



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item Number: 4c

Title:

Consideration of a request for a 1-year extension to record a Final Plat of Subdivision for Crystal Lofts PUD.

Presenter:

Russell Colby

Meeting: Planning & Development Committee

Date: December 14, 2020

Proposed Cost: \$

Budgeted Amount: \$

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

In December 2017, the City approved the Crystal Lofts PUD under Ord. 2017-Z-21. Approved plans involve conversion of the former Lamp Factory building at the northeast corner of S. 13th and Indiana Aves. into nine (9) townhome units with five (5) additional townhomes constructed at the east end of the existing building.

In 2018, the City approved Ord. 2018-Z-31 which granted approval of a Final Plat of Subdivision for Phase 1 of the project, encompassing work on the existing building. The 2018 ordinance also approved changes to the plans to shift the garages outside of the floodplain and modifications to landscaping and building design.

While the Final Plat for Phase 1 has been approved, it cannot be recorded until the City receives a financial guarantee from the developer for the cost of public improvements, as required by the Subdivision Code (Title 16). A building permit application for Phase 1 is currently on file; however, a permit cannot be issued until the Final Plat is recorded. Additionally, the site needs to be enrolled in the Illinois EPA Site Remediation Program due to soil contamination that was discovered at the site.

Under Section 17.04.420 of the City Code, if an approved Final Plat for, at a minimum, the first phase of a development, is not recorded within 3 years following the PUD approval (12/18/17), the Special Use for PUD, PUD Preliminary Plan and Final Plat approvals shall lapse.

City Council, at its discretion and for good cause, may extend the period for recording of the Final Plat for up to 1 year at a time.

A letter has been submitted by Ascher Wolmak of Crystal Lofts LLC, property owner, requesting a 1-year extension of the PUD/Final Plat approval. The letter provides an explanation for the delay in the project. The letter states a target of April 1, 2021 to begin construction. Construction is estimated at 9 months for Phase 1.

The property has remained in a partially demolished state for an extended period of time. Staff is aware of concerns from neighbors regarding the property condition and site security. In the event City Council does not grant the requested extension, all project approvals will expire, and the property owner will be required to address the condition of the property by permanently securing the building or demolishing the structure.

Attachments *(please list):*

Letter from Ascher Wolmak dated 12/1/2020; Aerial photo of site, 2018 Project Renderings, PUD Minor Change Ord. 2018-Z-31; PUD Ord, 2017-Z-21

Recommendation/Suggested Action *(briefly explain):*

Consideration of a request for a 1-year extension to record a Final Plat of Subdivision for Crystal Lofts PUD.

Attention:

Ellen Johnson City Planner

P: 630.762.6901 | E: ejohnson@stcharlesil.gov

2 E. Main Street, St. Charles, IL 60174-1984

stcharlesil.gov

From:

Ascher Wolmark
Manager- Crystal Lofts LLC
1847 W Berteau
Chicago Illinois 60613

December 1, 2020

Dear Mrs. Johnson,

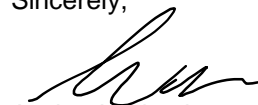
As managing member of the Crystal lofts LLC I wanted to bring you to date on the development of 14 Townhomes proposed at 214 Indiana Avenue in St. Charles, Illinois. Over the last year the Development team has encountered numerous obstacles that have impeded the construction start of the development. Construction cost over runs have incurred because of numerous existing issues with the existing site. The Phase II, requested by our construction lender, brought to light contamination with the existing soils. Delays, revised site retention designs and the relocation of the Utility Lines on Indiana, have also brought increases to our original construction budget.

The development team is working on acquiring a partner to develop the project to offset the increased costs. With the Covid Pandemic it has slowed the process considerably. We are looking to get everything finalized and construction started by April 1, 2021. Construction on the first phase has been projected at 9 months to complete.

Crystal Lofts LLC is requesting a 1 Year extension of the Crystal Lofts PUD approval and Final Plat of Subdivision.

We appreciate all the help and feedback working with The City of St. Charles Planning and Building Departments and look forward to a successful development.

Sincerely,



Ascher Wolmark

Manager Member
Crystal Lofts LLC.



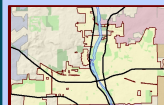
City of St. Charles, Illinois

Two East Main Street St. Charles, IL 60174-1984
Phone: 630-377-4400 Fax: 630-377-4440 - www.stcharlesil.gov

Crystal Lofts

RAYMOND ROGINA *Mayor*

MARK KOENEN *City Administrator*



Data Source:
 City of St. Charles, Illinois
 Kane County, Illinois
 DuPage County, Illinois
 Projection: Transverse Mercator
 Coordinate System: Illinois State Plane East
 North American Datum 1983
 Printed on: December 9, 2020 12:23 PM



0 42 83 Feet

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 Powered by Precision GIS

2018 Project Renderings presented with Minor Change





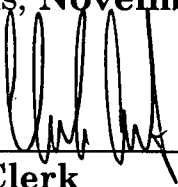
City of St. Charles, Illinois

Ordinance No.: 2018-Z-31

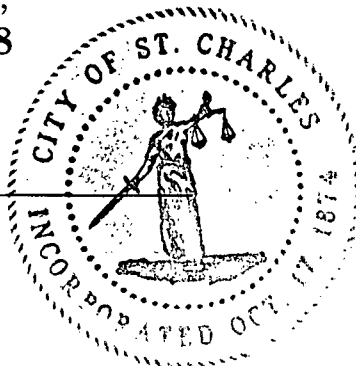
**An Ordinance Granting Approval of a Final
Plat of Subdivision for Crystal Loft
Condominiums, Phase 1 and a Minor Change
to PUD Preliminary Plan for Crystal Lofts
PUD (214 S. 13th Ave.)**

**Adopted by the
City Council
of the
City of St. Charles
November 5, 2018**

Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, **November 12, 2018**



City Clerk



(SEAL)

City of St. Charles, Illinois
Ordinance No. 2018-Z-31

An Ordinance Granting Approval of a Final Plat of Subdivision for Crystal Loft Condominiums, Phase 1 and a Minor Change to PUD Preliminary Plan for Crystal Lofts PUD (214 S. 13th Ave.)

WHEREAS, a petition to approve a Final Plat of Subdivision for Crystal Loft Condominiums, Phase 1 and a petition for a Minor Change to the PUD Preliminary Plan approved by Ordinance 2017-Z-21 “An Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan for Crystal Lofts (214 S. 13th Ave.)” were filed with the City of St. Charles (“City”) on or about August 29, 2018, by Jeffrey Funke for the property commonly known as 214 S. 13th Ave., said realty being legally described in Exhibit “A”, attached hereto and incorporated herein; and,

WHEREAS, the Plan Commission reviewed said petitions in accordance with law and recommended approval on September 4, 2018; and,

WHEREAS, the Government Operations Committee of the City Council recommended approval of said petitions on September 17, 2018; and,

WHEREAS, the City Council of the City of St. Charles received the recommendation of the Government Operations Committee of the City Council and has considered the same; and,

WHEREAS, the City Council of the City of St. Charles has determined that under Section 17.04.430 B. of the St. Charles Zoning Ordinance, the requested plan modifications constitute a minor change to the approved PUD Preliminary Plan.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. That passage of this Ordinance shall constitute approval of a Final Plat of Subdivision, such that the following documents are hereby approved, reduced copies of which are attached hereto and incorporated herein as Exhibit “B”, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community and Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Final Plat of Subdivision for Crystal Loft Condominiums, Phase 1; CEMCON, Ltd.; revisions dated 9/28/18

2. That passage of this Ordinance shall constitute approval of a Minor Change to PUD Preliminary Plan, such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto and incorporated herein as Exhibit “C”, subject to compliance with such conditions, corrections, and modifications as may be required by the

Director of Community and Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

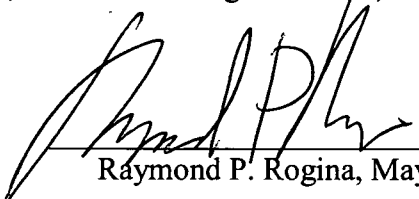
- Landscape Plan; Funke Architects; revised 10/8/18
- Architectural Elevations; Funke Architects; revised 10/8/18
- Preliminary Site/Engineering Plans (sheets 04-08); CEMON, Ltd.; revised 10/8/18, subject to Final Engineering review and approval

3. That after the adoption and approval hereof the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

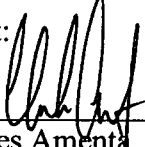
PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 5th day of November 2018.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 5th day of November 2018.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 5th day of November 2018.



 Raymond P. Rogina, Mayor

Attest: 

 Charles Amenta, City Clerk

Vote:
 Ayes: 9
 Nays: 0
 Absent: 1
 Abstain:
 Date: _____

APPROVED AS TO FORM:

 City Attorney

DATE: _____



EXHIBIT "A"

LEGAL DESCRIPTION

THAT PART OF BLOCK 5 OF W. H. WILCOX SECOND ADDITION TO ST. CHARLES AND THAT PART OF VACATED INDIANA AVENUE, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTH ALONG THE WEST LINE OF SAID BLOCK AND SAID WEST LINE EXTENDED 131.5 FEET TO A LINE DRAWN PARALLEL WITH AND 4 FEET SOUTHERLY OF, MEASURED AT RIGHT ANGLES THERETO THE SOUTHERLY LINE OF SAID BLOCK 5; THENCE EASTERLY ALONG SAID PARALLEL LINE AND SAID LINE EXTENDED TO THE EASTERLY LINE OF SAID BLOCK 5; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHEAST CORNER THEREOF; THENCE NORTHERLY ALONG SAID NORTHERLY LINE 344.4 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT "B"

FINAL PLAT OF SUBDIVISION FOR CRYSTAL LOFT CONDOMINIUMS, PHASE 1

FINAL PLAT OF SUBDIVISION
FOR

CRYSTAL LOFT CONDOMINIUMS, PHASE 1

BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

THIS PLAT WAS SUBMITTED TO THE COUNTY RECORDER FOR THE PURPOSES OF RECORDING BY:
CITY OF ST. CHARLES
2 E. MAIN STREET
ST. CHARLES, IL 60174
NOTICE TO RECORDER:
PLEASE RETURN RECORDED MAP TO THE SAME.



