Inter St. PUD. Presenter: Ellen Johnson Meeting: Planning & Development Committee Date: September 11, 2023 Proposed Cost: \$ Budgeted Amount: \$ Not Budgeted: □ TIF District: None Executive Summary (if not budgeted, please explain): 1023 W. Main St. is a gas station redevelopment at the southeast corner of W Main and S 11 th Street A PUD and preliminary plans were approved for the project under Ord. 2022-Z-8. The project include a new convenience store and 3-pump fuel canopy. A building permit for the project is currently under review. An issue has arisen regarding location of the pad-mounted electric transformer due to the limited size of the site and transformer clearance requirements. A Minor Change to PUD application has been submitted by Muhammad Younus, representing property owner Glenview Enterprises, Inc. Proposed is to remove one parking space west of the building in order to locate the transformer. The trash enclosure will be shifted west, with the transformer and the building. The resulting parking count is 3 spaces. A total of 3 space are required under the Zoning Ordinance. Revised site, engineering, and landscape plans have been submitted depicting the change. The Minor Change complies with the 1023 W. Main St. PUD Ordinance and the applicable provision of the Zoning Ordinance. Attachments (please list): Application, Plans, Ord. 2022-Z-8 Recommendation/Suggested Action (briefly explain):	St. PUD. Presenter: Ellen Johnson Meeting: Planning & Development Committee Date: September 11, 2023 Proposed Cost: \$ Budgeted Amount: \$ Not Budgeted: □ TIF District: None Executive Summary (if not budgeted, please explain): 1023 W. Main St. is a gas station redevelopment at the southeast corner of W Main and \$ 11 th Streed A PUD and preliminary plans were approved for the project under Ord. 2022-Z-8. The project include a new convenience store and 3-pump fuel canopy. A building permit for the project is currently under review. An issue has arisen regarding location of the pad-mounted electric transformer due to the limited size of the site and transformer clearance requirements. A Minor Change to PUD application has been submitted by Muhammad Younus, representing property owner Glenview Enterprises, Inc. Proposed is to remove one parking space west of the building in order to locate the transformer. The trash enclosure will be shifted west, with the transformer between the trash enclosure and the building. Additional plantings will be added between the transformer and the building. The resulting parking count is 3 spaces. A total of 3 space are required under the Zoning Ordinance. Revised site, engineering, and landscape plans have been submitted depicting the change. The Minor Change complies with the 1023 W. Main St. PUD Ordinance and the applicable provisions of the Zoning Ordinance. Attachments (please list): Application, Plans, Ord. 2022-Z-8	CITY OF ST. CHARLES WILLINGIS+1844 Proposed Cost: Proposed Cost: TIF District: None Executive Summa 1023 W. Main St. A PUD and prelim a new convenience A building permit the pad-mounted requirements.	resenter: ng & Develo ary (if not k is a gas sta ninary plans ce store an for the pro	St. PUD. Ellen Johnson opment Committee Budgeted pudgeted, please exp stion redevelopment s were approved for d 3-pump fuel canop oject is currently und	Da ed Amount: \$ plain): t at the southeast of the project under py. der review. An issue	te: Septembo orner of W N Ord. 2022-Z-	er 11, 2023 Not Budgeted:					
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			•	2-Z-8								
Recommendation to approve a Minor Change to POD for 1023 W. Main St. POD.						Vain St. PUD	D.					

City of St. Charles Community Development Division 2 E. Main Street St. Charles, IL 60174



Phone: (630) 377-4443 Email: cd@stcharlesil.gov

MINOR CHANGE TO PUD APPLICATION

For City Use	
Project Name:	1023 W. Main St.
Project Number:	2023_PR-012
Cityview Project Number:	PLMC202300130



- File this application to request approval of a Minor Change to an approved PUD Preliminary Plan in a manner that
 complies with all standards of the PUD Ordinance applicable to the property and meets the definition of a Minor
 Change per the Zoning Ordinance or the PUD Ordinance.
- Complete the application and submit with all required attachments to the Community Development Division.
- The information you provide must be complete and accurate. If you have any questions please contact the Community Development Division.
- City staff will review the submittal for completeness and for compliance with applicable requirements.
- The Minor Change will be scheduled for review by the Planning & Development Committee of the City Council when staff has determined the plans are ready.

1.	Property	Location:					
	Information:	mation: 1023 W. Main St.					
		Parcel Number (s):					
		09-33-203-001					
		PUD Name:					
		1023 W. Main St. Redevelop	oment				
2.	Applicant	Name:	Phone:				
	Information:	Muhammad Younus	630-222-5432				
		Address 1 E. St. Charles Rd Villa Park, IL 60181	Email: younusmuhammad@hotmail.co m				
3.	Record Owner	Name:	Phone:				
	Information:	Glenview Enterprises, Inc.	630-222-5432				
		Address:	Email:				
		1 E. St. Charles Rd Villa Park, IL 60181	younusmuhammad@hotmail.com +				

4. PUD Information:

Name of PUD: 1023 W. Main St. Redevelopment

PUD Ordinance #: 2022-Z-8

Ordinance or Resolution that approved the current plans: 2022-Z-8

5. Proposed Changes:

PUD Plans to be changed:

\checkmark	Site/Engineering Plan
\checkmark	Landscape Plan
	Architectural Elevations
	Signs
	Other plans:

Description of plan changes:

Reduction of one parking spot at the south west corner of the lot to accommodate a pad mounted transformer.

6. Required Attachments:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Provide 1 copy of each required item, unless otherwise noted.

\checkmark

APPLICATION FEE: \$200

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REIMBURSEMENT OF FEES AGREEMENT: An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT: Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP: a) A current title policy report; or

b) A deed and a current title search

OWNERSHIP DISCLOSURE: Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.

LETTER OF AUTHORIZATION: If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.

LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper and Microsoft Word file.

PLAT OF SURVEY: A current plat of survey for the subject property showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

COVER LETTER: A letter describing the proposed minor change requested, why it is necessary, and how it is different from the currently approved plan.

PLANS: All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies: One 1(1) full size plan set, one (1) 11" by 17" copy, and PDF electronic file emailed to: cd@stcharlesil.gov

Plans shall include the following, depending on the scope of the proposed Minor Change:

- Site Plan indicating location of proposed change.
- For changes to site/engineering plans, show existing/approved and proposed site/engineering plan changes.
- For changes to architectural elevations, show existing/approved and proposed building design, color and materials.
- For changes to landscaping, show existing/approved and proposed plans, indicate species and quantities
 of plant material to replace existing/approved materials.
- For changes to signs, show existing/approved and proposed signage plans, and include renderings of
 proposed signage indicating size, materials, and location on the building and/or site.
- Additional information may be necessary depending on the specific change proposed.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Record Owner

Date

Applicant or Authorized Agent

OWNERSHIP DISCLOSURE FORM CORPORATION

STATE OF ILLINOIS)) SS. KANE COUNTY)

1, <u>Muhammud Younu</u>, being first duly sworn on oath depose and say that I am the <u>oumer</u> of <u>Glenview enter prises me</u>, on (Illinois)

(______) Corporation and that the following persons are all of the shareholders of 7% or more of the common stock of said Corporation:

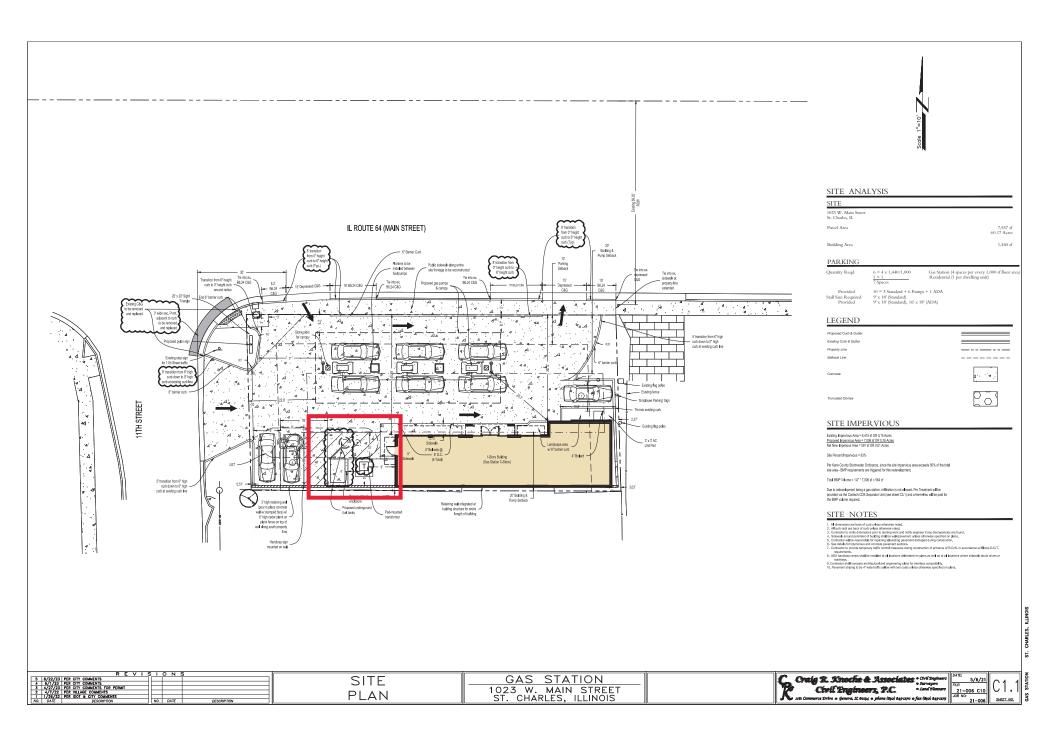
BY: <u>Muhammad Yound</u> TITLE: <u>President</u>

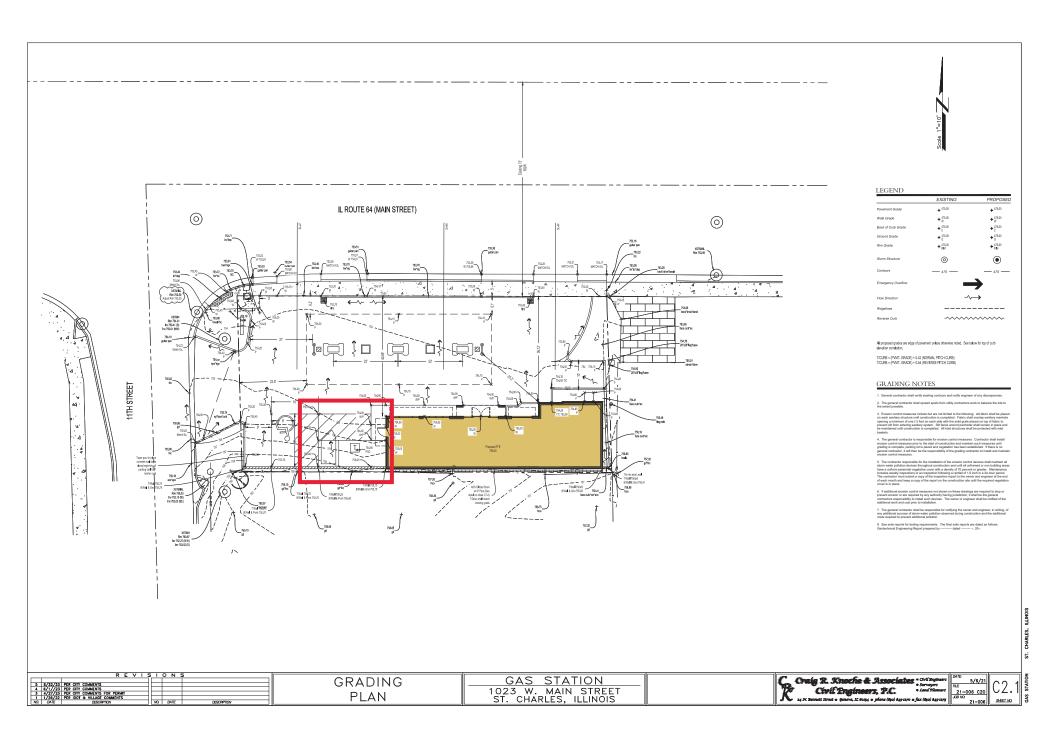
Subscribed and Sworn before me this 30^{+-} day of

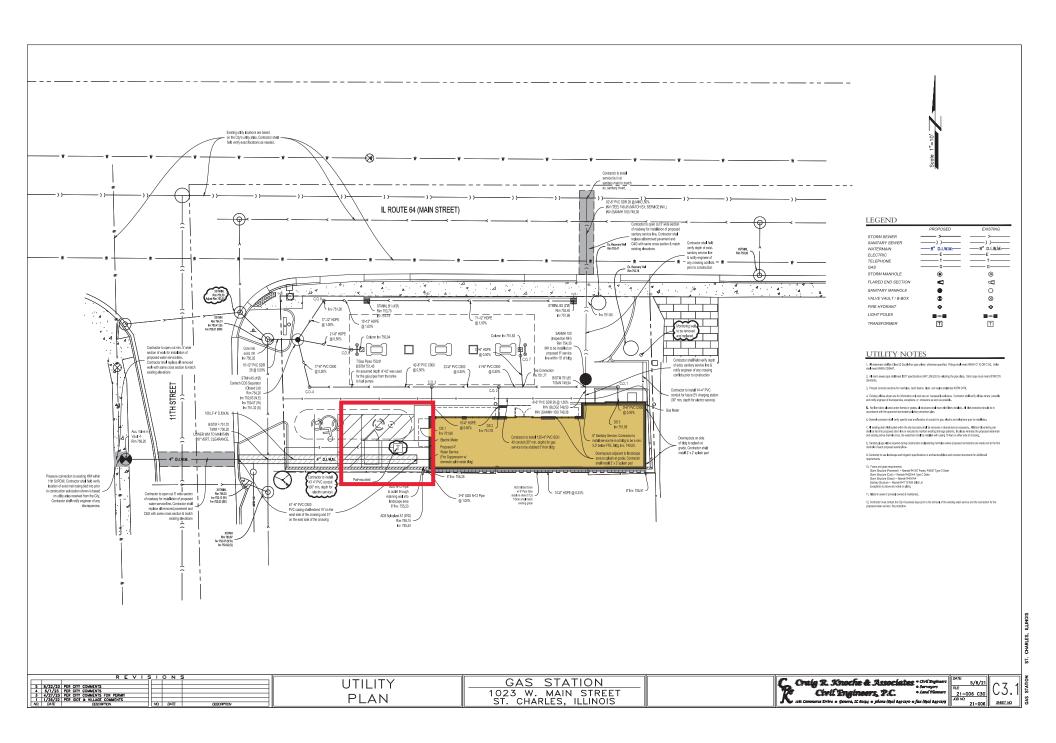
<u>August</u> 20<u>23</u>.

