 <p>CITY OF ST. CHARLES ILLINOIS • 1834</p>	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item number: 4b
	Title:	Recommendation to approve a Minor Change to PUD for 1023 W. Main St. PUD.	
	Presenter:	Ellen Johnson	
Meeting: Planning & Development Committee		Date: September 11, 2023	
Proposed Cost: \$		Budgeted Amount: \$	Not Budgeted: <input type="checkbox"/>
TIF District: None			
Executive Summary (if not budgeted, please explain):			
<p>1023 W. Main St. is a gas station redevelopment at the southeast corner of W Main and S 11th Streets. A PUD and preliminary plans were approved for the project under Ord. 2022-Z-8. The project includes a new convenience store and 3-pump fuel canopy.</p> <p>A building permit for the project is currently under review. An issue has arisen regarding location of the pad-mounted electric transformer due to the limited size of the site and transformer clearance requirements.</p> <p>A Minor Change to PUD application has been submitted by Muhammad Younus, representing property owner Glenview Enterprises, Inc. Proposed is to remove one parking space west of the building in order to locate the transformer. The trash enclosure will be shifted west, with the transformer between the trash enclosure and the building. Additional plantings will be added between the transformer and the building. The resulting parking count is 3 spaces. A total of 3 spaces are required under the Zoning Ordinance.</p> <p>Revised site, engineering, and landscape plans have been submitted depicting the change.</p> <p>The Minor Change complies with the 1023 W. Main St. PUD Ordinance and the applicable provisions of the Zoning Ordinance.</p>			
Attachments (please list):			
Application, Plans, Ord. 2022-Z-8			
Recommendation/Suggested Action (briefly explain):			
Recommendation to approve a Minor Change to PUD for 1023 W. Main St. PUD.			



MINOR CHANGE TO PUD APPLICATION

For City Use	
Project Name:	<u>1023 W. Main St.</u>
Project Number:	<u>2023 -PR- 012</u>
Cityview Project Number:	<u>PLMC202300130</u>



- File this application to request approval of a Minor Change to an approved PUD Preliminary Plan in a manner that complies with all standards of the PUD Ordinance applicable to the property and meets the definition of a Minor Change per the Zoning Ordinance or the PUD Ordinance.
- Complete the application and submit with all required attachments to the Community Development Division.
- The information you provide must be complete and accurate. If you have any questions please contact the Community Development Division.
- City staff will review the submittal for completeness and for compliance with applicable requirements.
- The Minor Change will be scheduled for review by the Planning & Development Committee of the City Council when staff has determined the plans are ready.

1. Property Information:	Location:	1023 W. Main St.	
	Parcel Number (s):	09-33-203-001	
	PUD Name:	1023 W. Main St. Redevelopment	
2. Applicant Information:	Name:	Muhammad Younus	Phone: 630-222-5432
	Address:	1 E. St. Charles Rd Villa Park, IL 60181	Email: younusmuhammad@hotmail.com
3. Record Owner Information:	Name:	Glenview Enterprises, Inc.	Phone: 630-222-5432
	Address:	1 E. St. Charles Rd Villa Park, IL 60181	Email: younusmuhammad@hotmail.com

4. PUD Information:

Name of PUD: 1023 W. Main St. Redevelopment
 PUD Ordinance #: 2022-Z-8
 Ordinance or Resolution that approved the current plans: 2022-Z-8

5. Proposed Changes:

PUD Plans to be changed:

- Site/Engineering Plan
- Landscape Plan
- Architectural Elevations
- Signs
- Other plans:

Description of plan changes:

Reduction of one parking spot at the south west corner of the lot to accommodate a pad mounted transformer.

6. Required Attachments:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Provide 1 copy of each required item, unless otherwise noted.

- APPLICATION FEE:** \$200
- REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- REIMBURSEMENT OF FEES INITIAL DEPOSIT:** Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

- PROOF OF OWNERSHIP:** a) A current title policy report; or
b) A deed and a current title search
- OWNERSHIP DISCLOSURE:** Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.

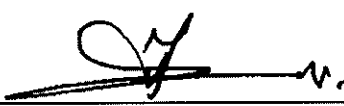
- LETTER OF AUTHORIZATION:** If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.
- LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper and Microsoft Word file.
- PLAT OF SURVEY:** A current plat of survey for the subject property showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.
- COVER LETTER:** A letter describing the proposed minor change requested, why it is necessary, and how it is different from the currently approved plan.
- PLANS:** All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies: One 1(1) full size plan set, one (1) 11" by 17" copy, and PDF electronic file emailed to: cd@stcharlesil.gov

Plans shall include the following, depending on the scope of the proposed Minor Change:

- Site Plan indicating location of proposed change.
- For changes to site/engineering plans, show existing/approved and proposed site/engineering plan changes.
- For changes to architectural elevations, show existing/approved and proposed building design, color and materials.
- For changes to landscaping, show existing/approved and proposed plans, indicate species and quantities of plant material to replace existing/approved materials.
- For changes to signs, show existing/approved and proposed signage plans, and include renderings of proposed signage indicating size, materials, and location on the building and/or site.
- Additional information may be necessary depending on the specific change proposed.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Record Owner	Date
	08. 20. 23
Applicant or Authorized Agent	Date

**OWNERSHIP DISCLOSURE FORM
CORPORATION**

STATE OF ILLINOIS)
) SS.
KANE COUNTY)

I, Muhammad Younes, being first duly sworn on oath depose and say that I am the
owner of Glenview Enterprises Inc, (Illinois)
() Corporation and that the following persons are all of the shareholders of 7%
or more of the common stock of said Corporation:

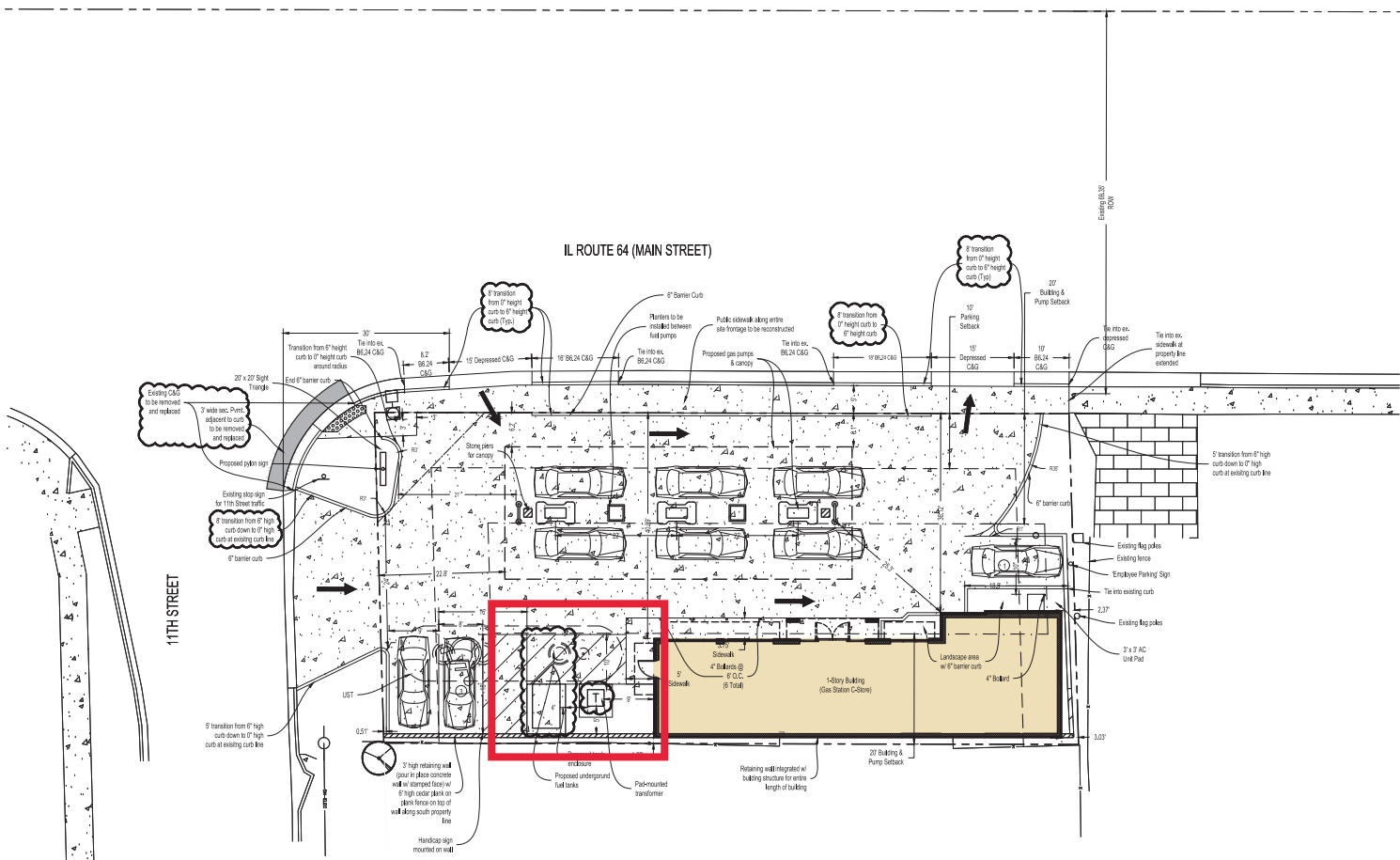
_____	_____
_____	_____
_____	_____
_____	_____

BY: Muhammad Younes
TITLE: President

Subscribed and Sworn before me this 30th day of
August, 2023.

Kimberly A. Woods
Notary Public





SITE ANALYSIS

SITE

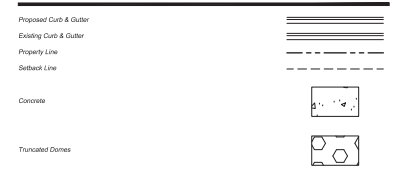
1023 W. Main Street
St. Charles, IL

Parcel Area	7,557 sf
Building Area	1,440 sf

PARKING

Quantity Required	6 = 4 x 1,440/1,000 1 = 1	Gas Station (4 spaces per every 1,000 of floor area)
Provided	7 Spaces	Residential (1 per dwelling unit)
Stall Size Required	10 = 3 Standard + 6 Pumps + 1 ADA	
Provided	9' x 18' (Standard) 9' x 18' (Standard), 10' x 18' (ADA)	

LEGEND



SITE IMPERVIOUS

Existing Impervious Area = 6,415 sf OR 0.15 Acres
 Proposed Impervious Area = 7,009 sf OR 0.16 Acres
 Net New Impervious Area = 597 sf OR 0.017 Acres

Site Percent Impervious = 93%

Per Kane County Stormwater Ordinance, since the site impervious area exceeds 50% of the total site area - BMP requirements are triggered for this redevelopment.

Total BMP Volume = 127' * 7,009 sf = 894 cf

Due to redevelopment being a gas station, infiltration is not allowed. P-10 Treatment will be provided via the Contact CSS Separator Unit (see sheet C-2) and a fee-in-lieu will be paid for the BMP volume required.

SITE NOTES

- All dimensions are base of curb unless otherwise noted.
- All earth work is base of curb unless otherwise noted.
- Contractor to verify elevations prior to starting work and notify engineer if any discrepancies are found.
- Setback around perimeter of building shall be with approval unless otherwise specified on plans.
- Contractor will be responsible for notifying all existing permitted drainage connections.
- See details for bituminous and concrete pavement methods.
- Contractor to provide temporary traffic control measures during construction of area of P.O.W. in accordance with Illinois C.O.T.T. requirements.
- C&G handicap areas shall be installed at all locations delineated on plans as well as at all locations where sidewalk abuts drives or roadways.
- Contractor will compare architectural and engineering plans for interface compatibility.
- Pavement striping to be 4" wide traffic yellow with two coats unless otherwise specified on plans.

REVISIONS

NO.	DATE	DESCRIPTION
5	8/22/23	PER CITY COMMENTS
4	6/1/23	PER CITY COMMENTS
3	4/27/23	PER CITY COMMENTS FOR PERMIT
2	4/17/23	PER VILLAGE COMMENTS
1	1/28/22	PER IDOT & CITY COMMENTS

SITE PLAN

GAS STATION
 1023 W. MAIN STREET
 ST. CHARLES, ILLINOIS



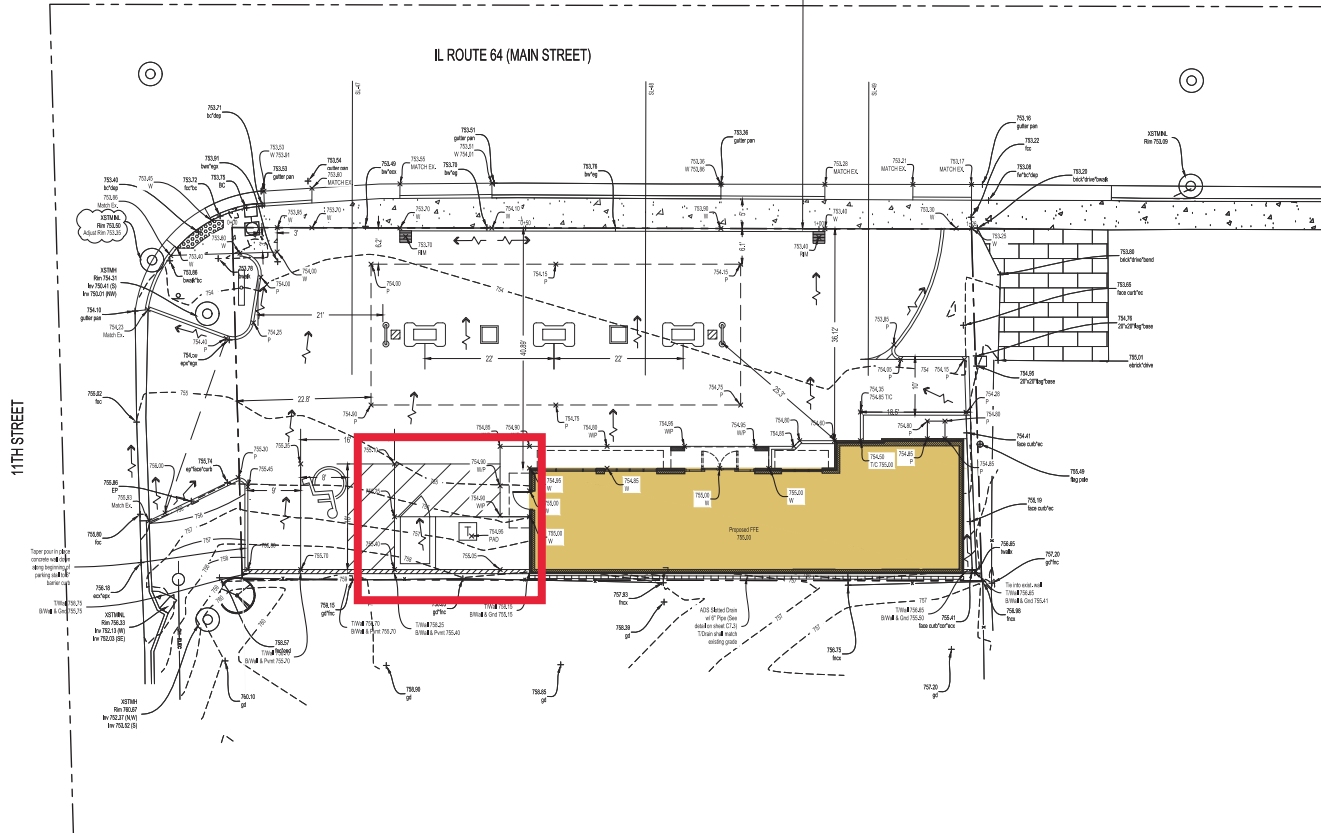
Craig Z. Knoche & Associates • Civil Engineers
 • Land Planners

116 Commerce Drive • Geneva, IL 60134 • phone (815) 842-2770 • fax (815) 842-2773

DATE:	5/6/21
FILES:	21-006 C10
JOB NO.:	21-006

C1.1
SHEET NO.

Scale 1"=10'



LEGEND

	EXISTING	PROPOSED
Pavement Grade	▲ 475.00	▲ 475.00
Walk Grade	◆ 475.00	◆ 475.00
Back of Curb Grade	◆ 475.00	◆ 475.00
Ground Grade	▲ 475.00	▲ 475.00
Rim Grade	▲ 475.00	▲ 475.00
Storm Structure	⊙	⊙
Contours	— 475	— 475
Emergency Overflow		➔
Flow Direction		➔
Ridge/pipes	---	---
Reverse Curb		~

All proposed grades are edge of pavement unless otherwise noted. See below for top of curb structure contours.

TCLUB = (PMT. GRADE) + 0.42 (NORMAL PITCH CURB)
 TCLRBS = (PMT. GRADE) + 0.54 (REVERSE PITCH CURB)

- GRADING NOTES**
- General contractor shall verify existing contours and notify engineer of any discrepancies.
 - The general contractor shall spread spoils from utility contractors work to balance the site to the extent possible.
 - Erosion control measures include but are not limited to the following: all fabric shall be placed on each secondary structure throughout construction is completed. Fabric shall overlap secondary structure opening a minimum of one (1) foot on each side with the sand grade placed on top of fabric to prevent all from entering sanitary systems. All forms around perimeter shall remain in place and be maintained until construction is completed. All steel structures shall be protected with steel baskets.
 - The general contractor is responsible for erosion control measures. Contractor shall install erosion control measures prior to the start of construction and maintain such measures until grading is completed, parking lot is paved and vegetation has been established. If there is no general contractor, it will then be the responsibility of the grading contractor to install and maintain erosion control measures.
 - The contractor responsible for the installation of the erosion control devices shall maintain all storm water pollution devices throughout construction and until all unfurrowed or non-building areas have a uniform permanent vegetative cover with a density of 75 percent or greater. Maintenance includes weekly inspections or an inspection following a rainfall of 1/2 inch in a 24-hour period. The contractor must submit a copy of the inspection report to the owner and engineer at the end of each month and keep a copy of the report on the construction site until the required vegetation cover is in place.
 - If additional erosion control measures not shown on these drawings are required to stop or prevent erosion or are required by any authority having jurisdiction, it shall be the general contractor's responsibility to install such devices. The owner or engineer shall be notified of the additional work and cost prior to installation.
 - The general contractor shall be responsible for notifying the owner and engineer, in writing, of any additional sources of storm water pollution observed during construction and the additional costs required to prevent additional pollution.
 - See soils reports for testing requirements. The final soils reports are dated as follows: Geotechnical Engineering Report prepared by _____ dated _____, 20__.

