

Prepared For:  
Airhart Construction  
500 E Roosevelt Rd.  
West Chicago, IL 60185

### Munhall Glen Subdivision – Tree Inventory and Preservation Plan

The existing project site is approximately 15.39 acres and contains a mixture of residential, agricultural, wetland and woodland areas. This report will break down the dense woodland areas by zones and will provide general information of each zone. Per discussion with staff and due to dense invasive undergrowth, specific information was provided for trees greater than 6" Diameter at Breast Height (DBH) (species, size and condition) in the residential zone. The rest of the zones have a dense brush layer, typical to invasive tree species making access challenging. If a more detailed analysis will be required, a significant amount of brush will need to be removed to inventory these areas.

The tree preservation zones are as follows:

- Residential Zone – Individual Trees identified
- South Zone Abutting Residential – General Community Composition
- West Zone Abutting Yard – General Community Composition
- East Zone Abutting Commercial – General Community Composition
- Wetland / Drainage Swale – General Community Composition

Below is a table with a list of the tree species found on-site. Included in this table is each species each species' Coefficient of Conservatism (C Value) and native/invasive status. C Values range from 0 - 10 and represent an estimated probability that a plant is likely to occur in a landscape relatively unaltered from what is believed to be pre-European settlement condition. For example, a C of 0, is given to plants such as *Acer negundo*, Box Elder, that have demonstrated little fidelity to any remnant natural community (i.e. may be found almost anywhere). Similarly, a C of 10 is applied to plants that are almost always restricted to a pre-settlement remnant (i.e. a high-quality natural area). Invasive (non-native) species are assigned a C-value of 0 and are considered invasive.

SPECIES NAME (NWPL/ MOHLENBROCK)	COMMON NAME	C VALUE	NATIVITY
<i>Acer negundo</i>	Box Elder	0	Native
<i>Acer saccharinum</i>	Silver Maple	1	Native
<i>Juglans nigra</i>	Black Walnut	3	Native
<i>Morus alba</i>	White Mulberry	0	Invasive
<i>Populus deltoides</i>	Eastern Cottonwood	0	Native
<i>Prunus serotina</i>	Black Cherry	0	Native
<i>Quercus alba</i>	Northern White Oak	5	Native

<i>Rhamnus cathartica</i>	European Buckthorn	0	Invasive
<i>Robinia pseudoacacia</i>	Black Locust	0	Invasive
<i>Ulmus pumila</i>	Siberian Elm	0	Invasive

This floristic information was obtained from Herman, B., Sliwinski, R. and S. Whitaker. 2017. Chicago Region FQA (Floristic Quality Assessment) Calculator. U.S. Army Corps of Engineers, Chicago, IL. This version of the calculator has floristic information pertaining to the Chicago Region as originally delineated by the authors of the Floristic Quality Assessment - Swink, F. and Wilhelm, G. 1994. Plants of the Chicago Region, 4th Ed. The Indiana Academy of Science, Morton Arboretum, Lisle, IL. Updated Coefficients of Conservatism (C-value) are based on Flora of the Chicago Region: A Floristic and Ecological Synthesis. Gerould Wilhelm & Laura Rericha. 2017. Indiana Academy of Science. Indianapolis, IN.

### **Residential Zone**

The residential zone is the only zone that an individual tree identification was able to occur. The following table represents the Trees Inventoried and their associated Rating. The rating is based on tree health and structural integrity.

Tree #	DBH	Common Name	Species	Rating	Recommendation
1	15"	Maple	Acer	Good	Protective Fence if possible
2	42"	Oak	Quercus	Good	Protective Fence if possible
3	10"	Maple	Acer	Good	Protective Fence if possible
4	14"	Maple	Acer	Poor	Remove
5	38"	Oak	Quercus	Good	Protective Fence if possible
6	12"	Oak	Quercus	Good	Protective Fence if possible
7	14",14"	Elm	Ulmus	Good	Protective Fence if possible
8	36"	Oak	Quercus	Fair	Protective Fence if possible
9	44"	Oak	Quercus	Good	Protective Fence if possible
10	38"	Oak	Quercus	Good	Protective Fence if possible

### ***South Zone Abutting Residential***

The area inventoried along the south edge property line abuts the Cambridge Phase No.1 residential subdivision to the south and is approximately 1.70 acres of woodland. The trees in this area consisted of Buckthorn, Black Locust, mulberry, Cottonwood, Silver Maples, and Boxelder. The majority of the trees in this area are invasive and non-desirable but are in fair to good condition and provide screening from the residential subdivision to the agricultural area. There are several good size Silver Maples in this area that could be considered desirable, though the effects from grade change, due to storm water management requirements and construction would likely cause them to not survive.

Rough Percentages of trees found in this area:

*Acer negundo* (Boxelder): <5%  
*Acer saccharinum* (Silver Maple): 40%  
*Morus alba* (Mulberry): <5%  
*Populus deltoides* (Cottonwood): <5%  
*Rhamnus cathardica* (Buckthorn): 40%  
*Robinia pseudoacacia* (Black Locust): <5%

### ***West Zone Abutting Yard***

The area inventoried along the west edge property line abuts an industrial material yard and is approximately 0.6 acres of woodland. The trees in this area consisted of Buckthorn, Siberian Elm, Cottonwood, Silver Maples, Boxelder, Cherry, and Walnut. The majority of the trees in this area are invasive and non-desirable but are in fair to good condition and provide screening from the industrial yard to the west. There are several Walnut, Silver Maples, Cottonwoods & Siberian Elms in fair condition in this area that could be considered desirable, though the effects from grade change, due storm water management requirements and construction would likely cause them to not survive.

Rough Percentages of trees found in this area:

*Acer negundo* (Boxelder): <5%  
*Acer saccharinum* (Silver Maple):10%  
*Juglans nigra* (Walnut) : 15%  
*Populus deltoides* (Cottonwood): 10%  
*Prunus serotina* (Cherry): <5%  
*Rhamnus cathardica* (Buckthorn): 45%  
*Ulmus pumila* (Siberian Elm): 10%

### ***East Zone Abutting Commercial***

The area inventoried along the east edge property line abuts the Tyler Ridge Condo Subdivision and is approximately 1.1 acres of woodland. The trees in this area consisted of Buckthorn, Siberian Elm, Silver Maples, Boxelder, Cherry, and Mulberry. The majority of the trees in this area are invasive and non-desirable but are in fair to good condition and provide screening from the commercial condos to the east to the agricultural area. There are several

Cottonwoods & Siberian Elms in fair condition in this area that could be considered desirable, though the effects from grade change, storm water management requirements, and construction would likely cause them to not survive.

Rough Percentages of trees found in this area:

*Acer negundo* (Boxelder):15%  
*Acer saccharinum* (Silver Maple): 5%  
*Morus alba* (Mulberry): 5%  
*Prunus serotina* (Cherry):5%  
*Rhamnus cathartica* (Buckthorn): 65%  
*Ulmus pumila* (Siberian Elm):5%

### ***Wetland / Drainage Swale***

The area inventoried along north property line and the area that runs along the drainage swale through the center of the property is approximately 4.3 acres of woodland. The trees in this area consisted of Buckthorn, Siberian Elm, Cottonwood, Silver Maples, Boxelder and Mulberry. The majority of the trees in this area are invasive and non-desirable but are in fair to good condition and provide screening to the neighboring industrial to the west and the old rail lines to the north. There are a few large oaks in the NW corner and several Cottonwoods & Siberian Elms in fair condition in this area that could be considered desirable, though the effects from grade change, due storm water management requirements and construction would like cause them to not survive.

Rough Percentages of trees found in this area:

*Acer negundo* (Boxelder): 20%  
*Acer saccharinum* (Silver Maple): 5%  
*Morus alba* (Mulberry): 5%  
*Populus deltoides* (Cottonwood): 5%  
*Rhamnus cathartica* (Buckthorn): 60%  
*Ulmus pumila* (Siberian Elm):5%

### **Recommendations**

The majority of the wooded areas on-site consist of invasive trees with intermittent desirable species. The proposed construction will be impacting 100% of the site and due to significant elevation change and storm water management requirements, all trees on site will be affected. In lieu of preservation of existing low quality and invasive trees, a significant landscape plan incorporating 92 high quality front yard parkway trees and 98 high quality backyard trees to be used as screening, and will be more beneficial to the long term health of trees on the site as well as neighboring properties.

If it is possible to keep trees, the following protocols should be used:

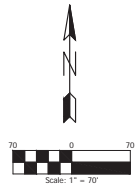
- Install tree protection fence per erosion control plan prior to any construction;
- Fence the public portion (parkways) of the entire tree protection zones with a 6' chain-link fence to prevent wounds to the parkway trees as well as soil compaction prior to any construction activity. Post the fence with a sign stating "Tree Protection Zone - Keep Out";
- At no time shall any equipment, materials, supplies or soil fill be allowed in the tree protection zone;
- The entire tree protection zone should be mulched to improve the growing conditions for tree roots, and minimize the maintenance of the parkway lawn; and
- Tree protection zone is the designated area the encompasses the entire tree canopy.

**This tree preservation plan incorporates all reasonable steps necessary to minimize damage to trees on property and adjacent to the property.**

The Tree Preservation Plan was performed by Certified Arborist Jay Peters

\_\_\_\_\_ 7.11.2020

Jay C. Peters; Certified Arborist # IL-1201



<p>MUNHALL GLEN          ST. CHARLES, IL          EST. PROJECT NO. 190726.CO</p>		<p>AIRHART CONSTRUCTION          "Building A Better Tomorrow"</p>	
<p>DATE : 07-24-2020          PROJECT # : 190726.CO          DESIGNED BY : TF          DRAWN BY : TF          CHECKED BY : NAV          DESCRIPTION:</p>		<p>ENGINEERING RESOURCE ASSOCIATES          1000 WEST MARSH DRIVE, SUITE 100          ST. CHARLES, IL 62205-1505          PHONE: (618) 731-2300          FAX: (618) 731-2300          WWW.ERASOCIATES.COM</p>	
<p>TREE PRESERVATION ZONES</p>		<p>EX SHEET</p>	

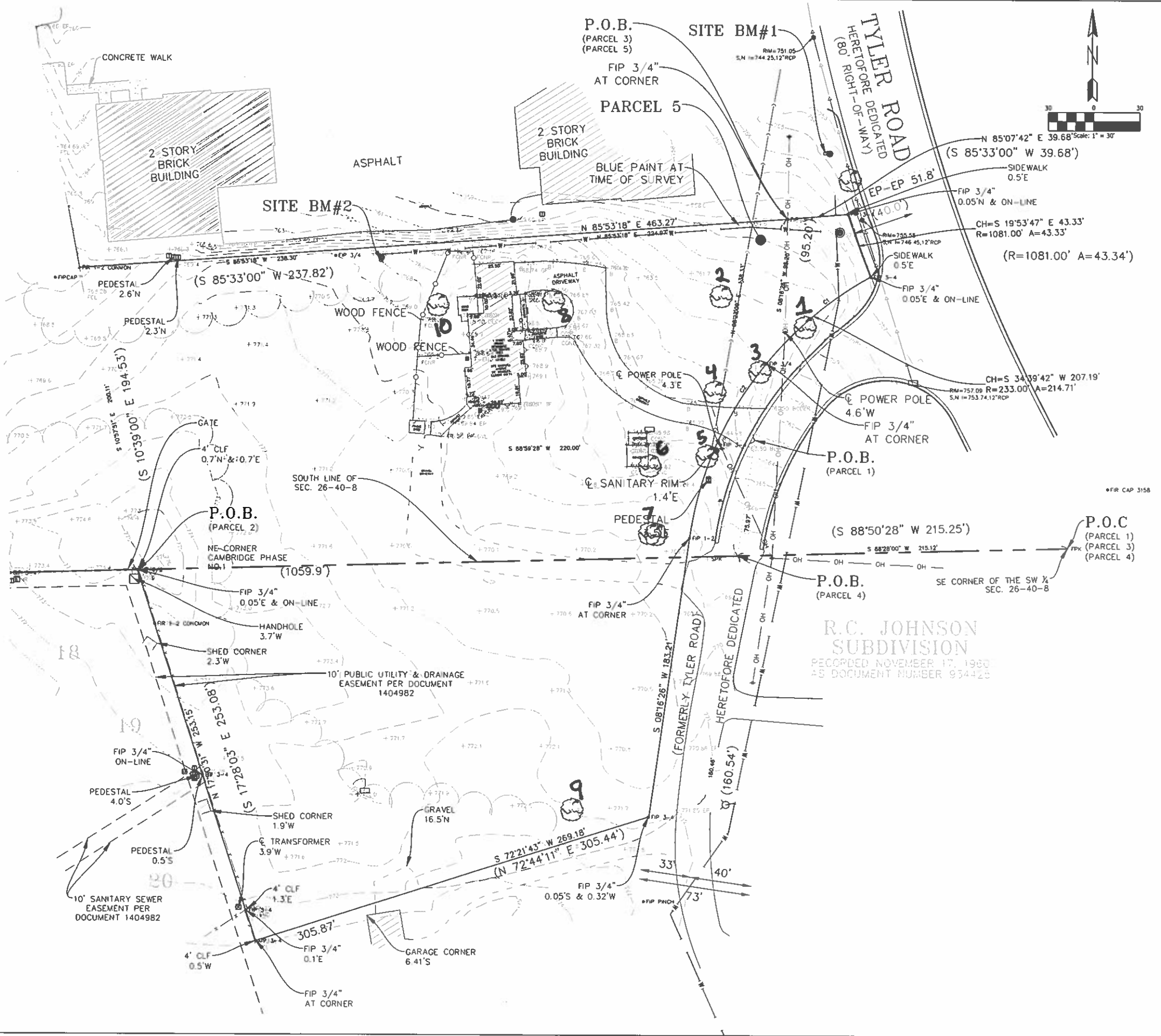
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**SITE BENCHMARKS**

**SITE BENCHMARK (BM) #1**  
 NORTHWEST BENCHMARK BOLT ON A FIRE HYDRANT  
 LOCATED AT THE WEST SIDE OF TYLER ROAD AND  
 APPROXIMATELY 41' NORTH OF PARCEL 3  
 ELEV: 656.01 (NAVD 88)

**SITE BENCHMARK (BM) #2**  
 SOUTHWEST BENCHMARK BOLT ON A FIRE HYDRANT  
 LOCATED ON PARCEL 4 APPROXIMATELY 9' SOUTH  
 OF THE NORTH LINE OF PARCEL 4.  
 ELEV: 658.50 (NAVD 88)

- EXISTING**
- CURB & GUTTER
  - WATER
  - ELECTRIC
  - GAS
  - SANITARY SEWER
  - STORM SEWER
  - MANHOLE
  - CATCH BASIN
  - INLET
  - VALVE VAULT
  - VALVE & BOX
  - BUFFALO BOX
  - GAS VALVE
  - HYDRANT
  - STREET LIGHT
  - HANDICAPPED RAMP
  - FILL STRUCTURE
  - ADJUST STRUCTURE
  - ELEVATION
  - CONTOUR
  - FLOW



**ENGINEERING RESOURCE ASSOCIATES**  
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 PHONE (630) 797-2124  
 WWW.ERASOURCEASSOCIATES.COM

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 ERM PROJECT NO. 190726.CD

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DESCRIPTION:  
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**C-3.2**  
 SHEET

# MUNHALL GLEN

ST. CHARLES, IL 60174  
 JOB NO. 190726.CO  
 JULY 24TH, 2020  
 PRELIMINARY ENGINEERING

SECTION 26 T40N R8E

### INDEX TO DRAWINGS

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C-5.0 : C-5.3	UTILITY PLANS
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AREA SUMMARY  
 670,397 SF = 15.390 AC

ZONING CLASSIFICATION  
 EXISTING = M-2  
 PROPOSED = RS-4

LOCATION MAP



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 RESOURCE ASSOCIATES

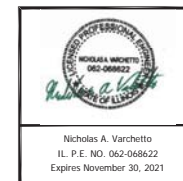
2416 GALEN DRIVE  
 CHAMPAIGN, ILLINOIS 61821  
 PHONE (217) 351-6268  
 FAX (217) 355-1902

35701 WEST AVENUE, SUITE 150  
 WARRENVILLE, ILLINOIS 60555  
 PHONE (630) 393-3060  
 FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875  
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 FAX (312) 474-6099

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF THE SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE LOT IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES, SO THAT THE DEVELOPMENT SHALL NOT ADVERSELY INCREASE FLOOD ELEVATIONS OR DECREASE FLOOD CONVEYANCE CAPACITY UPSTREAM OR DOWNSTREAM OF THE PROJECT AREA.

Engineer: \_\_\_\_\_  
 Seal: \_\_\_\_\_



Nicholas A. Varchetto  
 IL P.E. NO. 062-068622  
 Expires November 30, 2021

**ENGINEERING**  
 RESOURCE ASSOCIATES  
 1000 WEST WASHINGTON, SUITE 100  
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COVER

C-1.0  
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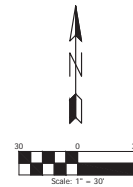
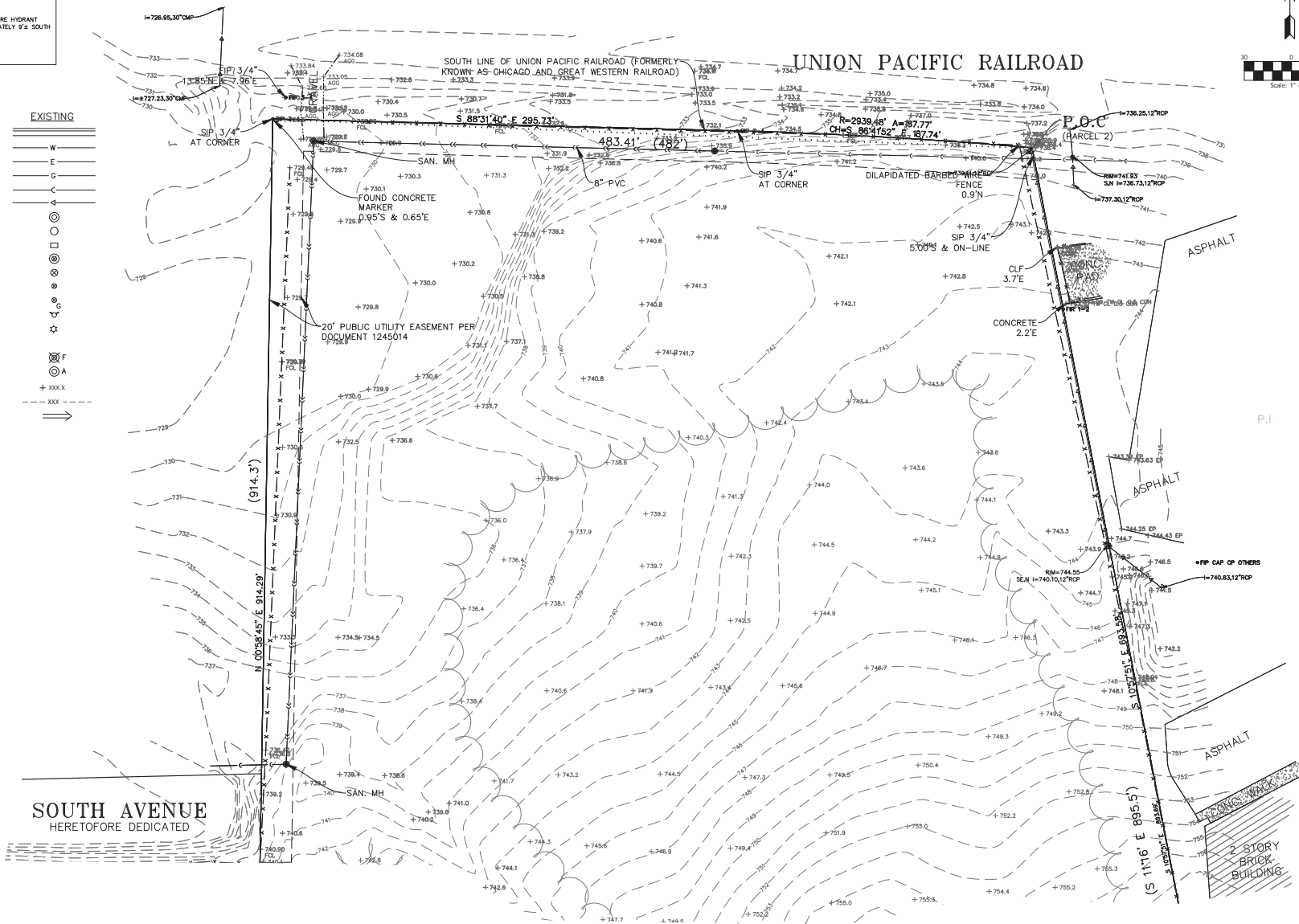


**SITE BENCHMARKS**

SITE BENCHMARK (BM) #1  
NORTHWEST BONNET BOLT ON A FIRE HYDRANT  
LOCATED AT THE WEST SIDE OF TRENK ROAD AND  
APPROXIMATELY 41' NORTH OF PARCEL 3  
ELEV. 656.01 (NAVD 88)

SITE BENCHMARK (BM) #2  
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OF THE NORTH LINE OF PARCEL 4.  
ELEV. 688.50 (NAVD 88)

- EXISTING**
- CURB & GUTTER
  - WATER
  - ELECTRIC
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  - SANITARY SEWER
  - STORM SEWER
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  - ADJUST STRUCTURE
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  - CONTOUR
  - FLOW



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DENVER, CO 80202

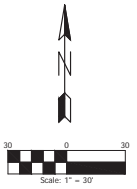
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DESCRIPTION	

EXISTING CONDITIONS	
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**C-3.0**  
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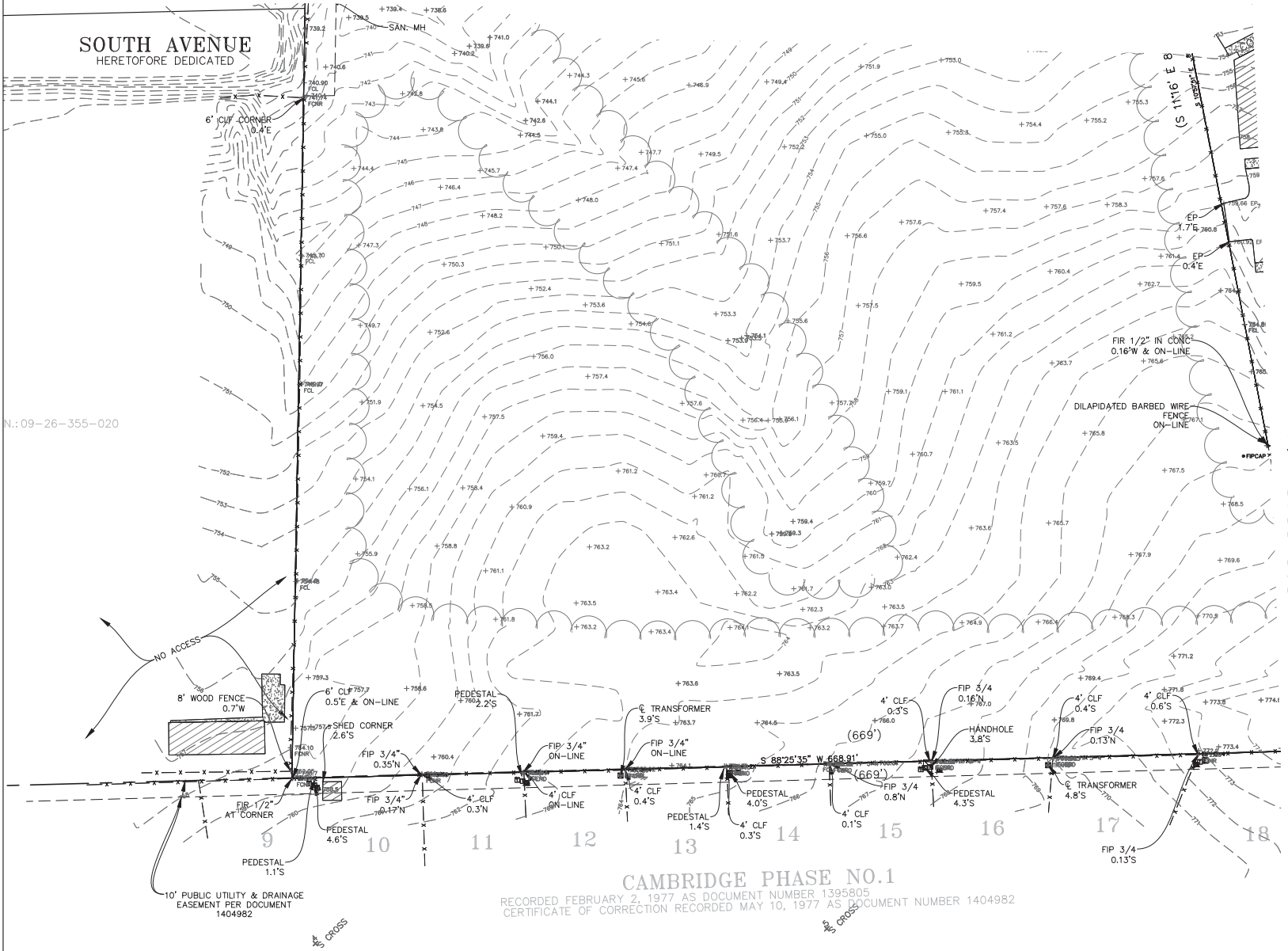
SOUTH AVENUE  
HERETOFORE DEDICATED



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N.: 09-26-355-020

**CAMBRIDGE PHASE NO.1**  
RECORDED FEBRUARY 2, 1977 AS DOCUMENT NUMBER 1395805  
CERTIFICATE OF CORRECTION RECORDED MAY 10, 1977 AS DOCUMENT NUMBER 1404982

