	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item Number: 4b
	Title:	Plan Commission recommendation to approve a PUD Preliminary Plan for McKnight Oral Surgery Center, Foxfield Commons PUD Lot 3	
	Presenter:	Rachel Hitzemann	
Meeting: Planning & Development Committee		Date: December 12, 2022	
Proposed Cost: \$		Budgeted Amount: \$	Not Budgeted: <input type="checkbox"/>
Executive Summary <i>(if not budgeted please explain):</i> <p>The subject property is Lot 3 of Foxfield Commons PUD, located on the Northwest corner of Foxfield Rd. and Courtyard Dr.</p> <p>Jeff Kilburg has filed an application for a PUD Preliminary Plan proposing to develop the property with a Dental Clinic called McKnight Oral Surgery Center. Proposed is the following:</p> <ul style="list-style-type: none"> • 8,607 SF building • 1,246sf private garage • 3,088sf future expansion • Sidewalk along Foxfield Rd. with an internal walk connecting to the building • Drive-up drop off area • Access drive off of Courtyard Dr. • Modern style building composed of stone and James Hardie siding • Extensive landscaping throughout the site <p><u>Staff Comments</u></p> <p>City Staff has reviewed the plans and provided the applicant with comments. While most comments were technical will be addressed as the time of permits, the following comments will need to be addressed prior to City Council;</p> <ul style="list-style-type: none"> • One-way access aisles should be a minimum of 20 ft, all others should be 24ft • Increased/ clustered landscaping along Foxfield Dr. <p><u>Plan Commission Recommendation</u></p> <p>Plan Commission reviewed the plans on December 7, 2022 and voted 7-0 to recommend approval, subject to resolution of outstanding staff comments prior to City Council action. Minor comments were made in regards to proposed tree species and landscaping. The Applicant agreed to review and modify the plans.</p>			
Attachments <i>(please list):</i> Plan Commission Resolution, Staff Report, Application, Plans			
Recommendation/Suggested Action <i>(briefly explain):</i> Plan Commission recommendation to approve a PUD Preliminary Plan for McKnight Oral Surgery Center, Foxfield Commons PUD Lot 3			

City of St. Charles, Illinois
Plan Commission Resolution No. 17-2022

**A Resolution Recommending Approval of a PUD Preliminary Plan for
McKnight Oral Surgery Center, Foxfield Commons PUD Lot 3 (Jeff Kilburg,
Apex Design Build)**

Passed by Plan Commission on December 6, 2022

WHEREAS, it is the responsibility of the St. Charles Plan Commission to review PUD Preliminary Plans; and

WHEREAS, the Plan Commission has reviewed the PUD Preliminary Plan for McKnight Oral Surgery Center, Foxfield Commons PUD Lot 3 (Jeff Kilburg, Apex Design Build); and

WHEREAS, the Plan Commission finds said PUD Preliminary Plan to be in conformance with the applicable PUD and Zoning Ordinance requirements, subject to resolution of any outstanding staff review comments.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of a PUD Preliminary Plan for McKnight Oral Surgery Center, Foxfield Commons PUD Lot 3, (Jeff Kilburg, Apex Design Build), contingent upon the resolution of all staff comments prior to City Council action.

Roll Call Vote:

Ayes: Hibel, Funke, Ewoldt, Rosenberg, Gruber, Studebaker, Vargulich

Nays:

Absent: Moad, Wiese

Motion carried: 7-0

PASSED, this 6th day of December 2022.

Chairman
St. Charles Plan Commission



Staff Report
Plan Commission Meeting – December 6, 2022

Applicant:	Jeff Kilburg
Property Owner:	Volpe Rossa, LLC
Location:	Northwest intersection of Foxfield Rd. and Courtyard Dr.
Purpose:	Develop Oral Surgery Center
Application:	PUD Preliminary Plan
Public Hearing:	Not required
Zoning:	OR Office Research, Foxfield Commons PUD.
Current Land Use:	Vacant Lot
Comprehensive Plan:	Neighborhood Commercial

McKnight Oral Surgery Center

Subject Property



Summary of Proposal:	<p>Jeff Kilburg has filed an application proposing to develop the subject property with an Oral Surgery Center. Details of the proposal are as follows:</p> <ul style="list-style-type: none"> • 8,607 SF building • 1,246sf private garage • 3,088sf future expansion • Sidewalk along Foxfield Rd. with an internal walk connecting to the building • Drive-up drop off area • Access drive off of Courtyard Dr. • Modern style building composed of stone and James Hardie siding • Extensive landscaping throughout the site
Info / Procedure on Application:	<p>PUD Preliminary Plan:</p> <ul style="list-style-type: none"> • Approval of plans for development of property within a PUD- includes site, landscape, and engineering plans. (Application may also involve a subdivision of land.) • Recommendation is based on compliance with the previously (or concurrently) approved Special Use for PUD standards and other city code requirements (including Zoning and Subdivision codes).
Suggested Action:	Review the PUD Preliminary Plan.

Staff has found the application materials to be complete. Staff recommends that any recommendation include a condition requiring resolution of all staff comments prior to City Council action.

Staff Contact: Rachel Hitzemann, Planner

I. PROPERTY INFORMATION

A. History / Context

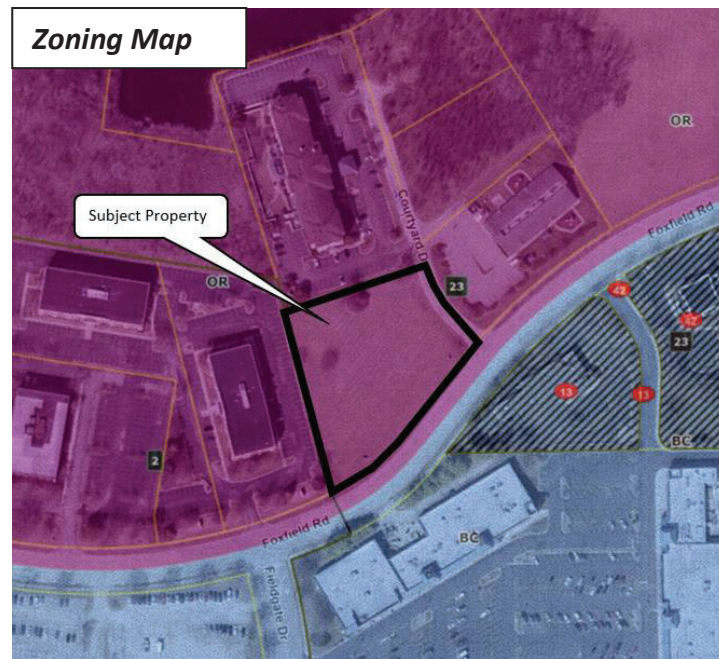
The subject property constitutes a 1.67 -acre site commonly known as Lot 3 in the Foxfield Commons PUD. The lot fronts Foxfield Rd. and is located south of the Courtyard by Marriott. The Foxfield Commerce Center PUD was approved in 1975 and was created as part of an annexation agreement. The PUD includes some commercial parcels along Route 64 and Fieldgate Dr. It also includes Office-Research parcels located north and south of Foxfield Dr. between Fieldgate Dr. and Dunham Rd. In 1991 the PUD was amended by Ordinance 1991-Z-4, which provided clearer permitted uses and bulk requirements.

The Courtyard by Marriott (2000) and the Chesterbrook Academy Preschool (2004) have been constructed in the area. The subject lot has remained vacant since the inception of the PUD.

Zoning

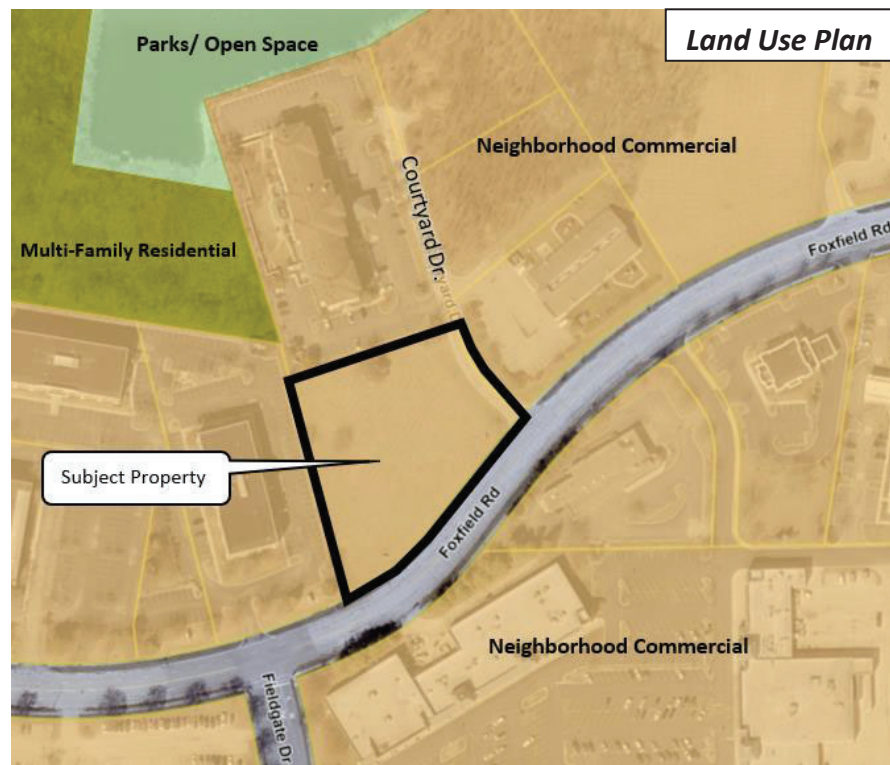
The subject property is zoned OR-Office Research and is also located within the Foxfield Commons Planned Unit Development (PUD).

	Zoning	Land Use
Subject Property	OR- Office Research Foxfield Commons PUD	Vacant Lot
North	OR- Office Research Foxfield Commons PUD	Hotel
East	OR- Office Research Foxfield Commons PUD	Daycare Center
South	BC- Community Business Foxfield Commons PUD	Commercial
West	OR- Office Research Foxfield Commons PUD	Office Buildings



B. Comprehensive Plan

The Land Use Plan adopted as part of the 2013 Comprehensive Plan identifies the subject property as “Neighborhood Commercial”.



The Neighborhood Commercial land use is described as follows:

Areas designated as neighborhood commercial are intended for smaller-scale retail and service commercial areas geared toward providing for the daily shopping, service, and convenience needs of surrounding neighborhoods. Uses in the neighborhood commercial areas should be of a scale and intensity to be considered generally compatible with adjacent and nearby residential uses. Grocery stores, gasoline service stations, pharmacies, personal and financial services, smaller office uses, convenience and

specialty retailers, and more are appropriate. Neighborhood commercial uses should be located along major corridors and at key intersections, along the edges of residential neighborhoods as identified in the Land Use Plan. Many neighborhood commercial properties, especially those along Main Street are relatively shallow and present challenges for redevelopment. Because many of the properties along this corridor are adjacent to residential areas, buffering, screening, and setbacks should be used to protect adjacent residential neighborhoods. Hours of operation and intensity of use may also become an important issue in some neighborhood commercial areas. Commercial service uses can also have an appropriate place in this land use designation by providing necessary services for nearby residents. Commercial services uses within the Neighborhood Commercial areas must be compatible with adjacent and nearby residential areas and be located as to not occupy prime retail locations.

Chapter 4 of the Comprehensive Plan provides the following Commercial Area policies relevant to the proposed development (p. 48-50):

Continue to expand sidewalk network to provide better connections between the City's commercial and employment districts and its residential neighborhoods.

The City's key commercial corridors did not prioritize or give due consideration to pedestrian circulation as they were developed over the decades. This has resulted in an incomplete and fragmented sidewalk network. While this reflects a past development practice in suburban communities that emerged catering to the automobile, today's best practices promote healthy communities and walkability. The City's sidewalk network should continue to be expanded to provide better connections between the community's residential neighborhoods and its commercial districts.

Chapter 8 of the Comprehensive Plan contains the East Gateway Subarea Plan. The subject property is located within the East Gateway Subarea, which is centered at the intersection Kirk Rd. and Main St. The Subarea Plan notes the East Gateway represents a significant piece of the local economy and a unique opportunity for revitalization and stabilization. The following Subarea Goals and Objectives are relevant to the proposed development (p. 102):

Subarea Goals

The East Gateway subarea represents a unique opportunity for economic development, revitalization and stabilization with for a specific context within the City of St. Charles.