REVISIONS

NO.	DATE	DESCRIPTION
5	8/22/23	PER CITY COMMENTS
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3	4/27/23	PER CITY COMMENTS FOR PERMIT
1	1/28/22	PER DOT & VILLAGE COMMENTS

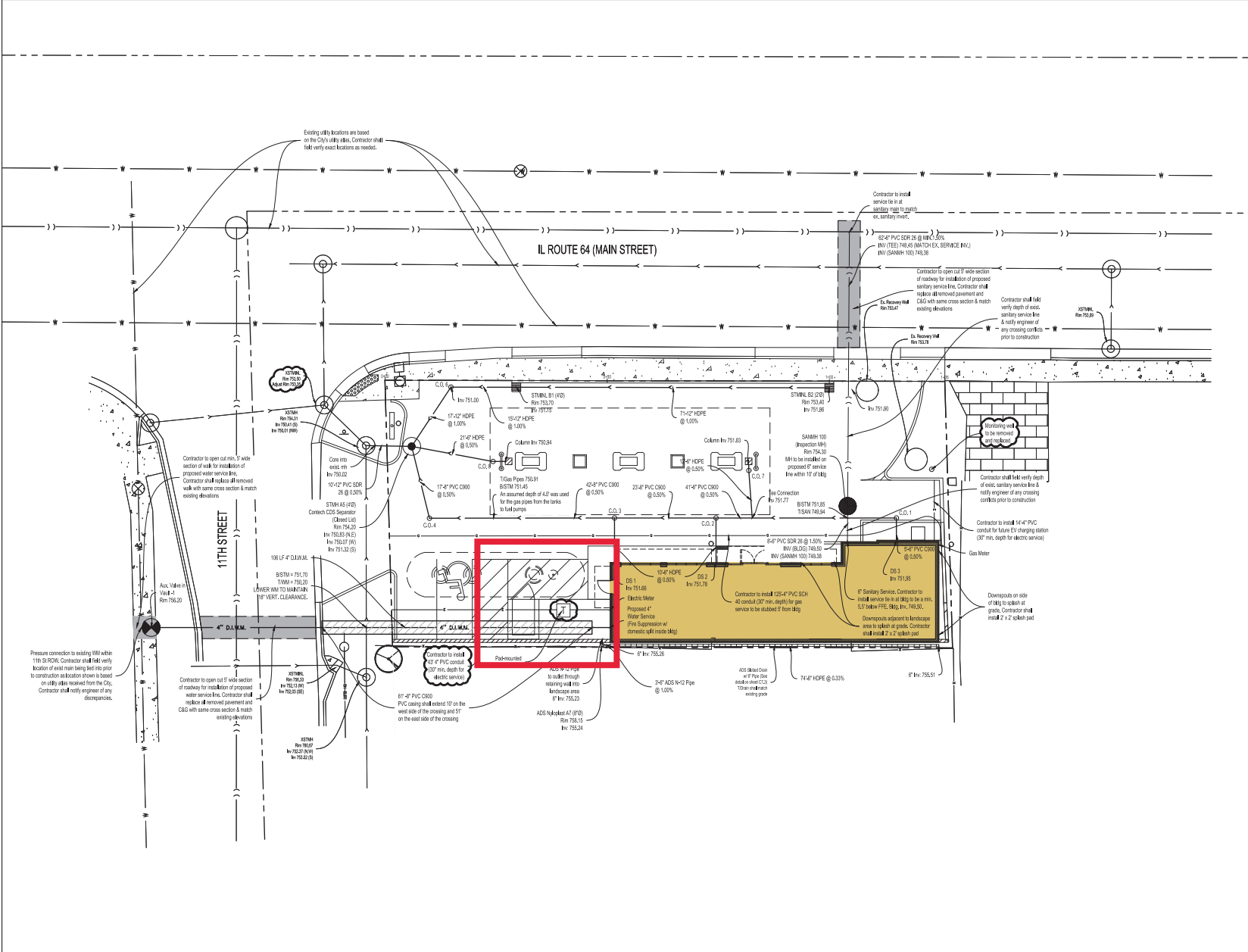
GRADING PLAN

GAS STATION
 1023 W. MAIN STREET
 ST. CHARLES, ILLINOIS

DATE: 5/6/21
 REVISION NO: 21-006 C20
 JOB NO: 21-006

Craig R. Knoche & Associates - Civil Engineers
 24 N. Barnett Street • Geneva, IL 60146 • Phone (815) 449-2370 • Fax (815) 449-2373

C2.1
 SHEET NO. 21-006



LEGEND

	PROPOSED	EXISTING
STORM SEWER		
SANITARY SEWER		
WATERMAIN		
ELECTRIC		
TELEPHONE		
GAS		
STORM MANHOLE		
FLARED END SECTION		
SANITARY MANHOLE		
VALVE VAULT / B-BOX		
FIRE HYDRANT		
LIGHT POLES		
TRANSFORMER		

- UTILITY NOTES**
1. All dimensions include Class 12 Ductile Iron pipe unless otherwise specified. Flange shall meet ANSI A191.1 to OR C150. Valve shall meet ANSI C150.
 2. All manholes shall meet DOT specifications (ASTM D1535) for bedding the pipe class. Storm pipes must meet ASTM C150 standards.
 3. Present concrete sections for manholes, catch basins, vaults, and vaults shall meet ASTM C150.
 4. Existing utilities shown for information only and are not necessarily indicated. Contractor shall verify all lines where possible and notify engineer of discrepancies, exceptions, or omissions as soon as possible.
 5. For fire hydrant, water main, or gas, all structures shall have 10' clearance. All other structures shall be in accordance with the approved stormwater plan for construction.
 6. General contractor shall verify specific size and location of existing gas, electric, and telephone prior to installation.
 7. Existing gas lines located within the site boundary shall be removed or abandoned as necessary. All gas lines existing outside the site boundary shall be removed or abandoned as necessary. All gas lines existing outside the site boundary shall be removed or abandoned as necessary. All gas lines existing outside the site boundary shall be removed or abandoned as necessary.
 8. Sanitary gas pipe shall be installed using construction of all existing manholes where proposed connections are made and at the first manhole and to existing manholes.
 9. Contractor to see backlogs and register specifications in architectural data and control documents for additional requirements.
 10. Frame and gate requirements:
Storm Structure (Manhole) - Meet 84-103 Frame, R4207 Type C Gate
Storm Structure (Vault) - Meet R4207A Type C Gate
Sanitary Structure (Vault) - Meet R4207A Type C Gate
Sanitary Structure (Manhole) - Meet R4207A Type C Gate
Equivalent to those are noted above.
 11. Storm sewer shall be installed and maintained.
 12. Contractor must contact the City of Geneva department for the removal of the existing water service and the connection to the proposed water service for fire hydrant.

REVISIONS

NO.	DATE	DESCRIPTION
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UTILITY PLAN

GAS STATION
1023 W. MAIN STREET
ST. CHARLES, ILLINOIS

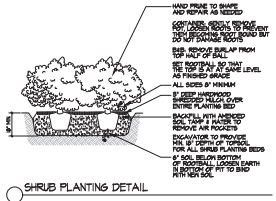
CRUIZ ENGINEERS & ASSOCIATES, P.C.
1111 Commerce Drive • Geneva, IL 60134 • phone (630) 449-2370 • fax (630) 449-2372

Craig R. Knoche & Associates • Civil Engineers
• Surveyors
• Land Planners
• Professional Engineers

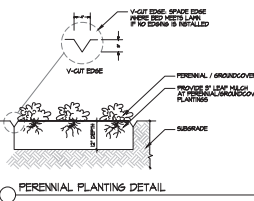
DATE: 5/6/21
REV: 21-006 C30
JOB NO: 21-006
SHEET NO: C3.1



ORNAMENTAL TREE



SHRUB PLANTING DETAIL



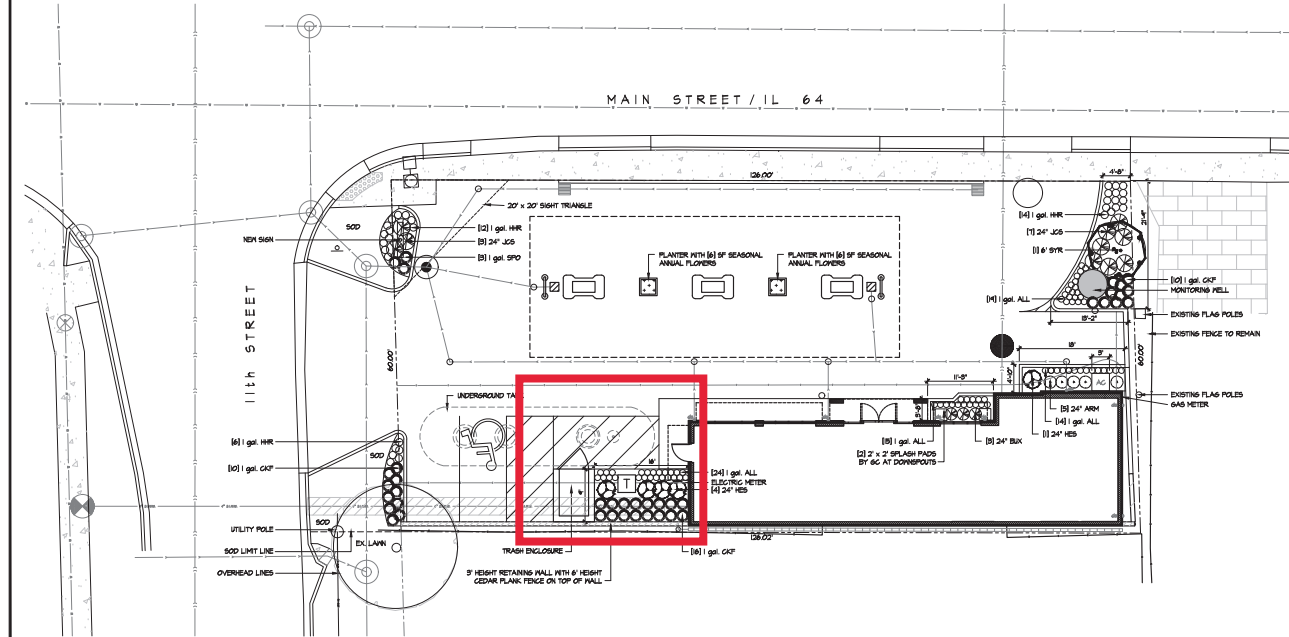
PERENNIAL PLANTING DETAIL

LANDSCAPE NOTES

- In general, contractor should become familiar with the site and with scope of work prior to the submission of bid proposal and should notify Landscape Architect (LA) and/or owner of any discrepancies between the drawings and existing site conditions.
- Bid Proposal shall show unit prices and quantities for all items shown on this drawing.
- Contractor shall follow and conform to the City of St. Charles, IL building codes.
- Job site safety and means and methods of construction are the responsibility of the Contractor.
- Contractor shall excavate and dispose of excavated materials off site.
- Contractor shall be responsible for any damage to buildings or site as a result of executing the work which is part of this contract or additional work which may be added to this contract at a later date.
- Site shall be kept clean at all times and shall be thoroughly cleaned at the end of each working day.
- Driveways shall be unobstructed at all times and consideration for the neighboring properties maintained.
- Determine and verify exact locations of all underground utilities in the field before work begins. Call 811/USE 1-800-882-0123 (48 hours) before you dig, excluding Saturdays, Sundays, and holidays.
- Plants and other materials are quantified and summarized for the convenience of the owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn.
- Landscaper Contractor not responsible for installation permits unless otherwise noted.
- Determine subsoil conditions and subsurface drainage requirements of all plant material.
- Removals: Contractor shall clear existing plant material and weeds as needed where new planting is provided per plan. New topsoil shall be provided and/or amended as needed to fine grade planting areas.
- Topsoil: Any new topsoil shall be fertile, pulverized, stable, natural loam, surface soil, free of subsoil, clay lumps, brush, weeds, stones larger than 1" in any dimension and other extraneous or toxic matter harmful to plant growth. Soil shall have acidity range of pH 5-7, not less than 3% humus as determined by loss on ignition of moisture free samples dried at 100 degrees centigrade, less than 60% of material passing VSS #100 sieve consists of clay by dried weight of material.
- Amend Existing Soil: Amend existing soil in all planting beds: 25% soil conditioner, 25% clean sand and 50% existing soil.
- Soil amendments into planting beds.
- Plant Material: The Landscape Architect reserves the right to personally select any or all nursery stock prior to digging. All plant material shall bear the same relationship to the new grade as they bore to the previous (nursery) grade. Comply with sizing and grading standards of the latest edition American Standard for Nursery Stock. All plants are subject to inspection by the Landscape Architect at the job site or nursery.
- Plant Installation: Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and face to give the best appearance or relationship to each other or adjacent structure. Do not fill around trunks or stems. Do not use frozen or muddy mixture for backfilling. Supply a minimum of 12" of soil mix on all sides of rootballs for trees and shrubs unless otherwise noted. Plant groundcover and perennials and tamp down soil around pot or pot not heat in frost. Water in before applying mulch. Do not cover foliage with mulch. Balled roots shall be protected from drying out and care taken to prevent the soil from freezing.
- Watering: LC to water installed plant materials for the entire first season.
- Mulch: Provide 3" loose measure of mulch throughout all planting areas excluding groundcover beds. Mulch to be 6 month old, well rotted, shredded, hardwood bark mulch, not larger than 4" in length and 1/2" in width, free of wood chips and sawdust.
- Soil: Supply and install new bluegrass blend soil as shown on plan. Place soil on min. 4" depth roller, fine graded, pulverized topsoil. Guarantee new soil for 30 days. Time delivery of soil so that soil will be placed within 24 hours after shipping. Protect soil against drying and breaking of roller strips. If new soil is laid late in the Fall, the guarantee shall be extended into the Spring of the next growing season.
- Repair Disturbed Areas: All disturbed areas shall be repaired and fine graded and topdressed with a minimum 4" depth, roller, pulverized topsoil. All excess soil not used in repair of disturbed areas shall be removed from site. Sod all repaired areas.
- Bed Edge: Spade edge where bed meets lawn if no edging is installed.
- Upon completion of all landscape work, the LC shall notify the LA and owner for approval and acceptance. LC to water installed plant materials for the entire first season. LC shall guarantee all work and plant material for a minimum of one year, after acceptance by the LA and owner, of completed landscape work.

ORNAMENTAL TREE NOTES:
 1. FRAME TREE TO PREVENT ROOT LOSS
 2. TREE TRUNK SHALL BE PROTECTED BY A TRUNK GUARD
 3. SOIL BACKFILL AND USE VERBA
 4. SOIL CONNECTION
 5. SOIL RETENTION
 6. ALL ORNAMENTAL TREES BY #1 & 2
 7. SOIL BACKFILL AND USE VERBA
 8. ALL ORNAMENTAL TREES BY #1 & 2
 9. SOIL BACKFILL AND USE VERBA
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MAIN STREET / IL 64



LANDSCAPE CALCULATIONS

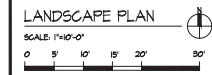
SITE AREA	1891 Sq. Ft.	REQUIRED	1891 Sq. Ft.	PROPOSED	1891 Sq. Ft.
LANDSCAPE AREA	1891 Sq. Ft.	REQUIRED	1891 Sq. Ft.	PROPOSED	1891 Sq. Ft.
LANDSCAPE AREA - PERCENT OF TOTAL SITE AREA	100%	REQUIRED	100%	PROPOSED	100%

PLANT LIST

KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
ORNAMENTAL TREES					
SVR	1	6"	Syringa reticulata Ivory Silk	Ivory Silk Japanese Tree Lilac	Specimen multi-stem
SHRUBS					
ARH	3	24"	Artemisia melanocephala 'L'GONNARH'	Low Shrub 'Mound Chabernay'	Full branching to ground
BLX	3	24"	Buxus sempervirens 'Blauer Zypresse'	Blue Boxwood	Full branching to ground
HES	3	24"	Hydrangea macrophylla 'Bosniar'	Endless Summer Hydrangea	Full branching to ground
JES	3	24"	Juniperus communis 'Spartan'	Spartan Juniper	Full branching to ground
PERENNIALS AND ORNAMENTAL GRASSES					
ALL	2	12"	Allium tripetalatum	Star of Persia	Container
ACT	26	12"	Actinophloxia acutiflora 'Karl Foerster'	Feather Reed Grass	Container
HEC	2	12"	Hebe x exoniensis 'Happy Returns'	Happy Returns Hebe	Container
SPO	3	12"	Sporobolus heterostachyus	Pyramidal Grass	Container
SED	2	12"	Sedum spectabile	Autumn Joy Sedum	Container

NOTES

SEE ARCHITECTURAL PLANS FOR PLANTERS, BACKFILL, PLANTERS WITH CLEAN TOPSOIL AND SEASONAL ANNUAL FLOWERS.



CLIENT NAME:
 KORU Group, PLLC
 2126 Oak Creek Lane
 Suite 330
 Naperville, Illinois

LANDSCAPE ARCHITECTURE
pamelasel
 202 South Cook Street Ste #214
 Barrington, Illinois 60010
 847.436.4822
 www.pamelasel.com
 LICENSE # 157.000683
 STAMP:

ARCHITECT:
 CIVIL ENGINEER:
 GENERAL CONTRACTOR:

GAS STATION
 1023 W. Main Street
 St. Charles, Illinois

REV.	DATE	DESCRIPTION
1	01.13.22	ISSUE FOR PERMITS
2	04.05.22	REVISED PERMITS
3	08.12.22	REVISED PERMITS
4	08.13.23	REVISED PERMITS

Design by: KWS/PKS
 Drawn by: KWS
 Checked by: KWS
 Start date: 05.03.2021
 Project no:

LANDSCAPE PLAN

L-1.0

NOT FOR CONSTRUCTION

REFER TO:

Minutes 4-18-2022

Page _____

City of St. Charles, Illinois

Ordinance No.: 2022-Z-8

**An Ordinance Granting Approval of a Map Amendment,
Special Use for Planned Unit Development and PUD
Preliminary Plan for 1023 W. Main St. Redevelopment**

**Adopted by the
City Council
of the
City of St. Charles
April 18, 2022**

Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, April 25, 2022

Nancy Garrison
City Clerk



(SEAL)

City of St. Charles, Illinois
Ordinance No. 2022-Z-8

**An Ordinance Granting Approval of a Map Amendment, Special Use for
Planned Unit Development and PUD Preliminary Plan for 1023 W. Main St.
Redevelopment**

WHEREAS, on or about May 20, 2021, Mohammed Shahid Ali (the “Applicant”) filed petitions for: 1) Map Amendment from the RT-2 Traditional Single-Family Residential District to the BL Local Business District; 2) Special Use for Planned Unit Development; and 3) PUD Preliminary Plan, all for the real estate addressed as 1023 W. Main St., legally described on Exhibit “A” attached hereto and incorporated herein (the “Subject Property”), for the purpose of redeveloping a gas station; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Special Use for Planned Unit Development was published on or about July 16, 2021 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about August 3, 2021 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development, and PUD Preliminary Plan petitions on or about August 3, 2021; and,

WHEREAS, on August 16, 2021 the Planning & Development Committee of the City Council reviewed the petitions and conditionally recommended approval, and on April 11, 2022, the Committee reviewed revised plans that included removal of the proposed residential unit, and recommended approval of said petitions as presented; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the RT-2 Traditional Single-Family Residential District to the BL Local Business District, and the Findings of Fact for Map Amendment attached hereto and incorporated herein as Exhibit “B” are expressly adopted by the corporate authorities of the City, with references to the initially proposed residential unit stricken from the findings.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant’s petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit “C”, which is attached hereto and incorporated herein, with references to the initially proposed residential unit stricken from the findings.

4. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit “D”, such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community Development, Director of Public Works and Fire Chief to comply with the requirements of the St. Charles Municipal Code:

- Preliminary Engineering Plans; Craig R. Knoche & Associates; revisions dated 1/26/22 (Sheet C1.1 revised 4/7/22)
- Landscape Plan; Pamela Self Landscape Architecture; revisions dated 4/11/22
- Photometric Plan; On-Site Lighting & Survey; revisions dated 4/8/22
- Exterior Elevations; ECA Architects & Planners; revisions dated 1/26/22
- Renderings; ECA Architects & Planners; revisions dated 1/26/22

5. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. Zoning: The Subject Property shall be subject to the requirements of the BL Local Business District, as amended, and all other applicable requirements of Title 17 of the St. Charles Municipal Code (“Zoning”), as amended, except as specifically varied in the “PUD Deviations” attached hereto and incorporated herein as Exhibit “E”.