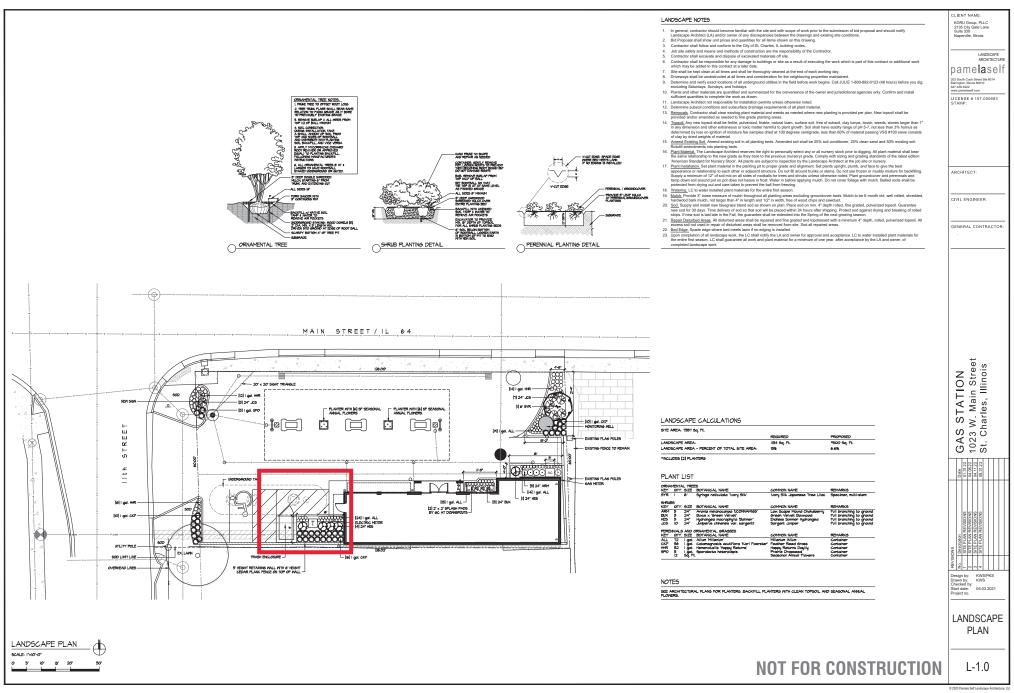
Kmiter Q. Dock Notary Public

OFFICIAL SEAL KIMBERLY A. WOODS NOTARY PUBLIC, STATE OF ILLINOIS My Commission Expires 4-27-27









REFER TO: Minutes 4-18-2072

Page

City of St. Charles, Illinois

Ordinance No.: 2022-Z-8

An Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan for 1023 W. Main St. Redevelopment

> Adopted by the City Council of the City of St. Charles April 18, 2022

Published in pamphlet form by authority of the City Council of the City of St. Charles, Kane and Du Page Counties, Illinois, April 25, 2022

A OF ST. CHARLES ILLINO **Čity** Clerk ELCOR ANTED OCTOBER

(SEAL)

City of St. Charles, Illinois Ordinance No. 2022-Z-8

An Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan for 1023 W. Main St. Redevelopment

WHEREAS, on or about May 20, 2021, Mohammed Shahid Ali (the "Applicant") filed petitions for: 1) Map Amendment from the RT-2 Traditional Single-Family Residential District to the BL Local Business District; 2) Special Use for Planned Unit Development; and 3) PUD Preliminary Plan, all for the real estate addressed as 1023 W. Main St., legally described on Exhibit "A" attached hereto and incorporated herein (the "Subject Property"), for the purpose of redeveloping a gas station; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Special Use for Planned Unit Development was published on or about July 16, 2021 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about August 3, 2021 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development, and PUD Preliminary Plan petitions on or about August 3, 2021; and,

WHEREAS, on August 16, 2021 the Planning & Development Committee of the City Council reviewed the petitions and conditionally recommended approval, and on April 11, 2022, the Committee reviewed revised plans that included removal of the proposed residential unit, and recommended approval of said petitions as presented; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

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2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the RT-2 Traditional Single-Family Residential District to the BL Local Business District, and the Findings of Fact for Map Amendment attached hereto and incorporated herein as Exhibit "B" are expressly adopted by the corporate authorities of the City, with references to the initially proposed residential unit stricken from the findings.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant's petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit "C", which is attached hereto and incorporated herein, with references to the initially proposed residential unit stricken from the findings.

4. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit "D", such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community Development, Director of Public Works and Fire Chief to comply with the requirements of the St. Charles Municipal Code:

- Preliminary Engineering Plans; Craig R. Knoche & Associates; revisions dated 1/26/22 (Sheet C1.1 revised 4/7/22)
- Landscape Plan; Pamela Self Landscape Architecture; revisions dated 4/11/22
- Photometric Plan; On-Site Lighting & Survey; revisions dated 4/8/22
- Exterior Elevations; ECA Architects & Planners; revisions dated 1/26/22
- Renderings; ECA Architects & Planners; revisions dated 1/26/22

5. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

a. Zoning: The Subject Property shall be subject to the requirements of the BL Local Business District, as amended, and all other applicable requirements of Title 17 of the St. Charles Municipal Code ("Zoning"), as amended, except as specifically varied in the "PUD Deviations" attached hereto and incorporated herein as Exhibit "E".

6. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of April 2022.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties,

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Date:

Illinois this 18th day of April 2022.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of April 2022.

Vitek, Mayor Lora

C OF ST. CHARLES JULIER Attest; UN ancy Garrison, City Clerk Vote: ECORDORATED OCTOBER 1 Ayes: 7 Nays: 3 1874 Absent: 0 Abstain: 0

EXHIBIT "A"

LEGAL DESCRIPTION

THE NORTH 60 FEET OF LOTS 4 AND 9 IN BLOCK 5 OF MORRISON'S ADDITION TO ST. CHARLES; IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PIN# 09-33-203-001

EXHIBIT "B"

FINDINGS OF FACT FOR MAP AMENDMENT

1. The existing uses and zoning of nearby property.

North of the property: BL, RT-2 with BT transitional business overlay (legal services) East of the property: RT-2

South of the property: RT-2

West of the property: RT-2 and BT (insurance office)

Neighborhood Commercial Comprehensive Plan Designation area to north, east and west (includes this property and references gasoline service stations and Main Street shallow lots). Proposed to change from RT-2 (grandfathered gas station) to BL (PUD variation to allow gas station).

2. The extent to which property values are diminished by the existing zoning restrictions.

The proposed zoning will make the existing non-conforming gas station conforming if granted with the PUD variations. Since the pumps and underground tanks were removed to prepare for improvements to the site, the existing gas station building is in limbo. The gas station has been there for decades beyond the original zoning documents, therefore, the owner would like to keep the gas station and improve the site and the building. The improvements aesthetically and functionally should increase the value of the gas station property and the value of the neighboring properties. The size of the existing lot would be hard to develop into anything without zoning variations.

3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

The property has been a commercial gas station use for over 50 years. This area along Main Street is primarily commercial use. Maintaining the gas station/C-store will continue to add valuable services to the local community as it has for over 50 years. The property is small and development of it is difficult for any use without variations due to existing zoning restrictions.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

RT-2 allows Auxiliary dwelling units and Single-Family homes, small group homes, local utilities and neighborhood parks. Max building coverage for +1.5 story structures is 25%, which would be approx. 1890 SF. Though possible to place a small home on the site, a park would not be a safe distance from IL-64. As the property has been occupied by a gas station, maybe even dating back to the 1920s, and many of the neighboring properties at this corner are commercial, and market conditions could be less desirable for new residential construction abutting IL-64, it is more feasible to keep the commercial gas station use.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

The property is not vacant, the intent is to upgrade the existing gas station use, and ownership of the gas station is the same since 2015.

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district.

The Land Use Plan as part of the 2013 Comprehensive Plan has marked this property as "Neighborhood Commercial". The plan also identifies the two existing homes to the east and the length of existing homes and commercial properties to the north to be part of the "Neighborhood Commercial" use. This designation are areas where "smaller-scale retail and service commercial areas" are considered more suitable than residential. Gas stations are one of the appropriate uses listed in the Comprehensive Plan for "Neighborhood Commercial." So, looking forward, rezoning to BL is in line with the Comprehensive Plan and complements the vision for the area while allowing a long-standing service commercial use to continue.

7. The consistency of the proposed amendment with the City's Comprehensive Plan.

As noted above, the Land Use Plan as part of the 2013 Comprehensive Plan has marked this property as "Neighborhood Commercial". This designation are areas where "smaller-scale retail and service commercial areas" are considered suitable. Gas stations are one of the appropriate uses listed in the Comprehensive Plan for "Neighborhood Commercial." So, looking forward, rezoning to BL is consistent with the City's Comprehensive Plan.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

The proposed amendment and variations, allow for a shallow site that is more difficult to develop to become compliant as a BL use within an area that has BL designations across the street. The scale, intensity and residential features of the proposed gas station and second floor apartment building are compatible with the neighboring residential. A BL rezoning also fits within the Neighborhood Commercial Comprehensive Plan designation as mentioned above.

9. The extent to which the proposed amendment creates nonconformities.

As the current zoning is existing non-conforming and needs to be rezoned to remain a gas station, BL is the most appropriate zoning classification. Any variations needed are addressed as part of the new PUD.

10. The trend of development, if any, in the general area of the property in question.

The trend of development, if referencing the Comprehensive Plan would be to change this location to a commercially zoned property. The parcel at 10th St. and Main St. was built around 2008, updated as a commercial property designed with a residential feel, the same as being proposed by the residential style of the gas station. This pocket along Main Street also has at least four commercial use or commercial overlay parcels in the immediate vicinity to the gas station lot.

EXHIBIT "C"

CRITERIA FOR PLANNED UNIT DEVELOPMENTS

i.

- The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:
 - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.

The proposed PUD advances #1 and #6 especially. The existing site is 0.1735 acres on a corner lot with an outdated commercial looking C-store building. The variances requested as part of the PUD promote a creative approach to developing the site with a larger C-store and additional pump that will benefit the consumer and neighboring homes and businesses that will use the facility via car or on foot. With the addition of a single bedroom apartment on the second story, the building lends itself to express more residential character and improved curb appeal while looking more integral in the residential neighborhood than the existing, one-story, flat roof building. The redevelopment allows corrected zoning for an appropriate use (one that has been there for decades), while updating the obsolete and inappropriate commercial looking building. Based on the site constraints the property is being designed in the most efficient manner possible while reusing utilities where possible, drainage patterns, etc. to meet code compliance and performance standards.

- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:
 - A. Conforming to the requirements would inhibit creative design that serves community goals, or
 - **B.** Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public are, pedestrian and transit facilities.
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
- 3. The PUD will provide superior landscaping, buffering or screening.
- 4. The buildings within the PUD offer high quality architectural design.
- 5. The PUD provides for energy efficient building and site design.
- 6. The PUD provides for the use of innovative stormwater management techniques.
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
- 9. The PUD preserves historic buildings, sites or neighborhoods.

The existing site is zoned RT-2 and the existing gas station was a grandfathered use of the RT-2 district until the pumps and underground tanks were removed in preparation for improving the property. As it is today, a gas station cannot be part of an RT-2 use, and the best fit based on the other commercial properties across the street and the Comprehensive Plan vision for the property would be to zone it BL (Local Business District). The approval of the PUD allows for several variations which includes a gas station in the BL district. The PUD will also provide relief from many setback requirements that make the 0.1735-acre site unworkable for development. Therefore, conforming to the requirements of the underlying zoning district would be impractical and the proposed PUD provides the benefit of allowing a non-conforming, but long established, use to remain at this location. It also allows an opportunity to refresh, upgrade and improve the existing site and building. Currently, the landscaping on the site is a mulch bed berm on the south side of the parking. The owner is adding as many landscaping areas as possible on the small site and providing a retaining wall with fence on along the south property line as a buffer to the neighboring home. The existing one story flat roofed commercial building is being replaced with an attractive residential styled two-story building. This allows an opportunity for the building to blend into the residential neighborhood like many of the other commercial properties in the area. It also increases the size and amenities of the convenience store on the first floor for users in the neighborhood and those that travel Main Street. Three covered gas pumps provide additional benefit to commuters through the area. The second-floor apartment adds an opportunity for a dual use to the property. The building will be designed in accordance with energy efficiency codes and will be sprinklered to meet current local building codes.

iii. The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The Special Use for PUD will serve the public convenience at the proposed location by allowing the existing gas station and C-store to be enlarged and improved. There will be one more pump and the C-store will be increased from 470 SF to 1440 SF. The C-store/gas stations is a useful amenity to the neighboring residential and business uses and has already been a fixture in the community for many decades.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Existing utilities, access roads, drainage and necessary facilities are either being reused, or being upgraded as needed to meet current standards. The existing site is mainly paved or has the building on it, the proposed site is mainly paved with a building on it and landscaping beds where possible. No curb cuts or access to the property are being increased. Utilities are being connected from existing utilities that are readily available. A new water service will connect to the existing water main (new building to be sprinklered).

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

Approval of the Special Use PUD allows an existing non-conforming, out of date property, to be zoned appropriately. The Special Use will not be injurious to the use and enjoyment of neighboring properties as it is improving the use and aesthetics of the existing gas station. The use is the same but the building and site will get an updated, attractive look. The building will also include a one bedroom apartment and the two-story architecture is being designed to be sensitive to the neighbourhood and comments from the initial concept review. New fencing and a retaining wall will be built to shield the residence on the South end of the property. Fencing will remain on the east end of the property.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The Special Use for PUD approval allows the original non-conforming gas station use to be granted in a BL zoning district rather than the original residential zoning district. The BL District is appropriate as the property across Main Street from the site is BL and is compatible with the Neighborhood Commercial land use category in the St. Charles Comprehensive Plan. Due to the size of the lot and the variations needed to proceed with the development, a PUD will allow this to be a uniquely zoned property that does not adversely affect the development and improvement of the surrounding properties.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The establishment, maintenance or operation of the Special Use will not be detrimental to or endanger public health, safety, comfort or general welfare. The gas station is already a use familiar to the neighborhood. The single bedroom apartment is residential. The site has a designated parking spot for the apartment on the premises. The required parking for the gas station is being met. The variations requested enable the small site to be buildable and functional. The building design is focused on being residential in a style to fit within the neighborhood.

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code to the greatest extent possible, with any variations necessary to update the site included in the PUD request. The size of the existing site is so limited for any development without getting variations. The zoning change to BL and allowing a gas station to remain on the site meets the intent of the BL district for "small-scale service and retail uses that serve convenience needs" of the neighbourhood. The building character is to be attractive and blend with the neighboring residential area per the design guidelines.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City: allowing to keep the gas station use, maintains a decades long commercial use that provides tax revenue from the C-store and gas pumps. A convenience store/gas station embedded in a neighborhood setting with residential unit above keeps diversity along that stretch of Main Street. PUD approval allows the property to be upgraded and purposeful again which is beneficial to the economic well-being of the City.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The concept plan staff report comments confirm agreement with the proposed BL

Zoning change for the property in regards to the Comprehensive Plan. "Property zoned BL is located across Main Street from the subject property. The BL District is also compatible with the Neighborhood Commercial Land use category for the property in the Comprehensive Plan." The remaining adjacent property is still RT-2 for the single family residential except for any commercial uses in the neighborhood. "The subject property is noted as Neighborhood Commercial with residential character." The building architecture is proposed to be residential in character and materials. Although a gas station use is typically found in BC and BR, the location and previous use as a gas station and the neighboring zoning and Comprehensive Plan data would suggest BL is the appropriate designation for the PUD.