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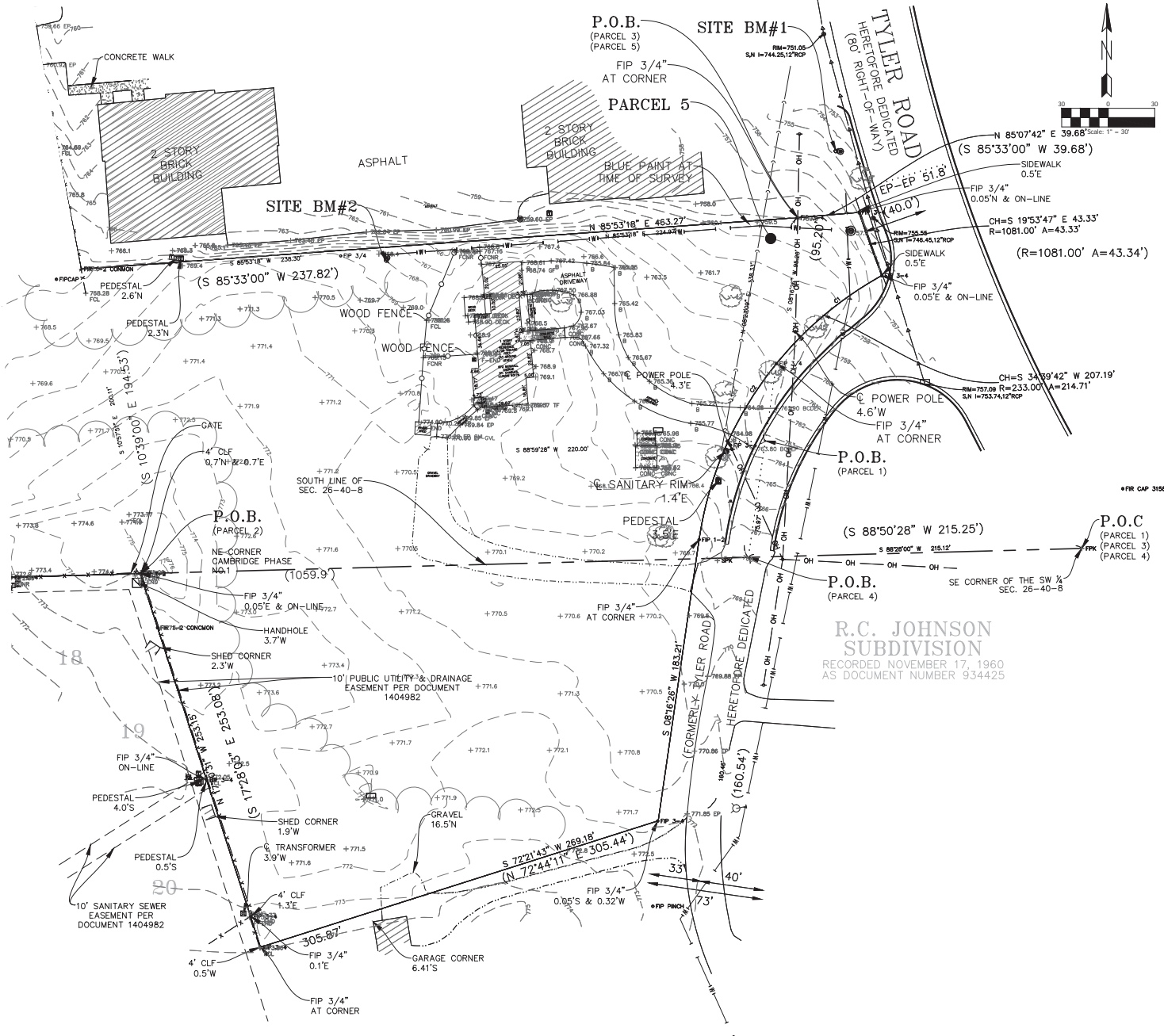
EXISTING CONDITIONS

**C-3.1**  
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  - ⊗ ADJUST STRUCTURE
  - ELEVATION
  - CONTOUR
  - FLOW



**R.C. JOHNSON  
SUBDIVISION**  
RECORDED NOVEMBER 17, 1960  
AS DOCUMENT NUMBER 934425

**ENGINEERING RESOURCE ASSOCIATES**  
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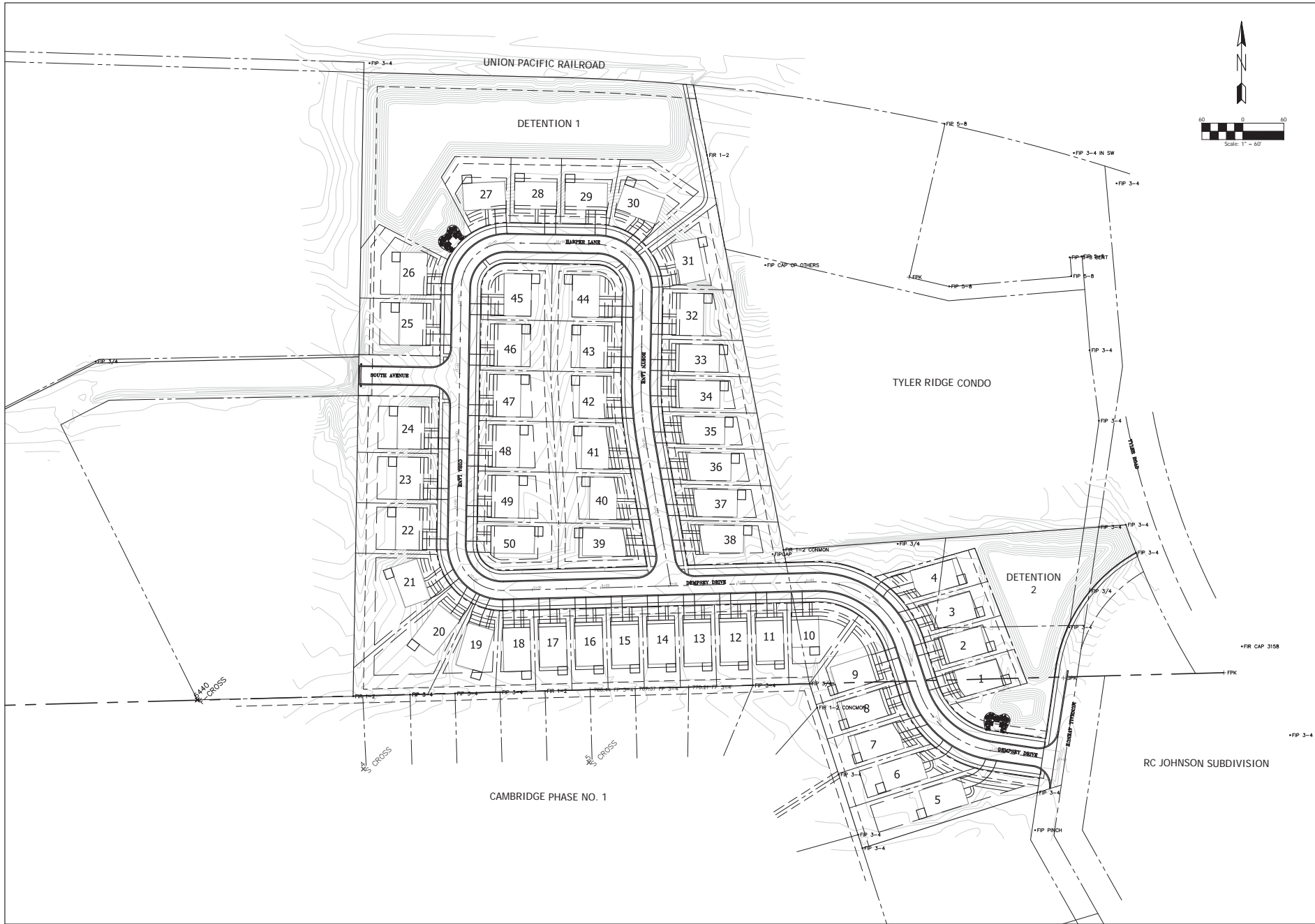
**MUNHALL GLEN**  
31 GARDNER BL.  
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DATE	07-24-2020
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DESCRIPTION	PROJECTS

EXISTING CONDITIONS

**C-3.2**  
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MUNHALL GLEN  
511 N. GLEN BLVD., S.W.  
EDMONTON, ALBERTA T5C 1W2

NO.	REVISION

DATE : 07-24-2020  
 PROJECT # : 190726.00  
 DESIGNED BY : TF  
 DRAWN BY : TF  
 CHECKED BY : NAV

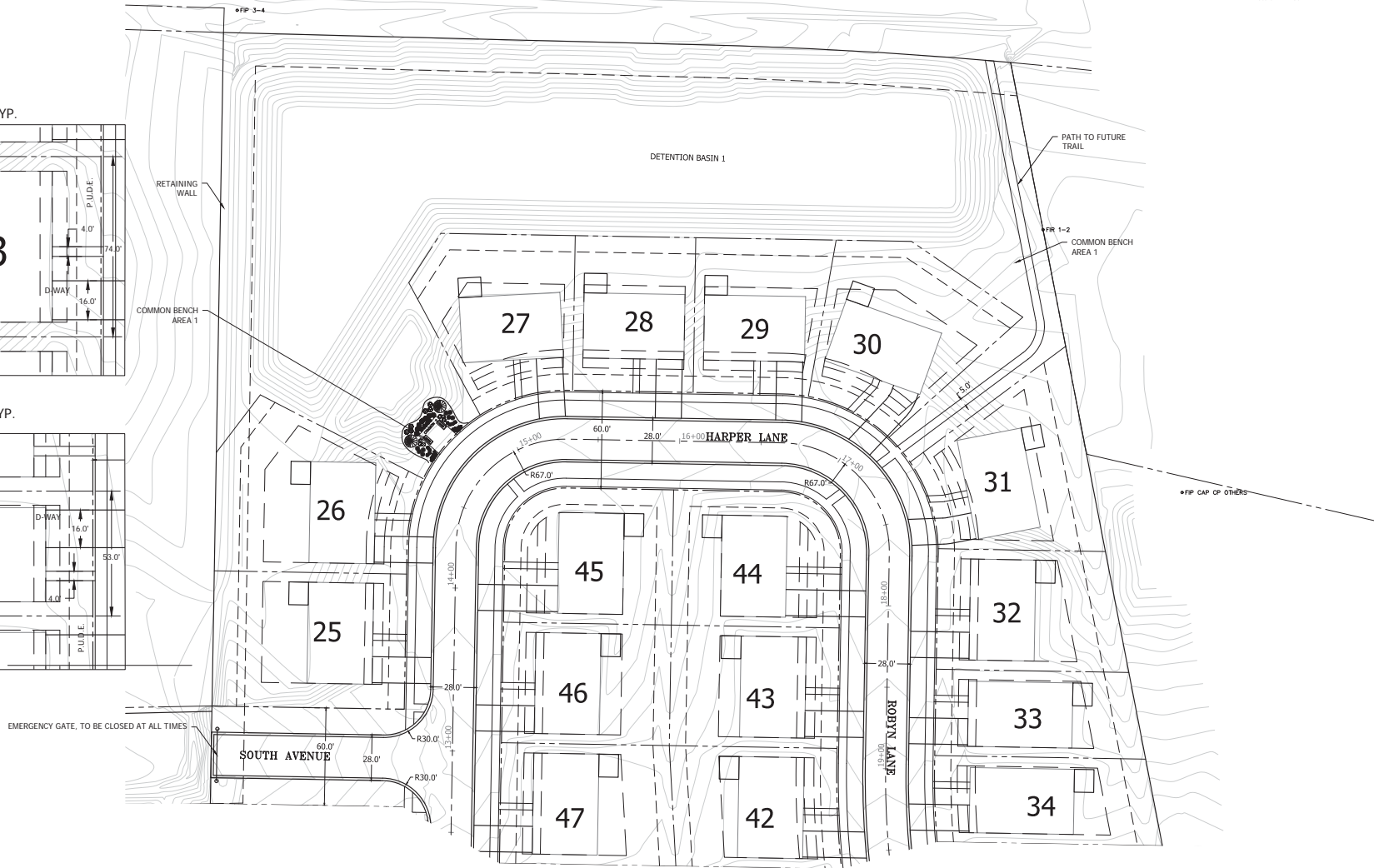
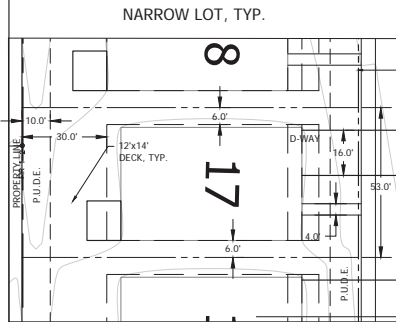
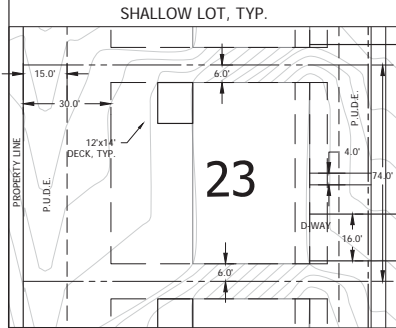
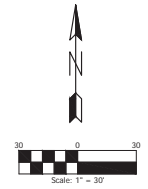
OVERVIEW  
GEOMETRY PLAN

C-4.0  
SHEET



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**LEGEND**

- PROPERTY LINE
- EASEMENT
- SETBACKS
- CENTERLINE
- RIGHT OF WAY



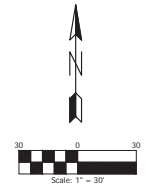
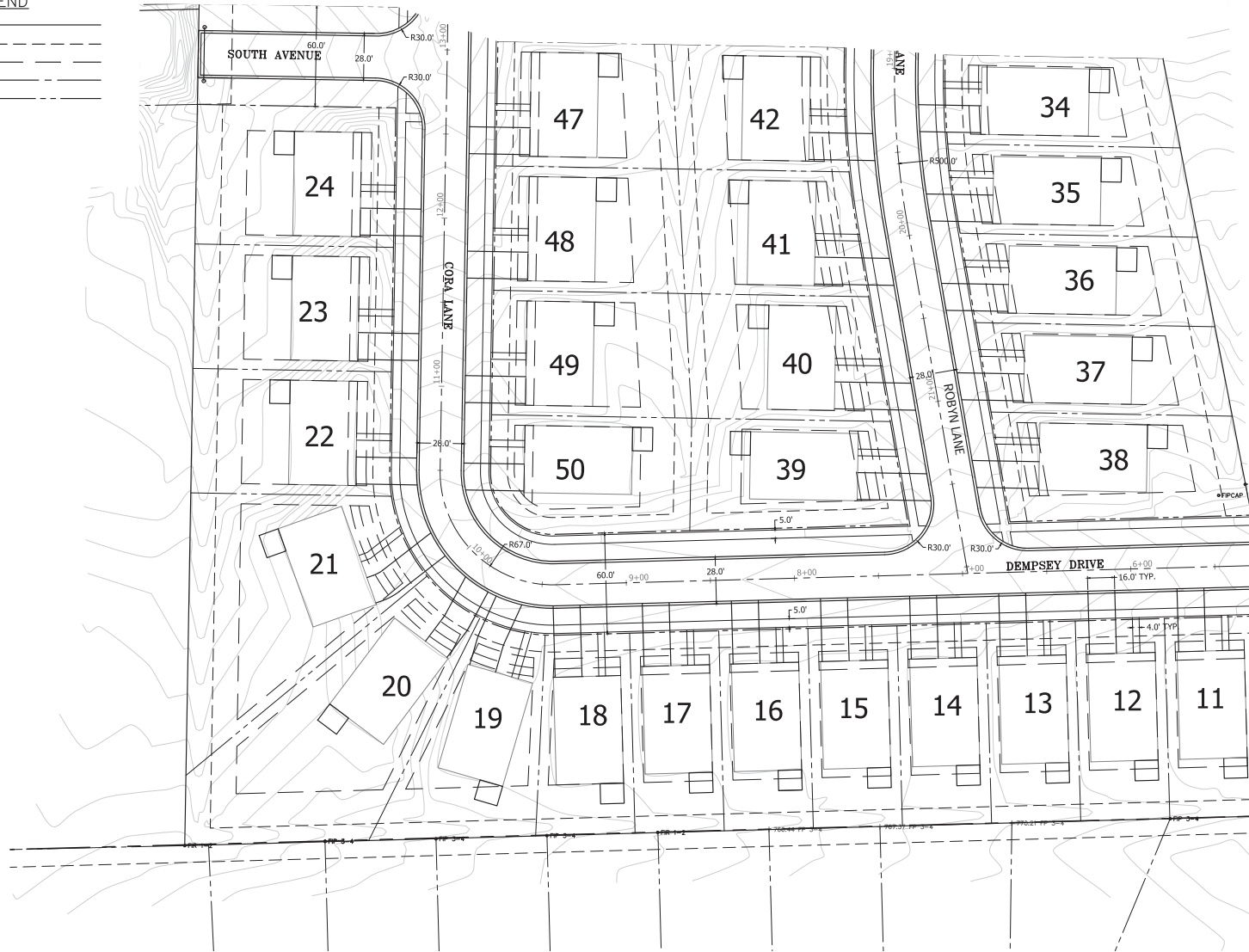
EMERGENCY GATE, TO BE CLOSED AT ALL TIMES

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 <b>AIRHART CONSTRUCTION</b> <small>"Building A Better Tomorrow"</small>												
<b>MUNHALL GLEN</b> <small>51 HARBOR BL. MUNHALL, OHIO 44130</small>												
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>PROJECT #</th> <th>DESIGNED BY</th> <th>DRAWN BY</th> <th>CHECKED BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>07-24-2020</td> <td>190726.00</td> <td>TF</td> <td>TF</td> <td>NAV</td> <td></td> </tr> </tbody> </table>	DATE	PROJECT #	DESIGNED BY	DRAWN BY	CHECKED BY	DESCRIPTION	07-24-2020	190726.00	TF	TF	NAV	
DATE	PROJECT #	DESIGNED BY	DRAWN BY	CHECKED BY	DESCRIPTION							
07-24-2020	190726.00	TF	TF	NAV								
<b>C-4.1</b> SHEET												

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**LEGEND**

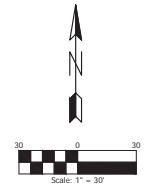
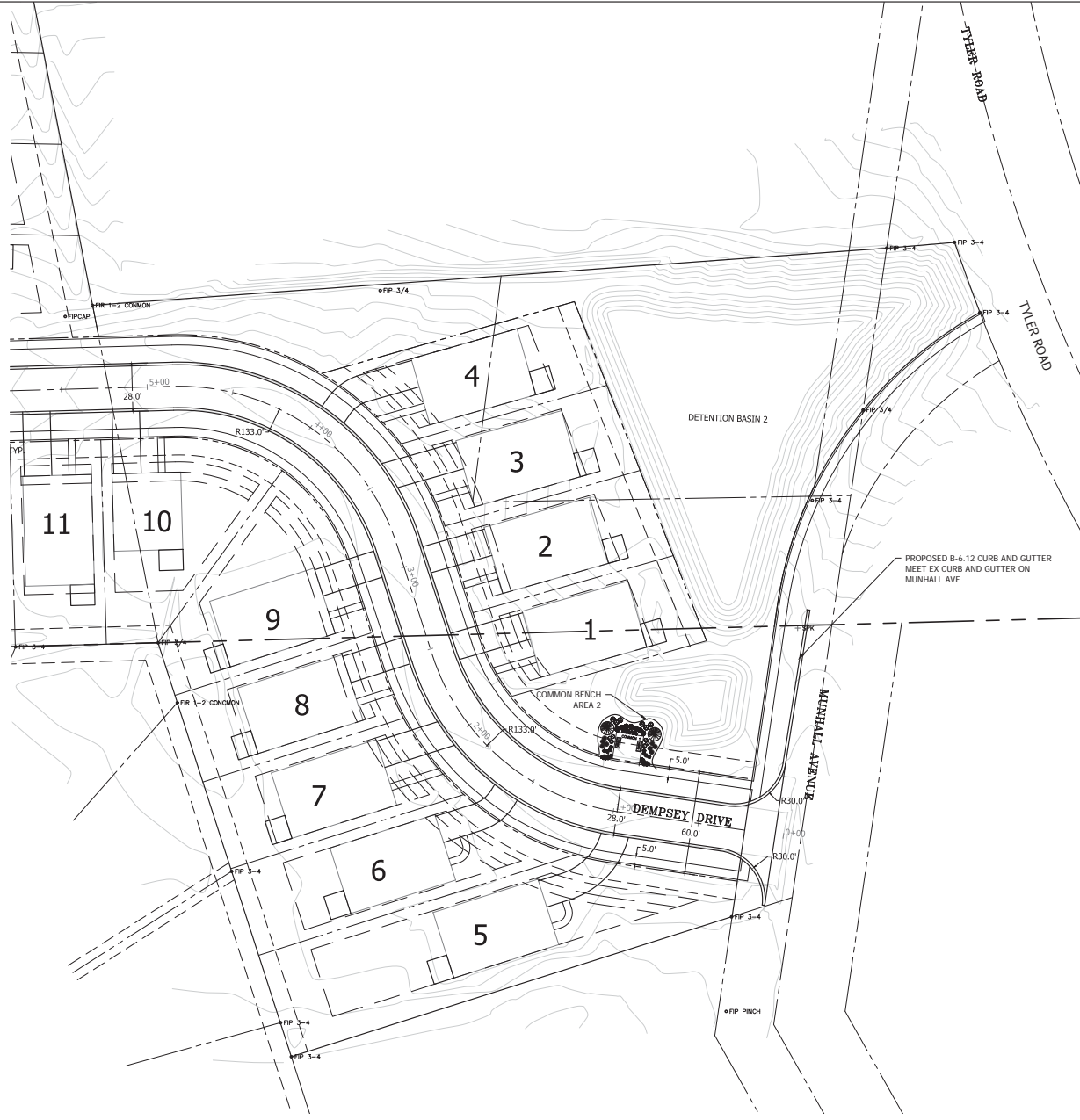
- PROPERTY LINE
- EASEMENT
- SETBACKS
- CENTERLINE
- RIGHT OF WAY





	ENGINEERING RESOURCE ASSOCIATES 1000 WEST MARINE DRIVE, SUITE 100 DENVER, COLORADO 80202 PHONE: (303) 733-3300 FAX: (303) 733-3300 www.eraassociates.com
	AIRHART CONSTRUCTION "Building A Better Tomorrow" 1000 WEST MARINE DRIVE, SUITE 100 DENVER, COLORADO 80202 PHONE: (303) 733-3300 FAX: (303) 733-3300 www.airhart.com
AIRHART CONSTRUCTION	
MUNHALL GLEN 51 GARDNER BL. DENVER, CO 80226	
DATE : 07-24-2020 PROJECT # : 190726.00 DESIGNED BY : TF DRAWN BY : TF CHECKED BY : NAV DESCRIPTION :	PROJECTS\Airhart_Construction\190726.00_Munhall_Si_Oriana_Site_REV_DWG\CADD\190726.00_SHEET_C-4.2_Geometry.dwg
GEOMETRY PLAN	
C-4.2 SHEET	

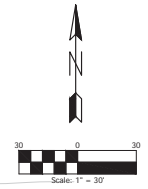
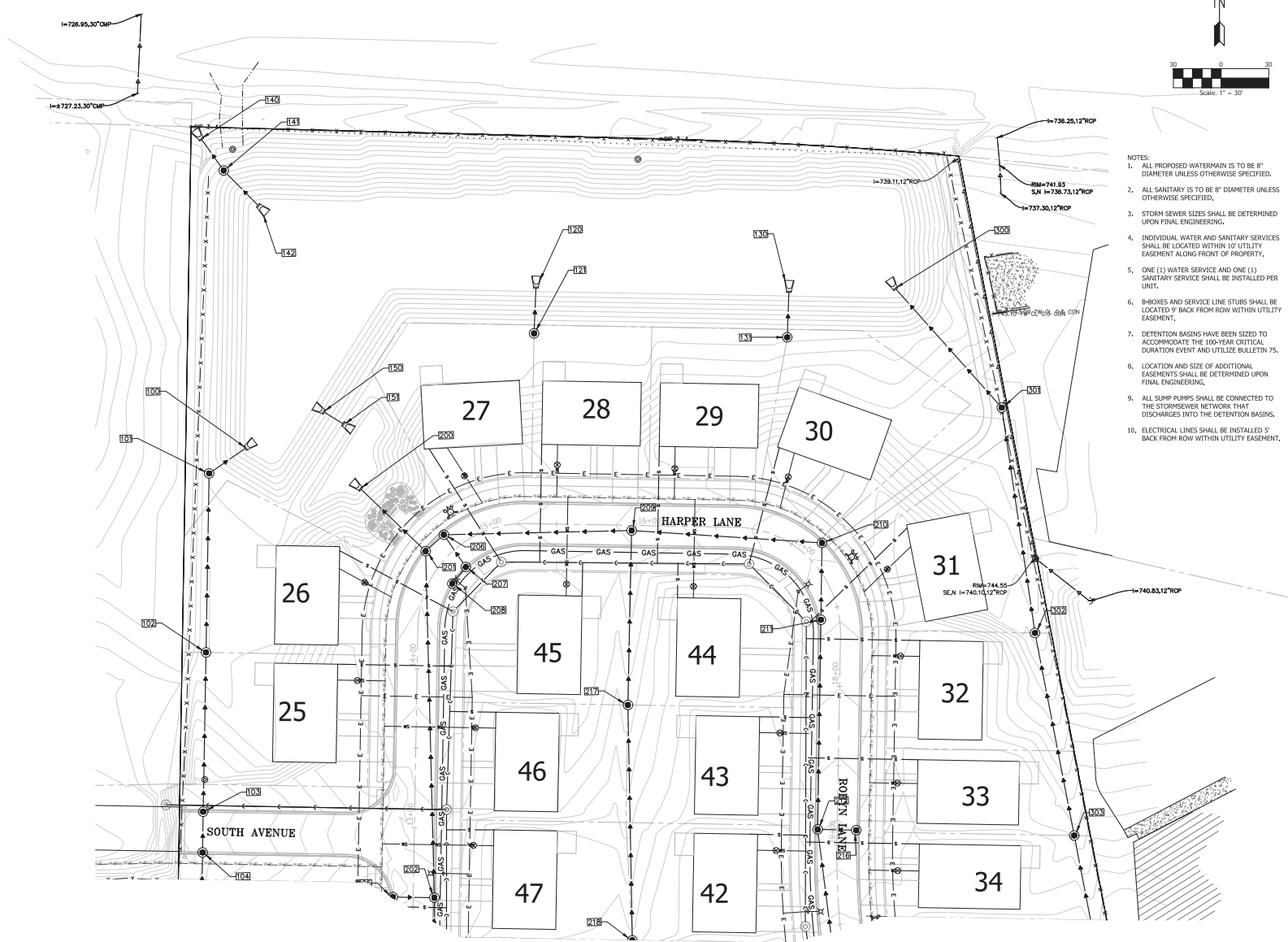
**LEGEND**