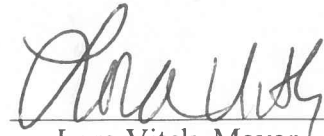
6. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of April 2022.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties,

Illinois this 18th day of April 2022.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties,
Illinois this 18th day of April 2022.



Lora Vitek, Mayor

Attest:



Nancy Garrison, City Clerk



Vote:

Ayes: 7

Nays: 3

Absent: 0

Abstain: 0

Date: _____

EXHIBIT "A"

LEGAL DESCRIPTION

THE NORTH 60 FEET OF LOTS 4 AND 9 IN BLOCK 5 OF MORRISON'S ADDITION TO ST. CHARLES; IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PIN# 09-33-203-001

EXHIBIT "B"

FINDINGS OF FACT FOR MAP AMENDMENT

1. The existing uses and zoning of nearby property.

North of the property: BL, RT-2 with BT transitional business overlay (legal services)

East of the property: RT-2

South of the property: RT-2

West of the property: RT-2 and BT (insurance office)

Neighborhood Commercial Comprehensive Plan Designation area to north, east and west (includes this property and references gasoline service stations and Main Street shallow lots). Proposed to change from RT-2 (grandfathered gas station) to BL (PUD variation to allow gas station).

2. The extent to which property values are diminished by the existing zoning restrictions.

The proposed zoning will make the existing non-conforming gas station conforming if granted with the PUD variations. Since the pumps and underground tanks were removed to prepare for improvements to the site, the existing gas station building is in limbo. The gas station has been there for decades beyond the original zoning documents, therefore, the owner would like to keep the gas station and improve the site and the building. The improvements aesthetically and functionally should increase the value of the gas station property and the value of the neighboring properties. The size of the existing lot would be hard to develop into anything without zoning variations.

3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

The property has been a commercial gas station use for over 50 years. This area along Main Street is primarily commercial use. Maintaining the gas station/C-store will continue to add valuable services to the local community as it has for over 50 years. The property is small and development of it is difficult for any use without variations due to existing zoning restrictions.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

RT-2 allows Auxiliary dwelling units and Single-Family homes, small group homes, local utilities and neighborhood parks. Max building coverage for +1.5 story structures is 25%, which would be approx. 1890 SF. Though possible to place a small home on the site, a park would not be a safe distance from IL-64. As the property has been occupied by a gas station, maybe even dating back to the 1920s, and many of the neighboring properties at this corner are commercial, and market conditions could be less desirable for new residential construction abutting IL-64, it is more feasible to keep the commercial gas station use.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

The property is not vacant, the intent is to upgrade the existing gas station use, and ownership of the gas station is the same since 2015.

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district.

The Land Use Plan as part of the 2013 Comprehensive Plan has marked this property as "Neighborhood Commercial". The plan also identifies the two existing homes to the east and the length of existing homes and commercial properties to the north to be part of the "Neighborhood Commercial" use. This designation are areas where "smaller-scale retail and service commercial areas" are considered more suitable than residential. Gas stations are one of the appropriate uses listed in the Comprehensive Plan for "Neighborhood Commercial." So, looking forward, rezoning to BL is in line with the Comprehensive Plan and complements the vision for the area while allowing a long-standing service commercial use to continue.

7. The consistency of the proposed amendment with the City's Comprehensive Plan.

As noted above, the Land Use Plan as part of the 2013 Comprehensive Plan has marked this property as "Neighborhood Commercial". This designation are areas where "smaller-scale retail and service commercial areas" are considered suitable. Gas stations are one of the appropriate uses listed in the Comprehensive Plan for "Neighborhood Commercial." So, looking forward, rezoning to BL is consistent with the City's Comprehensive Plan.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

The proposed amendment and variations, allow for a shallow site that is more difficult to develop to become compliant as a BL use within an area that has BL designations across the street. The scale, intensity and residential features of the proposed gas station ~~and second floor apartment building~~ are compatible with the neighboring residential. A BL rezoning also fits within the Neighborhood Commercial Comprehensive Plan designation as mentioned above.

9. The extent to which the proposed amendment creates nonconformities.

As the current zoning is existing non-conforming and needs to be rezoned to remain a gas station, BL is the most appropriate zoning classification. Any variations needed are addressed as part of the new PUD.

10. The trend of development, if any, in the general area of the property in question.

The trend of development, if referencing the Comprehensive Plan would be to change this location to a commercially zoned property. The parcel at 10th St. and Main St. was built around 2008, updated as a commercial property designed with a residential feel, the same as being proposed by the residential style of the gas station. This pocket along Main Street also has at least four commercial use or commercial overlay parcels in the immediate vicinity to the gas station lot.

EXHIBIT "C"

CRITERIA FOR PLANNED UNIT DEVELOPMENTS

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
- 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

The proposed PUD advances #1 and #6 especially. The existing site is 0.1735 acres on a corner lot with an outdated commercial looking C-store building. The variances requested as part of the PUD promote a creative approach to developing the site with a larger C-store and additional pump that will benefit the consumer and neighboring homes and businesses that will use the facility via car or on foot. ~~With the addition of a single bedroom apartment on the second story,~~ the building lends itself to express more residential character and improved curb appeal while looking more integral in the residential neighborhood than the existing, one-story, flat roof building. The redevelopment allows corrected zoning for an appropriate use (one that has been there for decades), while updating the obsolete and inappropriate commercial looking building. Based on the site constraints the property is being designed in the most efficient manner possible while reusing utilities where possible, drainage patterns, etc. to meet code compliance and performance standards.

- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
 - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

The existing site is zoned RT-2 and the existing gas station was a grandfathered use of the RT-2 district until the pumps and underground tanks were removed in preparation for improving the property. As it is today, a gas station cannot be part of an RT-2 use, and the best fit based on the other commercial properties across the street and the Comprehensive Plan vision for the property would be to zone it BL (Local Business District). The approval of the PUD allows for several variations which includes a gas station in the BL district. The PUD will also provide relief from many setback requirements that make the 0.1735-acre site unworkable for development. Therefore, conforming to the requirements of the underlying zoning district would be impractical and the proposed PUD provides the benefit of allowing a non-conforming, but long established, use to remain at this location. It also allows an opportunity to refresh, upgrade and improve the existing site and building. Currently, the landscaping on the site is a mulch bed berm on the south side of the parking. The owner is adding as many landscaping areas as possible on the small site and providing a retaining wall with fence on along the south property line as a buffer to the neighboring home. The existing one story flat roofed commercial building is being replaced with an attractive residential styled two-story building. This allows an opportunity for the building to blend into the residential neighborhood like many of the other commercial properties in the area. It also increases the size and amenities of the convenience store on the first floor for users in the neighborhood and those that travel Main Street. Three covered gas pumps provide additional benefit to commuters through the area. ~~The second floor apartment adds an opportunity for a dual use to the property.~~ The building will be designed in accordance with energy efficiency codes and will be sprinklered to meet current local building codes.

iii. **The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):**

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The Special Use for PUD will serve the public convenience at the proposed location by allowing the existing gas station and C-store to be enlarged and improved. There will be one more pump and the C-store will be increased from 470 SF to 1440 SF. The C-store/gas stations is a useful amenity to the neighboring residential and business uses and has already been a fixture in the community for many decades.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Existing utilities, access roads, drainage and necessary facilities are either being reused, or being upgraded as needed to meet current standards. The existing site is mainly paved or has the building on it, the proposed site is mainly paved with a building on it and landscaping beds where possible. No curb cuts or access to the property are being increased. Utilities are being connected from existing utilities that are readily available. A new water service will connect to the existing water main (new building to be sprinklered).

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

Approval of the Special Use PUD allows an existing non-conforming, out of date property, to be zoned appropriately. The Special Use will not be injurious to the use and enjoyment of neighboring properties as it is improving the use and aesthetics of the existing gas station. The use is the same but the building and site will get an updated, attractive look. ~~The building will also include a one bedroom apartment and the two-story architecture is being designed to be sensitive to the neighbourhood and comments from the initial concept review.~~ New fencing and a retaining wall will be built to shield the residence on the South end of the property. Fencing will remain on the east end of the property.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The Special Use for PUD approval allows the original non-conforming gas station use to be granted in a BL zoning district rather than the original residential zoning district. The BL District is appropriate as the property across Main Street from the site is BL and is compatible with the Neighborhood Commercial land use

category in the St. Charles Comprehensive Plan. Due to the size of the lot and the variations needed to proceed with the development, a PUD will allow this to be a uniquely zoned property that does not adversely affect the development and improvement of the surrounding properties.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The establishment, maintenance or operation of the Special Use will not be detrimental to or endanger public health, safety, comfort or general welfare. The gas station is already a use familiar to the neighborhood. ~~The single bedroom apartment is residential. The site has a designated parking spot for the apartment on the premises.~~ The required parking for the gas station is being met. The variations requested enable the small site to be buildable and functional. The building design is focused on being residential in a style to fit within the neighborhood.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code to the greatest extent possible, with any variations necessary to update the site included in the PUD request. The size of the existing site is so limited for any development without getting variations. The zoning change to BL and allowing a gas station to remain on the site meets the intent of the BL district for “small-scale service and retail uses that serve convenience needs” of the neighbourhood. The building character is to be attractive and blend with the neighboring residential area per the design guidelines.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City: allowing to keep the gas station use, maintains a decades long commercial use that provides tax revenue from the C-store and gas pumps. A convenience store/gas station embedded in a neighborhood setting ~~with residential unit above~~ keeps diversity along that stretch of Main Street. PUD approval allows the property to be upgraded and purposeful again which is beneficial to the economic well-being of the City.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The concept plan staff report comments confirm agreement with the proposed BL

Zoning change for the property in regards to the Comprehensive Plan. "Property zoned BL is located across Main Street from the subject property. The BL District is also compatible with the Neighborhood Commercial Land use category for the property in the Comprehensive Plan." The remaining adjacent property is still RT-2 for the single family residential except for any commercial uses in the neighborhood. "The subject property is noted as Neighborhood Commercial with residential character." The building architecture is proposed to be residential in character and materials. Although a gas station use is typically found in BC and BR, the location and previous use as a gas station and the neighboring zoning and Comprehensive Plan data would suggest BL is the appropriate designation for the PUD.

EXHIBIT "D"

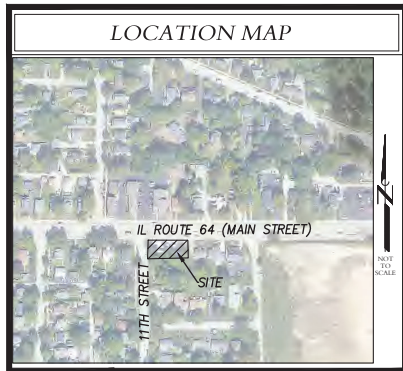
**PUD PRELIMINARY PLAN
(21 pages)**

PRELIMINARY ENGINEERING

GAS STATION

1023 W. MAIN STREET
ST. CHARLES, ILLINOIS

PREPARED FOR
SHAHID ALI



DRAWINGS INDEX			
	ON-SITE IMPROVEMENTS	REV	DATE
C0.1	TITLE SHEET & INDEX	1	1/26/22
C0.2	EXISTING CONDITIONS & DEMOLITION PLAN	1	1/26/22
C1.1	SITE PLAN	1	1/26/22
C2.1	GRADING PLAN	1	1/26/22
C2.2	STORMWATER POLLUTION PREVENTION PLAN	1	1/26/22
C2.3	SWPPP SPECIFICATIONS & DETAILS	0	5/6/21
C2.4	IL ROUTE 64 CROSS SECTIONS	0	1/26/22
C3.1	UTILITY PLAN	1	1/26/22
L-1.0	LANDSCAPE PLAN	1	1/31/22
SL200	PHOTOMETRIC PLAN	1	2/3/22
C7.1	GENERAL NOTES & SPECIFICATIONS	0	5/6/21
C7.2	SITE & UTILITY DETAILS	1	1/26/22
C7.3	IDOT DETAILS	1	1/26/22
C7.4	IDOT DETAILS	0	1/26/22
C7.5	IDOT DETAILS	0	1/26/22
C7.6	IDOT DETAILS	0	1/26/22
	LATEST REVISION	1	1/26/22

CONTACTS
City of St. Charles 2 East Main Street St. Charles, IL 60174
<i>Planning Division</i> Russell Cobly - Community Development Division Manager (630) 377-4443
<i>Public Works</i> Peter Suhr - Director (630) 377-4405
<i>Community & Economic Development</i> Rita Tungare - Director (630) 377-443

BENCHMARKS
Benchmark #1: Existing cut cross in the middle of the public sidewalk at the Site's NE property corner, 2' north of the site's NE property corner.
Elevation: 753.22
Refer to sheet C0.2 for benchmark locations. All benchmarks are USGS NAVD88.

WARNING CALL

Call 48 hours before you dig (Excluding Sat, Sun & Holidays)



BEFORE YOU DIG

CONTRACTORS SHALL CALL J.U.L.I.E. BEFORE START OF CONSTRUCTION, CALL LOCAL AMERITECH OFFICE FOR LOCATIONS OF FIBEROPTIC CABLES. J.U.L.I.E. DOES NOT MARK THESE LOCATIONS.

Generates 24 hours a day 365 days a year!



REVISIONS		
NO.	DATE	DESCRIPTION
1	1/28/22	PER IDOT & CITY COMMENTS

TITLE SHEET & INDEX

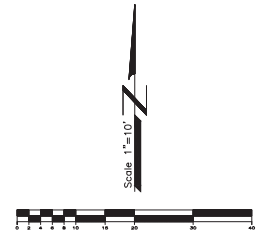
GAS STATION
1023 W. MAIN STREET
ST. CHARLES, ILLINOIS

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE CODES AND ORDINANCES OF THE CITY OF ST. CHARLES, BY LICENSE EXPIRATION: NOVEMBER 30, 2023

STEVEN R. KUDWA, P.E. LICENSED ENGINEER # 062-054950

Craig Z. Knoche & Associates - Civil Engineers
24 N. Bennett Street • Geneva, IL 60134 • phone (815) 849-2270 • fax (815) 849-2272

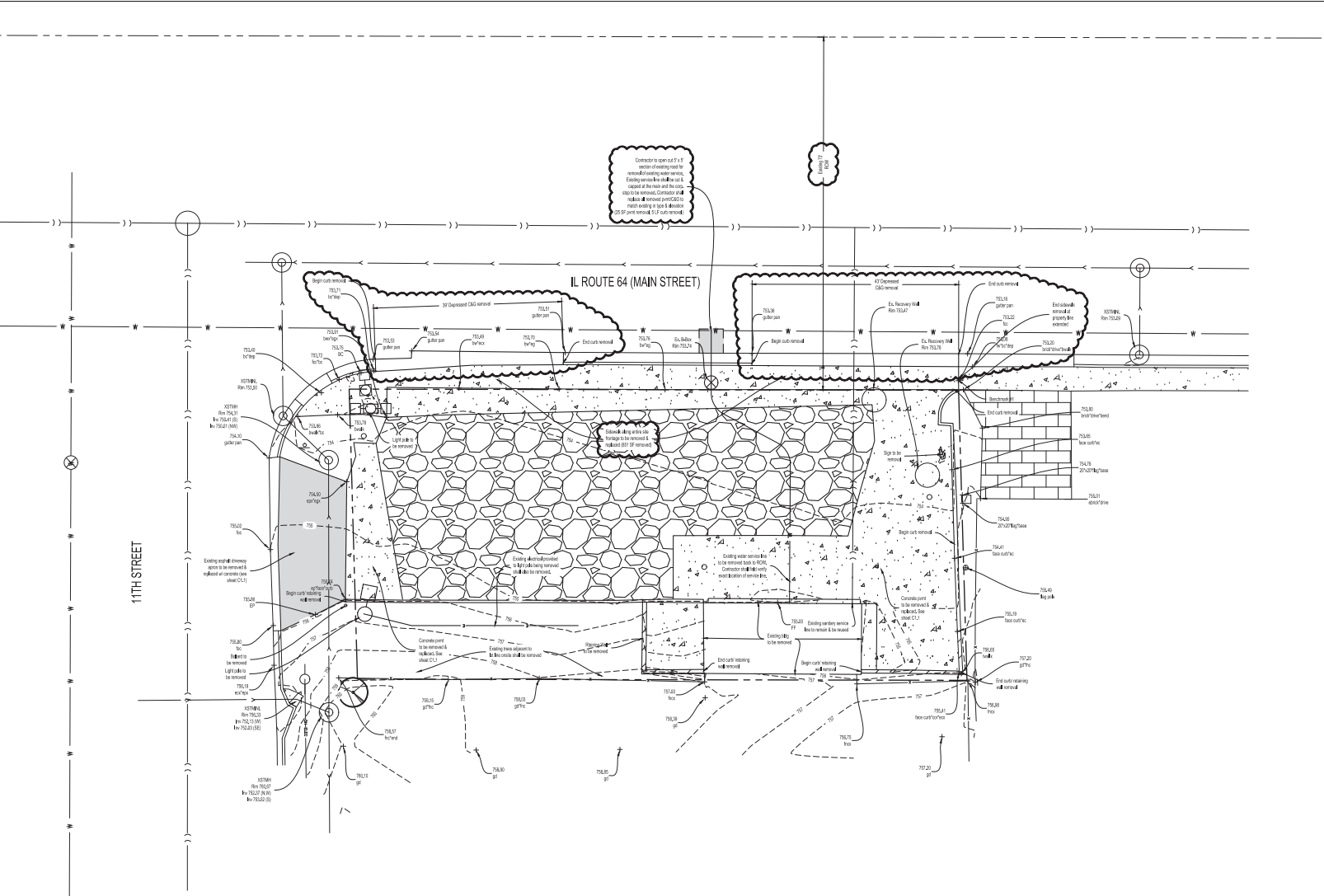
DATE: 5/6/21
FILE: 21-006 C01
JOB NO: 21-006
SHEET NO: C0.1



SITE DEMOLITION LEGEND

	TO REMAIN	TO BE REMOVED
Watermain	—W—	—W—
Storm Sewer	—SS—	—SS—
Sanitary Sewer	—S—	—S—
Overhead Electric	—OHE-ELEC—	—OHE-ELEC—
Electric	—E—	—E—
Telephone	—T—	—T—
Gas	—G—	—G—
Storm Manhole	⊙	⊙
Sanitary Manhole	⊙	⊙
Valve Vault/B-Box	⊙	⊙
Storm Inlet	⊙	⊙
Fire Hydrant	⊙	⊙
Utility Pole	⊙	⊙
Curb & Gutter	—CG—	—CG—
Contour	—C—	—C—
Trees	⊙	⊙
Street Light	⊙	⊙
Telephone	⊙	⊙
Concrete	[Pattern]	[Pattern]
Sign	⊙	⊙
Fence	—F—	—F—
Pavement	[Pattern]	[Pattern]

- SITE DEMOLITION NOTES**
- All items which are to be abandoned shall be removed and replaced with approved trench backfill and compacted to 95% modified proctor. Backfill shall be placed in 6" lifts in any other location. If top of pipe is less than 18" above ground, it shall be backfilled with concrete or masonry.
 - Contractor shall work in existing conditions prior to demolition and shall prepare of any decommission or potential conflicts between existing conditions and proposed design.
 - All excavations shall be backfilled and disposed of properly. Demolition debris shall not be hauled or disposed unless approved by local health department.
 - Demolition contractor shall follow all applicable codes and regulations.
 - All items to be abandoned shall be capped in accordance with the requirements of the appropriate utility companies and the governing municipality.
 - Traffic control for work on the right-of-way shall meet CDOT standards per Section 700, Standard Specifications for Road and Bridge Construction, (as required 2016).
 - Contractor shall provide dust abatement measures to prevent vehicles and pedestrian traffic from entering the area.
 - All excavations to be abandoned shall be capped in accordance with the requirements of the appropriate utility companies and the governing municipality.
 - Demolition contractor shall provide site restoration and shall be responsible for the removal of all debris and the placement of all debris.
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REVISIONS

NO.	DATE	PER IDOT & VILLAGE COMMENTS	DESCRIPTION
1	1/28/22	PER IDOT & VILLAGE COMMENTS	

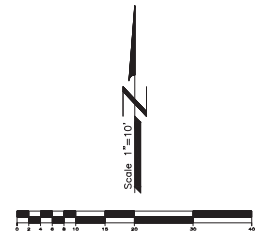
EXISTING CONDITIONS & DEMOLITION PLAN

GAS STATION
1023 W. MAIN STREET
ST. CHARLES, ILLINOIS

DATE: 5/8/21
FILE: 21-006 C02
JOB NO: 21-006
SHEET NO: 21-006

Craig R. Knoche & Associates • Civil Engineers
• Surveyors
Civil Engineers, P.C. • Land Planners
1111 Commerce Drive • Geneva, IL 60134 • Phone (630) 449-2370 • Fax (630) 449-2375

C0.2
SHEET NO.



