



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: 3g

Title:	Plan Commission recommendation to approve a Final Plat of Subdivision for Silverado Senior Living, Lot 7 Pheasant Run Crossing
Presenter:	Ellen Johnson

Meeting: Planning & Development Committee

Date: February 13, 2017

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

The subject property is Lot 7 of the Pheasant Run Crossing subdivision, located north of E. Main St. at Pheasant Run Drive. The property is a vacant, 10.96 acre parcel directly west of Hilton Garden Inn.

A Map Amendment to rezone the southern portion of the property to the O/R Office/Research District for a Silverado Senior Living facility and a Preliminary Plat of Subdivision showing division of the property into two lots were approved last summer under Ordinance No. 2016-Z-16.

Perry Devlin of Silverado Senior Living has applied for Final Plat of Subdivision approval. Lot 7 will be subdivided into two lots:

- Lot 7A (3.998 acres) for Silverado, directly west of Hilton Garden Inn.
- Lot 7B (6.963 acres) for future development, behind Lot 7A with a 50 ft. wide portion reaching south to the private drive.
- A single access point off the private drive will provide access to both lots, with a cross access easement over Lot 7A and Lot 7B for their mutual benefit.

The Final Plat is in substantial conformance with the approved Preliminary Plat. Staff has provided the applicant with review comments that will need to be addressed prior to City Council action.

Plan Commission Review

Plan Commission reviewed the Final Plat on 2/7/17 and voted 8-0 to recommend approval subject to resolution of outstanding staff comments.

Attachments *(please list):*

Plan Commission Resolution, Staff Report, Application for Final Plat, Final Plat & Engineering Plans

Recommendation/Suggested Action *(briefly explain):*

Plan Commission recommendation to approve a Final Plat of Subdivision for Silverado Senior Living, Lot 7 Pheasant Run Crossing, subject to resolution of outstanding staff comments.

City of St. Charles, Illinois
Plan Commission Resolution No. 3-2017

**A Resolution Recommending Approval of a Final Plat of Subdivision for
Silverado Senior Living, Lot 7 Pheasant Run Crossing**

Passed by Plan Commission on February 7, 2017

WHEREAS, it is the responsibility of the St. Charles Plan Commission to review Final Plats of Subdivision; and

WHEREAS, the Plan Commission has reviewed the Final Plat of Subdivision for Silverado Senior Living, Lot 7 Pheasant Run Crossing received 1/26/2017; and

WHEREAS, the Plan Commission finds the Final Plat of Subdivision to be in conformance with the requirements of Title 16 of the City Code entitled, "Subdivisions and Land Improvement".

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of the Final Plat of Subdivision for Silverado Senior Living, Lot 7 Pheasant Run Crossing received 1/26/2017; contingent upon the resolution of all staff comments prior to City Council action.

Voice Vote:

Ayes: Wallace, Kessler, Holderfield, Schuetz, Frio, Pretz, Spruth, Macklin-Purdy

Nays: Doyle

Absent:

Motion Carried 8-0

PASSED, this 7th day of February 2017.

Chairman
St. Charles Plan Commission

Community & Economic Development
 Planning Division

Phone: (630) 377-4443
 Fax: (630) 377-4062



Staff Report

TO: Chairman Todd Bancroft
 And the Members of the Planning and Development Committee

FROM: Ellen Johnson, Planner

RE: Silverado Senior Living, Lot 7 Pheasant Run Crossing

DATE: February 10, 2017

I. APPLICATION INFORMATION:

Project Name: Silverado – Pheasant Run Crossing

Applicant: Perry Devlin, Silverado

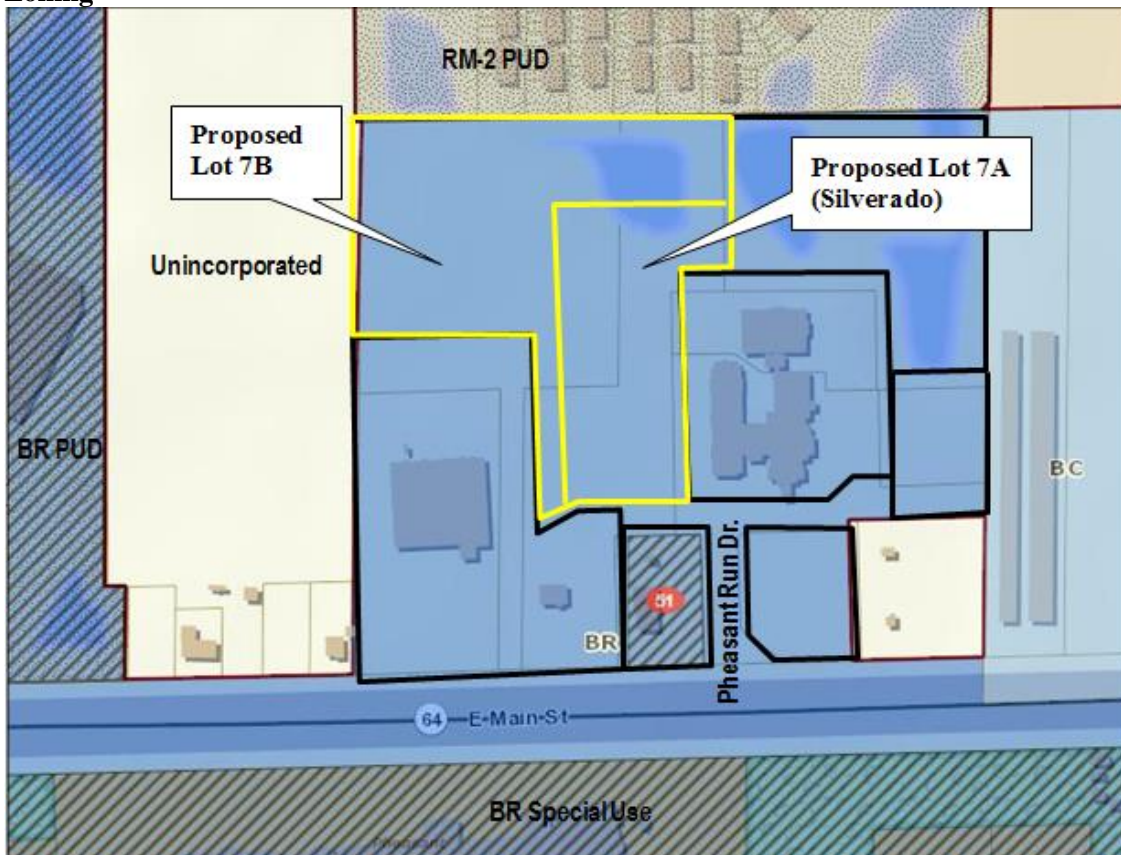
Purpose: Final Plat of Subdivision approval

General Information:		
Site Information		
Location	Lot 7 Pheasant Run Crossing, east of Volkswagen Dealership and west of Hilton Garden Inn	
Acres	10.96 acres (477,475 sf)	
Applications:	Final Plat of Subdivision	
Applicable City Code Sections	Title 17, Chapter 17.16 Office/Research, Manufacturing and Public Lands Districts Title 16 Subdivisions and Land Improvement	
Existing Conditions		
Land Use	Vacant	
Zoning	O/R Office/Research (proposed Lot 7A); BR Regional Business (proposed Lot 7B)	
Zoning Summary		
North	RM-2 Medium Density Multi-Family Residential (PUD)	Pheasant Run Crossing townhomes
East	BR Regional Business District	Hilton Garden Inn
South	BR Regional Business District	Vacant, Culver's
West	BR Regional Business District	Volkswagen Dealership
Comprehensive Plan Designation		
Corridor/Regional Commercial		

Aerial



Zoning



II. BACKGROUND

A. PROPERTY HISTORY

The subject property is part of a group of commercial properties located north of E. Main St. at Pheasant Run Drive. These properties were originally annexed into the City in the 1960s as part of the Pheasant Run Resort.

In July 2015 the City approved a Final Plat of Subdivision for Pheasant Run Crossing, which consolidated and resubdivided the properties into a single subdivision with shared access. New lots were created for the existing buildings including Culver's, the former DuPage Expo Center (now Fox Valley Volkswagen), and Hilton Garden Inn. New building lots for future development were also created. Lot 7, a 10.96 acre parcel, was created directly west of Hilton Garden Inn.

In August 2016, a Map Amendment rezoning the southern portion of Lot 7 to the O/R Office/Research District to accommodate a Silverado Senior Living facility was approved, along with a Preliminary Plat of Subdivision showing division of the property into two lots; one for Silverado and one for a future development. The Map Amendment and Preliminary Plat were approved under Ordinance No. 2016-Z-16, "An Ordinance Granting Approval of a Map Amendment and Preliminary Plat of Subdivision for Lot 7 Pheasant Run Crossing (Silverado Senior Living)".

B. PROPOSAL

Perry Devlin of Silverado Senior Living has applied for Final Plat of Subdivision approval. Lot 7 will be subdivided into two lots:

- Lot 7A (3.998 acres) for Silverado, directly west of Hilton Garden Inn.
- Lot 7B (6.963 acres) for future development, behind Lot 7A with a 50 ft. wide portion reaching south to the private drive.
- A single access point off the private drive will provide access to both lots, with a cross access easement over Lot 7A and Lot 7B for their mutual benefit.

Final Engineering plans have been submitted as required for the Final Plat of Subdivision application.

III. ANALYSIS

A. FINAL PLAT

A Final Plat of Subdivision has been submitted showing division of Lot 7 of Pheasant Run Crossing into two lots. Lot 7A (174,161 sf / 3.998 acres) will encompass the Silverado development and Lot 7B (303,314 sf / 6.963 acres) will remain available for future development.

The Plat is conformance with the Preliminary Plat of Subdivision approved under Ordinance No. 2016-Z-16. The following review comments which are relatively minor have been provided to the applicant and will need to be addressed prior to City Council action:

- a. The legal description under the title should reference that this is a resubdivision of Lot 7 in Pheasant Run Crossing.
- b. The notes listed on Sheet 2 should reference Sheet 3, not Sheet 4.
- c. The sidewalk easement should not be granted to the City; it will be a privately owned and maintained sidewalk. The easement should be granted for the benefit of Lot 7B so pedestrians can cross Lot 7A. As such, it is suggested to extend the easement over the existing sidewalk along the Lot 7A frontage.
- d. The County Clerk certificate should state County of DuPage instead of Kane.
- e. The Certificate as to Special Assessments certificate should state County of DuPage instead of Kane.

B. ZONING STANDARDS

A site plan has been submitted for Lot 7A (Silverado) as part of the engineering plans required for the Final Plat of Subdivision. The table below compares the bulk requirements of the O/R district with the site plan. The proposal conforms to all zoning requirements.

	O-R District	Proposed Lot 7A (Silverado)
Min. Lot Area	20,000 sf	174,161 sf
Min. Lot Width	100 ft.	271 ft.
Max. Building Coverage	50%	25%
Max. Building Height	60 ft.	TBD
Building Setbacks:		
<i>Front</i>	30 ft.	130 ft. (to canopy)
<i>Interior Side</i>	10 ft.	21 ft. (east side) 10 ft. (west side)
<i>Rear</i>	30 ft.	40 ft.
Parking Setbacks:		
<i>Front</i>	30 ft.	31 ft.
<i>Interior Side</i>	0 ft.	10 ft. (east side) 4 ft. (west side)
<i>Rear</i>	0 ft.	5 ft.
Landscape Buffer Yard	30 ft. along lot line abutting residential zoning	Not required
Parking Requirement	0.25 spaces per unit	77 spaces (23 required)
Parking Stall Dimensions	9 x 18 ft. (9 x 16 with 2 ft. overhang where stalls abut green space)	9 x 18.5 ft.

Lot 7B is zoned BR Regional Business District. Future development will need to conform to the bulk requirements applicable to BR district. The lot meets the basic requirements of the BR district, as shown in the table below:

	BR District	Proposed Lot 2
Min. Lot Area	1 acre	6.96 acres
Min. Lot Width	None	50 ft.

C. LANDSCAPE PLAN

A landscape plan has been submitted for the Silverado lot (Lot 7A). The table below compares the plan to the requirements of Ch. 17.26 Landscaping and Screening. The plan is deficient in two areas.

Category	Zoning Ordinance Standard	Proposed (Lot 7A, Silverado)
Overall Landscape Area	15%	40.4%
Interior Parking Lot Landscape Area	10%	13.2%
Building Foundation Landscaping		
<i>Front wall (public entrance)</i>	75% of wall length	85%
<i>Remaining walls</i>	50% of wall length	69%
<i>Width of planting beds</i>	8 ft.	8 ft.
<i>Foundation trees</i>	2 trees per 50 ft. of wall	11 trees (44 trees required)
Interior Parking Lot Shade Trees	# of required trees = area of required interior parking lot landscaping / 160	17 trees (25 trees required)

The following landscape plan review comments have been provided to the applicant and will need to be addressed prior to City Council action:

- a. Along the building foundation, a total of 2 trees are required per 50 lineal feet of building wall. A total of 44 trees are required, and only 11 are provided. An additional 33 trees are required.
- b. A total of 25 shade trees are required within the interior of the parking lot; only 17 trees are provided. This number includes trees around the parking lot. An additional 8 shade trees are required within or directly around the parking lot.
- c. The trees shown along the west property line that are identified as to be planted in the future are in conflict with the utility easement. Per the easement provisions, trees are not permitted within the easement. In addition, landscaping has already been installed on the Volkswagen lot along the common property line with Lot 7A.
- d. The retaining wall at the rear of the Silverado lot is over 4 ft. in height. Retaining walls over 4 ft. in height require a terrace or stepping back of the wall to allow for a planting area. The terrace shall be between 1/3 and 1/2 of the total retaining wall height, as measured from the base of the wall. The planting area shall be no less than 2 ft. in width and shall be planted with a combination of turf, shrubs and perennials. These planting areas should be added to the landscape plan.

D. BUILDING DESIGN

Building elevations will be reviewed at the time of building permit. The building will be subject to the Design Review requirements of Section 17.06.030 Standards and Guidelines – BL, BC, BR, and O/R Districts.

E. ENGINEERING REVIEW

Final Engineering plans have been submitted as required for Final Plat approval. Engineering review is ongoing. The applicant will be provided with detailed engineering review comments following that review.

IV. PLAN COMMISSION RECOMMENDATION

Plan Commission reviewed the Final Plat on 2/7/17 and voted 8-0 to recommend approval subject to resolution of all outstanding staff comments.

V. ATTACHMENTS

- Application for Final Plat; received 1/26/17
- Final Plat of Subdivision; dated 1/13/17
- Engineering Plans; dated 1/23/17

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984

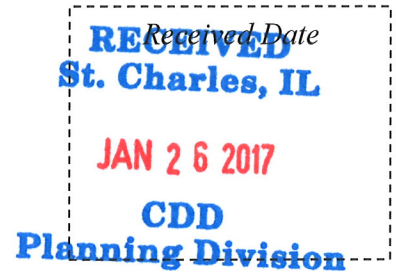


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

FINAL PLAT OF SUBDIVISION APPLICATION

For City Use	
Project Name:	__ Silverado St. Charles
Project Number:	<u>2016</u> -PR- <u>008</u>
Application Number:	<u>2017</u> -AP- <u>004</u>



To request approval of Final Plat for a Subdivision, complete this application and submit it with all required attachments to the Planning Division.

When this application is complete and the plans are substantially in compliance with requirements, the Final Plat will be placed on a Plan Commission agenda for review.

The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: Part of Lot 7, Pheasant Run Subdivision	
	Parcel Number (s): Part of 01-30-102-037	
	Proposed Subdivision Name: Silverado St. Charles	
2. Applicant Information:	Name: Perry Devlin	Phone: 949-930-3050
	Address: 6400 Oak Canyon, Suite 200 Irvine, Ca 92618	Fax: 949- 240-7270
		Email: pjdevlin@silveradocare.com
3. Record Owner Information:	Name: Silverado St. Charles, LLC	Phone: 939-930-3050
	Address: 6400 Oak Canyon, Suite 200 Irvine, Ca. 92618	Fax: 949-240-7270
		Email: pjdevlin@silveradocare.com

Please check the type of application:

Subdivision:

- Preliminary Subdivision Plat was previously approved by the City
- Combined Preliminary-Final Review Process (Preliminary Plat Application filed concurrently)

Planned Unit Development (PUD):

- PUD Preliminary Plan was previously approved by the City
- Combined Preliminary-Final Review Process (PUD Preliminary Plan Application filed concurrently)
- PUD Final Plan application filed concurrently

This application is not required for a Minor Subdivision (Per City Code Section 16.04.040: Meets all subdivision design standards, no more than 4 lots, no utility extensions or new streets, no stormwater detention required, lots meet minimum zoning standards)

Attachment Checklist:

For Combined Preliminary-Final Review or where multiple applications have been submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

APPLICATION FEE:

Application fee in accordance with Appendix A of the Subdivision Code. (\$300)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

Submit one of the following:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

✕ PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

✕ SUBDIVISION PLAT – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the plat.

✕ FINAL ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the Final Engineering Plans.

✕ ENGINEER'S COST ESTIMATE SPREADSHEET:

See attached form.

✕ STORMWATER MANAGEMENT PERMIT APPLICATION (if not already filed)

✕ STORMWATER REPORT

☐ FINANCIAL GUARANTEE & LAND IMPROVEMENT AGREEMENT

When submitting the application, provide a draft or description of the proposed guarantee for the payment and completion of Land Improvements (consisting of proposed form, amount and provider of completion guarantee collateral - bond, cash, or letter of credit).

- For Letter of Credit form, see City Code Title 16, Appendix C.
- For Land Improvement Agreement, see City Code Title 16, Appendix D.

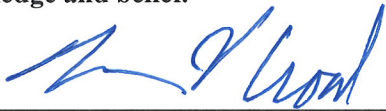
A Financial Guarantee and Land Improvement Agreement must be provided prior to the City signing the Final Plat of Subdivision and recording the plat.

☐ COPIES OF THIRD PARTY PERMIT/APPROVALS

- Illinois EPA Water Pollution Control Permit for sanitary sewer extension

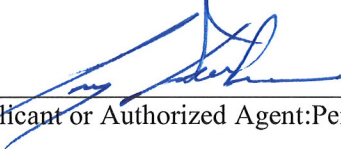
- Illinois EPA Division of Public Water Supplies Permit for water mains
 - Notice of Intent (NOI) letter/permit for NPDES Stormwater Discharge for sites 5 acres and larger
 - IDNR Office of Water Resources Permit (for work in flood plain)
 - Wetlands Permit from Army Corps of Engineers
 - Kane County DOT and/or IDOT signature on Final Plat (if applicable)
 - Offsite easements and right of way necessary to construct the required Land Improvements
- PARK AND SCHOOL LAND/CASH WORKSHEETS:** For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.
- INCLUSIONARY HOUSING SUMMARY:** For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.



Record Owner: Tom Croal

January 20, 2017
Date



Applicant or Authorized Agent: Perry Devlin

January 20, 2017
Date

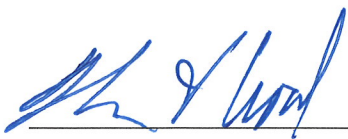
**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS)
) SS.
KANE COUNTY)

I, Thomas V. Croal, being first duly sworn on oath depose and say that I am
Manager of _____, an Illinois Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

Silverado Senior Living Holdings, Inc. 100%

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

By: , Manager

Subscribed and Sworn before me this _____ day of
_____, 20 _____.

See attached

Notary Public

FINAL PLAT OF SUBDIVISION OF SILVERADO OF ST. CHARLES

BEING A PART OF SECTION NORTHWEST QUARTER OF
SECTION 30, TOWNSHIP 40 NORTH,
RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN,
IN DUPAGE COUNTY, ILLINOIS.