20 10 0 20
SCALE: 1 INCH = 20 FEET



SITE LOCATION

VICINITY MAP

TOTAL AREA OF SUBDIVISION
.761 ACRES
(MORE OR LESS)

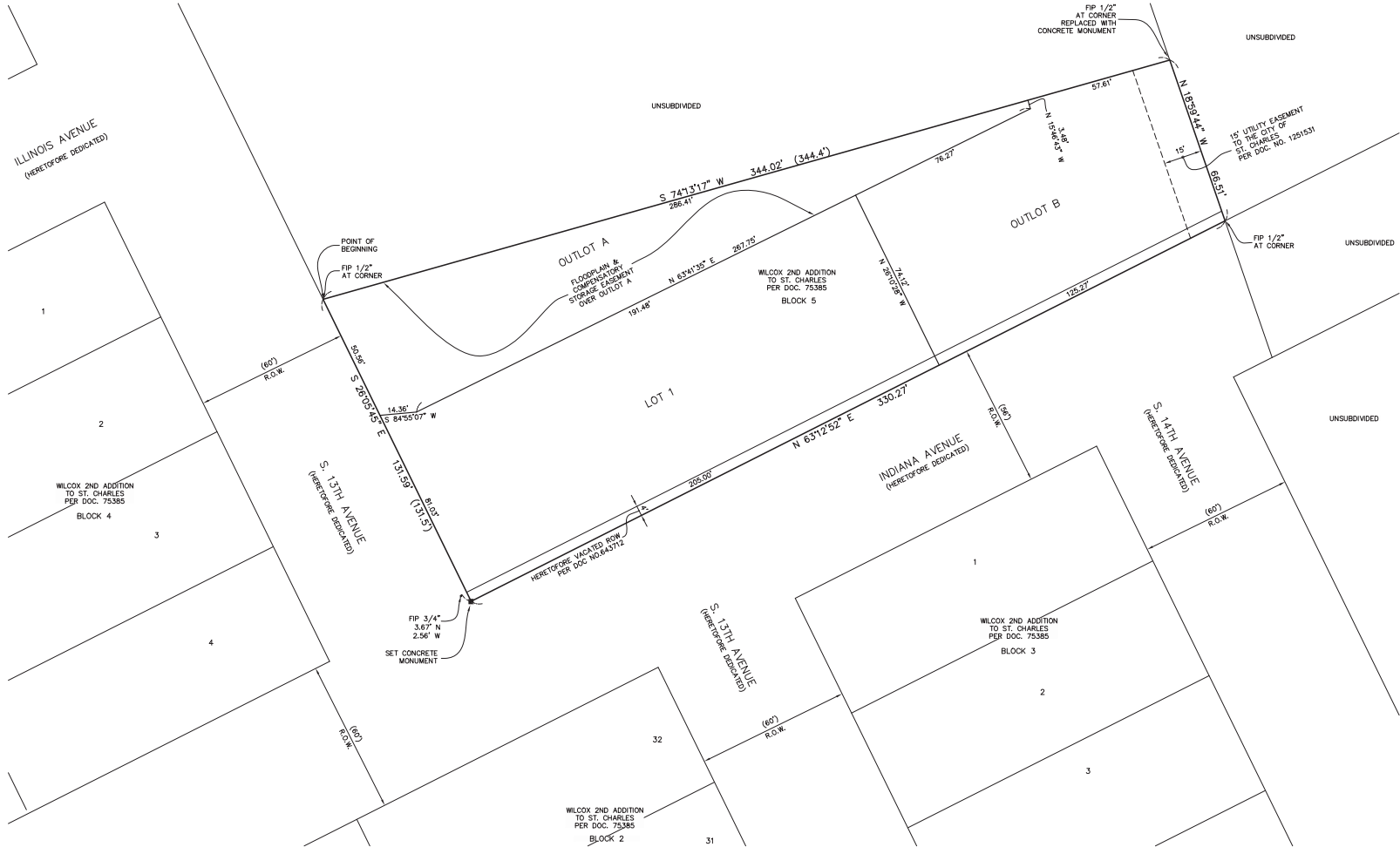
NOTES
3/4 INCH IRON PIPE SET AT SOUTHWEST AND NORTHEAST PARCEL CORNERS.
ALL MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
DIMENSIONS ENCLOSED WITH () ARE RECORD DATA. ALL OTHER DIMENSIONS ARE MEASURED.
ALL EASEMENTS ARE HEREBY GRANTED UNLESS OTHERWISE NOTED.
THE MEASURED BEARINGS SHOWN ARE BASED UPON THE EAST LINE OF THE SUBDIVISION BEING N 18°59'44" W (ASSUMED).
FIP = FOUND IRON PIPE (# AS SHOWN)
PROPERTY ZONED M-1 SPECIAL MANUFACTURING DISTRICT OF CITY OF ST. CHARLES.

LEGEND
- SUBDIVISION BOUNDARY LINE (Heavy Solid Line)
- LOT LINE/PROPERTY LINE (Solid Line)
- ADJACENT LOT LINE/PROPERTY LINE (Light Solid Line)
- EASEMENT LINE/LIMITS OF EASEMENT (Short Dashed Lines)
■ - SET CONCRETE MONUMENT

LOT AREA SUMMARY TABLE		
LOT NO.	SQ. FT.	ACRES
1	15,400	0.354
OUTLOT A	15,303	0.191
OUTLOT B	9,449	0.217
TOTAL	33,152	0.761

PREPARED FOR:
FUNKE ARCHITECTS
160 EAST GRAND
CHICAGO, IL 60611
(312) 593-4812

PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
630.862.2100 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: cad@cemcon.com Website: www.cemcon.com
DISC NO.: 504015 FILE NAME: SUBPLAT
DRAWN BY: AJB FLD. BK. / PG. NO.: D53/57-60
COMPLETION DATE: 04-26-18 JOB NO.: 504.015
PROJECT REFERENCE: 826.005
REVISED 7-10-18/MMC-PER REVIEW LETTER DATED 6-8-18
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PLAT FILE CREATED: 07/07/18

OWNER'S & SCHOOL DISTRICT CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF KANE)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE PART OWNER OF THE PROPERTY DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT PROPERTY BEING, SUBDIVIDED AFORESAID, AND TO THE BEST OF THE OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF:

ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303

BY: _____

ADDRESS: _____

DATED THIS _____ DAY OF _____ A.D. 2018.

(SIGNATURE)

(TITLE)

NOTARY CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

DATED THIS _____ DAY OF _____ A.D. 2018.

(SIGNATURE)

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, PETER A. BLAESER, ILLINOIS LAND SURVEYOR NO. 3072, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF BLOCK 5 OF W.H. WILCOX SECOND ADDITION TO ST. CHARLES AND THAT PART OF VACATED INDIANA AVENUE, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTH ALONG THE WEST LINE OF SAID BLOCK AND SAID WEST LINE EXTENDED 131.5 FEET TO A LINE DRAWN PARALLEL WITH AND 4 FEET SOUTHERLY OF, MEASURED AT RIGHT ANGLES THERETO THE SOUTHERLY LINE OF SAID BLOCK 5; THENCE EASTERLY ALONG SAID PARALLEL LINE AND SAID LINE EXTENDED TO THE EASTERLY LINE OF SAID BLOCK 5; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHEAST CORNER THEREOF; THENCE NORTHERLY ALONG SAID NORTHERLY LINE 344.4 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS

FURTHER, THIS PLAT HAS BEEN PREPARED BY AN ILLINOIS PROFESSIONAL LAND SURVEYOR AND THAT THE PLAT HEREON DRAWN IS A REPRESENTATION OF SAID SURVEY AND SUBDIVISION.

IT IS FURTHER CERTIFIED THAT THE PROPERTY SHOWN HEREON LIES WITHIN THE CORPORATE LIMITS OF THE CITY OF ST. CHARLES, WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

IT IS FURTHER CERTIFIED THAT, TO THE BEST OF OUR KNOWLEDGE, ALL REGULATIONS ENACTED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

SPECIAL FLOOD HAZARD AREA CERTIFICATE

THIS IS TO CERTIFY THAT A PORTION OF THE PROPERTY HEREON DESCRIBED IN THE RECORD OF DEED FALLS WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED ON A MAP ENTITLED "EFFECTIVE FIRM COMPARISON", SHEETS 1 THROUGH 3 OF 3, UNDATED, INCLUDED IN THE "ENGINEERING REPORT, LOWER FOX RIVER WATERSHED - 7TH AVENUE CREEK AND ITS TRIBUTARY" DATED AUGUST 17, 2012 AND REVISED JULY 2, 2013, RECEIVED SEPTEMBER 13, 2013 WHICH MAP, FOR REGULATORY PURPOSES, IS BEING ENFORCED BY THE CITY OF ST. CHARLES UNDER A MEMORANDUM OF UNDERSTANDING BETWEEN THE ILLINOIS DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF ST. CHARLES OWR-310.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS, THIS _____ DAY OF _____ A.D. 2018.

PETER A. BLAESER
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3072
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2018
PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002937
EXPIRES APRIL 30, 2019

MORTGAGEE'S CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

ACCEPTED AND APPROVED

BY: _____ AS MORTGAGEE.

DATED AT _____, ILLINOIS,
THIS _____ DAY OF _____, A.D. 2018.

BY: _____

ATTEST: _____

NOTARY CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

DATED THIS _____ DAY OF _____ A.D. 2018.

(SIGNATURE)

DIRECTOR OF COMMUNITY DEVELOPMENT CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

I, _____, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY & ECONOMIC DEVELOPMENT, CITY OF ST. CHARLES

DATED AT _____, ILLINOIS,
THIS _____ DAY OF _____, A.D. 2018.

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS

DATED AT _____, ILLINOIS,
THIS _____ DAY OF _____, A.D. 2018.

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

APPROVED THIS _____ DAY OF _____, A.D. 2018.

CITY OF ST. CHARLES PLAN COMMISSION

CHAIRMAN

CITY COUNCIL CERTIFICATE

APPROVED AND ACCEPTED THIS _____ DAY OF _____, A.D. 2018.

CITY COUNCIL OF CITY OF ST. CHARLES, ILLINOIS

MAYOR

ATTEST: _____
CITY CLERK

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL AT _____, ILLINOIS,
THIS _____ DAY OF _____, A.D. 2018.

COUNTY CLERK

FLOODPLAIN AND COMPENSATORY STORAGE EASEMENT PROVISIONS

A NON-EXCLUSIVE FLOODPLAIN AND COMPENSATORY EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO THEIR HEIRS, SUCCESSORS AND ASSIGNS, IN, UPON, ACROSS, OVER, UNDER, AND THROUGH OUTLOT A AS PLATED HEREON FOR THE PURPOSE OF ENFORCING FLOODPLAIN RESTRICTIONS ON USE OF OUTLOT A PURSUANT TO CITY CODES AND TO MAINTAIN THE VOLUME OF COMPENSATORY STORAGE CONSTRUCTED AND PROVIDED ON OUTLOT A IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PERMIT ISSUED FOR CRYSTAL LOFT CONDOMINIUMS. NO PERSON SHALL ALTER OR MODIFY THE PAVEMENT AND GROUND SURFACE ON OUTLOT A OR CAUSE A REDUCTION IN THE COMPENSATORY STORAGE BASINS AS CONSTRUCTED THEREON WITHOUT HAVING FIRST RECEIVED WRITTEN APPROVAL FROM THE CITY OF ST. CHARLES. THE CRYSTAL LOFT CONDOMINIUM ASSOCIATION SHALL BEAR RESPONSIBILITY FOR THE MAINTENANCE AND UPKEEP OF OUTLOT A PURSUANT TO THE COVENANTS, CONDITIONS, AND RESTRICTIONS OF THE CONDOMINIUM DECLARATION RECORDED _____ AS DOCUMENT R_____. IN KANE COUNTY ILLINOIS. THE CITY OF ST. CHARLES SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO RESTORE, REPAIR, RESTORE, OR REPLACE ANY COMPENSATORY STORAGE VOLUME DISPLACED THROUGH UNAUTHORIZED ACTIVITIES.

PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
630.862-9675 Ph: 630.862.2100 FAX: 630.862.2199
E-Mail: coid@cemcon.com Website: www.cemcon.com
DISC NO: 504015 FILE NAME: SUBPLAT
DRAWN BY: AJB FLD. BK. / PG. NO: 053/57-60
COMPLETION DATE: 04-26-18 JOB NO: 504.015
PROJECT REFERENCE: 026.005
REVISED 7-10-18/MMC-PER REVIEW LETTER DATED 6-8-18
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PLAT FILE CREATED BY: 07-10-18

EXHIBIT "C"

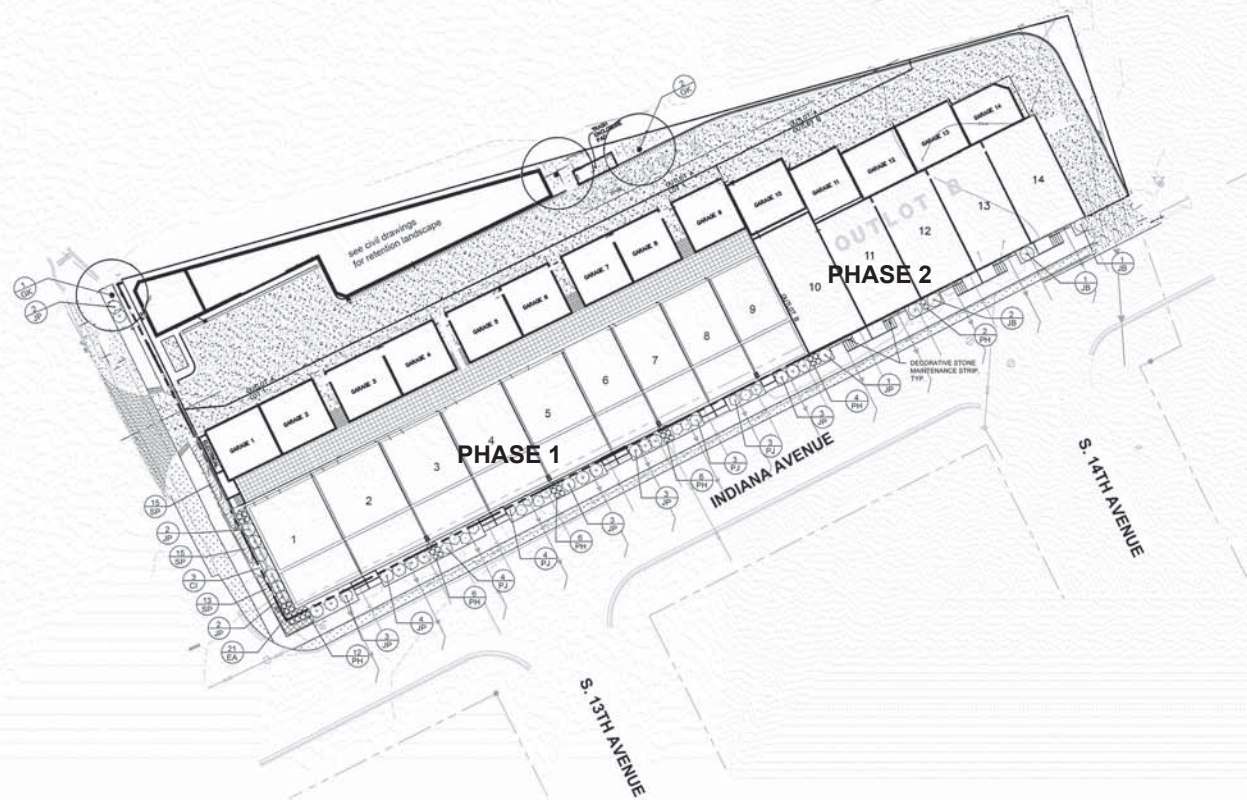
MINOR CHANGE PLANS

PLANT SCHEDULE

SHADE TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	
	OK	3	GYMNOCADUS DIOICA	KENTUCKY COFFEE TREE	B & B	2.5' CAL MIN SINGLE STEM	
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	CI	18	CORNUS SERICEA 'ISANTI'	ISANTI REDOSIER DOGWOOD	-	SEE PLAN	30' HT MIN
	FJ	25	POTENTILLA FRUTICOSA 'JACKMAN'	JACKMAN'S POTENTILLA	-	SEE PLAN	24" HT MIN
	RG	33	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	-	SEE PLAN	24" HT MIN
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	BG	41	BUXUS X 'GREEN MOUND'	GREEN MOUND BOXWOOD	-	SEE PLAN	24" HT MIN
	JB	4	JUNIPERUS SABINA 'BLUE FOREST'	BLUE FOREST JUNIPER	-	SEE PLAN	24" SPREAD
	JP	29	JUNIPERUS CHINENSIS 'KALLAY'S COMPACT'	KALLAY COMPACT PRITZER JUNIPER	-	SEE PLAN	24" HT MIN
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	PH	109	PANDOLM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	1 GAL	24" OC	

PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	CC	49	COREOPSIS X 'CREME BRULEE'	CREME BRULEE/COSMOS	1 GAL	18" OC
	EA	63	ECHINACEA PURPUREA 'ALBA'	WHITE CONEFLOWER	1 GAL	18" OC
	BA	83	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GAL	18" OC
	SP	97	SYMPHYOTRICHUM NOVAE-ANGLIAE 'PURPLE DOME'	NEW ENGLAND ASTER	1 GAL	18" OC
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	-2	---	SOD			
	D6	---	DECORATIVE STONE MAINTENANCE STRIP			

Call Before You Dig
TULE
 1-800-892-0123



LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
4. ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
5. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
6. AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
7. PLANTING AREA SOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
8. SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SOD ALL AREAS WHICH ARE DISTURBED BY GRADING AND CONSTRUCTION.
9. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
10. WEED FABRIC SHALL ONLY BE APPLIED UNDER DECORATIVE STONE APPLICATIONS. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
12. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
13. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
14. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.



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CRYSTAL LOFT TOWNHOME CONDOMINIUMS. CONVERSION OF EXISTING BUILDING TO 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S. 13TH AVENUE
 ST. CHARLES ILLINOIS
 60174

OWNER:
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 Chicago, IL 60614
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 michaellheise@gmail.com

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM WITH ALL PERTINENT CITY CODES AND ORDINANCES



#001-017106
 EXPIRES 11.30.2020

NO.	DATE	ISSUED FOR PERMIT CORRECTIONS	DESCRIPTION

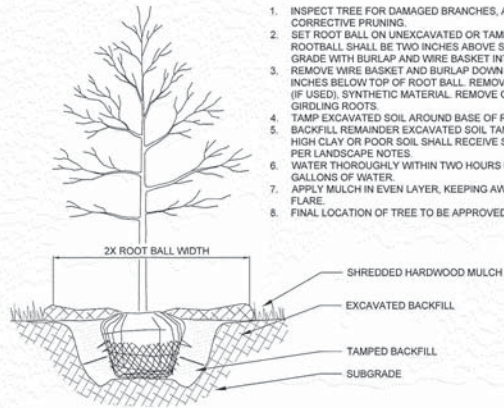
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LANDSCAPE PLAN

L100

NOTES:

1. INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
5. BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

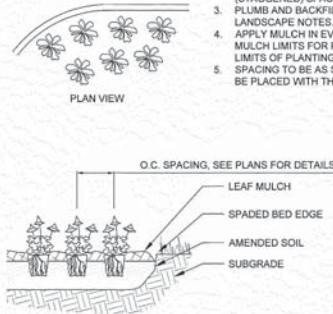


1 TREE PLANTING

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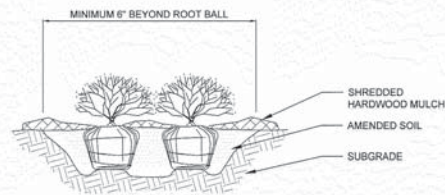
NOTES:

1. EXCAVATE PLANTING BED.
2. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
3. REMOVE CONTAINER, SCORE SOIL MASS TO REDIRECT AND PREVENT CIRCLING ROOTS. CORRECT GIRDLING ROOTS.
4. PLANT MATERIAL SHALL BE LAID OUT BY FOLLOWING THE BED EDGE, WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS PLAUSIBLE.
5. PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS/GROUNDCOVER EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.
7. SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.



2 PERENNIAL PLANTING

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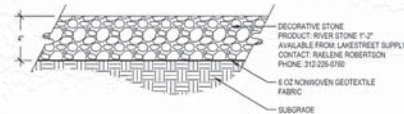


NOTES:

1. APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
4. REMOVE OR CORRECT GIRDLING ROOTS.
5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

3 SHRUB PLANTING

NTS



4 DECORATIVE STONE MAINTENANCE STRIP

NTS



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CRYSTAL LOFT TOWNHOME CONDOMINIUMS. CONVERSION OF EXISTING BUILDING TO 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

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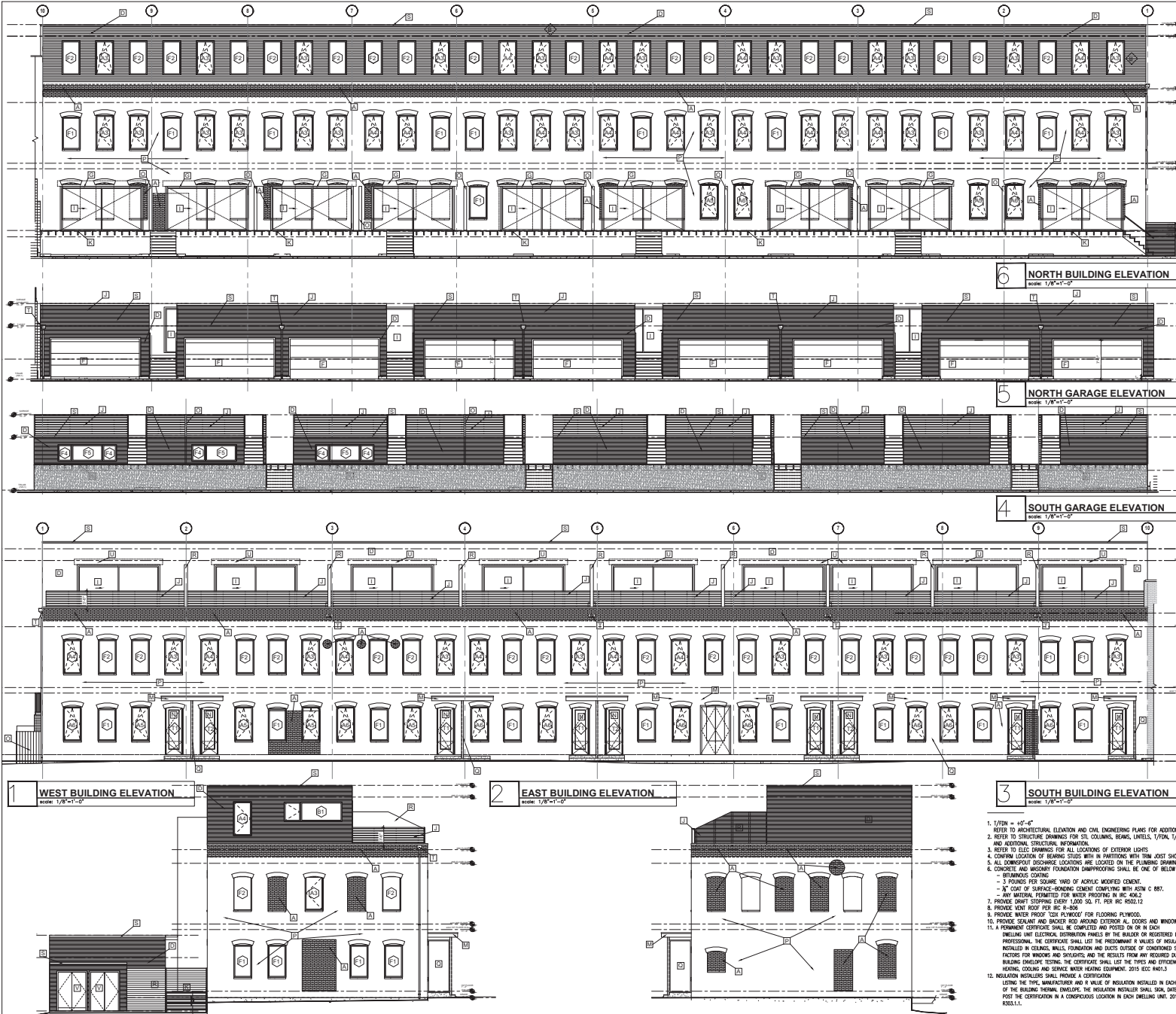
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NO.	DATE	ISSUED FOR PERMIT CORRECTIONS	DESCRIPTION

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LANDSCAPE DETAILS

L200



KEYNOTES

- A) MOUNT METAL-CLADDING BOX TO MATCH EXISTING AL STONE DETAILS AND SPECIFICATIONS TO REFER TO THE INTERIMIAL MOUNT METAL BOXES AND REQUIREMENTS.
- B) CORRUGATED METAL SIDING - 26 GAUGE COLOR - DARK BRONZE. www.bridgepanel.com/corrugated/34-corrugated-panel insulation to be as BRIDGESTEL GABLES AND REQUIREMENTS.
- C) CORRUGATED METAL SIDING - 26 GAUGE COLOR - DARK BRONZE. www.bridgepanel.com/corrugated/34-corrugated-panel insulation to be as BRIDGESTEL GABLES AND REQUIREMENTS.
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ELEVATION GENERAL NOTES:

1. TILT-TO WINDOWS AND DOORS GLASS SIZES SHOWN ON ELEVATIONS.

2. TILT-TO WINDOWS AND DOORS GLASS SIZES SHOWN ON ELEVATIONS.

3. GLASS CREATION THICKNESS SHALL BE PROVIDED BY WINDOWS THAT MEET BOTH:

4. BOTTOM OF GLASS WITHIN 6" OF THE FLOOR.

5. GLASS SHALL BE PROVIDED BY WINDOWS THAT MEET BOTH:

6. BOTTOM OF GLASS WITHIN 6" OF THE FLOOR.

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GENERAL NOTES:

1. FLOOR LOADING: LL = 40 PSF, DL = 15 PSF, PARTIAL PSF, TOTAL = 55 PSF.

2. ROOF DECK & BALCONY LOADING: LL = 100 PSF, DL = 20 PSF, TOTAL = 120 PSF.

3. MAX 50 PLF VERTICAL AND HORIZONTAL THRUST FOR WINDOWS.

4. ALL SPINGS AND LOADS TO BE VERIFIED AND CONFIRMED BY FRAMING MATERIAL SUPPLIER CALCULATIONS AND SPECIFICATIONS.

5. ROOF DECK EXISTING MUST COMPLY WITH 1011-146-55(C) TO (D).



CRYSTAL LOFT TOWNHOME CONDOMINIUMS. CONVERSION OF EXISTING BUILDING TO 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

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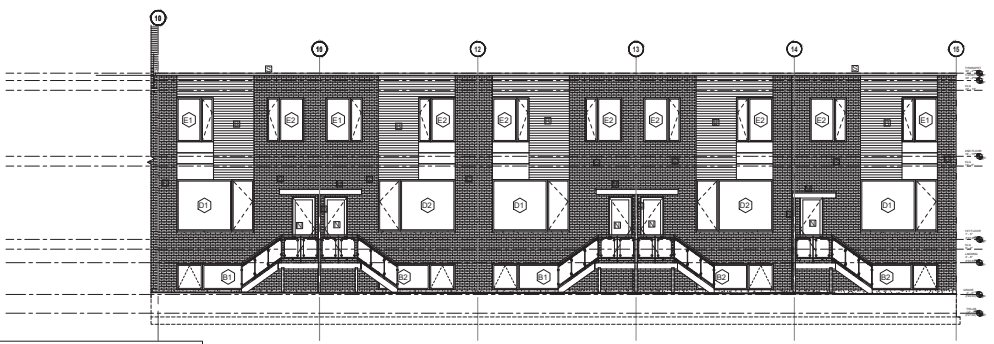
10.08.18 ISSUED FOR PERMIT CORRECTIONS

EXISTING BUILDING UNITS 1-9

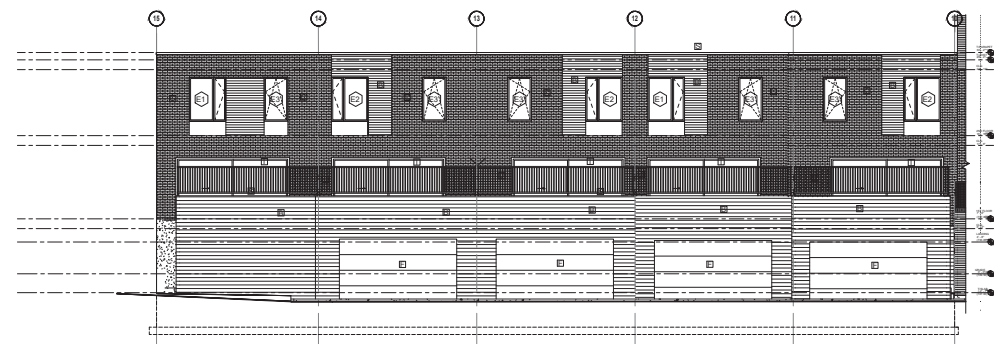
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PHASE 1

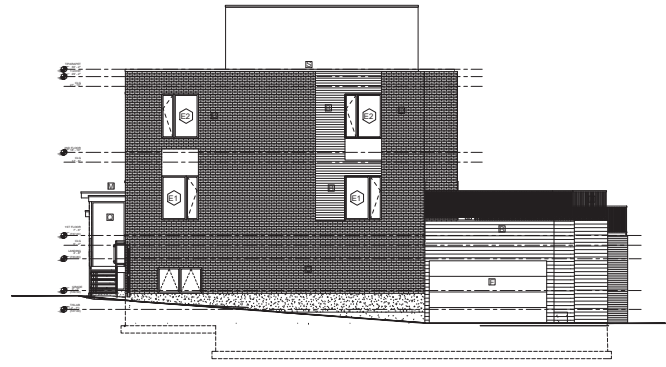
3 SOUTH BUILDING ELEVATION
scale: 1/8"=1'-0"



2 NORTH BUILDING ELEVATION
scale: 1/8"=1'-0"



1 EAST BUILDING ELEVATION
scale: 1/8"=1'-0"



KEYNOTES

- A MASONRY METAL-CLADDING BOX TO MATCH EXISTING ALL STONE DETAILS AND SPECIFICATIONS TO ADHERE TO THE INTERMEDIATE MASONRY NOTICES GUIDELINES AND REQUIREMENTS.
- F CORRUGATED METAL FINISH - 28 GAUGE COLOR - DARK BRONZE. www.bridgmetal.com/Corrugated/34-corrugated-panel INSULATION TO BE BY BRIDGESTOL GLAZING AND REQUIREMENTS.
- G STANDARD MASONRY UNIT - EXISTING BRICK-WHITE COLOR MASON TO FINISH SHOP DRAWING IS APPROVED BY NOTICES AS STONE SHALL BE SPECIFIC TO ADHERE TO THE INTERMEDIATE MASONRY NOTICES GUIDELINES AND REQUIREMENTS.
- H CORRUGATED METAL FINISH - 28 GAUGE COLOR - DARK BRONZE. www.bridgmetal.com/Corrugated/34-corrugated-panel INSULATION TO BE BY BRIDGESTOL GLAZING AND REQUIREMENTS.
- I INSULATED METALWORK WINDOW - FINISHSTONE CERTIFIED OR COMPARABLE FOLLOW MANUFACTURER'S SPECIFICATIONS FOR DETAILS AND INSTALLATION REQUIREMENTS. (SEE SPECIFICATIONS AND MATERIAL LEGEND FOR CONTACT INFORMATION).
- J "TOWNHOOD" INSULATED RESIDENTIAL METAL GARAGE DOOR VERIFY SIZES ON PLUMBING. COLOR - CHERRY - VERIFY INSULATION DETAILS PER MANUFACTURER'S SPECIFICATIONS. www.townhood.com OPERATE - UP/STAIR.
- K STEEL WEE FLANGE - SEE FRAMING DRAWINGS.
- L "LIFT" LIFT AND SLIDE ALUMINUM FRAME GLAZING DOOR WITH INSULATED GLAZING. ALL GLAZING BOXES TO BE TYPED GLAZING.
- M "TWO" COMPOSITE DOORING USED AS RAILING W/ SPACING AT MAX. 47x1.20 PSF MINIMUM LOAD. USE CONCEALED HORIZONTAL GLASS SHELL COLOR - WHITE INSULATION DETAILS PER MANUFACTURER'S SPECIFICATIONS. <http://www.twin.com>
- N "TWO" COMPOSITE DOORING 100 PSF FLOOR LOADS (GLASS SHELL COLOR) - USE CONCEALED HORIZONTALS. VERIFY INSULATION DETAILS PER MANUFACTURER'S SPECIFICATIONS. <http://www.twin.com>
- O "TWO" COMPOSITE DOORING AND RAILING - USE INSULATED WOOD JOISTS FOR STAIRCASE AND DECK.
- P METAL CHERRY FINISH ALUMINUM CHOP SYSTEM WITH DRAINAGE. FINISH COLOR - 65 PEARL FOR HED AND WINDOW INSULATION DETAILS PER MANUFACTURER'S SPECIFICATIONS. <http://www.metals.com/finch/finch/>
- Q "LIFT" LIFT AND SLIDE ALUMINUM FRAME GLAZING DOOR WITH INSULATED GLAZING. ALL GLAZING BOXES TO BE TYPED GLAZING.
- R CORRUGATED METAL FINISH - 28 GAUGE COLOR - DARK BRONZE. www.bridgmetal.com/Corrugated/34-corrugated-panel INSULATION TO BE BY BRIDGESTOL GLAZING AND REQUIREMENTS.
- S BRICK AND TOWNHOM AS REQUIRED. MASONRY ALL STONE DETAILS AND SPECIFICATIONS TO ADHERE TO THE INTERMEDIATE MASONRY NOTICES GUIDELINES AND REQUIREMENTS.
- T 2" x 4" x 1/2" x 2" FINISH UNPAVED GLAZING - BRX UL.
- U 28 GAUGE METAL COPING.
- V ALUMINUM SCRAPPER BOX WITH CIRCULAR ALUMINUM DOWNSPOUT AND OUTER DARK BRONZE COLOR - VERIFY INSULATION DETAILS PER MANUFACTURER'S SPECIFICATIONS.
- W INSULATED/PRECAST WOOD JOIST - SEE FRAMING DRAWINGS.
- X INSULATED METAL WOOD DOOR - SEE DOOR SCHEDULE ON FLOOR PLAN.

ELEVATION GENERAL NOTES:

- 1. ALL WINDOWS AND DOORS GLASS SIZES SHOWN ON ELEVATIONS.
- 2. TYPED GLAZING SHALL BE PROVIDED IN WINDOWS THAT MEET BOTH:
 - A. GLASS GREATER THAN 6 FT. BY 6 FT.
 - B. BOTTOM OF GLASS WITHIN 6" OF THE FLOOR.
- 3. WINDOW GLAZING SHALL HAVE AN ENERGY EFFICIENT RATING. WINDOW GLAZING SHALL BE PROVIDED FOR BENCHMARKS UNLESS OTHERWISE NOTED. THE UNITS MUST BE OBTAINED FROM THE SOURCE TO A FULL CLEARANCE WITHIN THE WINDOW FRAME TOOLS. FINISH WINDOWS ARE PROVIDED AS A MEANS OF ACCESS OR RESCUE THEY SHALL HAVE A FULL HEIGHT OF NOT MORE THAN 18 INCHES ABOVE THE FLOOR.
- 4. ALL SCREEN OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5' 0" FT. THE MINIMUM NET CLEAR OPENING HEIGHT UNLESS OTHERWISE NOTED SHALL BE 30".
- 5. ALL ROOF VENTS AND THROUGH ROOF MECHANICAL TO BE LOCATED @ REAR OF HOME AND PAINTED TO MATCH ROOF.

- PROVIDE COUNTER FLASHING, WHERE REQUIRED INCLUDING ROOF TO WALL INTERSECTIONS, CHIMNEYS AND GABLES & SIA. BRX.
- PROVIDE 2X 6 G.A. MIN. LOCAL WALLS/VERT. UNLESS OTHERWISE NOTED.
- PROVIDE COUNTER FLASHING DIAGONALLY ADDRESS WEATHER, STEP AND REGULATED INTO THE MORTAR.

NOTE: ALL WINDOWS BEING REPLACED MUST HAVE AN EXISTING AND/OR NEW DOOR GLASS TO BE TYPED SAFETY GLASS.

WINDOWS AND DOORS: ALL WINDOW AND DOOR OPENINGS TO BE VERIFIED IN FIELD PRIOR TO ORDERING.