SITE ANALYSIS

SITE			
1023 W. Main Street St. Charles, IL			
Parcel Area		7,557 sf	±0.17 Acres
Building Area		1,440 sf	
PARKING			
Quantity Required	6 = 4 x 1,440/1,000 7 Spaces	Gas Station (4 spaces per every 1,000 of floor area) Residential (1 per dwelling unit)	
Provided	10 = 3 Standard + 6 Pumps + 1 ADA		
Stall Size Required	9' x 18' (Standard)		
Provided	9' x 18' (Standard), 10' x 18' (ADA)		

LEGEND

Proposed Curb & Gutter	
Existing Curb & Gutter	
Property Line	
Setback Line	
Concrete	
Truncated Domes	

SITE IMPERVIOUS

Existing Impervious Area = 6,415 sf OR 15 Acres
 Proposed Impervious Area = 7,009 sf OR 16 Acres
 Net New Impervious Area = 594 sf OR 0.13 Acres
 Site Percent Impervious = 93%

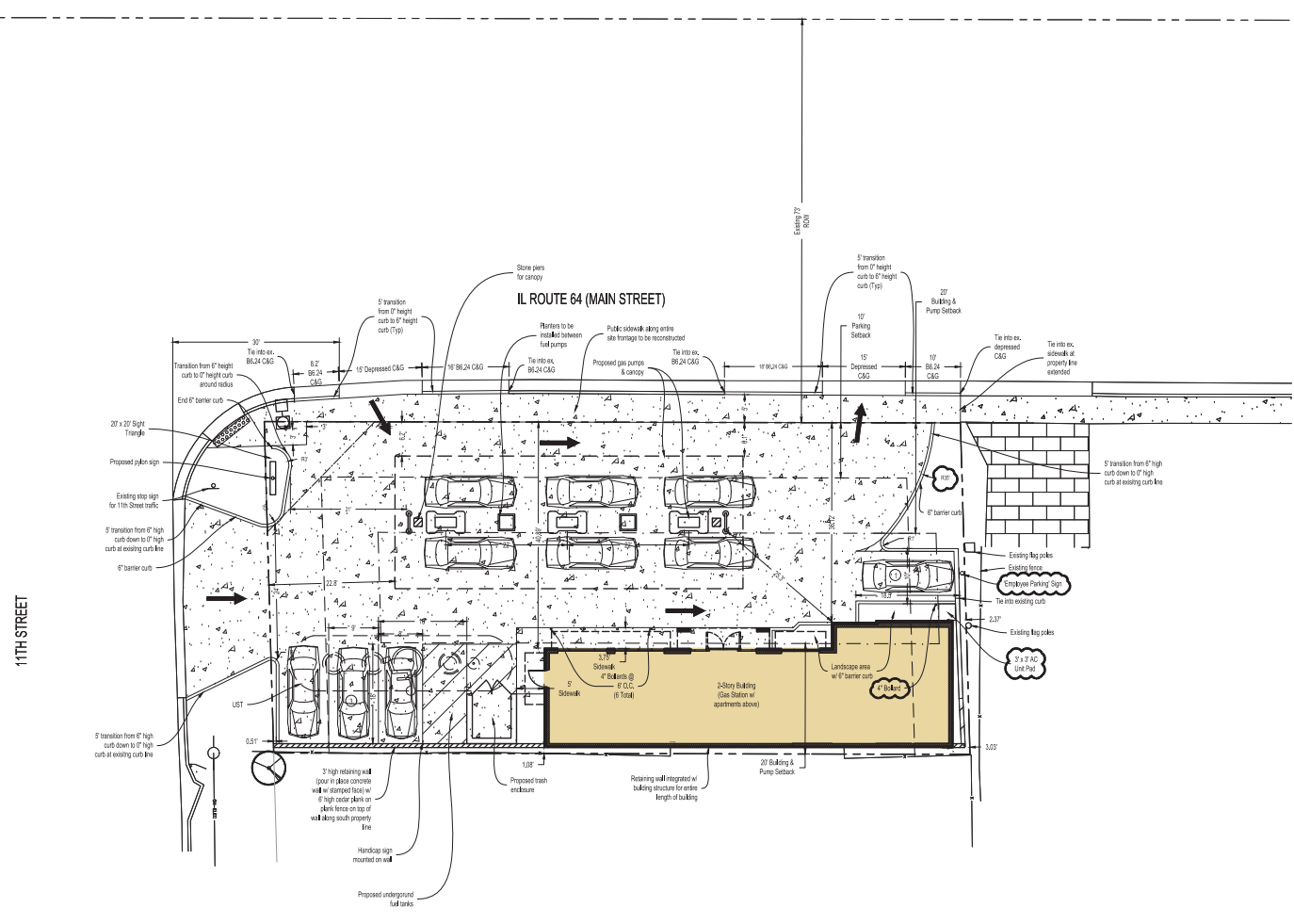
Per Kane County Stormwater Ordinance, since the site impervious area exceeds 50% of the total site area - BMP requirements are triggered for this redevelopment.

Total BMP Volume = 102' x 7,006 sf = 884 cf

Due to redevelopment being a gas station, infiltration is not allowed. Pre-Treatment will be provided via the Control CSS Separator Unit (see sheet C2.1) and a fee-in-lieu will be paid for the BMP volume required.

SITE NOTES

- All dimensions are base of curb unless otherwise noted.
- All curb radii are base of curb unless otherwise noted.
- Contractor to verify dimensions prior to starting work and notify engineer if any discrepancies are found.
- Setback around perimeter of building shall be with pavement unless otherwise specified on plans.
- Contractor will be responsible for restoring all existing pavement damaged during construction.
- See details for bituminous and concrete pavement materials.
- Contractor to provide temporary traffic control measures during construction of driveway in accordance w/ Illinois C.O.T.D. requirements.
- ADA handicap access shall be installed at all locations delineated on plans as well as at all locations where sidewalk abuts drive or roadway.
- Contractor shall compare architectural and engineering plans for interface compatibility.
- Pavement striping to be white two coats unless otherwise specified on plans.



REVISIONS		
NO.	DATE	DESCRIPTION
2	4/7/22	PER VILLAGE COMMENTS
1	1/28/22	PER IDOT & CITY COMMENTS

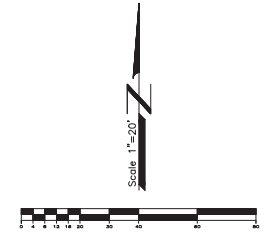
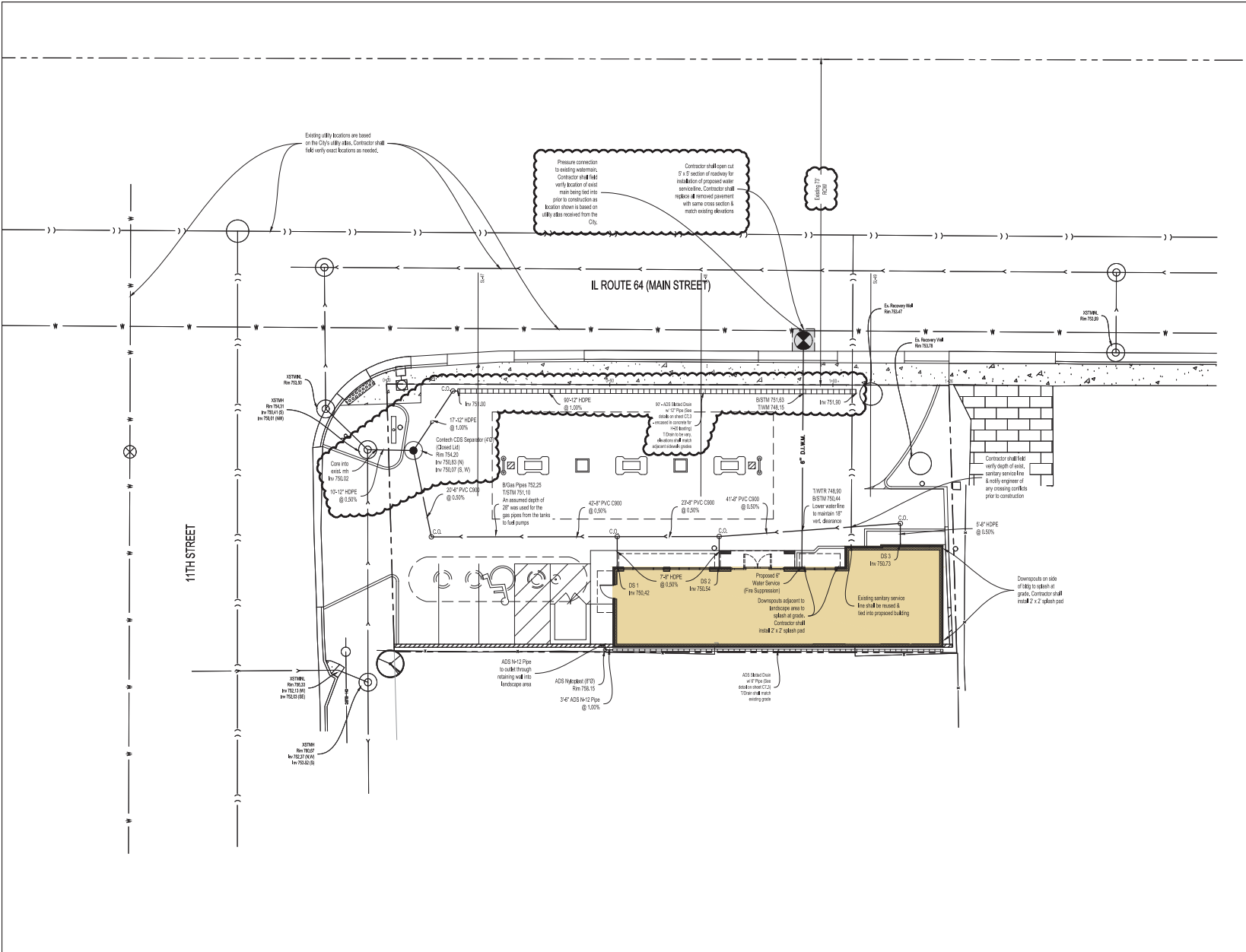
SITE PLAN

GAS STATION
 1023 W. MAIN STREET
 ST. CHARLES, ILLINOIS



DATE: 5/6/21
 FILE: 21-006 C10
 JOB NO: 21-006

C1.1
 SHEET NO.



LEGEND

	PROPOSED	EXISTING
STORM SEWER		
SANITARY SEWER		
WATER MAIN		
ELECTRIC		
TELEPHONE		
GAS		
STORM MANHOLE		
FLARED END SECTION		
SANITARY MANHOLE		
VALVE VAULT / B-BOX		
FIRE HYDRANT		
LIGHT POLES		
TRANSFORMER		

- UTILITY NOTES**
1. All watermain and gas lines shall be installed in accordance with the applicable codes and standards. Storm sewer shall meet ASTM C125, Valve shall meet ASTM C504.
 2. All storm sewer pipes shall meet 80% acceptance of HFC 500.0 for bedding the pipe cells. Storm pipe must meet ASTM C125 standards.
 3. Proposed concrete sections for manholes, catch basins, vaults, and vaults shall meet ASTM C125.
 4. Existing utilities shown for information only and are not necessarily to scale. Contractor shall verify all utilities shown, possible and not shown, before excavation, installation, or construction as shown.
 5. No fire hydrant shall be installed in a public utility right-of-way. All fire hydrants shall be installed in accordance with the approved fire department plan.
 6. General contractor shall verify specific size and location of conduit for gas, electric and telephone prior to installation.
 7. All existing gas lines shall be located within the site boundaries. All gas lines shall be removed or abandoned as necessary. All gas lines shall be installed in accordance with the applicable codes and standards. All gas lines shall be installed in accordance with the applicable codes and standards. All gas lines shall be installed in accordance with the applicable codes and standards.
 8. Sanitary gas pipe shall be installed in accordance with the applicable codes and standards. All sanitary gas lines shall be installed in accordance with the applicable codes and standards. All sanitary gas lines shall be installed in accordance with the applicable codes and standards.
 9. Contractor to see landscape and irrigation specifications in architectural plans and connect documents for additional requirements.
 10. Frame and pipe requirements:
 Storm Structure (Manhole) - Meet or Exceed 150' Frame, 16200' Type C Grade
 Storm Structure (Catch Basin) - Meet or Exceed 150' Frame, 16200' Type C Grade
 Storm Structure (Vault) - Meet or Exceed 150' Frame, 16200' Type C Grade
 Sanitary Structure - Meet or Exceed 150' Frame, 16200' Type C Grade
 Equipment to meet applicable codes.

REVISIONS

NO.	DATE	DESCRIPTION
1	1/28/22	PER IDOT & VILLAGE COMMENTS

UTILITY PLAN

GAS STATION
 1023 W. MAIN STREET
 ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates - Civil Engineers
 1118 Commerce Drive • Geneva, IL 60134 • phone (630) 449-2270 • fax (630) 449-2272

DATE: 5/6/21
 FILE: 21-006 C30
 JOB NO: 21-006

C3.1
 SHEET NO.

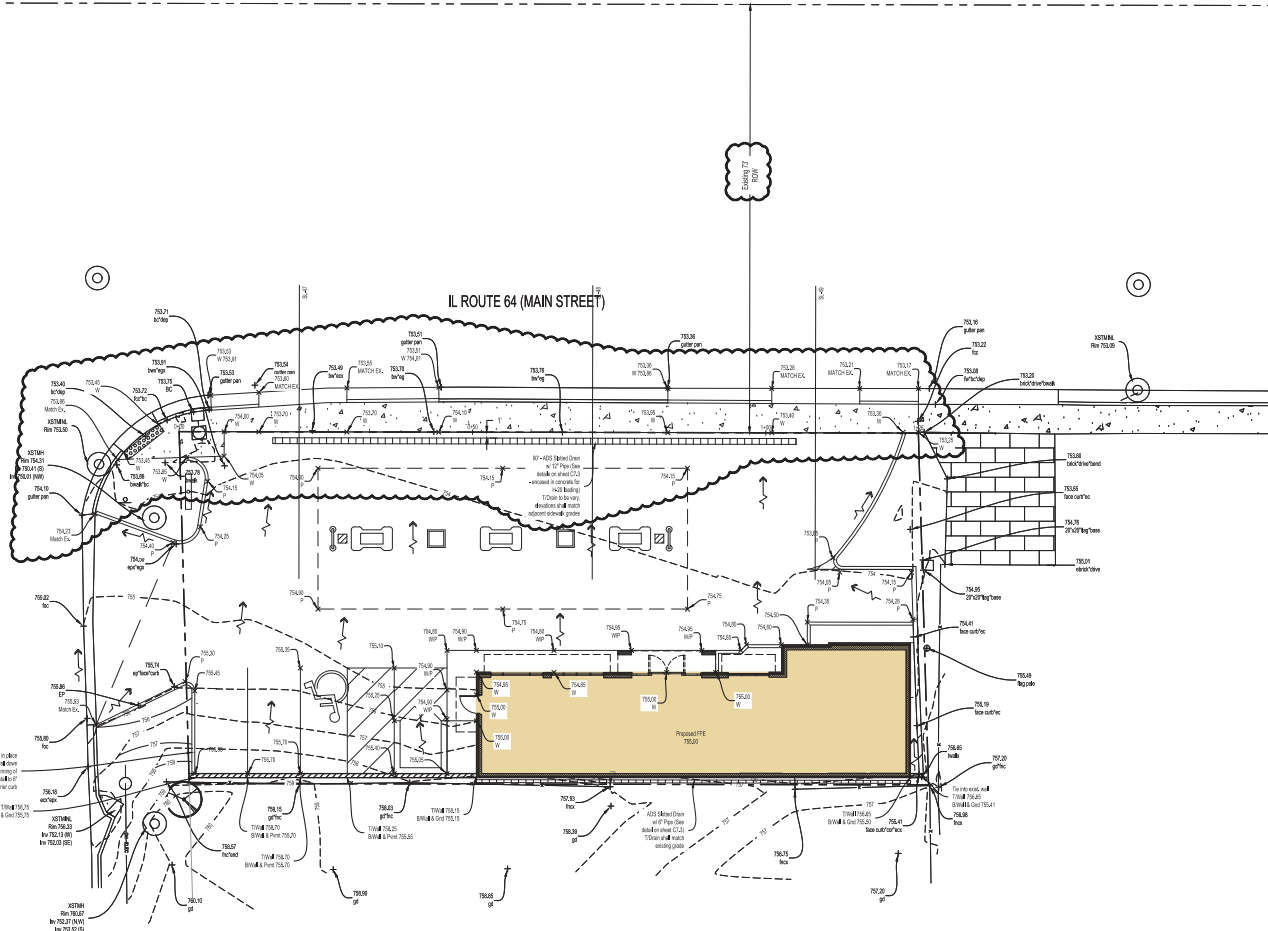


LEGEND

	EXISTING	PROPOSED
Pavement Grade	◆ 475.30	◆ 475.30
Walk Grade	◆ 475.00	◆ 475.00
Back of Curb Grade	◆ 475.00	◆ 475.00
Ground Grade	◆ 475.00	◆ 475.00
Rim Grade	◆ 475.00	◆ 475.00
Storm Structure	⊙	⊙
Contours	— 475	— 475
Emergency Overflow		➔
Flow Direction		➔
Ridgelines	---	---
Reversed Curb		~

All proposed grades are edge of pavement unless otherwise noted. See below for top of curb structure contours.
 TCURB - (PMT. GRADE) + 0.42 (NORMAL PFDH CURB)
 TCURB - (PMT. GRADE) + 0.54 (REVERSE PFDH CURB)

- GRADING NOTES**
- General contractor shall verify existing contours and notify engineer of any discrepancies.
 - The general contractor shall spread spoils from utility contractors work to balance the site to the extent possible.
 - Erosion control measures include but are not limited to the following: all fabric shall be placed on each sanitary structure until construction is completed. Fabric shall overlap sanitary manhole opening a minimum of one (1) foot on each side with the side grade placed on top of fabric to prevent all from entering sanitary system. All fabric around perimeter shall remain in place and be maintained until construction is completed. All site structures shall be protected with silt baskets.
 - The general contractor is responsible for erosion control measures. Contractor shall install erosion control measures prior to the start of construction and maintain such measures until grading is complete, parking lot is paved and vegetation has been established. If there is no general contractor, it will then be the responsibility of the grading contractor to install and maintain erosion control measures.
 - The contractor responsible for the installation of the erosion control devices shall maintain all storm water pollution devices throughout construction and until all unfurled or non-building areas have a uniform permanent vegetative cover with a density of 75 percent or greater. Maintenance includes weekly inspections or an inspection following a rainfall of 1/2 inch in a 24-hour period. The contractor must submit a copy of the inspection report to the owner and engineer at the end of each month and keep a copy of the report on the construction site until the required vegetation cover is in place.
 - If additional erosion control measures not shown on these drawings are required to stop or prevent erosion or are required by any authority having jurisdiction, it shall be the general contractor's responsibility to install such devices. The owner or engineer shall be notified of the additional work and cost prior to installation.
 - The general contractor shall be responsible for notifying the owner and engineer, in writing, of any additional sources of storm water pollution observed during construction and the additional costs required to prevent additional pollution.
 - See soils reports for testing requirements. The final soils reports are dated as follows:
 Geotechnical Engineering Report prepared by _____ dated _____, 20__.