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EXHIBIT "D"

PUD PRELIMINARY PLAN (21 pages)

PRELIMINARY ENGINEERING

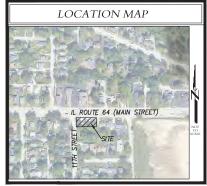
GAS STATION

1023 W. MAIN STREET ST. CHARLES, ILLINOIS

PREPARED FOR

SHAHID ALI

DRAWINGS INDEX

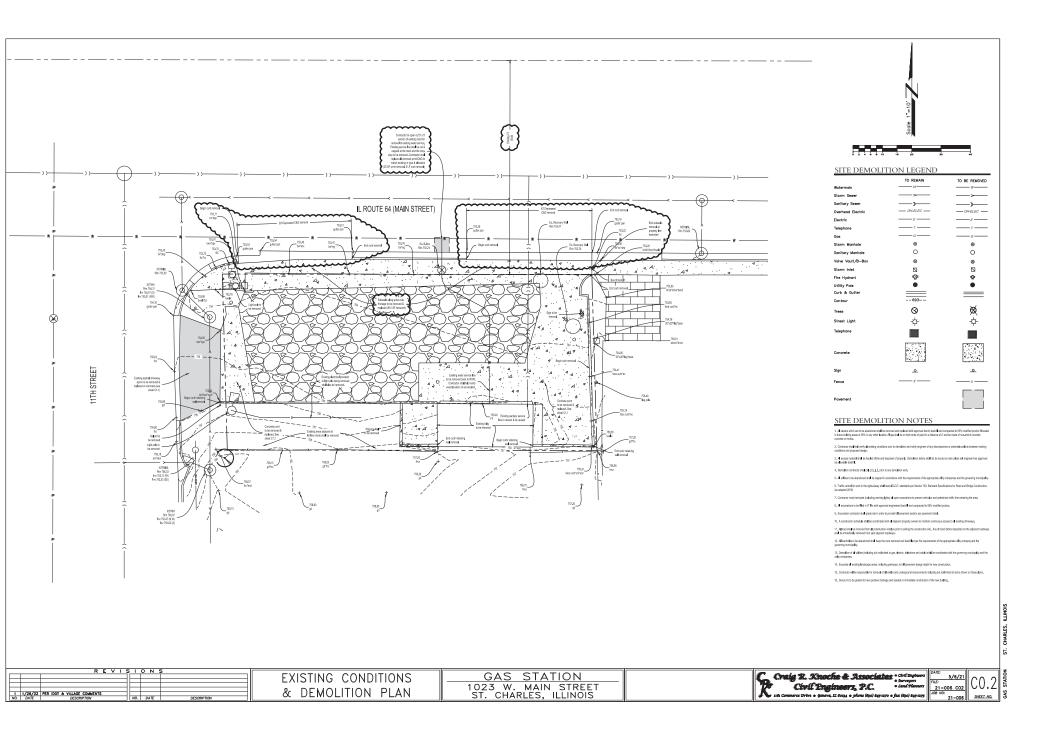


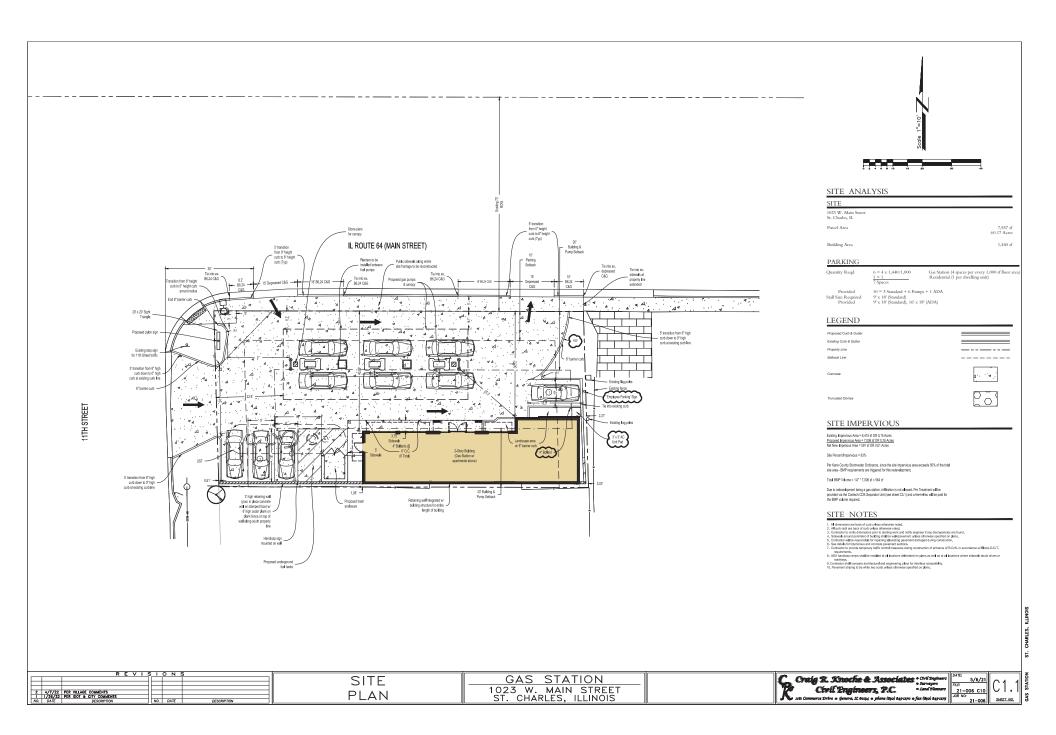
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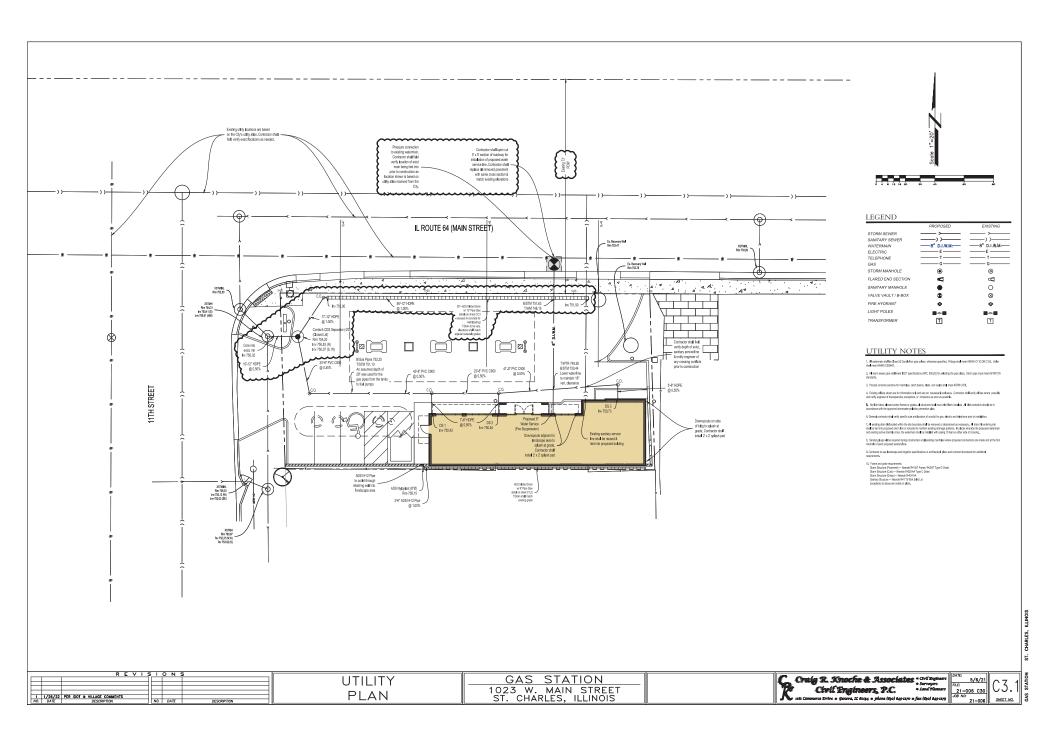
		ON-SITE IMPROVEMENTS	REV	DATE		City of St. Charles 2 East Main Street
	CO.1	TITLE SHEET & INDEX	1	1/26/22		St. Charles, IL 60174
and the state of the				.,		<u>Planning Division</u> Russell Colby – Community Development Division Manager
	C0.2	EXISTING CONDITIONS & DEMOLITION PLAN	1	1/26/22		(630) 377–4443
				1 /00 /00		Public Works
	C1.1	SITE PLAN	1	1/26/22		Peter Suhr – Director (630) 377–4405
	C2.1	GRADING PLAN	1	1/26/22		Community & Economic Development
- IL ROUTE-64 (MAIN STREET)	C2.2	STORMWATER POLLUTION PREVENTION PLAN	1	1/26/22		Rita Tungare – Director
	C2.3	SWPPP SPECIFICATIONS & DETAILS	0	5/6/21		(630) 377-443
TO SCALE	C2.4	IL ROUTE 64 CROSS SECTIONS	0	1/26/22		(<u></u>
SITE SCALE	C3.1	UTILITY PLAN	- 1	1/26/22		BENCHMARKS
		OTIENT FEAN		1/20/22		
「貫」	L-1.0	LANDSCAPE PLAN	1	1/31/22		Benchmark #1: Existing cut cross in the middle of the public
						sidewalk at the Site's NE property corner, 2' north of the site's NE property corner.
	SL200	PHOTOMETRIC PLAN	1	2/3/22		Elevation: 753.22
		GENERAL NOTES & SPECIFICATIONS				51
	<u> </u>	SITE & UTILITY DETAILS	0	5/6/21		}
	C7.2	IDOT DETAILS	1	1/26/22		}
	C7.4	IDOT DETAILS	0	1/26/22		}
	C7.5	IDOT DETAILS	0	1/26/22		Refer to sheet C0.2 for benchmark locations. All benchmarks
	C7.6	IDOT DETAILS	0	1/26/22		are USGS NAVD88.
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WARNING CALL		LATEST REVISION	1	1/26/22		DRAINAGE OVERLAY CERTIFICATE
NIE D					•	STATE OF ILLINOIS COUNTY OF KANE }SS.
19 Correctes 24 hours a day 365 days a year)						4. Stream R. Kudne, hereby certify their desputies atom water alroage and divisings capacity has been provided for this development, such table surfaces and a from the development with not be diverted role and cause damage to adjuent property for storms up to and houlding the one county and what per team of ordinators.
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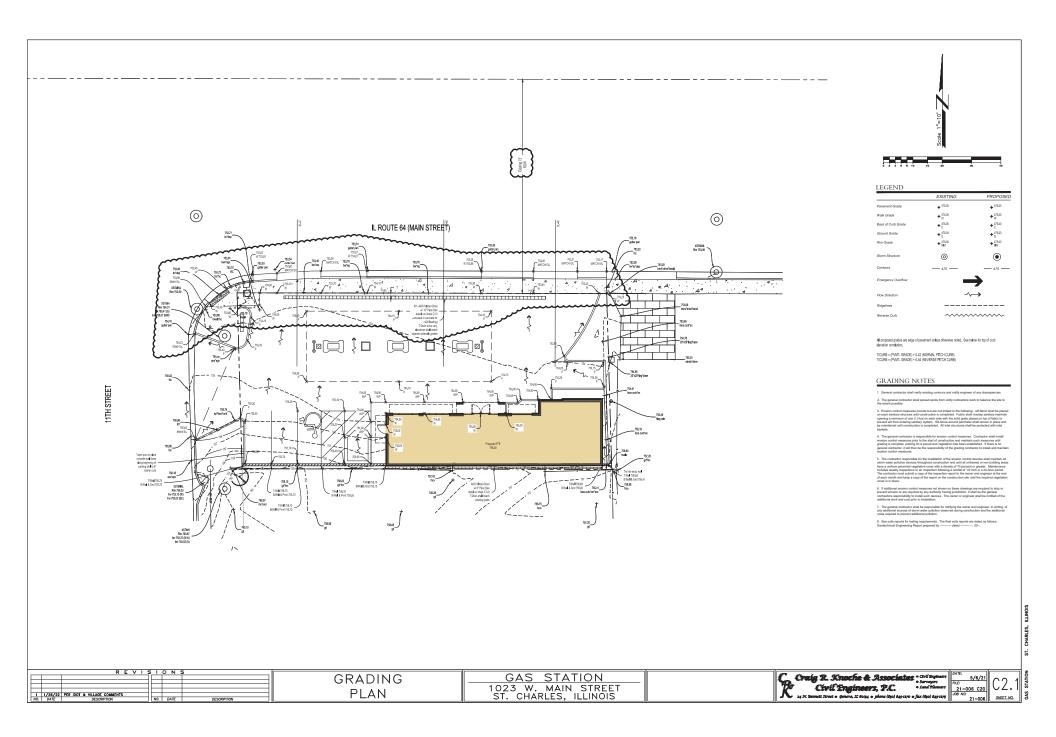
CONTRAC BEFORE S CALL LOC LOCATION J.U.L.I.E. DOES NOT MARK THESE LOCATIONS. REVISIONS TITLE SHEET GAS STATION I HEREBY CO SUPERVISION AND ORDINA K Craig R. Knoche & Associates 5/6/2 1023 W. MAIN STREET ST. CHARLES, ILLINOIS Civil Engineers, P.C. 21-006 C01 & INDEX 1 1/26/22 PER IDOT & CITY COMMENTS NO. DATE nett Street o Ge A. IL COIR4 + phone (CRO) \$45-1270 + fax (CRO) \$45-12 21-006 DESCRIPTION STEVEN R. KUDWA, P.E ISED ENGINEER #

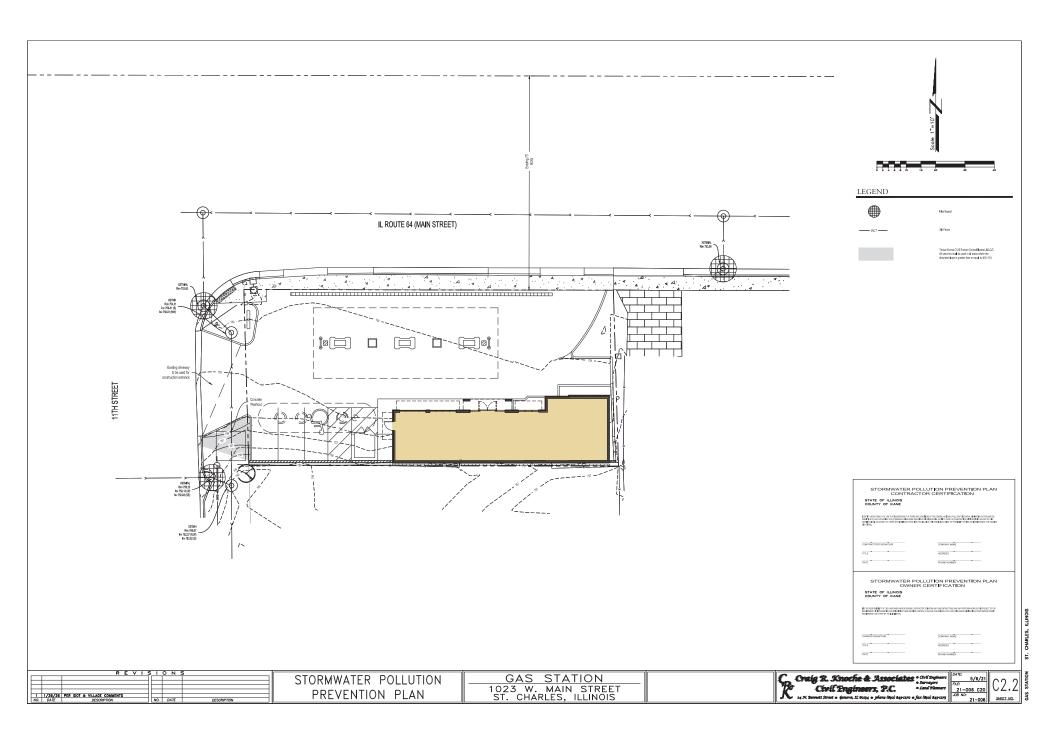
CONTACTS











EROSION CONTROL NOTES

1. UNLESS OTHERINSE INDICATED, ALL VEGETATIVE AND STRUCTURAL ERORDA AND SEDMENT CONTROL PRACTICES WILL BE CONSTRUCTED ADDOREDNEST DIMINUM STANDARDS AND SPECIFICATIONS IN THE LLINDS URBAN MANUAL REVISED FERNARY, CONSTRUCTION

2. THE COUNTY MUNCPPULITY MUST BE NOTIFED AT LEAST ONE WEEK PRIOR TO THE PRE-CONSTRUCTION MEETING, THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES AND FINAL INSPECTION.

3. A COPY OF THE APPROVED STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES. 4. PROR TO COMMENDIA UNCLETUREND ACTIVITIES IN AREAS OTHER THAN INCLUTED ON THESE PLANS INCLUDING SUT NOT LIATED TO ADDITIONAL PANSES OF DAVID, CAMENT AND OFFERT EXORONO DAVIDSTI AREAS, A SPAREMENTARY STORMINGER POLITICIPARED STOLOUR PLAN SHILL BE SUBMITTED BY THE OWNER FOR REVIEW BY THE COMMITMINIC PLANT PROFERS.

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3, ANY AND ALL INCIDENTS OF NON-COMPLIANCE MUST BE SUBMITTED TO KARE COUNTY. THE OWNER AND JEPA.