GENERAL NOTES:

- 1. FLOOR (LOADING: LL = 40 PSF, DL = 15 PSF, PART 15 PSF, TOTAL = 55 PSF)
- 2. ROOF DECK & BALCONY (LOADING: LL = 100 PSF, DL = 20 PSF, TOTAL = 120 PSF)
- 3. MAX. 50 PLF VERTICAL AND HORIZONTAL THRUST FOR WINDOWS.
- 4. ALL SPINGS AND LOADS TO BE VERIFIED AND CONFIRMED BY FRAMING MATERIAL SUPPLIER CALCULATIONS AND SPECIFICATIONS.
- 5. ROOF DECK EXISTING MUST COMPLY WITH 10(1)-160-550(C TO D)

1. 1/8" = 1/8" = 1'-0"
2. REFER TO ARCHITECTURAL ELEVATION AND CIVIL ENGINEERING PLANS FOR ADDITIONAL INFORMATION.
3. REFER TO STRUCTURE DRAWINGS FOR STL. COLUMNS, BEAMS, LINTELS, 1/8" = 1/8" = 1'-0" LEADS AND ADDITIONAL STRUCTURAL INFORMATION.
4. CONFORM LOCATION OF BEARING STUDS WITH IN PARTITIONS WITH TRIM JUST SHOP DRAWINGS.
5. ALL DOWNSPOUT DISCHARGE LOCATIONS ARE LOCATED ON THE PLUMBING DRAWINGS.
6. CONCRETE AND MASONRY FOUNDATION DAMPROOFING SHALL BE ONE OF BELOW:
 - BITUMINOUS COATING
 - 3" FORTING FOR SQUARE YARD OF ASPHALT MODIFIED CONCRETE
 - 3" COAT OF SURFACE-BONDING CEMENT COMPLYING WITH ASTM C 887.
7. ANY MATERIAL FORTIFIED FOR WATER PROOFING IN RC 40K.2
8. PROVIDE DRAFT STOPPING EVERY 1200 SQ. FT. PER RC 800.12
9. PROVIDE VENT ROOF PER RC 8-808
10. PROVIDE SEALANT AND BACKER ROD AROUND EXTERIOR AL. DOORS AND WINDOWS.
11. A PERFORMANCE CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN EACH DWELLING UNIT ELECTRICAL DISTRIBUTION PANELS BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL LIST THE PERFORMANCE VALUES OF INSULATION INSTALLED IN CEILING, WALLS, FOUNDATION AND DUCTS OUTSIDE OF CONDITIONED SPACE. U FACTORS FOR WINDOWS AND DOORS, AND THE RESULTS FROM ANY REQUIRED DUCT AND BUILDING ENVELOPE TESTING. THE CERTIFICATE SHALL LIST THE TYPES AND SPECIFICATIONS OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT. 2015 ECC 8401.3
12. INSULATION INSTALLERS SHALL PROVIDE A CERTIFICATION LISTING THE TYPE, MANUFACTURER AND R VALUE OF INSULATION INSTALLED IN EACH DWELLING UNIT OF THE BUILDING. THE CERTIFICATE SHALL LIST THE TYPES AND SPECIFICATIONS OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT. 2015 ECC 8401.3



CRYSTAL LOFT TOWNHOME CONDOMINIUMS. CONVERSION OF EXISTING BUILDING TO 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S. 13TH AVENUE
ST. CHARLES ILLINOIS
60174

OWNER:
CRYSTAL LOFT TOWNHOMES LLC
1847 W. BERTEAU
Chicago, IL 60614
T: 312.209.9502
michaelheys@gmail.com

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY PERSONAL SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, CONFORM WITH ALL PERTINENT CITY CODES AND ORDINANCES



#001-017106
EXPIRES 11.30.2020

PHASE 2

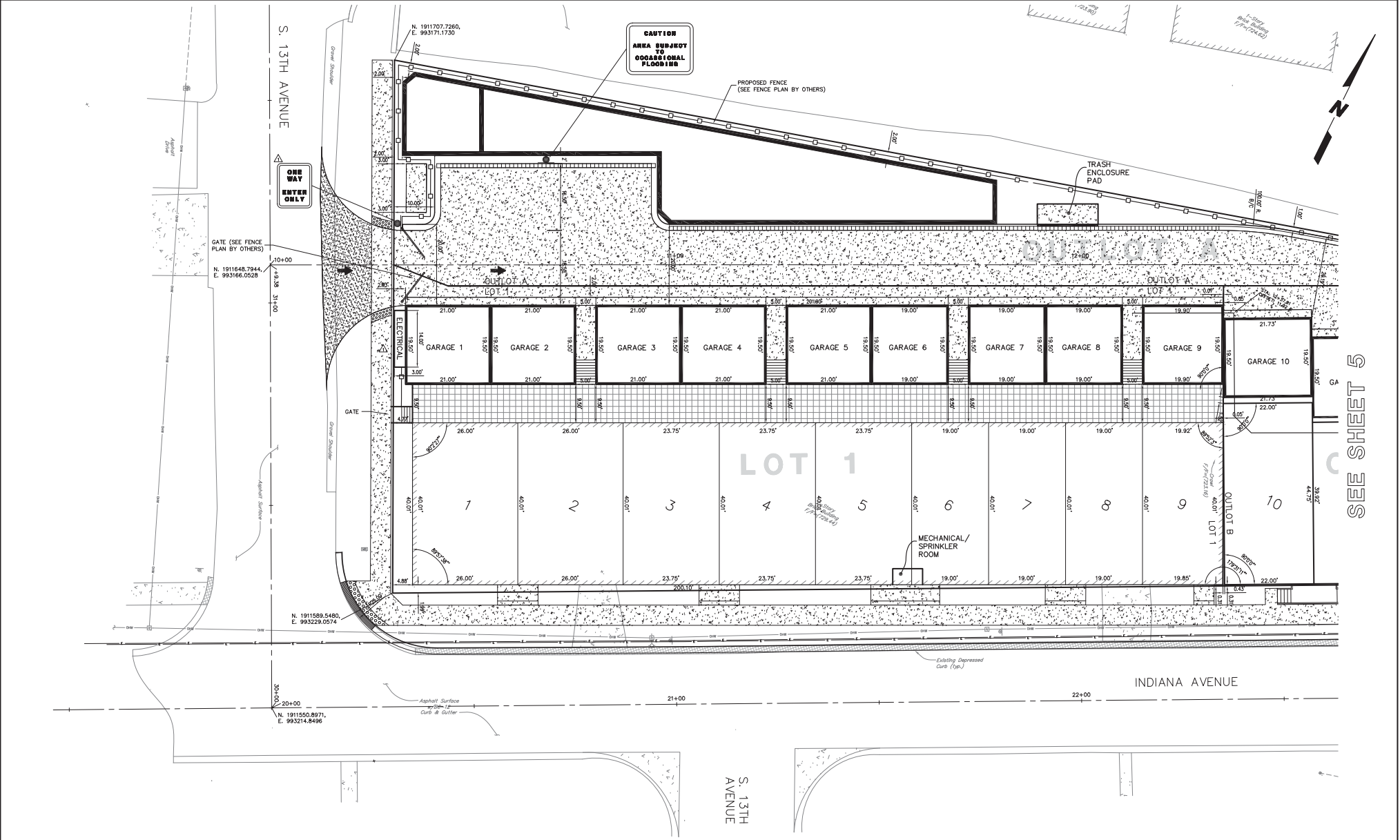
NO.	DATE	DESCRIPTION
10.08.18		ISSUED FOR PERMIT CORRECTIONS

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ELEVATIONS
NEW BUILDING UNITS 10-14

A210

PLOT FILE CREATED: 10/10/2018 11:02 AM BY HEATHER CAWNSHILL DRAWING LAST SAVED: 10/10/2018 9:28 AM BY HEATHER CAWNSHILL DRAWING PATH: F:\WORKSPACE\2018\DRAWINGS\FINAL DRAWINGS\GEOM



SEE SHEET 5

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PREPARED FOR:
FUNKE ARCHITECTS
 160 EAST GRAND SUITE 300
 CHICAGO ILLINOIS, 60611
 (312) 344-1151



PREPARED BY:
CEMCON, Ltd.
 Consulting Engineers, Land Surveyors & Planners
 2280 White Oak Circle, Suite 100
 Aurora, Illinois 60502-9875
 Ph: 630.862.2100 Fax: 630.862.2199
 E-Mail: cadd@cemcon.com Website: www.cemcon.com

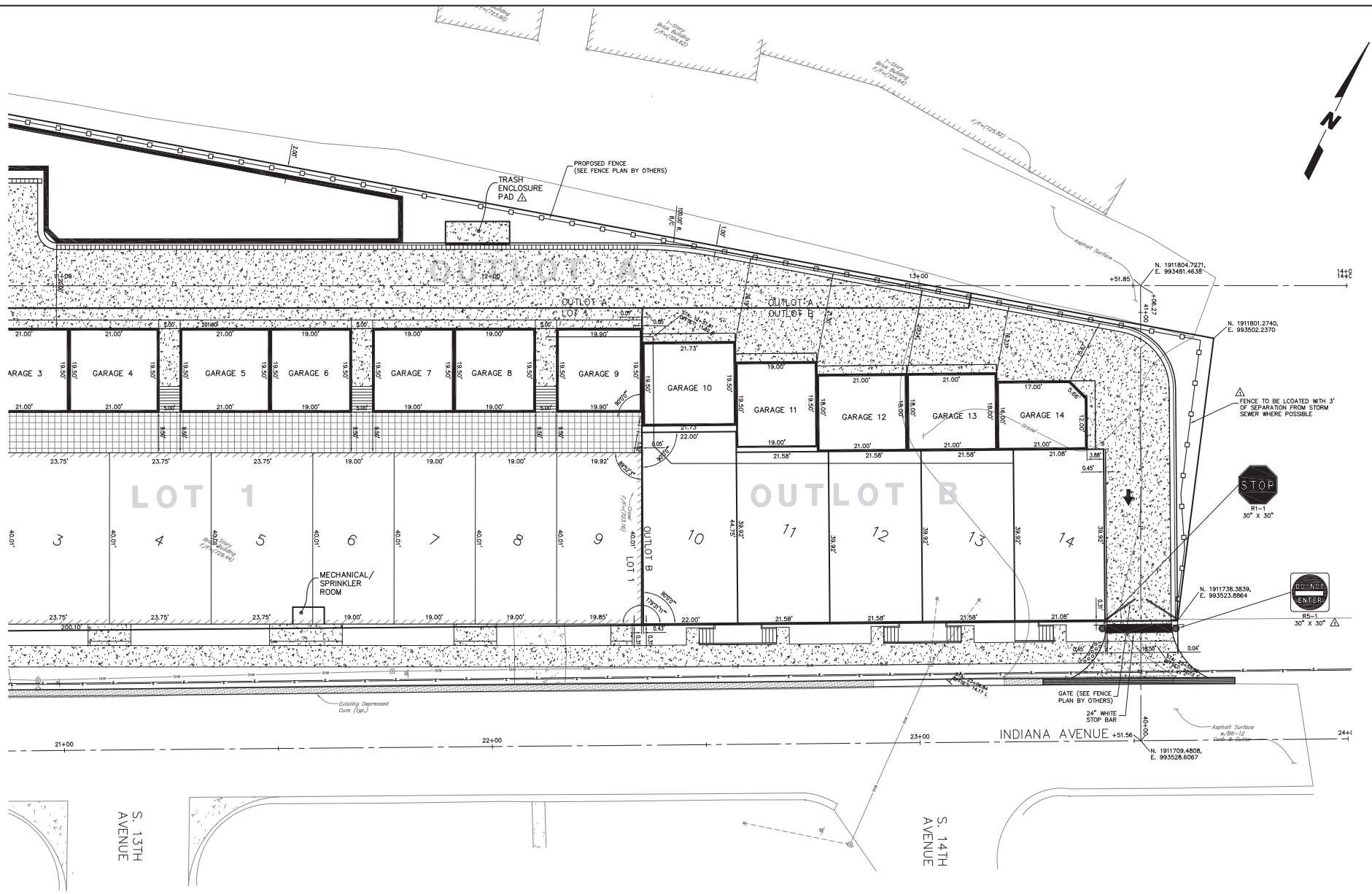
REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	10-08-18/HAQ	REVISED PER CITY COMMENTS			