- PROPERTY LINE
- EASEMENT
- SETBACKS
- CENTERLINE
- RIGHT OF WAY



	<b>ENGINEERING RESOURCE ASSOCIATES</b> <small>1000 WEST MAIN ST. SUITE 100 DENVER, CO 80202 PH: 303.733.1000 WWW.ERASOURCE.COM</small>												
	<b>AIRHART CONSTRUCTION</b> <small>"Building A Better Tomorrow"</small>												
<b>MUNHALL GLEN</b> <small>51 HOMER, N.E. DENVER, CO. 80126, CO.</small>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%;">DATE</td> <td style="width: 20%;">07-24-2020</td> <td style="width: 20%;">PROJECT #</td> <td style="width: 20%;">190726.00</td> <td style="width: 20%;">DESIGNED BY</td> <td style="width: 20%;">TF</td> </tr> <tr> <td>DRAWN BY</td> <td>TF</td> <td>CHECKED BY</td> <td>NAV</td> <td>DESCRIPTION</td> <td></td> </tr> </table>	DATE	07-24-2020	PROJECT #	190726.00	DESIGNED BY	TF	DRAWN BY	TF	CHECKED BY	NAV	DESCRIPTION	
DATE	07-24-2020	PROJECT #	190726.00	DESIGNED BY	TF								
DRAWN BY	TF	CHECKED BY	NAV	DESCRIPTION									
<b>C-4.3</b> SHEET	<small>© PROJECTS\Airhart_Construction\190726.00_Munhall_Si_Corner_Site_REV.DWG\CAD\190726.00_SHEET C-4.3_Geometry.dwg</small>												

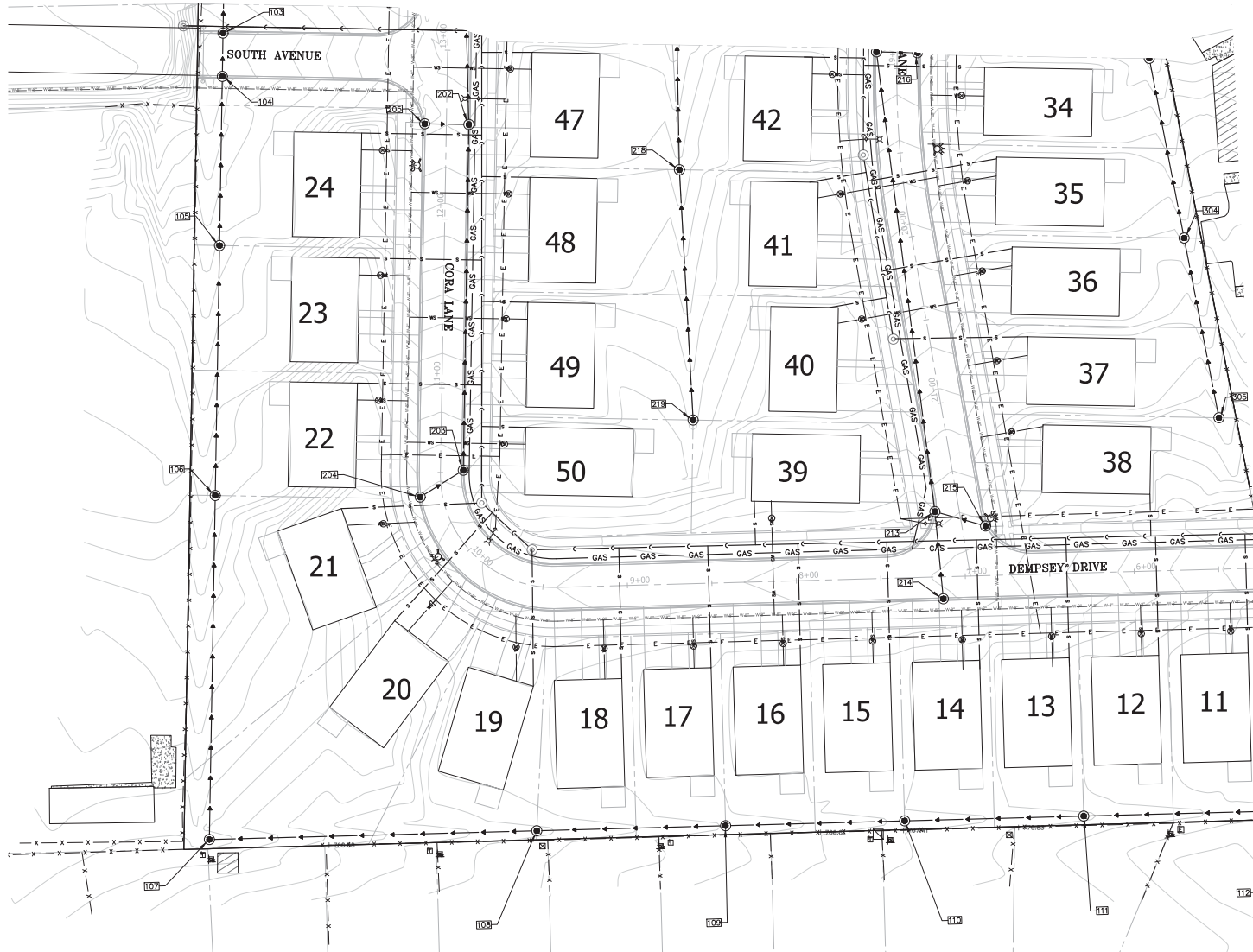




- NOTES:
1. ALL PROPOSED WATERMAIN IS TO BE 8" DIAMETER UNLESS OTHERWISE SPECIFIED.
  2. ALL SANITARY IS TO BE 6" DIAMETER UNLESS OTHERWISE SPECIFIED.
  3. STORM SEWER SIZES SHALL BE DETERMINED UPON FINAL ENGINEERING.
  4. INDIVIDUAL WATER AND SANITARY SERVICES SHALL BE LOCATED WITHIN 10' UTILITY EASEMENT ALONG FRONT OF PROPERTY.
  5. ONE (1) WATER SERVICE AND ONE (1) SANITARY SERVICE SHALL BE INSTALLED PER UNIT.
  6. B-BOXES AND SERVICE LINE STUBS SHALL BE LOCATED 9' BACK FROM ROW WITHIN UTILITY EASEMENT.
  7. DETENTION BASINS HAVE BEEN SIZED TO ACCOMMODATE THE 100-YEAR CRITICAL DURATION EVENT AND UTILIZE BULLETIN 75.
  8. LOCATION AND SIZE OF ADDITIONAL EASEMENTS SHALL BE DETERMINED UPON FINAL ENGINEERING.
  9. ALL SUMP PUMPS SHALL BE CONNECTED TO THE STORMSEWER NETWORK THAT DISCHARGES INTO THE DETENTION BASINS.
  10. ELECTRICAL LINES SHALL BE INSTALLED 5' BACK FROM ROW WITHIN UTILITY EASEMENT.

DATE	07-24-2020
PROJECT #	190726.00
DESIGNED BY	TF
DRAWN BY	TF
CHECKED BY	NAV
DESCRIPTION	PROJECT AIRHART Construction\190726.00_Munhall_Site_REV.DWG\CA001\190726.00_SHEET C-5.0_UTILITY.dwg

DATE	07-24-2020
PROJECT #	190726.00
DESIGNED BY	TF
DRAWN BY	TF
CHECKED BY	NAV
DESCRIPTION	PROJECT AIRHART Construction\190726.00_Munhall_Site_REV.DWG\CA001\190726.00_SHEET C-5.0_UTILITY.dwg



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Scale: 1" = 30'

**ENGINEERING RESOURCE ASSOCIATES**  
 1000 WEST MARSH DRIVE, SUITE 100  
 DENVER, COLORADO 80202  
 WWW.ERACONSTRUCTION.COM

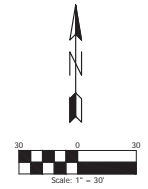
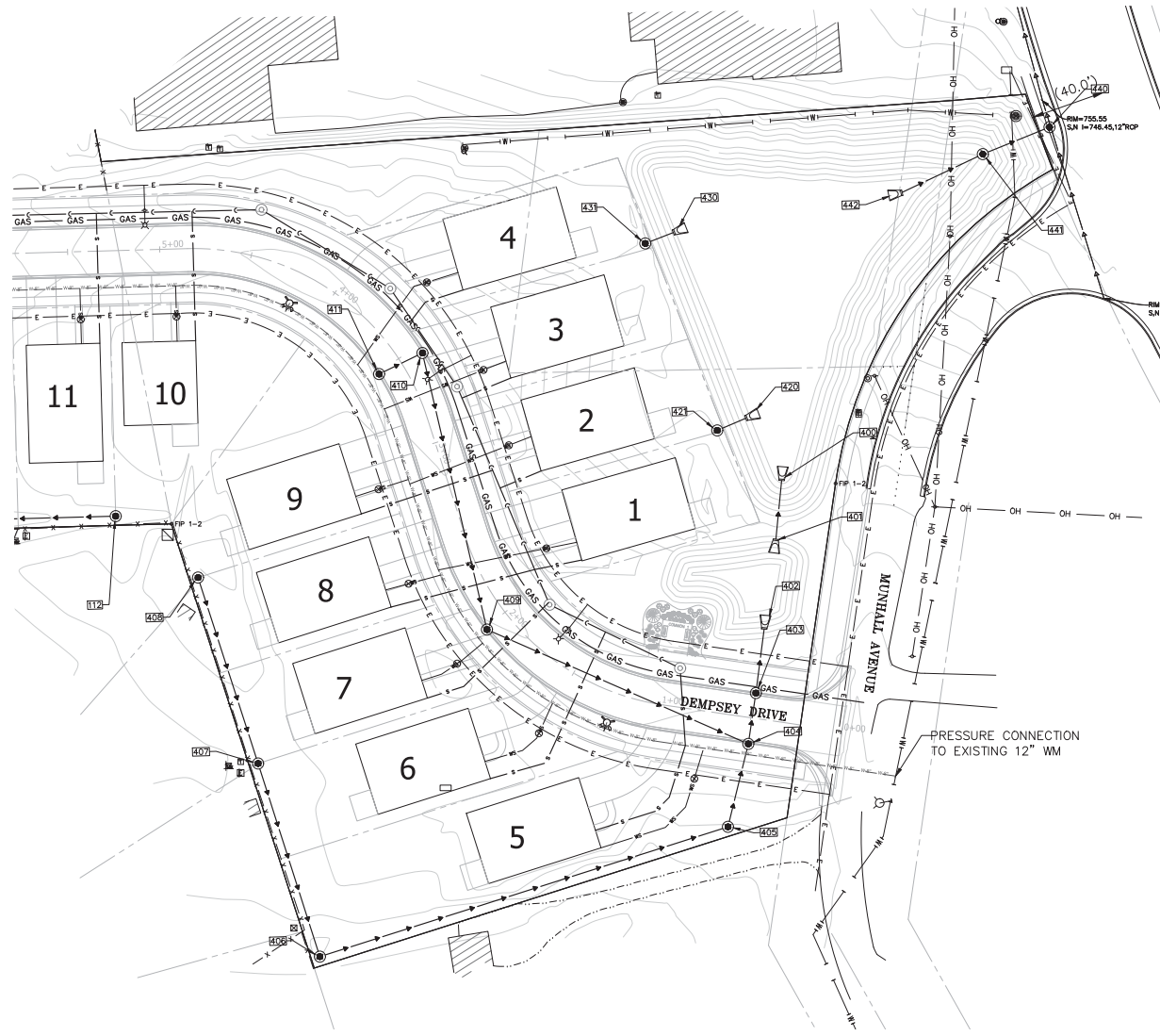
**AIRHART CONSTRUCTION**  
*Building a Water Tomorrow*

**MUNHALL GLEN**  
 ST. LOUIS, MO  
 ERM PROJECT NO. 190726.00

DATE : 07-24-2020  
 PROJECT # : 190726.00  
 DESIGNED BY : TF  
 DRAWN BY : TF  
 CHECKED BY : NAV  
 DESCRIPTION: UTILITY PLAN

**C-5.2**  
SHEET

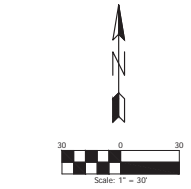
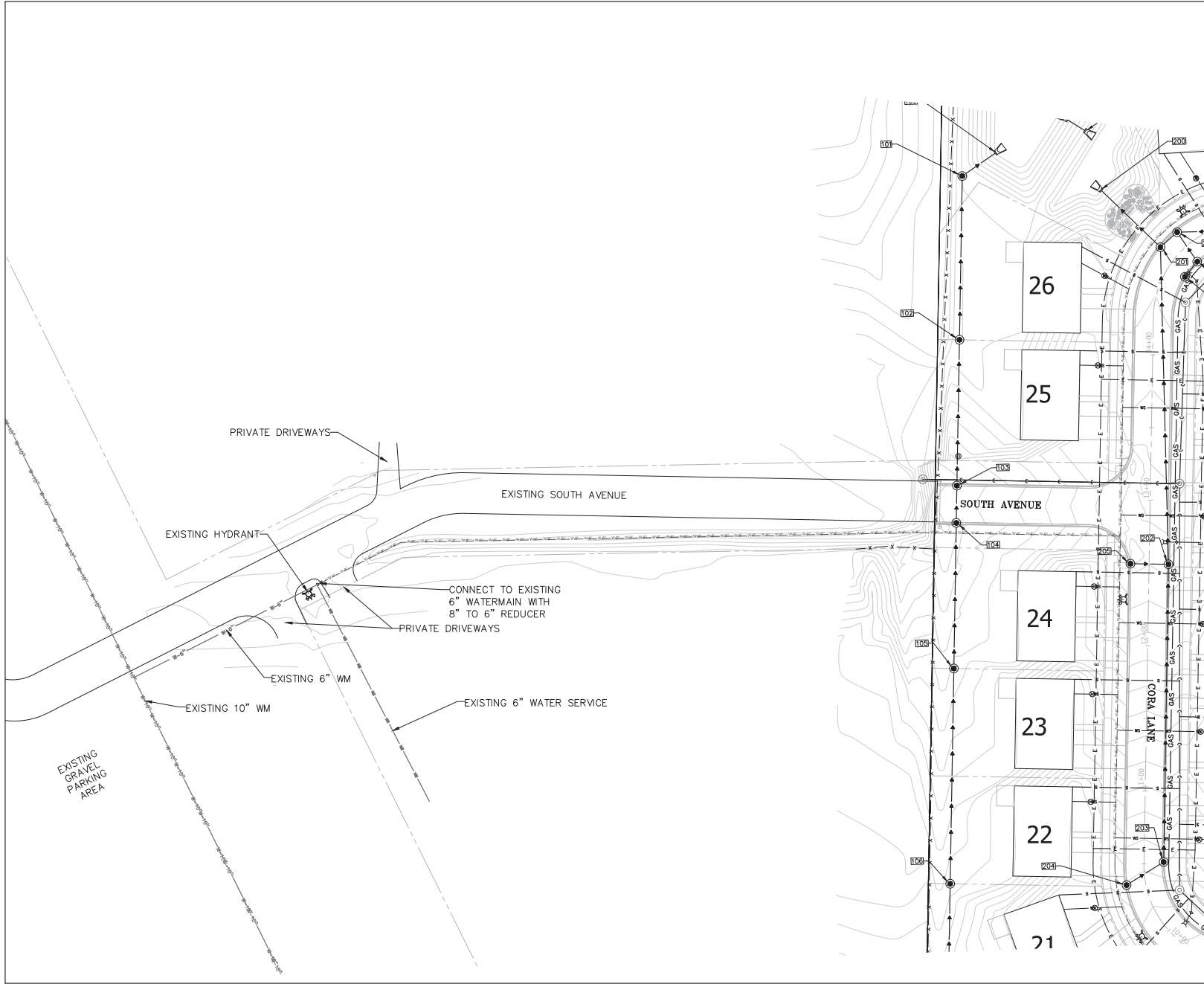
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<b>AIRHART CONSTRUCTION</b>	
<b>MUNHALL GLEN</b> 51 GARDEN LANE EPHRAHATA, OHIO 43072-0200	
DATE	07-24-2020
PROJECT #	190726.00
DESIGNED BY	TF
DRAWN BY	TF
CHECKED BY	NAV
DESCRIPTION	UTILITY PLAN
<b>C-5.2</b> SHEET	

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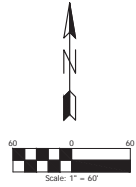
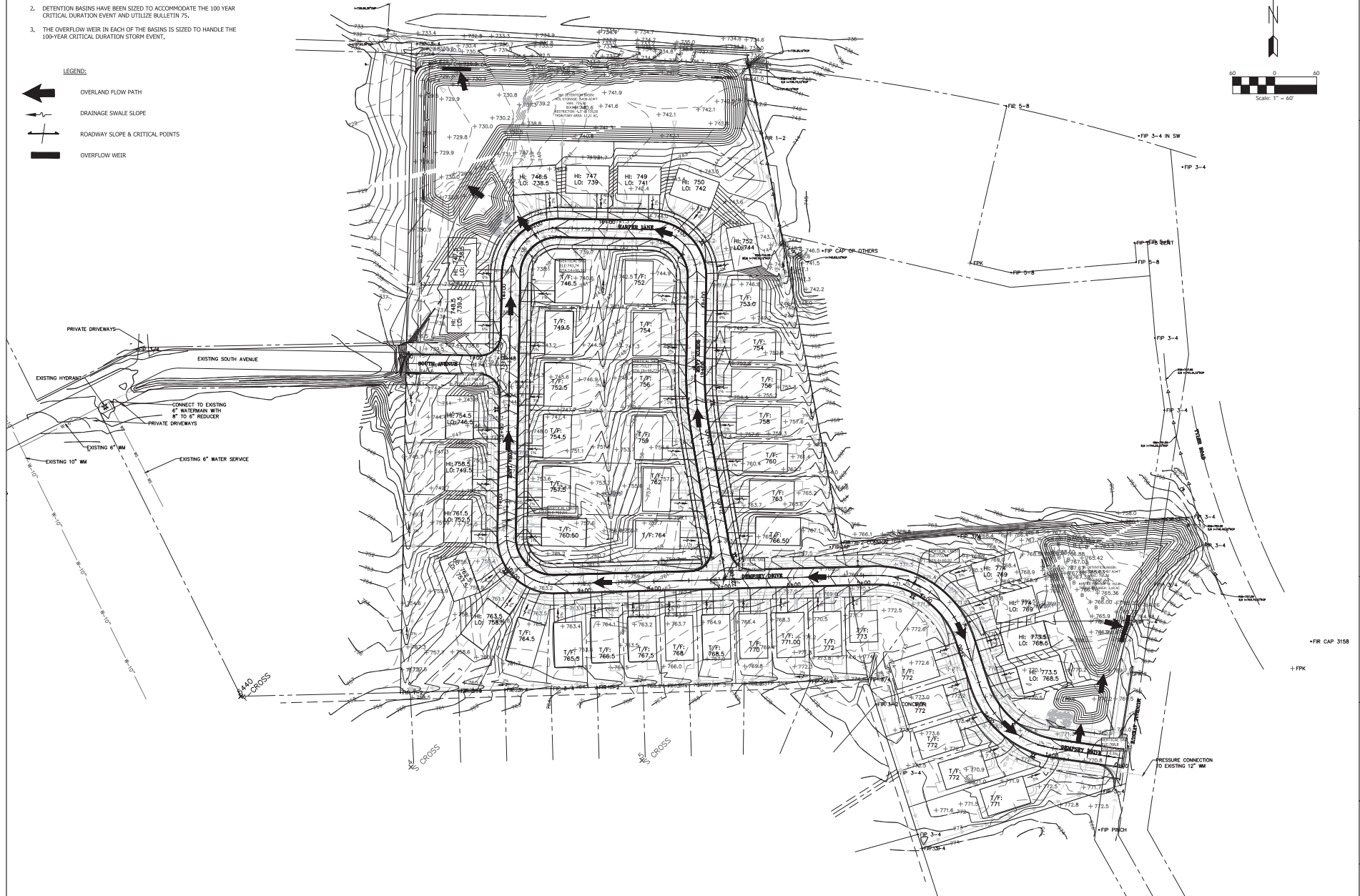
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<b>AIRHART CONSTRUCTION</b>	
<b>MUNHALL GLEN</b> <small>31 CORRA LANE        DENVER, COLORADO        80226 CO</small>	
<small>DATE</small> : 07-24-2020	<small>PROJECT #</small> : 190726.CO
<small>DESIGNED BY</small> : TF	<small>DRAWN BY</small> : TF
<small>CHECKED BY</small> : NAV	<small>DESCRIPTION</small> : 190726.CO SHEET C-5.3 UTILITY PLAN
<small>© PROJECTS/Airhart Construction\190726.CO\Munhall_Si_Corra_Lane_Site_DWG\CADD\190726.CO\SHEET\190726.CO SHEET C-5.3 UTILITY PLAN</small>	
<b>C-5.3</b> SHEET	

- GRADING NOTES:
1. PRIOR TO REMOVAL OF TOPSOIL, ALL EROSION CONTROL ELEMENTS SHALL BE IN PLACE AND FUNCTIONAL.
  2. DETENTION BASINS HAVE BEEN SIZED TO ACCOMMODATE THE 100-YEAR CRITICAL DURATION EVENT AND UTILIZE BULLETIN 75.
  3. THE OVERFLOW WEIR IN EACH OF THE BASINS IS SIZED TO HANDLE THE 100-YEAR CRITICAL DURATION STORM EVENT.

