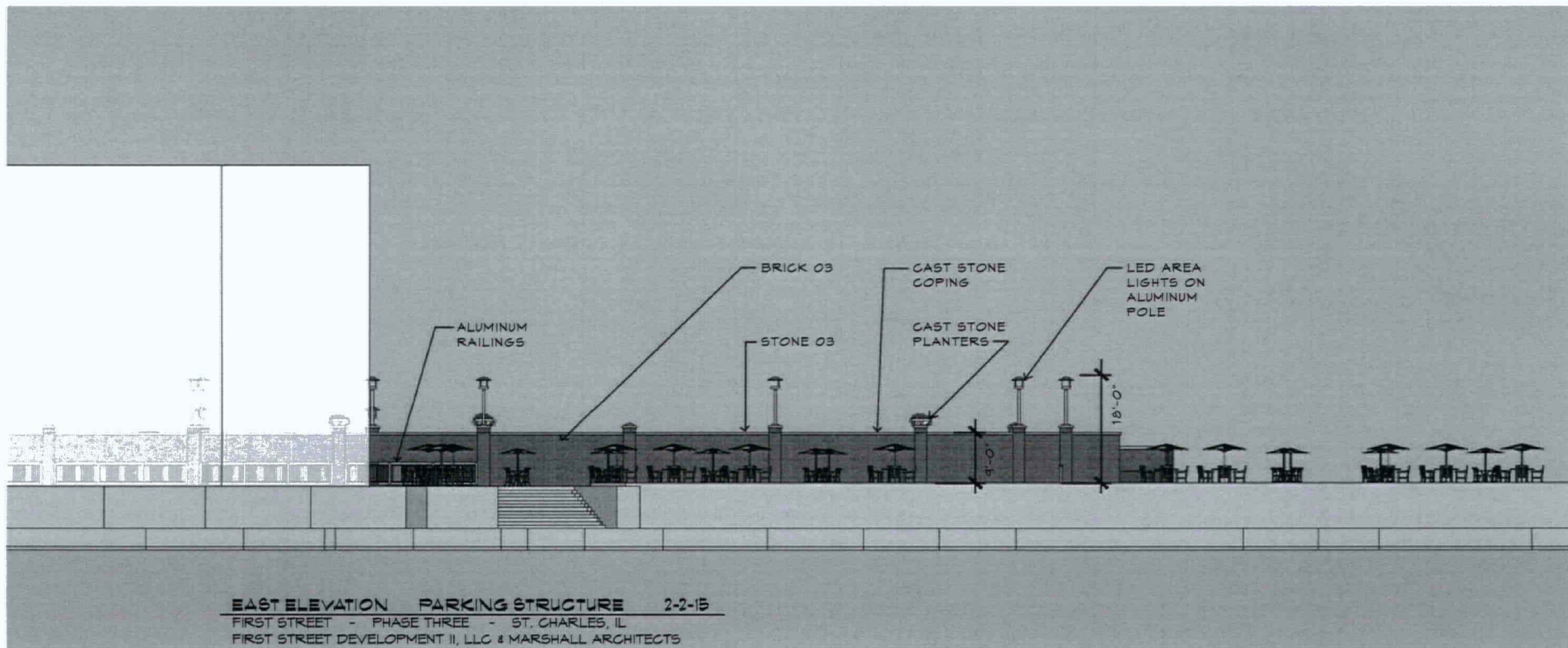
EAST ELEVATION BUILDING TWO 2-2-15
FIRST STREET - PHASE THREE - ST. CHARLES, IL
FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



SOUTH ELEVATION BUILDING TWO 2-2-15
 FIRST STREET - PHASE THREE - ST. CHARLES, IL
 FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



NORTH ELEVATION BUILDING TWO 2-2-15
 FIRST STREET - PHASE THREE - ST. CHARLES, IL
 FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



State of Illinois)
)
) ss.
Counties of Kane and DuPage)

Certificate

I, NANCY GARRISON, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on March 2, 2015, the Corporate Authorities of such municipality passed and approved Ordinance No. 2015-Z-5, entitled

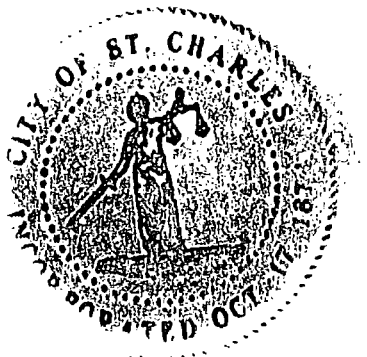
"Motion to Approve an Ordinance Granting Approval
of a PUD Preliminary Plan for a portion of Phase 3 of
the First Street Redevelopment PUD (Buildings 1, 2, 3
and Parking Deck)."

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2015-Z-5, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on March 6, 2015, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 2nd

day of March, 2015.



(S E A L)

Nancy Garrison

Municipal Clerk