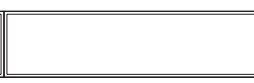


REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	1/28/22	PER IDOT & VILLAGE COMMENTS			

GRADING PLAN

GAS STATION
 1023 W. MAIN STREET
 ST. CHARLES, ILLINOIS

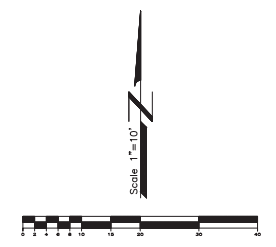
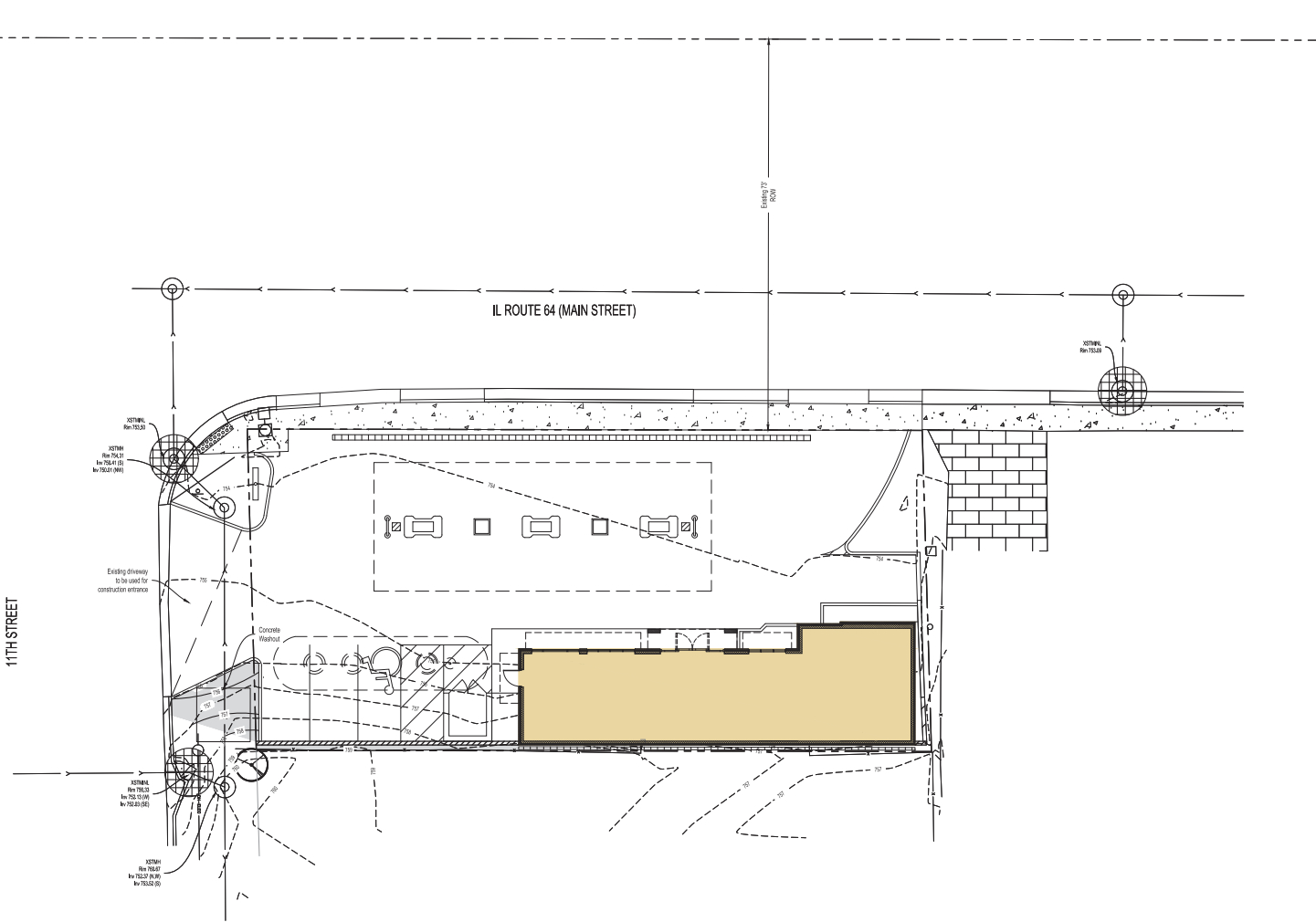


Craig R. Knoche & Associates • Civil Engineers
 Surveyors • Land Planners

24 24 Bennett Street • Geneva, IL 60134 • phone (630) 449-2370 • fax (630) 449-2372

DATE: 5/6/21
 FILE: 21-006 C20
 JOB NO: 21-006

C2.1
 SHEET NO.



LEGEND

	Manhole
	Stormwater Basin
	Right of Way

Transfer Elevation (CDS) Elevation Control Points (E.C.P.) to be used in all cases where the distance is greater than or equal to 100 feet.

**STORMWATER POLLUTION PREVENTION PLAN
CONTRACTOR CERTIFICATION**

STATE OF ILLINOIS
COUNTY OF KANE

I, the undersigned, being a duly licensed contractor under the laws of the State of Illinois, hereby certify that I am the contractor for the above project and that the construction of the project will be in accordance with the approved Stormwater Pollution Prevention Plan (SWPPP) and that I will be responsible for the implementation and maintenance of the SWPPP during the construction of the project.

CONTRACTOR SIGNATURE _____ COMPANY NAME _____
 TITLE _____ ADDRESS _____
 DATE _____ PHONE NUMBER _____

**STORMWATER POLLUTION PREVENTION PLAN
OWNER CERTIFICATION**

STATE OF ILLINOIS
COUNTY OF KANE

I, the undersigned, being the owner of the above project, hereby certify that I have approved the Stormwater Pollution Prevention Plan (SWPPP) and that I will be responsible for the implementation and maintenance of the SWPPP during the construction of the project.

OWNER SIGNATURE _____ COMPANY NAME _____
 TITLE _____ ADDRESS _____
 DATE _____ PHONE NUMBER _____

REVISIONS		
NO.	DATE	DESCRIPTION
1	1/28/28	PER IDOT & VILLAGE COMMENTS

**STORMWATER POLLUTION
PREVENTION PLAN**

GAS STATION
1023 W. MAIN STREET
ST. CHARLES, ILLINOIS

DATE: 5/6/21
 FILE: 21-006 C20
 JOB NO: 21-006

Craig Z. Knoche & Associates
Civil Engineers, P.C.
24 N. Bennett Street • Geneva, IL 60134 • phone (630) 449-2270 • fax (630) 449-2273

DATE: 5/6/21
 FILE: 21-006 C20
 JOB NO: 21-006
C2.2
 SHEET NO.

ST. CHARLES, ILLINOIS

EROSION CONTROL NOTES

- 1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS AND REQUIREMENTS SET FORTH IN THE ILLINOIS SWPPP MANUAL, REVISION 12, CURRENT EDITION.
- 2. THE COUNTY ENGINEER WILL BE NOTIFIED AT LEAST ONE WEEK PRIOR TO THE PRECONSTRUCTION MEETING. THE COMMENCEMENT OF WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS.
- 3. A COPY OF THE APPROVED STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- 4. PRIOR TO COMMENCING WORK ON THE PROJECT, THE CONTRACTOR SHALL PLACE BARRIERS TO PREVENT EROSION AND SEDIMENT FROM THE ADJACENT PROPERTY OF THE PROPERTY OWNER.
- 5. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL VEGETATION IS ESTABLISHED.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL NOT REMOVE OR MAINTAIN THEM UNTIL VEGETATION IS ESTABLISHED.
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- 8. IF ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED ON THESE CHANGES ARE REQUIRED TO STOP OR PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION AND MAINTENANCE OF THE MEASURES.
- 9. ALL CHANGES TO THE SWPPP MUST BE SUBMITTED TO THE COUNTY ENGINEER FOR APPROVAL.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL MEASURES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL NOT REMOVE OR MAINTAIN THEM UNTIL VEGETATION IS ESTABLISHED.
- 11. REFER TO LANDSCAPE PLAN FOR LOCATION AND SPECIFICATIONS OF BARRIERS AND BENCHES.
- 12. STORMWATER SHALL NOT EXCEED 3 INCHES. STORMWATER SHALL BE COLLECTED AND DISPOSED OF BY OTHER MEANS THAN THE EROSION CONTROL MEASURES. STORMWATER SHALL BE COLLECTED AND DISPOSED OF BY OTHER MEANS THAN THE EROSION CONTROL MEASURES.
- 13. ALL ADJACENT STREETS AND ROADWAYS SHALL BE KEPT CLEAR OF DEBRIS, OIL, INSPECTIONS AND CLEANING ARE REQUIRED AS NECESSARY. A DRAINAGE PLAN SHALL BE SUBMITTED TO THE COUNTY ENGINEER FOR APPROVAL.
- 14. THE EXCAVATION OF THE SITE SHALL BE COMPLETED WITHIN 14 DAYS FROM THE DATE OF PERMITS. THE EXCAVATION SHALL BE COMPLETED WITHIN 14 DAYS FROM THE DATE OF PERMITS.
- 15. DURING CONSTRUCTION, EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY.
- 16. THE CONSTRUCTION OF THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE COMPLETED EARLY IN THE FALL. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- 17. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL NOT BE REMOVED OR MAINTAINED UNTIL VEGETATION IS ESTABLISHED.
- 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL MEASURES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL NOT REMOVE OR MAINTAIN THEM UNTIL VEGETATION IS ESTABLISHED.
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SOIL STABILIZATION NOTES

- 1. STORMWATER SHALL BE COLLECTED AND DISPOSED OF BY OTHER MEANS THAN THE EROSION CONTROL MEASURES.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL MEASURES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL NOT REMOVE OR MAINTAIN THEM UNTIL VEGETATION IS ESTABLISHED.
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SEDIMENT CONTROL NOTES

- 1. ADJACENT PROPERTY - PROTECT ADJACENT PROPERTY FROM EROSION BY PRESSURING A BUFFER STRIP OR BARRIERS OR FILTERS AT THE PERIMETER OF THE LOT.
- 2. SEDIMENTATION CONTROL SHALL BE PROVIDED AS NEAR AS POSSIBLE TO THE EROSION CONTROL MEASURES.
- 3. STORMWATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEDIMENT CONTROL MEASURES. THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENT CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL NOT REMOVE OR MAINTAIN THEM UNTIL VEGETATION IS ESTABLISHED.
- 5. ALL EROSION AND SEDIMENTATION CONTROL MEASURES TO BE CHECKED DAILY AND AFTER EACH RAIN CLEAN AND RESTORED AS NECESSARY.
- 6. ALL VEHICLES ON THE SITE SHALL BE KEPT CLEAN AND FREE OF MUD AND OTHER CONTAMINANTS. VEHICLES SHALL BE KEPT CLEAN AND FREE OF MUD AND OTHER CONTAMINANTS.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEDIMENT CONTROL MEASURES. THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENT CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL NOT REMOVE OR MAINTAIN THEM UNTIL VEGETATION IS ESTABLISHED.
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SOIL PROTECTION CHART

EXCAVATION	JAN	FEB	MAR	APR	MAY	JUN	JULY	AUG	SEPT	OCT	NOV	DEC
PERMANENT												
TEMPORARY												
CONCRETE												
MASONRY												
WOOD												
METAL												
PAVING												
ROADWAY												
PAVING												

A BENCHING OF STEEP SLOPES SHALL BE AT A MINIMUM OF 20% TO 25% TO PREVENT EROSION. WHENEVER ANY CLEANING, GRADING, EXCAVATING, OR OTHER SOIL DISTURBING ACTIVITIES ARE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL VEGETATION IS ESTABLISHED ON A CALENDAR DAY. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL VEGETATION IS ESTABLISHED ON A CALENDAR DAY. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL VEGETATION IS ESTABLISHED ON A CALENDAR DAY.

REVISIONS

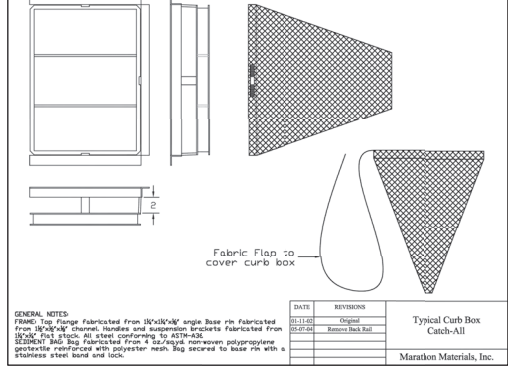
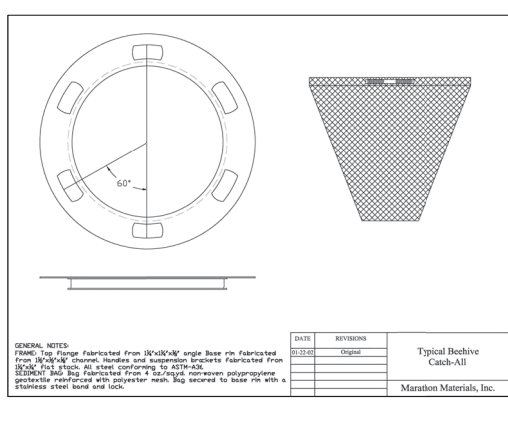
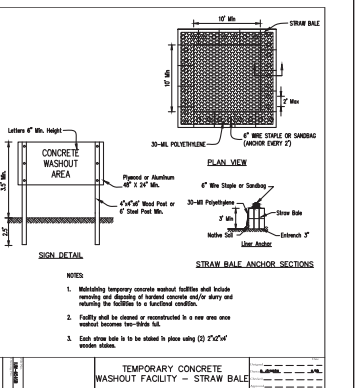
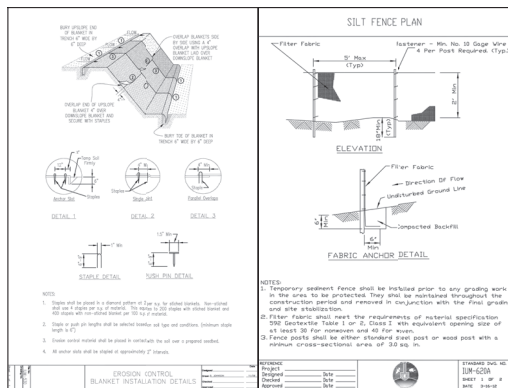
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

GAS STATION

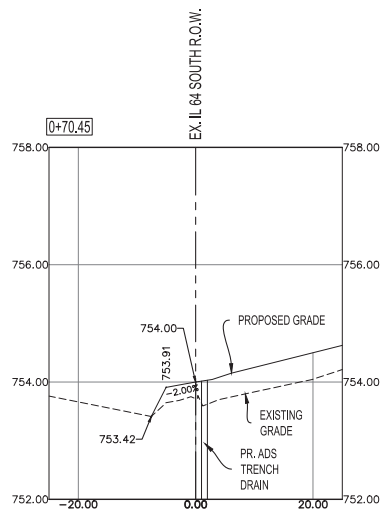
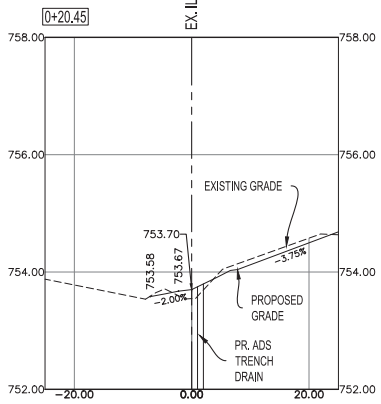
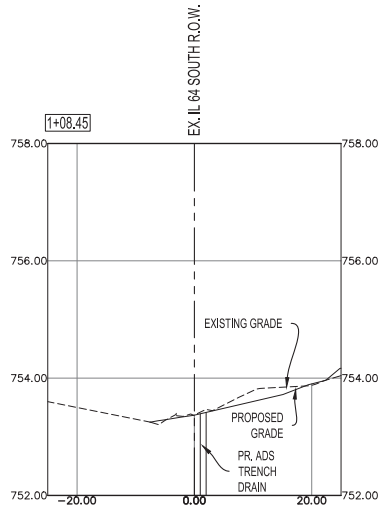
1023 W. MAIN STREET
ST. CHARLES, ILLINOIS

Craig Z. Knoche & Associates
Civil Engineers, P.C.
24 N. Seneca Street • Geneva, IL 60136 • Phone (815) 842-2222 • Fax (815) 842-2222

DATE: 5/6/21
FILE: 21-006 C20
JOB NO: 21-006
SHEET NO: 2.3



ST. CHARLES, ILLINOIS



REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

IL ROUTE 64
CROSS SECTIONS

GAS STATION
1023 W. MAIN STREET
ST. CHARLES, ILLINOIS

VERTICAL SCALE = 1"=1'
HORIZONTAL SCALE = 1"=10'

Craig R. Knoche & Associates
Civil Engineers, P.C.
24 N. Bennett Street • Geneva, IL 60134 • phone (630) 469-2270 • fax (630) 469-2272

• Civil Engineers
• Surveyors
• Land Planners

DATE: 1/26/22
FILE: 21-006 C20
JOB NO: 21-006

SHEET NO. C2.4

ST. CHARLES, ILLINOIS
GAS STATION

1 TYPICAL SIDEWALK SECTION
C7.2 NOT TO SCALE
FILE:PV-SIDEWALKING

2 TYP. ACCESSIBLE PAVMT. SIGN
C7.2 NOT TO SCALE
FILE:PV-AC PAVEMENT SIGNING

ILLINOIS STANDARD

3 DETAIL - ACCESSIBLE PARKING SIGN
C7.2 NOT TO SCALE
FILE:PV-AC SIGN

4 BOLLARD
C7.2 NOT TO SCALE
FILE:PV-BOLLARDING

CURB NOTES:

- EXPANSION JOINTS AT ENDS OF RETURNS AND 60' INTERVALS WITH 2" DOUBLE
- EXPANSION JOINTS AROUND STRUCTURES IN CURB
- CONTRACTION JOINTS AT 20' INTERVALS
- COST OF JOINTS TO BE INCL. IN BID PRICE FOR CURBS.