GEOMETRIC- STRIPING-SIGNAGE PLAN
CRYSTAL LOFT TOWNHOME CONDOMINIUMS

FILE NAME: GEO DSGN. BY: RWB JOB NO.: 904.264 FLD. BK./PG.: --- SHEET NO. 04 of 26
 DIR: 904264 DRN. BY: RDS DATE: 08-13-18 SCALE: 1" = 10'

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SEE SHEET 4



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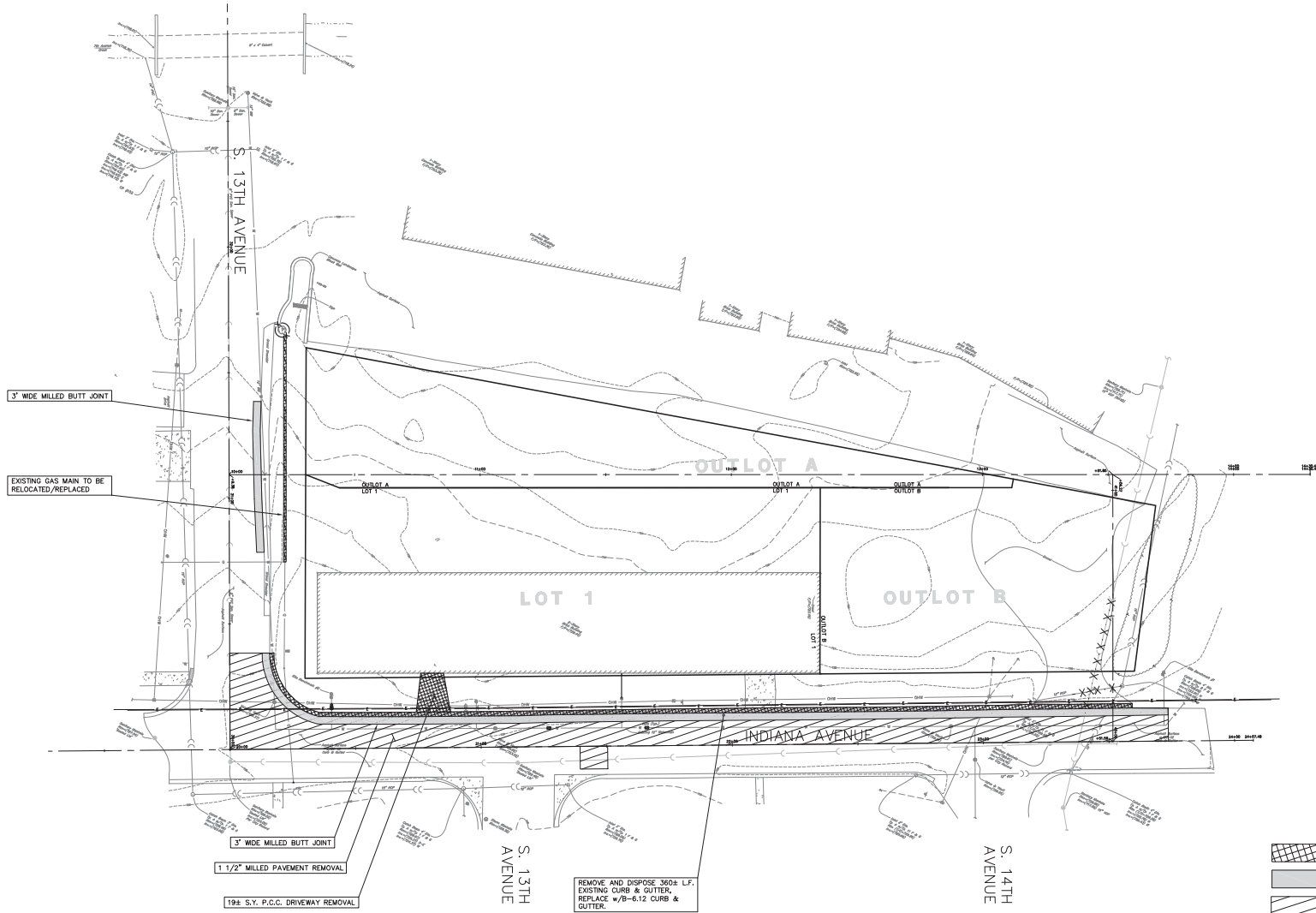
PREPARED BY:
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 E-Mail: cadd@cemcon.com Website: www.cemcon.com

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NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	10-08-18/MAJ	REVISED PER CITY COMMENTS			

GEOMETRIC-STRIPING-SIGNAGE PLAN
CRYSTAL LOFT TOWNHOME CONDOMINIUMS

FILE NAME: GEO	DSGN. BY: RWB	JOB NO.: 904.264	FLD. BK./PG.: ---	SHEET NO. 05 of 26
DIR: 904264	DRN. BY: RDS	DATE: 08-13-18	SCALE: 1" = 10'	

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- LEGEND**
- CONCRETE CURB AND GUTTER TO BE REMOVED
 - 2\"/>
 - 1 1/2\"/>
 - UTILITY TO BE REMOVED
 - EXISTING TREE TO BE REMOVED
 - EXISTING TREE, WITH TREE PROTECTION FENCE, TO BE PRESERVED IN GOOD CONDITION. SEE LANDSCAPE PLANS FOR FURTHER INFORMATION.

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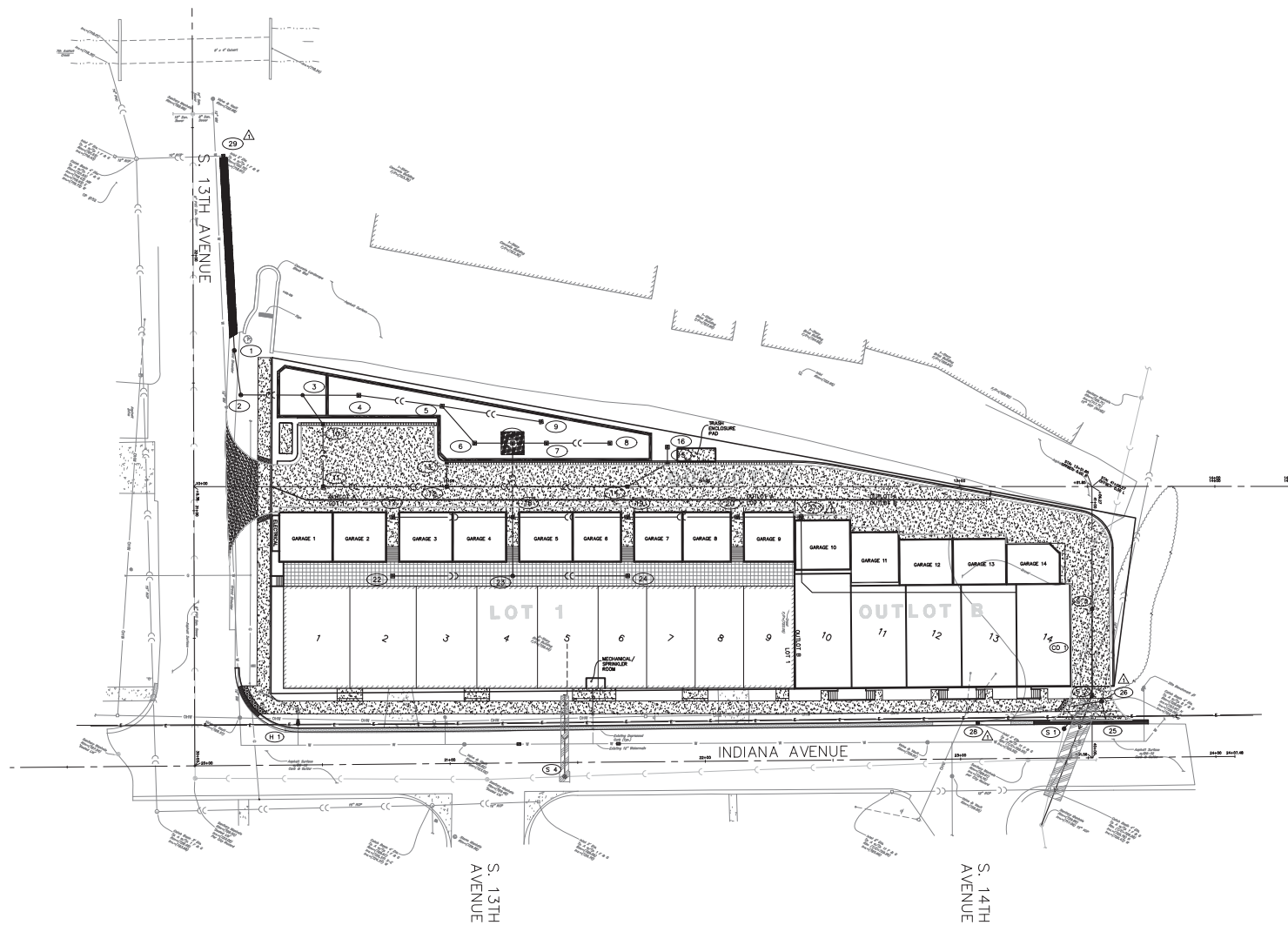
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 E-Mail: cadd@cemcon.com Website: www.cemcon.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

DEMOLITION PLAN
CRYSTAL LOFT TOWNHOME CONDOMINIUMS

FILE NAME: UTILITY	DSGN. BY: RWB	JOB NO.: 904.264	FLD. BK./PG.: ---	SHEET NO. 06 of 26
DIR: 904264	DRN. BY: RDS	DATE: 08-13-18	SCALE: 1" = 20'	

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LEGEND

EXISTING	PROPOSED	DESCRIPTION
○	⊙	MANHOLE
○	⊙	CATCH BASIN
○	⊙	INLET
○	⊙	CLEARCUT
○	⊙	SLOPE INLET BOX
○	⊙	HEADWALL
○	⊙	END SECTION
○	⊙	STORM SEWER
○	⊙	SUMP DRAIN CONDUIT
○	⊙	SANITARY SEWER
○	⊙	WATERMAIN
○	⊙	VALVE & BOX
○	⊙	WATER VALVE IN VAULT
○	⊙	FIRE HYDRANT
○	⊙	NUMBERING SYSTEM USED ON PLANS FOR DRAINAGE STRUCTURE IDENTIFICATION
○	⊙	NUMBERING SYSTEM USED ON PLANS FOR FIRE HYDRANT IDENTIFICATION
○	⊙	NUMBERING SYSTEM USED ON PLANS FOR VALVE & BOX IDENTIFICATION
○	⊙	NUMBERING SYSTEM USED ON PLANS FOR SANITARY MANHOLE IDENTIFICATION
○	⊙	NUMBERING SYSTEM USED ON PLANS FOR CLEARCUT STRUCTURE IDENTIFICATION

NOTE: ALL SANITARY SEWER SHALL BE 8 INCH DIA. UNLESS OTHERWISE NOTED.

ALL WATERMAIN SHALL BE 8 INCH DIA. UNLESS OTHERWISE NOTED.