11. THE CONTRACTOR SHULL BE RESPONSELE FOR NOTIFYING THE CUIVER, ENDINEER AND THE COUNTRIMUN CAPLITY, N WRITING, OF ANY ADDITIONAL SCURCES OF STORM WATER POLLITION OBSERVED DURING CONSTRUCTION AND THE ADDITIONAL COSTS REQUIRED TO PREVENT ADDITIONAL POLLITION. 11. REFER TO LANDSCAPE PLAN FOR LOCATIONS AND SPECIFICATIONS OF SCODING AND SEEDING.

12. STOOPELES SHALL NOT EUCEED 21 SLOPELS STOOPELES PERMANNE IN PLACE LONGER THAN IN DAVS SHALL BE REGUERE TO HAN EL COLT, AF BEEM IN INSTALLER, ALL STOOPELES SHALL BE REGIPPED ATTI-BLIT FORCE PRUSE TO THAN OF DEMITHANIS SHALL AS A TERPORAVE SELVICION (ITCH SHALL BE INSTALLED AROMA) PERMETER OF STOOPILE WITH BLT FENCE LOOVED ON DOTH SANS OF (ITCH).

11 ALL ADJACENT STREETS MO ROADWIN'S SHALL BE KEPT CLEAR OF DEBRIS DALY INSPECTIONS AND CLEANING ARE REGUEDD AS NECESSARY, CLEANING SHALL BE DONE WHEN DEDIED NECESSARY OF AUTHORIZES TO PREVENT HAZARDS TO MALEN OR REMINED UTLIERS INCLUDING OUR BANG USTITES IN LESS DOTORSE BYC.

14. STARLIZATION OF DISTURBED AREAS MUST BE INTINTED INTEN 1 WORDING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH ISTURBING ACTIVITIES AND SMALL BE COMPLETED AS SOON AS POSSELE BUT NOT LATER THAN 14 DAYS FROM THE INTENNO OF THE STARLIZATION WORK IN AN AREA.

15. DURING DEWATERING OPERATIONS, WATER HILL BE PUMPED INTO SEDIMENT BASINS OR SLIT TRAPS, DEWATERING DEECTLY INTO HELD TLES OR STORW WATER STRUCTURES IS PROHEITED.

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17. STOCKFLES OF SOL AND OTHER BUILDING MATERIALS TO REMAIN IN FLACE NORE THAN THREE (S) DAYS BHALL BE FURNISHED WITH PROSING AND SECTIONITIC), MEASURES (EL; PERMIETER SLT FENCE), STOCKFLES TO REMAIN IN PLACE FOR IN DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.

14. COMPLETED BLOPES SHULL BE SEEDED AND MUCHED (OR BLAMBETED (FLAPPUCALE) AS THE BXCANDIN PROCEEDS TO THE DITINT COMPLETED DISTINUEL AND PRACTICAL, PERMANENT SEEDING SHULL BLOOD MINDLY PROCEEDING UNDER NO DISCUMENTINGES SHULL THE CONTINUED REPOLLING FINAL BACKING AND SHAFING SO THAT THE INTER PROJECT WAS REPAINDENT SEEDED AT ONE TIME.

18. THE CONTRACTOR IS RESPONDED FOR INSTALLATION OF ANY ADDITIONAL BROSCIN CONTROL MEASURES NECESSARY TO PREVENT ENCIRCIN AND SEDMENTATION AS DETENDINED BY THE CONTROLING JURISDICTION.

20.1115 THE RESPONSEDUTY OF THE GRUERAL CONTINUENT TO INFORM ANY SUBCONTRACTORS) WHO MAY PERFORM WORK ON THE PROJECT OF THE RECORDERINGES IN INFERENTIAL AND MARCHING THESE EXCENSION CONTROL PLANS AND THE MATCHINE PROJECTION TO BOOKINGE ESCHARGE ESLIMINITION SYSTEM (IPPOSE) PERMIT RECURSIONS SET FORTH BY THE LIMBLE INC.

21. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED INTO STORM WATCH POLLUTION PREVENTION SHALL GETWINA COPY OF THE STORM WITCH POLLUTION PREVENTION FLAV AND THE STATE OR HATTAME, POLLUTIANT DECLARADE ELIANATION SYSTEM GENERAL FRONT UNDERS PREVENTI AND BECOME FAMILIER UNT III THERE CONTENTS

22. CONTRACTOR SHALL MPLISHENT BEST MANAGEMENT PRACTICES AS RECURSED BY THE SWPPP, ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONAL AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PRASES OR CONTRACTINGTION.

23. BEST INWARENENT PRACTICES (BMPS) AND CONTROLS SHALL COMPORE TO REDERAL, STATE, OR LOCAL RECURRENTS OR INVALUE, OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL MAY EVENT ADDITIONAL CONTROLS AS DESCTED BY PRIVETING ADDITIONAL OR OWNER.

24. SMPP PLAN INIST CLEARLY DELINEATE ALL STATE INITERS AS WELL AS ANY ACTIVITY INPACTING STATE INATERS OR REGULATED VETLANDS: ALL AREAS INIST BE MANTAINED ON SITE AT ALL TIMES.

25. GENERAL CONTRACTOR SHULL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA HIM CH SHALLALSO BE USED AS THE EQUIPMENT MANTENIANCE AND GLEMING AREA, EIRFLOYEE PARKING AREA, AND AREA PORTLOCATING PORTARLE PACILIDES, OFFICE TRAULINS, AND TO LET FACULTIES.

28. ALL WASH WATER (DONORETE TRUCKS, VEHICLE CLEANING, BOULPMENT OLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DEPOSED.

27. SUFFICIENT CL. (ND GREASE ASSORBING WATERING AND FLOTATION BOOMS SHALL BE MARTAINED ON SITE OR READLY ADDLASE TO CONTINUAND DLEWUP FLEL OR CHEMICAL SPLLS MOLEMAS.

21. RUBLISH, TRASH, GARBINGE LITTER OR OTHER SUCH MATERIAL SHALL BE DEPOSITED INTO SEALED CONTAINERS, IMITERIAL SHALL BE FRENENTED FROM LEW IND THE PREMISES THROUGH THE ACTION OR WIND OR STORM WATER DECHARGE INTO DRAINAGE DITCHES OR IMITERS OF THE STATE.

26. STORM INTER POLLUTION PREVENTION MEASURES AS SHOWN ON THIS PLAN ARE TO BE INFLATED INMEDIATELY AT THE START OF CONSTRUCTION.

a. The Lambdown and equilibrium of the second se

3. STALE DOTOR OF REFERENCE AREAS MADE, AT A MANAGE EL MILITOTE MEDITEMENTE AVMENDERS ANY CLEMENT GARGER LEGISTATION, DE CONSESSIONE IN STREMENTA CATERIES ANAL REPRESENTATI COSTOS DO MANY VOLTIMOTA CONSESSIONAL DE CONSESSIONE DE LEGISTATIONE DE LEGISTATIONE DE LEGISTATIONE CONSESSIONE DE LEGISTRATIONA DE REINER DE ANDRE EL MILITOTE MEDITEMENTA LEGISTATIONE CONSESSIONE DE LEGISTRATIONAL DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA DE LEGISTRATICA LEGISTRATICA DE LEGISTR

DESCRIPTION

NO. DATE

REVISIONS

NO. DATE

DESCRIPTION

SOIL STABILIZATION NOTES 1. TOPSOL AND VEGETATINE COVER - STRP TOPSOL AND REMOVE EXISTING VEGETATION. STOCKPILE ON-SITE (FOR RELISE) AT LOCATION DESIGNATED.

2. PERMINENT SEEDING - INVESTIGELY FOLLOWING FINSH GRADING AND TOPSCI, PLACEMENT INSTALL SEEDING OR SCO IN VERSEAS IS DESIGNATED ON PLANS.

PIWED AREAS -INSTALL THE ARGREGATE BASE AS SOON AS THE CONSTRUCTION SEQUENCE TO PROVIDE REQUIRED STARLED/IDM.

SLOPE PROTECTION PROTECT SEEDING ON STEEP SLOPES WITH INLONE DOELSION BLANKET, OR EQUIN. EROEDIN BLANKET SHALL BE REQUIRED ON ALL SLOPE'S GREATER THAN ARE TOT.

SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND IDORIN.

DUE TO THE ORACE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDURATION/TIPIC MEASURES (SLIT FENCES, ETC.) TO PREVENT BROSION, AND

SEDIMENT CONTROL NOTES

ADJACENT PROPERTY - PROTECT ADJACENT PROPERTY FROM SECIMENT DEPOSITION BY PRESERVING A VEGETATED BUFFER STRIP OR BY SECIMENT BARRIERS OR PLITERS AT THE LOWER PREMIETER OF THE LOT.

2. SEEINENTATION CONTROL SHALL BE PROVIDED IN ALL AREAS AROUND THE STOCKPLE AREAS. STORM SEMER IN LET PROTECTION - THEX STORM OR APPROVED EQUAL INLET BASNETS SHALL BE PLACED IN ALL INLETS AND SLIT FENCE SHALL BE INSTALLED AROUND EACH INLET.

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Nacaminal Instantiana, Bina

5. SOL EROSION AND SEDMENTATION CONTROL MEASURES TO BE CHECKED WEEKLY AND AFTER EACH RAIN, CLEAN AND RESTORE AS RECURRED.

ALL MATERINGS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADINAYS OR INTO STORM DRAINS MUST BE REMOVED INMEDIATELY.

7. DUST ON THE STRUL BE CONTROLLED. THE USE OF MOTOR OLS AND OTHER PETROLEUM BASED OR TONIC IJOUTS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

8. REMOVAL OF CONTROL MEASURES: DEPOSE OF ALL TEMPORARY EROSION AND SEDMENT CONTROL MEASURES WITH 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHEVED.

ALL WASH WATER (CONDRETE TRUCKS, VEHICLE CLEWING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.

LULESS OTHERWISE INCIGATED, ALL VEGETATIVE AND STRUCTURAL BRORDM AND SEDIMENT CONTROL PRACTICES INLL BE CONSTRUCTED ACCORDING TO VIDAMAN STRUCTURAL BRORDM AND SEDIMENT CONTROL PRACTICES. LATEST CONTINUE ACCORDING TO VIDAMAN STRUCTURAL BRORDM AND SEDIMENT CONTROL PRACTICES.

11. A COPY OF THE APPROVED BROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES

15. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL BROSION CONTROL MEASURES MEDISSARY TO PREVENT ENDERON AND SEDMENTATION AS DETERMINED BY THE COVERAINS SCIL. AND WATER COMERVIATION (DISTRICT.

14. DURING DEWATERING OPERATIONS, INATER INLL BE PUMPED INTO SEEMIENT BASING OR SLIT TRAPS, DEIMATERING DRECTLY INTO FIELD TILES OR STORMMATER STRUCTURES IS PROMINED.

IS, CONTINUETORS OF SUBCONTINUETORS IIILL BE RESPONDED. FOR BRIDING SEDIMENT IN THE DETEMPTION POND AND AND AND SEDIMENT IN THAT WANNED COLLECTED IN THE STORM SENIER BRUINNES SYSTEMS IN CONLINETION WITH THE STARL BRUINN OF THE SITE.

IS, THE PRIMARY IP APPORT OF ALL SCALES AND ADDRESS TO CONTROL SHIPS SEED MANACONKIN PRACTICES (L) TO PERSON REALISTANCE OF ALL SCALES AND ADDRESS ADD

17. PRICE TO FILING FOR NOTICE OF TERMINATION, THE SITE SHOULD BE PROPERLY STABLIZED, ALL VEDETATED AREAS SHOULD HAVE ESTABLISHED PEREVINIL VEDETATION WITH UN FORM COVERAGE OF 70% OR OREATER 16. CONTRACTOR TO KEEP PAVEMENT OLEAN OF IND AND DEBRIS USING SWEEPINGI SCRAFING EQUIPMENT TO BE STORED OWNER.

19, PROVIDE VEHICLE WASHOUT FOR VEHICLES ENTERING THE SITE.

SCHEDULE

(1 WEEK) MOBILIZATION, INSTALL EROSIDN CONTROL, STRIP ANY VEGETATION

- 2 (2 WEEKS) TOP SOL STREENS AND MASS GRADING 3 (2 WEEKS INSTALL REMAINING UNDER GROUND STORM UTILITIES AND IN LET PROTECTORS
- 4.(2) INTERSTINGTALL SANITARY WATER GAS, ELECTRIC AND TELEPHONE UTLITIES.

5.(1 WEEK) PREPARE AND FINE GRADE SITE.

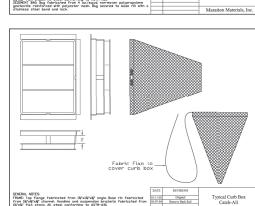
6. (2 WEEKS) INSTALL CURBS AND STONE BASE FOR PW/ING. 7. (2 WEEKS) CONCRETE AND ASPHALT PAVING

8. (2 WEEKS) INSTALL LANDSCAPING AND REMOVE TEMPORARY EROSION CONTROL MEASURES.