VICINITY MAP

SITE LOCATION

PLEASE RETURN THE RECORDED MYLAR TO:
CITY OF ST. CHARLES
2 E. MAIN STREET
ST. CHARLES, IL 60174

TOTAL AREA OF SUBDIVISION
10.961 ACRES
(MORE OR LESS)

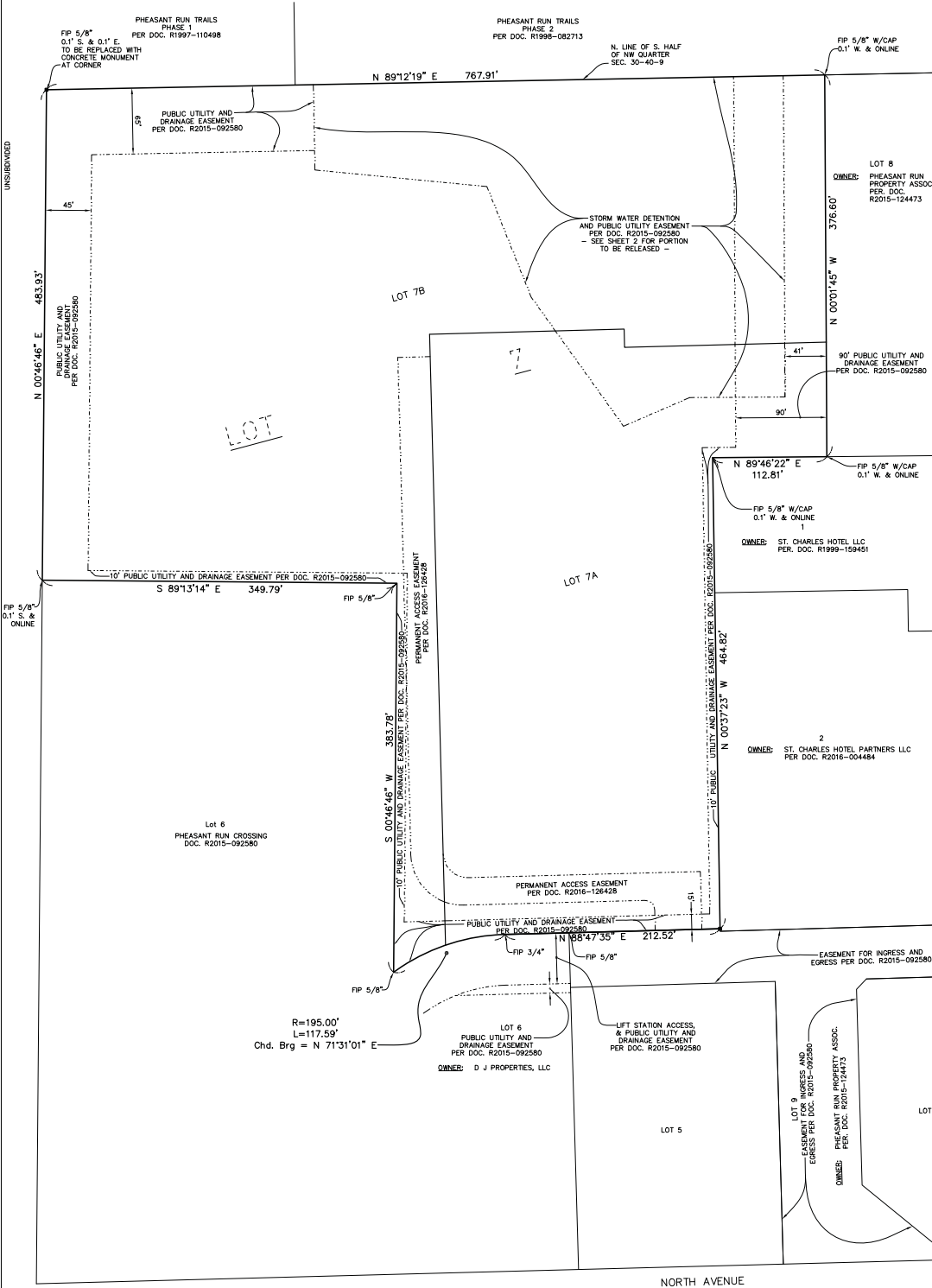
PARCEL INDEX NUMBER
01-30-102-037
ST. CHARLES, ILLINOIS

50 25 0 50
SCALE: 1 INCH = 50 FEET

AREA TABLE
LOT 7A: 174.161± SQ. FT. (3.998± ACRES)
LOT 7B: 303.314± SQ. FT. (6.963± ACRES)

NOTES
3/4 INCH IRON PIPE OR OTHER PERMANENT SURVEY MARKERS SET AT ALL LOT CORNERS AND POINTS OF CURVATURE UNLESS OTHERWISE NOTED.
ALL MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
DIMENSIONS SHOWN ALONG CURVES ARE ARC DISTANCES.
ALL EASEMENTS ARE HEREBY GRANTED UNLESS OTHERWISE NOTED (SEE SHEET 2).
P.U. & D.E. - INDICATES PUBLIC UTILITY AND DRAINAGE EASEMENT HEREBY GRANTED. SEE SHEET 2 FOR EASEMENT PROVISIONS.
P.U.E. - INDICATES PUBLIC UTILITY EASEMENT HEREBY GRANTED. SEE SHEET 2 FOR DETAILS AND SHEET 3 FOR EASEMENT PROVISIONS.
S.E. - INDICATES PUBLIC SIDEWALK EASEMENT HEREBY GRANTED. SEE SHEET 2 FOR DETAILS AND SHEET 3 FOR EASEMENT PROVISIONS.
THE BEARINGS SHOWN ARE BASED ON THE RECORD SUBDIVISION PLAT REFERENCED ON THIS PLAT HEREON.
F.I.P. = FOUND IRON PIPE (Ø AS SHOWN)

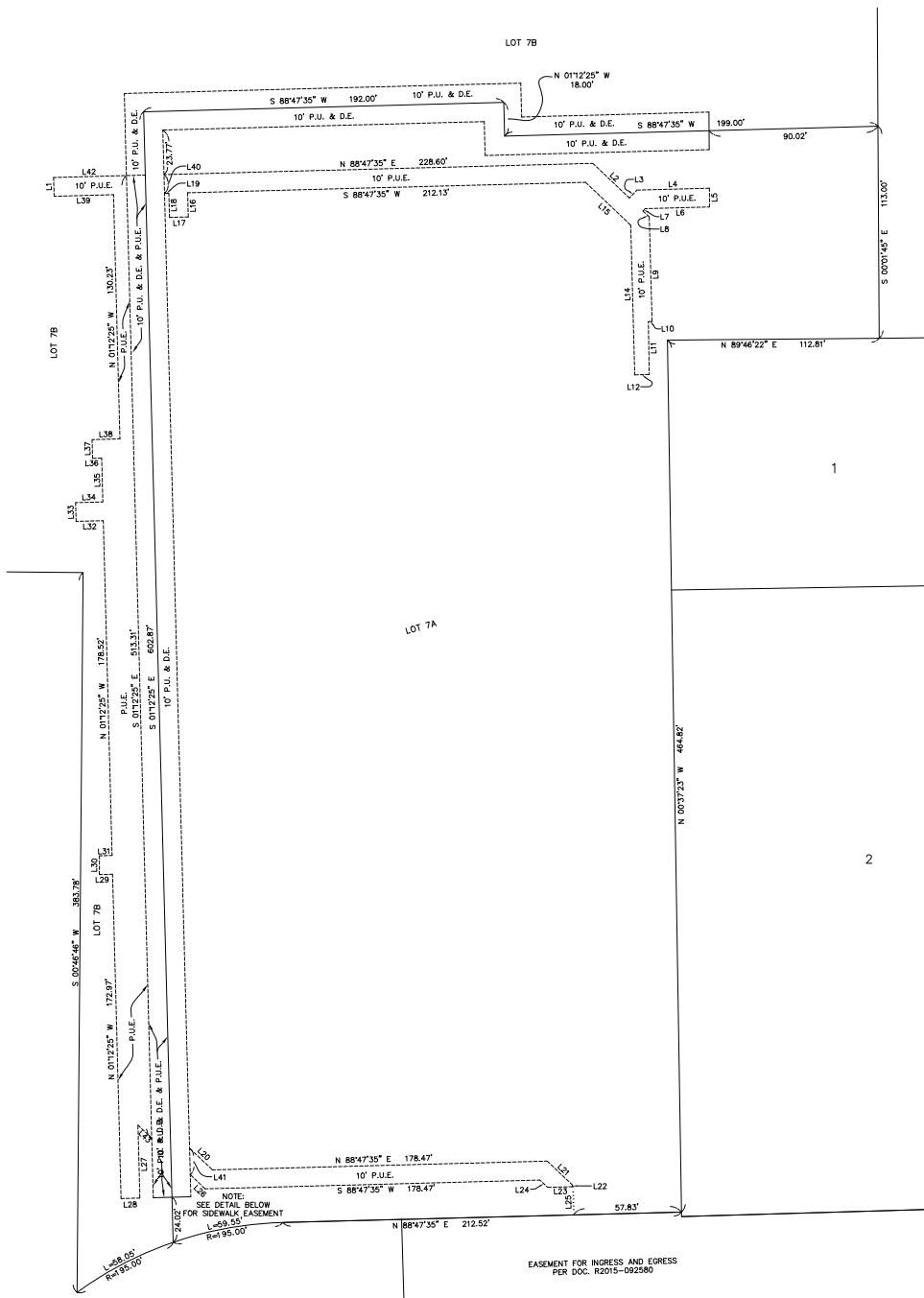
LEGEND
- SUBDIVISION BOUNDARY LINE (Heavy Solid Line)
- LOT LINE/PROPERTY LINE (Solid Line)
- ADJACENT LOT LINE/PROPERTY LINE (Light Solid Line)
- EASEMENT LINE/LIMITS OF EASEMENT (Short Dashed Lines)
- EXISTING EASEMENT LINE (Dotted & Dashed Line)
■ - SET CONCRETE MONUMENT



DRAWN FILED 04/27/17

PREPARED FOR:
SILVERADO ST.CHARLES
6400 OAK CANYON DRIVE, SUITE 200
IRVINE, CA 92618
(949) 930-3050

PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9875 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com
DISC NO.: 800002 FILE NAME: SUBPLAT
DRAWN BY: AJB FLD. BK. / PG. NO.: 767
COMPLETION DATE: 01-13-17 JOB NO.: 800.002
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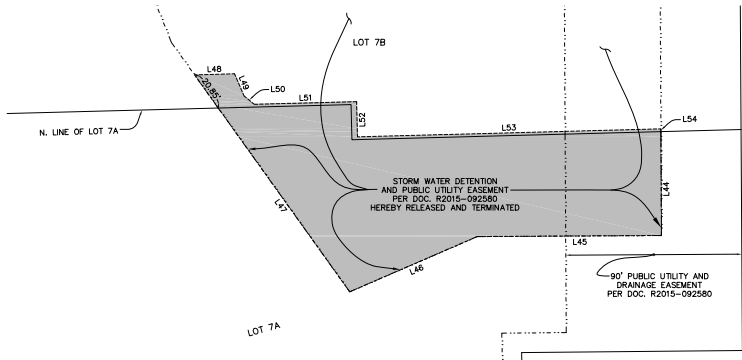
NOTES
 P.U. & D.E. - INDICATES PUBLIC UTILITY AND DRAINAGE EASEMENT HEREBY GRANTED. SEE SHEET 4 FOR EASEMENT PROVISIONS.
 P.U.E. - INDICATES PUBLIC UTILITY EASEMENT HEREBY GRANTED. SEE SHEET 4 FOR EASEMENT PROVISIONS.
 S.E. - INDICATES PUBLIC SIDEWALK EASEMENT HEREBY GRANTED. SEE SHEET 4 FOR EASEMENT PROVISIONS.

PORTION OF STORMWATER MANAGEMENT EASEMENT PER DOC. R2015-092580 HEREBY APPROVED AND EASEMENT RIGHTS RELEASED

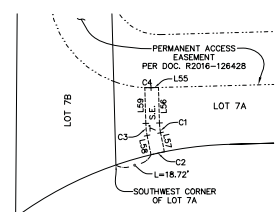
LINE	LENGTH	BEARING
L1	10.00'	N 01'12'25" W
L2	26.84'	S 46'12'25" E
L3	5.81'	N 43'47'35" E
L4	38.66'	N 88'47'35" E
L5	10.00'	S 00'01'45" E
L6	34.31'	N 88'47'35" E
L7	1.67'	S 43'47'35" W
L8	4.64'	S 46'12'25" E
L9	55.80'	S 01'12'25" E
L10	1.95'	N 89'46'22" E
L11	28.19'	S 00'37'23" E
L12	7.76'	S 88'47'35" W
L14	79.82'	N 01'12'25" W
L15	33.20'	N 46'12'25" W
L16	12.91'	S 01'12'25" E
L17	10.00'	S 88'47'35" W
L18	12.91'	N 01'12'25" W
L19	2.33'	S 88'47'35" W
L20	16.84'	S 46'12'25" E
L21	18.60'	S 46'12'25" E
L22	0.84'	S 01'12'25" E
L23	13.30'	S 88'47'35" W
L24	5.65'	N 46'12'25" W
L25	15.00'	N 01'12'25" W
L26	10.98'	S 46'12'25" E
L27	38.92'	S 01'12'25" E
L28	10.00'	S 88'47'35" W
L29	7.06'	S 88'47'35" W
L30	10.01'	N 01'46'46" E
L31	6.74'	N 88'47'35" E
L32	14.50'	S 88'47'35" W
L33	10.00'	N 01'12'25" W
L34	14.50'	S 88'47'35" W
L35	23.35'	N 01'12'25" W
L36	4.83'	S 88'47'35" W
L37	10.00'	N 01'12'25" E
L38	14.83'	S 88'47'35" W
L39	31.68'	S 88'47'35" W
L40	10.00'	N 01'12'25" W
L41	14.14'	N 01'12'25" W
L42	38.84'	N 88'47'35" E
L43	10.13'	N 46'12'25" W
L44	53.11'	S 00'01'45" E
L45	94.20'	S 89'58'15" W
L46	71.07'	S 66'52'30" W
L47	136.38'	N 35'16'30" W
L48	20.47'	N 88'47'35" E
L49	12.31'	S 22'59'17" E
L50	6.77'	S 50'14'57" E
L51	52.52'	N 88'47'35" E
L52	19.00'	S 01'12'25" E
L53	155.16'	N 88'47'35" E
L54	1.41'	S 00'01'45" E
L55	3.83'	N 88'47'35" E
L56	18.18'	S 01'12'25" E
L57	9.90'	S 11'06'01" E
L58	10.03'	N 11'06'01" W
L59	18.28'	N 01'12'25" W

CURVE	LENGTH	RADIUS	CHORD	BEARING
C1	5.01'	29.00'	S 06'09'13" E	
C2	7.00'	195.00'	S 77'49'27" W	
C3	6.22'	36.00'	N 06'09'13" W	
C4	3.17'	51.00'	S 89'28'39" E	

LOT AND EASEMENT GRANT DETAIL



STORMWATER MANAGEMENT EASEMENT RELEASE DETAIL



SIDEWALK EASEMENT DETAIL

PREPARED BY:
CEMCON, Ltd.
 Consulting Engineers, Land Surveyors & Planners
 2280 White Oak Circle, Suite 100 Aurora, Illinois
 60502-9675 Ph: 630.862.2100 FAX: 630.862.2199
 E-Mail: cadd@cemcon.com Website: www.cemcon.com
 DISC NO.: 800002 FILE NAME: SUBPLAT
 DRAWN BY: AJB FLD. BK. / PG. NO.: 767
 COMPLETION DATE: 01-13-17 JOB NO.: 800.002

NOT FILE GENERATED BY AUTOCAD

OWNER'S & SCHOOL DISTRICT CERTIFICATE - LOT 7A

STATE OF) S.S.
COUNTY OF)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT PROPERTY BEING SUBDIVIDED AFORESAID, AND TO THE BEST OF THE OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF:

ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303

BY: SILVERADO ST. CHARLES, LLC A DELAWARE LIMITED LIABILITY COMPANY

ADDRESS: 6400 OAK CANYON DRIVE
SUITE #200
IRVINE CALIFORNIA

DATED THIS ____ DAY OF ____ A.D. 20__

(SIGNATURE)

(TITLE)

NOTARY CERTIFICATE

STATE OF) S.S.
COUNTY OF)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF ____ A.D. 20__ AT ____ ILLINOIS.

NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE - LOT 7A

STATE OF) S.S.
COUNTY OF)

THIS IS TO CERTIFY THAT DMH-DAYTON, INC., AS MORTGAGEE UNDER THE MORTGAGE DATED NOVEMBER 9, 2016 AND RECORDED ON NOVEMBER 15, 2016 AS DOCUMENT NUMBER R2016-126430, HEREBY CONSENTS TO RECORDING OF THE PLAT AS HEREOF SHOWN.

DATED AT ____ ILLINOIS, THIS ____ DAY ____ A.D. 20__

BY: _____

ATTEST: _____

STATE OF) S.S.
COUNTY OF)

NOTARY CERTIFICATE

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF ____ A.D. 20__ AT ____ ILLINOIS.

NOTARY PUBLIC

DIRECTOR OF COMMUNITY DEVELOPMENT CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

I, _____, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY & ECONOMIC DEVELOPMENT, CITY OF ST. CHARLES

DATED AT ____ ILLINOIS, THIS ____ DAY OF ____ A.D. 20__

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

APPROVED THIS ____ DAY OF ____ A.D. 20__

CITY OF ST. CHARLES PLAN COMMISSION

CHAIRMAN

CITY COUNCIL CERTIFICATE

APPROVED AND ACCEPTED THIS ____ DAY OF ____ A.D. 20__

CITY COUNCIL OF CITY OF ST. CHARLES, ILLINOIS

MAYOR

ATTEST: _____ CITY CLERK

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, PETER A. BLAESER, ILLINOIS LAND SURVEYOR NO. 3072, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY: LOT 7 IN PHEASANT RUN CROSSING, BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF LOT 1 (ACCORDING TO THE GOVERNMENT SURVEY) OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 19, 2015 AS DOCUMENT R2015-092580, IN DUPAGE COUNTY, ILLINOIS.

FURTHER, THIS PLAT HAS BEEN PREPARED BY AN ILLINOIS PROFESSIONAL LAND SURVEYOR AND THAT THE PLAT HEREOF DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION.

IT IS FURTHER CERTIFIED THAT THE PROPERTY SHOWN HEREOF LIES WITHIN THE CORPORATE LIMITS OF THE CITY OF ST. CHARLES, WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

IT IS FURTHER CERTIFIED THAT, TO THE BEST OF OUR KNOWLEDGE, ALL REGULATIONS ENACTED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

GIVEN UNDER MY HAND AND SEAL AT ____ ILLINOIS, THIS ____ DAY OF ____ A.D. 2017.

PETER A. BLAESER
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3072
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2018
PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002937
EXPIRES APRIL 30, 2017

OWNER'S & SCHOOL DISTRICT CERTIFICATE - LOT 7B

STATE OF) S.S.
COUNTY OF)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT PROPERTY BEING SUBDIVIDED AFORESAID, AND TO THE BEST OF THE OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF:

ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303

BY: AMERICAN LODGING CORP., A DELAWARE LIMITED LIABILITY COMPANY

ADDRESS: _____

DATED THIS ____ DAY OF ____ A.D. 20__

(SIGNATURE)

(TITLE)

NOTARY CERTIFICATE

STATE OF) S.S.
COUNTY OF)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF ____ A.D. 20__ AT ____ ILLINOIS.

NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE - LOT 7B

STATE OF) S.S.
COUNTY OF)

THIS IS TO CERTIFY THAT THE PRIVATE BANK & TRUST COMPANY, AS MORTGAGEE UNDER THE MORTGAGE RECORDED DATED JANUARY 29, 2015 AND RECORDED ON FEBRUARY 24, 2015 AS DOCUMENT NUMBER R2015-017244, HEREBY CONSENTS TO RECORDING OF THE PLAT AS HEREOF SHOWN.

DATED AT ____ ILLINOIS, THIS ____ DAY ____ A.D. 20__

BY: _____

ATTEST: _____

STATE OF) S.S.
COUNTY OF)

NOTARY CERTIFICATE

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF ____ A.D. 20__ AT ____ ILLINOIS.

NOTARY PUBLIC

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS

DATED AT ____ ILLINOIS, THIS ____ DAY OF ____ A.D. 20__

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL AT ____ ILLINOIS, THIS ____ DAY OF ____ A.D. 20__

COUNTY CLERK

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF DUPAGE)

THIS INSTRUMENT _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE ____ DAY OF ____ A.D. ____ AT ____ O'CLOCK ____ M.

RECORDER OF DEEDS

SPECIAL FLOOD HAZARD AREA CERTIFICATE

THIS IS TO CERTIFY THAT THE PARCELS INCLUDED IN THIS RECORD OF DEED ARE NOT LOCATED IN THE SPECIAL FLOOD HAZARD AREA IDENTIFIED FOR THE CITY OF ST. CHARLES, ILLINOIS BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE FLOOD INSURANCE RATE MAP, PANEL NO. 170450107H DATED DECEMBER 16, 2004.