The overall vision for the subarea includes the following:

- *Revitalization of the Subarea's retail areas that maximizes the locational assets within this area of the City.*
- *Improved connectivity and circulation within the Subarea providing logical and efficient connections between compatible uses.*
- *Better separation of incompatible land uses to protect residential neighborhoods while at the same time help define the City's business areas.*
- *Attractive streets and sites to distinguish this Subarea and key corridors from neighboring communities.*
- *A mix of uses that that help diversify the City's economy and provide places to live, work, and shop.*

Subarea Objectives

- *Improve the appearance of the Kirk Road and Main Street Corridors to assist in strengthening the community's identity and appearance through installation of streetscaping, wayfinding and gateway elements.*

- ***Use landscaping appropriately to enhance commercial areas, screen unsightly areas, and provide an attractive streetscape and overall setting for the area.***
- ***Improve the overall connectivity and mobility within the Subarea through both public streets and internal connection to provide a predictable and navigable environment.***
- *Preserve surrounding neighborhoods through the use of screening, buffering, and better separation from commercial development.*
- ***Create market-responsive development parcels that can accommodate projects of an appropriate scale and phasing over time.***
- *Take advantage of proximity to DuPage Airport and Pheasant Run as activity generators.*
- *Reposition the Charlestowne Mall site to foster its renaissance or its redevelopment.*
- ***Enhance the character of both existing and new development through site improvements, façade enhancements, consistent signage regulation, and attractive building design and materials***

II. PLANNING ANALYSIS

Staff has analyzed the submitted PUD Preliminary Plan to determine the conformance with the standards of the Zoning Ordinance. The plan was reviewed against the following code sections:

- Ch. 17.06 Design Review Standards & Guidelines
- Ch. 17.26 Landscaping & Screening
- PUD Ordinance 1991-Z-4
- Ch. 17.28 Signs
- 17.24 Off-Street Parking, Loading Areas
- Ch. 17.14 Office/Research, Manufacturing and Public Land Districts

A. Proposed Uses

McKnight Oral Surgery Center is classified as a Medical/ Dental Clinic use. City Code defines Medical/ Dentist office as;

A medical or dental office or clinic offering professional medical or dental services primarily on an out-patient basis. Such services may include examination and consultation, treatment, surgery, radiology, MRI, on-site testing laboratories, physical therapy, diagnostic services, training, administration, and other services to patients provided by licensed medical or dental professionals. This use includes facilities licensed by the State of Illinois as ambulatory surgical treatment centers. This use does not include a Hospital as defined herein or a facility licensed by the State of Illinois as an emergency center under the Emergency Medical Services (EMS) Systems Act.

Dental Clinics are permitted in both the OR Zoning District and the Foxfield Commons PUD.

B. Bulk Standards

The table below compares the PUD Preliminary Plan with the bulk standards applicable to the Foxfield Commons PUD and the OR District.

Category	Zoning Ordinance or PUD Standard	Proposed
Min. Lot Area	43,650sf	72,912sf
Lot Width	100 ft	204.59 ft.
Building Coverage	30%	17.7%

Building Height	80 ft.	37 ft.
Building Setbacks:		
<i>Front (Foxfield Rd.)</i>	50 ft.	50 ft
<i>Exterior side (Courtyard Dr.)</i>	25 ft.	115.8ft
<i>Interior side (west)</i>	25 ft.	40.1 ft
<i>Interior rear (north)</i>	25 ft.	82 ft
Parking Setbacks:		
<i>Front (Foxfield Rd.)</i>	50 ft.	25 ft*
<i>Exterior side (Courtyard Dr.)</i>	25 ft.	25 ft
<i>Interior side (west)</i>	None	10 ft
<i>Interior rear (north)</i>	None	10 ft
Parking Requirement	4 per 1,000sf of GFA= 47 spaces	58 spaces + 3 Garage Spaces

****The PUD Ordinance allows access drives and up to 8 guest parking spaces to be located within the front yard setback.***

Staff Comments:

- ✓ The PUD Preliminary Plan meets the bulk standards applicable to the OR District and Foxfield Commons PUD

C. Landscaping

The table below compares the applicable standards of Ch. 17.26 “Landscaping & Screening” with the PUD Preliminary Plan.

Category	Zoning Ordinance Standard	Proposed
Overall Landscape Area	15%	38.9%
Public Street Frontage Landscaping	75% of street frontage 1 tree / 50 ft. of street frontage (Foxfield Rd.- 7 trees)	Foxfield Rd.: 20% (6 Trees)
Parking Lot Screening	50% of parking lot to height of 30”	Standard Met
Interior Parking Lot Landscaping	1 landscape island / 10 parking spaces All parking rows terminate in landscape area 1 tree / island; variety of plantings in islands	Standard Met
Building Foundation Landscaping		
<i>Foundation Planting Beds</i>	50% of total building walls; 50% of walls facing a public street (Foxfield Rd. and Courtyard Dr.) 5 ft. wide planting beds	Standard Met
<i>Foundation Plantings</i>	20 shrubs/bushes/perennials per 50 ft. of planting bed	Standard Met
<i>Foundation Trees</i>	2 trees per 50 ft. of planting bed (6 trees required)	Standard Met

Monument Sign Landscaping	3 ft. around sign	Monument Signage was not provided
Refuse Dumpster Screening	Enclosed and screened on all sides when visible from public street	Standard Met

Staff Comments:

- ✓ One additional tree will need to be planted along Foxfield Road. Staff also recommends repositioning the proposed trees into clusters with additional shrubs and plants in larger landscape beds to meet the required 40% street frontage requirement.
- ✓ If a monument sign is proposed, its location will need to be added to the landscape plan, with required plantings around the sign base.
- ✓ Some foundation and parking lot screening may need to be relocated to accommodate required clearance distances for public works and fire utilities.

D. Building Design

Renderings of the building have been provided with the PUD Preliminary Plan. The building is approximately 9,853sf and 37ft tall. There is combination of siding materials, but stone and James Hardie siding are predominantly used. The building has a modern look and provides extensive architectural details to avoid the appearance of blank walls.

Staff Comments:

- ✓ The design elevations meet the Design Standards found in Chapter 17.06 of the Zoning Ordinance.

E. Signage

The table below compares the applicable standards of Ch. 17.28 “Signs” with the signage shown on the building elevations.

Category	Zoning Ordinance Standard	Proposed
Wall Signs	1 per street frontage (2 signs) 1.5 sf per linear foot of building	2 wall signs
Freestanding Sign	Number: 1 per lot Area: 50 sf Height: 8 ft	Number: 1 per lot

Staff Comments:

- ✓ A sign plan was not provided as part of the PUD Preliminary Plan. However, it appears that the signs shown on the building elevations that were provided meet the Code Standards.
- ✓ If a freestanding sign is proposed, its location will need to be identified on the plans.

F. Site Access / Street Improvements

The site is accessed by a curb cut along Courtyard Dr., which is a private roadway. No curb cuts are proposed along Foxfield Road. The proposed curb cut provides two-way access that meets the standards found in the City Code.

A sidewalk along Foxfield Road has been provided to connect to the existing sidewalk. A pedestrian pathway has also been provided within the site to connect the building with the sidewalk along Foxfield Road. No sidewalk is provided along Courtyard Dr., but there is no other sidewalk along that roadway.

Staff Comments:

- ✓ Two-way access aisles shall be a minimum of 24ft. wide.
- ✓ The plan calls for handicap parking spaces adjacent to the drop off lane. The curbs in this area should be depressed. There should also be a striped crosswalk and depressed curbs in front of the building to accommodate handicap access.

G. Lighting

A photometric plan was not provided with the PUD Preliminary Plan. One will need to be provided at the time of building permit.

III. DEPARTMENTAL REVIEWS

City Staff has reviewed the PUD Preliminary Plan and has provided comments to the applicant. All of the comments from Engineering and Public Works are technical in nature.

The Fire Department also provided technical comments, but noted the following items that will alter the site plan and building elevations.

- **The canopy will need a clearance height of at least 13 ½ ft.**
- **One-way drives will need to be a minimum of 20ft to provide access to fire engines; 13-14 ft. is proposed.**

The applicant will need to revise the plans in accordance with staff comments before approval by City Council.

Staff Comments:

- ✓ Parking spaces on the east side of the property can be reduced to 16ft with a 2ft bumper overhang to provide additional space to widen the one-way drive aisle along the east side of the building. Parking in that area may need to be removed to accommodate the 20ft width required. Parking should be analyzed and reconfigured to meet the requirement.
- ✓ The two parking spaces on the west side of the property can be removed to accommodate the required 20ft access aisles. Reconfiguration of that area will need to be assessed.

IV. SUGGESTED ACTION

Review the PUD Preliminary Plan.

The Plan Commission may vote on this item should the Commission feel that they have enough information to make a recommendation.

Staff has found the application materials to be complete. Staff recommends the any recommendation include a condition requiring resolution of all staff comments prior to City Council action.

V. ATTACHMENTS

- Application for PUD Preliminary Plan; received 11/3/2022
- Preliminary Plans

City of St. Charles
Community Development Division
2 E. Main Street
St. Charles, IL 60174



Phone: (630) 377-4443
Email: cd@stcharlesil.gov

PUD PRELIMINARY PLAN APPLICATION

For City Use
Project Name: Foxfield Commons
McKnight Dental Office
Project Number: 2022 -PR- 016
Cityview Project Number: PLPUD202200060

Received Date
RECEIVED

NOV 03 2022

City of St. Charles
Community Development

- File this application to request approval of a PUD Preliminary Plan. Normally, this application is reviewed concurrently with an application for Special Use for PUD, unless a Special Use for PUD has previously been granted and no amendment is necessary.
- Complete the application and submit with all required attachments to the Community Development Division.
- The information you provide must be complete and accurate. If you have any questions please contact the Community Development Division.
- City staff will review the submittal for completeness and for compliance with applicable requirements. Staff will distribute the plans to other City departments for review when the application is complete.
- The PUD Preliminary Plan will be scheduled for Plan Commission review when staff has determined the plans are ready.

1. Property Information:	Location:	
	Lot 3 in Foxfield Commons, at the southeast intersection of Foxfield Rd and Courtyard Dr	
	Parcel Number (s): 09-25-103-003	
Proposed PUD Name: Foxfield Commons PUD		
2. Applicant Information:	Name: Jeff Kilburg	Phone: 847-288-0100
	Address: 9550 W Higgins Rd Suite 170 Rosemont, IL 60018	Email: raquellek@apexdesignbuild.net
3. Record Owner Information:	Name: Volpe Rossa LLC	Phone: 630-377-7077
	Address: 2580 Foxfield Rd Suite 100 St. Charles, IL 60174	Email: matthewgmcknight@gmail.com

- Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
- Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
- Accurate property boundary lines
- Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
- Site area proposed to be landscaped in square feet and as a percentage of the total site area
- Percent of landscaped area provided as per code requirement
- Dimensions of landscape islands
- Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
- Location and identification of all planting beds and plant materials
- Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
- Landscaping of ground signs and screening of dumpsters and other equipment

N/A

SKETCH PLAN FOR LATER PHASES OF PUD: For phased PUDs only, submit a plan that shows, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

DocuSigned by:

Dr. Matthew McKnight

10/31/2022 | 7:56:09 AM PDT

Record Owner

Date

[Signature]
Applicant or Authorized Agent

10/12/2022
Date

EXHIBIT A - LEGAL DESCRIPTION

LOT 3 IN FOXFIELD COMMONS, P.U.D., BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 19, 1998 AS DOCUMENT NO. 98K054224, IN KANE COUNTY, ILLINOIS.

4

LETTER OF AUTHORIZATION

PROPERTY LEGAL DESCRIPTION - PARCEL ID: 09-25-103-003

Address to be Assigned- Lot 3 in Foxfield Commons, at the
STREET ADDRESS: southeast intersection of Foxfield Rd and Courtyard Dr

Property Owner(s): Volpe Rossa LLC

The undersigned, registered property owners of the above noted property, do hereby authorize
Jeff Kilburg of Apex Design Build to act on my behalf
and take all actions necessary for the processing, issuance and acceptance of this permit or
certification and any and all standard and special conditions attached.