STABILIZATION PERMANENT

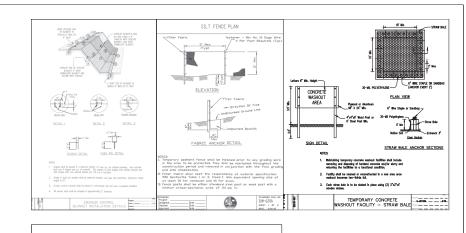


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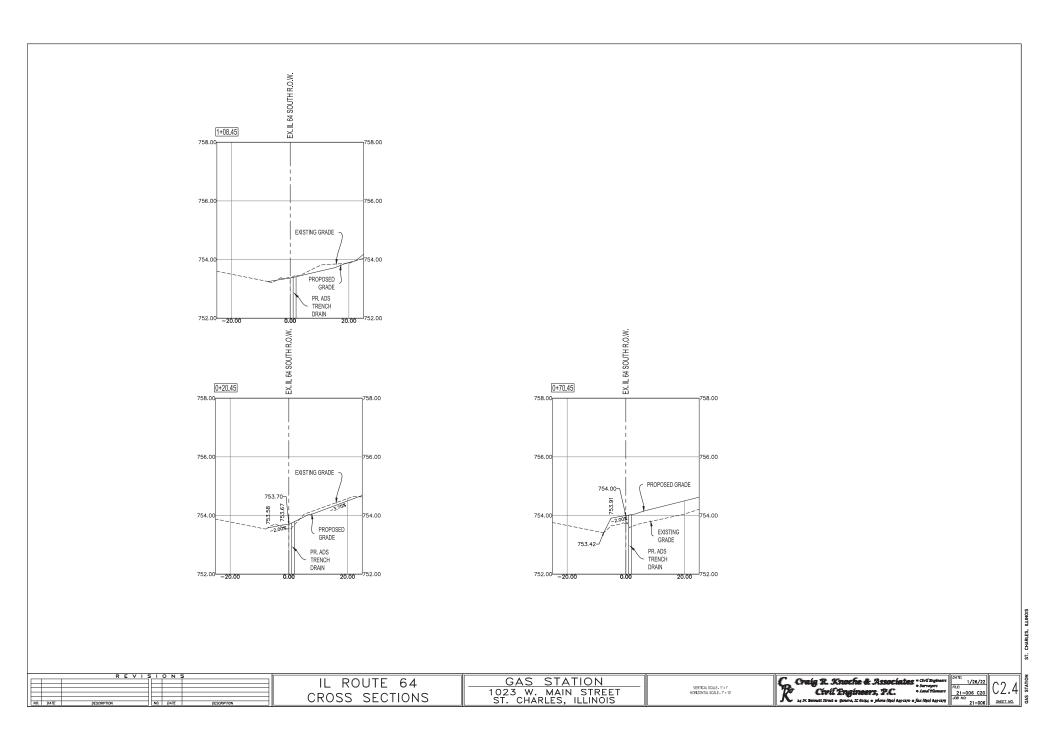
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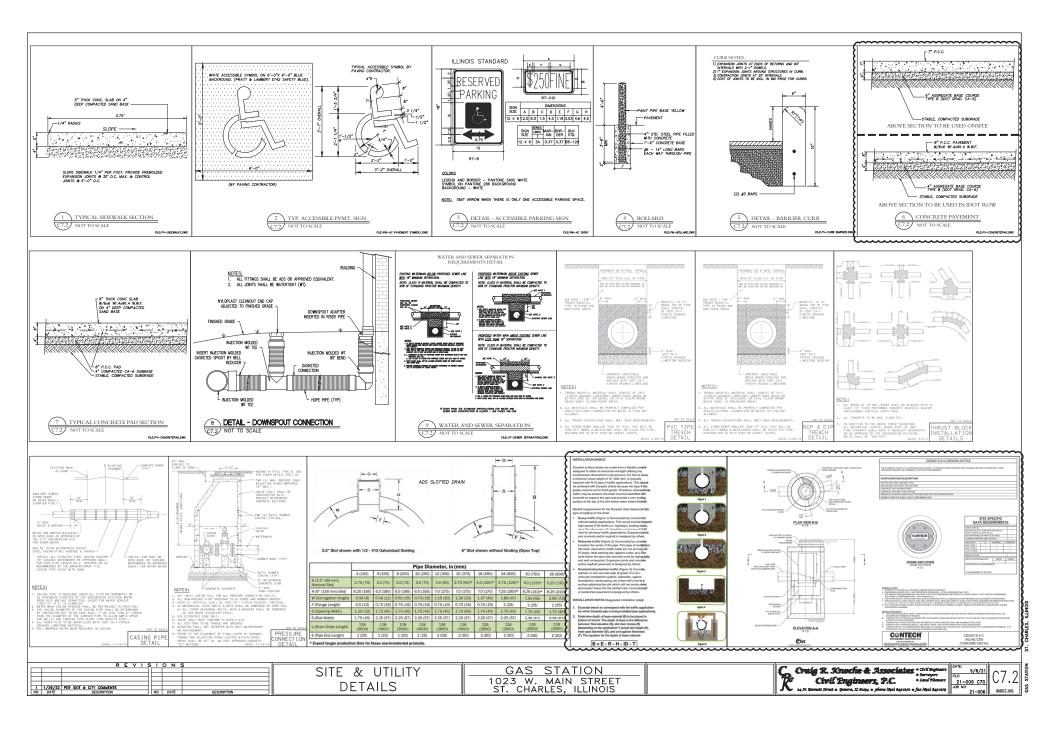
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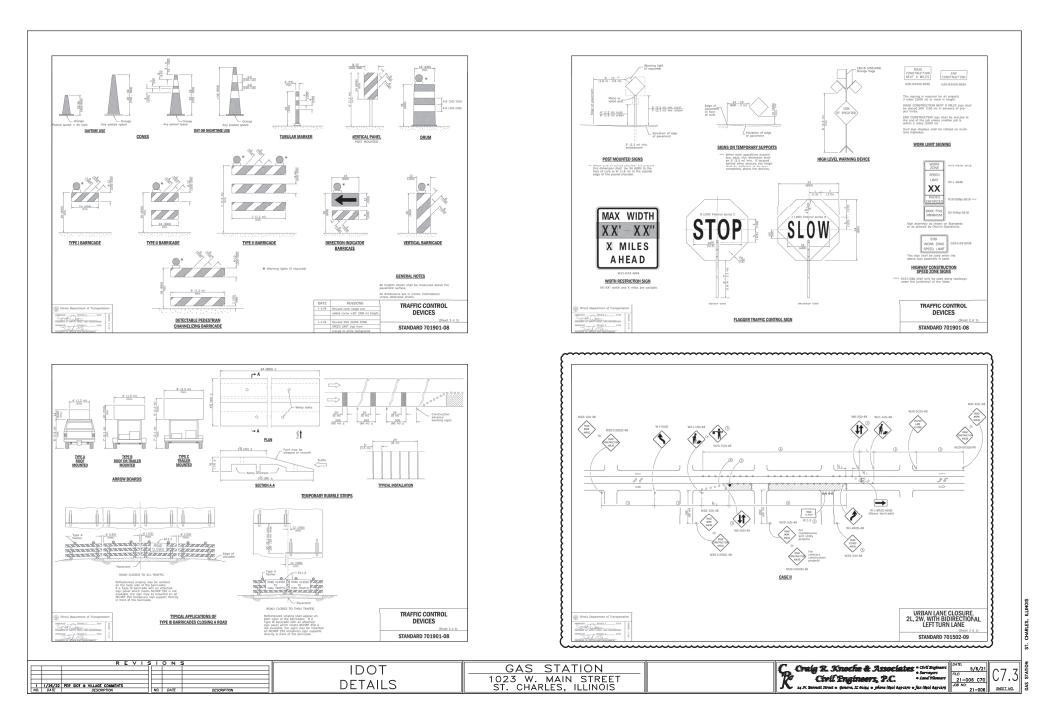
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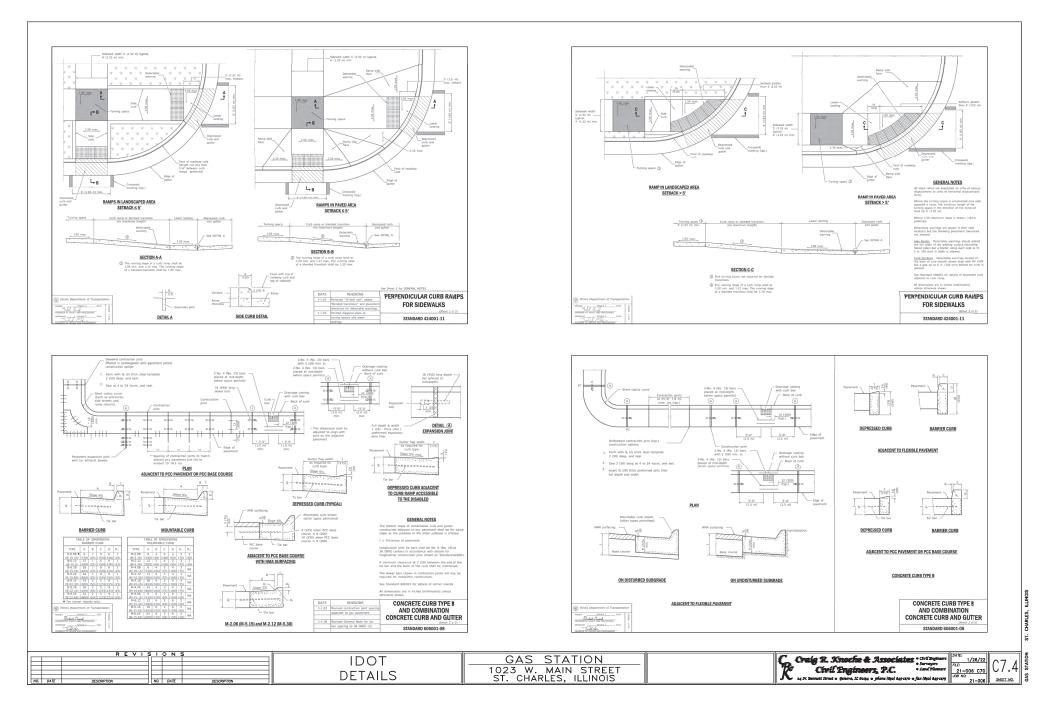