PETER A. BLAESER
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3072
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2018
PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002937
EXPIRES APRIL 30, 2017

PUBLIC UTILITY EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERITECH AND NICOR AND TO THEIR SUCCESSORS AND ASSIGNS (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY EASEMENT" ON THE PLAT OF SUBDIVISION HEREOF DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENOVATING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLE, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREOF FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK, THE RIGHT IS ALSO GRANTED TO SAID GRANTEE TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER, OR THROUGH SAID EASEMENTS. IN THE EVENT UTILITY MAINTENANCE IS PERFORMED WITHIN THE UTILITY EASEMENT, THE CITY OF ST. CHARLES WILL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEE SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, PAVING, FENCES, SIDEWALKS, CURBS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS, UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES.

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES INCLUDING BUT NOT LIMITED TO, AMERITECH AND NICOR AND TO THEIR SUCCESSORS AND ASSIGNS (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY AND DRAINAGE EASEMENT" ON THE PLAT OF SUBDIVISION HEREOF DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENOVATING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLE, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREOF FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK, THE PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES AND THE RESPECTIVE SUCCESSORS AND ASSIGNS FOR MAINTAINING THE UNINTERRUPTED CONVEYANCE AND FLOW AND RUNOFF OF SURFACE STORM WATER ACROSS AND UPON THE AREAS DESIGNATED ON THIS PLAT AS DRAINAGE EASEMENT. THE RIGHT IS HEREBY GRANTED TO SAID GRANTEE TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE DRAINAGE WAYS AND OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER, OR THROUGH SAID EASEMENTS.

NO PERMANENT BUILDINGS, TREES, GARDENS, SHRUBS, OR BERRING SHALL BE PLACED ON OR IN SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR PAVING, FENCES, SIDEWALKS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS, WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS, UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES.

FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEE IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREOF, THE GRANTEE SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEE SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION.

PUBLIC SIDEWALK EASEMENT PROVISIONS

A PERMANENT PUBLIC SIDEWALK EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES, ITS SUCCESSORS AND ASSIGNS OVER THE AREA(S) MARKED "S.E." ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, AND REPAIR THE PUBLIC SIDEWALK WITHIN THE SUBJECT EASEMENT AREA TOGETHER WITH ANY AND ALL NECESSARY STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID CITY OVER, UPON, ABOVE AND THROUGH SAID INDICATED EASEMENT TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS ACROSS THE PROPERTY FOR PEDESTRIAN TRAFFIC AND FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK, THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE PUBLIC SIDEWALKS. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR LAWNS AND LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS.

EASEMENT RELEASE ACKNOWLEDGEMENT

CITY OF ST. CHARLES

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

RELEASE THAT PART OF THE STORMWATER MANAGEMENT & PUBLIC UTILITY EASEMENT SHOWN HEREOF APPROVED AND ACCEPTED.

THIS ____ DAY OF ____ A.D. 20__

BY: _____

TITLE: _____

NICOR CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

RELEASE THAT PART OF THE PUBLIC UTILITY EASEMENT SHOWN HEREOF APPROVED AND ACCEPTED.

THIS ____ DAY OF ____ A.D. 20__

BY: _____

TITLE: _____

COMCAST CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

RELEASE THAT PART OF THE PUBLIC UTILITY EASEMENT SHOWN HEREOF APPROVED AND ACCEPTED.

THIS ____ DAY OF ____ A.D. 20__

BY: _____

TITLE: _____

AT & T CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

RELEASE THAT PART OF THE PUBLIC UTILITY EASEMENT SHOWN HEREOF APPROVED AND ACCEPTED.

THIS ____ DAY OF ____ A.D. 20__

BY: _____

TITLE: _____

PREPARED BY:



CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
630-62-9875 Ph: 630.862.2100 FAX: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com

DISC NO: 800022 FILE NAME: SUBPLAT
DRAWN BY: AUB FLD. BK. / PG. NO.: 767
COMPLETION DATE: 01-13-17 JOB NO.: 800.002

FINAL SITE DEVELOPMENT PLANS
FOR
SILVERADO ST. CHARLES
ST. CHARLES, ILLINOIS
WATERMAIN-SANITARY SEWER-STREET-STREET LIGHTING
AND DRAINAGE IMPROVEMENTS

LEGEND

EXISTING	PROPOSED	DESCRIPTION
□	○	MANHOLE
□	⊕	CATCH BASIN
—	⊕	INLET
—	⊕	CLEANOUT
—	⊕	SLOPE INLET BOX
—	—	HEADWALL
—	—	END SECTION
—	—	STORM SEWER
—	—	SANITARY SEWER
—	—	WATERMAIN
⊕	⊕	VALVE & BOX
⊕	⊕	WATER VALVE IN VAULT
⊕	⊕	FIRE HYDRANT
—	—	CONTOUR
(ELEV)	ELEV	ELEVATIONS
—	—	STREET LIGHT
—	—	WATERMAIN PROTECTION
—	—	SILT FENCE INLET PROTECTOR
—	—	TEMPORARY STRAW BALE DITCH CHECK
—	—	SILT FENCE DITCH CHECK
—	—	RIP-RAP
—	—	OVERFLOW ROUTE



BENCH MARKS

REFERENCE MARKS

STATION STC 17 ALUMINUM DISC IN CYLINDER AT THE NORTHWEST CORNER OF DUNHAM ROAD AND FOX CHASE BOULEVARD.
ELEVATION = 762.85 (NAVD 88)

STATION STC 18 ALUMINUM DISC IN CYLINDER ON WEST SIDE OF 38TH AVENUE APPROXIMATELY 200 FEET SOUTH OF INTERSECTION OF ILLINOIS ROUTE 64 AND 38TH AVENUE.
ELEVATION = 782.35 (NAVD 88)

STATION STC 06 ALUMINUM DISC IN CYLINDER ON WEST SIDE OF DUNHAM ROAD APPROXIMATELY 360 FEET NORTH OF THE INTERSECTION OF ILLINOIS ROUTE 64 AND DUNHAM ROAD.
ELEVATION = 770.003 (NAVD 88)

SITE REFERENCE MARKS

CP100 CROSS CUT IN CURB LINE ⊕ THIRD STALL SOUTH OF NORTHWEST CORNER OF PARKING LOT OF HILTON GARDEN INN LOCATED AT 4070 EAST MAIN STREET ST CHARLES IL.
ELEVATION = 760.22(NAVD 88)

CP103 CROSS CUT IN CURB LINE ⊕ NORTHEAST CORNER OF PARKING LOT OF VOLKSWAGEN DEALERSHIP, NORTH OF NORTH AVENUE AND WEST OF HILTON GARDEN INN LOCATED AT 4070 EAST MAIN STREET ST CHARLES IL.
ELEVATION = 765.82(NAVD 88)

INDEX OF SHEETS

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6.-7.	GEOMETRIC AND STRIPING PLAN
8.	OVERALL UTILITY PLAN
9.-10.	STORMWATER POLLUTION PREVENTION PLAN
11.	STORMWATER POLLUTION PREVENTION PLAN NOTES
12.	STORMWATER POLLUTION PREVENTION PLAN DETAILS
13.-14.	DRAINAGE AND GRADING PLAN
15.-16.	SANITARY SEWER AND WATERMAIN PLAN
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18.	PHOTOMETRIC PLAN
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21.	SANITARY SEWER AND WATERMAIN DETAILS
22.	DRAINAGE STRUCTURE DETAILS

PROFESSIONAL ENGINEER'S CERTIFICATION

STATE OF ILLINOIS) SS.
COUNTY OF DU PAGE)

I, MICHAEL B. KEITH, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS TECHNICAL SUBMISSION WAS PREPARED ON BEHALF OF SILVERADO ST. CHARLES, LLC, BY CEMCON, LTD. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS ____ DAY OF _____, A.D., 2017.

ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 062-066723
MY LICENSE EXPIRES ON NOVEMBER 30, 2017

PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002937
EXPIRES APRIL 30, 2017

NOTE: UNLESS THIS DOCUMENT BEARS THE ORIGINAL SIGNATURE AND IMPRESSED SEAL OF THE DESIGN PROFESSIONAL ENGINEER, IT IS NOT A VALID TECHNICAL SUBMISSION.

FOR UNDERGROUND UTILITY LOCATIONS, CALL J.U.L.I.E. TOLL FREE TEL. 1-800-892-0123 or 811

DATE: _____
RELEASED FOR PLAN REVIEW AND PERMIT PROCESSING ONLY.
IF USED FOR BIDDING PURPOSES, THOSE PARTIES CONCERNED SHALL BE ADVISED THAT REVISIONS MAY BE REQUIRED PRIOR TO PLAN APPROVAL.
NOT ISSUED FOR CONSTRUCTION UNTIL APPROVED BY THE CITY OF ST. CHARLES AND PERMITTED AS REQUIRED.

PREPARED FOR:
SILVERADO ST. CHARLES, LLC
6400 OAK CANYON DRIVE, SUITE 200
IRVINE, CA 92618
(949) 930-3050

PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100
Aurora, Illinois 60504-9676
Ph: 630.862.2100 Fax: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com

REVISIONS

NO.	DATE	SHEETS	NO.	DATE	SHEETS

JOB NO. 800.002
COMPLETION DATE :
01-23-2017
SHEET 1 OF 22

CONSTRUCTION SPECIFICATIONS – GENERAL NOTES

SANITARY SPECIFICATION REQUIREMENTS

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE CITY OF ST. CHARLES ILLINOIS ORDINANCE AND REQUIREMENTS OF THE "STATE STANDARD SPECIFICATION FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS" CURRENT EDITION.
2. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY THE CITY OF ST. CHARLES ILLINOIS.
3. SANITARY MANHOLE FRAMES SHALL BE NEDHAM R-1712 IN PAVED AREAS, AND NEDHAM R-2535 IN NON PAVED AREAS (OR APPROVED EQUIVALENT).
4. ALL JOINTS BETWEEN PRE-CAST ELEMENTS, ADJUSTING RINGS AND MANHOLE FRAMES ON ALL UNDERGROUND STRUCTURES, SHALL BE SET IN PLACE WITH ONE OF THE FOLLOWING BUTYL RUBBER JOINT SEALANTS:

CONCRETE PRODUCTS SUPPLY CO. – EZ STIKS
HAMILTON-KENT GASKET CO. – RENT SEAL

OR EQUAL, AS APPROVED BY THE ENGINEER, AND ALL JOINTS TO BE TIGHTENED WITH HYDRAULIC CEMENT OR MORTAR WITH A BRUSH FINISH.
5. ALL SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED WITH FLEXIBLE MANHOLE COUPLING, AS MANUFACTURED BY INTERPACE CORPORATION (LOGOQUIT FLEXIBLE MANHOLE SEALS), PRESS-SEAL GASKET CORPORATION (PRESS WEDGE J), OR EQUAL AS APPROVED BY THE ENGINEER. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL COMPLY WITH THOSE SPECIFIED BY THE MANUFACTURER.
6. A WATER-TIGHT MASONRY BULKHEAD SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE BULKHEAD SHALL REMAIN IN PLACE UNTIL AFTER THE SANITARY SEWERS HAVE BEEN TESTED AND ACCEPTED.
7. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY UNPOLLUTED WATER SUCH AS GROUND AND SURFACE WATER FROM ENTERING THE EXISTING SANITARY SEWERS.
8. THE CONTRACTOR SHALL BE PROHIBITED FROM DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OR FLOATING LINES FOR THE DEFLECTION TEST WITHOUT PRIOR APPROVAL.
9. ALL NEW SANITARY SEWERS SHALL BE PRESSURE TESTED AND TELEVIEWED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN THE CURRENT EDITION OF "THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS".
10. SANITARY SEWER MANHOLES WITH INTERNAL DROPS TWO FEET OR LESS SHALL HAVE A PRECAST CONCRETE TROUGH BUILT IN STRUCTURE TO OBTAIN A SMOOTH FLOW TRANSITION FROM THE UPSTREAM PIPE INVERT TO THE DOWNSTREAM PIPE INVERT.
11. ALL MANHOLES AND STRUCTURES SHALL BE CLEANED OF ANY ACCUMULATION OF SILT, DEBRIS, OR FOREIGN MATTER OF ANY KIND, AND SHALL BE FREE FROM SUCH ACCUMULATIONS AT THE TIME OF FINAL INSPECTION.
12. SANITARY MANHOLE LID MUST HAVE CONVEALEX PICK HOLES AND HAVE THE WORDS "SANITARY" AND STAMPED IN THE COVER WITH AN INTACT RUBBER GASKET SEAL.
13. THE FRAME LIP SHALL BE CLEANED OF ALL MUD AND DEBRIS TO PROVIDE A WATERPROOF SEAL BETWEEN THE FRAME AND THE MANHOLE COVER GASKET.
14. ALL STEPS MUST BE INSTALLED, ALIGNED AND CLEAN.
15. THE BARREL SECTION JOINTS MUST BE TIGHTENED WITH HYDRAULIC CEMENT OR MORTAR WITH A BRUSH FINISH.
16. ALL PINHOLES MUST BE MORTARED WITH A BRUSH FINISH TO PROVIDE A WATERPROOF SEAL.
17. THE UPSTREAM AND DOWNSTREAM PIPE CAMITES MUST BE FILLED WITH MORTAR AND SMOOTHED WITH A BRUSH FINISH.
18. THE UPSTREAM AND DOWNSTREAM FLOW LINES (INVERTS) SHALL HAVE A SMOOTH TRANSITION FROM THE PIPE TO THE MANHOLE INVERT.
19. ALL MANHOLE STRUCTURES SHALL BE FREE OF ANY TYPE OF INFILTRATION (LEAK LEAKING INTO THE STRUCTURE).
20. IF THERE IS AN INTERNAL DROP IN THE STRUCTURE THERE MUST A SMOOTH TRANSITION FROM THE PIPE TO THE INVERT (E.G. CHANNEL THE FLOW FROM THE PIPE TO THE MANHOLE INVERT).
21. ALL SANITARY MANHOLE CAMITES SHALL BE SEALED USING RAPID SEAL BY CANHOLE OR APPROVED EQUAL.
22. OUTER SURFACES OF PRECAST AND CAST-IN-PLACE MANHOLES SHALL BE GIVEN TWO (2) COATS OF BITUMINOUS DAMPROOFING AT THE RATE OF 30 – 60 SQ. FT. PER GALLON AS DIRECTED BY THE ENGINEER AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

SANITARY SEWER, STORM SEWER, WATERMAIN (CONT.)

1. THE CONTRACTOR SHALL NOTIFY THE MUNICIPAL ENGINEERING DEPARTMENT 48 HOURS PRIOR TO THE START OF CONSTRUCTION OF PUBLIC IMPROVEMENTS TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION. THE PUBLIC IMPROVEMENTS INCLUDE ALL SANITARY SEWERS AND ALL OTHER WITHIN PUBLIC R.O.W.
2. THE CITY OF ST. CHARLES, ILLINOIS SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE AND REJECT THE CONSTRUCTION OF PUBLIC IMPROVEMENTS.
3. THE CONTRACTOR(S) SHALL INDEMNIFY AND ADD AS ADDITIONALLY INDEMNIFIED ON THE CONTRACTOR'S PART THE CITY OF ST. CHARLES, THEIR AGENTS ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, TESTING AND MAINTENANCE OF THIS PROJECT.
4. ALL SANITARY SEWER, STORM SEWER AND WATERMAIN WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION.
5. SANITARY SEWERS AND WATERMAIN SERVICES SHALL HAVE A MINIMUM OF 5.0 FEET OF COVER AND SHALL BE RUN IN STRAIGHT ALIGNMENT UNLESS SPECIFICALLY SHOWN ON THE PLANS.
6. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING MANHOLE CURBS, PAVEMENT AND PARAPETS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
7. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO VERIFY IN THE FIELD ALL EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE PROJECT AND BE RESPONSIBLE FOR PROTECTION OF SAME.
8. ALL STORM MANHOLE, CATCH BASIN, AND INLET FRAME ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE. ADJUSTING RINGS SET IN A FULL BED OF BUTYL ROPE JOINT SEALANT, NO MORE THAN 6" OF ADJUSTING RINGS WILL BE PERMITTED.
9. ALL DRAINAGE STRUCTURES TO HAVE POURED INVERTS CONFORMING TO THE SHAPE OF THE PIPE.
10. THE CONTRACTOR SHALL BE AWARE OF POTENTIAL CONFLICTS WITH EXISTING UTILITIES AS INDICATED ON THE PLANS. THE CONTRACTOR SHALL EDUCATE ALL PERSONNEL REGARDING UTILITY ELEVATIONS BEFORE BEGINNING CONSTRUCTION.
11. STAINLESS STEEL "NON-SHEAR" OR SIMILAR COUPLINGS SHALL BE USED WHEN JOINING SEWER PIPES OF DIFFERENT SIZES.
12. ALL NEW SANITARY SEWERS SHALL HAVE WYES FOR PROPOSED BUILDING SERVICES. ALL CONNECTIONS TO EXISTING SANITARY SEWERS NOT HAVING WYES SHALL BE MADE WITH AN INSERT-A-TIE TYPE FITTING OR APPROVED EQUAL.
13. ALL EXISTING FIELD DRAINAGE TILE ENCOUNTERED OR DAMAGED DURING CONSTRUCTION ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION, PROPERLY REGRADED AND/OR CONNECTED TO THE STORM SEWER SYSTEM. ENCOUNTERED FIELD DRAINAGE TILE SHALL BE PROMPTLY REGRADED AND DOCUMENTED FOR INCORPORATION INTO THE RECORD DRAWING.
14. AT THE COMPLETION OF THIS PROJECT, ONE SET OF PLANS INCLUDING ALL WYALS WITH RECORDS OF THIS PROJECT SHALL BE SUBMITTED TO THE ENGINEER SHOWING THE LOCATION OF ALL OF THE SERVICES, PIPES, STRUCTURES, DRAINAGE AND ELEVATIONS.
15. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED UP TO 8" TOTAL ADJUSTMENT OR DOWN TO 4" TOTAL ADJUSTMENT. ANY RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
16. CONNECTIONS TO EXISTING SANITARY STORM AND WATER SYSTEMS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, UNLESS SPECIFICALLY NOTED OTHERWISE.
17. ALL WATERMANS SHALL BE CASTED LINED DUCTILE IRON PIPE, CLASS 92 CONFORMING TO AWWA C-151 OR ANSI A-21.01 WITH PUSH-ON OR MECHANICAL JOINTS AND SHALL HAVE A MINIMUM OF 5.0 FEET OF COVER AND A MAXIMUM OF 6.0 FEET DEEP AND SHALL BE ENCASED IN POLYETHYLENE FILM IN ACCORDANCE WITH AWWA C-105-82. FITTINGS SHALL BE CAST LINED TAR COATED CAST IRON WITH MECHANICAL JOINTS RATED 250 PSI PER AWWA C10/ANSI 21.20 (LOW CARBON, AUST. PIPE, OR EQUAL).
18. ALL MAIN LINE VALVES UP TO 12" SHALL BE RESILIENT SEAT (POPEY COATED WEDGE GATE VALVE TYPE (MUELLER), CAN-8 CRUSHED COMPACTED LAMESTONE SHALL BE UTILIZED TO BACKFILL AROUND ALL VALVES AND VALVE BOXES.
19. WATER SERVICES SHALL INCLUDE THE NEARBY LENGTH OF TYPE "C" COPPER WATER TUBE OF THE SIZE SHOWN ON THE PLANS, CORPORATION STOP (MUELLER FORD, T), CURB STOP (MUELLER FORD, T), AND NECESSARY BOX (MUELLER), ALL AS REQUIRED BY THE MUNICIPALITY, AND ALL NECESSARY LABOR, TOOLS, EQUIPMENT, EXCAVATION AND BACKFILL FOR A COMPLETE INSTALLATION AS SHOWN ON THE PLANS. TRENCH BACKFILL WILL BE PAID FOR SEPARATELY, WHEN REQUIRED. NO SIDE YARD WATER SERVICES WILL BE ALLOWED. SERVICE TO BE ONE CONTINUOUS SECTION OF COPPER. (NO SPLICES)
20. SANITARY SEWER STRUCTURES SHALL BE ASSEMBLED AND ADJUSTED USING BUTYL ROPE JOINT SEALANT SHOWN ON THE PLANS AND MEETING THE APPROVAL OF THE MUNICIPALITY.
21. ALL FIRE HYDRANTS SHALL BE MUELLER CENTURION A, 433 (5 1/2" BARREL) ALL MUELLER VALVES & HARDWARE AUXILIARY VALVE 6" GATE VALVE NO. A 2370 WOODRED WEDGE RESILIENT SEAT.
22. ALL WATERMANS SHALL BE PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH STANDARDS AND PROCEDURES MEETING THE APPROVAL OF THE MUNICIPALITY
23. GRANULAR TRENCH BACKFILL SHALL BE USED IN ALL LOCATIONS WHERE THE PROPOSED UNDERGROUND UTILITY IS TO BE CONSTRUCTED UNDER PERMANENT TYPE PAVEMENTS SUCH AS ROADWAYS OR CURBSIDES. IN ANY UTILITY TRENCH OVER WHICH ANOTHER UTILITY WILL PASS, OR AS DIRECTED BY THE ENGINEER, TRENCH BACKFILL SHALL BE EXTENDED TWO (2) FEET ON EACH SIDE OF THE PERMANENT TYPE SURFACE, AS MEASURED AT THE LOWEST POINT OF THE PAVEMENT. ONSTE MATERIAL MAY BE USED WITH THE APPROVAL OF THE MUNICIPALITY CONSULTANTS' APPROVAL FOR ANY PRIVATE IMPROVEMENTS.
24. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED, DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER FOOT FOR SYSTEMS. THE CONTRACTOR SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. NO PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT.
25. TRENCH BACKFILL WILL BE PAID FOR IN ACCORDANCE WITH THE 1997 EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

SANITARY SEWER, STORM SEWER, WATERMAIN (CONT.)