Property Owner's Address 2580 Foxfield Rd, Suite 100, St. Charles, IL 60174

Telephone: 630-377-7077

**I/WE hereby certify the above information submitted in this application is true and accurate to the
best of my/our knowledge.**

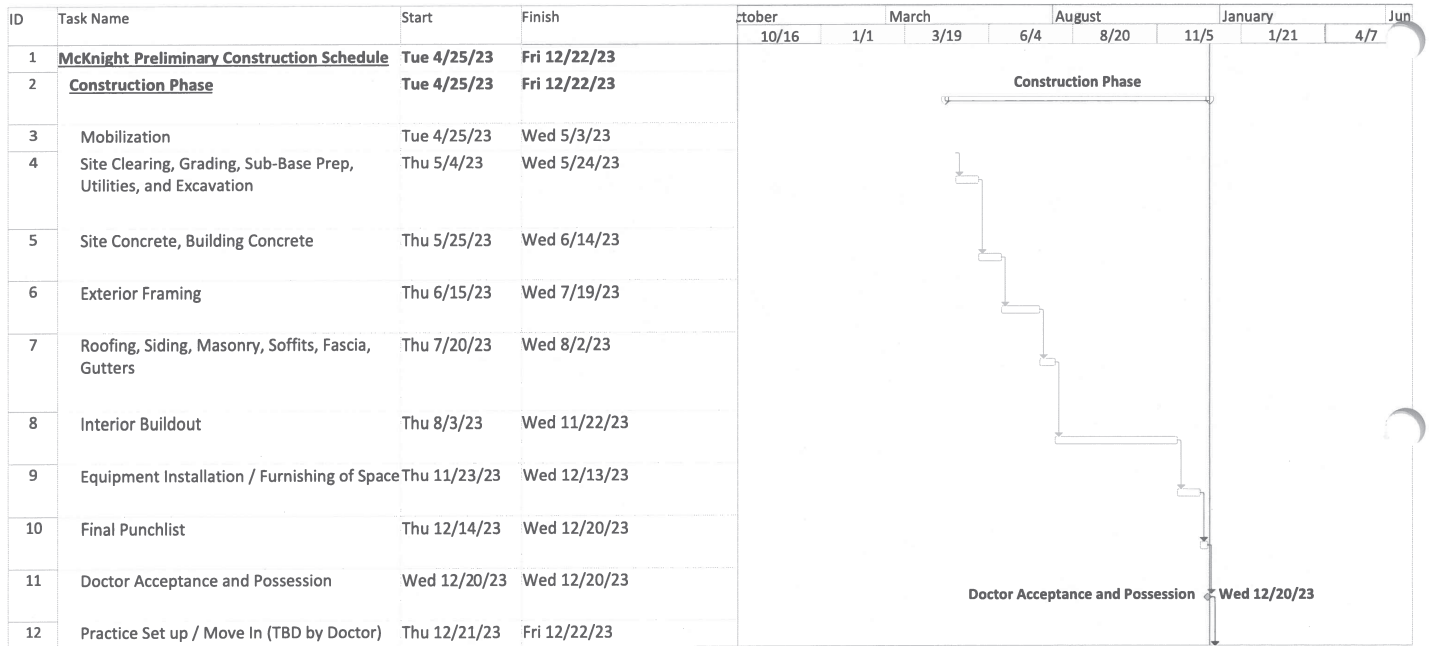
DocuSigned by:
Signature of Owner: Dr. Matthew McKnight 10/31/2022 | 7:56:09 AM PDT
Date: _____

Printed Owner Name: Dr. Matthew McKnight

Dr. Matthew McKnight Project

Describe how this PUD meets the purposes and requirements established in Section 17.04.400 of the Zoning Ordinance. List any requests for deviations from the requirements of Title 16 – Subdivisions and Land Improvement and Title 17- Zoning, and provide rationale for deviations if required

- Response: The proposed PUD meets all requirements of not only St. Charles' Zoning and Architectural requirements (see Title 16, Subdivisions and Land Improvements), but also meets the specific requirements for the existing Foxfield Commons PUD which this site resides in. This specifically refers to building setback provisions as well as building height provisions. Additionally, this PUD will offer a high-quality of architectural design which will enhance the surrounding business atmosphere, will provide an enhanced landscape and buffering plan, an energy-conscious building design, efficient utilization of site, an improved storm water management plan, and improve public accessibility within the neighborhood.



DR. MATTHEW MCKNIGHT

2600 FOXFIELD RD
ST. CHARLES, IL 60174

SCOPE OF WORK

PROJECT RENDERING

1. ARCHITECTURAL SCOPE - CONSTRUCTION TYPE V-B BLANK ON GRADE SINGLE STORY WITH PARTIAL SECOND FLOOR BUILDING. GROUND UP BUILD TO BE A DENTAL SPECIALTY OFFICE. NEW UNDERGROUND ELECTRICAL SERVICE. NEW GAS AND UNDERGROUND WATER SERVICE. NEW SITE DEVELOPMENT TO INCLUDE NEW LANDSCAPE, PARKING, SIDE WALK, AND STREET LIGHTING.

DRAWING INDEX

SHEET NO.	DRAWING NAME
T12310	PLAN OF SURVEY
GA-0	COVER PAGE
C-000	PRELIMINARY EXISTING CONDITIONS & DEMOLITION PLAN
C-001	PRELIMINARY GEOMETRY PLAN
C-002	PRELIMINARY UTILITY PLAN
C-003	PRELIMINARY GRADING PLAN
C-004	PRELIMINARY SWPPP
C-005	VICINITY TOPOGRAPHICAL MAP
GA-1	EXTERIOR RENDERINGS
GA-1.1	EXTERIOR RENDERINGS
GA-1.2	EXTERIOR RENDERINGS
GA-1.3	EXTERIOR RENDERINGS
GA-1.4	EXTERIOR ARCHITECTURE
GA-1.5	EXTERIOR ARCHITECTURE
GA-1.6	PROPOSED SITE PLAN
GA-1.7	LANDSCAPE PLAN
GA-1.8	LANDSCAPE SCHEDULE
AT-1	EXTERIOR VIEWS KEY
AT-1.1	EXTERIOR SCHEDULES
AT-1.2	EXTERIOR ELEVATIONS
AT-1.3	EXTERIOR ELEVATIONS
AT-1.4	EXTERIOR ELEVATIONS
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AT-1.100	EXTERIOR ELEVATIONS



DRAFTING SYMBOLS

LOCATION MAP

DETAIL TITLE DESIGNATION

TITLE
1" = 1" = 1" = 1"

SECTION CUT DETAIL DESIGNATION

SECTION NO. DESIGNATION
SHEET NUMBER, WHERE DRAWING IS LOCATED

ELEVATION DETAIL DESIGNATION

SECTION NO. DESIGNATION
SHEET NUMBER, WHERE DRAWING IS LOCATED

CALLOUT DETAIL DESIGNATION

SECTION NO. DESIGNATION
SHEET NUMBER, WHERE DRAWING IS LOCATED

SPOT ELEVATION MARK

SPOT ELEVATION MARK
1" = 1" = 1" = 1"

WALL TYPE DESIGNATION

DOOR NUMBER DESIGNATION
WINDOW TYPE DESIGNATION
KEY NOTE TAG
FINISH TAG
REVISION TAG

NORTH ARROW



MATERIAL DESIGNATIONS

EARTH	EXISTING MASONRY
GRANULAR FILL	STEEL
CONCRETE	BATT INSULATION
FACE BRICK	RIGID INSULATION
C.M.U.	GYPSUM BOARD

LINE TYPES

OBJECT LINE
HIDDEN LINE (DENOTES SOMETHING LOCATED BELOW OR BEHIND)
PHANTOM LINE (DENOTES SOMETHING LOCATED ABOVE OR IN FRONT)
CENTER LINE



DR. MATTHEW MCKNIGHT
2600 FOXFIELD RD
ST. CHARLES, IL 60174

SEAL:

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No.	Description	Date
1	PLD	10/25/2022
2		
3		
4		
5		
6		
7		
8		
9		
10		

COVER PAGE

Project number 11322

G0-0

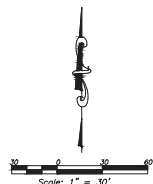
Scale 12" = 1'-0"

COPYRIGHT APEX DESIGN BUILD 2022

10/31/2022 3:50:34 PM

LEGAL DESCRIPTION

LOT 3 IN FOXFIELD COMMONS, P.U.D., BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 18, 1998 AS DOCUMENT N 98034224, IN KANE COUNTY, ILLINOIS.



LEGEND

-  STORM LINE
 STREET LINE
 SUBWAY LINE
 BURIED ELECTRIC LINE
 AIR DUCT
 ROUND IRON PIPE
 ROUND CAST IRON
 STEAM MANHOLE
 SANITARY MANHOLE
 CATCH BASIN
 WATER SUPPLY VALVE
 FIRE HYDRANT
 CABLE PEDISTAL
 MANHOLE
 LIGHT POLE
 TELEPHONE PEDISTAL
 ELECTRIC RUN
 STREET SPOT ELEVATION
 YARD SURFACE ELEVATION
 CURB PRESENT ELEVATION
 SIDEWALK ELEVATION
 STREET ELEVATION AT MANHOLE
 CURB ELEVATION
 CONCRETE
 PAVEMENT

NOTES:

- 1) THE SURVEYED PARCEL WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT AND PLAT RECORDS MAY SHOW ALL EASEMENTS AFFECTING SAID PARCEL.
- 2) THE DIMENSIONS SHOWN ARE FEET AND DIMENSIONS. THERE ARE NO DIMENSIONS THREES.
- 3) IF ANY DISCREPANCY IN MEASUREMENT DISCOVERED UPON THE GROUND SHOULD BE PROMPTLY REPORTED TO THE SURVEYOR FOR EXPLANATION OR CORRECTION.
- 4) THE SURVEYOR HAS NOT BEEN REQUIRED TO SHOW BOUNDARIES REFER TO YOUR ABSTRACT, DEED, CONTRACTS AND ZONING ORDINANCES.
- 5) THE BOUNDARIES HERE SET FOR THE PURPOSES OF THIS SURVEY.
- 6) THE SURVEYED PARCEL LIES OUTSIDE OF ANY SPECIAL FLOOD HAZARD AREAS AS GRAPHICALLY INDICATED ON FLOOD FLOOD INSURANCE RATE MAP NO. 17B020022C, EFFECTIVE DATE AUGUST 3, 2008.
- 7) THE BASIS OF BEARINGS IS THE KILGUS STATE

BENCHMARKS

DIC3220 BRASS DICK ON SOUTH SIDE OF CONCRETE LIGHT POLE BASE LOCATED AT THE NORTHEAST CORNER OF THE Y INTERSECTION OF SMITH ROAD AND POWIS ROAD.
ELEVATION = 757.44 (NAVD 88)

SITE BENCHMARK 1
TAG BOLT ON FIRE HYDRANT LOCATED AT THE NORTHWESTERLY SIDE OF
FOXFIELD ROAD AND NORTHEASTERLY OF COURTYARD DRIVE.
ELEVATION = 772.35 (NAD 88)

SITE BENCHMARK 2
 TAG BOLT ON FIRE HYDRANT LOCATED ON THE SOUTHEASTERLY SIDE OF
 FOXFIELD ROAD AND NORTHEASTERLY OF THE REAR DRIVEWAY OF THE STRIP
 MALL.
 (ELEVATION = 358.46 (G.M.D. 00))

ELEVATION = 773.46 (NAD 88)

STATE OF ILLINOIS)
COUNTY OF WILL) ss.

I, ERIC C. COLE, AN ILLINOIS LAND SURVEYOR, DO HEREBY ATTEST THAT I HAVE SUPERVISED THE SURVEY OF AND HAVE ASSEMBLED THE PLAT OF THE HEREON SHOWN AND DESCRIBED PARCEL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF SAID PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SURVEY CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

FIELD WORK COMPLETED ON AUGUST 360, 2022

DATED THIS 10TH DAY OF AUGUST, 2022

ERIC C. COX
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3804
RENEWAL DATE: NOVEMBER 30, 2022
DLZ INDUSTRIAL SURVEYING, INC. PROFESSIONAL DESIGN FIRM 184002280



DLZ
INDUSTRIAL SURVEYING, INC.
80 McDONALD AVENUE, UNIT D, JOLIET, IL 60431
TELEPHONE (815) 725-8840 FAX (815) 725-8849

ST. CHARLES

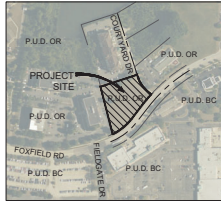
COOK ENGINEERING GROUP
APEX ST. CHARLES

PLAT OF SURVEY

ILLINOIS	DRAWN: DTL	CHK'D: ECC	NO
	DESIGNED: -	APP'D: -	
	DATE: 8/8/22		
	SCALE: 1" = 30'		
	PROJECT NUMBER		
	2250-7123-90		

REVISION	BY	DATE

SHEET	1
OF	1
DRAWING NUMBER	
7123T0	



LEGAL DESCRIPTION

LOT 3 IN FOXFIELD COMMONS, P.U.D., BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 19, 1998 AS DOCUMENT NO. 98054224, IN KANE COUNTY, ILLINOIS.

P.I.N.

09-25-103-003

PIN 09-25-103-002 (P.U.D. OR)
TERRA HOSPITALITY-GIANT I LLC
& 700 ST CHARLES LL RYAN PTS

SEE CONTINUATION AT RIGHT
FOR OFFSITE SEWER EXTENSION

ABBREVIATIONS

T.F. - TOP OF FOUNDATION
F.F. - FINISHED FLOOR ELEVATION
G.E. - GARAGE ENTRY ELEVATION

EXISTING

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LEGEND

FLARED END SECTION
STORM MANHOLE
STORM INLET
CATCH BASIN
FIRE HYDRANT
VALVE AND VAULT
VALVE BOX
B BOX
SANITARY MANHOLE
LIGHTPOLE
WALL PACK LIGHT
STORM SEWER
SANITARY SEWER
CONTOUR
SILT FENCE
ALUMINUM FENCE
WOOD FENCE
OVERLAND FLOOD ROUTE

PROPOSED

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LOCATION MAP
SCALE: 1"=300'

BENCHMARKS

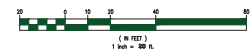
DK3229 BRASS DICK ON SOUTH SIDE OF CONCRETE LIGHT POLE BASE LOCATED AT THE NORTHEAST CORNER OF THE Y INTERSECTION OF SMITH ROAD AND POWIS ROAD.
ELEVATION = 757.44 (NAVD 88)

SITE BENCHMARK 1
TAG BOLT ON FIRE HYDRANT LOCATED AT THE NORTHWESTERLY SIDE OF FOXFIELD ROAD AND NORTHEASTERLY OF COURTYARD DRIVE.
ELEVATION = 772.35 (NAVD 88)

SITE BENCHMARK 2
TAG BOLT ON FIRE HYDRANT LOCATED ON THE SOUTHEASTERLY SIDE OF FOXFIELD ROAD AND NORTHEASTERLY OF THE REAR DRIVEWAY OF THE STRIP MALL.
ELEVATION = 773.46 (NAVD 88)



NOTES:
1. EXISTING SITE TOPOGRAPHY & BOUNDARY INFORMATION COMPLETED BY OLD ILLINOIS SURVEYING, INC. ON AUGUST 3, 2022, SIGNED BY ERIC C. COOK, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 0343494.
2. FOR DETAILED SOIL BORING INFORMATION, PLEASE REFER TO GEOTECHNICAL REPORT COMPLETED BY TESTING SERVICE CORPORATION ON SEPTEMBER 8, 2022.