LEGEND:

- ← OVERLAND FLOW PATH
- DRAINAGE SWALE SLOPE
- ROADWAY SLOPE & CRITICAL POINTS
- OVERFLOW WEIR

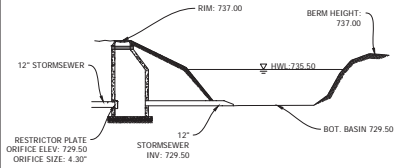


DATE	07-24-2020
PROJECT #	190726.00
DESIGNED BY	TF
DRAWN BY	TF
CHECKED BY	NAV
DESCRIPTION	

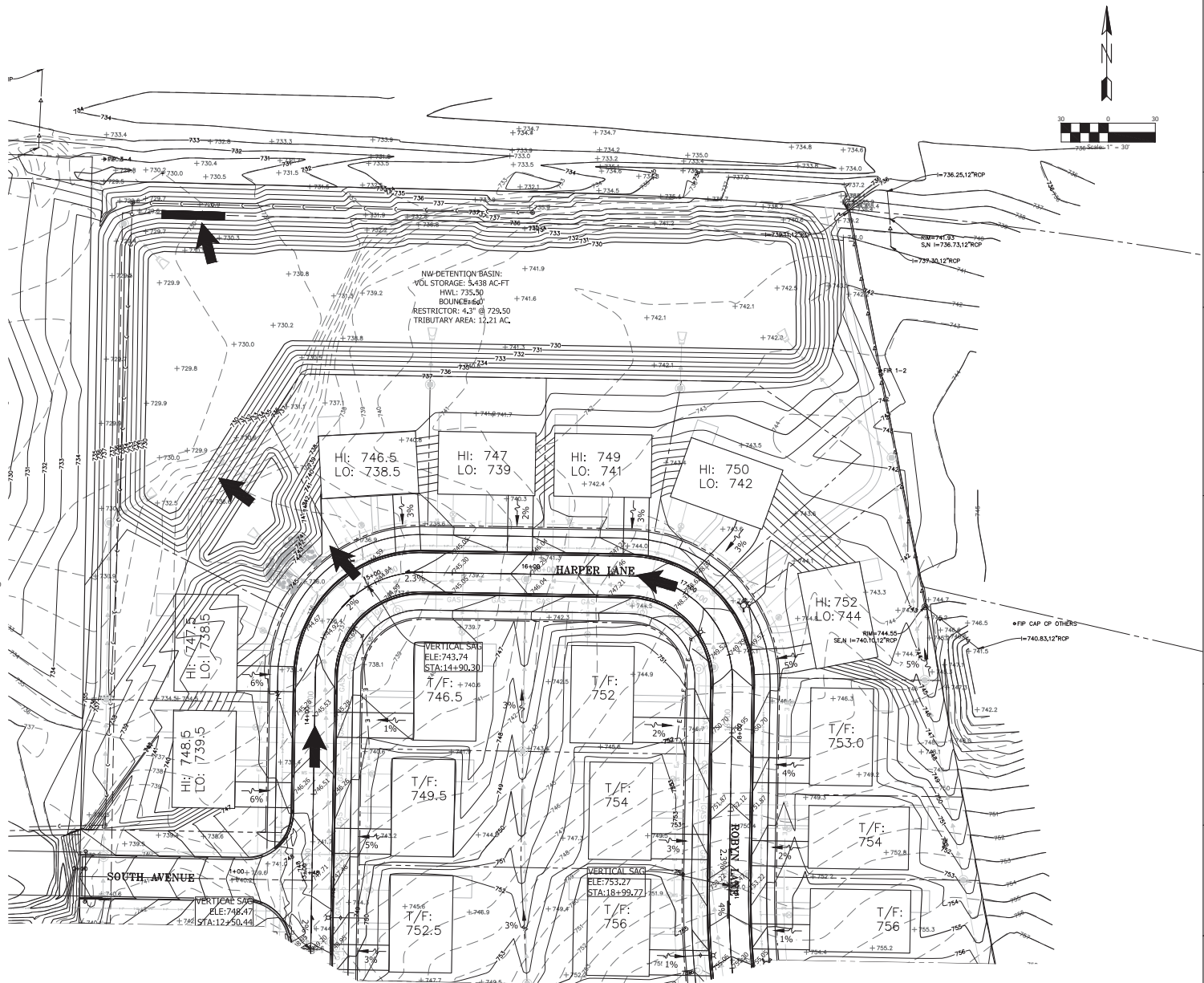
© PROJECTS/Airhart Construction\190726.00\_Munhall\_Site\_Rev.DWG\CAD\DWG\190726.00\_SHEET\_C-6.0\_Grading.dwg

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- LEGEND:
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  - DRAINAGE SWALE SLOPE
  - ROADWAY SLOPE & CRITICAL POINTS
  - OVERFLOW WEIR



NORTHWEST DETENTION BASIN CROSS SECTION



ENGINEERING RESOURCE ASSOCIATES  
 1000 WEST AVENUE, SUITE 100  
 DENVER, COLORADO 80202  
 PHONE: (303) 733-1000  
 FAX: (303) 733-1001  
 WWW.ERACONSTRUCTION.COM

**ER**

AIRHART CONSTRUCTION  
 "Building & Water Tomorrow"

AIRHART CONSTRUCTION

MUNHALL GLEN  
 51 GARDNER, N.E.  
 DENVER, CO 80232  
 970726.CD

DATE	PROJECT #	DISCLOSED BY	DRAWN BY	CHECKED BY	DESCRIPTION
07-24-2020	190726.CD	TF	TF	NAV	

GRADING PLAN

C-6.1  
SHEET

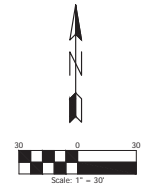
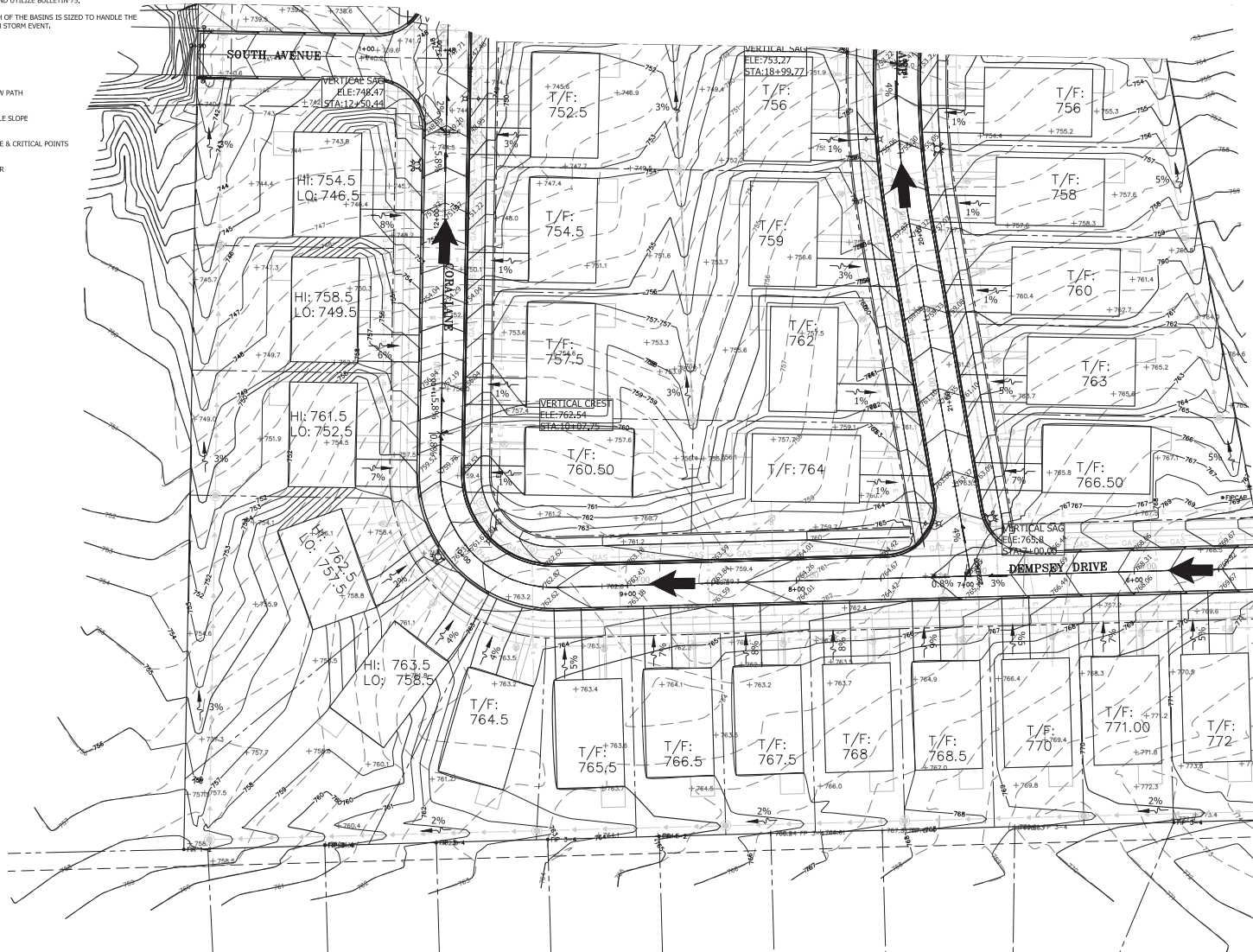
© PROJECTS/Airhart Construction/190726.CD, Munhall St, Omaha Site, Rev. DWG/CAAD/190726.CD/SHEET/190726.CD, SHEET C-6.0\_Covering.dwg

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LEGEND:

-  OVERLAND FLOW PATH
-  DRAINAGE SWALE SLOPE
-  ROADWAY SLOPE & CRITICAL POINTS
-  OVERFLOW WEIR



**ENGINEERING RESOURCE ASSOCIATES**  
1000 WEST ANNA, SUITE 100  
 DENVER, COLORADO 80202  
 PHONE: (303) 733-3300  
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**AIRHART CONSTRUCTION**  
Building & Water Resources

**AIRHART CONSTRUCTION**

**MUNHALL GLEN**  
51 GARDNER, N.E.  
 DENVER, COLORADO 80231  
 (303) 733-3300

DATE	DESCRIPTION
07-24-2020	
PROJECT # : 190726.00	
DESIGNED BY : TF	
DRAWN BY : TF	
CHECKED BY : NAV	

© PROJECTS/Airhart Construction/190726.00 Munhall St. Overlay Site. REV. DWG/CAAD/01/SHEET/190726.00 SHEET C-6.2\_Grading.dwg

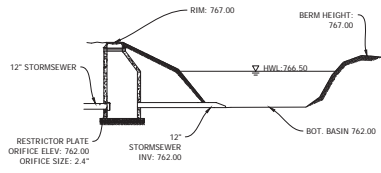
**C-6.2**  
 SHEET

GRADING NOTES:

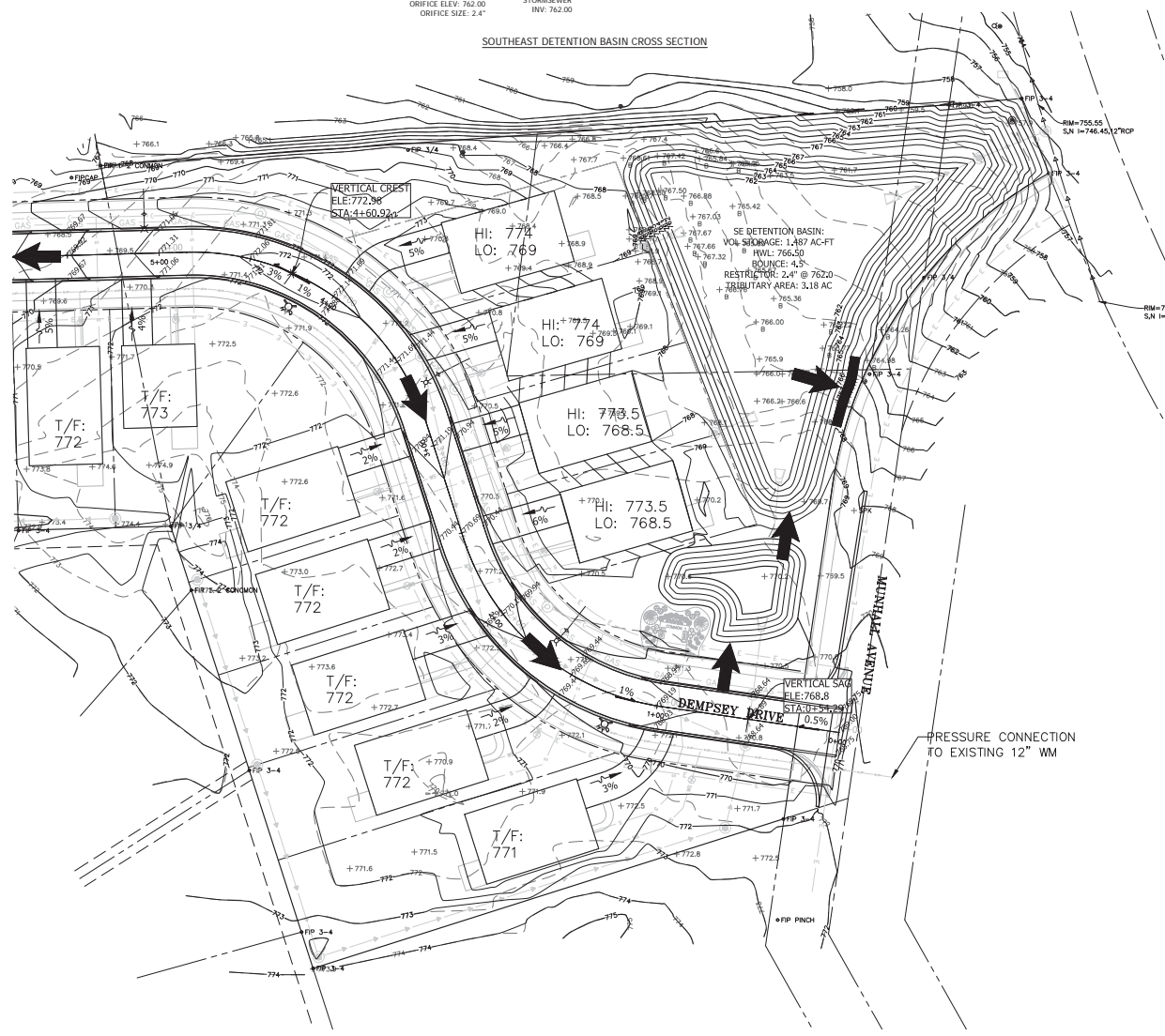
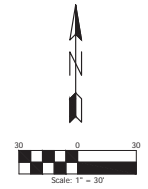
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LEGEND:

-  OVERLAND FLOW PATH
-  DRAINAGE SWALE SLOPE
-  ROADWAY SLOPE & CRITICAL POINTS
-  OVERFLOW WEIR



SOUTHEAST DETENTION BASIN CROSS SECTION



**ENGINEERING RESOURCE ASSOCIATES**

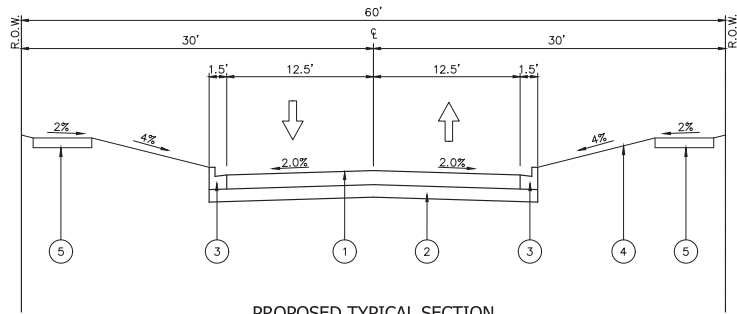
**AIRHART CONSTRUCTION**  
Building & Water Management

**MUNHALL GLEN**  
ST. LOUIS, MO  
ENR PROJECT NO. 190726.00

DATE	07-24-2020
PROJECT #	190726.00
DESIGNED BY	TF
DRAWN BY	TF
CHECKED BY	NAV
DESCRIPTION	PROJECTS\Airhart_Construction\190726.00_Munhall_Gl_Cross_Sect\190726.00_SHEET C-6.3_Grading.dwg

**C-6.3**  
SHEET





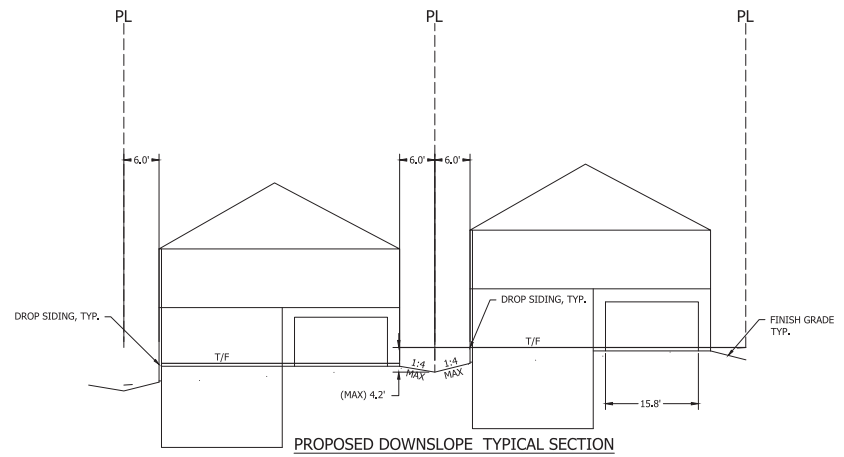
PROPOSED TYPICAL SECTION

**PROPOSED LEGEND**

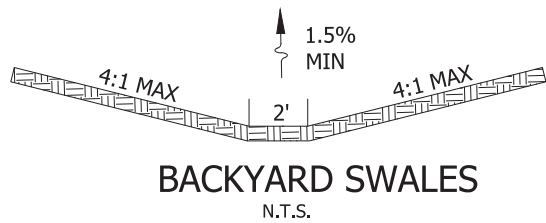
- 1 HMA PAVEMENT MIX C, N50
- 2 SUB-GRADE (SEE MIX TABLE)
- 3 COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12
- 4 SEEDING, CLASS 2A, TOPSOIL 6"
- 5 PORTLAND CEMENT CONCRETE SIDEWALK (5")  
SUBBASE GRANULAR MATERIAL, TYPE B 4"

**MIX TABLE:**

- 1.5" HMA SURFACE COURSE - MIX C, N50
- 4.5" HMA BINDER COURSE - IL 19, N50
- 8" AGGREGATE BASE COURSE (CA-6)



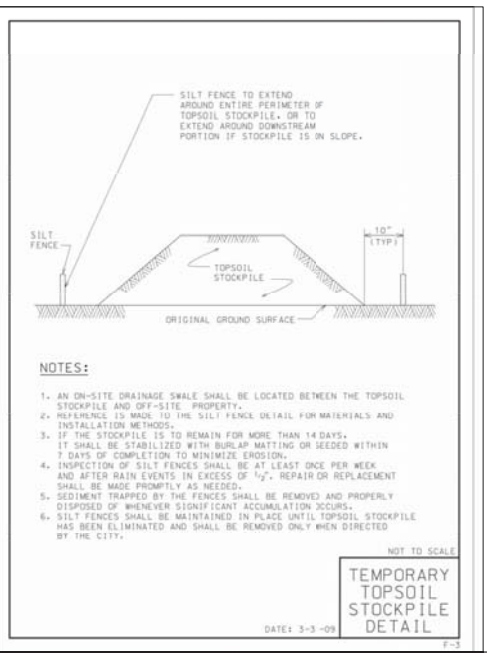
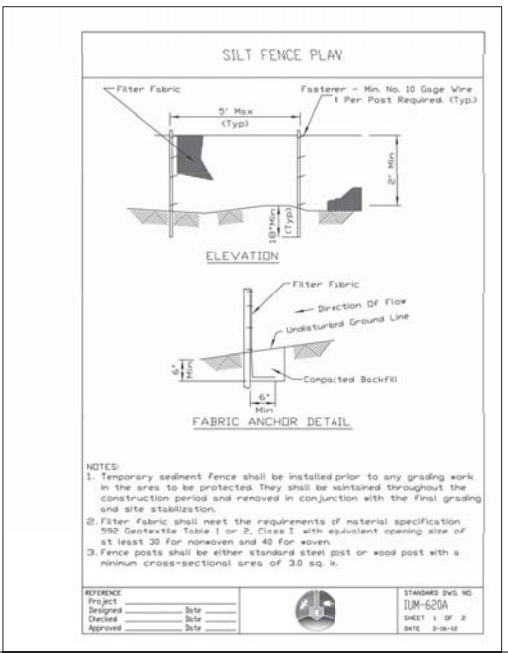
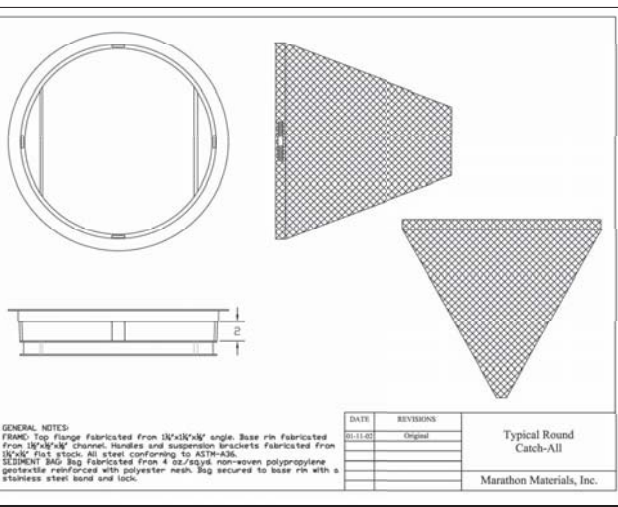
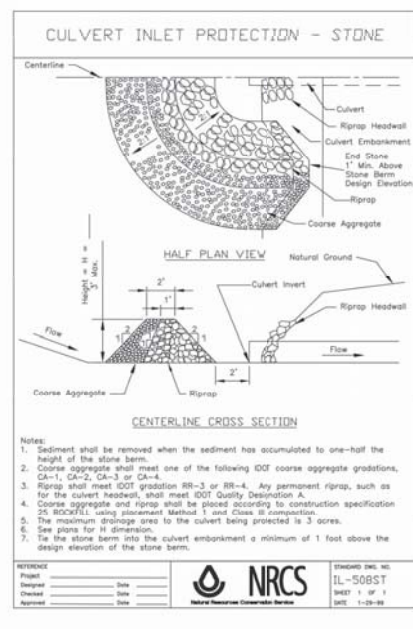
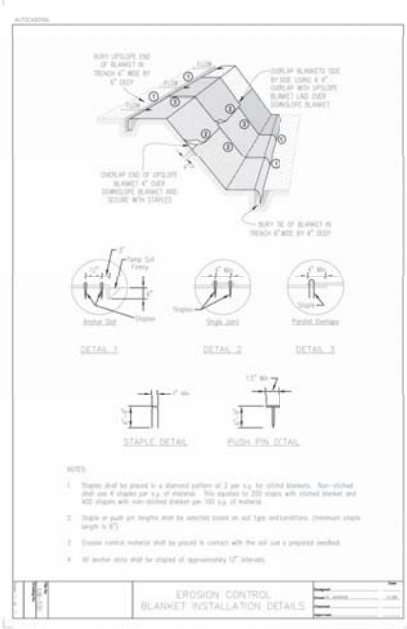
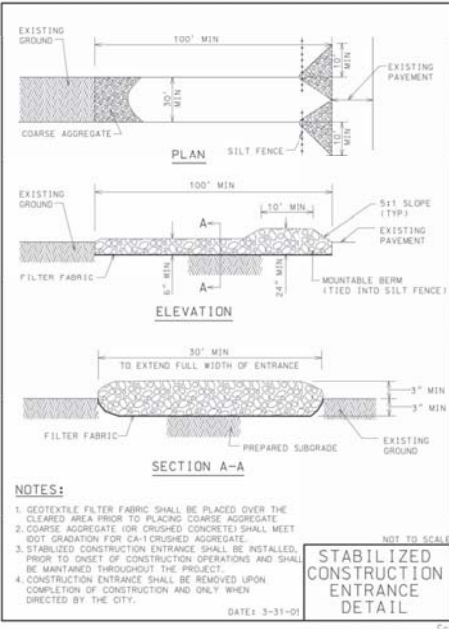
PROPOSED DOWNSLOPE TYPICAL SECTION



BACKYARD SWALES  
N.T.S.

DATE	07-24-2020
PROJECT #	190726.00
DESIGNED BY	TF
DRAWN BY	TF
CHECKED BY	NAV
DESCRIPTION	

TYPICAL SECTIONS
------------------



**ENGINEERING RESOURCE ASSOCIATES**

1000 WEST AVENUE, SUITE 100  
DENVER, COLORADO 80202  
PH: 303.733.1300  
WWW.ERASSOCIATES.COM

**AIRHART CONSTRUCTION**

Building & Water Technology

**AIRHART CONSTRUCTION**

**MUNHALL GLEN**

51 GARDNER BL.  
DENVER, CO 80226

DATE: 07-24-2009  
PROJECT #: 190726.00  
DISIGNED BY: TF  
DRAWN BY: TF  
CHECKED BY: NAV  
DESCRIPTION: EROSION CONTROL DETAILS

EROSION CONTROL DETAILS

**C-8.0**

SHEET

Minimum Restrained Lengths (in feet)  
back from both sides of fitting

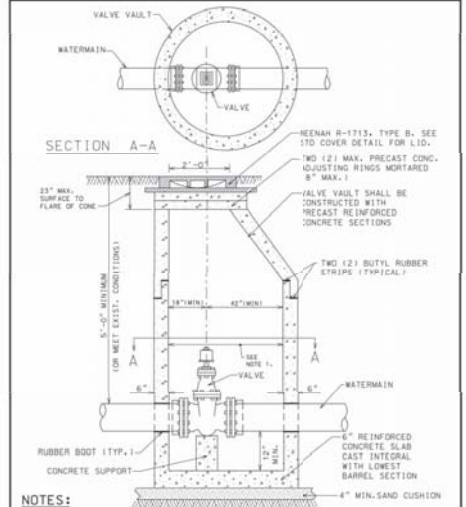
Fitting type/nominal size	4"	6"	8"	10"	12"	16"
90 Degree Bend	17	25	32	38	45	59
45 Degree Bend	7	10	13	16	19	24
22.5 Degree Bend	3	5	6	8	9	12
11.25 Degree Bend	2	2	3	4	4	6
Dead End	39	55	73	87	103	134
Top Side Vertical Offset * (45 Degree)	16	23	30	36	43	55
Bottom Side Vertical Offset * (45 Degree)	4	6	8	10	11	15
Tee Run X Branch **	6" by	1	17			
Tee Run X Branch **	8" by	1	9	34		
Tee Run X Branch **	10" by	1	1	24	49	
Tee Run X Branch **	12" by	1	1	15	41	65
Tee Run X Branch **	16" by	1	1	1	26	52
Reducer ***	6" by	28				
Reducer ***	8" by	52	30			
Reducer ***	10" by	71	54	29		
Reducer ***	12" by	90	75	55	51	
Reducer ***	16" by	123	113	97	94	54

\* Vertical offset with minimum 10' of solid pipe between upper and lower bend.  
 \*\* Tee with MINIMUM 10' solid pipe on both sides of run.  
 Number indicates length of branch to be restrained.  
 \*\*\* Length back from Large End of Reducer.

**WATER MAIN  
RESTRAINT**

DATE: 3-31-09

C-7



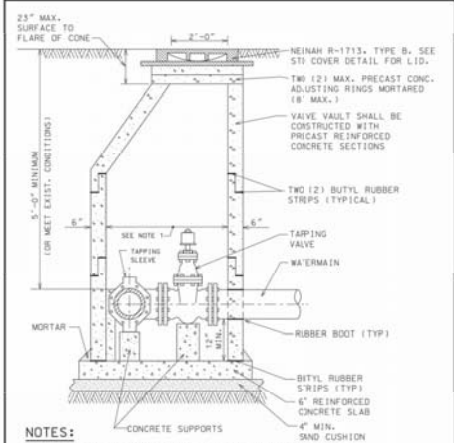
**NOTES:**

- 48" MIN. INSIDE DIA. FOR VALVES LESS THAN 4" DIA.
- 60" MIN. INSIDE DIA. FOR ALL OTHER VALVE VAULTS.
- VALVE VAULT MUST CONFORM TO ASTM C-478.
- USE ECCENTRIC CONE ONLY.
- VALVE RESTRAINTS TO BE TONGUE AND GROOVED.
- NON-PRECAST PIPE OPENINGS TO BE CORED AND RUBBER BOOTED.
- BACKFILL MATERIAL SHALL BE 100% CA-7 VIRGIN CRUSHED LIMESTONE.
- ALL MECHANICAL JOINT BOLTS, NUTS & WASHERS SHALL BE COMPOSED OF 304 GRADE STAINLESS STEEL.
- PRIOR TO THE PLACEMENT OF FINAL LAYER OF ROADWAY, FRAMES AND ADJUSTING RINGS LOCATED WITHIN PAVED AREAS SHALL BE SET IN AN 100% APPROVED CONCRETE "SI" MIXTURE.