26. ALL PUBLIC SANITARY SEWERS TWELVE INCHES (12") OR LESS IN DIAMETER WILL BE AIR TESTED BY THE DEVELOPER. AT HIS EXPENSE, UNDER THE SUPERVISION OF THE MUNICIPAL ENGINEER, OR HIS AUTHORIZED REPRESENTATIVE. ONE COPY OF THE REPORT SHALL BE FORWARDED TO THE MUNICIPAL ENGINEER. AN INFILTRATION TEST WILL BE ALLOWED IF IT CAN BE SHOWN AT THE TIME OF THE TEST THAT THE WATER TABLE IS ABOVE THE TOP OF THE PIPE. ALL TESTING WILL BE DONE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS' CURRENT EDITION.
27. CONNECTION TO EXISTING STORM SEWER STRUCTURES SHALL BE DONE BY COING THE CONCRETE BARREL SECTION.
28. ALL TWELVE INCH (12") STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-78 (CLASS II EXCESS). ALL FIFTEEN INCH (15") PIPES AND LARGER SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-78 (CLASS II MINIMUM). STORM SEWERS MUST HAVE GASKETED JOINTS CONFORMING TO ASTM C-443 REQUIREMENTS.
29. ALL EXISTING WELLS TO BE CAPED AND ABANDONED IN ACCORDANCE WITH COUNTY HEALTH STANDARDS.
30. ALL SANITARY SEWER SHALL BE TESTED IN ACCORDANCE WITH SECTION 311-111 OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS"; IN ADDITION ALL MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH ASTM-1544-93.

PROTECTION OF WATERMAIN AND WATER SERVICE LINES

WATERMANS AND WATER SERVICE LINES SHALL BE PROTECTED FROM SANITARY SEWERS, STORM SEWERS, HOUSE SEWER SERVICE CONNECTIONS AND DRAINS AS FOLLOWS:

- A) WATERMANS
 - 1) HORIZONTAL SEPARATION:
 - a) WATERMANS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER OR SEWER SERVICE CONNECTION.
 - b) WATERMANS SHALL BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN:
 - 1) LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET;
 - 2) THE WATERMAIN INVERT IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND
 - 3) THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
 - c) BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE OR PVC PIPE MEETING WATERMAIN STANDARDS WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
 - 2) VERTICAL SEPARATION:
 - a) A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER. WHEREVER WATERMANS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS, THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT LENGTH OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSING.
 - b) THE WATERMAIN SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.
 - c) THE DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE (STORM SEWER ONLY), OR WATERMAIN QUALITY PVC AND PRESSURE TESTED, OR THE DRAIN OR SEWER SHALL BE SLIPPED STEEL PIPE OR CONSTRUCTED OF REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76 WITH GASKETED JOINTS CONFORMING TO ASTM C-361 (STORM SEWER ONLY, FOR A DISTANCE OF 10 FEET EITHER SIDE OF THE CONTACT).
 - d) IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (A) ABOVE; OR
 - e) THE WATERMAIN PASSES UNDER A SEWER, SEWER SERVICE OR DRAIN.

SANITARY SEWER, STORM SEWER, WATERMAIN (CONT.)

- a) A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER, SEWER SERVICE OR DRAIN. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATERMAIN.
- b) CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.
- c) WHENEVER WATERMAIN QUALITY PVC SDR 26 PIPE IS REQUIRED, THE PIPE SHALL CONFORM TO ASTM D-2241 WITH JOINTS CONFORMING TO ASTM D-1139 FOR A MINIMUM OF 10 FEET EITHER SIDE OF THE CROSSING.
- d) WATER SERVICE LINES:
 - 1) THE HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATER SERVICE LINES AND ALL STORM SEWERS, SANITARY SEWERS, COMBINED SEWERS OR ANY DRAIN SEWER SERVICE CONNECTION SHALL BE THE SAME AS WATER MAIN SEPARATION DESCRIBED IN (A) ABOVE.
 - 2) WATER PIPE DESCRIBED IN (A) ABOVE SHALL BE USED FOR SEWER SERVICE LINES WHEN MINIMUM HORIZONTAL AND VERTICAL SEPARATION CANNOT BE MAINTAINED.
- e) SPECIAL CONDITIONS – ALTERNATE SOLUTIONS SHALL BE PRESENTED TO THE AGENCY WHEN EXTREME TOPOGRAPHICAL, GEOLOGICAL OR EXISTING STRUCTURAL CONDITIONS MAKE STRICT COMPLIANCE WITH (A) AND (B) ABOVE, TECHNICALLY AND ECONOMICALLY UNPRACTICAL. ALTERNATE SOLUTIONS WILL BE APPROVED PROVIDED WATERPROOF CONSTRUCTION STRUCTURALLY EQUIVALENT TO APPROVED WATERMAIN MATERIAL IS PROVIDED.
- f) WATERMANS SHALL BE SEPARATED FROM SEPTIC TANKS, DISPOSAL PIELDS AND SEEPAGE BEDS BY A MINIMUM OF 25 FEET.
- g) WATERMANS AND WATER SERVICE LINES SHALL BE PROTECTED AGAINST ENTRANCE OF HYDROCARBONS THROUGH DIFFUSION THROUGH ANY CRACKS IN CONSTRUCTION OF THE LINE.

SANITARY SEWER PIPE SPECIFICATIONS

- A) WATER AND SEWER REGULATIONS
 - 1) THE BUILDING SEWER SHALL BE EITHER OF THE FOLLOWING:
 - a) PVC PLASTIC SEWER PIPE AND FITTINGS OF SIZES 4-INCH THROUGH 15 INCH SHALL CONFORM TO THE LATEST REVISED SPECIFICATION REQUIREMENTS OF ASTM D3034 FOR TYPE POM POLYVIT. CHLORIDE (PVC) SEWER PIPE AND FITTINGS OF MINIMUM WALL THICKNESS SDR 26, AND THE JOINTS SHALL BE THE SOLVENT WELD TYPE CONFORMING TO THE LATEST REVISED SPECIFICATION REQUIREMENTS OF ASTM D2554 M D2855, OR ELASTOMERIC GASKET TYPE CONFORMING TO THE LATEST REVISED AND AS SPECIFICATION REQUIREMENTS OF ASTM D5989 AND ASTM D3212. A THROUNDER WALLED PIPE MAY BE SPECIFIED BY THE ENGINEER DEPENDING ON DESIGN AND/OR FIELD CONDITIONS. PVC PLASTIC SEWER PIPE AND FITTINGS OF SIZES 18-INCH THROUGH 36-INCH SHALL CONFORM TO THE LATEST REVISED SPECIFICATION REQUIREMENTS OF ASTM F2918 FOR LARGE DIAMETER PLASTIC GRAVITY SEWER PIPE AND FITTINGS OF MINIMUM WALL THICKNESS 11, OR ASTM F794 FOR SERIES 46 POLYVITYL CHLORIDE (PVC) LARGE DIAMETER PRESSURE GRAVITY SEWER PIPE AND FITTINGS. WHEN MATERIALS WITH GASKETED JOINTS AND ELASTOMERIC GASKETS TO FORM A WATERPROOF SEAL CONFORMING TO THE LATEST REVISED SPECIFICATION REQUIREMENTS OF ASTM F477 OR ASTM D3212. PIPE AND FITTINGS SHALL BE THE PRODUCTS OF ONE APPROVED MANUFACTURER ONLY, AND THESE SHALL NOT BE ANY MIXTURE OF PIPE AND FITTINGS OF DIFFERENT MANUFACTURERS. THE HANDLING AND INSTALLATION OF PIPE, ASSEMBLY OR JOINTS AND MANHOLE CONNECTIONS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - b) GASKET TYPE WATERSTOP COLLARS CONSISTING OF A NEOPRENE COLLAR AND A STAINLESS STEEL BAND OR OTHER APPROVED MANHOLE WATERSTOP SHALL BE INSTALLED WHEREVER THE PIPE PASSES THROUGH THE MANHOLE WALLS TO PROVIDE A WATERPROOF JOINT TO PROHIBIT INFILTRATION INTO THE SEWER SYSTEM.
 - 2) INSTALLATION OF PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE INSTALLATION OF PVC PIPE LATEST REVISED SPECIFICATION REQUIREMENTS OF ASTM D2232 USING EITHER COMPACTED CLASS I OR CLASS II GRANULAR EMBEDMENT MATERIALS FOR BEDDING, HANDBOOK AND BENCH BACKFILL, 12 TO 18 INCHES OVER THE TOP OF PIPE TO PROVIDE THE NECESSARY SUPPORT FOR THE PIPE SO THAT THE MAXIMUM DEFLECTION DOES NOT EXCEED FIVE PERCENT (5%) OF THE PIPES ORIGINAL INTERNAL DIAMETER.
- B) THE CONTRACTOR SHALL PROVIDE THE NECESSARY TOOLS AND EQUIPMENT AND PERFORM THE WORK NECESSARY TO TEST THE DEFLECTION IN THE INITIAL 1,000 FEET OF INSTALLED SEWER AND NOT LESS THAN 10% OF THE REMAINDER OF THE SEWER PROJECT AT RANDOM LOCATIONS SELECTED BY THE ENGINEERS NO SOONER THAN 30 DAYS AFTER BACKFILLING HAS BEEN COMPLETED. IN THE EVENT THAT DEFLECTION EXCEEDS THE MAXIMUM LIMIT OF FIVE PERCENT (5%), THE CONTRACTOR SHALL TEST ALL OTHER NEW FLEXIBLE PIPE FOR DEFLECTION. DEFLECTION TEST SHALL CONSIST OF A MINIMUM OF ONE (1) TEST PER 1,000 FEET OF PIPE EQUAL TO NINETY PERCENT (90%) OF THE INSIDE DIAMETER OF THE PIPE, AND THE TEST SHALL BE PERFORMED WITHOUT USING MECHANICAL DEVICES. THE DEFLECTION LIMITS UNCOVER THE PIPE, CAREFULLY REPAIR, COMPACTED EMBEDMENT AND BACKFILL MATERIALS AND TEST FOR DEFLECTION.
 - 1) CAST IRON SOIL PIPE SERVICE MIGHT CAST IRON SOIL PIPE AND FITTINGS CONFORMING C.I.S.P.I. SPECIFICATION HS-67 WITH COMPRESSIVE/TENSILE RUBBER GASKETS JOINTS CONFORMING TO ASTM SPECIFICATION 5564, OR OTHER SUITABLE MATERIALS APPROVED BY THE MUNICIPAL ENGINEER.

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NO.		DATE	DESCRIPTION	REVISIONS	
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

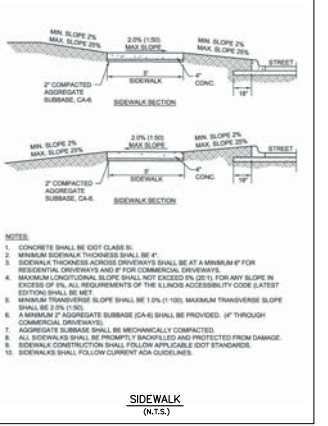
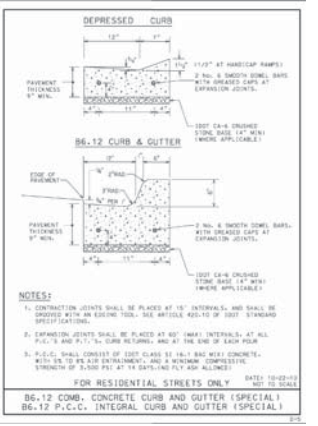
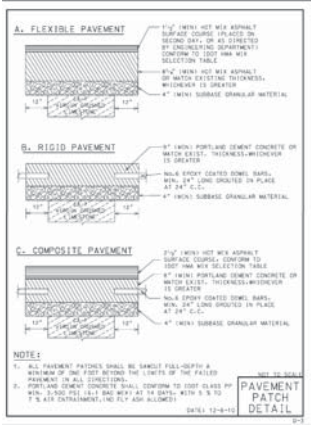
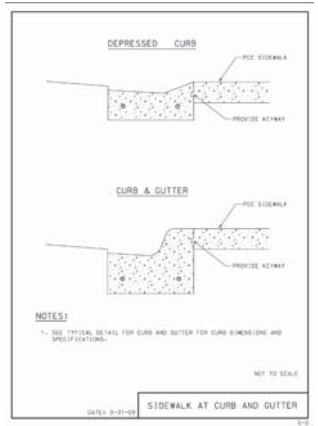
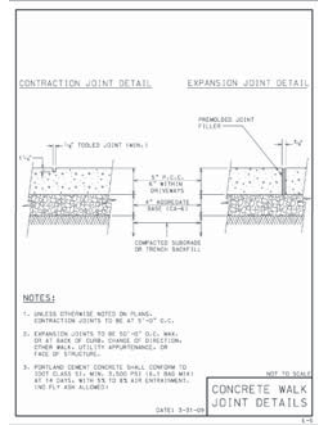
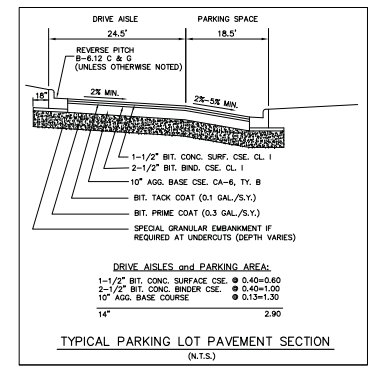
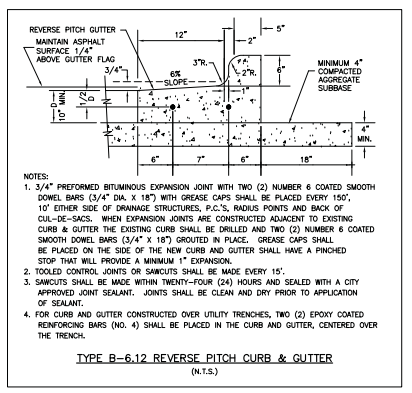
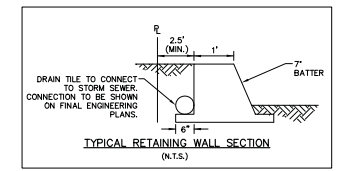
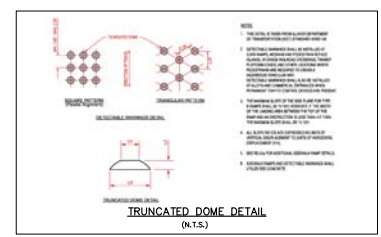
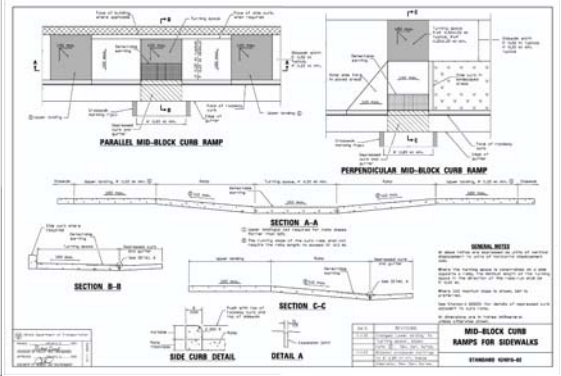
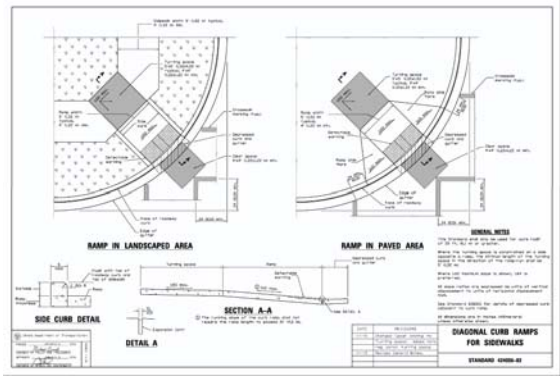
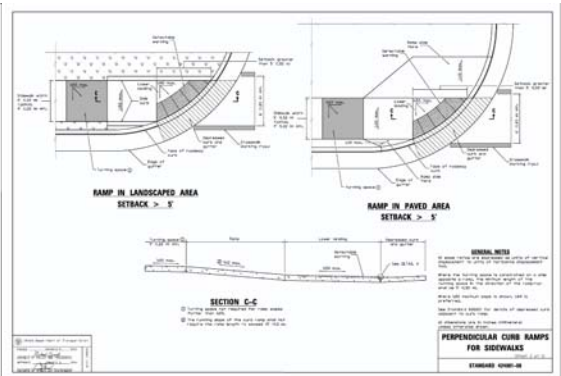
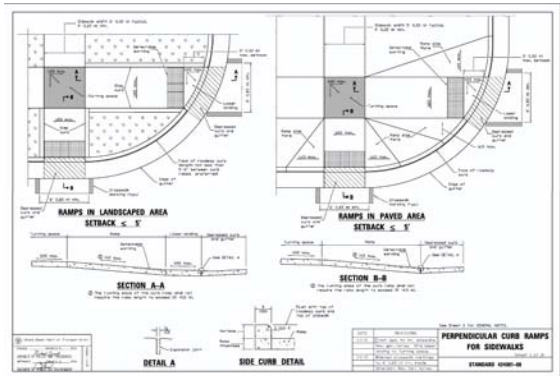
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CONSTRUCTION SPECIFICATIONS – GENERAL NOTES

SILVERADO ST. CHARLES

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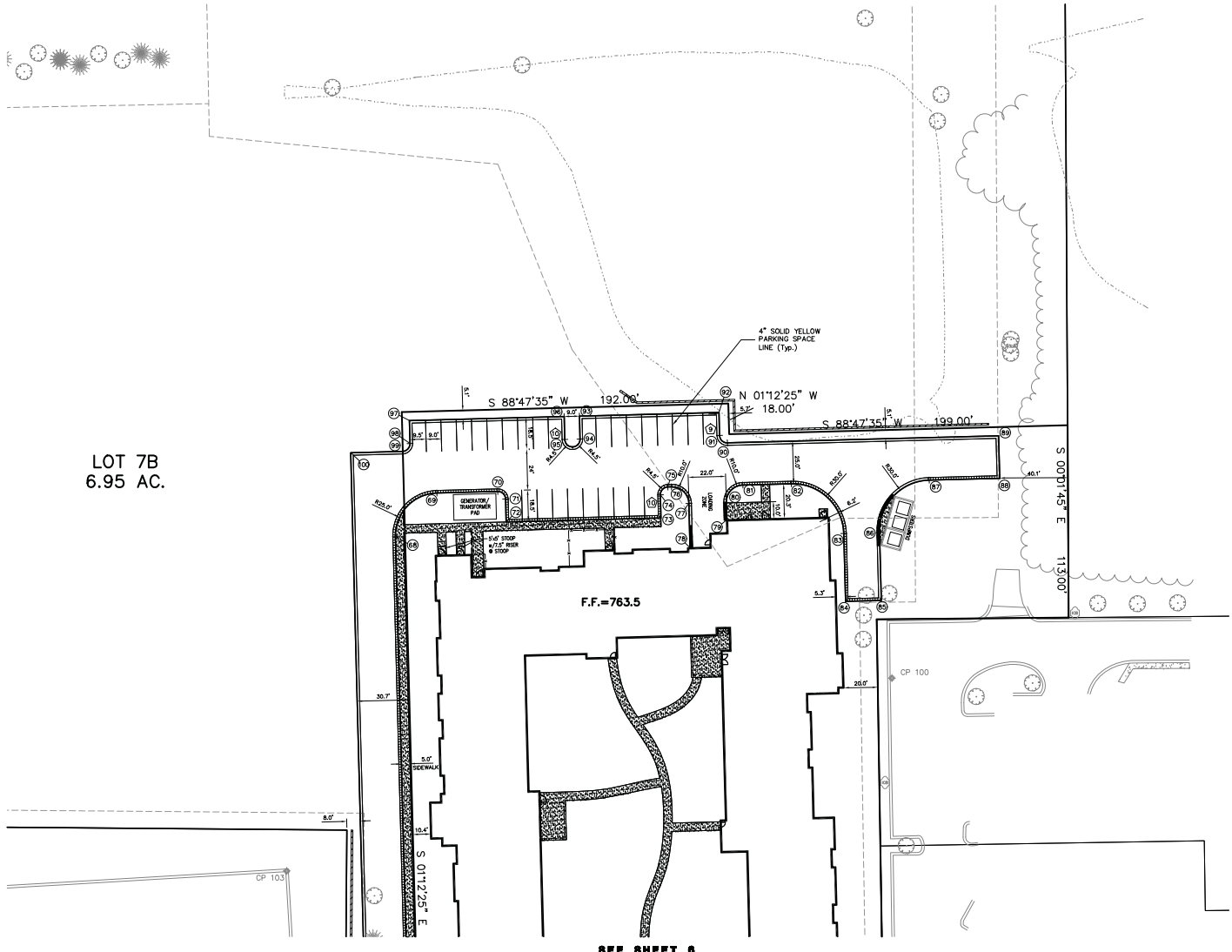
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STREET PAVEMENT DESIGN AND DETAILS				
SILVERADO ST. CHARLES				
FILE NAME: DETAILS	DSGN. BY: MBK	JOB NO.: 800.002	FLD. BK./PG.: ---	SHEET NO. 04 of 22
DIR: B00002	DRN. BY: BCD/JCC	DATE: 01-23-2017	SCALE: 1" = N.T.S.	