5 DETAIL - BARRIER CURB
C7.2 NOT TO SCALE
FILE:PV-CURB BARRIERS

6 CONCRETE PAVEMENT
C7.2 NOT TO SCALE
FILE:PV-CONCRETPAVING

7 TYPICAL CONCRETE PAD SECTION
C7.2 NOT TO SCALE
FILE:PV-CONCRETPAVING

8 DETAIL - DOWNSPOUT CONNECTION
C7.2 NOT TO SCALE
FILE:PV-CONCRETPAVING

WATER AND SEWER SEPARATION REQUIREMENTS DETAIL

9 WATER AND SEWER SEPARATION
C7.2 NOT TO SCALE
FILE:PV-SEWER SIGNING

PVC PIPE TRENCH DETAIL

DATE: 3-26-11

RCP & DIP TRENCH DETAIL

DATE: 3-26-11

THRUST BLOCK INSTALLATION DETAILS

DATE: 3-26-11

CASING PIPE DETAIL
DATE: 11-14-12

ADS SLOTTED DRAIN

2.5" Slot shown with 1/2" #16 Galvanized Grating

6" Slot shown with Grating (Open Top)

INSTALLATION NOTES

- Excavate trench to correspond with the traffic application for which Channel Drain is being installed (see application).
- Determine depth of base material (B) to be placed in bottom of trench. The depth of base material (B) shall be between 1 1/2" and 2" above the bottom of the trench.
- Place Channel Drain in trench and compact base material (B) around the drain.
- Place concrete (C) over the drain and compact.
- Place concrete (D) over the concrete (C) and compact.
- Place concrete (E) over the concrete (D) and compact.
- Place concrete (F) over the concrete (E) and compact.
- Place concrete (G) over the concrete (F) and compact.
- Place concrete (H) over the concrete (G) and compact.
- Place concrete (I) over the concrete (H) and compact.
- Place concrete (J) over the concrete (I) and compact.
- Place concrete (K) over the concrete (J) and compact.
- Place concrete (L) over the concrete (K) and compact.
- Place concrete (M) over the concrete (L) and compact.
- Place concrete (N) over the concrete (M) and compact.
- Place concrete (O) over the concrete (N) and compact.
- Place concrete (P) over the concrete (O) and compact.
- Place concrete (Q) over the concrete (P) and compact.
- Place concrete (R) over the concrete (Q) and compact.
- Place concrete (S) over the concrete (R) and compact.
- Place concrete (T) over the concrete (S) and compact.
- Place concrete (U) over the concrete (T) and compact.
- Place concrete (V) over the concrete (U) and compact.
- Place concrete (W) over the concrete (V) and compact.
- Place concrete (X) over the concrete (W) and compact.
- Place concrete (Y) over the concrete (X) and compact.
- Place concrete (Z) over the concrete (Y) and compact.

CONTECH 4-C DESIGN NOTES

CONTECH 4-C CONSTRUCTION DESCRIPTION

CONTECH 4-C FRAME AND COVER

CONTECH 4-C STANDARD DETAIL

REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	1/30/12	PER IDOT & CITY COMMENTS			

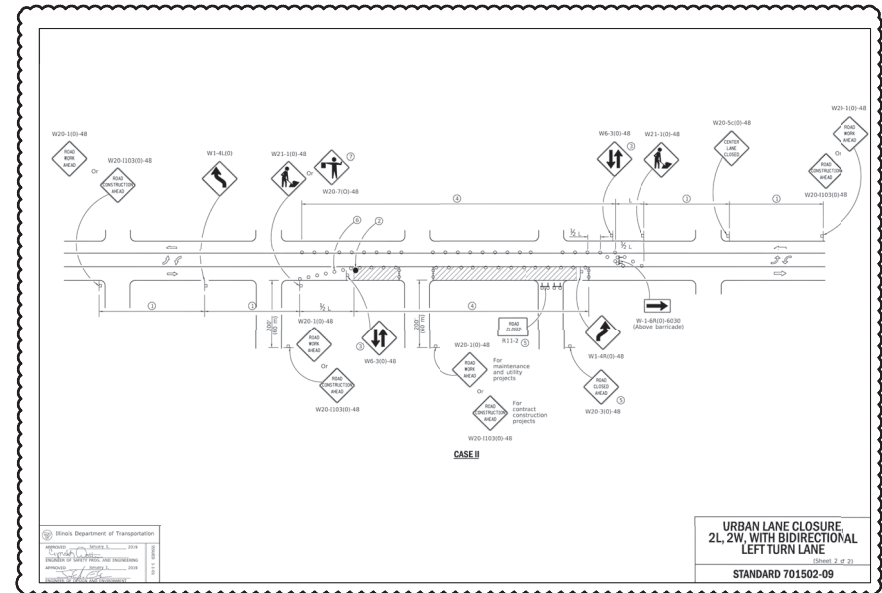
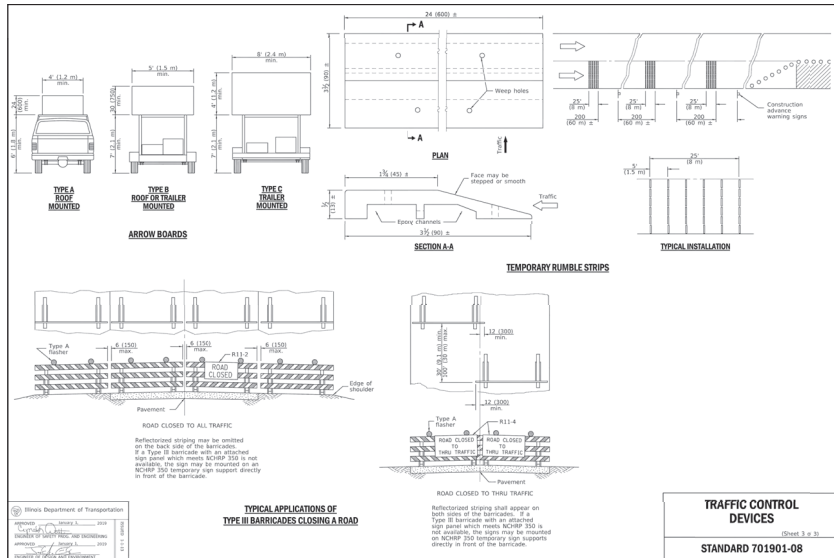
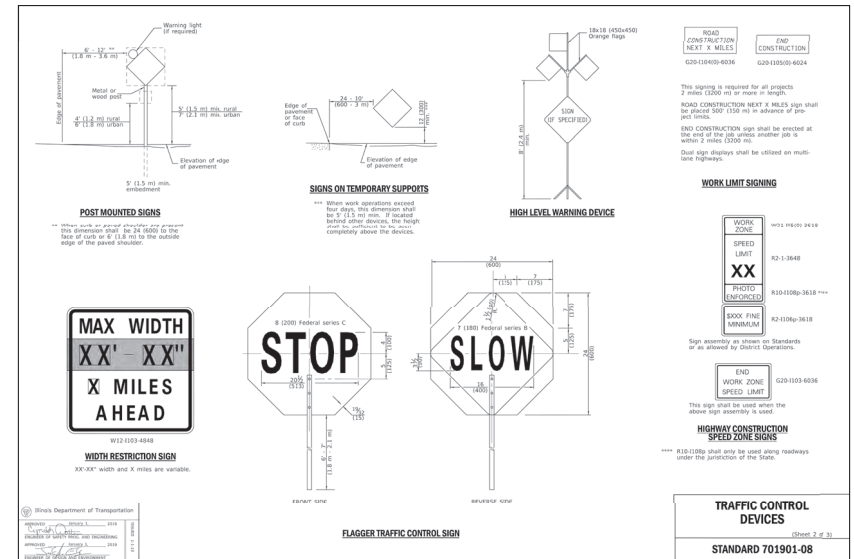
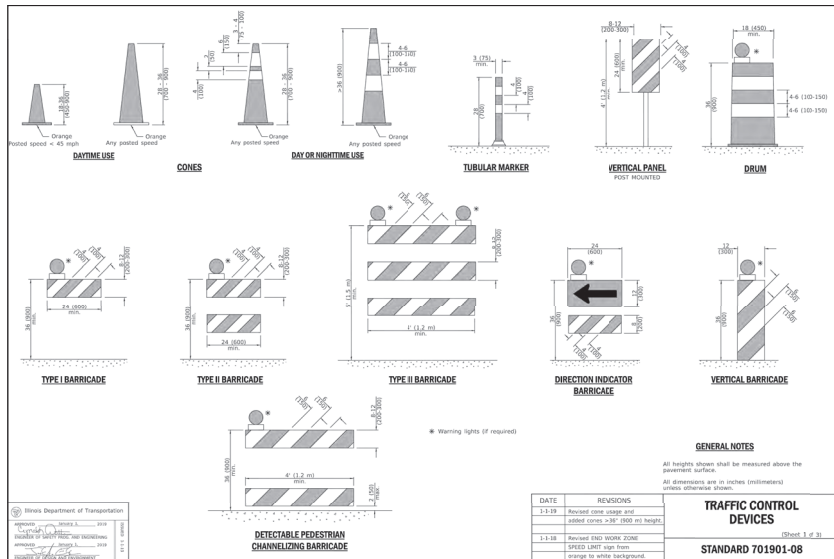
SITE & UTILITY DETAILS

GAS STATION
1023 W. MAIN STREET
ST. CHARLES, ILLINOIS

Craig E. Knoche & Associates • Civil Engineers
• Surveyors
• Land Planners
24 N. Barnett Street • Geneva, IL 60134 • phone (815) 449-2270 • fax (815) 449-2272

DATE: 5/6/21
FILE: 21-006 C70
JOB NO: 21-006
SHEET NO: C7.2

ST. CHARLES, ILLINOIS



REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	1/28/22	PER IDOT & VILLAGE COMMENTS			

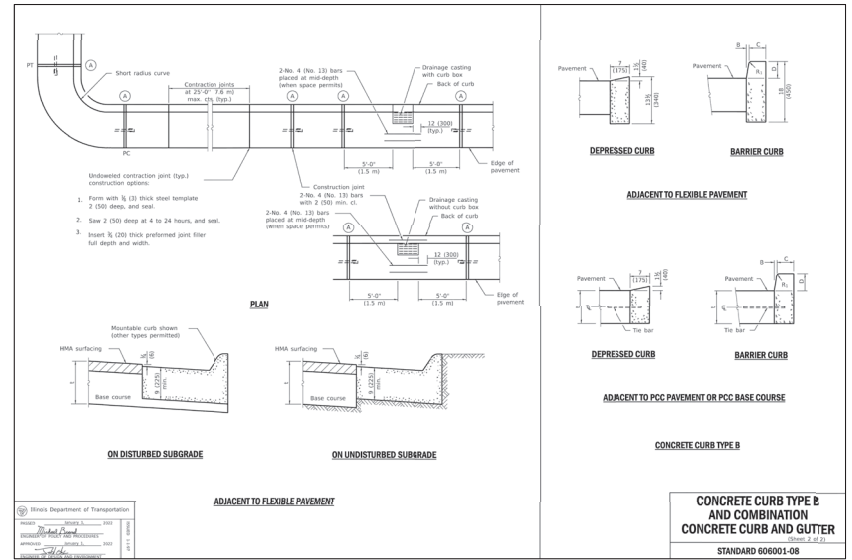
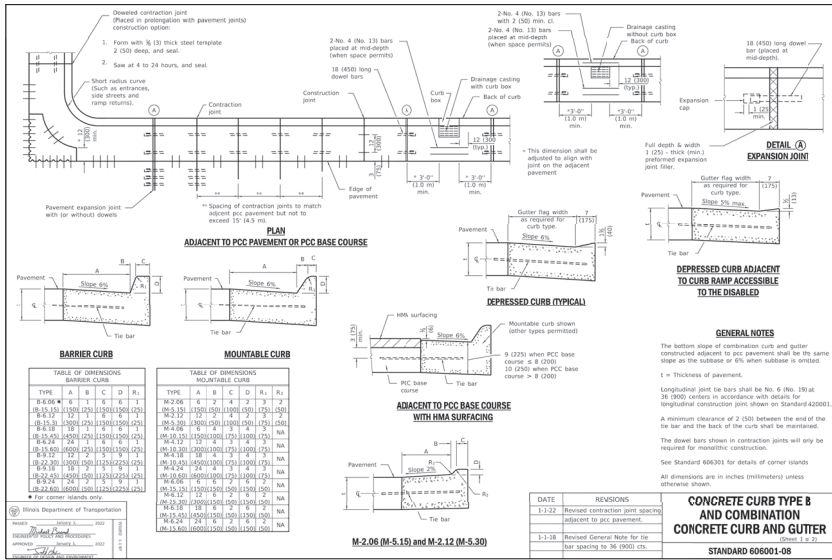
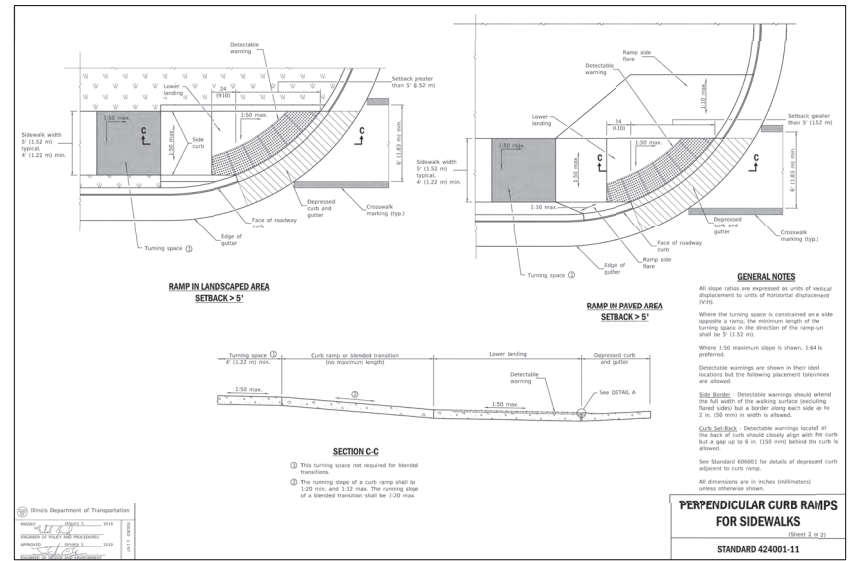
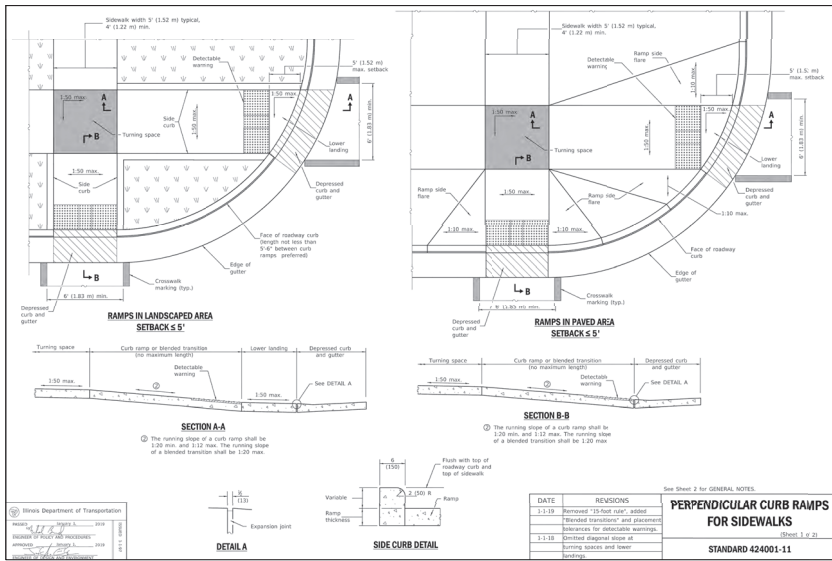
IDOT DETAILS

GAS STATION
1023 W. MAIN STREET
ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates
Civil Engineers, P.C.

DATE 5/6/21
FILE 21-006 C70
JOB NO. 21-006
SHEET NO. C7.3

ST. CHARLES, ILLINOIS



REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

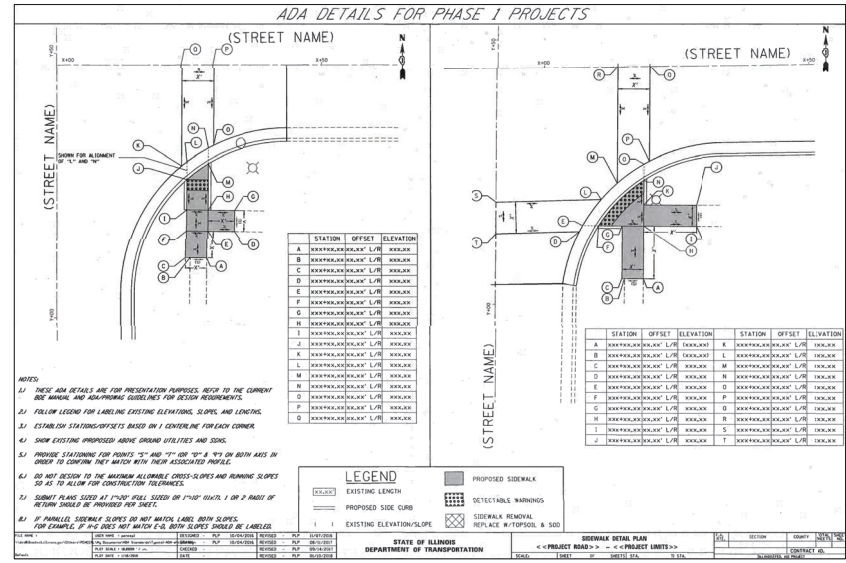
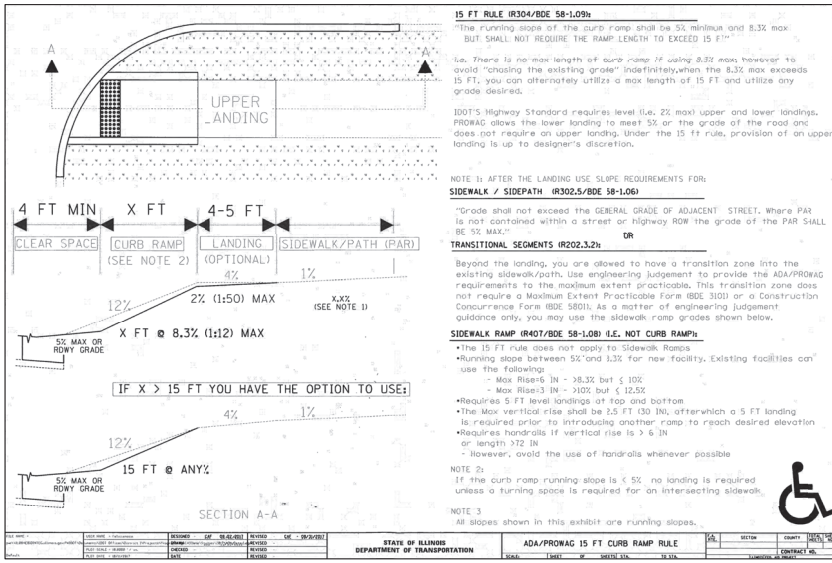
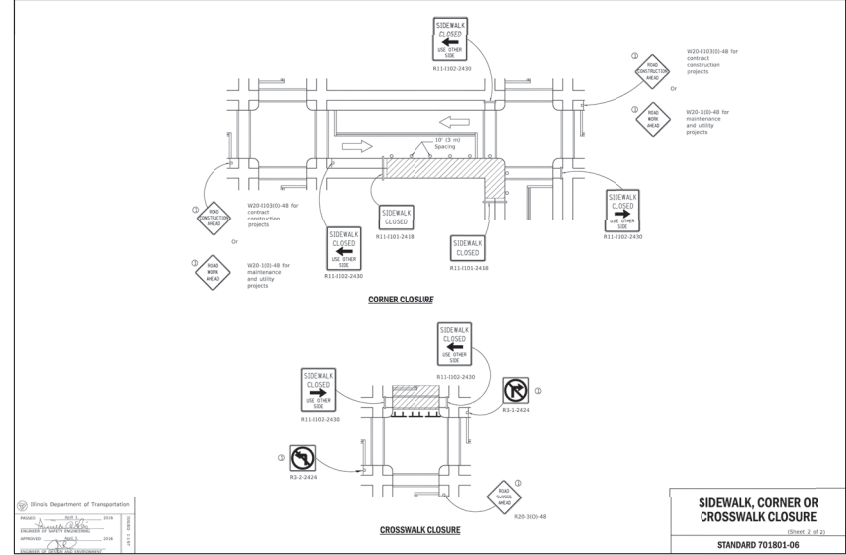
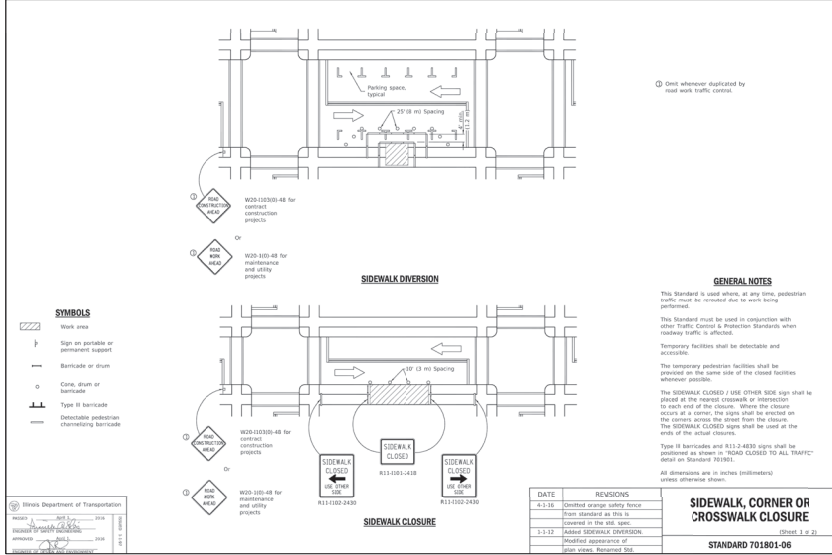
IDOT DETAILS

GAS STATION
1023 W. MAIN STREET
ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates
Civil Engineers, P.C.