PRELIMINARY EXISTING CONDITIONS & DEMOLITION PLAN

DR. MATTHEW MCKNIGHT
2600 E. FOXFIELD RD.
ST. CHARLES, IL 60174

PREPARED FOR
APEX DESIGN BUILD
8550 W. HOGS RD, STE 170
ROSEMONT, IL 60018
647.280.0700 (T)

MR. JEFF KILBURG
CEG JOB NUMBER
2022-120

SCALE: 1" = 20'

DRAWN BY: CMW

CHECKED BY: MDC

DATE: 10/24/2022

SHEET: C100

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- EXISTING P.C.C. PAVEMENT
EXISTING ASPHALT PAVEMENT
PROPOSED GREENSPACE (GRASS ONLY)
PROPOSED ASPHALT PAVEMENT (2.0" MIN.)
PROPOSED CONCRETE WALK/PAVEMENT (4.0" MIN.)

NAME	DATA	LENGTH	CS INV	DS INV	SLOPE
2501	8" ADS N+12	81.17	767.62	768.81	1.00%
2502	8" ADS N+12	28.17	768.00	768.60	1.00%
2503	8" ADS N+12	28.17	768.00	768.60	1.00%
251	12" ADS N+12	75.17	768.28	767.70	0.70%
252	12" ADS N+12	25.17	767.70	767.60	0.30%
253	12" ADS N+12	65.17	767.14	766.60	0.70%
254	12" ADS N+12	84.17	766.61	766.10	0.60%
255	12" ADS N+12	25.17	766.14	765.50	0.50%
256	12" ADS N+12	25.17	765.50	765.10	0.50%
257	12" ADS N+12	40.17	765.14	764.60	0.70%
258	12" ADS N+12	45.17	764.60	764.00	0.70%
259	12" ADS N+12	45.17	764.00	763.40	0.60%
260	12" ADS N+12	45.17	763.40	762.80	0.60%
261	12" ADS N+12	45.17	762.80	762.20	0.60%
262	12" ADS N+12	45.17	762.20	761.60	0.60%
263	12" ADS N+12	45.17	761.60	761.00	0.60%
264	12" ADS N+12	45.17	761.00	760.40	0.60%
265	12" ADS N+12	45.17	760.40	759.80	0.60%
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387	12" ADS N+12	45.17	687.20	686.60	0.60%
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409	12" ADS N+12	45.17	674.00	673.40	0.60%
410	12" ADS N+12	45.17	673.40	672.80	0.60%
411	12" ADS N+12	45.17	672.80	672.20	0.60%
412	12" ADS N+12	45.17	672.20	671.60	0.60%
413	12" ADS N+12	45.17	671.60	671.00	0.60%
414	12" ADS N+12	45.17	671.00	670.40	0.60%
415	12" ADS N+12	45.17	670.40	669.80	0.60%
416	12" ADS N+12	45.17	669.80	669.20	0.60%
417	12" ADS N+12	45.17	669.20	668.60	0.60%
418	12" ADS N+12	45.17	668.60	668.00	0.60%
419	12" ADS N+12	45.17	668.00	667.40	0.60%
420	12" ADS N+12	45.17	667.40	666.80	0.60%
421	12" ADS N+12	45.17	666.80	666.20	0.60%
422	12" ADS N+12	45.17	666.20	665.60	0.60%
423	12" ADS N+12	45.17	665.60	665.00	0.60%
424	12" ADS N+12	45.17	665.00	664.40	0.60%
425	12" ADS N+12	45.17	664.40	663.80	0.60%
426	12" ADS N+12	45.17	663.80	663.20	0.60%
427	12" ADS N+12	45.17	663.20	662.60	0.60%
428	12" ADS N+12	45.17	662.60	662.00	0.60%
429	12" ADS N+12	45.17	662.00	661.40	0.60%
430	12" ADS N+12	45.17	661.40	660.80	0.60%
431	12" ADS N+12	45.17	660.80	660.20	0.60%
432	12" ADS N+12	45.17	660.20	659.60	0.60%

NORTHWEST VIEW - DAY TIME



EAST VIEW - DAY TIME



NORTHEAST VIEW - DAY TIME



SOUTHEAST VIEW - DAY TIME

apex
DESIGN + BUILD
9550 W Higgins Rd. 170
Rosemont, IL 60018

DR. MATTHEW MCKNIGHT
2600 FOXFIELD RD
ST. CHARLES, IL 60174

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No.	Description	Date
1	PUB	11/15/2022

EXTERIOR
RENDERINGS

Project number 11322

GA0-1

Scale

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EAST VIEW - NIGHT TIME



NORTHEAST VIEW - DAY TIME



SOUTHEAST VIEW - DAY TIME

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EXTERIOR RENDERINGS

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BACK EXIST VIEW - NIGHT TIME



BACK EXIST VIEW - DAY TIME

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**EXTERIOR
RENDERINGS**

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AXON VIEW - BACK EXIT



AXON VIEW - NORTHEAST VIEW



AXON VIEW - SOUTHEAST VIEW

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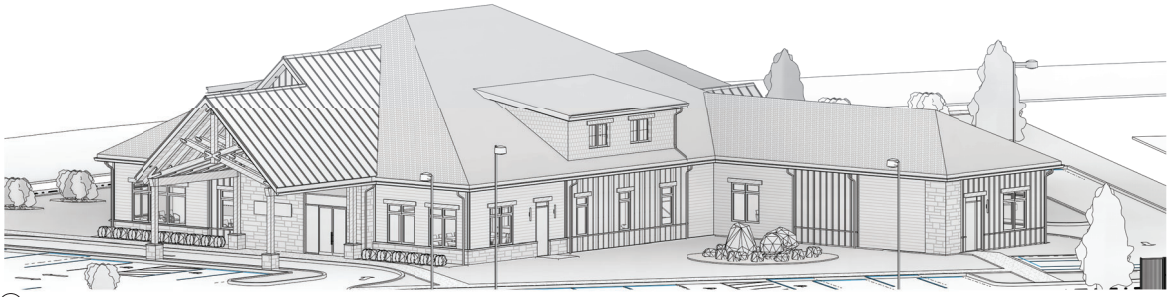
No.	Description	Date
1	PUB	11/15/2022

EXTERIOR RENDERINGS

Project number 11322

GA0-1.3

Scale



1 3D VIEW Northeast



2 3D VIEW Northwest

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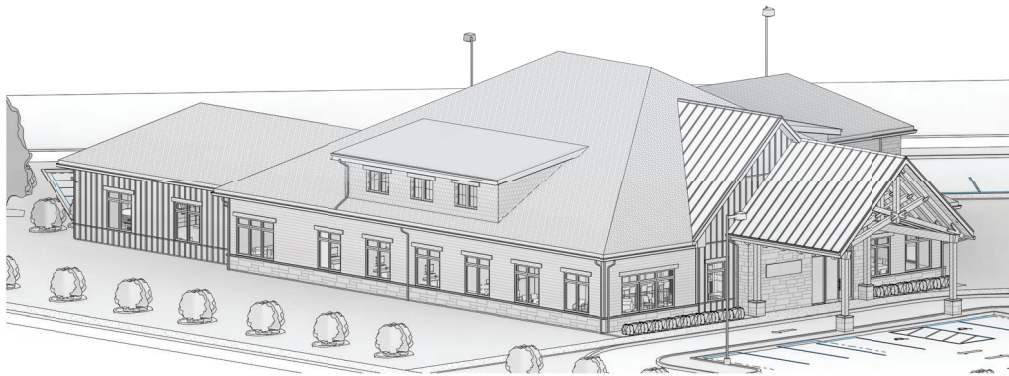
No.	Description	Date
1	Rev	10/25/2022

EXTERIOR
AXONOMETRIC

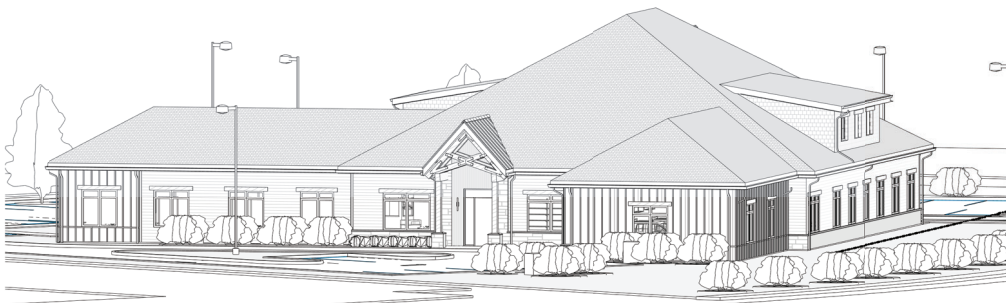
Project number 11322

GA0-2

Scale



3 3D VIEW Southeast



4 3D VIEW Southwest

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Keystone Planning + Design, PLLC

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No.	Description	Date
1	PLD	10/25/2022

**EXTERIOR
AXONOMETRIC**

Project number 11322

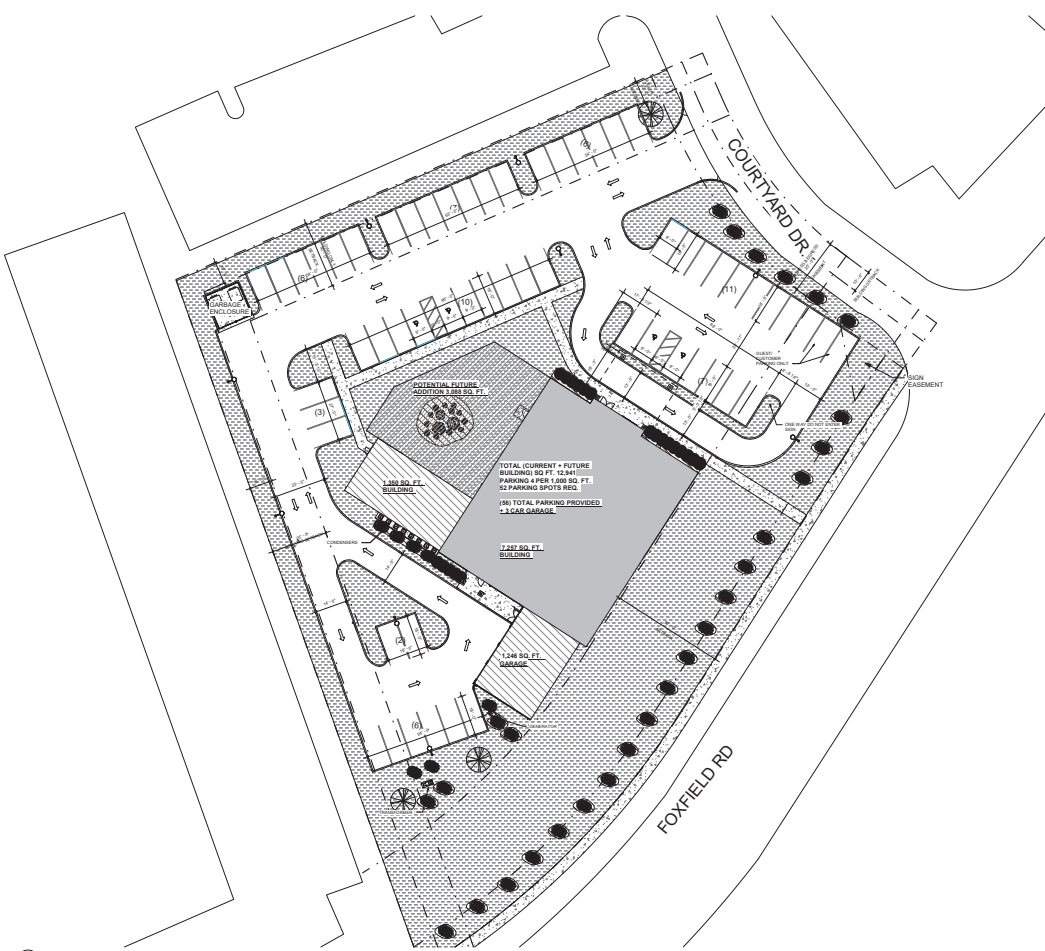
GA0-3

Scale



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1 PROPOSED SITE PLAN
3/64" = 1'-0"

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No.	Description	Date
1	P.D.	11/13/2022