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LOT 7B
6.95 AC.

SEE SHEET 6

CURB RETURN TABLE

LD.	NORTHING	EASTING	1/4" ELEV.
68	1914850.05	1005299.86	781.5
69	1914930.70	1005283.99	782.0
70	1914921.64	1005319.80	782.6
71	1914917.26	1005374.41	782.6
72	1914903.68	1005324.77	782.9
73	1914906.07	1005415.74	782.9
74	1914919.65	1005415.38	782.6
75	1914924.26	1005419.76	782.6
76	1914924.32	1005421.89	782.6
77	1914914.58	1005432.15	783.3
78	1914888.91	1005432.84	783.3 (1/20)
79	1914904.90	1005454.42	783.3 (1/20)
80	1914915.18	1005454.15	783.3 (1/20)
81	1914925.42	1005463.98	783.3
82	1914926.17	1005492.40	782.4
83	1914898.98	1005523.18	782.1
84	1914857.07	1005524.22	782.7
85	1914857.62	1005545.22	782.4
86	1914897.52	1005544.17	781.0 (1/20)
87	1914928.29	1005573.37	780.2
88	1914929.38	1005614.83	758.9
89	1914954.37	1005614.17	758.4
90	1914950.19	1005454.78	782.9
91	1914954.57	1005450.16	782.9
92	1914968.06	1005449.81	782.7
93	1914965.91	1005387.84	781.8
94	1914952.42	1005368.19	782.1
95	1914952.18	1005359.19	781.9
96	1914965.68	1005358.84	781.6
97	1914963.29	1005287.87	780.7
98	1914969.80	1005288.22	780.9
99	1914945.18	1005283.84	780.9
100	1914944.38	1005233.35	780.0

(M.E.) = MEET EXISTING

CURB DIMENSION NOTES

1. ALL CURB DIMENSIONS ARE BACK OF CURB TO BACK OF CURB.
2. CURB ALONG BUILDINGS DIMENSIONED FROM BACK OF CURB TO FACE OF BUILDING.
3. ALL RADI ARE 4.5' TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
4. ALL PARKING STALLS ADJACENT TO ISLANDS ARE 9.5' WIDE (BACK OF CURB TO STRIPE). ALL OTHER STALLS ARE 9.0' WIDE (STRIPE TO STRIPE) (TYP.) UNLESS OTHERWISE NOTED.
5. ALL "ADA" PARKING STALLS ADJACENT TO ISLANDS ARE 18.5' WIDE. ALL OTHER "ADA" STALLS ARE 18.0' WIDE (TYP.).

LEGEND

- 8-0.12 CURB AND GUTTER
- REVERSE PITCH 8-0.12 CURB AND GUTTER
- DEPRESSED CURB
- BARRIER CURB
- DETECTABLE WARNING STRIP
- CONCRETE SIDEWALK
- SIGN LOCATION
- PARKING STALL COUNT
- NUMBERING SYSTEM USED FOR IDENTIFYING CURB RETURN LOCATIONS

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PREPARED FOR:
SILVERADO ST. CHARLES, LLC
6400 OAK CANYON DRIVE, SUITE 200
IRVINE, CA 92618
(949) 930-3050

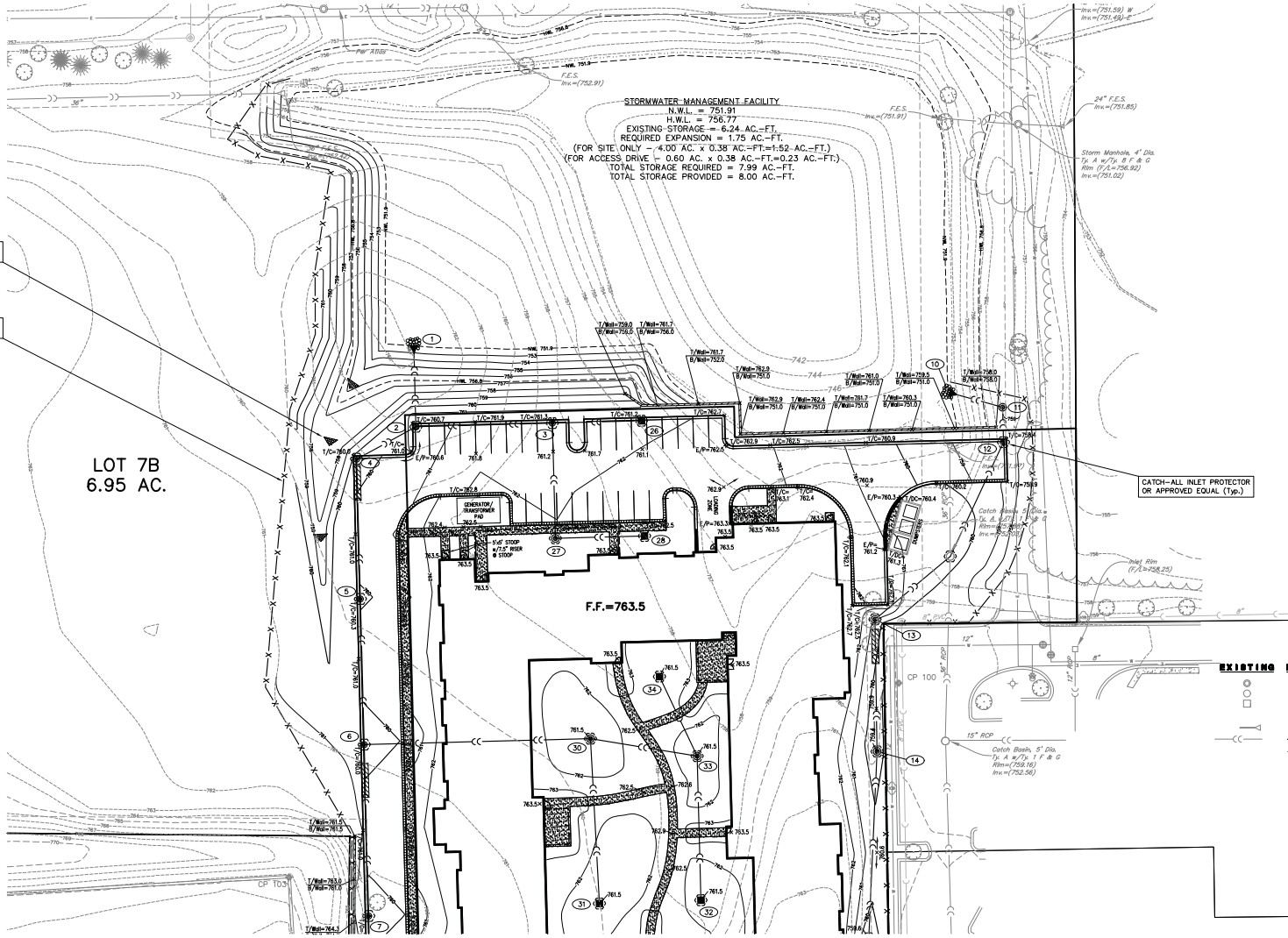


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REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

GEOMETRIC AND STRIPING PLAN
SILVERADO ST. CHARLES

FILE NAME: GEO	DSGN. BY: MBK	JOB NO.: 800.002	FLD. BK./PG.: ---	SHEET NO. 07 of 22
DIR: 800002	DRN. BY: BCD/JCC	DATE: 01-23-2017	SCALE: 1" = 30'	



DITCH CHECK w/COARSE AGGREGATE (Typ.)

1170± L.F. - SILT FENCE w/MAINTENANCE

LOT 7B
6.95 AC.

STORMWATER MANAGEMENT FACILITY
 N.W.L. = 751.91
 H.W.L. = 756.77
 EXISTING STORAGE = 6.24 AC.-FT.
 REQUIRED EXPANSION = 1.75 AC.-FT.
 (FOR SITE ONLY - 4.00 AC. x 0.38 AC.-FT.=1.52 AC.-FT.)
 (FOR ACCESS DRIVE - 0.60 AC. x 0.38 AC.-FT.=0.23 AC.-FT.)
 TOTAL STORAGE REQUIRED = 7.99 AC.-FT.
 TOTAL STORAGE PROVIDED = 8.00 AC.-FT.

CATCH-ALL INLET PROTECTOR OR APPROVED EQUAL (Typ.)

SEE SHEET 10

LEGEND		DESCRIPTION
EXISTING	PROPOSED	
○	⊙	MANHOLE
○	⊙	CATCH BASIN
○	⊙	ISLET
○	⊙	CLEAROUT
—	—	END SECTION
—	—	STORM SEWER
—	—	ROOF DRAIN CONDUIT
—	—	INLET PROTECTOR
—	—	SILT FENCE DITCH CHECK
—	—	DITCH CHECK WITH COARSE AGGREGATE
—	—	LIMITS OF DISTURBANCE
—	—	SILT FENCE WITH MAINTENANCE
—	—	RIP-RAP
—	—	TREE PROTECTIVE FENCING
—	—	TREE REMOVAL
—	—	AREAS TO BE STABILIZED WITH EROSION CONTROL BLANKET
—	—	PROBABLE TOPSOIL STOCKPILE LOCATIONS
—	—	CONCRETE WASHOUT AREA
—	—	NUMBERING SYSTEM USED ON PLANS FOR DRAINAGE STRUCTURE IDENTIFICATION

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PREPARED FOR:
 SILVERADO ST. CHARLES, LLC
 6400 OAK CANYON DRIVE, SUITE 200
 IRVINE, CA 92618
 (949) 930-3050



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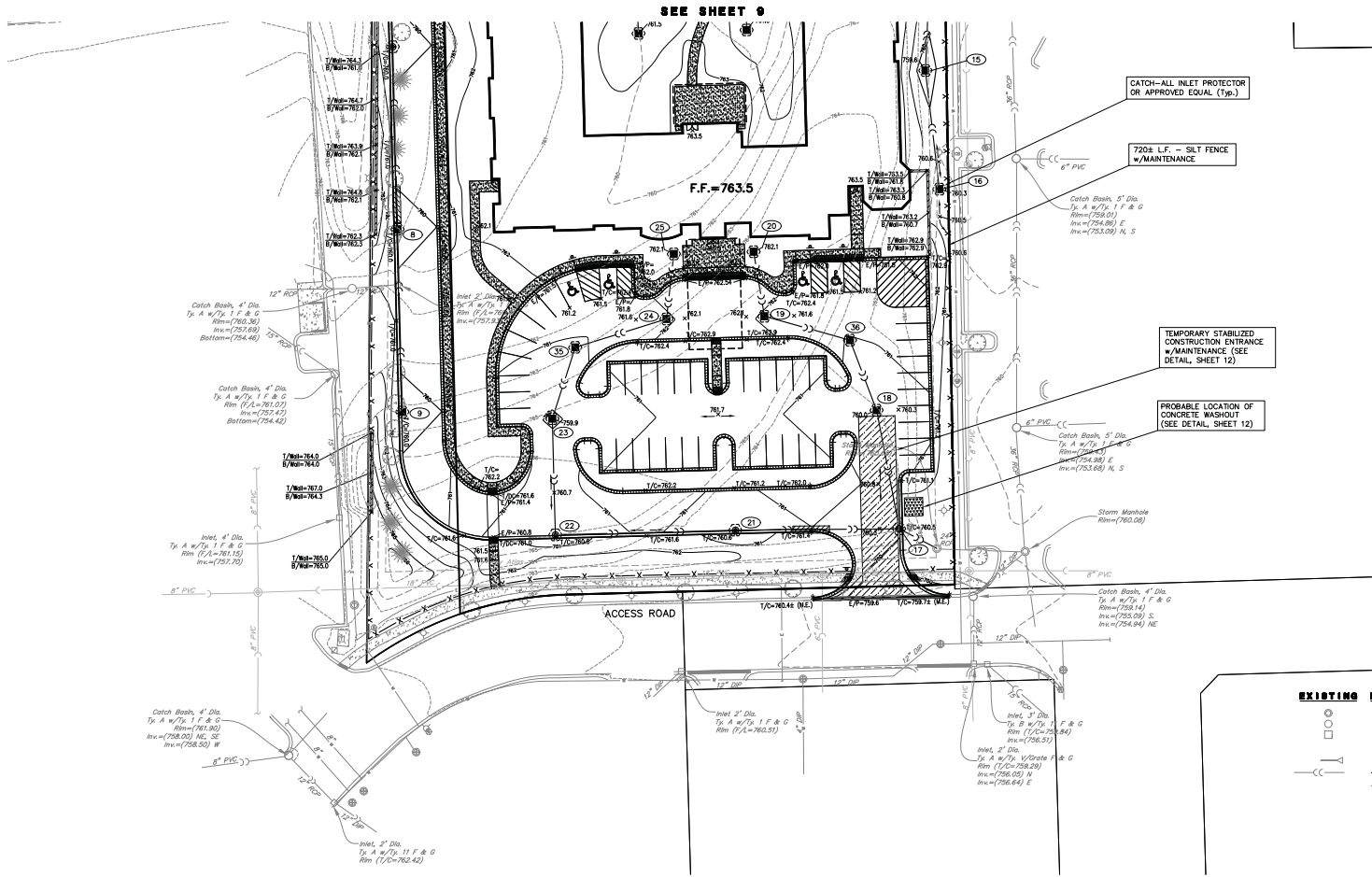
REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

STORMWATER POLLUTION PREVENTION PLAN
 SILVERADO ST. CHARLES

FILE NAME: SOLOERO	DSGN. BY: MBK	JOB NO.: 800.002	FLD. BK./PG.: ---	SHEET NO. 09 of 22
DIR: 800002	DRN. BY: BCD/JXC	DATE: 01-23-2017	SCALE: 1" = 30'	

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SEE SHEET 9

F.F.=763.5

CATCH-ALL INLET PROTECTOR OR APPROVED EQUAL (Typ.)

720± L.F. - SILT FENCE w/MAINTENANCE

TEMPORARY STABILIZED CONSTRUCTION ENTRANCE w/MAINTENANCE (SEE DETAIL SHEET 12)

PROBABLE LOCATION OF CONCRETE WASHOUT (SEE DETAIL SHEET 12)

LEGEND

- | EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|--|
| ○ | ⊙ | MANHOLE |
| □ | ⊞ | CATCH BASIN |
| | ■ | ISLET |
| | ● | CLEAROUT |
| | ⊠ | END SECTION |
| | — — | STORM SEWER |
| | — — — | ROOF DRAIN CONDUIT |
| | ⊞ | INLET PROTECTOR |
| | ⊞ | SILT FENCE DITCH CHECK |
| | ⊞ | DITCH CHECK WITH GRADE AGGREGATE |
| | — — — | LIMITS OF DISTURBANCE |
| | — — — | SILT FENCE WITH MAINTENANCE |
| | ⊞ | RIP-RAP |
| | ⊞ | TREE PROTECTIVE FENCING |
| | ⊞ | TREE REMOVAL |
| | ⊞ | AREAS TO BE STABILIZED WITH EROSION CONTROL BLANKET |
| | ⊞ | PROBABLE TOPSOIL STOCKPILE LOCATIONS |
| | ⊞ | CONCRETE WASHOUT AREA |
| | ⊞ | NUMBERING SYSTEM USED ON PLANS FOR DRAINAGE STRUCTURE IDENTIFICATION |

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REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

STORMWATER POLLUTION PREVENTION PLAN

SILVERADO ST. CHARLES

FILE NAME: SOLERO	DSGN. BY: MBK	JOB NO.: 800.002	FLD. BK./PG.:	SHEET NO.
DIR: 800002	DRN. BY: BCD/JXC	DATE: 01-23-2017	SCALE: 1" = 30'	10 of 22

STORMWATER POLLUTION PREVENTION PLAN

1. GENERAL

1. CONTROL MEASURES SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE ILLINOIS URBAN MANUAL (www.idwr.org/IUM) UNLESS STATED OTHERWISE.

2. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. AREAS OF THE SITE THAT ARE NOT TO BE DISTURBED SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC OR OTHER DISTURBANCE UNTIL FINAL STABILIZATION IS ACHIEVED.

3. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, DEVELOPMENT SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.

4. STABILIZATION BY SEEDING SHALL INCLUDE TOPSOIL PLACEMENT AND FERTILIZATION, AS NECESSARY.

5. NATIVE SEED MIXTURES SHALL INCLUDE BROAD-GROWING ANNUAL GRASSES OR SMALL GRAINS TO PROVIDE INITIAL TEMPORARY SOIL STABILIZATION.

6. OFFSITE PROPERTY SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. VELOCITY DISSIPATION DEVICES SHALL BE PLACED AT CONCENTRATED DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL, AS NECESSARY TO PREVENT EROSION.

7. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE DISTURBANCE OF TRIANGULAR AREAS.

8. STABILIZATION OF DISTURBED AREAS SHALL BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE DEVELOPMENT SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE DEVELOPMENT SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION OF DISTURBED AREAS SHALL BE INITIATED WITHIN 1 WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES. STABILIZATION SHALL BE INITIATED AS SOON AS POSSIBLE, BUT NOT LATER THAN 14 CALENDAR DAYS FROM THE INITIATION OF PERMANENT WORK IN AN AREA. EXCEPTIONS TO THESE TIME FRAMES ARE SPECIFIED BELOW.

A. WHERE THE INITIATION OF STABILIZATION MEASURES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.

B. IN AREAS WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED AND WILL RESUME AFTER 14 DAYS, A TEMPORARY STABILIZATION METHOD MAY BE USED.

9. DISTURBANCE OF STEEP SLOPES SHALL BE MINIMIZED. AREAS OR TERRAINMENTS HAVING SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH STAKED IN PLACE SOIL, EROSION CONTROL BLANKET IN COMBINATION WITH SEEDING, OR AN EQUIVALENT CONTROL MEASURE.

10. PERIMETER CONTROL MEASURES SHALL BE PROVIDED DOWNSLOPE AND PERPENDICULAR TO THE FLOW OF RUNOFF FROM DISTURBED AREAS, WHERE THE TRIANGULAR AREA IS GREATER THAN 3,000 SQUARE FEET, AND WHERE RUNOFF WILL FLOW IN A SHEET FLOW MANNER. PERIMETER EROSION CONTROL SHALL ALSO BE PROVIDED AT THE BASE OF SOIL STOCKPILES.

11. THE STORMWATER MANAGEMENT SYSTEM SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION DOWNSLOPE FROM DISTURBED AREAS. INLET PROTECTION THAT REDUCES SEDIMENT LOADING, WHILE ALLOWING RUNOFF TO ENTER THE INLET SHALL BE REQUIRED FOR ALL CHANNELS. FILTER FABRIC INLET PROTECTION AND STRAW BALE CHECKS ARE NOT ACCEPTABLE CONTROL MEASURES.