**VALVE  
VAULT  
DETAIL**

DATE: 11-12-13

B-1



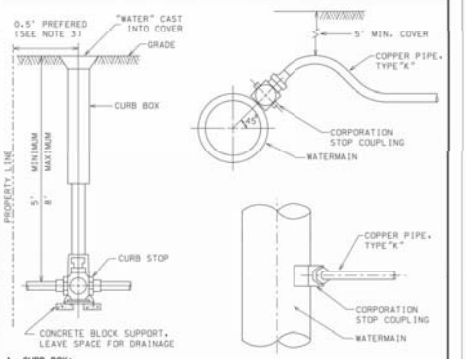
**NOTES:**

- 60" (MIN) INSIDE DIA. FOR ALL PRESSURE CONNECTION VAULTS.
- ALL NON-PRECAST PIPE OPENINGS TO BE CORED AND RUBBER BOOTED.
- BACKFILL MATERIAL SHALL BE 100% CA-7 VIRGIN CRUSHED LIMESTONE.
- MECHANICAL JOINT BOLTS & NUTS SHALL BE COMPOSED OF CORE-TEN.
- ALL OTHER HEXAGONAL BOLTS, NUTS & WASHERS SHALL BE COMPOSED OF 304 GRADE STAINLESS STEEL.
- USE ECCENTRIC CONE ONLY.
- VALVE VAULT MUST CONFORM TO ASTM C-478.
- ALL SECTIONS TO BE TONGUE AND GROOVED.
- BLOCKING SHALL NOT INTERFERE WITH BOLT MAINTENANCE OR REPLACEMENT.
- PRIOR TO THE PLACEMENT OF FINAL LAYER OF ROADWAY, FRAMES AND ADJUSTING RINGS LOCATED WITHIN PAVED AREAS SHALL BE SET IN AN 100% APPROVED CONCRETE "SI" MIXTURE.

**PRESSURE  
CONNECTION  
DETAIL**

DATE: 11-12-13

B-2



**A. CURB BOX:**

- MUELLER H-10300 WITH 1-1/4" I.D. UPPER SECTION AND 2" MINNEAPOLIS TAPPED BASE.
- A-1, McDONALD 5615 1-1/4"

**B. CURB STOP:**

- PIPE SIZE CAN VARY, BUT 1" MINIMUM. OTHER APPURTENANCES SHALL REFLECT SAME.
- COPPER PIPE SHALL BE ONE PIECE BETWEEN TAP AND CURB BOX.
- PLACE BETWEEN SIDEWALK AND PROPERTY LINE. KEEP BOXES OUT OF SIDEWALKS AND DRIVEWAY.
- A-1, McDONALD 76104-Q 1"-1 1/2", 2" Q SERIES BRASS
- 1" SERVICE MAY BE DIRECTLY TAPPED INTO 6" OR LARGER MAIN. LARGER SERVICES REQUIRE A SMITH-BLAIR 372 OR APPROVED EQUAL STAINLESS STEEL TAP THROUGH SLEEVE.

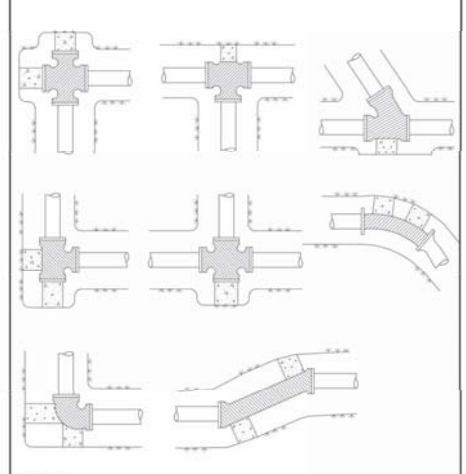
**C. CORPORATION STOP:**

- MUELLER B-25155-N (1", 1-1/2", 2") FORD B-44-444-Q-NL 1" B-44-666-Q-NL 1 1/2" B-44-777-Q-NL 2" A-1, McDONALD 76104-Q 1"-1 1/2", 2" Q SERIES BRASS

**COPPER  
WATER SERVICE  
CONNECTION  
DETAILS**

DATE: 11-12-13

A-3



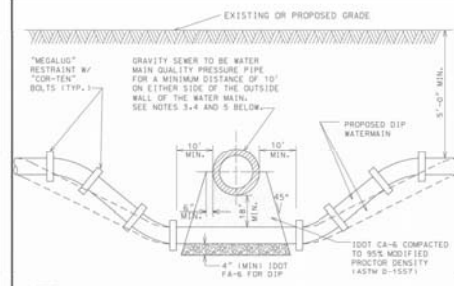
**NOTES:**

- ALL BENDS OF 10" AND LARGER SHALL BE BLOCKED WITH AT LEAST 18" THICK UNREINFORCED CONCRETE BLOCK SET AGAINST UNDISTURBED VERTICAL EARTH FACE.
- ALL CONCRETE TO BE MIN. 3,000 PSI.
- IN ADDITION TO THE ABOVE THRUST BLOCKING: ALL MECHANICAL JOINTS, BENDS OVER 10" AND FIRE HYDRANTS SHALL HAVE A "MEGALOD" RESTRAINT, OR AS APPROVED BY THE ENGINEERING DIVISION. BOLTS SHALL BE "COR-TEN".

**THRUST BLOCK  
INSTALLATION  
DETAILS**

DATE: 3-2-11

A-1



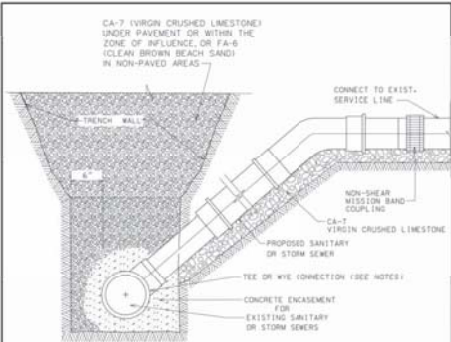
**NOTES:**

- HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATERMANS AND SEWERS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE CITY OF ST. CHARLES ENGINEERING GUIDE OR IUPA REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- CONTRACTOR MAY BEND WATER MAIN PIPE UNIFORMLY UNDER SEWERS WITHOUT USING FITTINGS, PROVIDED THAT JOINT DEFLECTION DOES NOT EXCEED 5 DEGREES PER JOINT FOR PIPE UNDER 14" IN DIAMETER AND 3 DEGREES PER JOINT FOR PIPE 14" AND OVER IN DIAMETER. IF FITTINGS ARE USED, CONTINUOUS STRAPPING WITH RODS, STRAPS, NUTS AND BOLTS BELOW NORMAL WATERMAIN DEPTHS ARE REQUIRED, OR RETAINER GLANDS MAY BE USED IN LIEU OF STRAPPING. RETAINER GLANDS TO BE CLOW NO. F-1058 OR APPROVED EQUAL.
- ALL SANITARY SEWER (INCLUDING SERVICE) CROSSINGS WHERE THE WATER MAINS OR WATER SERVICES ARE LESS THAN 18" VERTICALLY ABOVE THE SEWER SHALL BE POLYVINE CHLORIDE PRESSURE PIPE (SDR 26-160 PSI) AND SHALL CONFORM WITH THE LATEST REVISION OF ASTM D-2241. JOINTS SHALL CONFORM TO ASTM D-3159 AND ELASTOMERIC GASKETS SHALL CONFORM TO ASTM F-471. THE SAME PIPE AND JOINT MATERIALS SHALL BE USED WHENEVER WATER MAIN CROSSES BELOW THE SEWER.
- ALL STORM SEWER (INCLUDING SERVICE) CROSSINGS WHERE THE WATER MAINS ARE LESS THAN 18" VERTICALLY ABOVE THE SEWER SHALL BE REINFORCED CONCRETE PIPE, ASTM C-311, CLASS D-20, WITH BELL AND SPIGOT JOINTS AND RUBBER GASKETS, OR PVC SDR 26 AS SPECIFIED IN NOTE 3 ABOVE. THE SAME PIPE AND JOINT MATERIAL SHALL BE USED WHENEVER WATER MAIN CROSSES BELOW THE SEWER.
- FOR NEW SEWER INSTALLATIONS CROSSING OVER WATER MAINS, THE ENTIRE RUN OF NEW SEWER SHALL BE WATER MAIN QUALITY PIPE, EXTENDING FROM STRUCTURE TO STRUCTURE ON EACH SIDE OF THE CROSSING.

**WATER MAIN  
CROSSING  
DETAIL**

DATE: 3-31-09

B-4



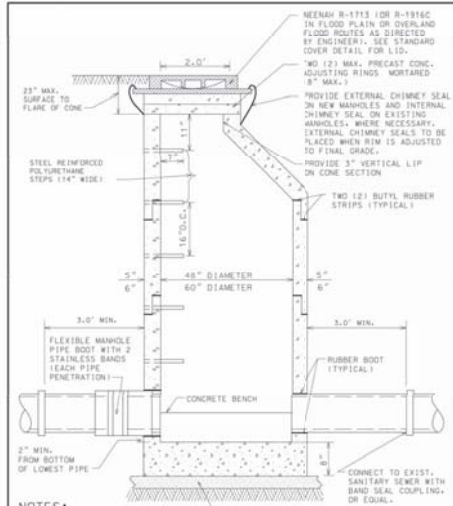
**NOTES:**

1. FOR PROPOSED STORM SEWER SERVICE ( 6" ON RCP PIPE ) 15", CORE THE PIPE AND USE A BOOT CONNECTION.
2. FOR PROPOSED STORM SEWER SERVICE ≥ 8", A MANHOLE SHALL BE INSTALLED.
3. FOR CONNECTING SANITARY OR STORM SEWER SERVICE TO AN EXISTING SANITARY OR STORM SEWER ≤ 12", REMOVE A SECTION OF PIPE AND INSTALL A TEE OR WYE CONNECTION.
4. FOR CONNECTING SANITARY SEWER SERVICE TO AN EXISTING SANITARY SEWER ≥ 15", CIRCULAR SAW-CUT AND USE A HUB WYE OR TEE SADDLE CONNECTION.
5. FOR PROPOSED STORM OR SANITARY SEWER SERVICES, ENCASE ALL CONNECTIONS IN LOW STRENGTH CONCRETE TO PREVENT THE FITTINGS FROM ROTATING.
6. FOR TRENCHES WITHIN AN EXISTING PAVED SURFACE AREA, CA-7 (VIRGIN CRUSHED LESTONE) BACKFILL SHALL BE USED.
7. FOR PROPOSED 6" STORM SEWER SUMP LINE, INSTALL PLUG AND 2" X 4" POST AT END OF LINE.

NOT TO SCALE  
**SANITARY AND STORM SERVICE DETAIL**

DATE: 12-8-10

C-2



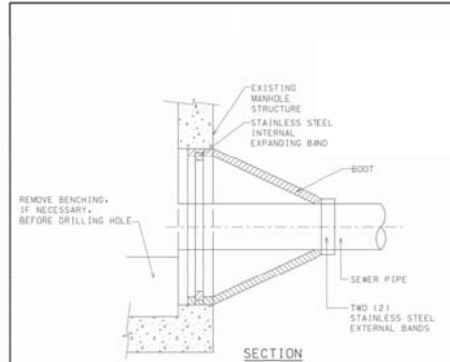
**NOTES:**

1. MANHOLES MUST CONFORM TO ASTM C-478.
2. MANHOLE SECTIONS TO BE TONGUE AND GROOVED.
3. BENCHES MUST BE PROVIDED IN ALL SANITARY SEWER MANHOLES.
4. USE EXTERNAL LIFTING "HOLES" ONLY, BUT NOT FULL PENETRATION.
5. NON-PRECAST OPENINGS SHALL BE CURED AND RUBBER BOOTED.
6. PIPE PENETRATIONS TO BE RUBBER BOOTED AND INTERIOR MORTARED.
7. USE ECCENTRIC CONE ONLY.
8. PRIOR TO THE PLACEMENT OF FINAL LAYER OF ROADWAY, FRAMES AND ADJUSTING RINGS LOCATED WITHIN PAVED AREAS SHALL BE SET IN AN 100% APPROVED CONCRETE "S1" MIXTURE.

NOT TO SCALE  
**SANITARY MANHOLE DETAIL**

DATE: 7-27-10

A-2



**NOTES:**

1. CORE-DRILL CIRCULAR OPENING IN MANHOLE WALL OF DIAMETER TO FIT THE REQUIRED BOOT SIZE.
2. KORN SEAL FLEXIBLE RUBBER BOOT (MANUFACTURED BY NATIONAL POLLUTION CONTROL SYSTEMS, INC. OR AS APPROVED BY THE ENGINEERING DEPARTMENT) SHALL BE USED FOR WATERTIGHT CONNECTION.
3. CUT, SHAPE AND SLOPE NEW INVERT CHANNEL IN THE EXISTING CONCRETE BENCH FOR SMOOTH FLOW FROM NEW SANITARY SEWER CONNECTION.
4. CLEAN EXISTING MANHOLE OF ANY DIRT, CONCRETE OR DEBRIS WHICH MAY ACCUMULATE DURING THE CONSTRUCTION PROCESS.

NOT TO SCALE  
**SANITARY SEWER CONNECTION TO EXISTING MANHOLE**

DATE: 3-31-09

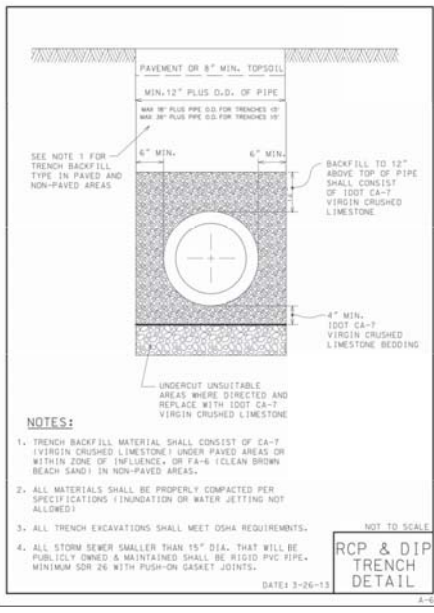
A-4

DATE	07-24-2010
PROJECT #	190726.00
DESIGNED BY	TF
DRAWN BY	TF
CHECKED BY	NAV
DESCRIPTION	

DATE	07-24-2010
PROJECT #	190726.00
DESIGNED BY	TF
DRAWN BY	TF
CHECKED BY	NAV
DESCRIPTION	

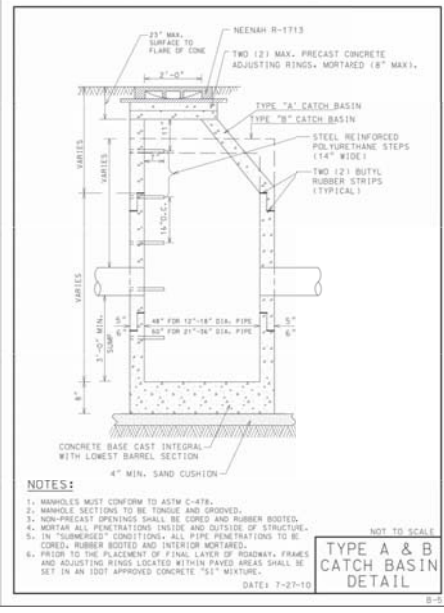
SANITARY DETAILS

C-10.0  
 SHEET



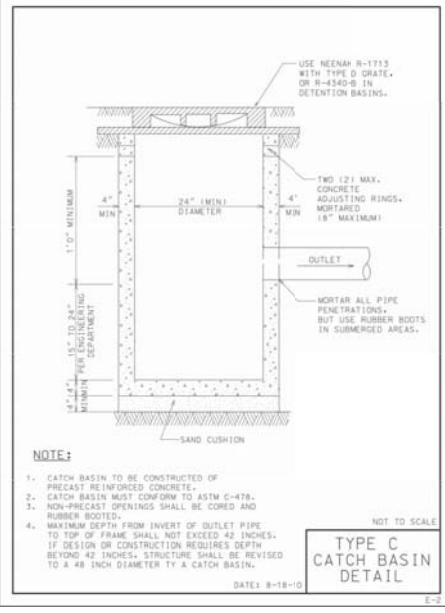
- NOTES:**
1. TRENCH BACKFILL MATERIAL SHALL CONSIST OF CA-7 (VIRGIN CRUSHED LIMESTONE) UNDER PAVED AREAS OR WITHIN ZONE OF INFLUENCE, OR FA-6 (CLEAN DROWN BEACH SAND) IN NON-PAVED AREAS.
  2. ALL MATERIALS SHALL BE PROPERLY COMPACTED PER SPECIFICATIONS (UNDRAINAGE OR WATER JETTING NOT ALLOWED).
  3. ALL TRENCH EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
  4. ALL STORM SEWER SMALLER THAN 18" DIA. THAT WILL BE PUBLICLY OWNED & MAINTAINED SHALL BE RIGID PVC PIPE, MINIMUM SDR 26 WITH PUSH-ON GASKET JOINTS.

NOT TO SCALE  
**RCP & DIP TRENCH DETAIL**  
DATE: 3-26-13  
A-4



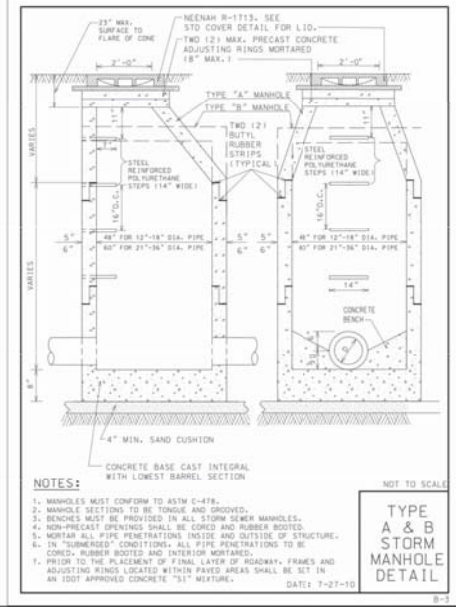
- NOTES:**
1. MANHOLES MUST CONFORM TO ASTM C-478.
  2. MANHOLE SECTIONS TO BE TONGUE AND GROOVED.
  3. NON-PRECAST OPENINGS SHALL BE CORED AND RUBBER BOOTED.
  4. MORTAR ALL PENETRATIONS INSIDE AND OUTSIDE OF STRUCTURE.
  5. IN "SUMMERGED" CONDITIONS, ALL PIPE PENETRATIONS TO BE CORED, RUBBER BOOTED AND INTERIOR MORTARED.
  6. PRIOR TO THE PLACEMENT OF FINAL LAYER OF ROADWAY, FRAMES AND ADJUSTING RINGS LOCATED WITHIN PAVED AREAS SHALL BE SET IN AN IDOT APPROVED CONCRETE "S1" MIXTURE.

NOT TO SCALE  
**TYPE A & B CATCH BASIN DETAIL**  
DATE: 7-27-10  
B-5



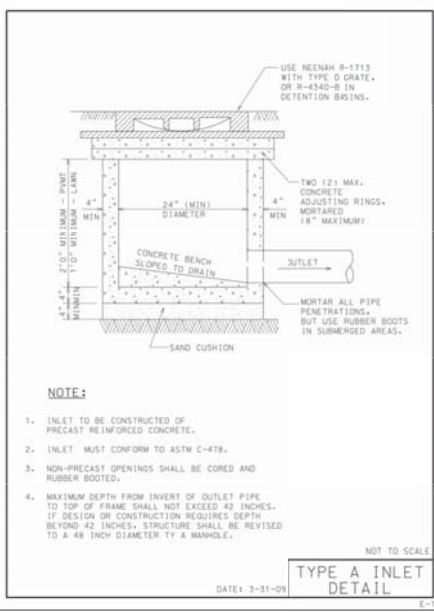
- NOTE:**
1. CATCH BASIN TO BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE.
  2. CATCH BASIN MUST CONFORM TO ASTM C-478.
  3. NON-PRECAST OPENINGS SHALL BE CORED AND RUBBER BOOTED.
  4. MAXIMUM DEPTH FROM INVERT OF OUTLET PIPE TO TOP OF FRAME SHALL NOT EXCEED 42 INCHES. IF DESIGN OR CONSTRUCTION REQUIRES DEPTH BEYOND 42 INCHES, STRUCTURE SHALL BE REVISED TO A 48 INCH DIAMETER TYPE C CATCH BASIN.

NOT TO SCALE  
**TYPE C CATCH BASIN DETAIL**  
DATE: 8-18-10  
E-2



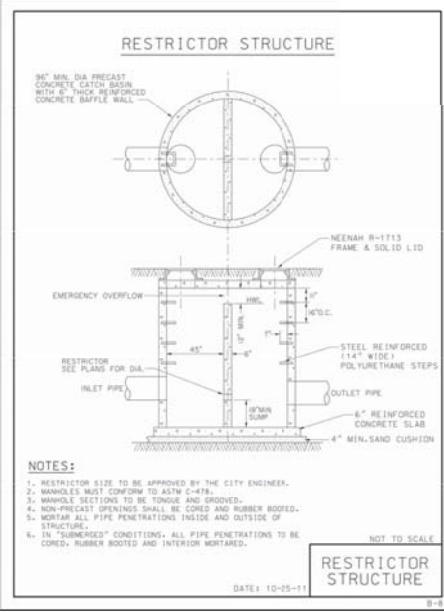
- NOTES:**
1. MANHOLES MUST CONFORM TO ASTM C-478.
  2. MANHOLE SECTIONS TO BE TONGUE AND GROOVED.
  3. BENCHES MUST BE PROVIDED IN ALL STORM SEWER MANHOLES.
  4. NON-PRECAST OPENINGS SHALL BE CORED AND RUBBER BOOTED.
  5. MORTAR ALL PIPE PENETRATIONS INSIDE AND OUTSIDE OF STRUCTURE.
  6. IN "SUMMERGED" CONDITIONS, ALL PIPE PENETRATIONS TO BE CORED, RUBBER BOOTED AND INTERIOR MORTARED.
  7. PRIOR TO THE PLACEMENT OF FINAL LAYER OF ROADWAY, FRAMES AND ADJUSTING RINGS LOCATED WITHIN PAVED AREAS SHALL BE SET IN AN IDOT APPROVED CONCRETE "S1" MIXTURE.

NOT TO SCALE  
**TYPE A & B STORM MANHOLE DETAIL**  
DATE: 7-27-10  
B-1



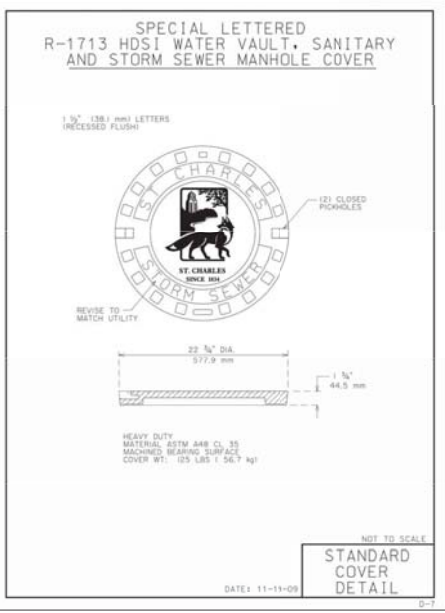
- NOTE:**
1. INLET TO BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE.
  2. INLET MUST CONFORM TO ASTM C-478.
  3. NON-PRECAST OPENINGS SHALL BE CORED AND RUBBER BOOTED.
  4. MAXIMUM DEPTH FROM INVERT OF OUTLET PIPE TO TOP OF FRAME SHALL NOT EXCEED 42 INCHES. IF DESIGN OR CONSTRUCTION REQUIRES DEPTH BEYOND 42 INCHES, STRUCTURE SHALL BE REVISED TO A 48 INCH DIAMETER TYPE A MANHOLE.

NOT TO SCALE  
**TYPE A INLET DETAIL**  
DATE: 3-31-09  
E-1



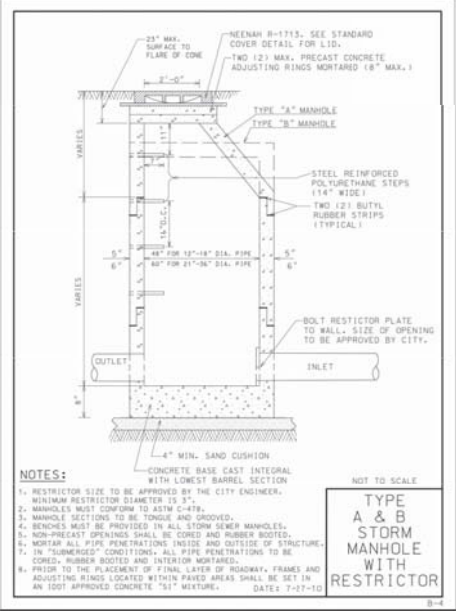
- NOTES:**
1. RESTRICTOR SIZE TO BE APPROVED BY THE CITY ENGINEER.
  2. MANHOLES MUST CONFORM TO ASTM C-478.
  3. MANHOLE SECTIONS TO BE TONGUE AND GROOVED.
  4. NON-PRECAST OPENINGS SHALL BE CORED AND RUBBER BOOTED.
  5. MORTAR ALL PIPE PENETRATIONS INSIDE AND OUTSIDE OF STRUCTURE.
  6. IN "SUMMERGED" CONDITIONS, ALL PIPE PENETRATIONS TO BE CORED, RUBBER BOOTED AND INTERIOR MORTARED.