**PROPOSED
SITE PLAN**

Project number 11322

GA1-2

Scale 3/64" = 1'-0"

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GENERAL NOTES FOR LANDSCAPE

- PLANT MATERIALS:
1. PLACE SHREDED HARDWOOD MULCH TO A UNIFORM 3" DEPTH IN ALL TREE & SHRUB BEDS & TO A DEPTH OF 2" IN PERENNIAL/GROUND COVER AREAS.
 2. ALL NURSERY STOCK SHALL BE TRUE TO TYPE AND NAME. ALL STOCK SHALL BE FIRST CLASS QUALITY WITH DEVELOPED BRANCHING SYSTEMS AND VIGOROUS, HEALTHY ROOT SYSTEMS.
 3. STUMPING/ROOTING TREES SHALL TAKE PLACE WHERE PLANTS ARE EXPOSED TO SPECIFIC WIND OR HAVE A ROOT SYSTEM THAT WHEN PLANTED BECOMES LOOSE AFTER WATERING BACKFILL WHEN PLANTING. THIS SHALL BE AT THE DISCRETION OF THE LANDSCAPE CONTRACTOR.
 4. ALL PLANTING BEDS ARE TO HAVE A DEPTH OF 6" AFTER COMPACTION OF IMPORTED PLANT MIX AND PRIOR TO PLACEMENT TO A DEPTH OF 4" MAX. TO LOOSEN COMPACTION FROM CONSTRUCTION.
 5. PLANT MIX SHALL BE A BLEND OF 1/3 TOPSOIL, 1/3 SAND, 1/3 PEAT OR COMPOST.
 6. ALL EDGING IS TO BE STANDARD COMMERCIAL EDGING 1/2" X 1/2" HILL FINISH ALUMINUM EDGING AND INSTALL PER DETAIL.
 7. ALL PLANT MATERIALS HAVE A ONE YEAR WARRANTY WHICH STARTS UPON AGREED UPON SUBSTANTIAL COMPLETION DATE BY OWNER.
 8. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS WHICH INCLUDES BUT IS NOT LIMITED TO WATERING, CONTROLLING WEED GROWTH, FERTILIZING, PRUNING, TRIMMING FOR DURATION OF CONSTRUCTION AND UNTIL AGREED UPON SUBSTANTIAL COMPLETION.
 9. TILL ALL LANDSCAPE PLANTING BEDS TO A DEPTH OF 4" PRIOR TO PLANTING MATERIALS.
 10. ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF PLANTING AND REPEATED AS NECESSARY TO ENSURE HEALTHY NURSERY STOCK.
 11. MAINTAIN ALL PLANT MATERIALS DURING THE ENTIRE DURATION OF CONSTRUCTION THRU SUBSTANTIAL COMPLETION.

LANDSCAPE GRAPHIC LEGEND

- LANDSCAPE TAG
- PERENNIALS (SEE SCHEDULE FOR TYPE)



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No.	Description	Date
1	PLD	11/2/2022

LANDSCAPING PLAN

Project number 11322

GA1-3

Scale As indicated

1 LANDSCAPE PLAN
1" = 20'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%

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PLANT SCHEDULE							
Quantity (Of Groups)	Quantity (In Groups)	SYM.	Botanic Name	Common Name	Size	Root	Com.
Deciduous Shrubs							
1	1	Ap	Aesculus parviflora	Bottle Brush Buckeye	24-30"	cont.	
2	1	Hv	Hamelis intermedia 'Arnolds Prom.'	Arnold Promise Witch Hazel	36"	B&B	
7	2	Hi	Hydrangea paniculata 'Jane'	Little Lime Hydrangea	24"	cont.	
3	1	Hq	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	24-30"	cont.	
5	1	la	Ilex verticillata 'Red Sprite'	Winterberry Holly	18-24"	cont.	
8	1	la	Ilex verticillata 'Red Sprite'	Winterberry Holly	18-24"	cont.	
3	1	Pod	Physocarpus opulus 'Diablo'	Diablo Ninebark	24-30"	cont.	
6	3	Pod	Physocarpus opulus 'Diablo'	Diablo Ninebark	24-30"	cont.	
1	1	Rfr	Rhamnus frangula	Fine Line Buckthorn	24"	cont.	
3	1	Rfr	Rhamnus frangula	Fine Line Buckthorn	24"	cont.	
10	1	Ra	Rhus aromatica 'Gro Low'	Gro Low Sumac	24"	cont.	
16	1	Ra	Rhus aromatica 'Gro Low'	Gro Low Sumac	24"	cont.	
3	2	Rdk	Rosa 'Double Knock out'	Double Knockout roses	18-24"	cont.	
4	1	Sm	Spiraea japonica 'Magic Carpet'	Magic Carpet Spines	18-24"	cont.	
6	1	Smp	Syringa meyeri 'Palibor'	Dwarf Korean Lilac	24"	cont.	
Deciduous Trees							
1	3	Aq	Acer griseum	Paperbark Maple	2-5" Cal.	B&B	
1	3	As	Acer saccharum	Sugar Maple	2.5-3" cal.	B&B	
2	1	As	Acer saccharum	Sugar Maple	2.5-3" cal.	B&B	
1	3	Ar	Acer rubrum 'Armstrong'	Armstrong Red Maple	2.5-3" cal.	B&B	
2	2	Ar	Acer rubrum 'Armstrong'	Armstrong Red Maple	2.5-3" cal.	B&B	
1	1	Bn	Betula nigra 'Cully'	Heritage River Birch	10-12"	B&B	
2	1	Bn	Betula nigra 'Cully'	Heritage River Birch	10-12"	B&B	
2	2	Co	Celtis occidentalis	Common Hackberry	2.5-3" cal.	B&B	
1	1	Gl	Gleditsia tricanthos	Skyline Locust	2.5-3" cal.	B&B	
2	2	Gl	Gleditsia tricanthos	Skyline Locust	2.5-3" cal.	B&B	
1	1	Pc	Pyrus calleryana	Cleveland Select	2.3-3" cal.	B&B	
2	1	Pc	Pyrus calleryana	Cleveland Select	2.3-3" cal.	B&B	
1	1	Qr	Quercus rubra	Northern Red Oak	2.5-3" cal.	B&B	
1	1	Ta	Tilia americana 'Boulevard'	Boulevard American Linden	2.3-3" cal.	B&B	
Evergreen Shrubs							
3	2	Bw	Buxus microphylla 'Wintergem'	Wintergem Boxwood	18-24"	cont.	
3	4	Cfm	Chamaecyparis filifera 'Mops'	Goldmop Cypress	24"	cont.	
8	3	Cfm	Chamaecyparis filifera 'Mops'	Goldmop Cypress	24"	comp.	
6	2	Jg	Juniper virginiana 'Grey Owl'	Grey Owl Juniper	18-24"	cont.	
7	1	Jg	Juniper virginiana 'Grey Owl'	Grey Owl Juniper	18-24"	cont.	
10	1	Jg	Juniper virginiana 'Grey Owl'	Grey Owl Juniper	18-24"	cont.	
3	1	Te	Taxus x media 'Everlow'	Everlow Yew	18-24"	cont.	
7	1	Te	Taxus x media 'Everlow'	Everlow Yew	18-24"	cont.	
Evergreen Trees							
1	1	Pg	Picea glauca densata	Black Hills Spruce	6-8'	B&B	
3	1	Pg	Picea glauca densata	Black Hills Spruce	6-8'	B&B	
3	1	Ps	Pinus strobus	Eastern White Pine	6-8'	B&B	
3	1	Td	Taxodium distichum	Bald Cypress	6-8'	B&B	
3	2	Th	Thuja occidentalis 'George Peabody'	George Peabody Arborvitae	6'	B&B	
Ornamental Trees							
1	2	Ac	Amelanchier x grandiflora 'Aut. Brill.'	Autumn Brilliance Serviceberry	8-10' clump	B&B	
2	1	Ac	Amelanchier x grandiflora 'Aut. Brill.'	Autumn Brilliance Serviceberry	8-10' clump	B&B	
2	1	Cc	Cercis canadensis	Eastern Redbud	6-8' clump	B&B	

PLANT SCHEDULE							
Quantity (Of Groups)	Quantity (In Groups)	SYM.	Botanic Name	Common Name	Size	Root	Com.
Perennials							
1	1	Cf	Cornus florida	Flowering Dogwood	6'	B&B	
Perennials							
7	1	Cr	Calamagrostis 'Overdam'	Feather Reed Grass	3 Gal.	cont.	36" o.c.
9	2	Cr	Calamagrostis 'Overdam'	Feather Reed Grass	3 Gal.	cont.	36" o.c.
9	1	Ep	Echinacea purpurea	Purple Coneflower	1 gal.	cont.	24" o.c.
15	1	Ep	Echinacea purpurea	Purple Coneflower	1 gal.	cont.	24" o.c.
9	1	Ha	Hakonechloa 'Aureola'	Gold Japanese Forest Grass	1 gal.	cont.	24" o.c.
13	2	Hs	Helictotrichon Sempervirens	Blue Oat Grass	1 gal.	cont.	24" o.c.
11	2	Hpm	Hemerocallis 'Pardon Me'	Pardon Me Daylily	1 gal.	cont.	18" o.c.
15	1	Hpm	Hemerocallis 'Pardon Me'	Pardon Me Daylily	1 gal.	cont.	18" o.c.
18	1	Hpm	Hemerocallis 'Pardon Me'	Pardon Me Daylily	1 gal.	cont.	18" o.c.
15	1	Hmg	Hemerocallis 'Pardon Me'	Pardon Me Daylily	1 gal.	cont.	18" o.c.
7	1	Ml	Miscanthus 'Morning Light'	Morning Light Maiden Grass	3 Gal.	cont.	24" o.c.
11	2	Ml	Miscanthus 'Morning Light'	Morning Light Maiden Grass	3 Gal.	cont.	24" o.c.
15	2	Mlv	Miscanthus 'Variegatus'	Variegated Silver Grass	3 Gal.	cont.	48" o.c.
9	1	Ph	Panicum 'North Wind'	North Wind Switch Grass	3 Gal.	cont.	36" o.c.
10	1	Ph	Panicum 'North Wind'	North Wind Switch Grass	3 Gal.	cont.	36" o.c.
11	1	Ph	Panicum 'North Wind'	North Wind Switch Grass	3 Gal.	cont.	36" o.c.
13	1	Ph	Panicum 'North Wind'	North Wind Switch Grass	3 Gal.	cont.	36" o.c.
13	1	Ph	Pennisetum 'Dwarf Hameln'	Dwarf Fountain Grass	1 gal.	cont.	36" o.c.
15	2	Ph	Pennisetum 'Dwarf Hameln'	Dwarf Fountain Grass	1 gal.	cont.	36" o.c.
17	1	Ph	Pennisetum 'Dwarf Hameln'	Dwarf Fountain Grass	1 gal.	cont.	36" o.c.
9	1	Pi	Perovskia 'Little Spire'	Dwarf Russian Sage	1 gal.	cont.	36" o.c.
11	1	Rg	Rudbeckia Goldstrum	Black Eyed Susans	1 gal.	cont.	24" o.c.
13	1	Saf	Sedum 'Autumn Fire'	Autumn Fire Sedum	1 gal.	cont.	24" o.c.