DATE: 1/26/22
FILES: 21-006 C70
JOB NO: 21-006
SHEET NO: C7.4

ST. CHARLES, ILLINOIS



REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

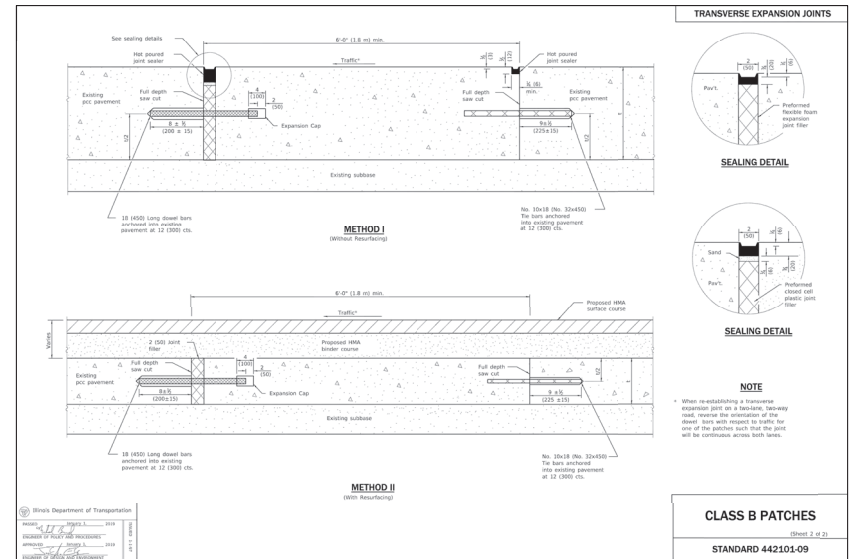
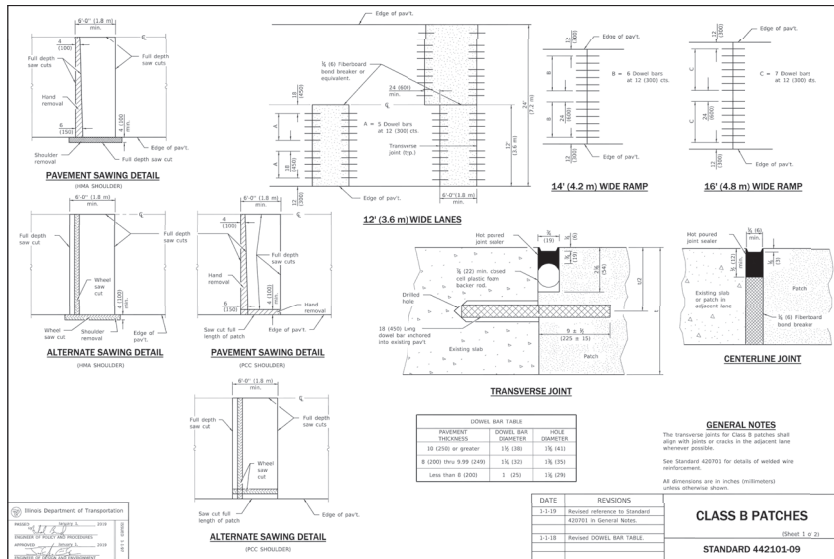
IDOT DETAILS

GAS STATION
1023 W. MAIN STREET
ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates
Civil Engineers, P.C.

DATE: 1/26/22
FILES: 21-006 070
JOB NO: 21-006
SHEET NO: 7.5

ST. CHARLES, ILLINOIS



REVISIONS	
NO.	DESCRIPTION

IDOT
DETAILS

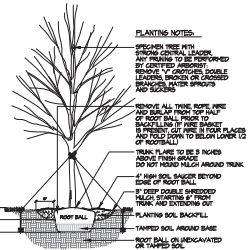
GAS STATION
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24 N. Barnett Street • Geneva, IL 60134 • phone (815) 449-2270 • fax (815) 449-2272

DATE: 1/26/22
FILES: 21-006 C70
JOB NO: 21-006
SHEET NO.

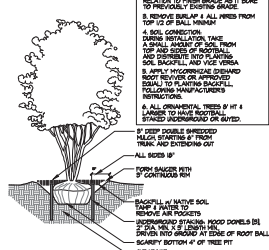
C7.6

- TREE NOTES**
1. PRUNE TREE TO OFFSET ROOT LOSS
 2. TREE TRUNK PLANE SHALL BEAT SAME TO PREVIOUSLY EXISTING GRADE
 3. REMOVE SURFLAP IF ALL WIPES FROM TOP (2" OF BALL MINIMUM)
 4. SOIL CONNECTION: REMOVE RETICULAR MAT, A SMALL AMOUNT OF SOIL FROM TOP SURFACE OF ROOT BALL, AND USE VERTICAL SOLE BACKFILL AND USE VERTICAL ROOT BELIEVER OR APPROVED EQUAL TO PLANTING SCAFFOLD. FOLLOWING MANUFACTURERS' INSTRUCTIONS.
 5. ALL ORNAMENTAL TREES SHALL BE PLANTED WITH A 4" DEEP DOUBLE SPOOLED MESH CONTAINER WITH TRUNK AND EXTENSIONS CUT TO 1/2" BELOW TOP OF ROOT BALL.
 6. ALL TREES 2" CALIBER OR LARGER TO BE WIPED.
 7. DO NOT HALO AROUND TRUNK.

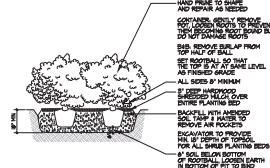


○ SHADE TREE

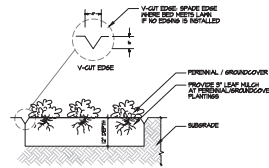
- ORNAMENTAL TREE NOTES**
1. PRUNE TREE TO OFFSET ROOT LOSS
 2. TREE TRUNK PLANE SHALL BEAT SAME TO PREVIOUSLY EXISTING GRADE
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 4. SOIL CONNECTION: REMOVE RETICULAR MAT, A SMALL AMOUNT OF SOIL FROM TOP SURFACE OF ROOT BALL, AND USE VERTICAL SOLE BACKFILL AND USE VERTICAL ROOT BELIEVER OR APPROVED EQUAL TO PLANTING SCAFFOLD. FOLLOWING MANUFACTURERS' INSTRUCTIONS.
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 6. ALL TREES 2" CALIBER OR LARGER TO BE WIPED.
 7. DO NOT HALO AROUND TRUNK.



○ ORNAMENTAL TREE

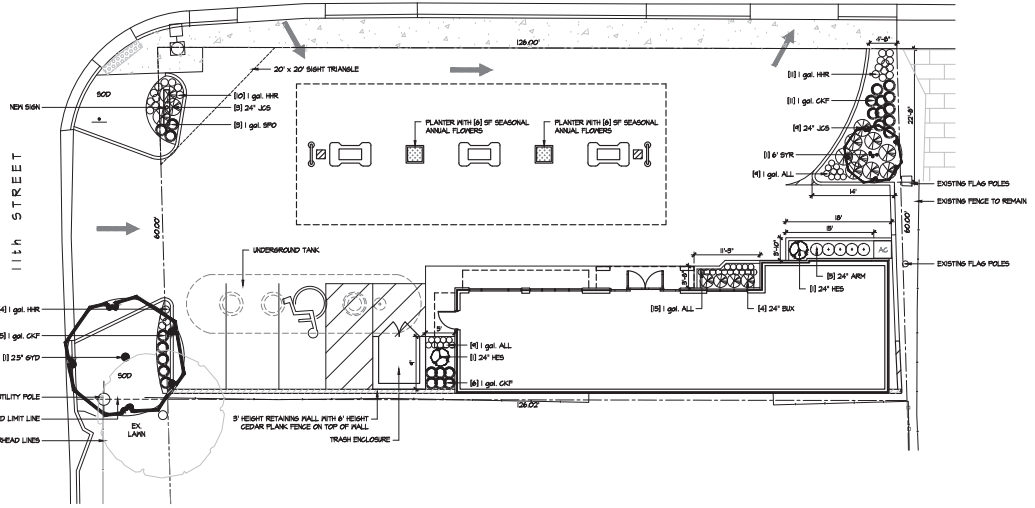


○ SHRUB PLANTING DETAIL



○ PERENNIAL PLANTING DETAIL

MAIN STREET / IL 64



LANDSCAPE NOTES

1. In general, contractor should become familiar with the site and with scope of work prior to the submission of bid proposal and should notify Landscape Architect (LA) and/or owner of any discrepancies between the drawings and existing site conditions.
2. Bid Proposal shall show unit prices and quantities for all items shown on this drawing.
3. Contractor shall follow and conform to the City of St. Charles, IL, building codes.
4. Job site safety and means and methods of construction are the responsibility of the Contractor.
5. Contractor shall excavate and dispose of excavated materials off site.
6. Contractor shall be responsible for any damage to buildings or site as a result of executing the work which is part of this contract or additional work which may be added to this contract at a later date.
7. Site shall be kept clean at all times and shall be thoroughly cleaned at the end of each working day.
8. Driveways shall be undisturbed at all times and consideration for the neighboring properties maintained.
9. Determine and verify exact locations of all underground utilities in the field before work begins. Call JULIE 1-800-892-0123 (48 hours) before you dig, excluding Saturdays, Sundays, and holidays.
10. Plants and other materials are quantified and summarized for the convenience of the owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn.
11. Landscape Architect not responsible for installation permits unless otherwise noted.
12. Determine subsoil conditions and subsurface drainage requirements of all plant material.
13. **Removals:** Contractor shall clear existing plant material and weeds as needed where new planting is provided per plan. New topsoil shall be provided and/or amended as needed to fine grade planting areas.
14. **Topsoil:** Any new topsoil shall be fertile, pulverized, friable, natural loam, surface soil, free of asbestos, clay lumps, brush, weeds, stones larger than 1" in any dimension and other extraneous or toxic matter harmful to plant growth. Soil shall have acidity range of pH 5-7, not less than 3% humus as determined by loss on ignition of moisture free samples dried at 100 degrees centigrade, less than 60% of material passing US# #100 sieve consists of clay by dried weights of material.
15. **Amend Existing Soil:** Amend existing soil in all planting beds. Amended soil shall be 25% soil conditioner, 25% clean sand and 50% existing soil. Fertilizer amendments into planting beds.
16. **Plant Material:** The Landscape Architect reserves the right to personally select any or all nursery stock prior to digging. All plant material shall bear the same relationship to the new grade as they bore to the previous (nursery) grade. Comply with staking and grading standards of the latest edition 'American Standard for Nursery Stock'. All plants are subject to inspection by the Landscape Architect at the job site or nursery.
17. **Plant Installation:** Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and face to give the best appearance or relationship to each other or adjacent structure. Do not fill around trunks or stems. Do not use frozen or muddy mulch for backfilling. Supply a minimum of 12" of soil mix on all sides of rootballs for trees and shrubs unless otherwise noted. Plant groundcover and perennials and tamp down soil around pots and do not heave in frost. Water in before applying mulch. Do not cover foliage with mulch. Balled roots shall be protected from drying out and care taken to prevent the soil from freezing.
18. **Mulch:** Provide 3" loose measure of mulch throughout all planting areas excluding groundcover beds. Mulch to be 6 month old, well rotted, shredded, hardwood bark mulch, not larger than 1" in length and 1/2" in width, free of wood chips and sawdust.
19. **Soil:** Supply and install new bluegrass blend sod as shown on plan. Place sod on min. 4" depth rolled, fine graded, pulverized topsoil. Guarantee new sod for 30 days. Time delivery of sod so that sod will be placed within 24 hours after shipping. Protect sod against drying and breaking of rolled strips. If new sod is laid late in the Fall, the guarantee shall be extended into the Spring of the next growing season.
20. **Repair Disturbed Areas:** All disturbed areas shall be repaired and fine graded and topdressed with a minimum 4" depth, rolled, pulverized topsoil. All excess soil not used in repair of disturbed areas shall be removed from site. Sod all repaired areas.
21. **Bed Edge:** Spade edge where bed meets lawn if no edging is installed.
22. Upon completion of all landscape work, the LC shall notify the LA and owner for approval and acceptance. LC to water installed plant materials for the entire first season. LC shall guarantee all work and plant material for a minimum of one year, after acceptance by the LA and owner, of completed landscape work.

LANDSCAPE CALCULATIONS

SITE AREA	1897 Sq. Ft.		
LANDSCAPE AREA	1184 Sq. Ft.	REQUIRED	PROPOSED
LANDSCAPE AREA - PERCENT OF TOTAL SITE AREA	62%	62%	62%

*INCLUDES (2) PLANTERS

PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	REMARKS
SHADE TREES				
SHD	1	28'	Kentucky Coffeetree	Specimen, symmetrical
ORNAMENTAL TREES				
ORNT	1	6'	Syringa reticulata Ivory Silk	Ivory Silk Japanese Tree Lilac Specimen multi-stem
SHRUBS				
SHR	5	24"	Amoria melanocarpa 'LIGNONHUB'	Low Shrub 'Mound Chabernay' Full branching to ground
SHR	4	24"	Buxus 'Solenis Variegata'	Green Variegated Boxwood Full branching to ground
SHR	2	24"	Hydrangea macrophylla 'Bosmer'	Endless Summer Hydrangea Full branching to ground
SHR	2	24"	Juniperus horizontalis 'Sargent'	Sargent Juniper Full branching to ground
PERENNIALS AND ORNAMENTAL GRASSES				
KEY <th>QTY.</th> <th>BOTANICAL NAME</th> <th>COMMON NAME</th> <th>REMARKS</th>	QTY.	BOTANICAL NAME	COMMON NAME	REMARKS
PER	1	18"	Helianthus Autumn	Contender
PER	22	18"	Cotoneaster acutiflorus 'Karl Foerster'	Feather Reed Grass Contender
PER	28	18"	Hemerocallis 'Happy Returns'	Happy Returns Day Lily Contender
PER	8	18"	Sparganium angustifolium	Pyralis Dropseed Contender
PER	2	24"		Seasonal Annual Flowers Contender

NOTES

SEE ARCHITECTURAL PLANS FOR PLANTERS, BACKFILL, PLANTERS WITH CLEAN TOPSOIL AND SEASONAL ANNUAL FLOWERS.