12. IF DEMONSTRATION SERVICES ARE USED, DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (E.G., SEDIMENT TRAP OR AN EQUIVALENT CONTROL MEASURE). THE DEMONSTRATION OFFICER SHALL BE NOTIFIED PRIOR TO THE COMMENCEMENT OF DEMONSTRATION ACTIVITIES.

13. ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION OF THE DEVELOPMENT SITE IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NECESSARY. TRAPPED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.

14. STOCKPILED SOIL AND MATERIALS SHALL BE REMOVED FROM FLOOD HAZARD ZONES AT THE END OF EACH WORK DAY. SOIL AND MATERIALS STOCKPILED IN UMG, OR BUFFER AREAS SHALL BE PLACED ON TIMBER MATS, OR AN EQUIVALENT CONTROL MEASURE.

15. EFFECTIVE CONTROL MEASURES SHALL BE UTILIZED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE DEVELOPMENT SITE. AT A MINIMUM, CONTROL MEASURES SHALL BE IMPLEMENTED IN ORDER TO:

A. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATER; AND

B. MINIMIZE THE EXPOSURE OF BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, VEHICLE FLUIDS, SANITARY WASTE, AND OTHER MATERIALS PRESENT ON THE DEVELOPMENT SITE TO PRECIPITATION AND TO STORMWATER.

16. ADEQUATE RECEPTACLES SHALL BE PROVIDED FOR THE DEPOSITING OF ALL CONSTRUCTION MATERIAL DEBRIS GENERATED DURING THE DEVELOPMENT PROCESS. THE RECEPTACLES SHALL NOT CAUSE OR FURNISH THE OPPORTUNITY FOR DEPOSITING, DROPPING, THROWING, DISCARDING OR LEAVING OF CONSTRUCTION MATERIAL DEBRIS UPON OR INTO ANY DEVELOPMENT CHANNEL OR UMG OR BUFFER DEVELOPMENT SITE. SHALL BE MAINTAINED FREE OF CONSTRUCTION MATERIAL DEBRIS.

17. THE DEMONSTRATION OFFICER MAY REQUIRE ADDITIONAL OR ALTERNATE SOIL, EROSION AND SEDIMENT CONTROL MEASURES, BASED ON DEVELOPMENT SITE SPECIFIC CONSIDERATIONS AND THE EFFECTIVENESS OF THE INSTALLED CONTROL MEASURES.

A. THIS PLAN HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF THE ILLINOIS GENERAL PERMIT NUMBER UIRTO, ISSUED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY FOR STORMWATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.

B. THE PERMITEE MUST COMPLY WITH ALL CONDITIONS OF THE GENERAL PERMIT. ANY PERMIT NON-COMPLIANCE CONSTITUTES A VIOLATION OF THE ILLINOIS ENVIRONMENTAL PROTECTION ACT AND THE CLEAN WATER ACT AND IS GROUNDBUILDING FOR ENFORCEMENT ACTION FOR PERMIT REVOCATION AND RESCISSANCE, OR MODIFICATION, OR FOR DENIAL OF A PERMIT RENEWAL APPLICATION.

C. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, LATEST EDITION.

D. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

E. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS), A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED FOR REVIEW BY THE CITY.

F. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE CITY, ENGINEER OR OWNER.

G. IF Dewatering is necessary, water will be pumped into sediment basins or silt traps. Dewatering directly into streams, wetlands, field tiles, or stormwater structures is prohibited.

H. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INFORM ANY SUBCONTRACTORS WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN NOTICING AND MAINTAINING EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS EPA.

2. SITE DESCRIPTION

A. THE FOLLOWING IS A DESCRIPTION OF THE CONSTRUCTION ACTIVITY WHICH IS THE SUBJECT OF THIS PLAN:

THE CONSTRUCTION OF SITE INFRASTRUCTURE IMPROVEMENTS TO SERVE SIX APARTMENT BUILDINGS, CLUBHOUSE AND NECESSARY STRUCTURES INCLUDING PAVING, GRADING AND STORM SEWER, SANITARY AND WATERMAIN STRUCTURES, EROSION AND SEDIMENTATION CONTROL MEASURES, AND VEGETATIVE STABILIZATION AND BEST MANAGEMENT PRACTICES.

B. THE FOLLOWING IS A DESCRIPTION OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTIONS OF THE CONSTRUCTION SITE:

- (1) EROSION AND SEDIMENTATION CONTROL MEASURES
- (2) MASS GRADING
- (3) UNDERGROUND UTILITIES
- (4) FINE GRADING AND CONSTRUCTION OF BUILDING PAD AND ASPHALT ROADWAY AND PARKING AREAS.
- (5) TOPSOIL SPREAD AND VEGETATIVE STABILIZATION

C. THE TOTAL AREA OF THE PROJECT IS ESTIMATED TO BE APPROXIMATELY 4.0 ACRES. THE TOTAL AREA OF THE PROJECT ESTIMATED TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES IS APPROXIMATELY 5.5 ACRES.

D. THE ESTIMATED RUNOFF CURVE NUMBER OF THE PROJECT SITE BEFORE CONSTRUCTION IS 89.0. AFTER CONSTRUCTION ACTIVITIES IS TO BE 74.0. INFORMATION DESCRIBING THE SOILS AT THE SITE IS CONTAINED IN THE SOILS REPORTS FOR THE PROJECT ON FILE WITH THE OWNER/DEVELOPER.

E. THESE PLAN DOCUMENTS CONTAIN SITE MAP(S) INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES. AREAS OF MAJOR SOIL DISTURBANCE, THE LOCATION OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER.

F. THESE PLAN DOCUMENTS CONTAIN SITE MAP(S) INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES. AREAS OF MAJOR SOIL DISTURBANCE, THE LOCATION OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER.

G. THESE PLAN DOCUMENTS CONTAIN SITE MAP(S) INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES. AREAS OF MAJOR SOIL DISTURBANCE, THE LOCATION OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER.

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J. THESE PLAN DOCUMENTS CONTAIN SITE MAP(S) INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES. AREAS OF MAJOR SOIL DISTURBANCE, THE LOCATION OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER.

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M. THESE PLAN DOCUMENTS CONTAIN SITE MAP(S) INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES. AREAS OF MAJOR SOIL DISTURBANCE, THE LOCATION OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER.

N. THESE PLAN DOCUMENTS CONTAIN SITE MAP(S) INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES. AREAS OF MAJOR SOIL DISTURBANCE, THE LOCATION OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER.

O. THESE PLAN DOCUMENTS CONTAIN SITE MAP(S) INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES. AREAS OF MAJOR SOIL DISTURBANCE, THE LOCATION OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER.

P. THESE PLAN DOCUMENTS CONTAIN SITE MAP(S) INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES. AREAS OF MAJOR SOIL DISTURBANCE, THE LOCATION OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER.

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(4) COMPLETED SLOPES SHALL BE SEEDED AND MULCHED (OR BLANKETED, IF APPLICABLE) AS EXCAVATION PROCEEDS TO THE EXTENT CONSIDERED NECESSARY AND PRACTICABLE. PERMANENT SEEDING SHALL BE USED WHENEVER POSSIBLE UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROLONG FINAL GRADING AND SHAPING SO THAT THE PROJECT CAN BE PERMANENTLY SEEDDED AT ONE TIME.

(5) THE SITE SHOULD BE PHASED IN A WAY THAT REDUCES THE AMOUNT OF STRIPPED UNSTABILIZED AREAS WITHIN THE SITE AT ANY ONE TIME. MASS GRADING OR ENTIRE SITE SHOULD BE AVOIDED AS TO PREVENT EROSION ONSET AND SEDIMENTATION ISSUES DOWNSTREAM.

(6) THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SHUT DOWN SHALL BE ADDRESSED EARLY IN THE GROWING SEASON SO THAT SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL. ALL OPEN AREAS THAT ARE TO REMAIN DRY THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL. BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEYOND THE END OF THE GROWING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.

(7) STRUCTURAL PRACTICES PROVIDED BELOW IS A DESCRIPTION OF STRUCTURAL PRACTICES THAT WILL BE IMPLEMENTED, TO THE DEGREE ATTAINABLE, TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS OR OTHERWISE LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM THE PROJECT. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT. *

(8) BEST MANAGEMENT PRACTICES, PROVIDED BELOW IS A DESCRIPTION OF THE BEST MANAGEMENT PRACTICES THAT WILL BE IMPLEMENTED, TO THE DEGREE ATTAINABLE, TO REDUCE SUSPENDED SOLIDS, TURBIDITY, SILTATION, AND POLLUTION IN STORMWATER RUNOFF. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT. *

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B. VEGETATIVE EROSION CONTROL MEASURES: THE VEGETATIVE GROWTH OF TEMPORARY AND PERMANENT SEEDING, SOODING, VEGETATIVE CHANNELS, VEGETATIVE FILTER STRIPS, ETC. SHALL BE MAINTAINED PERIODICALLY AND SUPPLY ADEQUATE WATERING AND FERTILIZER. THE VEGETATIVE COVER SHALL BE MONITORED AND RESEEDING AS NECESSARY.

C. SILT FILTER FENCE: THE DAMAGED SILT FILTER FENCE SHALL BE INSTALLED, MAINTAINED, RESTORED, OR REPLACED TO MEET THE STANDARDS SPECIFIED IN THE ILLINOIS URBAN MANUAL.

D. DROP BASKET INLET PROTECTION: THE FILTER SHALL BE INSPECTED PERIODICALLY AND SHALL BE REPAIRED OR REMOVED AND REPLACED AS NEEDED.

E. CONCRETE WASHOUT STATIONS: A CONCRETE WASHOUT STATION SHOULD BE UTILIZED AND MAINTAINED TO PREVENT TRACKING OF CONCRETE AND SEDIMENT.

F. REMOVE ACCUMULATED SEDIMENT FROM BOTTOM OF STORMWATER BASIN.

G. INSPECTIONS: THE OWNER OR ITS DESIGNATED REPRESENTATIVE SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE WHICH HAVE NOT BEEN STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION, PROTECTED WITH STRUCTURAL CONTROL MEASURES, OR LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OF EQUIVALENT SNOWFALL.

H. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. SHALL DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION OR SEDIMENTATION IS OCCURRING. EFFECTIVE IN PREVENTING SIGNIFICANT PASSES TO RECEIVING WATERS. INSPECTIONS SHALL BE CONDUCTED WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OF EQUIVALENT SNOWFALL.

I. BASED ON THE RESULTS OF THE INSPECTION, THE DESCRIPTION OF POTENTIAL POLLUTANT SOURCES IDENTIFIED IN SECTION 1 ABOVE AND POLLUTION PREVENTION MEASURES IDENTIFIED IN SECTION 2 ABOVE SHALL BE REVISED AS APPROPRIATE AS SOON AS PRACTICABLE AFTER SUCH INSPECTION. ANY CHANGES TO THIS PLAN RESULTING FROM THE REQUIRED INSPECTIONS SHALL BE IMPLEMENTED WITHIN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.

J. A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATIVE TO THE IMPLEMENTATION OF THIS STORMWATER POLLUTION PREVENTION PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH SECTION 4 ABOVE SHALL BE MADE AND RETAINED AS PART OF THE PLAN FOR AT LEAST THREE (3) YEARS AFTER THE DATE OF THE INSPECTION. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART VI. G OF THE GENERAL PERMIT.

K. IF ANY VIOLATION OF THE PROVISIONS OF THIS PLAN IS IDENTIFIED DURING THE CONDUCT OF THE CONSTRUCTION WORK COVERED BY THIS PLAN, THE PERMIT ENGINEER OR RESIDENT TECHNICIAN SHALL COMPLETE AND FILE AN "INCIDENCE OF NONCOMPLIANCE (ON)" REPORT FOR THE IDENTIFIED VIOLATION. THE REPORT OF NONCOMPLIANCE SHALL INCLUDE THE USE FORMS PROVIDED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND SHALL INCLUDE SPECIFIC INFORMATION ON THE CAUSE OF NONCOMPLIANCE. ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSE OF NONCOMPLIANCE AND A STATEMENT DETAILING ANY ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NONCOMPLIANCE. ALL REPORTS OF NONCOMPLIANCE SHALL BE SIGNED BY A RESPONSIBLE AUTHORITY IN ACCORDANCE WITH PART VI. G OF THE GENERAL PERMIT. THE REPORT OF NONCOMPLIANCE SHALL BE MAILED TO THE FOLLOWING ADDRESS:

ILLINOIS ENVIRONMENTAL PROTECTION AGENCY
DIVISION OF WATER POLLUTION CONTROL
ATTN: COMPLIANCE ASSURANCE SECTION
1021 NORTH GRAND EAST
POST OFFICE BOX 19276
SPRINGFIELD, ILLINOIS 62794-9276

L. NON-STORMWATER DISCHARGES: EXCEPT FOR FLOWS FROM FIRE FIGHTING ACTIVITIES, SOURCES OF NON-STORMWATER THAT MAY BE COMBINED WITH STORMWATER DISCHARGES ASSOCIATED WITH THE INDUSTRIAL ACTIVITY ADDRESSED IN THIS PLAN, ARE DESCRIBED BELOW:

- 1. WATERMAIN FLUSHING
- 2. FIRE HYDRANT FLUSHING
- 3. WATERING FOR DUST CONTROL
- 4. IRRIGATION DRAINAGE FOR VEGETATIVE GROWTH FOR SEEDING, ETC.

THE POLLUTION PREVENTION MEASURES AS DESCRIBED BELOW, WILL BE IMPLEMENTED FOR NON-STORMWATER DIS

PLOT FILE CREATED: 1/23/2017 10:47 AM BY: JET CERBA... DRAWING PATH: P:\00002\015\DWG\STORMWATER PREVENTION PLAN DETAILS (SILVERADO ST. CHARLES)

Catch-All Inlet & Pipe Protector

Round, Rectangular, Beehive, or Roll Type Curb Inlets

Mar-Mac Manufacturing Co., Inc.
 2000 W. Main Street
 Marshall, Missouri 64653
 Phone: 660.438.1111
 Fax: 660.438.1112
 www.mar-mac.com

Suggested Maintenance Catch-All Inlet Protector

The frequency and degree of maintenance required is dependent on site conditions and rainfall. Certain types of soil and run-off rates with hydrocarbons, (oil, solvents, etc.) tend to "clog" the fabric bags more quickly than others.

Generally, the bags can be emptied, inverted, washed, and re-used throughout an entire project. They may also be vacuumed. The bag must be replaced if it is severely torn or torn.

GUIDELINES FOR CONSTRUCTION SITES

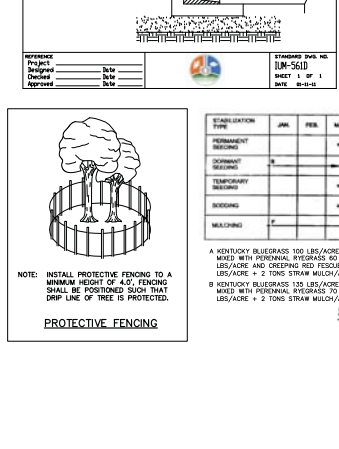
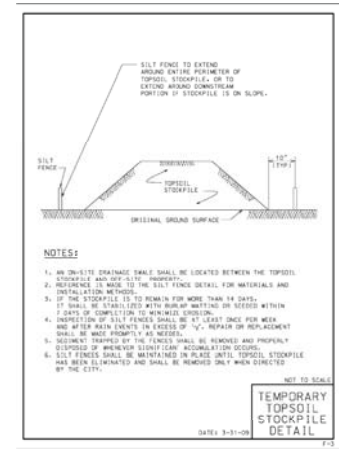
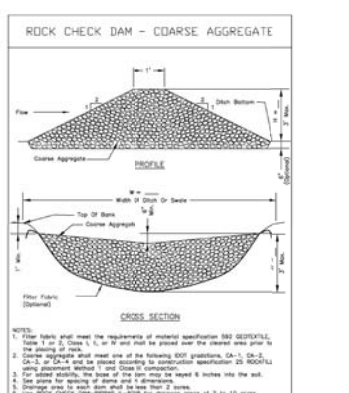
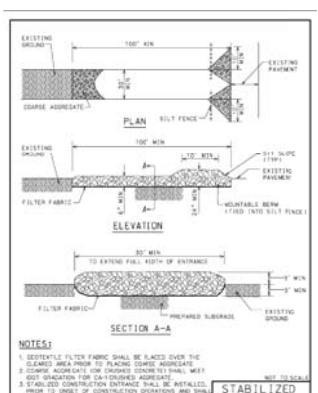
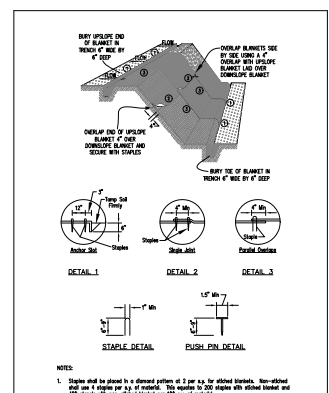
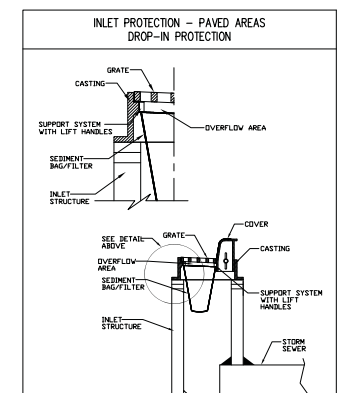
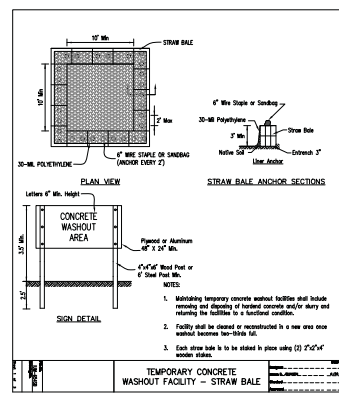
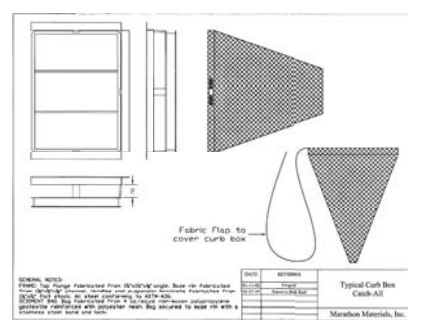
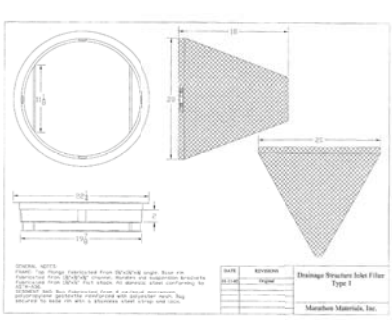
1. Inspect the bag at least every 2 weeks - Clean, if needed
2. Inspect the bag every time there is rainfall totaling 1 or more inches - Clean, if needed
3. Replace the bag if it has a hole in it
4. Replace the bag if it appears clean but won't pass water

Suggested Maintenance
Catch-All Inlet Protector

Typically, the Catch-All Inlet Protector is installed on approved parking lot or maintenance yard. The degree and frequency of maintenance required is generally far less than for Catch-Alls installed at construction sites.