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No.	Description	Date

LANDSCAPE
SCHEDULE

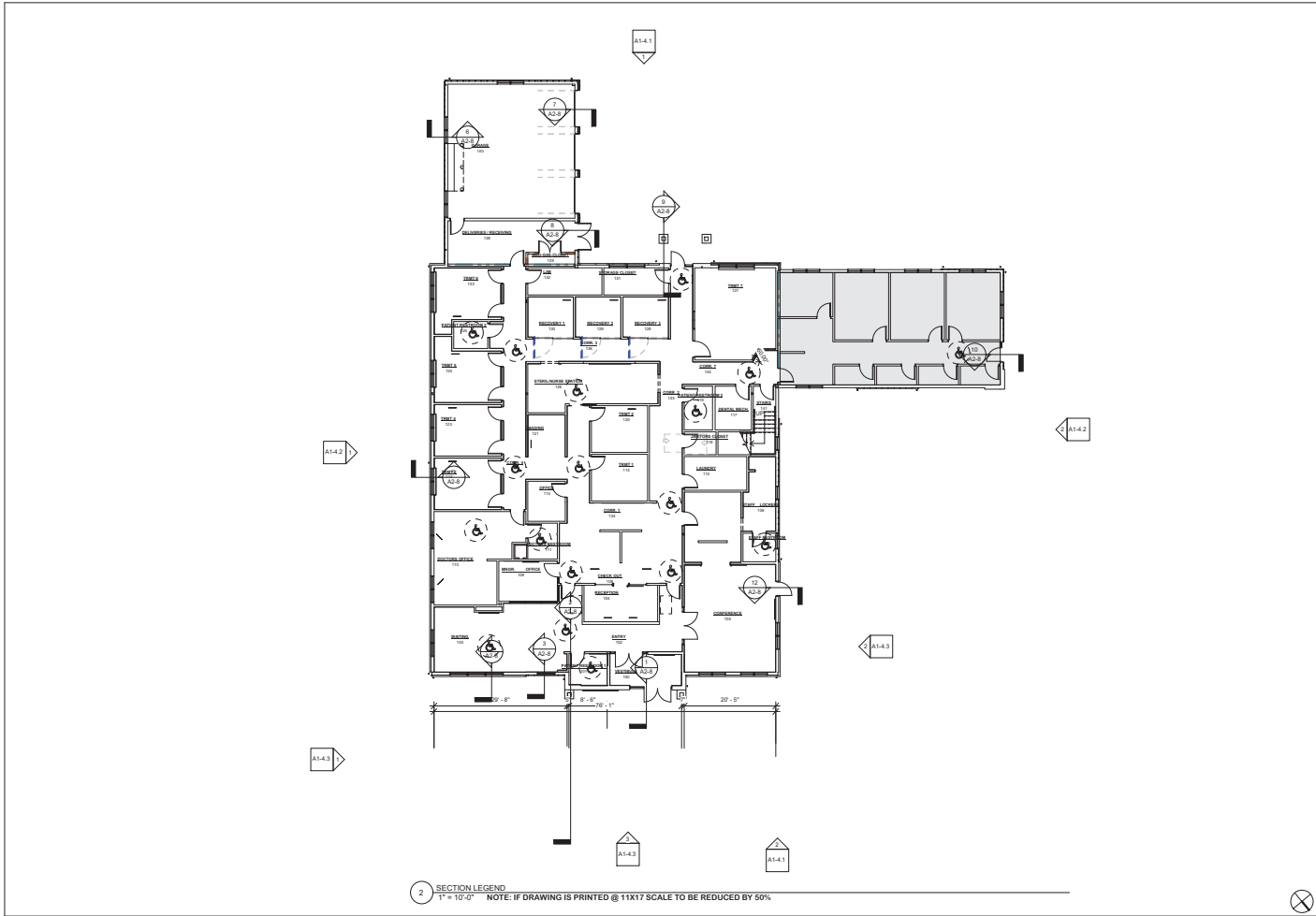
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2 SECTION LEGEND
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EXTERIOR VIEWS KEY

Project number 11322

A1-2

Scale 1" = 10'-0"

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PROJECT ENERGY CODE INFORMATION

CLIMATE ZONE ZONE 5A
DOES THE BUILDING INCLUDE GROUP R OCCUPANCY? NO

OPAQUE ENVELOPE ITEM	REQUIRED R-VALUE	ACTUAL R-VALUE
ROOF (ATTIC AND OTHER)	R38	R38
WALLS ABOVE GRADE (WOOD FRAMED AND OTHER)	R13 + R3.8i OR R20	R20
WALLS BELOW GRADE	R7.5i	R7.5i
SLAB-ON-GRADE FLOORS (UNINSULATED SLABS)	R10 FOR 3" BELOW	R10 FOR 3" BELOW
OPAQUE DOORS (NONSLIDING)	R4.75	R8
OPAQUE DOORS (SLIDING)	0.37 U-VALUE	0.37 U-VALUE

ENVELOPE PENETRATION	REQUIRED	ACTUAL
FIXED PENETRATION	0.38	0.38
OPERABLE PENETRATION	0.45	0.45
ENTRANCE DOORS	0.77	0.77
SHGC - NORTH ORIENTATION (PF < 0.2)	0.53	0.53
SHGC - SEW ORIENTATION (PF < 0.2)	0.38	0.38
SHGLIGHTS U-FACTOR	0.50	N/A
SHGLIGHTS SHGC	0.40	N/A

EXTERIOR FINISH SCHEDULE

1. EQUAL PRODUCTS ARE ACCEPTABLE AFTER IT HAS BEEN SUBMITTED & APPROVED BY ARCHITECT.

2. ALL PRODUCTS TO BE INSTALLED PER MANUFACTURER REQUIREMENTS

TAG	MATERIAL	MFG.	SPECIFICATION / DESCRIPTION	LOCATION	REMARKS
EXT-DS-1	OVERSIZED DOWNPOUT	PAC-CLAD	PROFILE: 4" X 9" PAC-TITE LT DOWNPOUT CORRUGATED COLOR: MATTE BLACK	WHERE NOTED ON ELEVATIONS	
EXT-ES-1	EDGE SOFFIT	QUALITY EDGE	PROFILE: TRULINE HIDDEN VENT COLOR: WHITE	TOP OF ALL SIDES	
EXT-ES-2	CANOPY SOFFIT	CUMBER	PROFILE: TONG AND GROOVE SOFFIT COLOR: TO BE PAINTED W/ SW 7052 PURE WHITE	TOP OF CANOPIES	
EXT-F-1	FASCIA	QUALITY EDGE	PROFILE: TRULINE HP-1 SERIES FASCIA 1" SMOOTH COLOR: BLACK	WHERE NOTED ON ELEVATIONS	
EXT-GT-1	OVERSIZED GUTTER	PAC-CLAD	PROFILE: PAC-TITE LT GUTTER K-STYLE 1/2" COLOR: MATTE BLACK	WHERE NOTED ON ELEVATIONS	
EXT-PS-1	PRECAST BILL	MODERN PRECAST	PROFILE: 8"X 3/4" SLOPE BILL COLOR: WHITE TO MATCH ST-1	WHERE NOTED ON ELEVATIONS	
EXT-PS-2	PRECAST BILL	MODERN PRECAST	PROFILE: 8"X 3/4" SLOPE BILL COLOR: WHITE TO MATCH ST-1	WHERE NOTED ON ELEVATIONS	
EXT-R-1	SHINGLE ROOF	GAF	PROFILE: TIMBERLINE COLOR: PEWTER GRAY	WHERE NOTED ON ELEVATIONS	
EXT-R-2	METAL ROOF	PAC-CLAD	PROFILE: TITE-LOCK COLOR: MATTE BLACK	WHERE NOTED ON ROOF PLAN	
EXT-S-1	VERTICAL SIDING	NEWTECHWOOD	PROFILE: NORWEGIAN BOARD, LH#8 4" X 11" 0", COLOR: KARAIAN CHARCOAL	WHERE NOTED ON ELEVATIONS	
EXT-S-2	PLANK LAP SIDING	JAMES HARDIE	PROFILE: LAP SIDING SELECT CEDARMILL COLOR: PEARL GRAY	WHERE NOTED ON ELEVATIONS	TO BE PAINTED TO MATCH EXT-S-2 COLOR
EXT-S-3	SHINGLE SIDING	JAMES HARDIE	PROFILE: HARDIE SHINGLE SIDING STRAIGHT EDGE PANEL COLOR: PEARL GRAY	WHERE NOTED ON ELEVATIONS	TO BE PAINTED TO MATCH EXT-S-3 COLOR
EXT-S-4	VERTICAL PANEL SIDING	JAMES HARDIE	PROFILE: HARDIE PANEL VERTICAL SIDING SMOOTH 8" WIDE 1/8" BATTEN SCORES SMOOTH 8" 1/8" O.C. COLOR: IRON GRAY	WHERE NOTED ON ELEVATIONS	TO BE PAINTED W/ COLOR BENJAMIN MOORE 1989 NIGHTFALL
EXT-ST-1	FULL BED STONE	EDEN VALDERS STONE	VALDERS DOVE WHITE DIMENSIONAL TUMBLED FULL BED STONE 3-10" THICK	WHERE NOTED ON ELEVATIONS	ABOVE WINDOWS WHERE NOTED IN ELEVATIONS
EXT-TB-1	KNOTWOOD	KNOTWOOD OR EQUAL	2x8 BATTENS, WESTERN RED CEDAR	WHERE NOTED ON ELEVATIONS	ABOVE WINDOWS WHERE NOTED IN ELEVATIONS
EXT-VS-1	VINYL FENCE	CERTIFIED	LEXINGTON SMOOTH PRIVACY FENCE 6" HIGH COLOR: WHITE 6" FLAT EXTERNAL GAP	PER ELEVATIONS	
EXT-VS-1	ENGINEER WOOD STAIN	BY CONTRACTOR	LEXINGTON SMOOTH PRIVACY 12" CLEAR FENCE GATE 6" HIGH COLOR: WHITE	PER ELEVATIONS	
EXT-WT-1	ORNAMENTAL WOOD TIES	SIMPSON STRONG TIE OR SIMILAR	GULLAN STAIN TO MATCH KNOTWOOD WESTERN RED CEDAR FINISH	WHERE NOTED ON ELEVATIONS	
EXT-WT-1	ORNAMENTAL WOOD TIES	AVANT COLLECTION, WOOD CONSTRUCTION CONNECTIONS, OUTDOOR ACCENTS		WHERE NOTED ON ELEVATIONS	

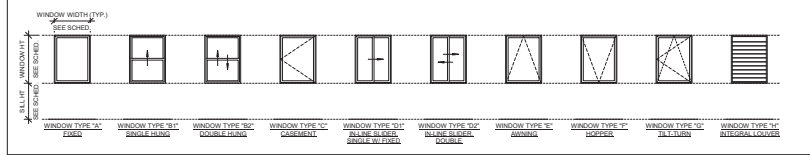
WINDOW SCHEDULE

1. ALL STOREFRONT TO BE TUBETITE VERSATHERM STOREFRONT KLT TYPE "A" 2"x4"x12" THERMALLY BROKEN MULLIONS, 1" INSULATED GLASS UNIT (IGU), LOW-E, 0.38 U-VALUE, DOUBLE PANED (SHGC-35%, BLACK SPACERS) AND TRIM OR EQUAL. STOREFRONT TO HAVE A DARK BRONZE FINISH.

2. SEE EXTERIOR ELEVATION SHEETS A1.4 FOR STOREFRONT ELEVATIONS.

WINDOW NO.	WIDTH	HEIGHT	BILL TYPE	WINDOW TYPE	FRAME MATERIAL	REMARKS
171	3'-0"	5'-0"	2'-0"	A	PER MFG.	ANDERSEN 100 SERIES PICTURE WINDOW W/ LOW-E GLASS, BLACK INTERIOR AND BLACK EXTERIOR
173	3'-0"	1'-6"	7'-0"	A	PER MFG.	ANDERSEN 100 SERIES PICTURE WINDOW W/ LOW-E GLASS, BLACK INTERIOR AND BLACK EXTERIOR
176	3'-0"	5'-0"	2'-0"	A	PER MFG.	ANDERSEN 100 SERIES PICTURE WINDOW W/ LOW-E GLASS, BLACK INTERIOR AND BLACK EXTERIOR
177	3'-0"	1'-6"	7'-0"	A	PER MFG.	ANDERSEN 100 SERIES PICTURE WINDOW W/ LOW-E GLASS, BLACK INTERIOR AND BLACK EXTERIOR
178	3'-0"	5'-0"	2'-0"	A	PER MFG.	ANDERSEN 100 SERIES PICTURE WINDOW W/ LOW-E GLASS, BLACK INTERIOR AND BLACK EXTERIOR
179	3'-0"	1'-6"	7'-0"	A	PER MFG.	ANDERSEN 100 SERIES PICTURE WINDOW W/ LOW-E GLASS, BLACK INTERIOR AND BLACK EXTERIOR
A	3'-0"	5'-0"	2'-0"	A	PER MFG.	ANDERSEN 100 SERIES PICTURE WINDOW W/ LOW-E GLASS, BLACK INTERIOR AND BLACK EXTERIOR
B	2'-6"	4'-0"	4'-0"	A	PER MFG.	ANDERSEN 100 SERIES PICTURE WINDOW W/ LOW-E GLASS AND FULL DIVIDED LIGHT GRILLS WITH SPECIFIED EQUAL PANES (PER ELEVATION), BLACK INTERIOR AND BLACK EXTERIOR
D	4'-0"	5'-0"	2'-0"	A	PER MFG.	ANDERSEN 100 SERIES PICTURE WINDOW W/ LOW-E GLASS, BLACK INTERIOR AND BLACK EXTERIOR
E	3'-0"	1'-6"	7'-0"	A	PER MFG.	ANDERSEN 100 SERIES PICTURE WINDOW W/ LOW-E GLASS, BLACK INTERIOR AND BLACK EXTERIOR
F	4'-0"	1'-6"	7'-0"	A	PER MFG.	ANDERSEN 100 SERIES PICTURE WINDOW W/ LOW-E GLASS, BLACK INTERIOR AND BLACK EXTERIOR

WINDOW TYPES



SUBCONTRACTOR NOTES

- PROVIDE WEATHER BARRIER OVER ALL EXTERIOR SHEATHING PRIOR TO THE INSTALLATION OF ANY EXTERIOR FINISH MATERIAL.
- INSTALL PER MANUFACTURER'S SPECIFICATIONS AND PROVIDE ALL MANUFACTURER ACCESSORIES TO FULLY FLASH AND COUNTER, FLASH AT ALL WINDOWS, DOORS, AND EXTERIOR PENETRATIONS.
- PROVIDE A WEATHER TIGHT BARRIER AT ALL SURFACES.
- COORDINATE FLASHING WITH WINDOW, DOOR, UNIT, ETC. MANUFACTURERS FOR A WEATHER TIGHT SEAL AT ALL OPENINGS.
- TAPE FLASH AROUND ALL OPENINGS AND ON WALL JOINTS PER MANUFACTURER REQUIREMENTS.