NOT TO SCALE  
**RESTRICTOR STRUCTURE**  
DATE: 10-25-11  
B-8



- NOTE:**
1. RESTRICTOR SIZE TO BE APPROVED BY THE CITY ENGINEER.
  2. MINIMUM RESTRICTOR DIAMETER IS 3\"/>

NOT TO SCALE  
**STANDARD COVER DETAIL**  
DATE: 11-13-09  
D-7



- NOTES:**
1. RESTRICTOR SIZE TO BE APPROVED BY THE CITY ENGINEER.
  2. MINIMUM RESTRICTOR DIAMETER IS 3\"/>

NOT TO SCALE  
**TYPE A & B STORM MANHOLE WITH RESTRICTOR**  
DATE: 7-27-10  
B-4

**ENGINEERING RESOURCE ASSOCIATES**  
1500 WEST MAIN, SUITE 100  
MUNHALL, OHIO 44130-1505  
PHONE: (440) 971-3300  
FAX: (440) 971-3301  
WWW.ERACONSTRUCTION.COM

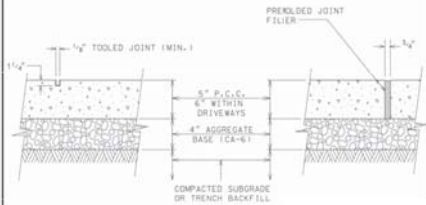
**AIRHART CONSTRUCTION**  
Building & Water Technology

**MUNHALL GLEN**  
1500 WEST MAIN, SUITE 100  
MUNHALL, OHIO 44130-1505  
PHONE: (440) 971-3300  
FAX: (440) 971-3301  
WWW.ERACONSTRUCTION.COM

DATE: 07-24-2020  
PROJECT #: 190726.00  
DISIGNED BY: TF  
DRAWN BY: TF  
CHECKED BY: NAV  
DESCRIPTION: CONSTRUCTION DETAILS

**C-11.0**  
SHEET

**CONTRACTION JOINT DETAIL      EXPANSION JOINT DETAIL**



**NOTES:**

- UNLESS OTHERWISE NOTED ON PLANS, CONTRACTION JOINTS TO BE AT 5'-0" O.C.
- EXPANSION JOINTS TO BE 50'-0" MAX. OR AT BACK OF CURB, CHANGE OF DIRECTION, OTHER WALK, UTILITY APPURTENANCE, OR FACE OF STRUCTURE.
- PORTLAND CEMENT CONCRETE SHALL CONFORM TO 1DOT CLASS 51, MIN. 3,500 PSI (6.1 BAG MIX) AT 14 DAYS, WITH 5% TO 8% AIR ENTRAINMENT. (NO FLY ASH ALLOWED)

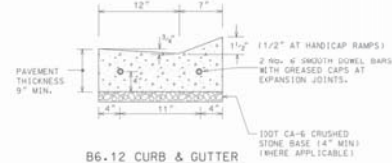
NOT TO SCALE

**CONCRETE WALK JOINT DETAILS**

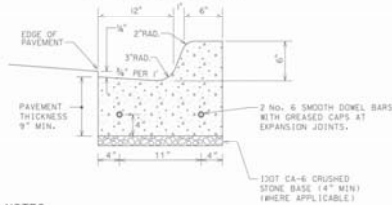
DATE: 3-31-09

E-3

**DEPRESSED CURB**



**B6.12 CURB & GUTTER**



**NOTES:**

- CONTRACTION JOINTS SHALL BE PLACED AT 15' INTERVALS AND SHALL BE GROINED WITH AN EDGING TOOL. SEE ARTICLE 420.10 OF 1DOT STANDARD SPECIFICATIONS.
- EXPANSION JOINTS SHALL BE PLACED AT 60' (MAX) INTERVALS, AT ALL P.C.C.'S AND P.T.'S, CURB RETURNS, AND AT THE END OF EACH POUR.
- P.C.C. SHALL CONSIST OF 1DOT CLASS 51 (6.1 BAG MIX) CONCRETE, WITH 5% TO 8% AIR ENTRAINMENT, AND A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 14 DAYS. (NO FLY ASH ALLOWED)

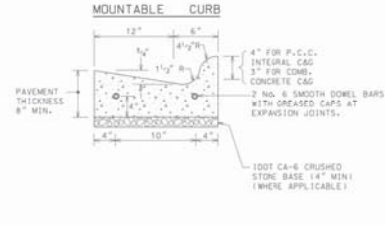
DATE: 10-22-10

FOR RESIDENTIAL STREETS ONLY

**B6.12 COMB. CONCRETE CURB AND GUTTER (SPECIAL)  
B6.12 P.C.C. INTEGRAL CURB AND GUTTER (SPECIAL)**

D-3

**MOUNTABLE CONCRETE CURB & GUTTER**



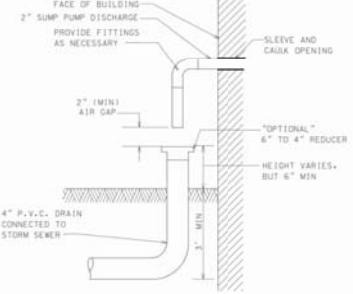
**NOTES:**

- 1/2" THICK PREFORMED EXPANSION JOINTS SHALL BE INSTALLED AT 50 FOOT INTERVALS. PROVIDE 2-3/4" STEEL DOWEL BARS AT EXPANSION JOINTS.
- EXPANSION JOINTS SHALL BE INSTALLED ON EACH SIDE, A DISTANCE OF 2 FEET FROM A STRUCTURE THAT FALLS WITHIN THE CURB AND GUTTER.
- CONTRACTION JOINTS SHALL BE SAWS TO A MINIMUM DEPTH OF 2 INCHES AND PLACED AT 10 FOOT INTERVALS. SAW CUTS SHALL BE SAWS NO SOONER THAN 6 HOURS AND NO LATER THAN 24 HOURS AFTER PLACEMENT OF CONCRETE.
- CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (1DOT). MOST RECENT EDITION UNLESS NOTED OR DIRECTED HEREIN.
- A PROTECTIVE COAT SHALL BE APPLIED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.

DATE: 9-30-10

**MOUNTABLE CURB & GUTTER**

C-8



**NOTE:**

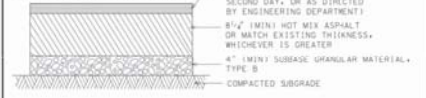
- THE CITY OF ST CHARLES ALLOWS RESIDENTS TO CONNECT SUMP PUMP DISCHARGE LINES TO THE PUBLIC STORM SEWER SYSTEM. SUMP PUMPS SHALL BE DESIGNED WITH A MINIMUM 2" AIR GAP. A RIGID FOUR-INCH (4") DIAMETER PVC PIPE CAN BE USED TO CONNECT THE INDIVIDUAL SUMP PUMP SERVICE TO THE STORM SEWER. IN NO EVENT SHALL THE SUMP PUMP DISCHARGE INTO THE SANITARY SEWER SYSTEM. A PLUMBING PERMIT IS REQUIRED PRIOR TO ANY CONNECTION. INCLUDE A PLAN OF CONNECTION TO THE STORM SEWER. THE SITE PLAN SHALL ALSO INCLUDE PIPE SPECIFICATIONS AND INVERT ELEVATIONS. CALL THE CITY ENGINEERING DIVISION 24 HOURS IN ADVANCE TO SCHEDULE AN INSPECTION.

DATE: 3-31-09

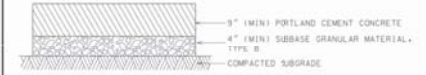
**SUMP PUMP DISCHARGE CONNECTION DETAIL**

E-1

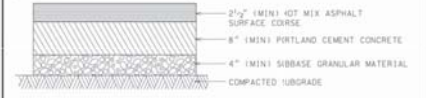
**A. FLEXIBLE PAVEMENT**



**B. RIGID PAVEMENT**



**C. COMPOSITE PAVEMENT**



**NOTE:**

- HOT MIX ASPHALT SURFACE & BINDER COURSE SHALL CONFORM TO 1DOT HMA MIX SELECTION TABLE.
- PORTLAND CEMENT CONCRETE SHALL CONFORM TO 1DOT CLASS PV, MIN. 3500 PSI (6.1 BAG MIX) AT 14 DAYS, WITH 5% TO 8% AIR ENTRAINMENT. (NO FLY ASH ALLOWED)
- ALL SUBGRADE SHALL HAVE A MINIMUM ILLINOIS BEARING RATIO (IBR) OF 3.0, AND BE COMPACTED TO AT LEAST 90% MODIFIED PROCTOR DENSITY (ASTM D-1557)

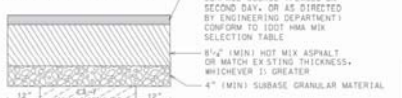
NOT TO SCALE

**MINIMUM PAVEMENT DETAILS**

DATE: 2-3-10

D-4

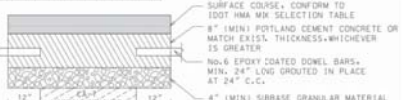
**A. FLEXIBLE PAVEMENT**



**B. RIGID PAVEMENT**



**C. COMPOSITE PAVEMENT**



**NOTE:**

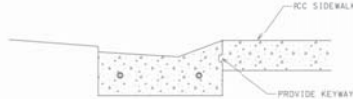
- ALL PAVEMENT PATCHES SHALL BE SAWCUT FULL-DEPTH A MINIMUM OF ONE FOOT BEYOND THE LIMITS OF THE FAILED PAVEMENT IN ALL DIRECTIONS.
- PORTLAND CEMENT CONCRETE SHALL CONFORM TO 1DOT CLASS PP MIN. 3,500 PSI (6.1 BAG MIX) AT 14 DAYS, WITH 5% TO 7% AIR ENTRAINMENT. (NO FLY ASH ALLOWED)

DATE: 12-8-10

**PAVEMENT PATCH DETAIL**

D-3

**DEPRESSED CURB**



**CURB & GUTTER**



**NOTES:**

- SEE TYPICAL DETAIL FOR CURB AND GUTTER FOR CURB DIMENSIONS AND SPECIFICATIONS.

NOT TO SCALE

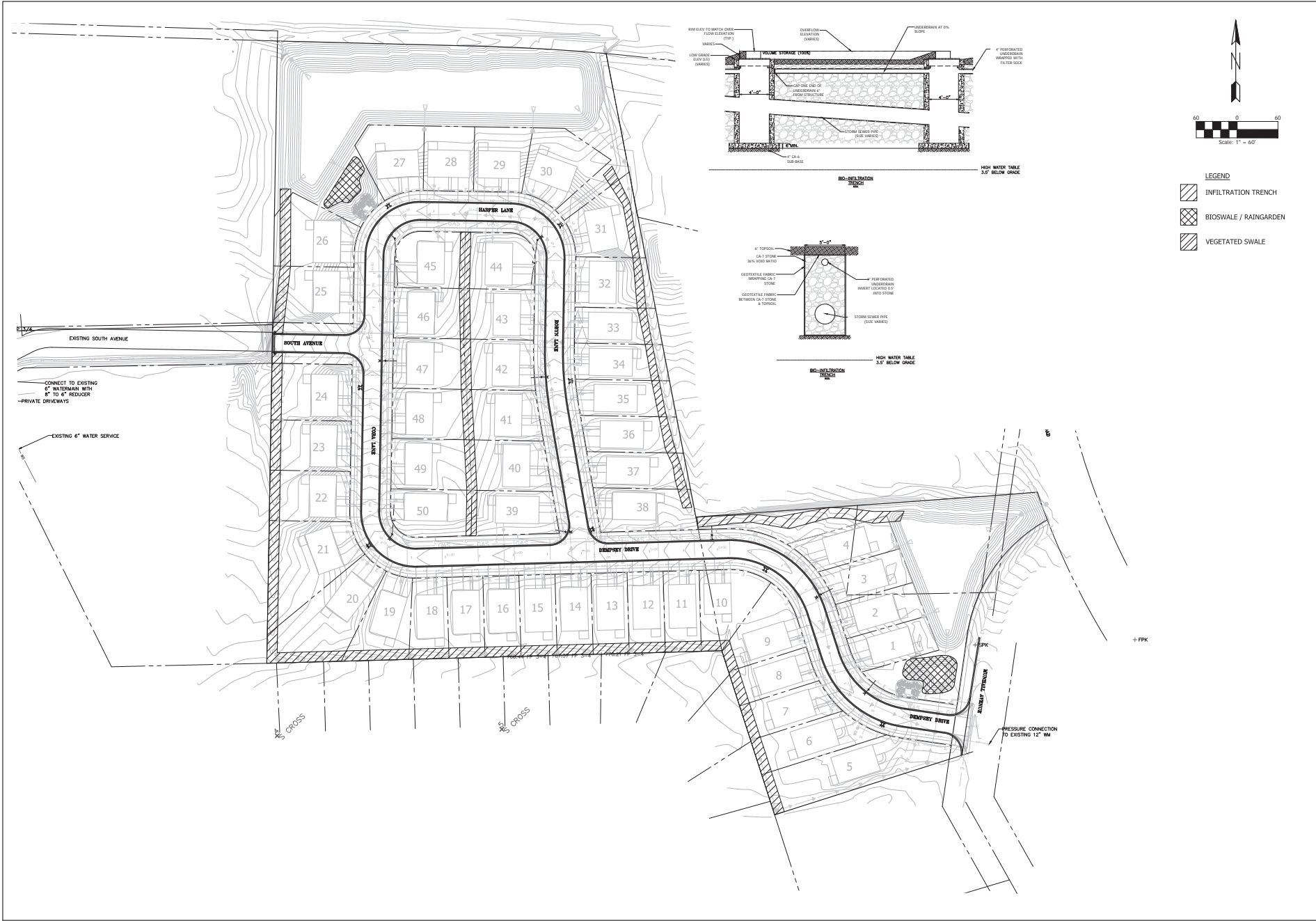
**SIDEWALK AT CURB AND GUTTER**

DATE: 3-31-09

G-2

DATE	07-24-2000
PROJECT #	190726.00
DESIGNED BY	TF
DRAWN BY	TF
CHECKED BY	NAV
DESCRIPTION	

CONSTRUCTION DETAILS
----------------------



**ENGINEERING ASSOCIATES**  
 RESOURCE ASSOCIATES  
 1000 WEST PINE STREET, SUITE 100  
 PITTSBURGH, PA 15204  
 PHONE: (412) 791-1300  
 FAX: (412) 791-1300  
 WWW.RESOURCEASSOCIATES.COM

**AIRHART CONSTRUCTION**  
 "Building a Better Tomorrow"

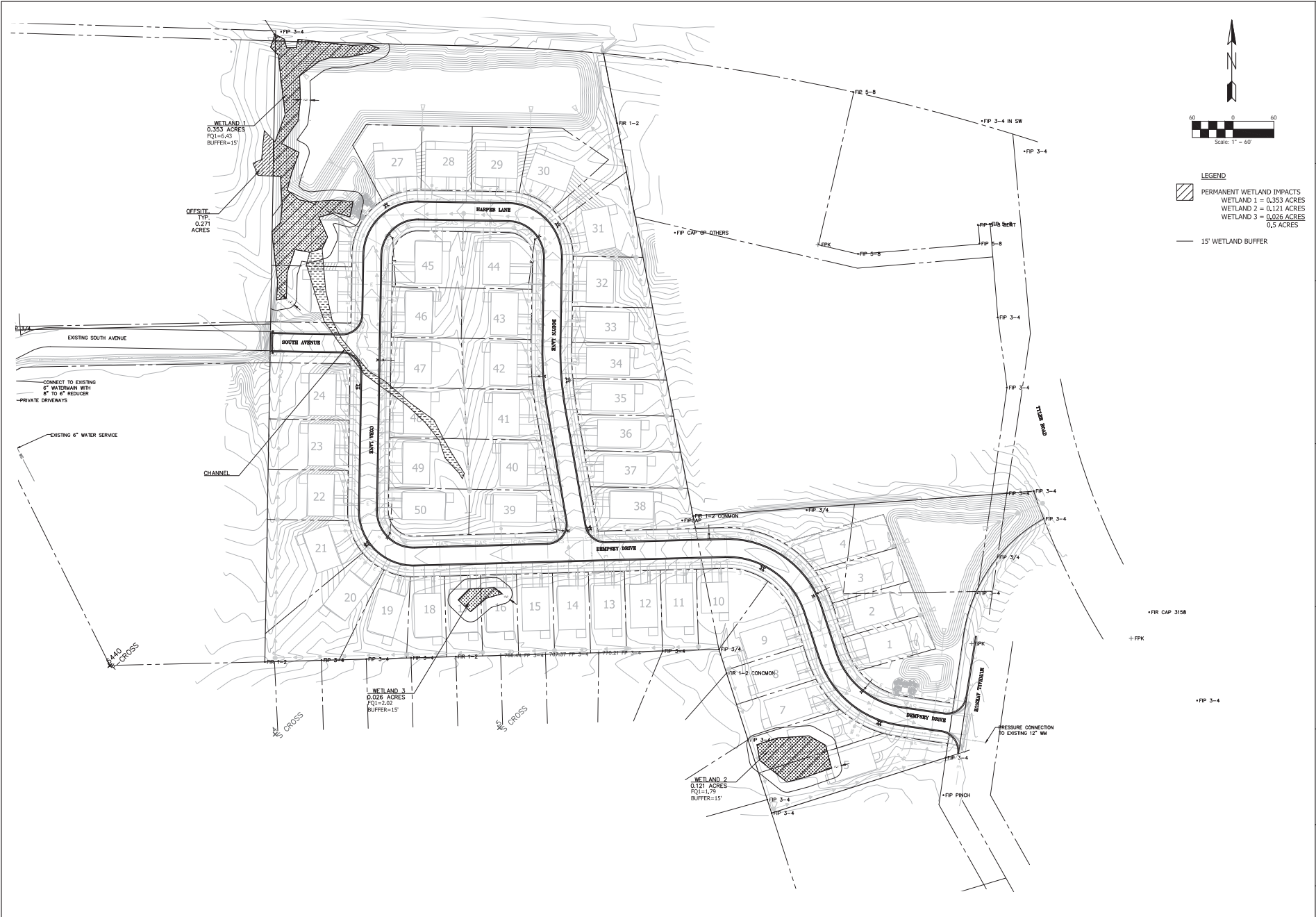
**AIRHART CONSTRUCTION**

**MUNHALL GLEN**  
 51 GARDNER BL.  
 EDMUNDSVILLE, PA 15026, CO.

DATE	07-24-2020
PROJECT #	190726.00
DESIGNED BY	TF
DRAWN BY	TF
CHECKED BY	NAV
DESCRIPTION	

C:\PROJECTS\Airhart\_Construction\190726.00\_Munhall\_Si\_Crossing\_Site\_Drv\_DWG\LOADS\190726.00\_SHEET\_C-12.0\_BMP\_locations.dwg

**C-12.0**  
 SHEET



ENGINEERING RESOURCE ASSOCIATES  
1200 WEST ARCADE SUITE 100  
DENVER, COLORADO 80202  
TEL: 303.733.1200  
WWW.ERACONSTRUCTION.COM

AIRHART CONSTRUCTION  
"Building A Better Tomorrow"

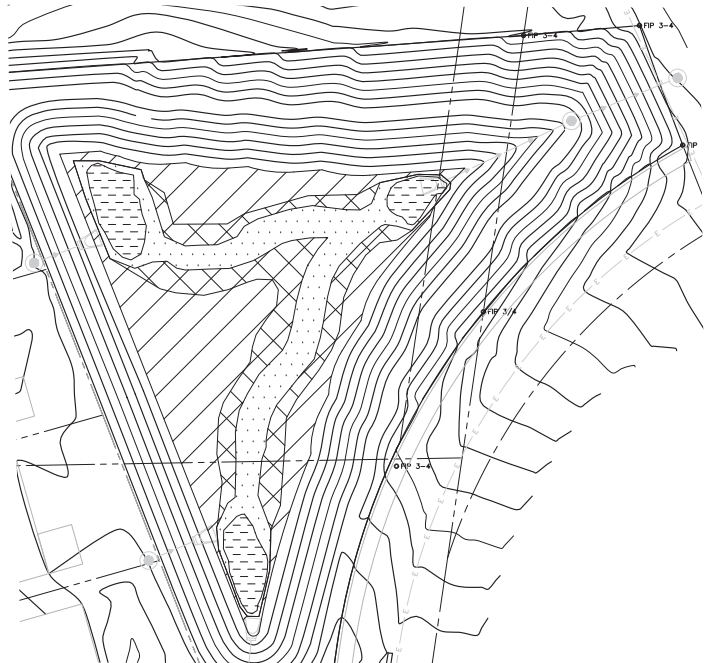
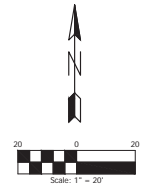
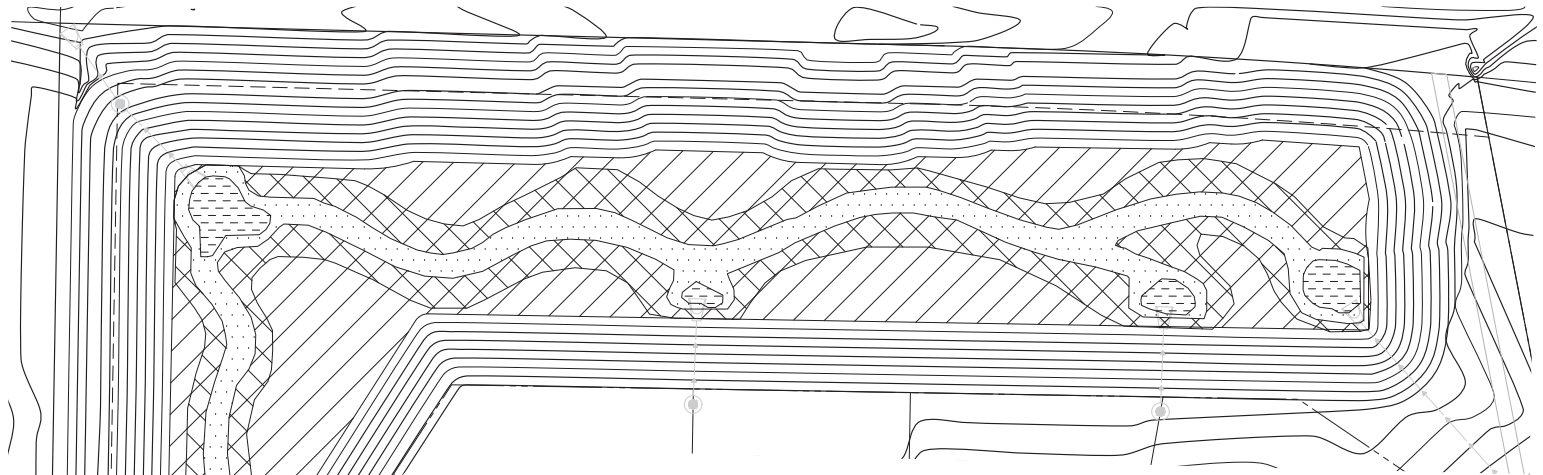
MUNHALL GLEN  
31 GARDEN LN  
DENVER, CO 80226





DATE : 07-24-2020  
PROJECT # : 190726.00  
DESIGNED BY : TF  
DRAWN BY : TF  
CHECKED BY : NAV  
DESCRIPTION :  
C:\PROJECTS\Airhart\_Construction\190726.00\_Munhall\_Si\_Channel\_Site\_Drv\_DWG\CAD\DWG\190726.00\_SHEET\_C-13.0\_Wetland\_Impact.dwg

WETLAND IMPACT PLAN

C-13.0  
SHEET





- LEGEND**
-  MICROPOOL / FOREBAY
  -  LOW FLOW MEANDER / DEEP EMERGENT (0.19 ACRES)
  -  WET MEADOW (0.38 ACRES)
  -  EMERGENT (0.26 ACRES)

**ENGINEERING  
RESOURCE ASSOCIATES**  
1030 WEST AVENUE, SUITE 100  
MUNSHOLE, ILLINOIS 60150  
PH: (815) 375-3000  
WWW.ERASSOCIATES.COM



**AIRHART  
CONSTRUCTION**

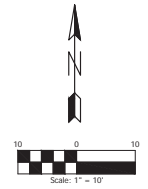
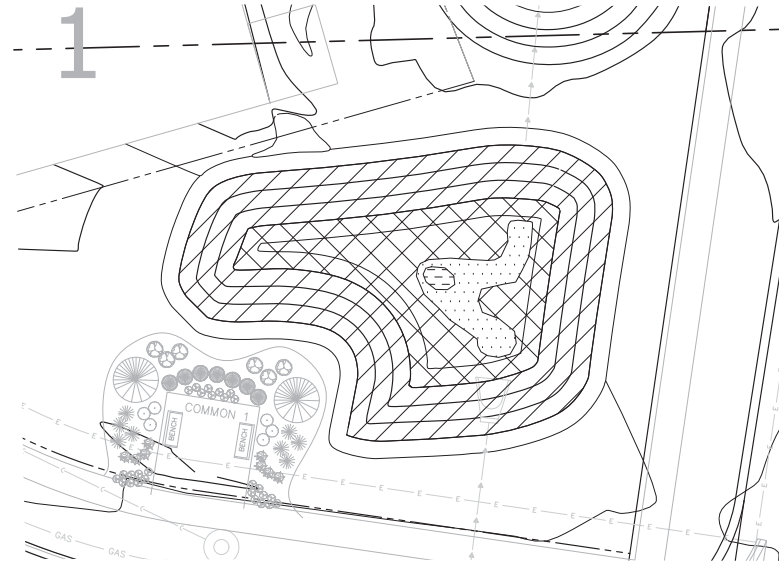
**MUNHALL GLEN**  
ST CHARLES, IL  
EPA PROJECT NO.  
10026-00