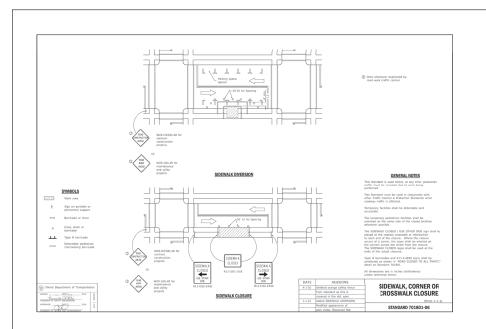
	GENERAL NOTES & SPECIFICATIONS	EARTHWORK NOTES & SPECIFICATIONS	GENERAL NOTES FOR SANITARY SEWER CONSTRUCTION		The piece and de told on theil I will be undiremply supported for its initial respits, the Stacking of any link and be used to object the days to graves except their embeddemic concrete is used. Bedding shall be a ministrum sta- tistic state of the state of the state of the state of the state is a state of the state of the state of the state of the state is a state of the state of the state of the state of the state of the state of the state of the state of the state of the state of the state of the concern of the piec by a state of the state of the state of the state of the state. It is a state of the state of the state of the state of the of the state. It is constration and the state of the piece is and to other in a state material state of the piece is and the state of the collecter in a state material state of the piece is and the state of the other is a state material state. The state of the piece is a state other is a state material state of the piece is a state of the state of the state of the other is a state material state of the piece is a state of the state of the state of the other is a state material state. The state of the state of the state of the state of the other is a state material state of the state of the state of the state of the other is a state material state. The state of	 All horizontal and vertical separation between water main services and storm sanitary sewer shall be the same as listed in water main note 7. 	
	 All roadway and pavement construction shall comply with the requirements of the latest Minois Department of Transportation "Standard Specification for Road and Bridge Construction" or latest edition, except as may be modified by the project plans and specifications. 	 All trenched in green / landscape area shall be backfield with earth compacted to 90%. A minimum of 6 of topsal shall provided in green / landscape areas. Trenches in all proved areas, curbed, and sidewalk areas shall be back filled with approved Engineering Backfill compacted as 95% modified Proctor. 	DESIGN STANDARDS	MANHOLE / SEWER PIPE MATERIALS AND INSTALLATION SPECIFICATIONS MATERIALS	except when embedment concrete is used. Bedding shall be a minimum of	storm sanitary sewer shall be the same as listed in water main note 7.	
	requirements of the latest Ninois Department of Transportation "Standard Specification for Road and Bridge Construction" or latest edition, except as	compacted to 90%. A minimum of 6"of topsoil shall provided in green / landscape areas. Trenches in all paved areas, curbed, and sidewalk areas	A. Sanitary sewer system		six (6) inches in depth. The bedding material shall be placed and worked in around pipe by hand to provide uniform support, then around and over	⁹ 9. Service lines (1.5° and smaller) shall be copper water tube, type k, an soft temper for underground service conforming to ASTM B-88 and B-22 and also conforming to all Village requirements.	d it
	may be modified by the project plans and specifications.	shall be back filled with approved Engineering Backfill compacted as 95% modified Proctor.	Sanitary sever system shall be designed to meet Illinois Environment	1. PIPE & FITINGS Pipe and fittings used in sanitary sewer construction, unless otherwise	the crown of the pipe by a minimum thickness of twelve (12) inches. The granular embedment material shall be placed and consolidated the full width	and also conforming to all Village requirements. h 10. The water main will be pressure tested according to Local Requirement	
	All underground construction shall comply with the requirements of the latest "Standard Specifications for Water and Sever Main Construction in	2. All disturbed areas shall be restored and positive drainage must be	Main Construction in Ninois, latest edition, Metropolitan Water Reclan	Water specified and approved by the City, shall be polywinyl chloride (PVC) pipe. ation PVC Pipe and fittings dated over one year old shall not be permitted for	of the trench. The contractor shall be required to install the pipe in such a manner that the diametric deflection of the pipe shall not exceed five	10. The water man will be pressure tested according to Local Requirement	it .
	2. All Underground construction and compy with the requirements of the latest "Standard Specifications for Woter and Sewer Main Construction in illinois", illinois municipal league, latest adtion, except as may be modified by project plans and specifications.	maintained.	Sonitory sever system shall be designed to meet illinois Environment Protection Agency (EPA). The Standard Specifications for Sever and District of Orester Chicago and other applicable requirements. The d shall incorporate the more stringent requirements of the following it agency requirements:	sign use. ms or The types of PVC pipe and fittings that shall be used in the City include: ~ PSM Poly(Vinyi Chloride) (PVC) Sewer Pipe and Fittings (ASTM - SDF	(5) percent and the materials surrounding the pipe shall be placed as outlined in ASTM D-2321.	11. Stretce pipe per load predictional genery registrements. Michnam water mak holinolite, lost dhaft and load of the set mich of a choice water make holinois farst and inclusifie be choice water shaft and of a bolinois farst. The periods for the water main shaft and be of least 10 pp and 10 the end of that time the chiefere residual shaft be of least 10 pp application shaft be made and to choice residual shaft be at least 24 bolinois farst. The periods for the residual shaft be at least 24 bolinois farst shaft be made and be made and be made and be the residual shaft be made and be made and be therefore predictions and watt for parallelity and being chiefered and be residual fast farst predictions and watt for problems and watt for farst predictions and watt for problems and watt for problems and watt for problems and watt for problems and the registered of parts and problems and the registered for problems and problems and the registered for problems and the registered for problems and the registered for problems and problems and the registered for problems and the registered fore problems and the registered for problems and th	
		3. All landscaping must be restored to its original condition. Replacement of all black dirt, seed, trees, bushes, etc. shall be provided by the contractor and guaranteed for one year following final inspection by the local governmental agency having jurisdiction. Guarantee shall include repair of trench settlements as needed to bring trench to and righting grade.		 PSM Poly(Vinyl Chloride) (PVC) Sewer Pipe and Fittings (ASTM – SDF series), 	PVC transition fittings shall be used in all new construction when joining	least 50 parts per million available at each outlet where sampling can be obtained from. Test periods for the water main shall be at least 24 hou	vs
	3. All work shall be in accordance with the standard specifications of the Municipality. Each Contractor shall be provided with the applicable sections of this specification in the bid package.	contractor and guaranteed for one year following final inspection by the local governmental agency having jurisdiction. Guarantee shall include	 Each single-family lot or each building in other than single-fam development shall be served with a separate sanitary sever service. 	Y conforming to ASTM Numbers D-1784, D-3034 for SDR 26, D-3212, F-412, and F-477, and	PVC pipes of different outside dimensions. Pipe connections of dissimilar materials in existing sewers shall be made with a non-shear flexible	and at the end of that time the chlorine residual shall be at least 10 pp at the sampling points. If chlorine residual is less than 10 ppm, addition	m al
	4. All elevations shown are plus and are NAVD88 Datum.	repair of trench settlements as needed to bring trench to original grade.	 All structures shall include provisions for an overhead sever sys unless otherwise approved by the Utilities Superintendent or Director Data 	~ Iron Pipe Sized (IPS) Poly(Vinyl Chloride) Pressure Rated Pipe and Fittings (ASTM - SDR	PVC transition fittings shall be used in all new construction when joining PVC pipes of different outside dimensions. Pipe connections of disamilar materials in existing severes shall be made with a non-shear flexible neoprare Mission [®] arond connector with stainless steel bands, where no "hub" exist.	application shall be made and the retention period repeated until the required 10 ppm residual is obtained. After obtaining successful test	
	5. The Municipal building and engineering departments shall be notified at	 Existing drainage patterns shall be restored following construction. Positive drainage shall be maintained throughout construction. 	Public Works.	PGM Poly(Wg) Clotride) (PkV) Sever Pipe and Fittings (LSTM - SS articly, many global SM - SS article SS are provided and the SSR 26, D-3312, P-122, and P-477, and response of P-477, and response provided and Pipe and article, conforming to ASTM Numbers D-1784, D-2341, D-3318, F-412 article, conforming to ASTM Numbers D-1784, D-2341, D-3318, F-412 article, Top dP past and (DS TeV/Vh) Choiride) Pressure Rolet Pipe article, conforming to ASTM Numbers D-1784, D-2341, D-338, F-412	Service connections to new mains shall be with a tee/wve fitting with a 6"	 water is the same chemical and bacteriological quality as the water source 	ne.
	least two (2) working days prior to start construction. The contractor is responsible for notifying all jurisdictional agencies and all utility companies	 All existing utilities or improvements, including work, curbs, povements, driveways, and parkways damaged or removed during construction shall be restored to their original condition. 	3. Manholes are to be provided at each change in direction of flow	~ Ductile Iron Pipe sized (DIS) Poly(Vinyl Chloride) Pressure Rated Pipe and Fittings (AWWA	branch. Service connections to an existing main shall be with an inserta-tee brand fitting. No cutting or disrupting of any main will be	12. There will be no 90 degree bends permitted on watermain installations	L.
	5. The Municipal building and engineering departments shall be notified at least two (2) working days prior to start construction. The contractor is responsible for notifying all straidctional agreemeds and all utility companies with facilities that may be affected by the proposed construction, and ensuring that all underground lines are located, prior to commencing	restored to their original condition.	Public Works. 3. Marchicles are to be provided at each change in direction of float change lines be size, change in stage, change is matching and of a co- intersection. Machinum manches packing is three hunder freet (300), feasible, the sonicary severe system shall be designed so as to provi- manhores to be installed within the R.Q.W. Sonicary severe installed the rights-of-may shall not be placed more than eight feet from ex- provement.	and Fittings (AWWA Where DR-series) conforming to AWWA C-900, AWWA C-905, and ASTM e for Numbers D-1784, D-2241, within D-3139, F-412, and F-477.	Service connections to new mains shall be with a tee/wys fitting with a 6° branch. Service connections to an existing main shall be with an "newto-less brand fitting. No cutting or disrupting of any main will be allowed. Contractor shall hand-work hounching aggregate and place / replace initial backfit over connection to protect sever main.	13. All fittings shall be installed Field Lok (Tyler MJ Accessories).	
		6. See soil report for testing requirements.	reasible, the santary sever system sharbe designed so as to provi manholes to be installed within the R.O.W. Sanitary severs installed	within D-3139, F-412, and F-477.	Gast iron clean out covers conforming to ASTM class 25 or higher shall be	 Manholes used for valve vaults will be a minimum of five (5) feet in diameter measured internally. 	
	All work to meet the Municipal Supplemental Codes unless the state codes are more restrictive.	7. The contractor is addeed that all bordpa have been performed for this project. Boyle gas and the set invest are available from the employee. This report is addeed <u></u> and prepared by moort and bordpa are a part of the of the bodding addeemates and is the solt reports and bordpa can be and of the picture at the the bodding addeemates. The picture addeed and the bodding addeemates and is the solt reports and bordpa can be and the addeed addeed and the bodding addeemates and the bodding addeemates and the bodding addeemates.	pavement.	within D=3139, f=412, and t=477. AI PVC plastic pipe and Rithings shall have a cell classification of 12454 of C as defined in ASTM D=1284 and shall have a minimum pipe stiffness as shown below in Table 1. The required Standard Dimension Ratio (SDR) for PVC pipe and fittings shall be selected based upon the depth of cover as also shown in Table 1.	Cast iron clean out covers conforming to ASTM class 25 or higher shall be required for all samilary sever services located in any paved surface. Locations of said covers shall be determined at the time of plan review.	alameter measured internally. 15. Contractor must install a 1° fland care, for filling and chloringting.	
	7. The contractor(s) shall indemnify the owner, the engineer, and the	engineer. This report is dated and was prepared by	 Provide calculations to substantiate the available capacity of the receiving sever. 	for PVC pipe and fittings shall be selected based upon the depth of cover,	FINAL ACCEPTANCE AND TESTING OF SANITARY SEWER	13. Consuctor most instan of 1 mareo corp. for mining and chlorindung.	
	7. The contractor(s) shall indemnify the owner, the engineer, and the municipality, their agents, etc and illicols Department of Transportation. From all illubility involved with the construction, installation and testing of the work on this project.	and borings are a part of the of the bidding documents and is the soll	5. Note on the plans which sewer lines are to be public and privat		Before final acceptance, the sanitary severs shall be tested in accordance		
	the work on this project.	reports and borings are not received with the bid set, it is the bidders responsibility to obtain and review the soil report and borings prior to			with Section 31-1.12 of the "Standard Specifications for Water and Sever		
	All level and proceeding with the "Tilling Urban Manual." The contractor Display control features and be constructed concurring with other work on the sith. The contract and all exerticed concurring with other work polation of streams, lakes and reservoirs with feat, sith, sith, thinks, exist polation of streams, lakes and reservoirs with feat, sith, sith, sith, and operations as a to end or minimise attributes of streams, lakes and reservoir, floatings all not be disped when the son site is too set to driven and the moundy or metalisation set streams, lakes and drivenses and be moundy or metalisation set streams, and manage situations reasonable for remarks setting from this project from atoms	Submitting mar bits. 8 After strikeles and much gradies is completed the exceed sub grade.	6. Pipe shall be faid in approved bedding. Minimum size sever main be eight inches (6 ²). Sanitary severs with an invert elevation fifteen greater in depth shall be ductile iron pipe. Sanitary services shall be minimum of 4 ^e with a minimum slope of 2.00%.	feetor a Minimum	entror find accelerations, the acting means and the tended to accelerate the solution of the		
	Erosion control features shall be constructed concurrently with other work on the site. The contractor shall take sufficient precautions to prevent	8. After stripping and rough practing to committee, the sensed sub prode should be provided. Front Calley may be accompliabled with a buly loaded, fandem-axie atomp track or other equipment providing an equivalent sub grade loading. Unstable areas absended at this thre should be improved by scatification and recompaction or by undercutting and replacement with suitable compacted fit.	minimum of 4" with a minimum slope of 2.00%	Depth of Min National	or exfiltration tests, televising test, and deflection test. The deflection test	st	
	pollution of streams, lakes and reservoirs with fuels, oils, bitumins, calcium chloride or other harmful materials. He shall conduct and schedule his	sub grade loading. Unstable areas observed at this time should be improved by scaling and recompaction or by undercutting and	 When connecting to an existing sever main by means other than existing Y. T. or an existing manhole, one or the following method shall be upont: 	an Type Cover Pipe # Thickness Standards Stiffness	operation and shall consist of measuring the pipe for vertical ring		
	operations so as to avold or minimize siltation of streams, lakes and reservolrs. Hauling will not be allowed when the work site is too wet to	replacement with suitable compacted fill.			imited to five (5) percent of the internal pipe diameter. All pipe exceeding	g	
	maintain acceptable conditions on adjacent streets. Adjacent streets and driveways shall be manually or mechanically swept periodically as may be	 State erosion control measures must be implemented and maintained throughout construction. 	a) Remove an entire section of pipe and replace with a "Y" or "T" section. Fipe section shall be removed by breaking only the top of a Atter the "Y" or "T" branch is inserted, concrete shall be placed or braken area to a minimum thickness of four index (4") and to a dimension of eight inches (4") in all directions.	ranch ne bell IPS 0'-15' 6"-36" SDR 26 ASTM	serviceability and shall be re-laid or replaced by the contractor at their		
	responsible for removing sediment resulting from this project from storm sewers and drainage structures at no additional cost.	10. Contractor shall provide dust control during site work demolition or	After the "Y" or "T" branch is inserted, concrete shall be placed ow	re bell. IPS 0'-15' 6"-36" SDR 26 ASTM rthe 130 D-2241	The east of all definition testing shall be here by the contractor and shall		
	9. The contractor shall be responsible for the compliance with all of the	10. Contractor shall provide dust control during site work demoilition or removal. Contractor shall control dust created from on-site construction and associated traffic using water or other approved means.	broken area to a minimum thickness of four inches (4*) and to a dimension of eight inches (8") in all directions.	D-2241	be accomplished by pulling a mandrel, sphere, or pin-type go / no go	<i>n</i>	
	requirements of the occupational safety and health act including those requirements for open cut trenches and sheeting and bracing as required.	11. Protect trees, plant growth, and features designated to remain as final	b) Using pipe cutter, neatly and accurately cut out desired length of	PS 0'-20' 6"-36" SDR 21 ASTM	The cost of all deflection testing shall be borne by the contractor and shall be accomplished by pulling a mandrel, sphere, or phr-type go / no go device, with a diameter equal to ninsty-two (95) percent of the un-deflected inside diameter of the flexible pipe, through the pipeline.		
	9. The contractor what be responsible for the compliance with all of the requirements of the accupational safety and health act houlding if base requirements for open cut trenches and sheeting and bracing as required. At no time will the engineer only of his engineers be had lable, either directly or as third party participants to any illigation concerned with construction project.	 Protect trees, plant growth, and features designated to remain as final landscaping. Canstruction equipment shall not travel under drip lines of trees to be protected. 	b) Using pipe cutter, neally and accurately cut aut desired length or for insertice of progen fitting. Use "band-seed" couplings or almiter couplings, and energy rings and clamps to fasten the inserted fitting hold it. Firmly in place. Mission couplings shall have the length of bo approximately equal to the pipe diameter. Follow manufacturer's recommendations for the installation.	pipe	MANINO EE		
	construction project.		hold it firmly in place. Mission couplings shall have the length of bo	and DIS 0'-30' 6"-12" DR 18 AWWA 36 C-900			
	10. All existing field drainage tiles encountered or damaged during construction are to be restored to their original condition, property rerouted and/or connected to the storm sever system. The contractor shall keep or record of all locations of field drainage tile encountered unless otherwise	A 13. Remove trees and shrubs, stump, and root system to a minimum depth of the system trees and shrubs, stump, and root system to a minimum depth	recommendations for the installation.	DIS 0'-30' 14"-24" DR 18 AWWA 36- C-905	In months callings, adjusting rings and monote settlens shall be set all monote callings, adjusting rings, and from shall not be motions. Therease, the area between the jike and from shall not be motions. Therease, the area between the jike and the context and the fill ad the context in a rot be benefit and area of the context and the fill ad the context in a rot benefit and area be extensity seeds at its a "6" or "3" able (mi.) settle provide and the context and the rot on circle the rot of the context and the requirements of ASIN C-577. "Tags I or "tigs II. The provide with a fill additional context and the requirements of ASIN C-577. "Tags I or "tigs II. The provide with a fill addition of the requirements of ASIN C-577. "Tags I or "tigs II. The provide with a fill addition of the requirements of ASIN C-577. Tags I or "tigs II. The filter addition of the there is a tigs III. Context is contempt of the filter additional tables that a set of the AFIP or III. A not and the set on the tigs I addition of the IIII. The I addition of the IIII addition of the IIII addition of the IIII addition of the IIII addition of the IIIIII addition of the IIIII addition of the IIIII addition of the IIIIIII addition of the IIIIIIII addition of the IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII		
	and/or connected to the storm sever system. The contractor shall keep a record of all locations of field drainage tile encountered unless otherwise potent	of 42 inches.	c) Pipe penetrations into existing sanitary manholes shall be properland cared and sected with flexible watertight connections. No cut-incomection made by breaking or cutting a hole in the main and insi the splot end of an ordinary sever pipe shall be permitted. No connections to manholes are permitted unless approved by the	sized C-905	purri. rape or approved equal. The inside joints of manhole sections, adjusting rings, and frame shall not be mortared. However, the area		
	noted.	14. Molature Control—Where subgrade or layer of soil material must be molature conditioned before compaction, uniformity apply water to surface of subgrade or layer of soil material. Apply water is maintrum quantity as necessary to prevent free water from appearing on surface during or subsequent to compaction operations.	connection made by breaking or cutting a hole in the main and insi	ting DIS 0'-16' 30"-48" DR 25 AWWA 140 C-905	between the pipe and flow channel shall be filled with cement mortar to provide a flush smooth surface. Each manhole cone and barrel section		