9550 W Higgins Rd. 170
Rosemont, IL 60018

DR. MATTHEW MCKNIGHT

2600 FOXFIELD RD
ST. CHARLES, IL 60174

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No.	Description	Date
1	10/25/2022	
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EXTERIOR SCHEDULES

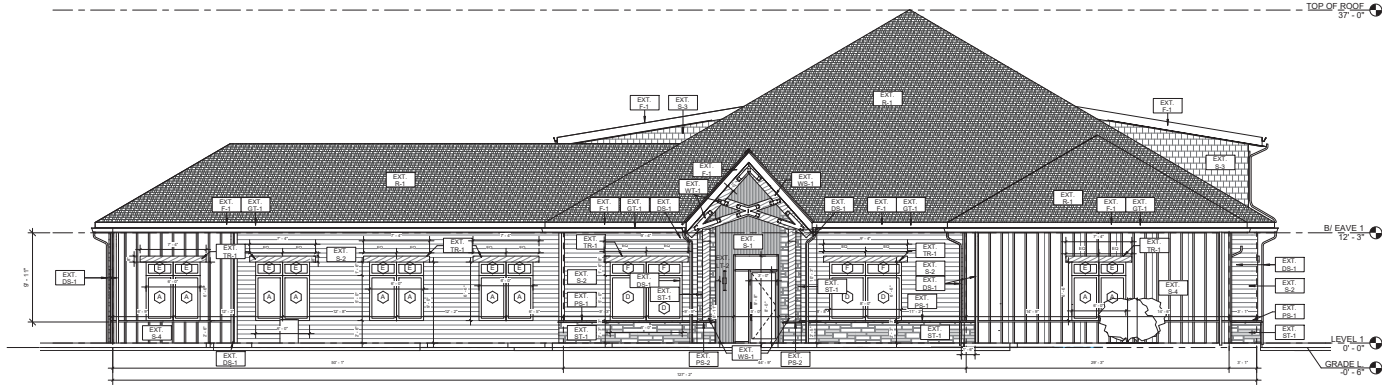
Project number 11322

A1-3

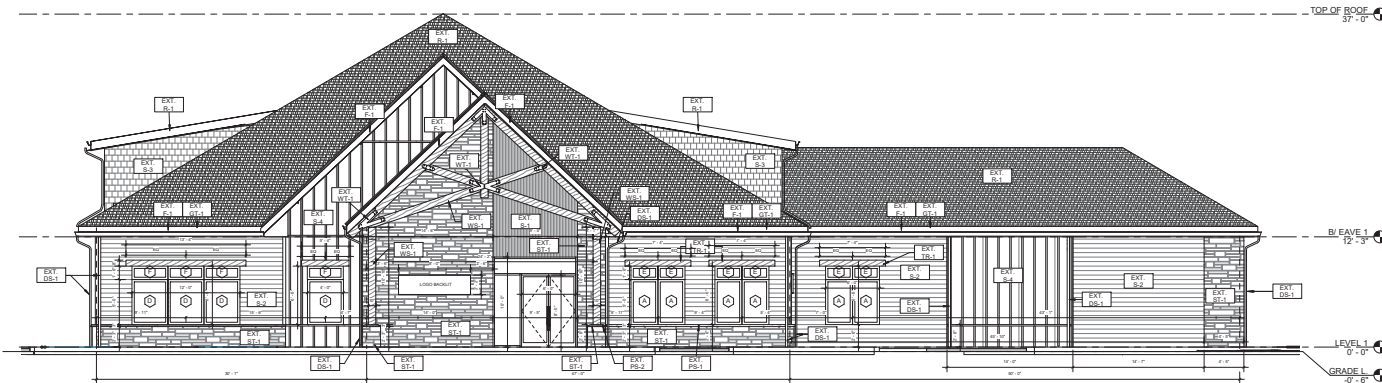
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1 ELEVATION - WEST
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



2 ELEVATION - EAST
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%

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DR. MATTHEW MCKNIGHT
2600 FOXFIELD RD.
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EXTERIOR ELEVATIONS

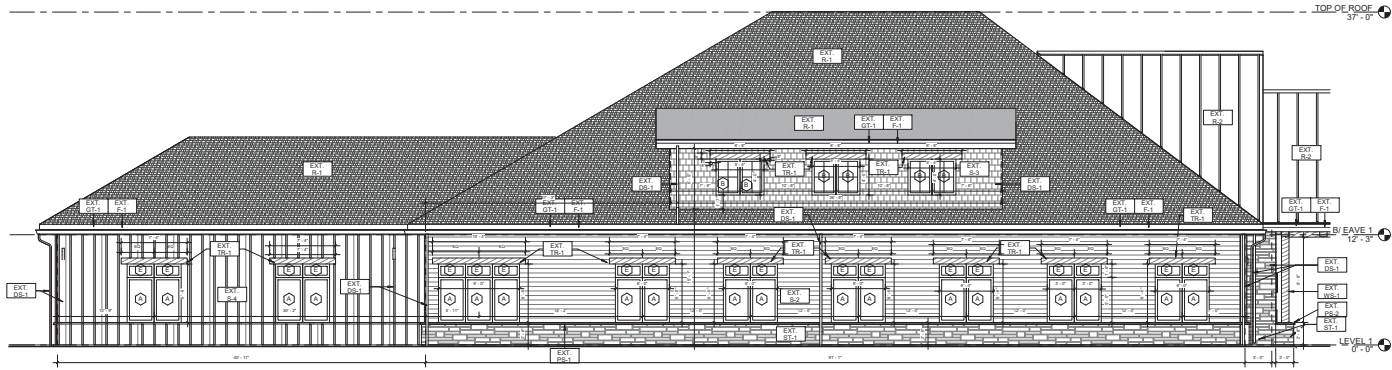
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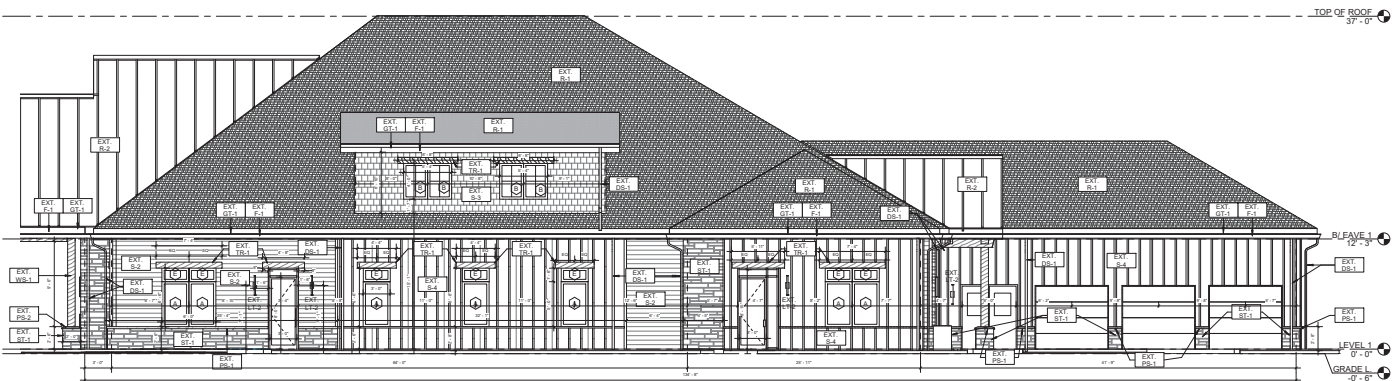
Scale 3/16" = 1'-0"

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1 ELEVATION - SOUTH
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



2 ELEVATION - NORTH
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



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Rosemont, IL 60018

DR. MATTHEW MCKNIGHT
2600 FOXFIELD RD.
ST. CHARLES, IL 60174

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1	PUB	10/25/2022

EXTERIOR ELEVATIONS

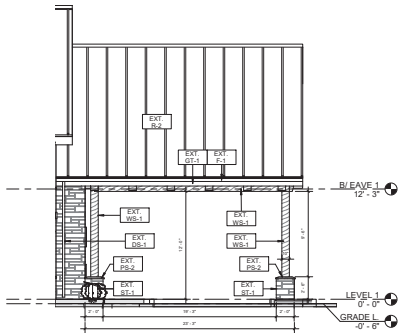
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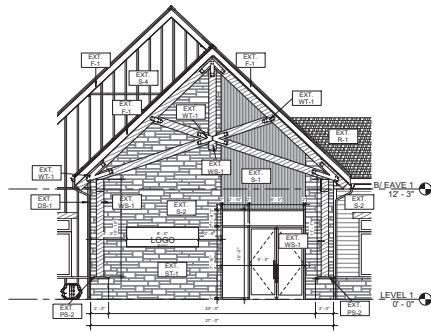
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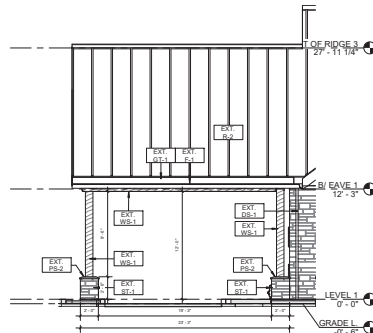
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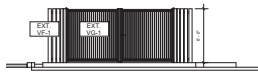
1 ELEVATION - ENTRY CANOPY - SOUTH
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



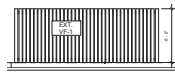
3 ELEVATION - ENTRY CANOPY - EAST
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



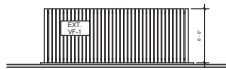
2 ELEVATION - ENTRY CANOPY - NORTH
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



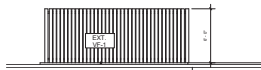
4 ELEVATION - GARBAGE ENCLOSURE
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



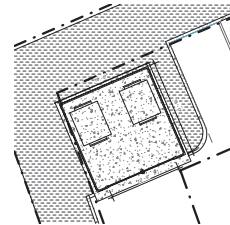
5 ELEVATION - GARBAGE ENCLOSURE 2
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



6 ELEVATION - GARBAGE ENCLOSURE 3
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



7 ELEVATION - GARBAGE ENCLOSURE 4
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



8 SITE PLAN - FENCE
1/8" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%

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No.	Description	Date
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EXTERIOR
ELEVATIONS

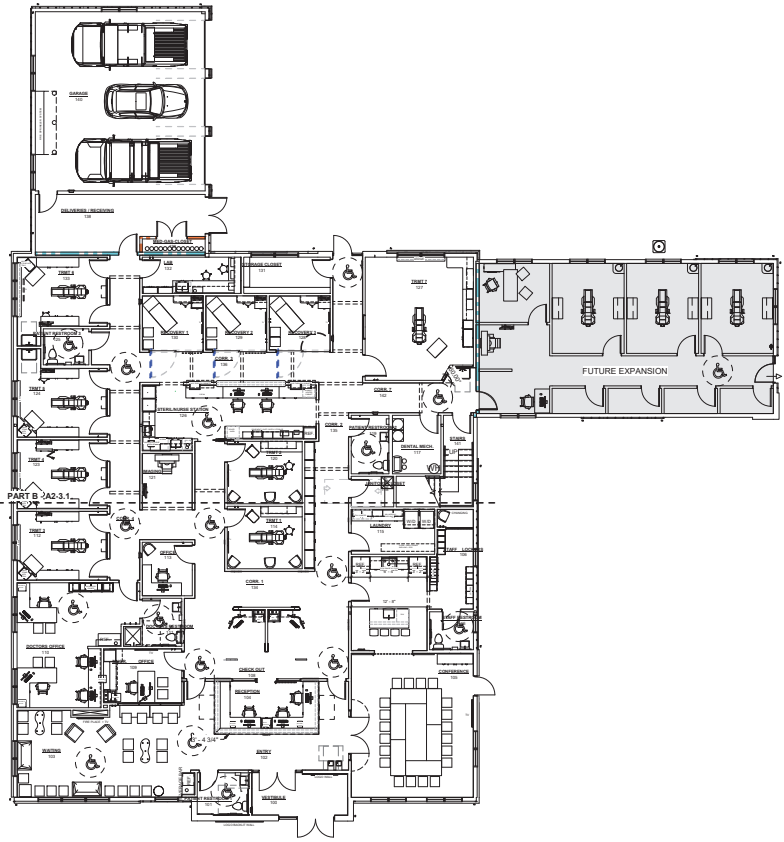
Project number 11322

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1 OVERALL FLOOR PLAN & NOTES
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OVERALL FLOOR PLAN