DATE	DESCRIPTION


DATE	07-24-2010
PROJECT #	10026-00
DESIGNED BY	TF
DRAWN BY	TF
CHECKED BY	NAV

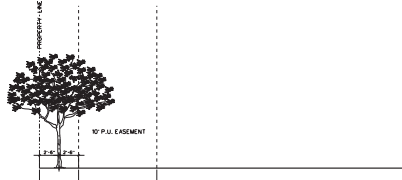
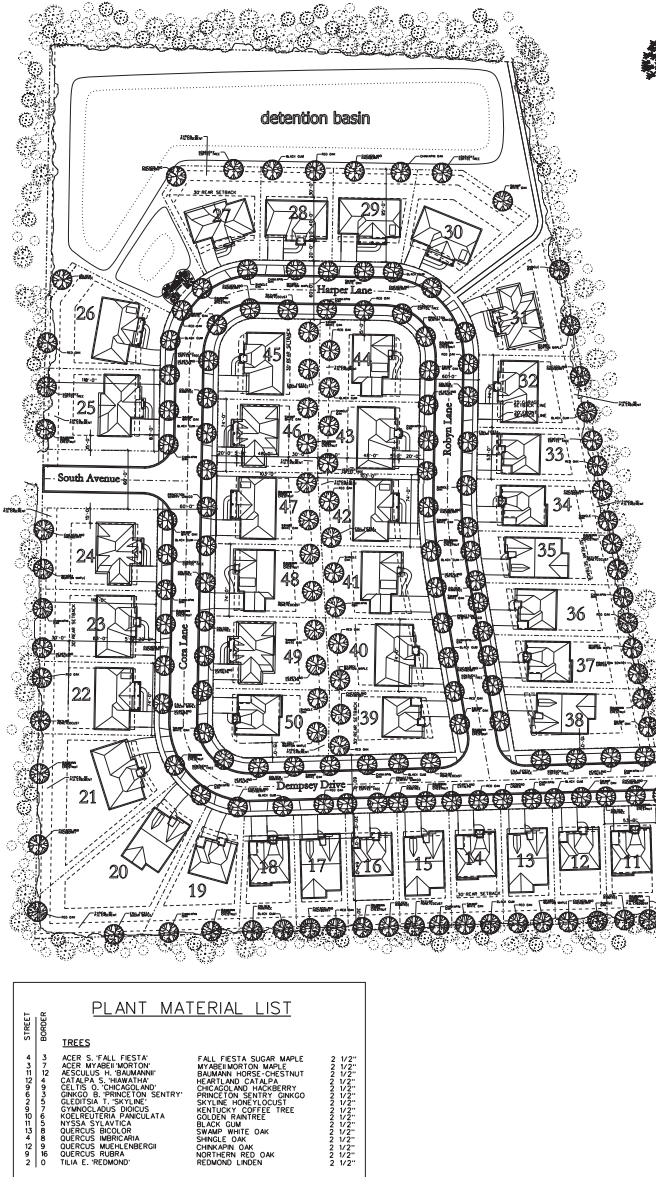
**WETLAND  
MITIGATION  
PLAN**

**C-14.0**  
SHEET

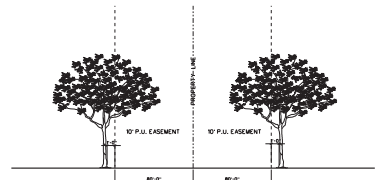


- LEGEND**
- OPEN WATER
  - EMERGENT PLANT COMMUNITY (0,012 ACRES)
  - MESIC PRAIRIE BUFFER (0,052 ACRES)
  - WET PRAIRIE / SEDGE MEADOW (0,045 ACRES)

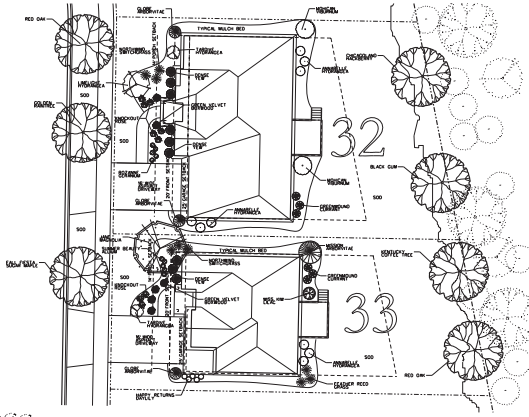
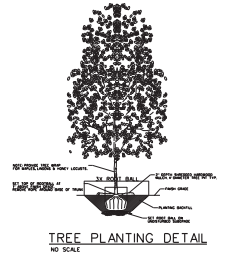
 <b>AIRHART CONSTRUCTION</b> <i>Building a Better Tomorrow</i>	<b>ENGINEERING RESOURCE ASSOCIATES</b> <small>2300 WEST PARKWAY SUITE 100 MUNHALL, OHIO 44024 PHONE: (440) 376-2000 FAX: (440) 376-2001 WWW.RESOURCEASSOCIATES.COM</small>										
<b>AIRHART CONSTRUCTION</b>	<b>MUNHALL GLEN</b> <small>ST CHARLES, IL          ERM PROJECT NO.          100226-00</small>										
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 20%;">DATE</td><td>07-24-2020</td></tr> <tr><td>PROJECT #</td><td>100226-00</td></tr> <tr><td>DESIGNED BY</td><td>TF</td></tr> <tr><td>DRAWN BY</td><td>TF</td></tr> <tr><td>CHECKED BY</td><td>NAV</td></tr> </table>	DATE	07-24-2020	PROJECT #	100226-00	DESIGNED BY	TF	DRAWN BY	TF	CHECKED BY	NAV	DESCRIPTION: <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
DATE	07-24-2020										
PROJECT #	100226-00										
DESIGNED BY	TF										
DRAWN BY	TF										
CHECKED BY	NAV										
<b>RAIN GARDEN PLAN</b>	<b>C-15.0</b> SHEET										



**Exhibit A**  
BORDER TREE PLANTING LOTS 1-38



**Exhibit B**  
BORDER TREE PLANTING LOTS 39-50



**PLANT MATERIAL LIST**

1. 10' W. S. SHAWBEE	11. 10' W. S. SHAWBEE	21. 10' W. S. SHAWBEE
2. 10' W. S. SHAWBEE	12. 10' W. S. SHAWBEE	22. 10' W. S. SHAWBEE
3. 10' W. S. SHAWBEE	13. 10' W. S. SHAWBEE	23. 10' W. S. SHAWBEE
4. 10' W. S. SHAWBEE	14. 10' W. S. SHAWBEE	24. 10' W. S. SHAWBEE
5. 10' W. S. SHAWBEE	15. 10' W. S. SHAWBEE	25. 10' W. S. SHAWBEE
6. 10' W. S. SHAWBEE	16. 10' W. S. SHAWBEE	26. 10' W. S. SHAWBEE
7. 10' W. S. SHAWBEE	17. 10' W. S. SHAWBEE	27. 10' W. S. SHAWBEE
8. 10' W. S. SHAWBEE	18. 10' W. S. SHAWBEE	28. 10' W. S. SHAWBEE
9. 10' W. S. SHAWBEE	19. 10' W. S. SHAWBEE	29. 10' W. S. SHAWBEE
10. 10' W. S. SHAWBEE	20. 10' W. S. SHAWBEE	30. 10' W. S. SHAWBEE

NOTE: 2' TO 3' CANON W/ & 12" W. SHAWBEE HEDGES

LOT 32 SHALLOW HOUSE DESIGN

**PLANT MATERIAL LIST**

1. 10' W. S. SHAWBEE	11. 10' W. S. SHAWBEE	21. 10' W. S. SHAWBEE
2. 10' W. S. SHAWBEE	12. 10' W. S. SHAWBEE	22. 10' W. S. SHAWBEE
3. 10' W. S. SHAWBEE	13. 10' W. S. SHAWBEE	23. 10' W. S. SHAWBEE
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10. 10' W. S. SHAWBEE	20. 10' W. S. SHAWBEE	30. 10' W. S. SHAWBEE

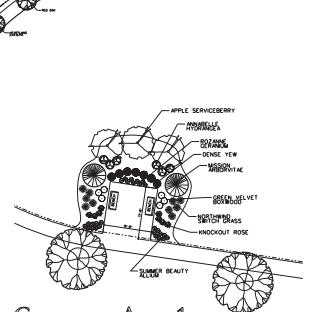
NOTE: 2' TO 3' CANON W/ & 12" W. SHAWBEE HEDGES

LOT 33 NARROW HOUSE DESIGN

**PLANT MATERIAL LIST**

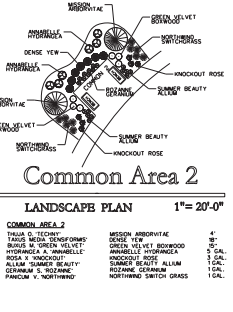
TREES	
1. ACER S. 'FALL FESTA'	21. FALLOUTRIFOLIUM
2. ACER S. 'FALL FESTA'	22. FALLOUTRIFOLIUM
3. ACER S. 'FALL FESTA'	23. FALLOUTRIFOLIUM
4. ACER S. 'FALL FESTA'	24. FALLOUTRIFOLIUM
5. ACER S. 'FALL FESTA'	25. FALLOUTRIFOLIUM
6. ACER S. 'FALL FESTA'	26. FALLOUTRIFOLIUM
7. ACER S. 'FALL FESTA'	27. FALLOUTRIFOLIUM
8. ACER S. 'FALL FESTA'	28. FALLOUTRIFOLIUM
9. ACER S. 'FALL FESTA'	29. FALLOUTRIFOLIUM
10. ACER S. 'FALL FESTA'	30. FALLOUTRIFOLIUM
11. ACER S. 'FALL FESTA'	31. FALLOUTRIFOLIUM
12. ACER S. 'FALL FESTA'	32. FALLOUTRIFOLIUM
13. ACER S. 'FALL FESTA'	33. FALLOUTRIFOLIUM
14. ACER S. 'FALL FESTA'	34. FALLOUTRIFOLIUM
15. ACER S. 'FALL FESTA'	35. FALLOUTRIFOLIUM
16. ACER S. 'FALL FESTA'	36. FALLOUTRIFOLIUM
17. ACER S. 'FALL FESTA'	37. FALLOUTRIFOLIUM
18. ACER S. 'FALL FESTA'	38. FALLOUTRIFOLIUM
19. ACER S. 'FALL FESTA'	39. FALLOUTRIFOLIUM
20. ACER S. 'FALL FESTA'	40. FALLOUTRIFOLIUM
21. ACER S. 'FALL FESTA'	41. FALLOUTRIFOLIUM
22. ACER S. 'FALL FESTA'	42. FALLOUTRIFOLIUM
23. ACER S. 'FALL FESTA'	43. FALLOUTRIFOLIUM
24. ACER S. 'FALL FESTA'	44. FALLOUTRIFOLIUM
25. ACER S. 'FALL FESTA'	45. FALLOUTRIFOLIUM
26. ACER S. 'FALL FESTA'	46. FALLOUTRIFOLIUM
27. ACER S. 'FALL FESTA'	47. FALLOUTRIFOLIUM
28. ACER S. 'FALL FESTA'	48. FALLOUTRIFOLIUM
29. ACER S. 'FALL FESTA'	49. FALLOUTRIFOLIUM
30. ACER S. 'FALL FESTA'	50. FALLOUTRIFOLIUM

**NOTES:**  
 1. SOIL AREAS AS NOTED.  
 2. PREPARE PERENNIAL AND GROUNDCOVER BEDS W/ 1" CV. GARDEN COMPOST PER 100 SF. BOTTLING TO 4" DEPTH (APPROX. 2" D.V.D.).  
 3. MULCH ALL TREE AND SHRUB PLANTINGS TO MAX. 3" x 2" MIN. DEPTH.  
 4. SHRUBS SHALL BE PLANTED WITH APPROX. 10" TO 12" OF BRANCHES OR SHRUBS.  
 5. ALL TREES SHALL BE PLANTED WITH APPROX. 10" TO 12" OF BRANCHES.  
 6. A COVER OF AT LEAST 6" OF TOPSOIL SHALL BE PROVIDED IN ALL TURF AREAS.  
 7. A COVER OF AT LEAST 9" OF TOPSOIL SHALL BE PROVIDED IN ALL PLANTING BEDS.



**Common Area 1**  
LANDSCAPE PLAN 1" = 20'-0"

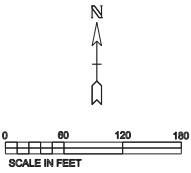
1. 10' W. S. SHAWBEE	11. 10' W. S. SHAWBEE	21. 10' W. S. SHAWBEE
2. 10' W. S. SHAWBEE	12. 10' W. S. SHAWBEE	22. 10' W. S. SHAWBEE
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7. 10' W. S. SHAWBEE	17. 10' W. S. SHAWBEE	27. 10' W. S. SHAWBEE
8. 10' W. S. SHAWBEE	18. 10' W. S. SHAWBEE	28. 10' W. S. SHAWBEE
9. 10' W. S. SHAWBEE	19. 10' W. S. SHAWBEE	29. 10' W. S. SHAWBEE
10. 10' W. S. SHAWBEE	20. 10' W. S. SHAWBEE	30. 10' W. S. SHAWBEE



**Common Area 2**  
LANDSCAPE PLAN 1" = 20'-0"

1. 10' W. S. SHAWBEE	11. 10' W. S. SHAWBEE	21. 10' W. S. SHAWBEE
2. 10' W. S. SHAWBEE	12. 10' W. S. SHAWBEE	22. 10' W. S. SHAWBEE
3. 10' W. S. SHAWBEE	13. 10' W. S. SHAWBEE	23. 10' W. S. SHAWBEE
4. 10' W. S. SHAWBEE	14. 10' W. S. SHAWBEE	24. 10' W. S. SHAWBEE
5. 10' W. S. SHAWBEE	15. 10' W. S. SHAWBEE	25. 10' W. S. SHAWBEE
6. 10' W. S. SHAWBEE	16. 10' W. S. SHAWBEE	26. 10' W. S. SHAWBEE
7. 10' W. S. SHAWBEE	17. 10' W. S. SHAWBEE	27. 10' W. S. SHAWBEE
8. 10' W. S. SHAWBEE	18. 10' W. S. SHAWBEE	28. 10' W. S. SHAWBEE
9. 10' W. S. SHAWBEE	19. 10' W. S. SHAWBEE	29. 10' W. S. SHAWBEE
10. 10' W. S. SHAWBEE	20. 10' W. S. SHAWBEE	30. 10' W. S. SHAWBEE

**Munhall Glen**



**AIRHART CONSTRUCTION**  
500 E. ROOSEVELT RD. WEST CHICAGO, IL 60616 (630) 295-5000



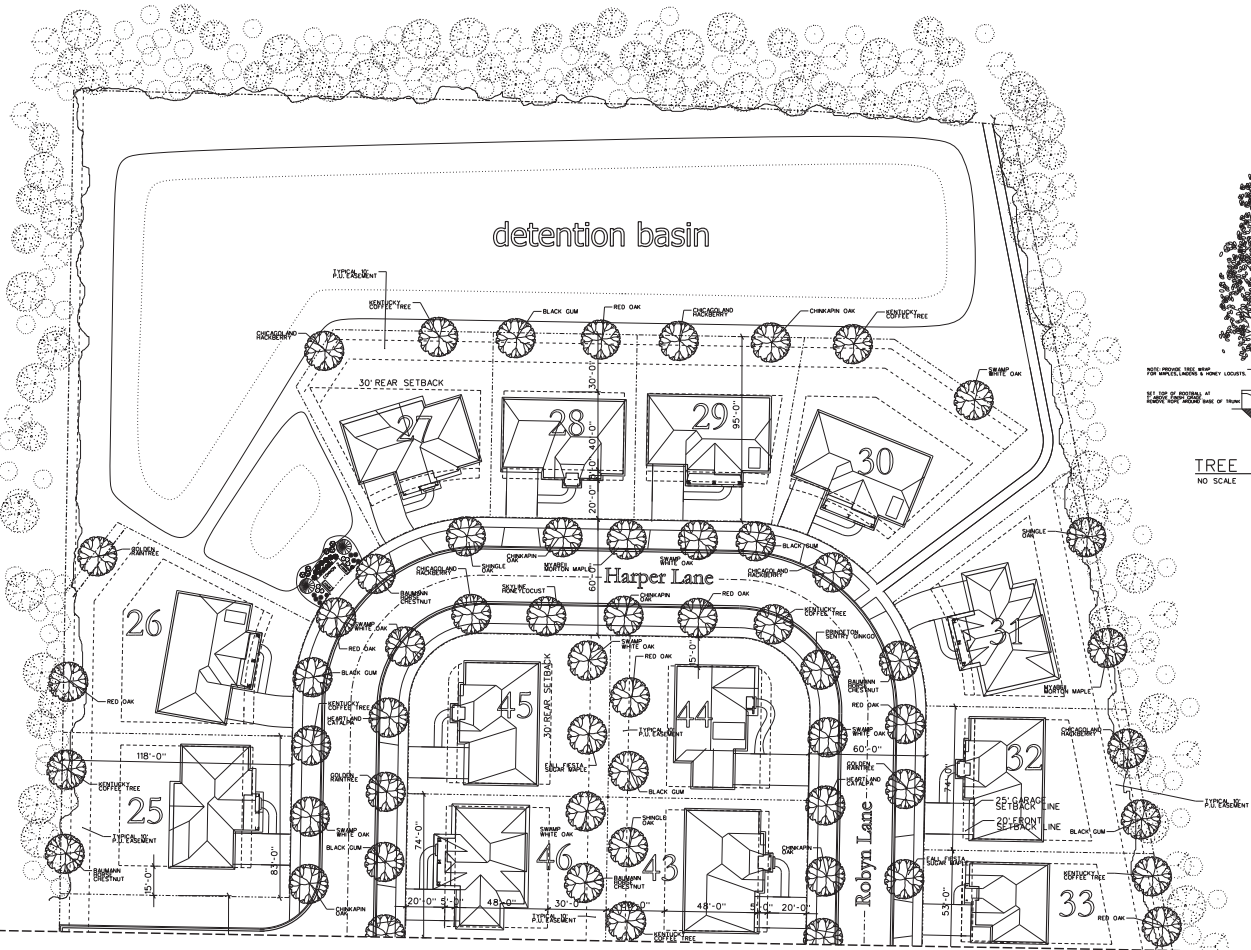
**MUNHALL GLEN**  
MUNHALL AVE. & TYLER ST. ST. CHARLES, IL

DATE : 9-8-2020  
DRAWN BY : JXC

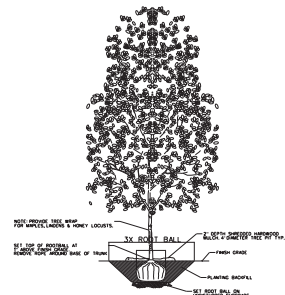
ILLUSTRATIVE SITE PLAN

**C-0.0**  
SHEET

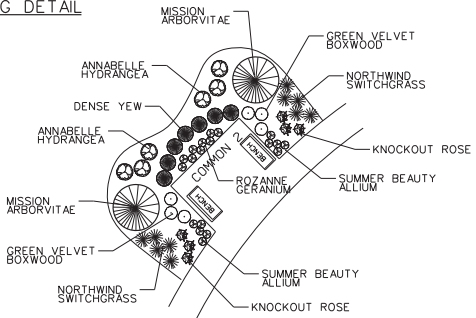
ST. Charles Munhall Avenue.dgn 9/8/2020 12:19:14 PM



PLANT MATERIAL LIST			
<b>TREES</b>			
1	ACER S. FALL FESTA	FALL FESTA SUGAR MAPLE	2 1/2"
1	ACER NYABERMORTON	NYABERMORTON MAPLE	2 1/2"
1	AEQUILUS R. STRAWBERRY	BAUMANN HORSE-CHESTNUT	2 1/2"
1	CAVALPA S. "HAWAIIA"	HEARTLAND CATALPA	1 1/2"
1	CELTIS O. "SUNSHINELAND"	CHICKSAND HICKBERRY	1 1/2"
1	QUERCUS B. PRINCETON SENTRY	PRINCETON SENTRY QUERCUS	1 1/2"
1	QUERCUS S. "SUNSHINE"	SETTLING HONEYLOCUST	1 1/2"
1	CHENODORUS BICOLOR	KENTUCKY COFFEE TREE	1 1/2"
1	KOELREUTERIA PANICULATA	GOLDEN STANTREE	1 1/2"
1	NYSSA SYLVESTRICA	BLACK OAK	1 1/2"
1	QUERCUS BICOLOR	SWAMP WHITE OAK	1 1/2"
1	QUERCUS IMBRICARIA	SINGLE OAK	1 1/2"
1	QUERCUS MUEHLBERGERII	CHICKAPY OAK	1 1/2"
1	QUERCUS RUBRA	NORTHERN RED OAK	1 1/2"
<b>COMMON AREA 2</b>			
2	THALIA O. "TECHNY"	MISSION ARBORVITAE	4"
2	TAXUS MEDIA "SUNSHINE"	DENSE YEW	38"
6	BUNUS M. "GREEN VELVET"	GREEN VELVET BOXWOOD	5"
6	HYDRANGEA A. "ANNABELLE"	ANNABELLE HYDRANGEA	5 GAL.
6	ROSA X "KNOCKOUT"	KNOCKOUT ROSE	3 GAL.
10	ALLIUM "SUMMER BEAUTY"	SUMMER BEAUTY ALLIUM	1 GAL.
9	GERANIUM S. "ROZANNE"	ROZANNE GERANIUM	1 GAL.
10	PANICUM V. "NORTHWIND"	NORTHWIND SWITCH GRASS	1 GAL.

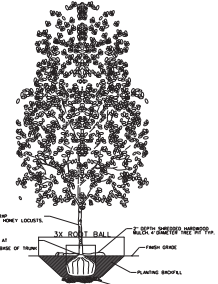


TREE PLANTING DETAIL  
NO SCALE



Common Area 2  
LANDSCAPE PLAN 1" = 10'-0"

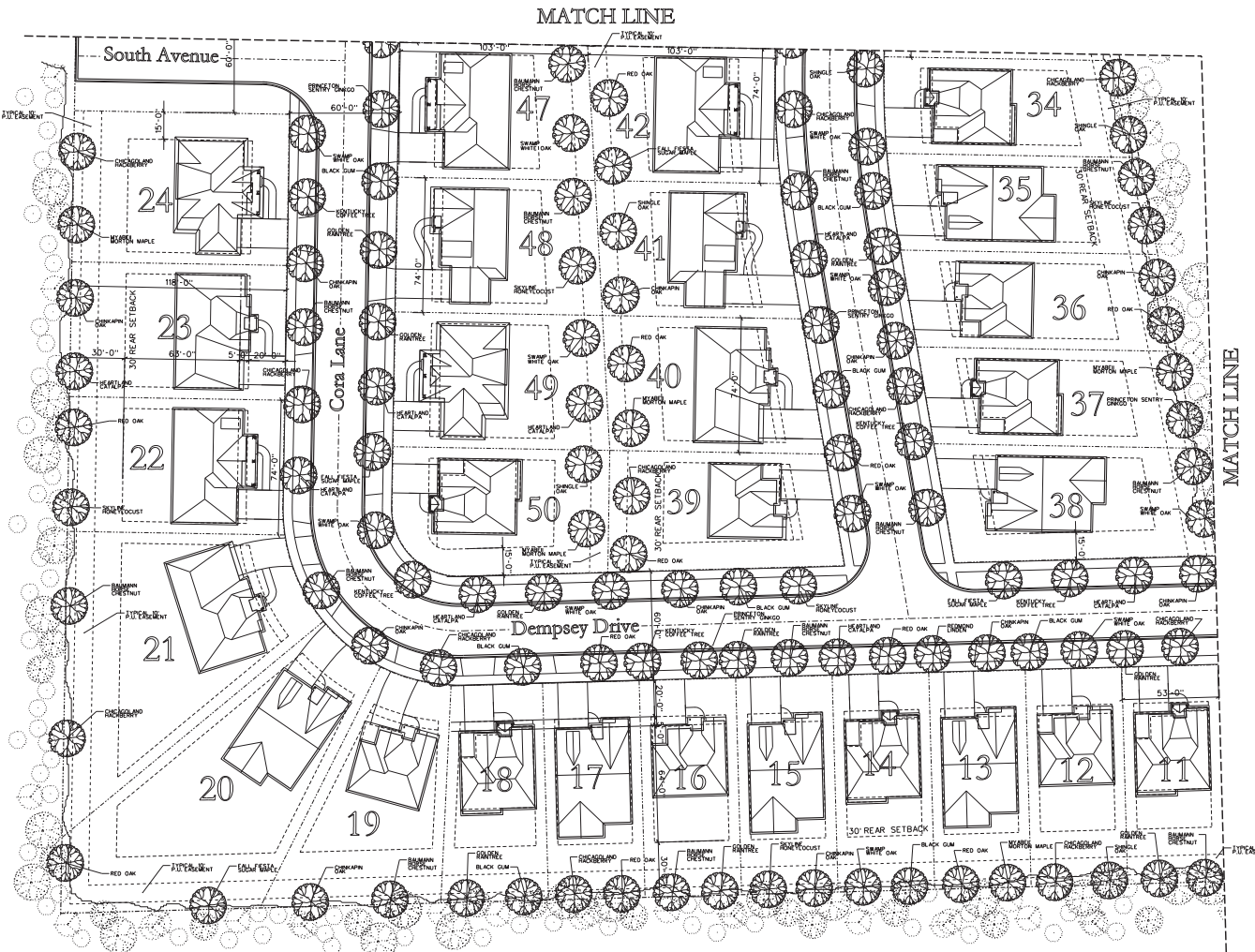
**AIRHART CONSTRUCTION**  
 400 E. ROOSEVELT RD. WEST CHICAGO, IL 60609 (773) 292-2889  
 SCALE: 1" = 30'-0" APPROVED BY: \_\_\_\_\_ DRAWN BY: JCK  
 DATE: 7-23-20 REVISION: 9-8-20  
 Munhall Glen  
 ST. CHARLES, IL  
 Landscape Master Plan DRAWING NUMBER: L-1



PLANT MATERIAL LIST

STREET	BORDER	TREES	QUANTITY
2	2	ACER S. FALL PESTAL	2 1/2"
2	2	ACER NYABER MORTON	2 1/2"
2	2	ASCULUS H. BALMAINII	2 1/2"
2	2	CATALPA S. HARWATHA	2 1/2"
2	2	CELOSIA G. THOMASIAN	2 1/2"
2	2	GINKGO B. PRINCEPTON SENTRY	2 1/2"
2	2	GLEDITSIA T. SPYRINE	2 1/2"
2	2	GYMNOCLADUS DODGII	2 1/2"
2	2	KEULESTERIA PANICULATA	2 1/2"
2	2	NYSSA STYLVICA	2 1/2"
2	2	QUERCUS BICOLORE	2 1/2"
2	2	QUERCUS RUBRA	2 1/2"
2	2	QUERCUS MUEHLBERGII	2 1/2"
2	2	TILIA E. REDMONDII	2 1/2"
2	2	FALL PESTAL SUGAR MAPLE	2 1/2"
2	2	MYABER MORTON MAPLE	2 1/2"
2	2	BALMAINII HORSE CHESTNUT	2 1/2"
2	2	HEATLAND CATALPA	2 1/2"
2	2	CHICKASAW HICKORY	2 1/2"
2	2	PRINCETON SENTRY GINKGO	2 1/2"
2	2	SKYLINE HONEYLOCUST	2 1/2"
2	2	KENTUCKY COFFEE TREE	2 1/2"
2	2	GOLDEN BURNING	2 1/2"
2	2	BLACK GUM	2 1/2"
2	2	SWAMP WHITE OAK	2 1/2"
2	2	SHINGLE OAK	2 1/2"
2	2	CHICKASAW OAK	2 1/2"
2	2	NORTHERN RED OAK	2 1/2"
2	2	REDMOND LINDEN	2 1/2"

NOTES:  
 - SOD AREAS AS NOTED.  
 - PREPARE FRESHMAN AND GROUNDCOVER BEDS W/ 1" CY. GARDEN COMPOST PER SQ. YD. & INSTALLTED TO 4" DEPTH APPROX. 2" TO 10".  
 - MULCH ALL TREE AND SHRUB PLANTINGS TO MAX. 3" & 2" MIN. DEPTH.  
 - SHREDED HARDWOOD MULCH (APPROX. 30 CU. YD.)  
 - MULCH SHOULD NOT BE PILED UP AGAINST TRUNKS OF TREES OR SHRUBS.  
 - A COVER OF AT LEAST 6" OF TOPSOIL SHALL BE PROVIDED IN ALL TURF AREAS.  
 - A COVER OF AT LEAST 9" OF TOPSOIL SHALL BE PROVIDED IN ALL PLANTING BEDS.