	 Commonwealth Edison, AT&T, NICor gas, and other utility company conduits are not necessarily shown on the drawings and must be located in the field prior to construction. 	subgrade or layer of soil material. Apply water in minimum quantity as	connections to manholes are permitted unless approved by the	* (PSM) is an arbitrary designation for a product having certain dimension	joint shall also be externally sealed with a *6" or **9" wide (min.) sealing band of rubber and mastic. The band shall have an outer layer of rubber		
		subsequent to compaction operations.	A law contrary monholes are to be pre-cast relefered seconds.	regarding Plastic Sewer Mains	or polyethylene with an under layer of rubberized mastic (with a protective film), meeting the requirements of ASTM C-877, **type II or *type III.		
	 The contractor shall field verify the existing conditions and notify Craig R. Knoche & Associates, Civil Engineers P.C. of any discrepancies prior to submitting a bid. 	 Remove and replace, or scarify and air dry, soli material that is too wet to permit compaction to specified density. 	type with a minimum 48" I.D. barrel section, and monolithic bottom	section; "When a soan due to over-dia at any wall or foundation exceeds two (2)	Pipe connections to all manholes through openings (cast or core-drilled) shall be provided with a flexible rubber watertight connector conforming to		
	-	16. Stockpile or spread soil material that has been removed because it is	Pipe penetrations are to be seared wa the use of a cast-in-place synthetic rubber pipe sleeve, which is to be fastened to the pipe wi	feet, a six (6) inch SDR 21 (or greater) PVC pipe sleeve through the wall	ASTM C-923, "Standard Specifications for Resilient Connectors Between Reinforced Concrete Mappele Structures And Rines" A maximum of 8		
	 Contractor will be responsible for repairing all existing pavement damaged during construction that is not specified. 	16. Stockpile or spread soil material that has been removed because it is too wet to permit compaction. Assist drying by discing, harrowing or pulverizing until moisture content is reduced to a satisfactory value.	material strip and/or rubber gasket and a nine-inch (9") MacWrap	extend an additional two (2) feet beyond the over-dig area, resting on	inches of adjusting rings (2 total rings) is allowed. The frame, chimney,		
	14. All concrete used shall be I.D.O.T. class S1.	TRAFFIC CONTROL NOTES & SPECIFICATIONS	external seal band or approved equal. Frames shall be sealed to tr manhole by using either synthetic rubber seals with stainless steel b	ands or schedule 40 pipe that must be sealed at the sleeve, using a six (6) inch	As M C-922, standard specifications for Nessent Connectors between Reinforced Concrete Monhole Structures And Pipes ² . A maximum of 8 inches of adjusting rings (2 total rings) is allowed. The frame, chinney, and top Tip ² of the cone section shall be required to be seened with a x chinney seal. Only Adaptor-Sea ⁷ . Info-Shield ² , or an approved equal with be adjaced. Do not use unapproved seals.	u la	
	15. Subgrade preparation for all povements shown on the drawings shall include topsoil stripping and removal of any underlying unstable/deleterious material.	The contractor in accordance with I.D.O.T. standards shall provide all required traffic control and signs.	a neat sninkable wrap around seeve. Approved systems are exten chimney seals, manufactured by Cretex or Canusa Wrapid Seal ma	VOP® four (4) Inch regular brand mission coupling. The sleeve pipe shall increase tole as necessary to accommodate a larger sever service pipe when required,	e allowea. Do not use unapproved seals. 2 TESTING		
	include topsoli stripping and removal of any underlying unstable/deleterious material.	required traffic control and signs.	required to be sealed. A maximum of eight linches (8") of adjustin	rings PVC pipe fittings conforming to ASTM D-3034 and ASTM D-2241 shall have	e All monitoles shall be tested in accordance with Section 32-12 of		
	16. Apply prime coat uniformly over surface of compacted aggregate base	 The contractor shall maintain temporary access to all roadways and driveways during construction. The contractor shall notify homeowners at least 24 hours in advance of temporary open cuts required to install utilities across driveways. 	may be used. All joints between pre-cast elements, adjusting higs manhole frames shall be set in place using butyl rubber joint sector	 "Crawl is an exharp selection for a product having certain dimension selection." Selection 2014 (1998). Selection 2014 (1998	All manholes shall be tested in accordance with Section 32–12 of "Standard Specifications for Water and Sewer Construction in Illinois."		
	16. Apply prime coat uniformly over surface of compacted aggregate base at a rate of 0.40 gal/SY. Apply enough material to penetrate and seal, but not flood surface. Allow prime coat to cure for 72 hours minimum.	least 24 hours in advance of temporary open cuts required to install utilities across driveways.	ASTM D4101, Type II, Grade 49108, over a 43 grade 60, ASTM A615,	Fittings in sizes through eight (8) inches shall be molded in one piece wit	Vacuum Testing shall be carried out immediately after assembly and prior		
	 It shall be the responsibility of each contractor to notify J.U.L.L.E prior to performing any excavations. 	GENERAL UTILITY NOTES & SPECIFICATIONS	reinforcing bar. Steps shall be at 16 (inch) centers.	elastomenc joints and minimum socket depths as specified in each respective section. Fittings that are ten (10) inches and larger shall be	Vocum Trating and is a contradiction profer assembly and price development. All this has and be forgued with a convertient of an analysis between the second second second second second second second second place. The manked form, adjusting rings and second second second second place in the manked second second second second second second place sections the manked second second second second second place sections the manked second second second second second the place sections of the manked second second second second measured for the secound to drags to the (9) holdes of mercury for the following time packade second second second second second second second time packade second second second second second second second time packade second second second second second second second second second second second second second second second time packade second seco	r	
	to performing any excavations. 18. Cable routing and specification in accordance with village ordinance.	GENERAL DIRITI NOIES & SPECIFICATIONS	 Sanitary sever manores constructed in a nood plain must nove twelve inches (24) above base flood elevation and have a water-tig 	a nm molded or fabricated with elastomeric joints in accordance with ASIM it-lock standards D-1784 and D-3139 incorporating the manufacturer's standard	place before testing. No grout shall be placed in the horizontal joints. All		
		 Water and sever locations taken from drawings by others and must be located in the field by contractor prior to construction, including all elevations of rims and inverts. 	type frame and cover, Neenah R-1916 C or approved equal. Cover n have "SANITARY" cast into the top of the cover.	ust pach size bells and gaskets. Gaskets shall conform to ASTM F-477 and ASTM F-913.	pipes entering the mannale shall be plugged, taking care to securely brace the plugs from being drawn into the manhole with the vacuum testing. A		
	19. The contractor shall provide the municipality and Craig R. Knoche & Associates GWE Engineers, P.C. with a complete set of record drawings within 30 days of completion of the work. Drawings shall include elevations, location of other utilities, services, field tiles, etc.	erevations or rims and inverts. 2. All sewer and water mains trenches under, crossing under or within five	10. Except as provided in #8 above, all frames and covers are to be	Joints shall meet the requirements of ASTM Standard D-3212 or D-3139, East whichever is applicable. Fittings with a gasket retention race formed by	measured for the vacuum to drop to nine (9) inches of mercury. The		
	within 30 days of completion of the work. Drawings shall include elevations, location of other utilities, services, field tiles, etc.	 All sever and water mans trenches under, crossing under or within five (5) feet of existing or proposed curb & gutter, sidewalk, or pavement shall be back filled. 	Index Severithin Local Intil Use Login und covers are to his Cover, the provided in #8 down, of formes and covers are to his cover, Vioratosa hi cashing domenations and les approved by Utilities generation and the severithic and the SAT USE AND AND AND of the cover, Manhole covers and the SAT USEAN WON MONE of the cover, Manhole covers and the SAT USEAN WON MONE and linkuis the Manhole cover and the SAT USEAN WON MONE and linkuis the Manhole Covers and the CAST USEAN and linkuis the Manhole Covers and the CAST USEAN WON MONE and linkuis the Manhole Cashing. Cashing and be coverd himmedited and cover and manhole. All exercises and be coverd himmedited and covers and the AMMA COVER perification.	raled heating or crimping are not permitted throughout the City. Solvent cemented (welded) joints are not permitted, except when used in the	Vacuum shall not drop below nine (9) inches of mercury for the following time periods for each size manhole.		
	 All property dimensions and areas are approximates and subject to change per final survey. 	pe back mea.	SuperIntendent. Manhole covers must have "SANITARY" cast into th of the cover. Manhole covers shall be EAST JORDAN IRON WORKS, p	top fabrication of fittings, by the manufacturer, prior to installation. City of oduct South Beloit reserves the right to approve all pipe and fittings on a	Forty-eight (48) Inches Diameter - sixty (60) seconds		
		 Valve Vaults and manholes frames and rings shall be set in workmanlike manner in easy-stick (or equal) bed. 	No. 102332, catalog No. 1020A, reference No. 102089. The cover c shall include the Municipality's logo. All casting shall be coated	sting case-by-case basis. 2. BEDDING, HAUNCHING, AND INITIAL BACKFILL	Forty-elght (48) Inches Diameter - sixty (60) seconds Sixty (60) inches Diameter - seventy-five (75) seconds Seventy-two (72) inches Diameter - ninety (90) seconds		
	 All dimensions are back of curb unless otherwise noted. All curb radil are back of curb unless otherwise noted. 	 All stubs to buildings shall end 5 ft. from the building. All stubs shall be right angles to the foundation. 	water base asphalt paint, complying to the AWWA C104 specification.	2. Bebeno, monemo, and mine Bacaric. Reddles material shall be Case 14, as sullead in ACDA 0, 2121 and shall	Vacuum Tester shall be manufactured by P.A. Glazler, Inc., Worchester, Ma.		
	 An curb radii are back of curb unless otherwise noted. See architectural plans for exact building dimensions. 		11. All utility and service trenches under or within two feet of paved surfaces or driving areas shall be backfilled with CA-6 material prop horizontal loyers of thiokness. Each layer shall be evenly spread, m (or dries, if necessary), and then tamped or rolled until 90 percent compaction is achieved.	A deading material shall be Class 1A, on availined in ASTM D-2327 and shall be Class 1A, on availined in ASTM D-2327 and shall be confident and approval by the Clay prior to Clay prior to Clay prior to Class 1A, and the following characteristics with the class of the Class 1A, and	Swetty-ties (22) inches Lamater – Intely (20) lecidades Vocum Tester with be manufactured by F.A. Glader, K.a., Warchester, Ma., (P63), phone. (900) 822–4488. All work of testing shall be done in accordinate with the requirements of P.A. Glader, K.a., Contractor shall be requirement of P.A. Glader, K.a., Contractor shall be p.A. Glader, K.a., and refeat unit coorgitable. This lesting shall be externally, and to give the horizontal manhae joints on opportunity to tighter.		
		 Contractor shall mark the end of all stubs with a 4" x 4" wood marker extended to 3" minimum above grade. Markers shall be pointed as follows: Blue – Water, Green – Sanltary, Yellow – Storm. 	surfaces or driving areas shall be backfilled with CA-6 material prop compacted. Mechanically compacted backfill shall be placed in six-in	h ~ Description: Shall be Crushed Stone or Crushed Gravel, as produced	provide all material and equipment necessary for testing. If testing fails, contractor shall seal all leaks with materials and methods as recommended	1	
	 Contractors to verify dimensions prior to starting work and notify engineer if any discrepancies are found. 		for dried, if necessary), and then tamped or rolled until 90 percent	istened mechanical means. elative ~ Gradation: Shall meet the IDOT aradation of CA-7.	by P.A. Glazier, inc., and retest until acceptable. This testing shall be completed before backfilling so that any leaks can be found and fixed		
	 Sidewalk around perimeter of the building shall be integral curb / walk. 	 Install conduit free from crimps and dents. Plug ends to prevent entry of dirt or moisture after installed 	compaction is achieved.	~ Plasticity Index: Shall meet a plasticity index of 0 to 4 percent as determined by the	externally, and to give the horizontal manhole joints an opportunity to tighten.		
	26. All pavement markings shall be painted traffic yellow 4" wide and 2	7. Clean out condult before installation of conductors.		method given in AASHTO T 90. Specific Gravity Shall have a mecific armity (day) of greater than			
	0000	 Conduit outside the building shall be buried minimum 36 inches below grade unless noted otherwise 		2.40.	WATER MAIN NOTES & SPECIFICATIONS		
	 Contractor to provide temporary traffic control measures during construction of entrances of R.O.W. in accordance with Minois D.O.T. Requirements. 	yroue uneas noted omeretae 9. Underground condulte shall have a minimum of 2 inch		~ Sources or Supply: All sources or supply shall be used on the job unless aggregates from these sources shall be used on the job unless approval in writing is obtained from the City.	³⁴ 1. All water service horizontal and vertical separation from sanitary and storm severs shall be the same as water main separations.		
		conducts and be back filled and compacted to the density specified deathers to alling the product of the second		approval in writing is obtained from the City.	2. Water services shall have a minimum of 5.5 feet of cover from finished		
	28. Contractor shall verify with local municipality or controlling jurisdiction as to the necessity for and requirements relating to the inspection by an approved on-site engineer.	9. Underground conduits shall have a mhimum of 2 inch spacing between conduits and be back filled and compacted to the density specified elsewhere to eliminate all air pockets. Conduits from buildus for the lying to fuel pumps may be clustered in the same trench with minimal separation as required by amer.		LABORATORY TEST	y use.		
	29. The Municipal standard notes and details shall take precedence. Crain				3. Any existing utility structures requiring modifications are to be adjusted (up to 12" total adjustment) by the contractor as part of the contract. Any adjustment of 2" or iess shall use preformed rubber adjusting rings, which are 2" or iess in thickness.		
	29. The Municipal standard notes and details shall take precedence. Craig R. Knoche and Associates will not take responsibility for the accuracy of the Municipal details.	10. All underground conduits shall be protected against future excavation damage by plochg a plastic tope marning marking in each trench during backfill. Instal tope full length of the trench.		The City reserves the right to require a contractor to submit certified copies of all reports of fests conducted by an independent lobaratory before installation of PV (pasita pies, rests shall be conducted in accordance with Standard Method of Test for External Loading Properties of Plastic Pips by Paralle-Note Loading.	which are 2^* or less in thickness.		
		11. Contractor shall verify with local municulity or controlling briefletion re-		accordance with Standard Method of Test for "External Loading Properties of Plastic Pipe by Parallel—Plate Loading.	4. All setter mohe and is connect find ductils the plot, deter 52 conforming to 40% C-151 with purph-or or metanolical jubits and and have on minimum of 5.5 feet of cover. Water mohes shall be encoded in the accordance with AMMA C-1502, Tritings and BA and the Cover and the AMMA C-1502, Tritings and BA and the Cover and the AMMA C-1502, Tritings and BA and the Instantial Cover and		
	30. Knoche Engineering PC shall not have control or be in charge of and shall not be responsible for the means, methods, solety, solety precoultons techniques, sequence procedures or time of performance of the client, the contractor, other contractors or subcontractors performing any of the work or providing any of the services on the project	 Contractor shall verify with local munipality or controlling jurisdiction as to the necessity for and requirements relating to the inspection by an approved on-site engineer. 		INTERNAL DIAMETER	have a minimum of 5.5 feet of cover. Water mains shall be encased in polyethiane fin in accordance with AWWA C_105_82. Stilling that hall be		
	contractor, other contractors or subcontractors performing any of the work or providing any of the services on the project			Pipe shall be constructed so that the internal diameter does not decrease	cement lined, tar coated cast iron with mechanical joints rated 250 PSI pe	r	
				Pipe shall be constructed so that the internal diameter does not decrease by more than five (5) percent, in order to provide the complete hydraulic carrying capacity, and to obtain the joint performance at five (5) percent maximum diametric deflection.	shall be installed (see COMM Supplemental Specifications).		
					5. All materials shall be verified with the local authority. Water services		
				PIPE INSTALLATION AND FIELD TESTING	5. All materials shall be verified with the local authority. Water services shall be type K ² copper water tube or the size shaen on the plans, corporations stop, curb size, on diservice back, and or excelled by the municipality, and of necessary lobor, toods, equipment, accountions and bac Bil, for a complete installation as shown on the plans.		
				Ploe shall be constructed in full compliance with the ASTM Standard Specification D=2321 "Underground installation of Flexible Thermoplastic Sewer Ploe".	municipality, and all necessary labor, tools, equipment, excavations and bac fill, for a complete installation as shown on the plans.	×	
				Sewer Pipe".	6. All fire hydrants shall be Waterous Pacer Model WB-67. Auxiliary valve t obe resilter sect wedge gote valve, with valve inite embossed "water". All fire hydrants shall be painted in accordance with the Municipal standards.		
				Trench widths should be stable or supported, provide a width sufficient, bu no greater than necessary, to ensure working room to properly and safely	to be resillent seat wedge gate valve, with valve inlet embossed "water". All fire hydrants shall be painted in accordance with the Municipal		
				place and consolidate haunching and other embedment materials. The space between the pipe and trench wall must be wide enough to hand wa	standaras.		
				and place the haunching material. From the trench floor to twelve (12) inches above the top of place, the minimum trench width shall be the	 Water mans shall be protected in accordance with the requirements of the Illinois EPA. Where a sever (sanitary or storm) crosses below a water 		
				Theoreh whites about the stable or supported, provide a white mathematic targe profile manufactures and the stable stable stables and the property and stables proper between the pipe and three mandematic mathematic and place the househing material. From the trench flows to treate (12) inches above the top of pipe in minimum threat which shall be the authorized and be the dimension of the pipe pipe stables (10) holds and the product dimension of the pipe pipe statem (10) holds and the mathematic threat which mails be the dimension of the pipe pipe statem (10) holds and the pipe pipe threat which mails be the dimension of the pipe pipe statem (10) holds and the pipe pipe statem (10) holds and the pipe statem (10) holds	man, a minimum vertical separation of 18" shall be provided between the top of the sewer pipe and the bottom of the water main pipe. When the		
				When trench wall supports such as trench sheeting, trench index trench	18 vertical separation is not provided and the water main is above the sever (sanitary or storm), the sever shall be constructed to water main		
				When trench woll supports such as trench sheeting, trench jacks, trench shields or boxes are used, ensure the support of the pipe and its embedment is maintained throughout institution, including during and afte	standards for a minimum of 10 feet on each side of the water main unless otherwise noted on the drawings. When the water main crosses below the	5	
				the removal of such supports.	sever (storm only), the sever shall be constructed to water main standard for a minimum of 20 feet on each side of the water main unless otherwise	le 0	
					noted on the drawings. If the water main crosses beneath the sever (storm only), 18" vertical separation shall be provided in all cases. In		
					addition, sewer pipe shall be supported in order to prevent pipe from sagging closer to the water main. Minimum water main cover is 6-1/2		
					standards. A listic make shall be protected in accordance with the requirements of main, a minimum vertical second for a field main process. But we the grant of the second process of the standard main pro- tice of the second process of the standard main pro- tice of the second process of the standard main pro- second (colorlary or atom), the second main pro- second (color main), if the second main corease based in the second colord on the drawed main the color shall be proceed in all croses. In the second (color main) and the second in the second color of the second or above the second in the second color of the second or above the second or above the second atom (color main) and the second or above the second or above atom (color main) and (color main) and (color main) and atom (color main) and (color main) and (color main) and atom (color main) and (color main) and (color main) and atom (color main) and (color main) and (color main) and atom (color main) and (color main) and (color main) and atom (color main) and (color main) and (color main) and atom (color main) and (color main) and (color main) and (color main) and atom (color main) and (color main) and (color main) and (color main) and atom (color main) and	1	
					water main under storm or sanitary sewers.		
					·		
	REVISIONS	GENERAL	NOTES &	GAS STATION	C (m	tig R. Knoche & Associates . Chil Dighum	DATE: 5/6/21
			10		TR.	Civil Engineers, P.C. Surveyors	
		SPECIFIC		23 W. MAIN STREET	K	Semnett Street + Geneva, IL doug + phone (890) 845-1270 + fax (890) 845-1273	11-006 C70
NO. DATE	DESCRIPTION NO. DATE DESC			r. Charles, Illinois	J 24%	20000000 300000 + 2000000, IL 60134 + 20006 (630) 845-1270 + fax (630) 845-1273	21-006 SHEET NO