Project number 11322

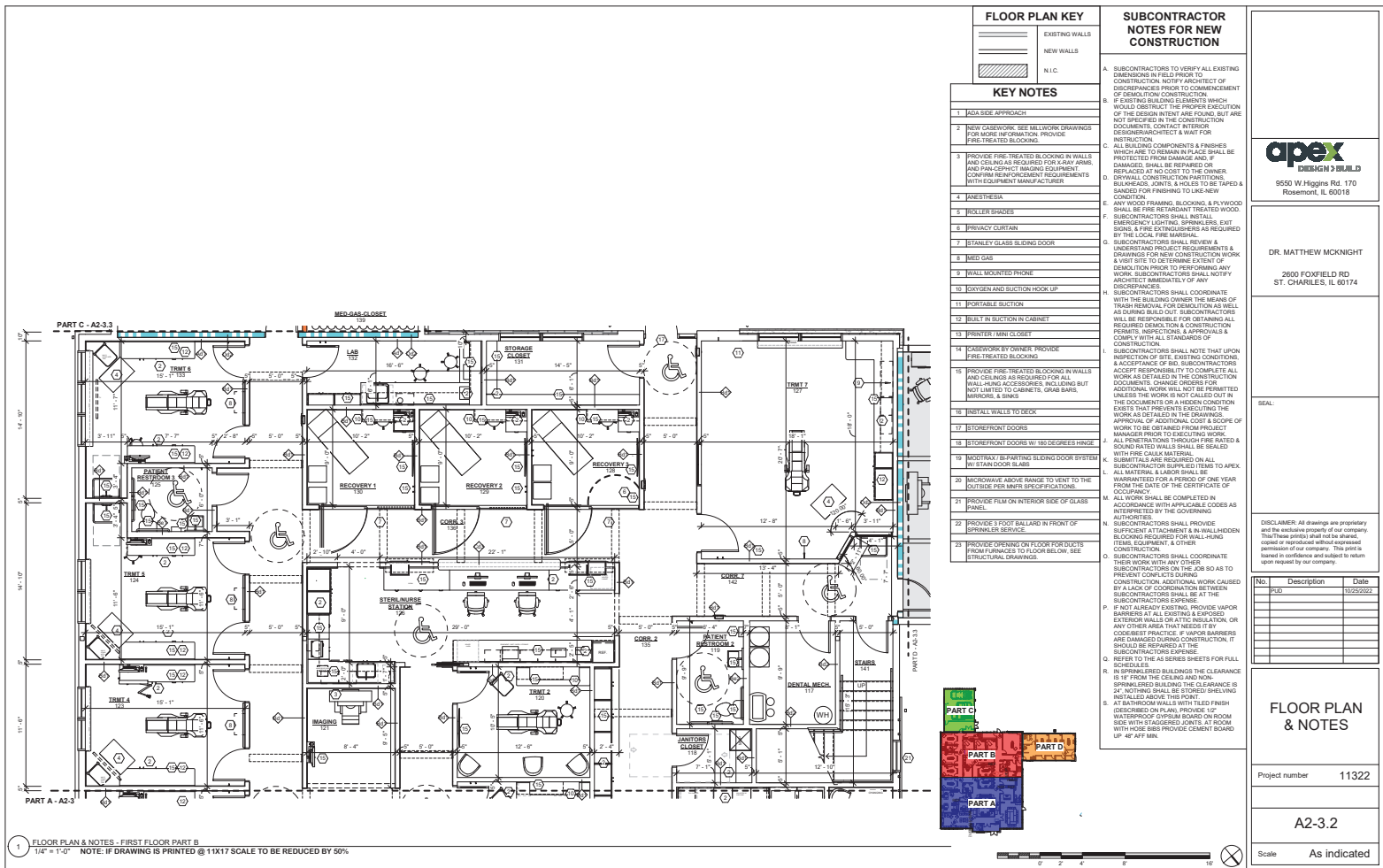
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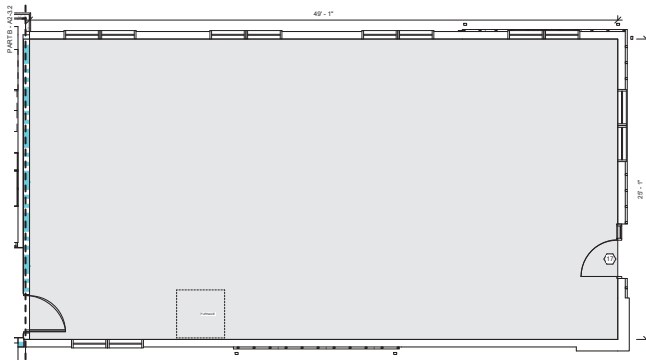
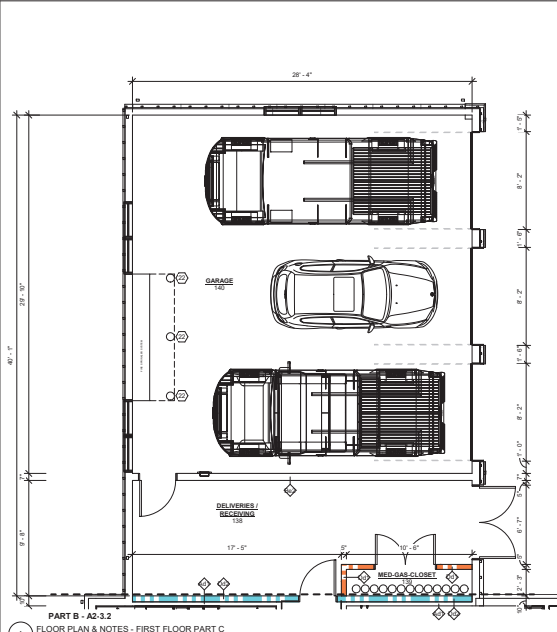
Scale 1/8" = 1'-0"

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FLOOR PLAN KEY	
	EXISTING WALLS
	NEW WALLS
	N.I.C.

KEY NOTES	
1	MAXI-BEEL APPROACH
2	NEW CASEWORK, SEE MEYWORK DRAWINGS FOR MORE INFORMATION. PROVIDE FIRE-TREATED BLOCKING
3	PROVIDE FIRE-TREATED BLOCKING IN WALLS AND CEILING AS REQUIRED FOR ALL WARE, AND PAN-CHEPCT MADING EQUIPMENT. CONFIRM REINFORCEMENT REQUIREMENTS WITH EQUIPMENT MANUFACTURER
4	ANESTHESIA
5	ROLLER SHADES
6	PRIVACY CURTAIN
7	STANLEY GLASS BLIND DOOR
8	MED GAS
9	WALL MOUNTED PHONE
10	WOTTER AND SUTTON TROCK UP
11	PORTABLE SECTION
12	BUILT IN SUTTON IN CABINET
13	PRINTER, MINI CLOSET
14	CASEWORK BY OWNER, PROVIDE FIRE-TREATED BLOCKING
15	PROVIDE FIRE-TREATED BLOCKING IN WALLS AND CEILING AS REQUIRED FOR ALL WALL-HUNG ACCESSORIES INCLUDING BUT NOT LIMITED TO CABINETS, GRAB BARS, MIRRORS, & SINKS
16	INITIAL WALLS TO DECK
17	STOREFRONT DOORS
18	STOREFRONT DOORS W/ 18" DECORATIVE TRIM
19	MOVOTAN 18" PARTING SLIDING DOOR SYSTEM W/ STAIN DOOR SLABS
20	MICROWAVE ABOVE RANGE TO VENT TO THE OUTSIDE PER MINOR SPECIFICATIONS
21	PROVIDE 3" POOF BALLARD IN FRONT OF SPRINKLER SERVICE
22	PROVIDE OPENING ON FLOOR FOR GASES FROM FURNACES TO FLOOR BELOW, SEE STRUCTURAL DRAWINGS

SUBCONTRACTOR NOTES FOR NEW CONSTRUCTION

A. SUBCONTRACTORS TO VERIFY ALL EXISTING DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO COMMENCEMENT OF DEMOLITION CONSTRUCTION. B. IF EXISTING BUILDING ELEMENTS WHICH WOULD DESTROY THE PROPER EXECUTION OF THE DESIGN HEREIN ARE FOUND, BUT ARE NOT SPECIFIED IN THE CONSTRUCTION DOCUMENTS, CONTACT ARCHITECT, DESIGNER/ARCHITECT & WAIT FOR INSTRUCTION. C. ALL BUILDING COMPONENTS & FINISHES WHICH ARE TO REMAIN IN PLACE SHALL BE PROTECTED FROM DAMAGE AND, IF DAMAGED, SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER. D. DEWALL CONSTRUCTION PARTITIONS, MIRROR, JARIS, & POLLS TO BE TYPED & SANDED FOR FINISHING TO LIKE-NEW CONDITION. E. ANY WOOD FRAMING, BLOCKING, & PLYWOOD SHALL BE FIRE-RETARDANT TREATED WOOD. F. SUBCONTRACTORS SHALL INSTALL EMERGENCY LIGHTING, SPRINKLERS, EXT BONGS, & FIRE EXTINGUISHERS AS REQUIRED BY THE LOCAL FIRE MARSHAL. G. SUBCONTRACTORS SHALL REVIEW & UNDERSTAND PROJECT REQUIREMENTS & VISIT SITE TO DETERMINE EXTENT OF DEMOLITION PRIOR TO PERFORMING ANY WORK. SUBCONTRACTORS SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. H. SUBCONTRACTORS SHALL COORDINATE WITH THE BUILDING OWNER THE MEANS OF TRUSS REMOVAL FOR DEMOLITION AS WELL AS DURING BUILD OUT. SUBCONTRACTORS WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, & APPROVALS & COMPLY WITH ALL STANDARDS OF CONSTRUCTION. I. SUBCONTRACTORS SHALL NOTE THAT UPON INSPECTION OF SITE, EXISTING CONDITIONS, & ACCEPTANCE OF BID, SUBCONTRACTORS ACCEPT RESPONSIBILITY TO COMPLETE ALL WORK AS DETAILED IN THE CONSTRUCTION DOCUMENTS. CHANGE ORDERS FOR ADDITIONAL WORK WILL NOT BE PERMITTED UNLESS THE WORK IS NOT CALLED OUT IN THE DOCUMENTS OR A HIDDEN CONDITION EXISTS THAT PREVENTS EXECUTING THE WORK AS DETAILED IN THE DRAWINGS. APPROVAL OF ADDITIONAL COST & SCOPE OF WORK TO BE OBTAINED FROM PROJECT MANAGER PRIOR TO EXECUTING WORK. J. ALL OPERATIONS THROUGH FIRE RATED & SOUND RATED WALLS SHALL BE SEALED WITH FIRE CAULK MATERIAL. K. SUBMITTALS ARE REQUIRED ON ALL SUBCONTRACTOR SUPPLIED ITEMS TO APEX. L. ALL MATERIAL & LABOR SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE CERTIFICATE OF OCCUPANCY. M. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE CODES AS AUTHORIZED BY THE GOVERNING JURISDICTION. SUBCONTRACTORS SHALL PROVIDE SUFFICIENT ATTACHMENT & IN WALL-HIDDEN BLOCKING REQUIRED FOR WALL-HUNG ITEMS, EQUIPMENT, & OTHER. N. SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH ANY OTHER SUBCONTRACTORS ON THE JOB SO AS TO PREVENT CONFLICTS DURING CONSTRUCTION. ADDITIONAL WORK CAUSED BY A LACK OF COORDINATION BETWEEN SUBCONTRACTORS SHALL BE AT THE SUBCONTRACTORS EXPENSE. O. IF NOT ALREADY EXISTING, PROVIDE VAPOR BARRIERS AT ALL EXISTING & EXPOSED EXTERIOR WALLS OR ATTIC INSULATION, OR ANY OTHER AREA THAT NEEDS IT BY CODE-BEST PRACTICE. IF VAPOR BARRIERS ARE DAMAGED DURING CONSTRUCTION, IT SHOULD BE REPAIRED AT THE SUBCONTRACTORS EXPENSE. P. REFER TO THE AS SERIES SHEETS FOR FULL SCHEDULE. Q. IN SPRINKLERED BUILDINGS THE CLEARANCE IS 18" FROM THE CEILING AND NON-SPRINKLERED BUILDING THE CLEARANCE IS 24" NOTHING SHALL BE STORED INCLUDING RETAINED ABOVE THIS POINT. R. AT BATHROOM WALLS WITH TILED FINISH (DESCRIBED ON PLAN), PROVIDE 1/2" WATERPROOF CURBS ON BOWLS ON ROOM SIDE WITH TUBS/SHOWER UNITS. AT ROOM WITH HOSE BIBS PROVIDE CEMENT BOARD UP 48" AFF MIN.

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Rosemont, IL 60018

DR. MATTHEW MCKNIGHT
2600 FOXFIELD RD
ST. CHARLES, IL 60174

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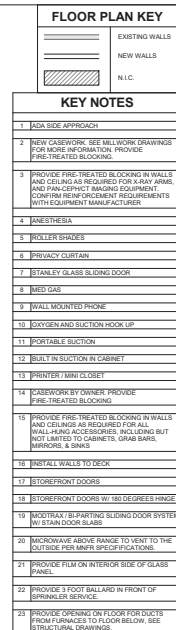
FLOOR PLAN & NOTES

Project number 11322

A2-3.3

Scale As indicated

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SUBCONTRACTOR
NOTES FOR NEW
CONSTRUCTION[illegible]

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[illegible]2ND FLOOR
PLAN &
NOTES

Project number	11322
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Date	10/17/22
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Drawn by	NW
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Checked by MMS.CC

A2-3.4

Scale	As indicated
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