GUIDELINES FOR PARKING LOTS & MAINTENANCE YARDS

1. Inspect the bag at least once per month - Clean, if needed
2. Inspect the bag every time there is rainfall totaling more than two inches - Clean, if needed
3. Replace the bag every 6 months. More often for heavy maintenance
4. Replace the bag after any oil, coolant, or solvent spill
5. Replace the bag if it has a hole in it
6. Replace the bag if it appears clean but won't pass water



SOIL PROTECTION CHART

STABILIZATION TYPE	JAN	FEB	MAR	APR	MAY	JUN	JULY	AUG	SEPT	OCT	NOV	DEC
PERMANENT SEEDING												
PERMANENT HYDRATION												
TEMPORARY SEEDING												
SEEDING												
MULCHING												

A KENTUCKY BLUEGRASS 100 LBS./ACRE MIXED WITH PERENNIAL WHEATGRASS 100 LBS./ACRE AND ORNAMENTAL RICE CUT 40 LBS./ACRE = 2 TONS STRAW MULCH/ACRE

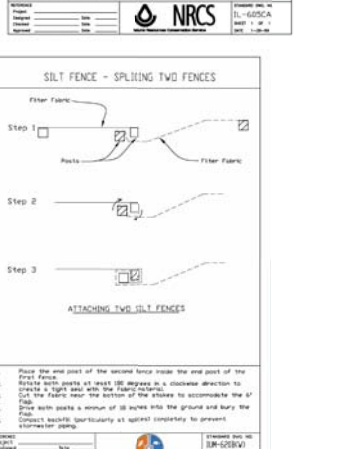
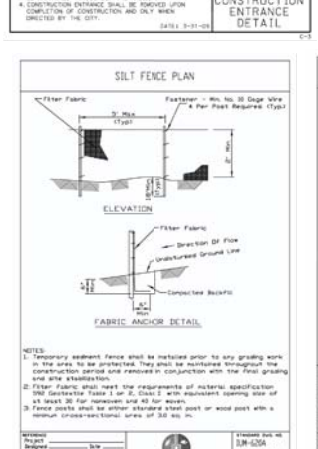
B KENTUCKY BLUEGRASS 100 LBS./ACRE MIXED WITH PERENNIAL WHEATGRASS 70 LBS./ACRE = 2 TONS STRAW MULCH/ACRE

C SPRING GRASS MIX (LEGUMINE) 100 LBS./ACRE + PERENNIAL WHEATGRASS 100 LBS./ACRE = 2 TONS STRAW MULCH/ACRE

D STRAW MULCH 2 TONS/ACRE

E SEEDING NEEDED DURING JUNE AND JULY

F MULCHING NEEDED FOR 3 TO 4 WEEKS AFTER APPLYING SOIL



PREPARED FOR:
SILVERADO ST. CHARLES, LLC
 6400 OAK CANYON DRIVE, SUITE 200
 IRVINE, CA 92618
 (949) 930-3050

PREPARED BY:

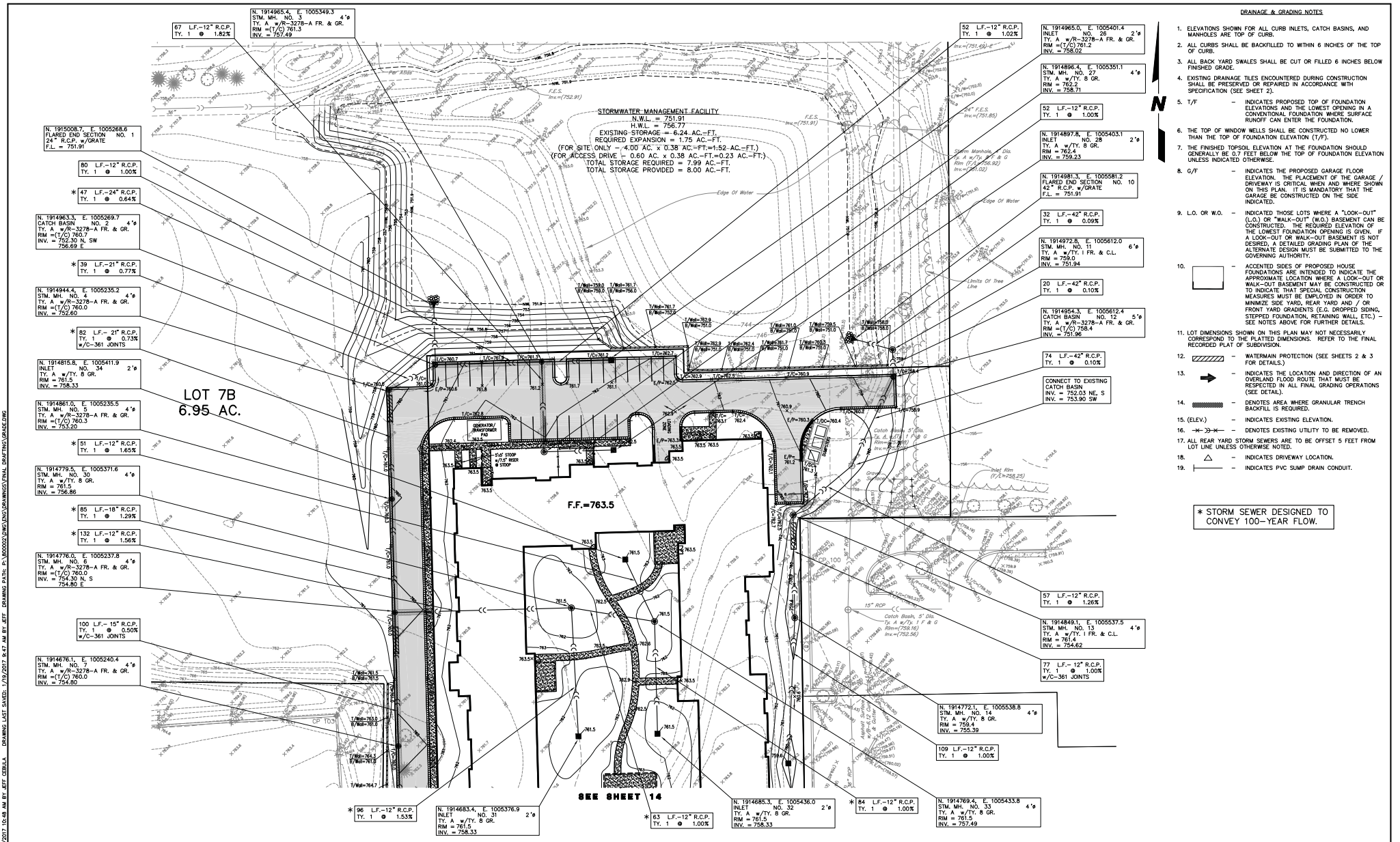
CEMCON, Ltd.
 Consulting Engineers, Land Surveyors & Planners
 2280 White Oak Circle, Suite 100
 Aurora, Illinois 60502-9676
 Ph: 630.862.2100 Fax: 630.862.2199
 E-Mail: cadd@cemcon.com Website: www.cemcon.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

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STORMWATER POLLUTION PREVENTION PLAN DETAILS
SILVERADO ST. CHARLES

FILE NAME: SILVERO	DSGN. BY: MBK	JOB NO.: 800.002	F.L.D. BK./PG.: ---	SHEET NO. 12 of 22
DIR: 800002	DRN. BY: BCD/JSC	DATE: 01-23-2017	SCALE: 1" = N.T.S.	



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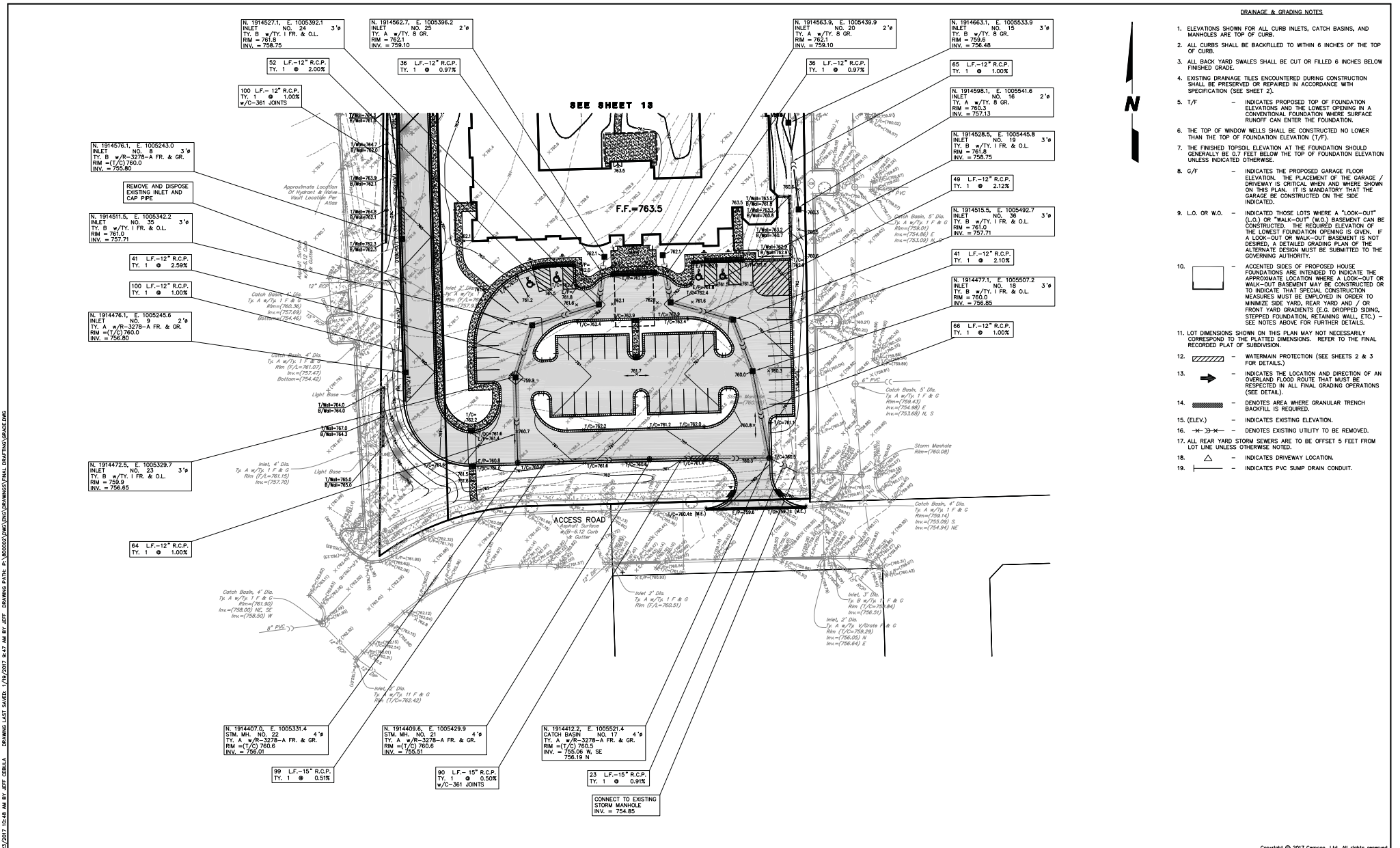
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DRAINAGE AND GRADING PLAN
SILVERADO ST. CHARLES








FILE NAME: GRADE	DSGN. BY: MBK	JOB NO.: 800.002	F.L.D. BK./PG.: ---	SHEET NO. 13 of 22
DIR: 800002	DRN. BY: BCD/JGC	DATE: 01-23-2017	SCALE: 1" = 30'	

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DRAINAGE & GRADING NOTES

1. ELEVATIONS SHOWN FOR ALL CURB INLETS, CATCH BASINS, AND MANHOLES ARE TOP OF CURB.
2. ALL CURBS SHALL BE BACKFILLED TO WITHIN 6 INCHES OF THE TOP OF CURB.
3. ALL BACK YARD SWALES SHALL BE CUT OR FILLED 6 INCHES BELOW FINISHED GRADE.
4. EXISTING DRAINAGE TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE PRESERVED OR REPAIRED IN ACCORDANCE WITH SPECIFICATION (SEE SHEET 2).
5. T/F - INDICATES PROPOSED TOP OF FOUNDATION ELEVATIONS AND THE LOWEST OPENING IN A CONVENTIONAL FOUNDATION WHERE SURFACE RUNOFF CAN ENTER THE FOUNDATION.
6. THE TOP OF WINDOW WELLS SHALL BE CONSTRUCTED NO LOWER THAN THE TOP OF FOUNDATION ELEVATION (T/F).
7. THE FINISHED TOPSOIL ELEVATION AT THE FOUNDATION SHOULD GENERALLY BE 0.7 FEET BELOW THE TOP OF FOUNDATION ELEVATION UNLESS INDICATED OTHERWISE.
8. G/F - INDICATES THE PROPOSED GARAGE FLOOR ELEVATION. THE PLACEMENT OF THE GARAGE / DRIVEWAY IS CRITICAL WHEN AND WHERE SHOWN ON THIS PLAN. IT IS MANDATORY THAT THE GARAGE BE CONSTRUCTED ON THE SIDE INDICATED.
9. L.O. OR W.O. - INDICATED THOSE LOTS WHERE A "LOOK-OUT" (L.O.) OR "WALK-OUT" (W.O.) BASEMENT CAN BE CONSTRUCTED. THE REQUIRED ELEVATION OF THE LOWEST FOUNDATION OPENING IS GIVEN. IF A LOOK-OUT OR WALK-OUT BASEMENT IS NOT DESIRED, A DETAILED GRADING PLAN OF THE ALTERNATE DESIGN MUST BE SUBMITTED TO THE GOVERNING AUTHORITY.
10.  ACCENTED SIDES OF PROPOSED HOUSE FOUNDATIONS ARE INTENDED TO INDICATE THE APPROXIMATE LOCATION WHERE A LOOK-OUT OR WALK-OUT BASEMENT MAY BE CONSTRUCTED OR TO INDICATE THAT SPECIAL CONSTRUCTION MEASURES MUST BE EMPLOYED IN ORDER TO MINIMIZE SIDE YARD, REAR YARD AND / OR FRONT YARD GRADIENTS (E.G. DROPPED SIDING, STEPPED FOUNDATION, RETAINING WALL, ETC.) - SEE NOTES ABOVE FOR FURTHER DETAILS.
11. LOT DIMENSIONS SHOWN ON THIS PLAN MAY NOT NECESSARILY CORRESPOND TO THE PLATTED DIMENSIONS. REFER TO THE FINAL RECORDED PLAT OF SUBDIVISION.
12.  WATERMAIN PROTECTION (SEE SHEETS 2 & 3 FOR DETAILS).
13.  INDICATES THE LOCATION AND DIRECTION OF AN OVERLAND FLOOD ROUTE THAT MUST BE RESPECTED IN ALL FINAL GRADING OPERATIONS (SEE DETAIL).
14.  DENOTES AREA WHERE GRANULAR TRENCH BACKFILL IS REQUIRED.
15. (ELEV) - INDICATES EXISTING ELEVATION.
16.  DENOTES EXISTING UTILITY TO BE REMOVED.
17. ALL REAR YARD STORM SEWERS ARE TO BE OFFSET 5 FEET FROM LOT LINE UNLESS OTHERWISE NOTED.
18.  INDICATES DRIVEWAY LOCATION.
19.  INDICATES PVC SUMP DRAIN CONDUIT.

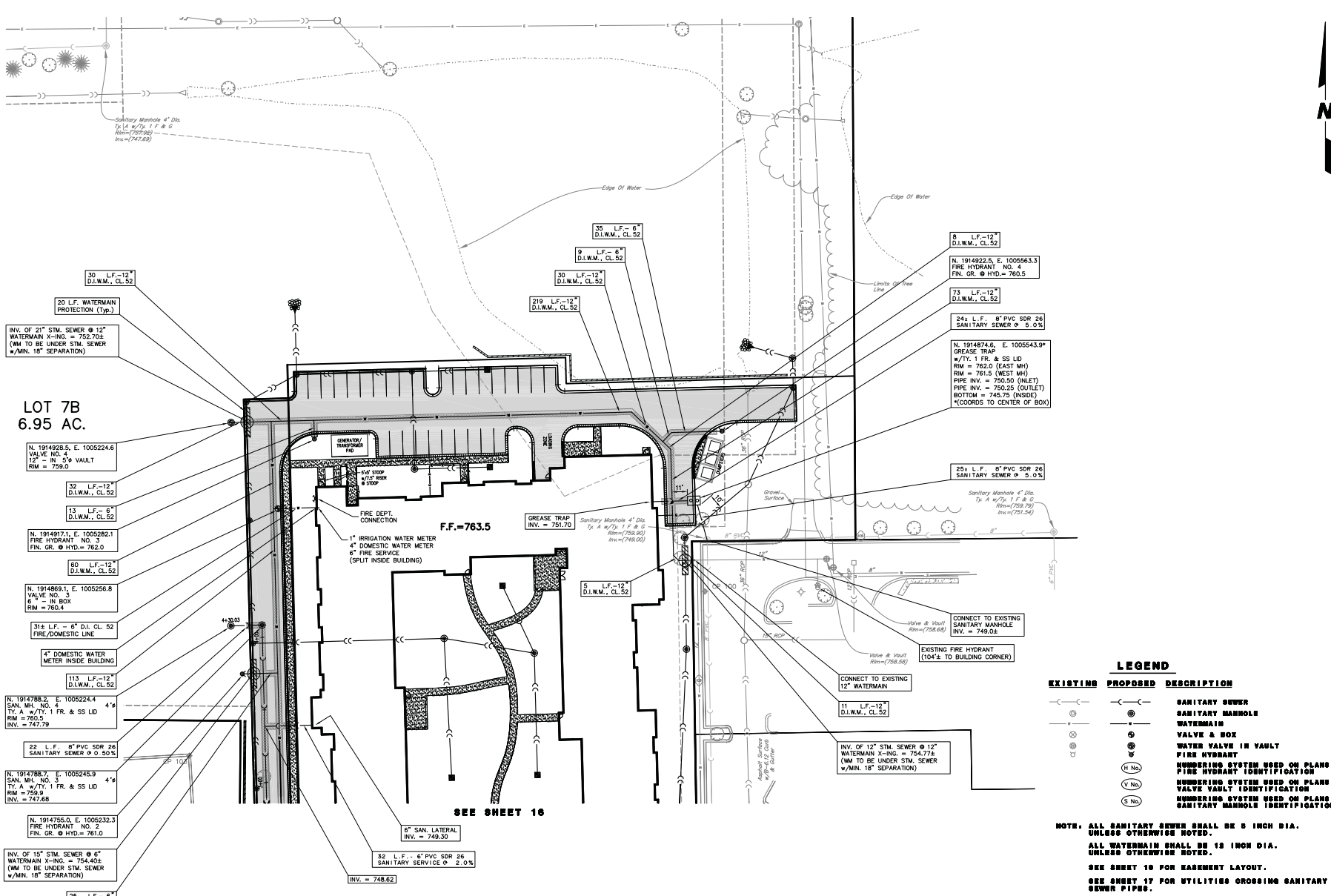
PREPARED FOR:
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IRVINE, CA 92618
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DRAINAGE AND GRADING PLAN				
SILVERADO ST. CHARLES				
FILE NAME: GRADE	DSGN. BY: MBK	JOB NO.: 800.002	F.L.D. BK./PG.: ---	SHEET NO. 14 of 22
DIR: 800002	DRN. BY: BCD/JCC	DATE: 01-23-2017	SCALE: 1" = 30'	

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LOT 7B
6.95 AC.

SEE SHEET 16

LEGEND

EXISTING	PROPOSED	DESCRIPTION
—	—	SANITARY SEWER
—	—	SANITARY MANHOLE
—	—	WATERMAIN
—	—	WATER VALVE & BOX
—	—	FIRE HYDRANT
—	—	NUMBERING SYSTEM USED ON PLANS FOR FIRE HYDRANT IDENTIFICATION
—	—	NUMBERING SYSTEM USED ON PLANS FOR VALVE VAULT IDENTIFICATION
—	—	NUMBERING SYSTEM USED ON PLANS FOR SANITARY MANHOLE IDENTIFICATION

NOTE: ALL SANITARY SEWER SHALL BE 8 INCH DIA. UNLESS OTHERWISE NOTED.
ALL WATERMAIN SHALL BE 18 INCH DIA. UNLESS OTHERWISE NOTED.
SEE SHEET 16 FOR EASEMENT LAYOUT.
SEE SHEET 17 FOR UTILITIES CROSSING SANITARY SEWER PIPES.