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NO.		DATE	DESCRIPTION	REVISIONS	
1	10-08-18/HAJ	REVISED PER CITY COMMENTS		NO.	DATE
					DESCRIPTION

OVERALL UTILITY PLAN

CRYSTAL LOFT TOWNHOME CONDOMINIUMS

FILE NAME: UTILITY	DSGN. BY: RWB	JOB NO.: 904.264	FLD. BK./PG.: ---	SHEET NO. 07 of 26
DIR: 904264	DRN. BY: RDS	DATE: 08-13-18	SCALE: 1" = 20'	

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STABILIZATION TYPE	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
PERMANENT BERMING												
CONCRETE BERMING												
TEMPORARY BERMING												
BROOMING												
MULCHING												

SOIL PROTECTION CHART

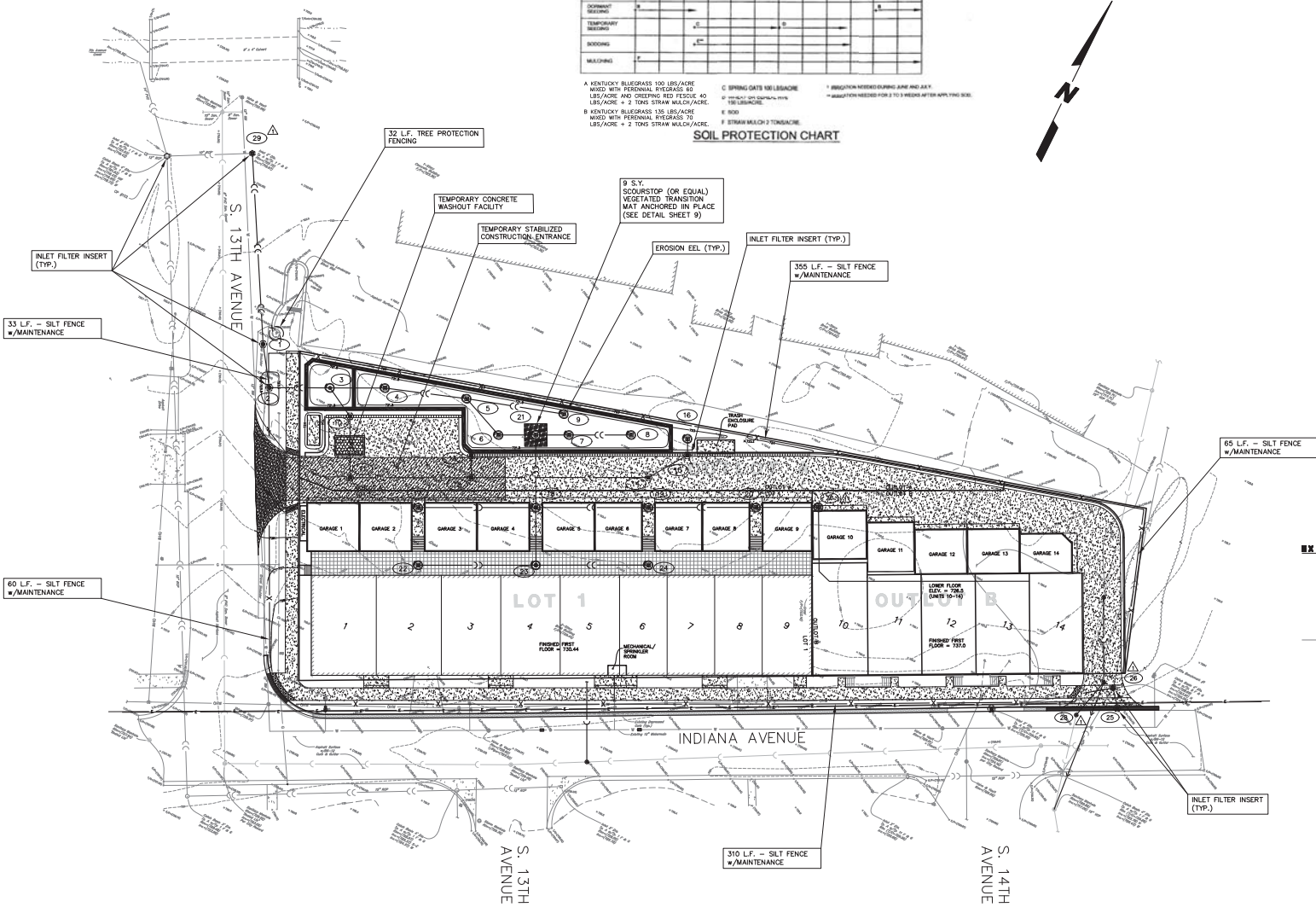
A KENTUCKY BLUEGRASS 100 LBS/ACRE MIXED WITH PERENNIAL RyEGRASS 60 LBS/ACRE AND CRESTED RED TOPSOE 40 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
 B KENTUCKY BLUEGRASS 125 LBS/ACRE MIXED WITH PERENNIAL RyEGRASS 70 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
 C SPRING GRASS NO LEISACHRE
 D STRAW MULCH 2 TONS/ACRE
 E 1000
 F WEGINGTON-HEEDED CURED 2 AND 400 2000
 G 1000
 H 1000



SEDIMENT AND EROSION CONTROL DURING CONSTRUCTION

STANDARDS:
 THE FOLLOWING PUBLICATIONS WILL BE USED AS A GUIDE FOR THE IMPLEMENTATION OF SOIL EROSION AND SEDIMENT CONTROL (1987):
 ILLINOIS ENVIRONMENTAL PROTECTION AGENCY STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (1987)
 PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS (OCT. 1987)
 URBAN COMMITTEE OF THE ASSOCIATION OF ILLINOIS SOIL AND WATER CONSERVATION DISTRICTS: PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS (JULY 1988)

- REQUIREMENTS:**
- SEDIMENT AND EROSION CONTROL SPECIFIED ON THE PLANS WILL BE FUNCTIONAL BEFORE ANY EARTHWORK OPERATIONS COMMENCE OR BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE.
 - STOCKPILES OF EARTH MATERIAL WILL BE PLACED AT LOCATIONS AS INDICATED ON THE PLANS. A SILT FENCE WILL BE PLACED AROUND THE BASE OF THE STOCKPILE WHERE INDICATED. STOCKPILES OF SOIL SHALL NOT BE LOCATED IN SPECIAL MANAGEMENT AREAS.
 - SHOULD THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER RUNOFF TEMPORARILY INCREASE DURING CONSTRUCTION, THEN ADDITIONAL MEASURES TO PROTECT ADJACENT PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM SHALL BE UNDERTAKEN.
 - STORM SEWER INLETS SHALL BE PROTECTED BY SILT FENCE INLET PROTECTORS FOLLOWING INSTALLATION.
 - WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING WILL BE FILTERED.
 - VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A GRAVEL DRIVE, SAID GRAVEL DRIVE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS ABOVE THE TOP OF FOUNDATION.
 - THE DESIGNATED CONSTRUCTION ACCESS ROAD WILL BE MAINTAINED WITH CONNECTION TO ADJACENT PUBLIC ROADWAY. THIS ACCESS ROAD WILL BE UTILIZED AS A VEHICLE WASH DOWN AREA TO PREVENT A DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ADJACENT ROADWAYS WILL BE SWEEP OR CLEANED OF SOIL, MUD, DEBRIS OR EXTRANEOUS MATERIALS AS NECESSARY BEFORE THE END OF EACH WORKDAY.
 - ALL CONTROL MEASURES NECESSARY WILL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGH THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT EROSION CONTROL IS OPERATIONAL.
 - IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.



LEGEND

EXISTING	PROPOSED	DESCRIPTION
○	●	MANHOLE
○	●	CATCH BASIN
○	●	INLET
○	●	GRABBOX
○	●	SLIP INLET BOX
○	●	HEADWALL
○	●	END SECTION
○	●	STORM SEWER
○	●	INLET OR MANHOLE INLET INSERT
○	●	1/2' EROSION EEL
○	●	ENERGY DISSIPATOR
○	●	TRIANGULAR SILT DIKE w/MAINTENANCE
○	●	SINGLE ROW SILT FENCE WITH MAINTENANCE
○	●	DUAL ROW SILT FENCE WITH MAINTENANCE
○	●	TREE TO BE REMOVED
○	●	TREE PROTECTIVE FENCING
○	●	STABILIZED CONSTRUCTION ENTRANCE
○	●	SCOUR MAT
○	●	TEMPORARY CONCRETE WASHOUT FACILITY
○	●	OVERLAND FLOOD ROUTE

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 E-Mail: cadd@cemcon.com Website: www.cemcon.com

REVISIONS			
NO.	DATE	DESCRIPTION	
1	10-08-18/AAJ	REVISED PER CITY COMMENTS	

STORMWATER POLLUTION PREVENTION PLAN
CRYSTAL LOFT TOWNHOME CONDOMINIUMS

FILE NAME: SOLEIRO	DSGN. BY: RWB	JOB NO.: 904264	FLD. BK./PG.: ---	SHEET NO. 08 of 26
DIR: 904264	DRN. BY: RDS	DATE: 08-13-18	SCALE: 1" = 20'	

State of Illinois)
) ss.
Counties of Kane and DuPage)

Certificate

I, CHUCK AMENTA, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

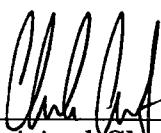
I further certify that on **November 5, 2018**, the Corporate Authorities of such municipality passed and approved Ordinance No. **2018-Z-31** entitled:

An Ordinance Granting Approval of a Final Plat of Subdivision for Crystal Loft Condominiums, Phase 1 and a Minor Change to PUD Preliminary Plan for Crystal Lofts PUD (214 S. 13th Ave.)

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. **2018-Z-31**, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on **November 12, 2018**, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this **5th** day of **November, 2018**.



Municipal Clerk

(S E A L)



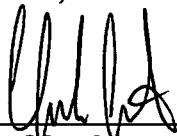
City of St. Charles, Illinois

Ordinance No. 2017-Z-21

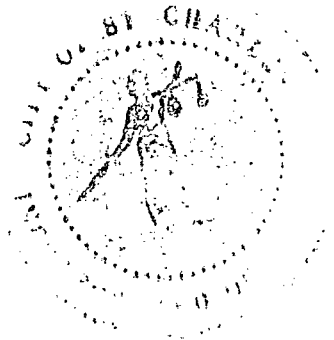
**An Ordinance Granting Approval of a Map Amendment,
Special Use for Planned Unit Development and PUD
Preliminary Plan for Crystal Lofts (214 S. 13th Ave).**

**Adopted by the
City Council
of the
City of St. Charles
December 18, 2017**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, December 27, 2017**



City Clerk



(SEAL)

**City of St. Charles, Illinois
Ordinance No. 2017-Z- 21**

**An Ordinance Granting Approval of a Map Amendment, Special Use for
Planned Unit Development, and PUD Preliminary Plan for Crystal Lofts
(214 S. 13th Ave.)**

WHEREAS, on or about October 16, 2017, Jeffrey Funke (the “Applicant”) filed petitions for 1) Map Amendment from M1 Special Manufacturing District to RM-3 General Residential District, 2) Special Use for Planned Unit Development, and 3) PUD Preliminary Plan, all for the real estate legally described on Exhibit “A” attached hereto and incorporated herein (the “Subject Property”), for the purpose of renovating an existing building into 9 townhomes and constructing 5 additional townhomes; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Special Use for Planned Unit Development was published on or about October 20, 2017 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about November 7, 2017 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development, and PUD Preliminary Plan petitions on or about November 7, 2017; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of said petitions on or about November 13, 2017; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.
2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the M1 Special Manufacturing District to RM-3

General Residential District, and the Findings of Fact for Map Amendment attached hereto and incorporated herein as Exhibit “B” are expressly adopted by the corporate authorities of the City.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant’s petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit “C”, which is attached hereto and incorporated herein.

4. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit “D”, such that the following documents and illustrations, reduced copies of which are attached hereto, are hereby granted preliminary approval, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Engineering Plans, prepared by Kimley Horn, dated 12/11/17
- Landscape Plan, prepared by Kimley Horn, dated 12/11/17
- Architectural Plans, prepared by Funke Architects:
 - Elevations and Building Materials Sheets, received 10/17/17
 - Sheets A31, A32, dated 10/20/17
 - Sheets A10, A34 dated 11/21/17
- Subdivision Plat, prepared by Compass Surveying Ltd, dated 12/15/17

5. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. Zoning: The Subject Property shall be subject to the requirements of the RM-3 General Residential District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the “PUD Deviations” attached hereto and incorporated herein as Exhibit “E”.
- b. Stormwater:
 1. For portions of the site subject to the IDNR Conveyance Floodway agreement, existing regulatory FEMA floodplain, and proposed FEMA floodplain mapping, compensatory storage shall be provided in accordance with the City Code, and shall be subject to review and approval by the Director of Community & Economic Development and the Director of Public Works at the time of final engineering and stormwater permit review. A recorded covenant running with the land requiring maintenance of the compensatory storage volume shall be provided per the requirements of the City Code.
 2. The detached garages proposed on Lots 1 through 9 shall be individually permitted and constructed. Information submitted with the building permit applications shall demonstrate compliance with all applicable requirements of the City Code regarding detached structures within a floodplain. Details shall

be provided regarding anchoring of the structure, use of flood resistant material, use of water proof materials below the flood protection elevation, installation of service facilities above the flood protection elevation, construction cost, design of garage doors and flood vents, and signage and other preventative measures taken to prevent storage in area below 2 ft. above the base flood elevation. Elevation certificates shall be provided for each detached garage following the installation of the foundation and floor for approval by the Director of Community & Economic Development and the Director of Public Works prior to any additional work being completed on the structures.