CLIENT NAME:
ECA Architects & Planners
24 N. Bennett Street
Geneva, Illinois

LANDSCAPE ARCHITECTURE
pamelaself

202 South Cook Street Box #214
Barrington, Illinois 60015
847.438.4822
www.pamelaself.com

LICENSE # 157.000683
STAMP:

ARCHITECT:

CIVIL ENGINEER:

GENERAL CONTRACTOR:

GAS STATION
1023 W. Main Street
St. Charles, Illinois

REV.	DATE	DESCRIPTION
1	01.31.22	ISSUE FOR PERMITS
2	03.08.22	ISSUE FOR PERMITS
3	04.14.22	ISSUE FOR PERMITS

Design by: KWS/PKS
Drawn by: KWS
Checked by: KWS
Start date: 05.03.2021
Project no:

LANDSCAPE PLAN

L-1.0

NOT FOR CONSTRUCTION

#	DATE	INT	DESCRIPTION
1	10.03.2022	WRT	REVISED PER CITY COMMENTS
2	04.08.2022	WRT	REVISED PER CITY COMMENTS

**PROPOSED
PHOTOMETRIC
PLAN**

PROJECT #
KE0513211

DATE DATE
05.14.2021

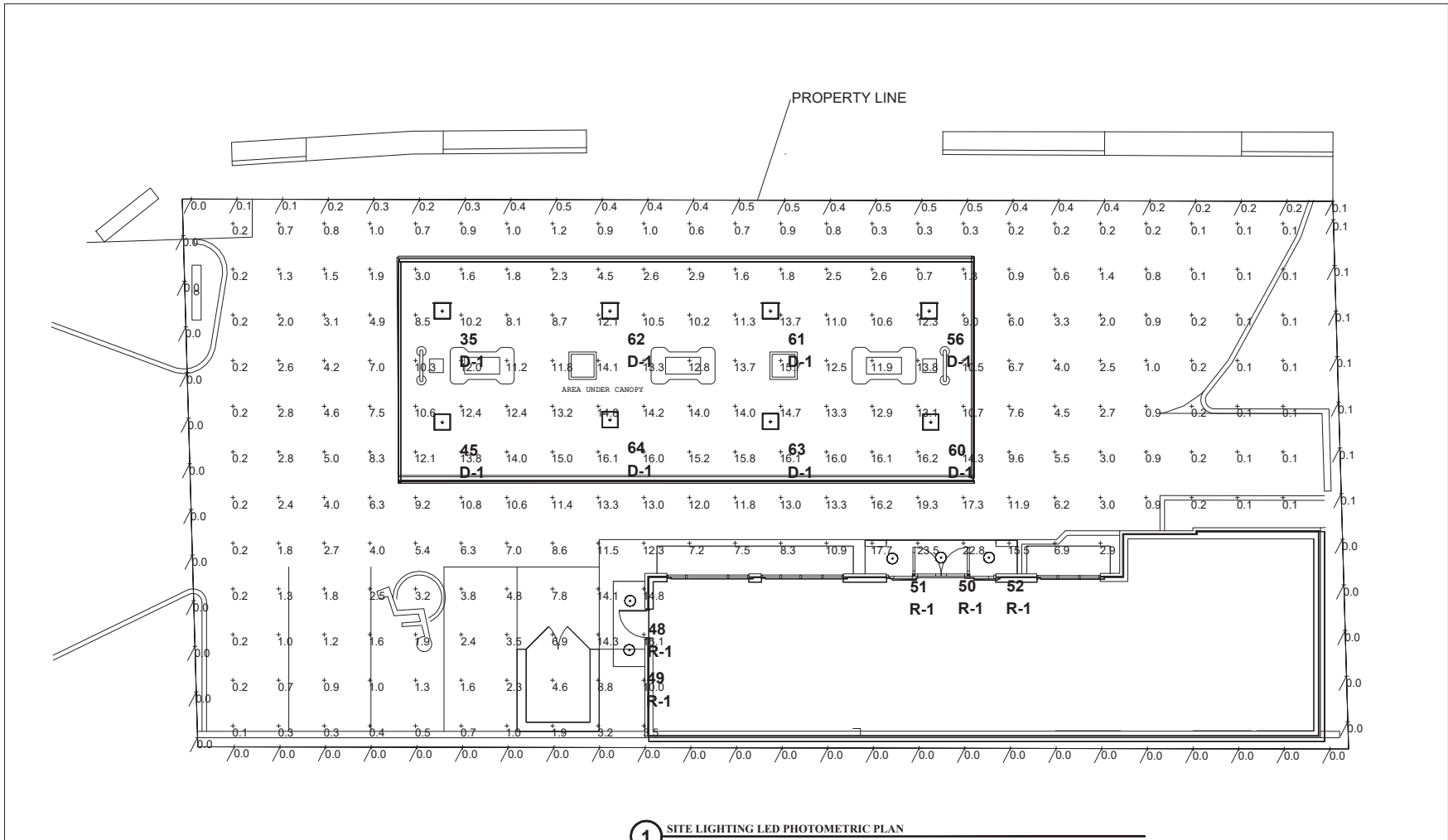
DESCRIPTION
NA

DESIGNER
W.TOKKESDAL

DATE
C.D.HEANER

SHEET #
SL2.0

REV #
2



1 SITE LIGHTING LED PHOTOMETRIC PLAN
SCALE: 3/16" = 1'-0"

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min # Pts
ALL CALC PNTS	Illuminance	Fc	6.02	23.5	0.1	60.20 228
Property Line	Illuminance	Fc	0.12	0.5	0.0	N.A. 75
AREA UNDER CANOPY	Illuminance	Fc	10.71	16.2	0.7	15.30 65

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts Lum. Lumens BUG Rating
☐	8	D-1	SINGLE	0.90	Canopy LED Canopy Fixture LSI CRUS-AC-SLW-40-HS- Field Install Custom Side Shield on Roadway side of each Fixture	38 5009 B1-U0-G1
○	5	R-1	SINGLE	0.90	Recessed Downlight - Supplied by Others	21.5 2061 B1-U1-G0

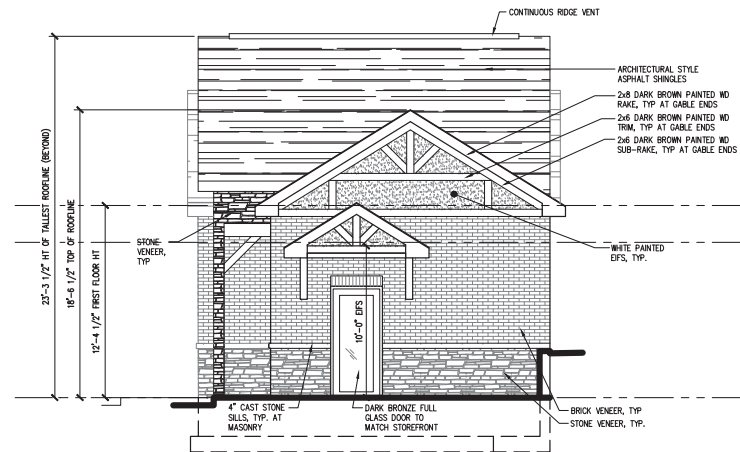
- NOTES:**
- 1) CALCULATION POINTS ON PROPERTY LINE ARE MODELED AT 3.5' ABOVE GRADE
 - 2) CALCULATION POINTS INSIDE PROPERTY LINE MODELED AT GRADE LEVEL
 - 3) LIGHT FIXTURES MODELED UNDER CANOPY REQUIRE A CUSTOM MADE HOUSE SIDE SHIELD TO MEET LIGHT SPILL CODE REQUIREMENT OF 0.5FC OR LESS AT PROPERTY LINE



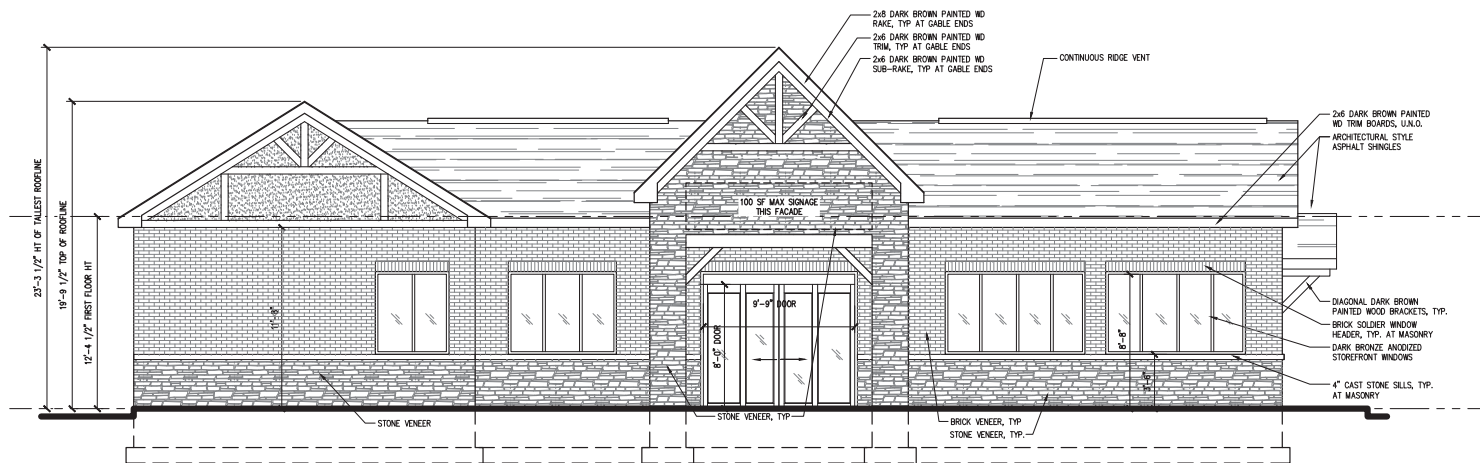
BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE COORDINATE SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE EXISTING OR PROPOSED FIELD CONDITIONS.

THE LIGHTING PATTERNS REPRESENTATIVE ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER THE CONTROLLED CONDITIONS OF TESTING. CURRENT INDUSTRY CONVENTIONS APPLY WITH REGARD TO ILLUMINATING APPLIANCE SAFETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY APPLIANCE OR SYSTEM MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, QUALITY OF WIRING, AND OTHER UNEXPECTED FIELD CONDITIONS.


FOR ADDITIONAL LIGHTING INFORMATION CONTACT:
On-Site Lighting & Survey, LLC
PH: 763.684.1548



2 RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

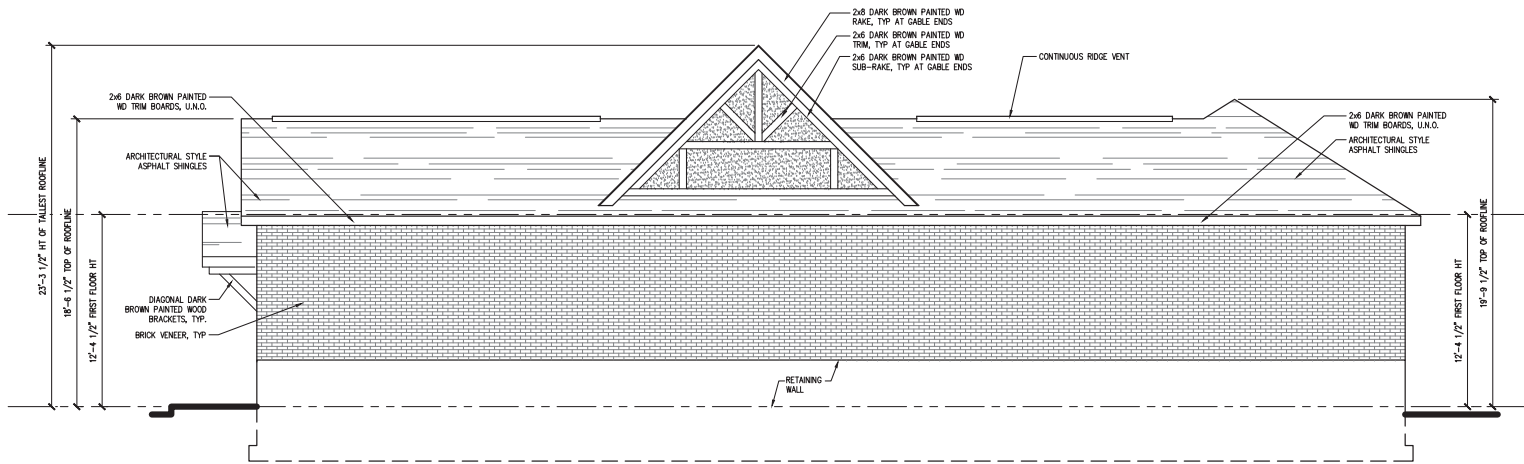

 24 N BENNETT ST.
 GENEVA, IL 60134
 PHONE 630 608 0500
 FAX 630 839 8875
 PROFESSIONAL DESIGN FIRM
 NO. 184 005766

Preliminary Site Plan
Gas Station
 1023 W. Main Street
 St. Charles, IL 60174

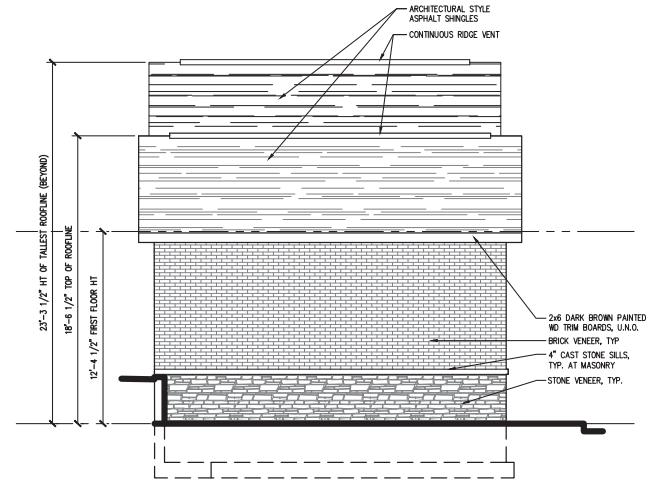
REVISIONS	DRAWN BY: SBD/ERC
	DATE: 05-14-2021
	REV 1: 11-02-2021
	REV 2: 01-26-2022
	REV 3:
	REV 4:

Exterior Elevs
 SHEET
 A-3

IF PRINTED TO SCALE, BOTH THESE BARS WILL MEASURE 1" [1][2][3][4][5][6][7][8] [1][2][3][4][5][6][7][8][9][10]



1 REAR ELEVATION
SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

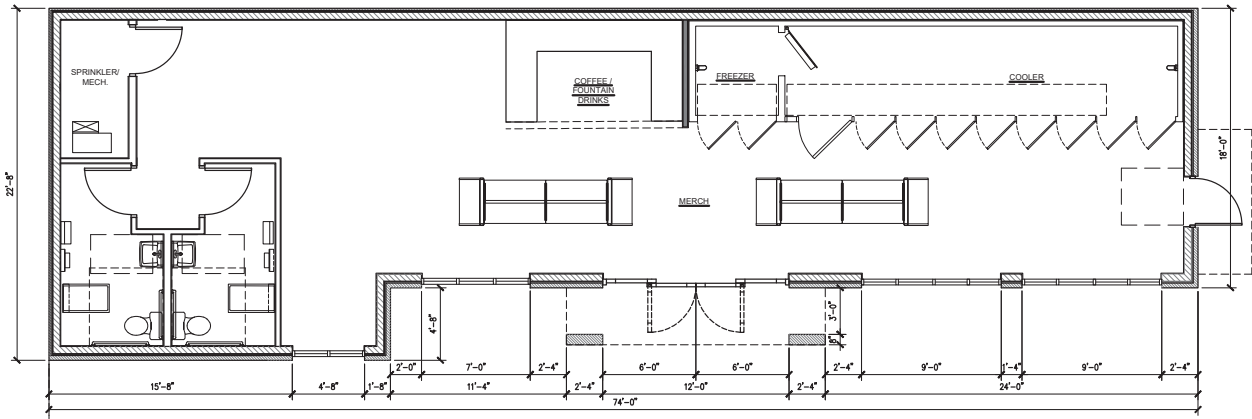
Preliminary Site Plan
Gas Station
1023 W. Main Street
St. Charles, IL 60174

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Exterior Elevs
SHEET
A-4

24 N. BENNETT ST.
GENEVA, IL 60134
PHONE 630 608 0500
FAX 630 839 8875
PROFESSIONAL DESIGN FIRM
NO. 184 005766





1 FIRST LEVEL PLAN
 SCALE: 1/8" = 1'-0"
 GAS STATION


 24 N. BENNETT ST.
 GENEVA, IL 60134
 PHONE 630 608 0500
 FAX 630 839 8875
 PROFESSIONAL DESIGN FIRM
 NO. 184 005766

Preliminary Site Plan
Gas Station
 1023 W. Main Street
 St. Charles, IL 60174

REVISIONS	DRAWN BY: SBD/ERC
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REV 3:	
REV 4:	

IF PRINTED TO SCALE, BOTH THESE BARS WILL MEASURE 1" 1 2 3 4 5 6 7 8 9 10



1 REVISÉD RENDERED ELEVATION
SCALE: NTS

 <p style="font-size: small; margin: 0;"> ECA ARCHITECTS AND PLANNERS </p>	24 N BENNETT ST. GENEVA, IL 60134 PHONE 630 608 0500 FAX 630 839 8875 <hr/> PROFESSIONAL DESIGN FIRM NO. 184 005766												
<p style="font-size: small; margin: 0;">Preliminary Site Plan</p> <h1 style="margin: 0;">Gas Station</h1> <p style="font-size: small; margin: 0;">1023 W. Main Street St. Charles, IL 60174</p>													
REVISIONS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 15%;">DRAWN BY:</td><td>SBD/ERC</td></tr> <tr><td>DATE:</td><td>05-14-2021</td></tr> <tr><td>REV 1:</td><td>11-02-2021</td></tr> <tr><td>REV 2:</td><td>01-26-2022</td></tr> <tr><td>REV 3:</td><td></td></tr> <tr><td>REV 4:</td><td></td></tr> </table>	DRAWN BY:	SBD/ERC	DATE:	05-14-2021	REV 1:	11-02-2021	REV 2:	01-26-2022	REV 3:		REV 4:	
DRAWN BY:	SBD/ERC												
DATE:	05-14-2021												
REV 1:	11-02-2021												
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REV 3:													
REV 4:													
<p style="font-size: small; margin: 0;">RENDER</p> <p style="font-size: small; margin: 0;">SHEET</p> <p style="font-size: small; margin: 0;">A-1</p>													

IF PRINTED TO SCALE, BOTH THESE BARS WILL MEASURE 1" [1][2][3][4][5][6][7][8] [1][2][3][4][5][6][7][8][9][0]



1 REVISED RENDERED ELEVATION W/ CANOPY
SCALE: NTS

24 N BENNETT ST.
GENEVA, IL 60134
PHONE 630 608 0500
FAX 630 839 8875



Preliminary Site Plan
Gas Station
1023 W. Main Street
St. Charles, IL 60174

REVISIONS	DRAWN BY: SBD/ERC
	DATE: 05-14-2021
	REV 1: 11-02-2021
	REV 2: 01-26-2022
	REV 3:
REV 4:	

RENDER
SHEET
A-2

IF PRINTED TO SCALE, BOTH THESE BARS WILL MEASURE 1" [1][2][3][4][5][6][7][8] [1][2][3][4][5][6][7][8][9][0]

EXHIBIT "E"

PUD DEVIATIONS

Ch. 17.14 Business & Mixed Use Districts	
Permitted Uses 17.14.020, Table 17.14-1 – BL District	Gas Station shall be a permitted use on the subject property
Minimum Interior Side Yard (Building) 17.14.030, Table 17.14-2 – BL District	1 ft. (from south property line)
Minimum Rear Yard (Building) 17.14.030, Table 17.14-2 – BL District	2 ft. (from east property line)
Minimum Front Yard (Paving) 17.14.030, Table 17.14-2 – BL District	0 ft. (from west property line)
Minimum Exterior Side Yard (Paving) 17.14.030, Table 17.14-2 – BL District	0 ft. (from north property line)
Landscape Buffer Yard 17.14.030, Table 17.14-2 – BL District	0 ft.
Ch. 17.22 General Provisions	
Refuse Enclosure Setback 17.22.030, Table 17.22-3	1 ft. (from south property line)
Ch. 17.20 Use Standards	
Fuel Pump Setback 17.20.030.I (Gas Stations)	16 ft. (from north property line)
Canopy Setback 17.20.030.I (Gas Stations)	6 ft. (from north property line)
Ch. 17.26 Landscaping & Screening	
Overall Landscape Percentage 17.26.060	4% (including landscape planters)
Public Street Frontage Landscaping 17.26.090.C	1 tree along Main St. frontage; 0 trees along 11 th St. frontage. Less than 75% of public street frontage, as depicted on the PUD Preliminary Plan
Parking Lot Screening 17.26.100.A	Less than 50% of paved area screened to a height of 30", as depicted on the PUD Preliminary Plan.
Building Foundation Landscaping 17.26.080.C	Less than 50% of wall facing Main St. and less than 50% of total building walls; landscape beds along wall facing Main St. less than 5 ft. wide; plantings as depicted on the PUD Preliminary Plan
Sign Landscaping 17.26.110	Less than 3 ft. of landscaping provided around freestanding sign, as depicted on the PUD Preliminary Plan
Ch. 17.28 Signs	
Table 17.28-2 Permitted Signs for BL, BC & BR Districts – ROW Setback	6" setback from west property line; 7 ft. setback from north property line
Ch. 17.22 General Provisions	
Site Triangle 17.22.010.F	Sign located within 20 ft. site triangle. Bottom of sign to be 5 ft. above grade.

State of Illinois)
) ss.
Counties of Kane and DuPage)

Certificate

I, NANCY GARRISON, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on **April 18, 2022** the Corporate Authorities of such municipality passed and approved Ordinance No. **2022-Z-8** entitled:

An Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan for 1023 W. Main St. Redevelopment

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No 2022-Z-8, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on **April 25, 2022**, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this **18th** day of **April 2022**.

Nancy Garrison
Municipal Clerk

(S E A L)