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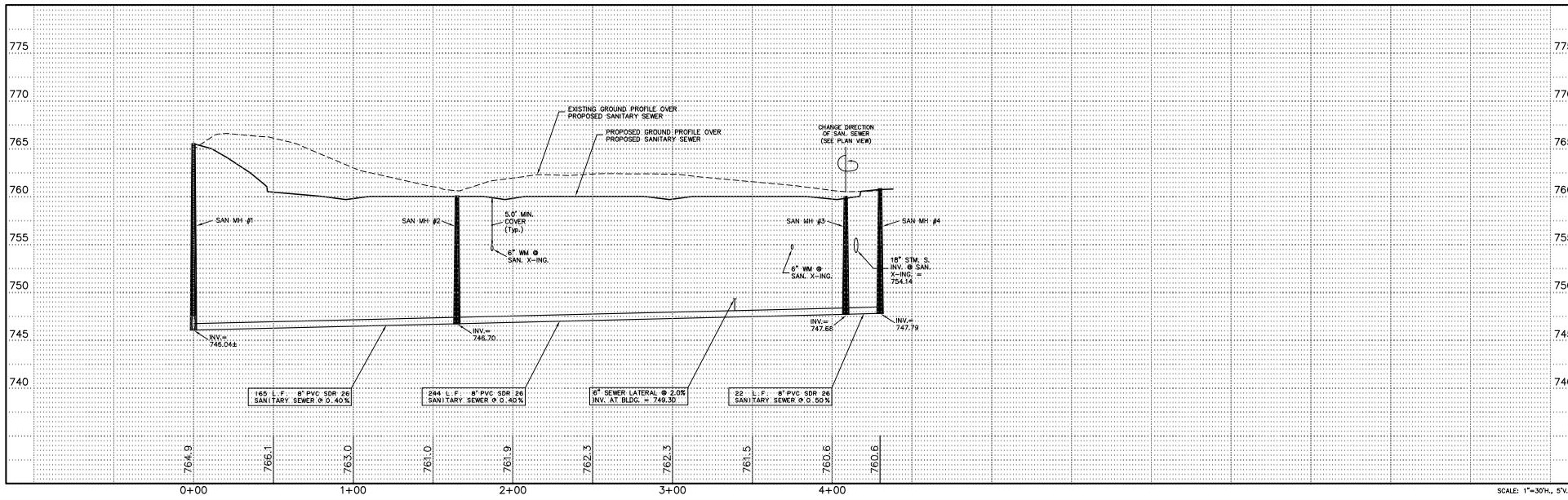
REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

SANITARY SEWER AND WATERMAIN PLAN
SILVERADO ST. CHARLES

FILE NAME: SANWAT	DSGN. BY: MBK	JOB NO.: 800.002	FLD. BK./PG.: ---	SHEET NO. 15 of 22
DIR: B00002	DRN. BY: BCD/JXC	DATE: 01-23-2017	SCALE: 1" = 30'	

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SCALE: 1"=30'H, 5'V.

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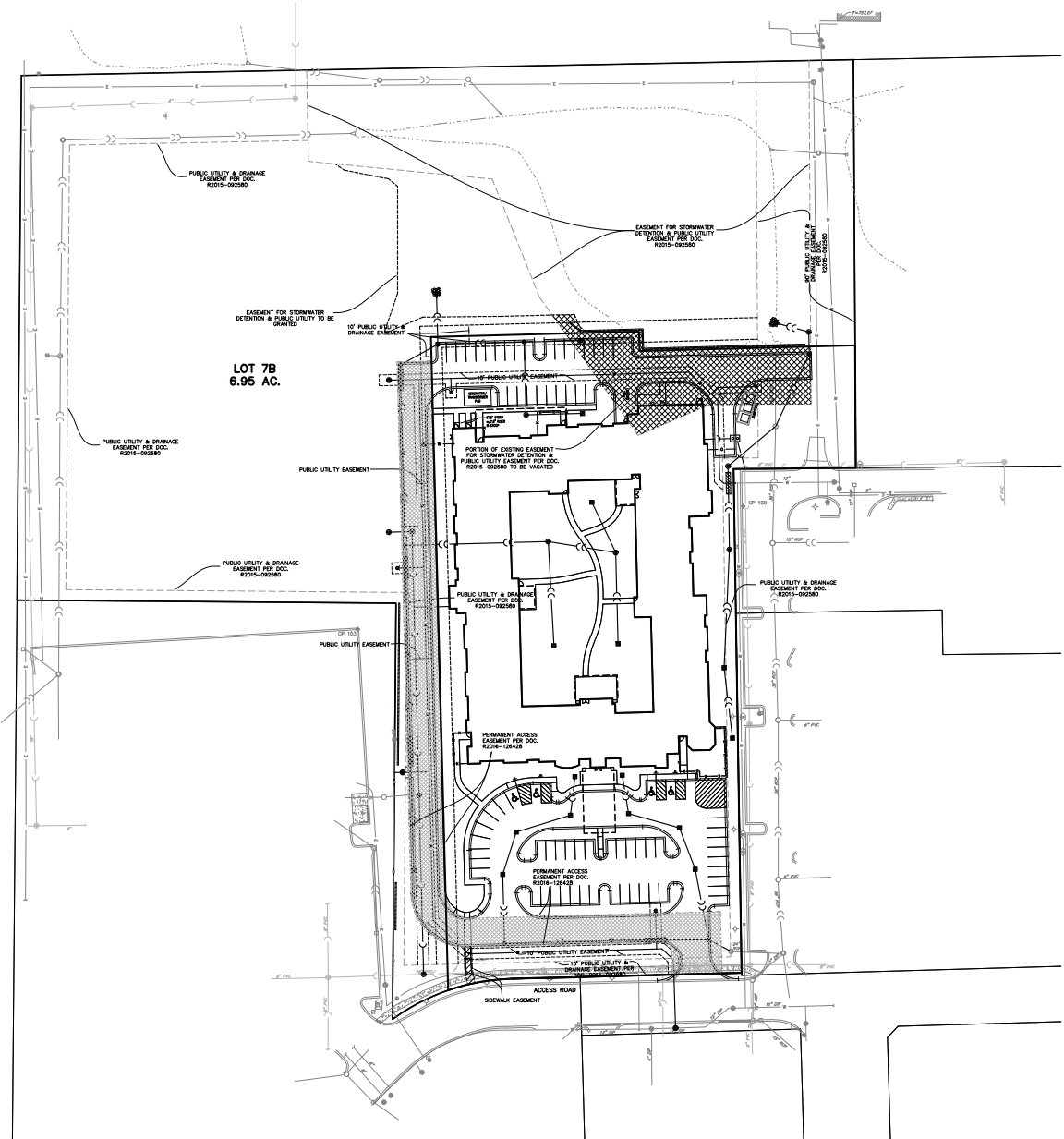
REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

SANITARY SEWER PROFILES				
SILVERADO ST. CHARLES				
FILE NAME: SANWAT	DSGN. BY: MBK	JOB NO.: 800.002	FLD. BK./PG.: ---	SHEET NO. 17 of 22
DIR: 800002	DRN. BY: BCD/JCC	DATE: 01-23-2017	SCALE: 1" = 30'H, 5'V.	

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2	A	83.5	129	180	180	0
3	A	83.5	209	180	180	0
4	A	92	35	270	270	0
5	A	333	63.9	20.0	270	0
6	A	483	63.9	20.0	270	0
7	A	713	56	20.0	270	0
8	B	582.5	244	180	180	0
9	B	582.5	144	180	180	0
10	B	582.9	44	20.0	180	0
11	C	484	263.5	20.0	0	0
12	C	484	132.5	20.0	0	0
13	D	282	277	7.5	0	0
14	D	382.5	81	7.5	0	0
15	D	74.5	277	7.5	180	0
16	D	77.5	144	7.5	180	0
17	D	88	226	7.5	270	0
18	D	85.5	143	7.5	180	0
19	D	112.5	89.5	7.5	180	0
20	D	98	72	7.5	180	0
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LEGEND		
EXISTING	PROPOSED	DESCRIPTION
○	⊙	MANHOLE
□	■	CATCH BASIN
—	—	INLET
—	—	END SECTION
—	—	STORM SEWER
—	—	WATERMAIN
⊕	⊕	VALVE & BOX
⊕	⊕	WATER VALVE IN VAULT
⊕	⊕	FIRE HYDRANT
⊕	⊕	SANITARY SEWER
⊕	⊕	LUMINAIRE

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PREPARED FOR:
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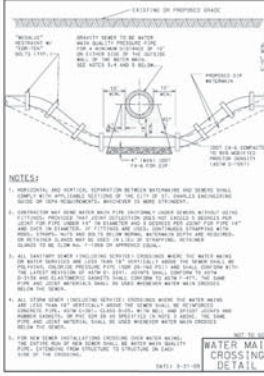
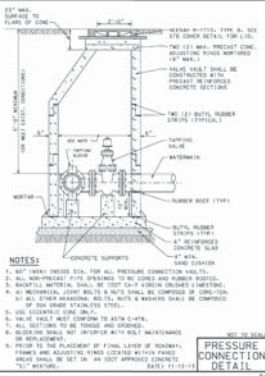
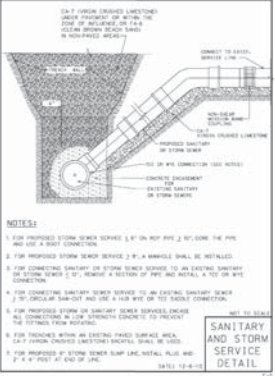
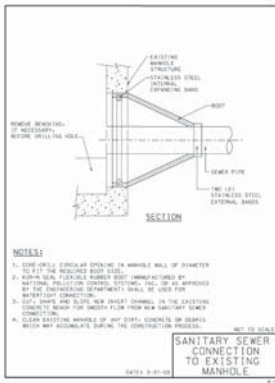
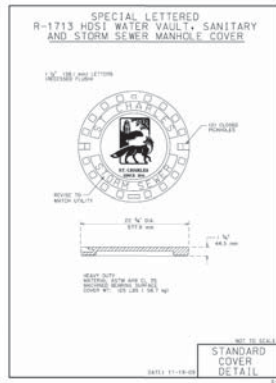
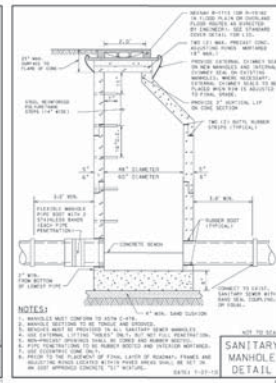
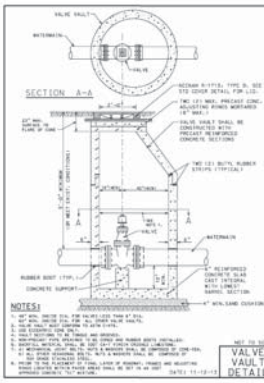
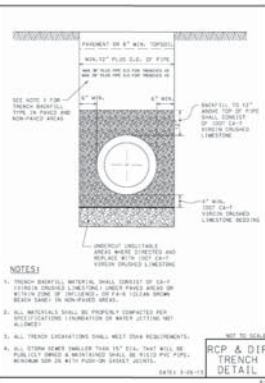
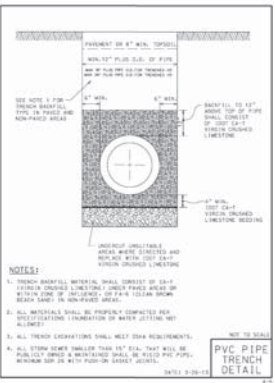
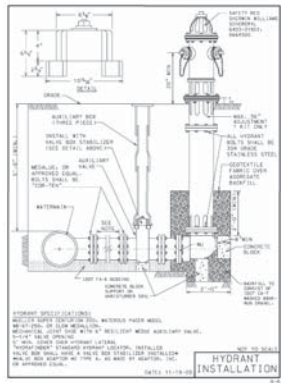


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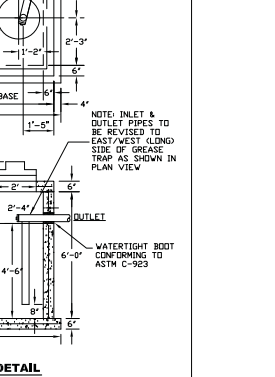
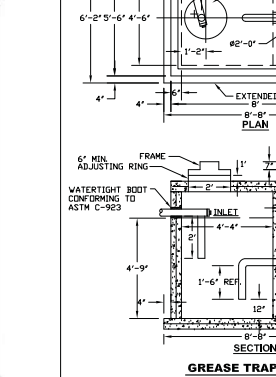
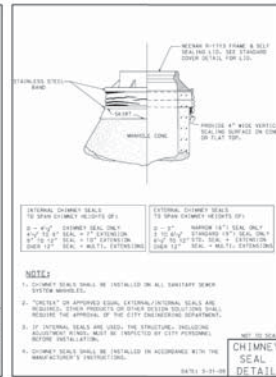
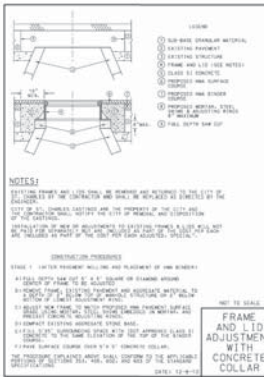
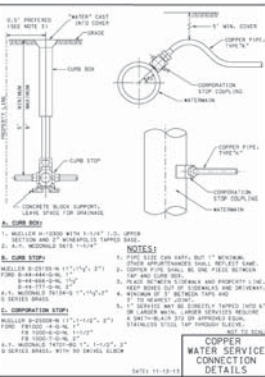
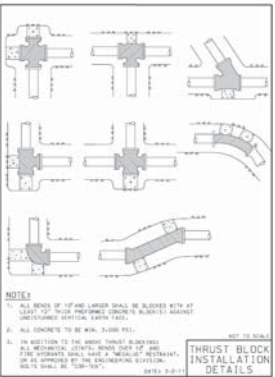
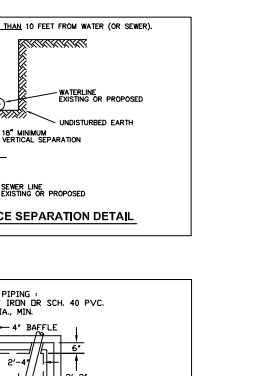
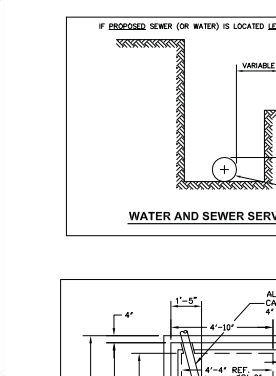
OVERALL EASEMENT PLAN					
SILVERADO ST. CHARLES					
FILE NAME: UTILITY	DSGN. BY: MBK	JOB NO.: 800.002	F.L.D. BK./PG.: ---	SHEET NO.	
DIR: 800002	DRN. BY: BCD/JGC	DATE: 01-23-2017	SCALE: 1" = 50'	20 of 22	

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Minimum Restrained Lengths (in feet) back from both sides of fitting

Fitting Symmetrical Size	4" x 6"	6" x 8"	8" x 10"	10" x 12"
45 Degree Bend	17	25	32	38
60 Degree Bend	1	1	1	1
75 Degree Bend	1	1	1	1
90 Degree Bend	1	1	1	1
11.25 Degree Bend	1	1	1	1
15 Degree Bend	1	1	1	1
22.5 Degree Bend	1	1	1	1
30 Degree Bend	1	1	1	1
37.5 Degree Bend	1	1	1	1
45 Degree Bend	1	1	1	1
52.5 Degree Bend	1	1	1	1
60 Degree Bend	1	1	1	1
67.5 Degree Bend	1	1	1	1
75 Degree Bend	1	1	1	1
82.5 Degree Bend	1	1	1	1
90 Degree Bend	1	1	1	1
97.5 Degree Bend	1	1	1	1
105 Degree Bend	1	1	1	1
112.5 Degree Bend	1	1	1	1
120 Degree Bend	1	1	1	1
127.5 Degree Bend	1	1	1	1
135 Degree Bend	1	1	1	1
142.5 Degree Bend	1	1	1	1
150 Degree Bend	1	1	1	1



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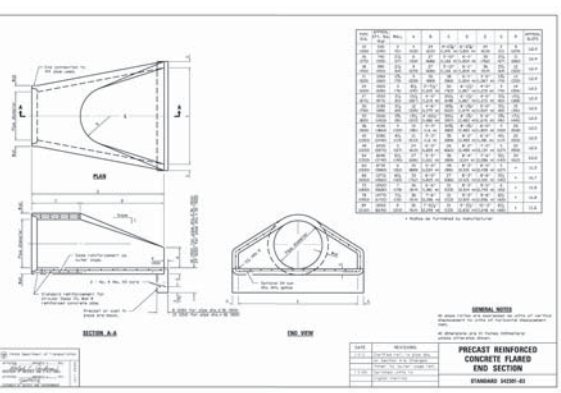
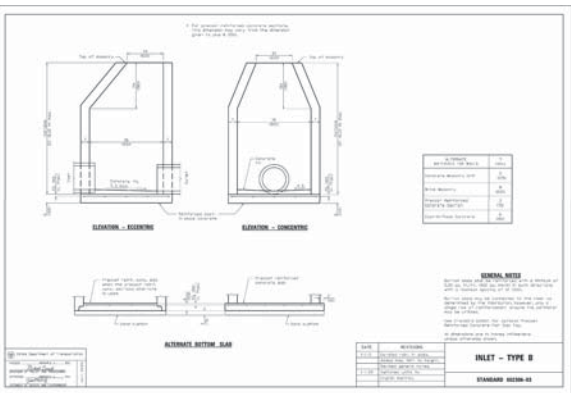
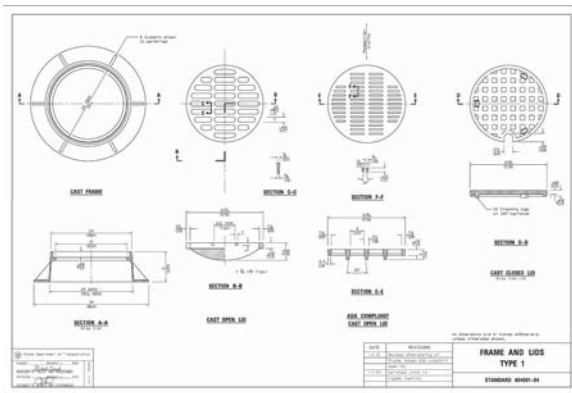
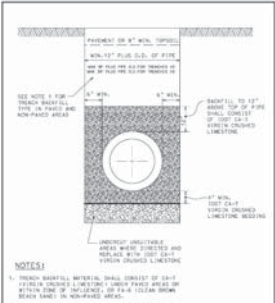
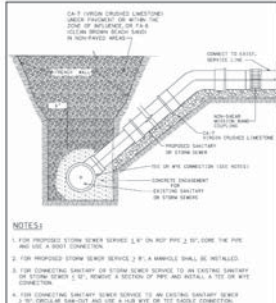
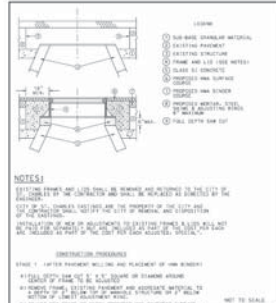
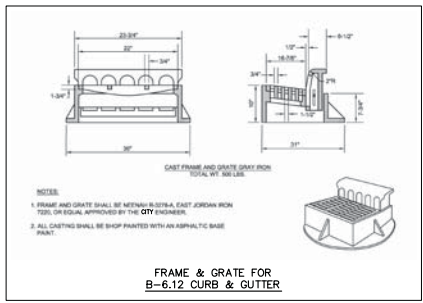
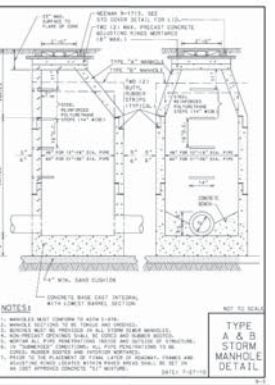
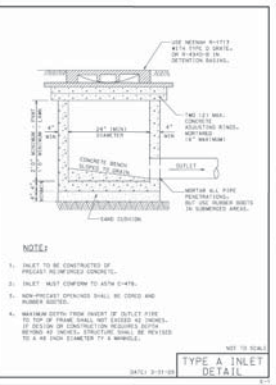
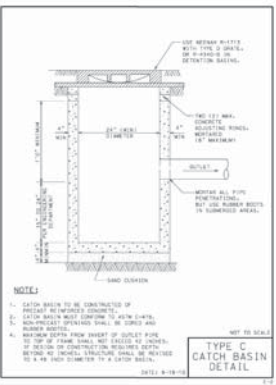
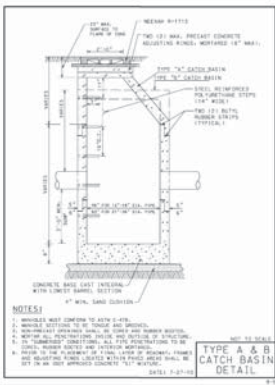
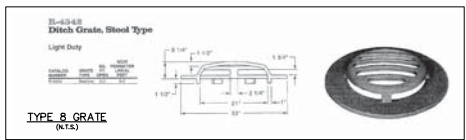
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SANITARY SEWER AND WATERMAIN DETAILS
SILVERADO ST. CHARLES

FILE NAME: DETAILS	DSGN. BY: MBK	JOB NO.: 800.002	FLD. BK./PG.: ---	SHEET NO. 21 of 22
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DRAINAGE STRUCTURE DETAILS				
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