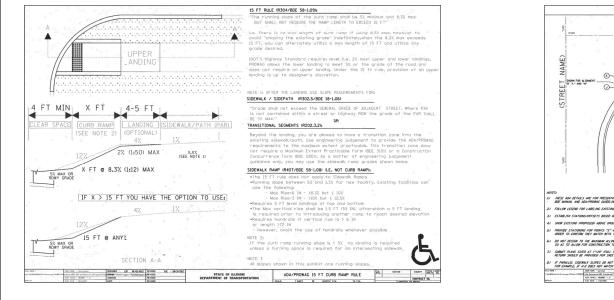
CHARLES, ILLINOIS

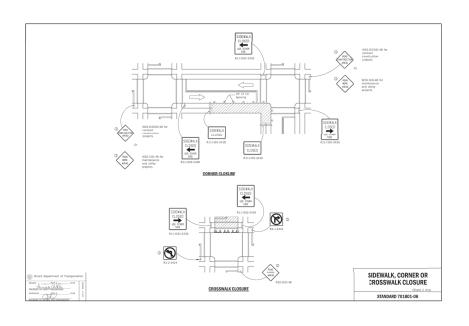


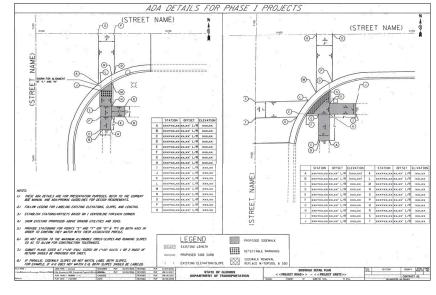




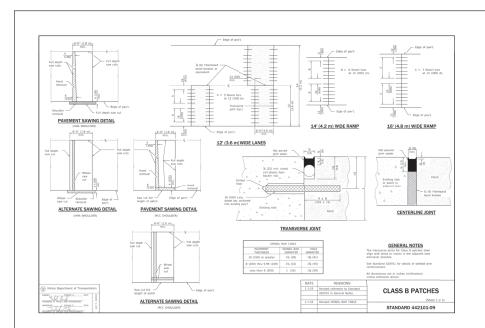


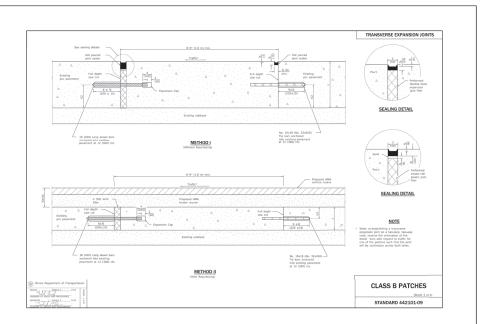




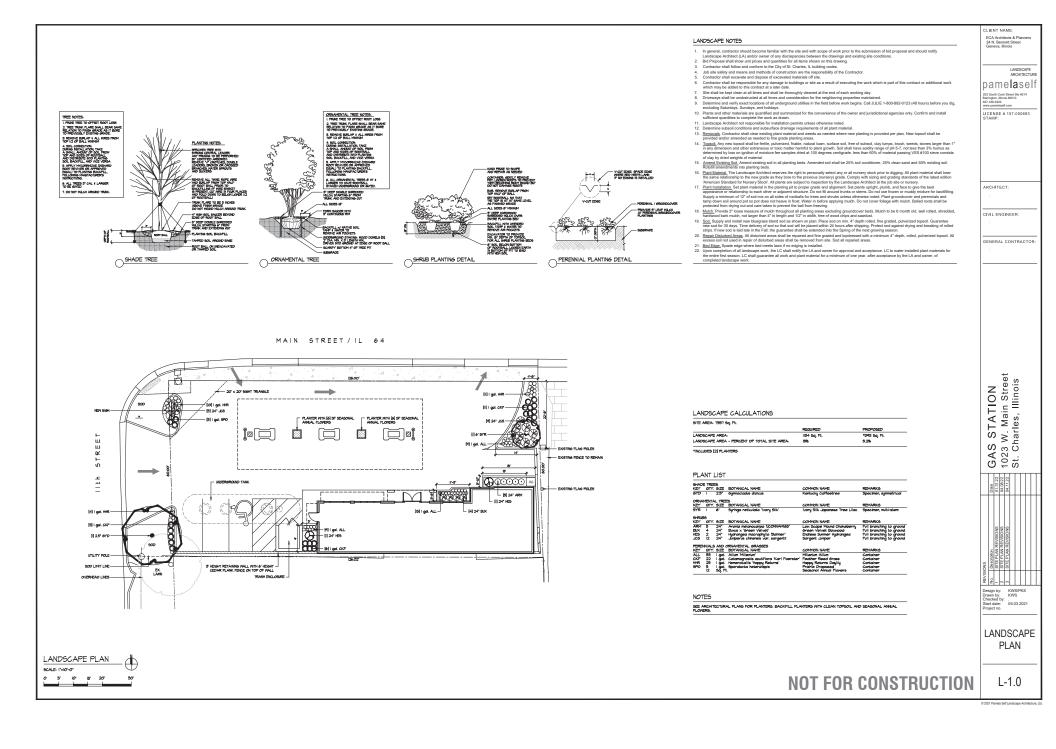


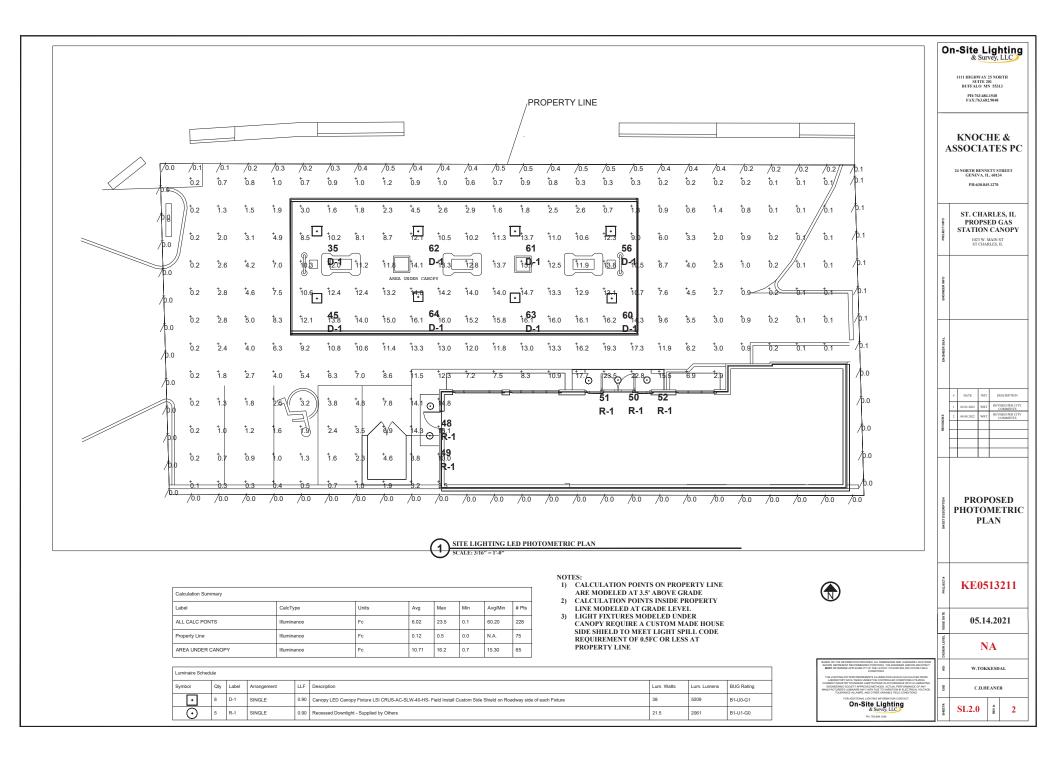
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			1023 W. MAIN STREET	Civil Engineers, P.C. • Surveyors
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NO. DATE DESCRIPTION	NO. DATE DESCRIPTION	ULIAILS	ST. CHARLES, ILLINOIS	🔨 24 5% 2000 at 25 Street & Genera, IL 60:24 & phone (8:20) 845:1270 + fax (8:20) 845:1278 (9:20) 845:128 (9:20) 845:128

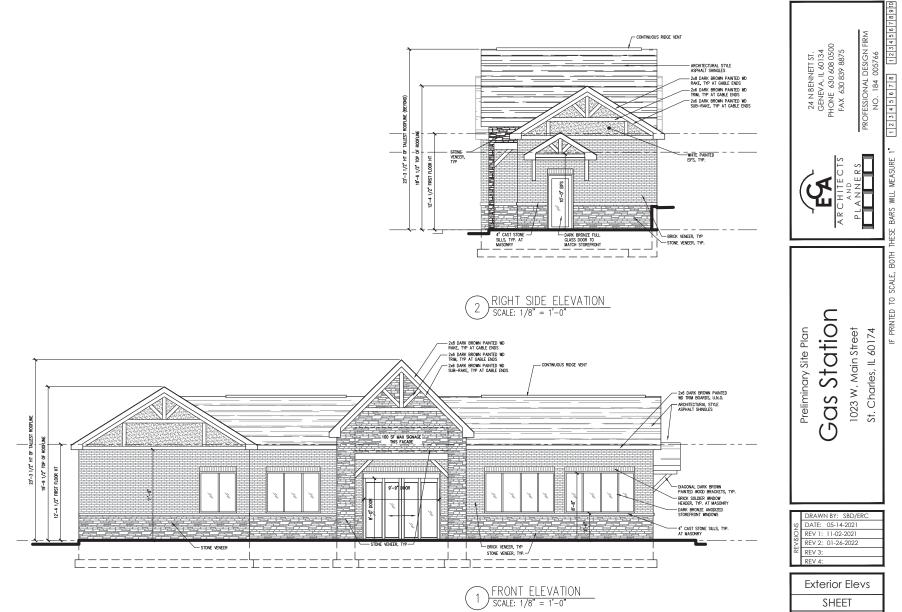




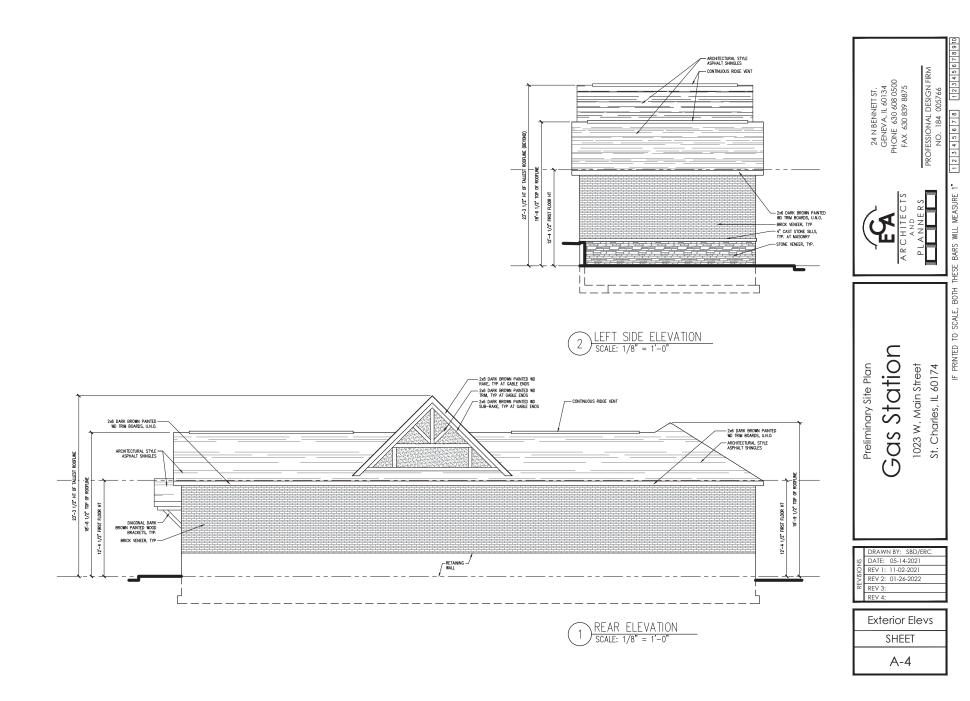
IDOT DETAILS	GAS STATION 1023 W. MAIN STREET ST. CHARLES, ILLINOIS	Creatig R. Skinoche & Associates • Chill Suptant Intervent Intervent







A-3



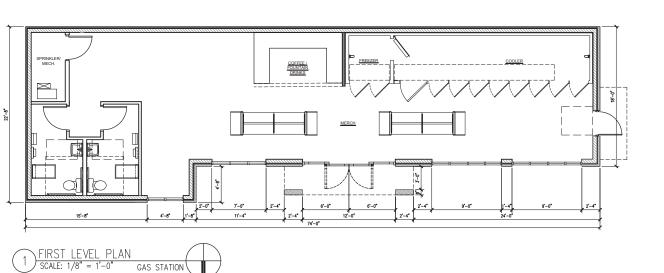
PROFESSIONAL DESIGN FIRM NO. 184 005766 1|2|3|4|5|6|7|8|9|0 IF PRINTED TO SCALE, BOTH THESE BARS WILL MEASURE 1"

Gas Station 1023 W. Main Street St. Charles, IL 60174

Preliminary Site Plan

1		
		DRAWN BY: SBD/ERC
	ş	DATE: 05-14-2021
	Ó	REV 1: 11-02-2021
	۷IS	REV 2: 01-26-2022
	R	REV 3:
		REV 4:

Floor Plans
SHEET
A-5



Ν

24 N BENNETT ST. GENEVA, IL 60134 PHONE 630 608 0500 FAX 630 839 8875





1 REVISED RENDERED ELEVATION SCALE: NTS Sheet A-1



A-2

EXHIBIT "E"

PUD DEVIATIONS

Ch. 17.14 Business & Mixed Use Districts	
Permitted Uses 17.14.020, Table 17.14-1 – BL District	Gas Station shall be a permitted use on the subject property
Minimum Interior Side Yard (Building) 17.14.030, Table 17.14-2 – BL District	1 ft. (from south property line)
Minimum Rear Yard (Building) 17.14.030, Table 17.14-2 – BL District	2 ft. (from east property line)
Minimum Front Yard (Paving) 17.14.030, Table 17.14-2 – BL District	0 ft. (from west property line)
Minimum Exterior Side Yard (Paving) 17.14.030, Table 17.14-2 – BL District	0 ft. (from north property line)
Landscape Buffer Yard 17.14.030, Table 17.14-2 – BL District	0 ft.
Ch. 17.22 General Provisions	
Refuse Enclosure Setback 17.22.030, Table 17.22-3	1 ft. (from south property line)
Ch. 17.20 Use Standards	
Fuel Pump Setback 17.20.030.I (Gas Stations)	16 ft. (from north property line)
Canopy Setback 17.20.030.I (Gas Stations)	6 ft. (from north property line)
Ch. 17.26 Landscaping & Screening	
Overall Landscape Percentage 17.26.060	4% (including landscape planters)
Public Street Frontage Landscaping 17.26.090.C	1 tree along Main St. frontage; 0 trees along 11 th St. frontage. Less than 75% of public street frontage, as depicted on the PUD Preliminary Plan
Parking Lot Screening 17.26.100.A	Less than 50% of paved area screened to a height of 30", as depicted on the PUD Preliminary Plan.
Building Foundation Landscaping 17.26.080.C	Less than 50% of wall facing Main St. and less than 50% of total building walls; landscape beds along wall facing Main St. less than 5 ft. wide; plantings as depicted on the PUD Preliminary Plan
Sign Landscaping 17.26.110	Less than 3 ft. of landscaping provided around freestanding sign, as depicted on the PUD Preliminary Plan
Ch. 17.28 Signs	
Table 17.28-2 Permitted Signs for BL, BC & BR Districts – ROW Setback	6" setback from west property line; 7 ft. setback from north property line
Ch. 17.22 General Provisions	
Site Triangle 17.22.010.F	Sign located within 20 ft. site triangle. Bottom of sign to be 5 ft. above grade.

State of Illinois

)

Counties of Kane and DuPage)

Certificate

SS.

I, NANCY GARRISON, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on **April 18, 2022** the Corporate Authorities of such municipality passed and approved Ordinance No. **2022-Z-8**entitled:

An Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan for 1023 W. Main St. Redevelopment

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No 2022-Z-8, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on **April 25, 2022**, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 18th day of April 2022.

HAALES AND DOCIOBI

(SEAL)