3. For the attached garages proposed on Lots 10 through 14, information submitted with the building permit applications shall demonstrate compliance with all applicable requirements of the City Code regarding elevations of the structure outside of the floodplain areas. Elevation certificates shall be provided each garage following the installation of the foundation and floor for approval by the Director of Community & Economic Development and the Director of Public Works prior to any additional work being completed on the structures.
- c. Owners' Association: An owner's association shall be formed for purpose of maintaining all common elements within the development, including but limited to: the driveway parcel (Outlot A), all stormwater drainage improvements within the subdivision, and any private improvements approved to be located within City right-of-way. The association shall be responsible for enforcing the covenant over the compensatory storage area and maintaining or enforcing the maintenance of all structures or other improvements located within areas of the site subject to the IDNR Conveyance Floodway agreement, existing regulatory FEMA floodplain, proposed FEMA floodplain mapping and compensatory storage areas in accordance with final engineering plans, building permit approved plans and City Code requirements. The Declaration of Covenants establishing the owner's association and identifying all maintenance responsibilities of the association shall be provided for the review and approval by the Director of Community & Economic Development and Director of Public Works prior to the recording of the Final Plat of Subdivision.
 - d. Special Service Area: Following a recording of the Final Plat of Subdivision, the City shall initiate the formation of a Special Service Area for the purpose of maintaining and repairing stormwater management facilities (including all compensatory storage areas) and other related facilities serving the Subject Property. Such Special Service Area shall be of perpetual duration with a maximum rate sufficient to provide for maintenance, repair, and reconstruction of such facilities. Such Special Service Area may provide for maintenance by the City in the event that stormwater management facilities or other related facilities are not adequately maintained by the Owner's Association, lot owners or successors.

e. Utilities:

1. The existing overhead utility poles along the Indiana Avenue frontage of the subject property, including all attached electrical wires and equipment and all other public or private utilities attached to the poles, shall be removed and relocated below grade.
2. Utilities services to the residential units shall be provided in accordance with the requirements of the City Code, and subject to review and approval of the Director of Community & Economic Development and the Director of Public Works at the time of building permit.
3. The Sanitary Sewer located east of the building may be considered for realignment as determined by the City after an evaluation and determination of hydraulic impacts. If adverse impacts are determined and cannot be mitigated to the satisfaction of the Director of Public Works, the sanitary sewer shall not be realigned, and the building footprint shall be adjusted to provide an adequate separation from the sanitary sewer.

f. School and Park Contributions: The Park and School contributions shall be provided by the Applicant as cash in lieu of land contribution in accordance with the provisions of Title 16 of the St. Charles Municipal Code, as the same may be amended from time to time.

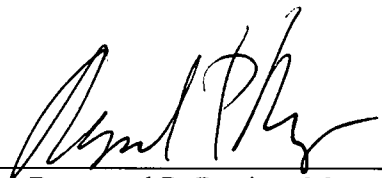
g. Inclusionary Housing: The Inclusionary Housing contribution shall be provided by the Applicant as cash in lieu of affordable units in accordance with the provisions of Title 19 of the St. Charles Municipal Code, as the same may be amended from time to time.

6. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

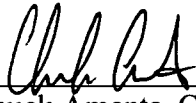
PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of December, 2017.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of December, 2017.

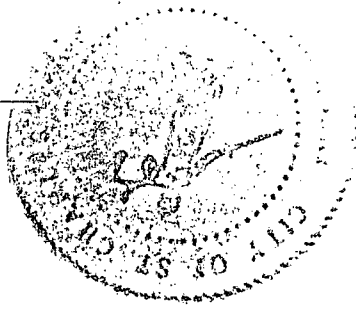
APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of December, 2017.


Raymond P. Rogina, Mayor

Attest:



Chuck Amenta, City Clerk



Vote:

Ayes:

Nays:

Absent:

Abstain:

Date: _____

APPROVED AS TO FORM:

City Attorney

DATE: _____

State of Illinois)
) ss.
Counties of Kane and DuPage)

Certificate

I, CHUCK AMENTA, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on December 18, 2017, the Corporate Authorities of such municipality passed and approved Ordinance No. 2017-Z-21, entitled

"An Ordinance Granting Approval of a Map
Amendment, Special Use for Planned Unit
Development and PUD Preliminary Plan for Crystal
Lofts (214 S. 13th Ave)."


which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2017-Z-21, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on December 27, 2017, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 18th day of December, 2017.

(S E A L)





Municipal Clerk

EXHIBIT "A"

LEGAL DESCRIPTION

THAT PART OF BLOCK 5 OF W. H. WILCOX SECOND ADDITION TO ST. CHARLES AND THAT PART OF VACATED INDIANA AVENUE, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTH ALONG THE WEST LINE OF SAID BLOCK AND SAID WEST LINE EXTENDED 131.5 FEET TO A LINE DRAWN PARALLEL WITH AND 4 FEET SOUTHERLY OF, MEASURED AT RIGHT ANGLES THERETO THE SOUTHERLY LINE OF SAID BLOCK 5; THENCE EASTERLY ALONG SAID PARALLEL LINE AND SAID LINE EXTENDED TO THE EASTERLY LINE OF SAID BLOCK 5; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHEAST CORNER THEREOF; THENCE NORTHERLY ALONG SAID NORTHERLY LINE 344.4 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT "B"

FINDINGS OF FACT FOR MAP AMENDMENT

1. The existing uses and zoning of nearby property.

The current zoning of the existing property is manufacturing M-1. The neighboring properties to the north and east are also M-1. The neighboring properties to the south and west are residential; RT-3.

2. The extent to which property values are diminished by the existing zoning restrictions.

The existing M-1 zoning prohibits the use of residential for the existing building and existing property. Economics, location, the existing building and site prohibit its existing zoning use. The building is deteriorating under the current conditions. The residential use will allow for a new use for the building and site. This proposed use will complement the existing residential to the south and west and offer a great transition to the manufacturing to the north and east of the site.

3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

The existing building does not lend itself to a modern manufacturing facility. The building is deteriorating and in the future, walls and the roof will collapse if the building is not renovated.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

The existing M-1 zoning is not suitable for this type of property. To the south and the west you have single-family homes creating zoning uses that do not complement each other. The location of the site does not lend itself to truck and manufacturing traffic. The building is not adequate for a modern manufacturing facility. The size and location prohibit the function of such a use.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

The building in its current state is deteriorating and does not function as a warehouse. If the property is not re-developed the building will eventually need to be demolished to avoid collapse if left on its own.

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district.

Currently there is a need for new housing product in the St. Charles area. The proposed residential district will allow for new residential product. The existing zoning, M-1, is

obsolete and does not allow for vehicular traffic, building size and location suitable for industrial and/or manufacturing.

7. The consistency of the proposed amendment with the City's Comprehensive Plan.

Multi-Family Residential will make for a great buffer to the commercial buildings to the north and the east. It will also blend in nicely with scale and its use to the residential zoning on the south and the west.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

The proposed zoning will facilitate residential development in the area. The renovation of the existing building and the new (5) town homes will activate Indiana Avenue.

9. The extent to which the proposed amendment creates nonconformities.

The proposed amendment will help the existing property to conform with the surrounding residential properties. The re-use of a vacant building will promote development and compliment the residential community around the site.

10. The trend of development, if any, in the general area of the property in question.

The new zoning will activate the residential development in the area. The town homes will offer amenities that will promote residential and increase property values in the neighborhood.

EXHIBIT "C"

CRITERIA FOR PLANNED UNIT DEVELOPMENTS

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
- 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

The new development will re-purpose an existing deteriorated building. It will also create new residential housing that will increase the values of the neighboring properties, create density and create a beautiful setting for architecture, landscape and a residential presence that will complement the street and neighborhood.

- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
 - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

The PUD will offer the new use of an existing historic building. It will also activate a once dormant building. Relocation of power lines underground, new sidewalks, landscaping and fencing will also beautify the area.

The Heinz Crystal building has been a part of the St. Charles fabric for over 100 years. The renovation of the existing building will allow residents to enjoy its history and architecture. The new (5) town homes offer a modern design that will complement the existing building and offer design innovations not found in the market place.

The existing and new buildings will be renovated with energy-efficient materials lowering the utility costs of the future residents. The storm water management techniques are being modernized to facilitate the new development.

Coverage deviates from the code to allow for the renovation of the existing building. Factors include the existing site conditions, building size and economics restricting the development from adhering to all of the RM-3 requirements. The required Front Yard Setback, Side Yard Setbacks, Lot Width and Building coverage will deviate from the RM-3 District.

iii. The proposed PUD conforms with the standards applicable to Special Use (Section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The architecture of the Crystal Loft Townhomes incorporates a historic building that has been an economic and architectural staple in the community. The building has stood on its location for over 100 years and originally served as the leading manufacturing of crystal in the United States. The architecture will be preserved and serve as an architecturally significant structure for many years to come.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The Crystal Lofts will be relocating the existing power lines on Indiana to underground. New sidewalks and decorative fencing will surround the site on the west, north and east ends. The drainage and utilities will be improved to accommodate the new development.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The Crystal Lofts development team has been working with the City of St. Charles to produce a product that compliments the current needs in St. Charles. We have also addressed the public concerns about parking adding additional parking spaces on the north side of the property to accommodate guests.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The townhomes compliment the residential single family homes to the west and the south and act as a nice architectural transition to the industrial buildings on the east and the north.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The Crystal Lofts will be relocating the existing power lines on Indiana to underground. New sidewalks and decorative fencing will surround the site on the west, north and east ends the drainage and utilities will be improved to accommodate the new development.

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The Crystal Loft Town homes will adhere to all State and local building codes

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The architecture of the Crystal Loft Townhomes incorporates a historic building that has been an economic and architectural staple in the community. The building has stood on its location for over 100 years and originally served as the leading manufacturing of crystal in the United States. The architecture will be preserved and serve as an architectural significant structure for many years to come.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The proposed PUD conforms to all purposes and intent of the Comprehensive Plan by the renovation of an existing historic building that has been in the city of St. Charles for over 100 years. The development of new residential units in an existing warehouse maintains the character of the street. It will provide a catalyst for residential development on the east side of town. The development will create a transition from single family homes to the industrial to the east.

EXHIBIT “E”

PUD DEVIATIONS

Table 17.12-2 Residential District Bulk Requirements – RM-3 District	
Minimum Lot Area	2,363 sf. per unit based on total site area
Minimum Lot Width	18.98 ft. per townhome lot
Maximum Building Coverage	58% of total site area
Maximum Building Height	40 ft./ 3 stories
Minimum Front Yard	0 ft. along Indiana Ave.
Minimum Interior Side Yard	0 ft. for townhome lots, 10 ft. from building to east property line
Minimum Exterior Side Yard	0 ft. along 13 th Ave.
Minimum Rear Yard	0 ft. for townhome lots, 14.75 ft. from buildings to north property line
Landscape Buffer Yard	None required
Chapter 17.26 Landscaping and Screening	
Minimum percentage of a parcel that is landscaped- 17.26.060	To be provided per Preliminary Landscape Plan
Building Foundation Landscaping- 17.26.080	To be provided per Preliminary Landscape Plan
Public Street Frontage Landscaping- 17.26.090	To be provided per Preliminary Landscape Plan
Chapter 17.06 Design Review Standards & Guidelines	
Maximum number of townhomes attached in a row 17.06.050.A.4	14 townhomes units may be attached in a row