**AIRHART CONSTRUCTION**  
 100 E. ROOSEVELT RD. WEST CHICAGO, IL 60658 4730 290-2000

SCALE: 1" = 30'-0"	APPROVED BY:	DRAWN BY: JCK
DATE: 7-23-20	REVISED: 9-8-20	
Munhall Glen		
Landscape Master Plan		DRAWING NUMBER: L-2



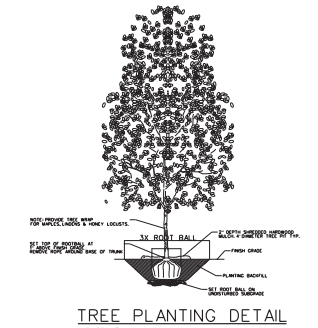
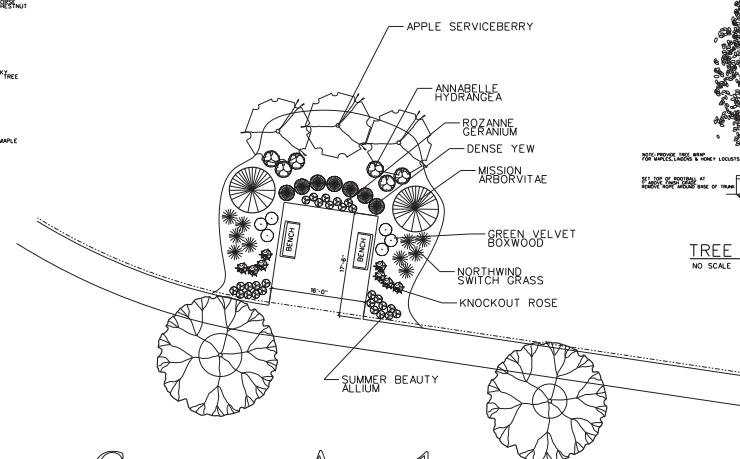
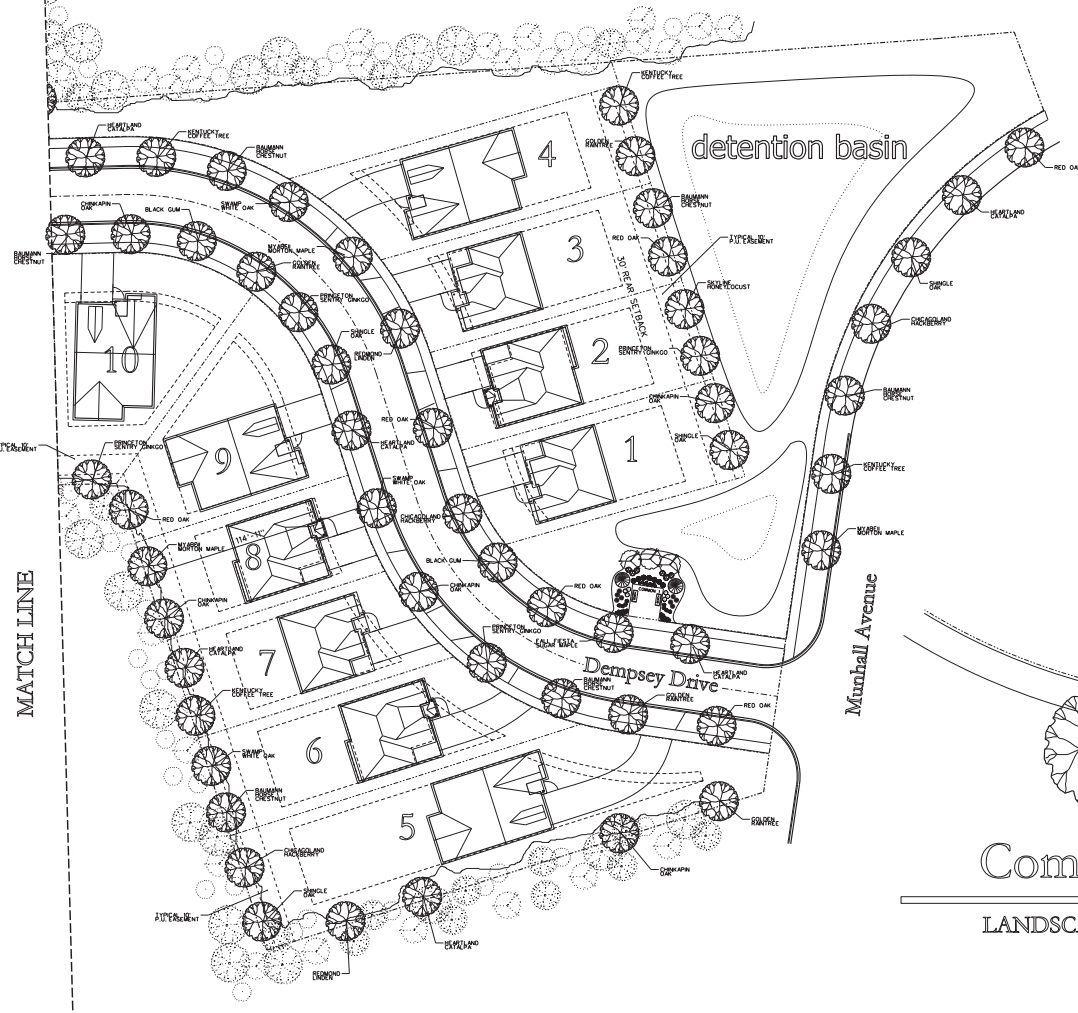
**PLANT MATERIAL LIST**

TREES	
ACER S. 'FALL FEST'	FALL FEST SUGAR MAPLE
ACER 'WABER MORTON'	WABER MORTON MAPLE
AEOLUS 'H. BALMANN'	BALMANN HORSE CHESTNUT
CA. PALM S. 'HAWAIIAN'	HAWAIIAN PALM
CELESTIA 'T. SPINDLE'	CELESTIA SPINDLE
CRINOID B. 'PRINCETON SENTRY'	PRINCETON SENTRY CRINOID
GLORIOSA 'T. SPINDLE'	SPINDLE MORE GLORIOSA
GYMNOCLADUS 'BOJICUS'	KENTUCKY COFFEE TREE
HOELIETTERIA 'PANDULATA'	OLDEN HANTREE
NYSSA 'SYLVATICA'	BLACK OAK
QUERCUS 'BIOLOR'	SWAMP WHITE OAK
QUERCUS 'IMBRICARIA'	SHINGLE OAK
QUERCUS 'MULHENSBERGII'	CHICKAMAUG OAK
QUERCUS 'RUBRA'	NORTHERN RED OAK
TELIA 'E. 'REDMOND'	REDMOND LINDBERGH

COMMON AREA 1		
AMELANCHIER 'GRANDIFLORA'	APPLE SERVICEBERRY	6'
THUJA 'O. 'TECHNY'	MISSION ARBORVITAE	4'
TAXUS MEDIA 'DENSIFORMIS'	DENSE YEW	8"
BUXUS 'M. 'GREEN VELVET'	GREEN VELVET BOXWOOD	8"
HYDRANGEA 'A. 'ANNABELLE'	ANNABELLE HYDRANGEA	5 GAL.
ROSA 'X. 'KNOCKOUT'	KNOCKOUT ROSE	3 GAL.
ALLIUM 'SUMMER BEAUTY'	SUMMER BEAUTY ALLIUM	1 GAL.
GERANIUM 'S. 'ROZANNE'	ROZANNE GERANIUM	1 GAL.
PANICUM 'V. 'NORTHWIND'	NORTHWIND SWITCH GRASS	1 GAL.

NOTES:  
 - PREPARE PLANTING AND GROUNDCOVER BEDS W/ 1 CY GARDEN COMPOST PER 100 SF ROTILLED TO 8" DEPTH (APPROX. 2 CU YD).  
 - MULCH: ALL TREES AND SHRUBS PLANTED TO MAX 5' x 4' MIN DEPTH SHREDDED HARDWOOD MULCH (APPROX. 20 CU YD).  
 - MULCH SHOULD NOT BE PILED UP AGAINST TRUNKS OF TREES OR SHRUBS.  
 - A COVER OF AT LEAST 6" OF TOPSOIL SHALL BE PROVIDED IN ALL PLANTING AREAS.  
 - A COVER OF AT LEAST 9" OF TOPSOIL SHALL BE PROVIDED IN ALL PLANTING BEDS.



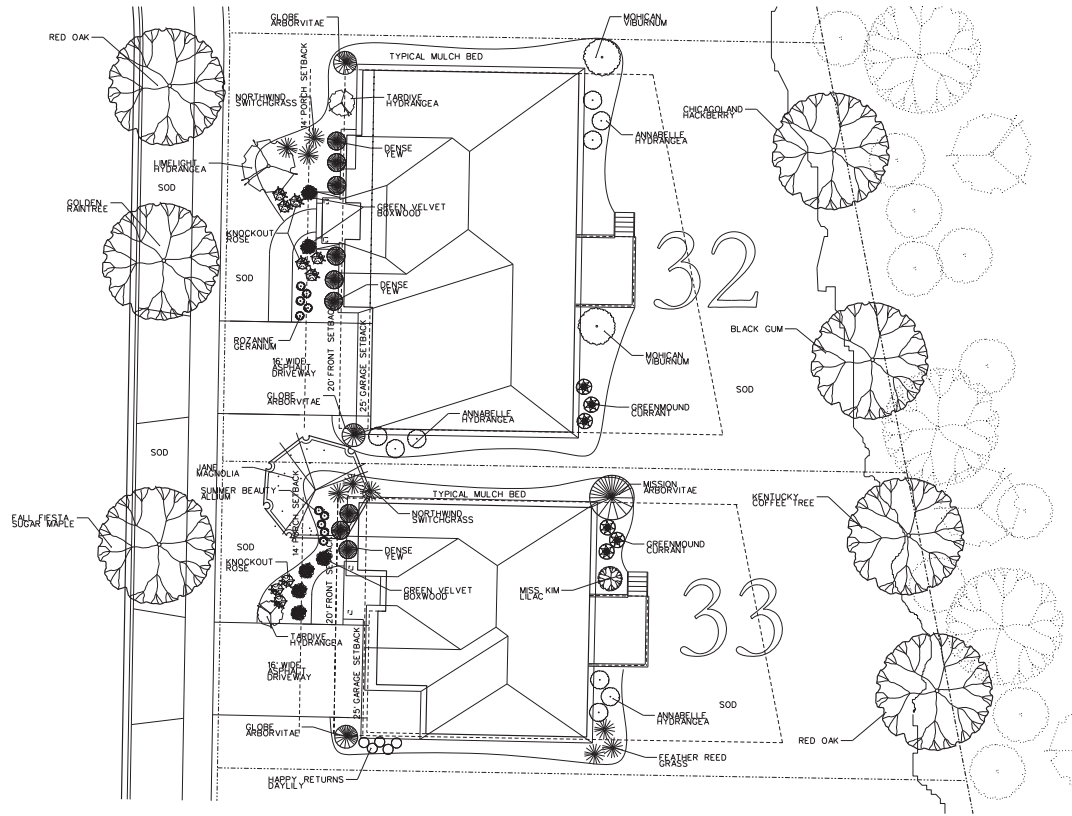
**Common Area 1**

LANDSCAPE PLAN

1" = 10'-0"

**AIRHART CONSTRUCTION**  
 400 E. ROOSEVELT RD. WEST CHICAGO, IL 60609 (630) 995-0000

SCALE: 1" = 30'-0"	APPROVED BY:	DRAWN BY: JCK
DATE: 7-23-20	REVISED: 9-8-20	
Munhall Glen		
ST. CHARLES, IL		
Landscape Master Plan		DRAWING NUMBER: L-3



### PLANT MATERIAL LIST

1	CELTIS O. 'CHICAGOLAND'	CHICAGOLAND HACKBERRY	2 1/2"
1	KOELREUTERIA PANICULATA	COLDEN RAIN TREE	2 1/2"
1	NYSSA SYLVATICA	BLACK GUM	2 1/2"
1	QUERCUS RUBRA	RED OAK	2 1/2"
1	HYDRANGEA P. 'LIMELIGHT'	TARDIVE HYDRANGEA	15 GAL. (TREE)
2	THUJA O. 'WOODWARD'	GLOBE ARBORVITAE	5 GAL.
2	TAXUS MEDIA 'DENSIFORMIS'	DENSE YEW	15"
6	BUXUS M. 'GREEN VELVET'	GREEN VELVET BOXWOOD	5 GAL.
6	HYDRANGEA A. 'ANNABELLE'	ANNABELLE HYDRANGEA	5 GAL.
1	HYDRANGEA P. 'TARDIVA'	TARDIVE HYDRANGEA	5 GAL.
3	RIESES A. 'GREENMOUND'	GREENMOUND CURRANT	5 GAL.
6	ROSA X 'KNOCKOUT'	KNOCKOUT ROSE	3 GAL.
2	VIBURNUM L. 'MOHICAN'	MOHICAN VIBURNUM	5 GAL.
5	GERANIUM S. 'ROZANNE'	ROZANNE GERANIUM	1 GAL.
3	PANICUM S. 'NORTHWIND'	NORTHWIND SWITCHGRASS	1 GAL.

**NOTE:**

PROVIDE 2 YD. GARDEN MIX &  
9.5 YD. SHREADED HARDWOOD MULCH

### LOT 32 SHALLOW HOUSE DESIGN

### PLANT MATERIAL LIST

1	ACER S. 'FALL FIESTA'	FALL FIESTA MAPLE	2 1/2"
1	QUERCUS RUBRA	RED OAK	2 1/2"
1	GYMNOCADUS DIDICUS	KENTUCKY COFFEE TREE	2 1/2"
1	MAGNOLIA S. 'JANE'	JANE MAGNOLIA	6"
1	THUJA O. 'TECHNY'	MISSION ARBORVITAE	48"
3	TAXUS MEDIA 'DENSIFORMIS'	DENSE YEW	5 GAL.
1	THUJA O. 'WOODWARD'	GLOBE ARBORVITAE	5 GAL.
4	BUXUS M. 'GREEN VELVET'	GREEN VELVET BOXWOOD	15"
3	HYDRANGEA A. 'ANNABELLE'	ANNABELLE HYDRANGEA	5 GAL.
1	HYDRANGEA P. 'TARDIVA'	TARDIVE HYDRANGEA	5 GAL.
3	RIESES A. 'GREENMOUND'	GREENMOUND CURRANT	5 GAL.
3	ROSA X 'KNOCKOUT'	KNOCKOUT ROSE	3 GAL.
1	SYRINGA P. 'MISS KIM'	MISS KIM LILAC	5 GAL.
3	PANICUM S. 'NORTHWIND'	NORTHWIND SWITCHGRASS	1 GAL.
3	CALAMAGROSIS 'KARL FÖRSTER'	FEATHER REED GRASS	1 GAL.
5	ALLIUM 'SUMMER BEAUTY'	SUMMER BEAUTY ALLIUM	1 GAL.
5	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILLY	1 GAL.

**NOTE:**

PROVIDE 2 YD. GARDEN MIX &  
9.5 YD. SHREADED HARDWOOD MULCH

### LOT 33 NARROW HOUSE DESIGN



SCALE: T = 1/8" = 1'-0" REVISED 9-8-20 DRAWN BY: JCK

DATE: 7-23-20

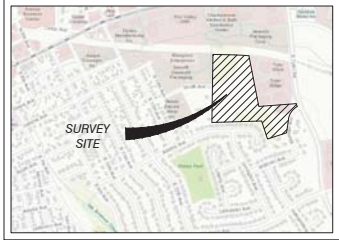
Munhall Glen

ST. CHARLES, IL

Typical Unit Landscaping

DRAWING NUMBER:  
L-4

P.L.N.:  
 09-26-376-003 (PARCEL 1)  
 09-26-376-001 (PARCEL 2)  
 09-26-376-005 (PARCEL 3)  
 09-35-126-010 (PARCEL 4)  
 09-26-377-004 (PARCEL 5)



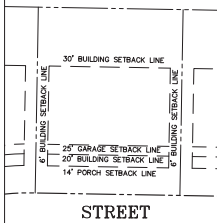
**LOCATION MAP**  
 NOT TO SCALE

**AREA SUMMARY**

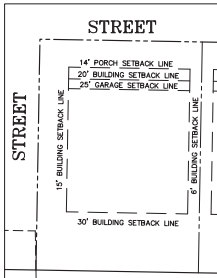
LOTS 1-50: 407,725 SQUARE FEET (9.360 ACRES±)  
 OUTLOTS A & B: 126,542 SQUARE FEET (2.905 ACRES±)  
 RIGHT-OF-WAY: 136,330 SQUARE FEET (3.125 ACRES±)  
 TOTAL: 670,397 SQUARE FEET (15.390 ACRES±)

CURVE	RADIUS	LENGTH	CHORD	BEARING	CHORD
C1	233.00'	88.14'	N50°06'00"E	88.60'	
	(233.00')	(88.15')			
C2	233.00'	52.64'	S32°40'05"W	52.52'	
	(233.00')	(52.64')			

**TYPICAL SETBACK DETAIL**



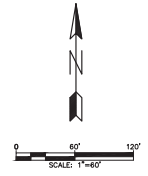
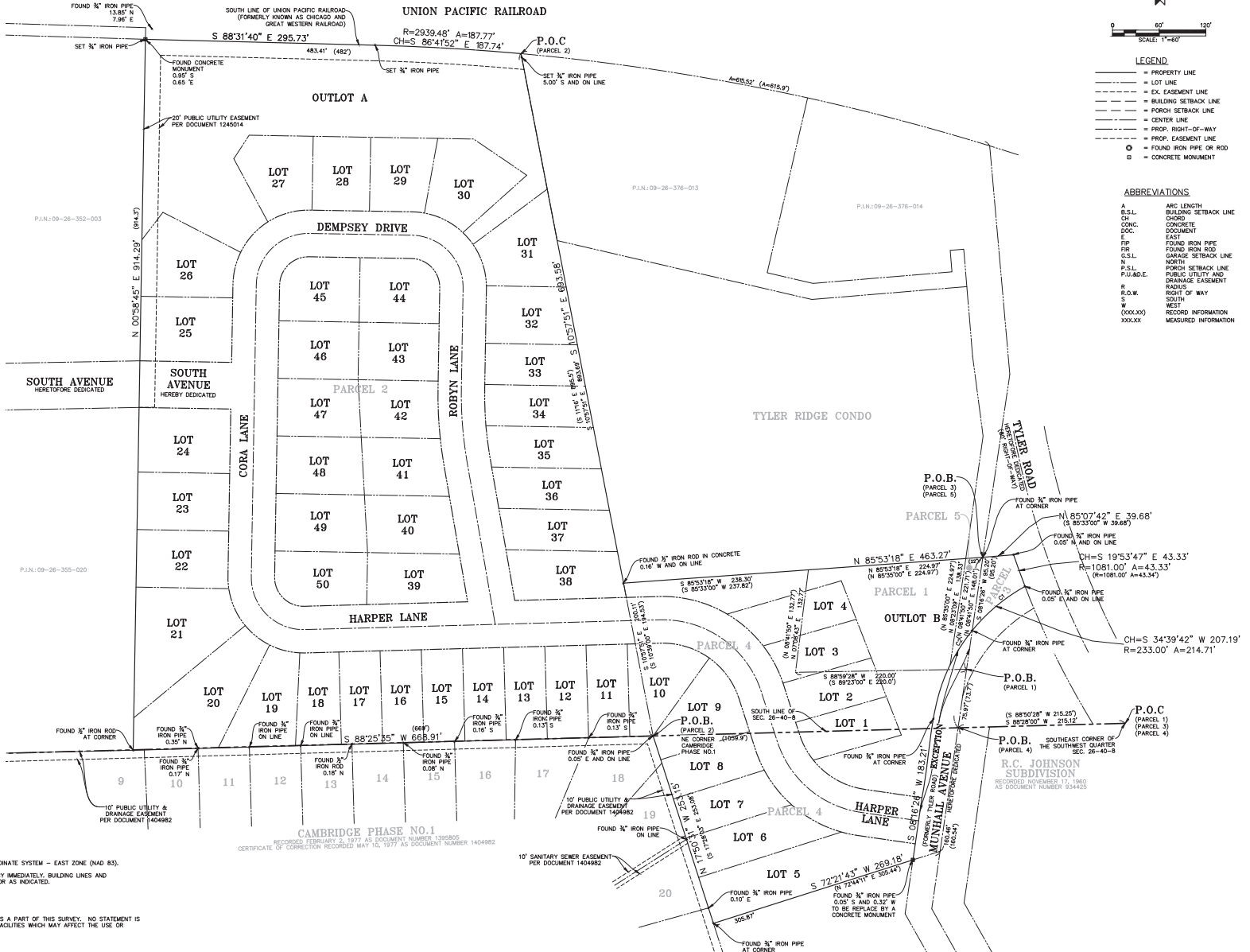
**TYPICAL SETBACK DETAIL**  
 LOTS 24-25, 39-40,  
 45-46 AND 51



- GENERAL NOTES**
- THE BEARINGS SHOWN ON THIS PLAT ARE BASED ON THE ILLINOIS STATE PLANE COORDINATE SYSTEM - EAST ZONE (NAD 83).
  - CHECK LEGAL DESCRIPTION WITH DEED OR TITLE POLICY AND REPORT ANY DISCREPANCY IMMEDIATELY. BUILDING LINES AND EASEMENTS, IF ANY, SHOWN HEREON ARE AS SHOWN ON THE RECORDED SUBDIVISION OR AS INDICATED.
  - ALL AREAS LISTED IN THE AREA SUMMARY TABLE ARE MORE OR LESS.
  - ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
  - SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
  - ALL EASEMENTS SHOWN HEREON ARE HEREBY GRANTED UNLESS OTHERWISE NOTED.

**PRELIMINARY PLAT OF SUBDIVISION**  
 OF  
**MUNHALL GLEN SUBDIVISION**

PART OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, KANE COUNTY, ILLINOIS



- LEGEND**
- = PROPERTY LINE
  - - - = LOT LINE
  - · - · - = EX. EASEMENT LINE
  - · - · - = BUILDING SETBACK LINE
  - · - · - = PORCH SETBACK LINE
  - · - · - = CENTER LINE
  - · - · - = PROP. RIGHT-OF-WAY
  - · - · - = PROP. EASEMENT LINE
  - = FOUND IRON PIPE OR ROD
  - = CONCRETE MONUMENT

- ABBREVIATIONS**
- A = ARC LENGTH
  - B.S.L. = BUILDING SETBACK LINE
  - CH = CHORD
  - CONC. = CONCRETE
  - DOC. = DOCUMENT
  - E = EAST
  - F.P. = FOUND IRON PIPE
  - F.P.R. = FOUND IRON ROD
  - G.S.L. = GARAGE SETBACK LINE
  - N = NORTH
  - P.S.L. = PORCH SETBACK LINE
  - P.U.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
  - R = RIGHT OF WAY
  - R.O.W. = SOUTH
  - W = WEST
  - (XXX.XXX) = RECORD INFORMATION
  - XXX.XX = MEASURED INFORMATION

**ENGINEERING**  
 RESOURCE ASSOCIATES  
 3300 WEST AVENUE, SUITE 100  
 CHICAGO, ILLINOIS 60651  
 PHONE (312) 374-3300  
 FAX (312) 374-3300  
 WWW.RESOURCEASSOCIATES.COM



**AIRHART CONSTRUCTION**

**MUNHALL GLEN SUBDIVISION**  
 ST. CHARLES, IL

PREPARED FOR:

PROJECT:

DESCRIPTION:

DATE	07/25/2020
PROJECT #	190726.00
DRAWN BY	C. OMB
CHECKED BY	BM
APPROVED BY	CCG

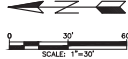
**PRELIMINARY PLAT OF SUBDIVISION**



P.L.N.:  
 09-26-376-003 (PARCEL 1)  
 09-26-376-001 (PARCEL 2)  
 09-26-376-002 (PARCEL 3)  
 09-35-126-010 (PARCEL 4)  
 09-26-377-004 (PARCEL 5)

# PRELIMINARY PLAT OF SUBDIVISION OF MUNHALL GLEN SUBDIVISION

PART OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, KANE COUNTY, ILLINOIS



UNION PACIFIC RAILROAD

SOUTH LINE OF UNION PACIFIC RAILROAD (FORMERLY CHICAGO & NORTHWESTERN RAILROAD)

20' PUBLIC UTILITY EASEMENT PER DOCUMENT 1244014

20' PUBLIC UTILITY EASEMENT PER DOCUMENT 1244014

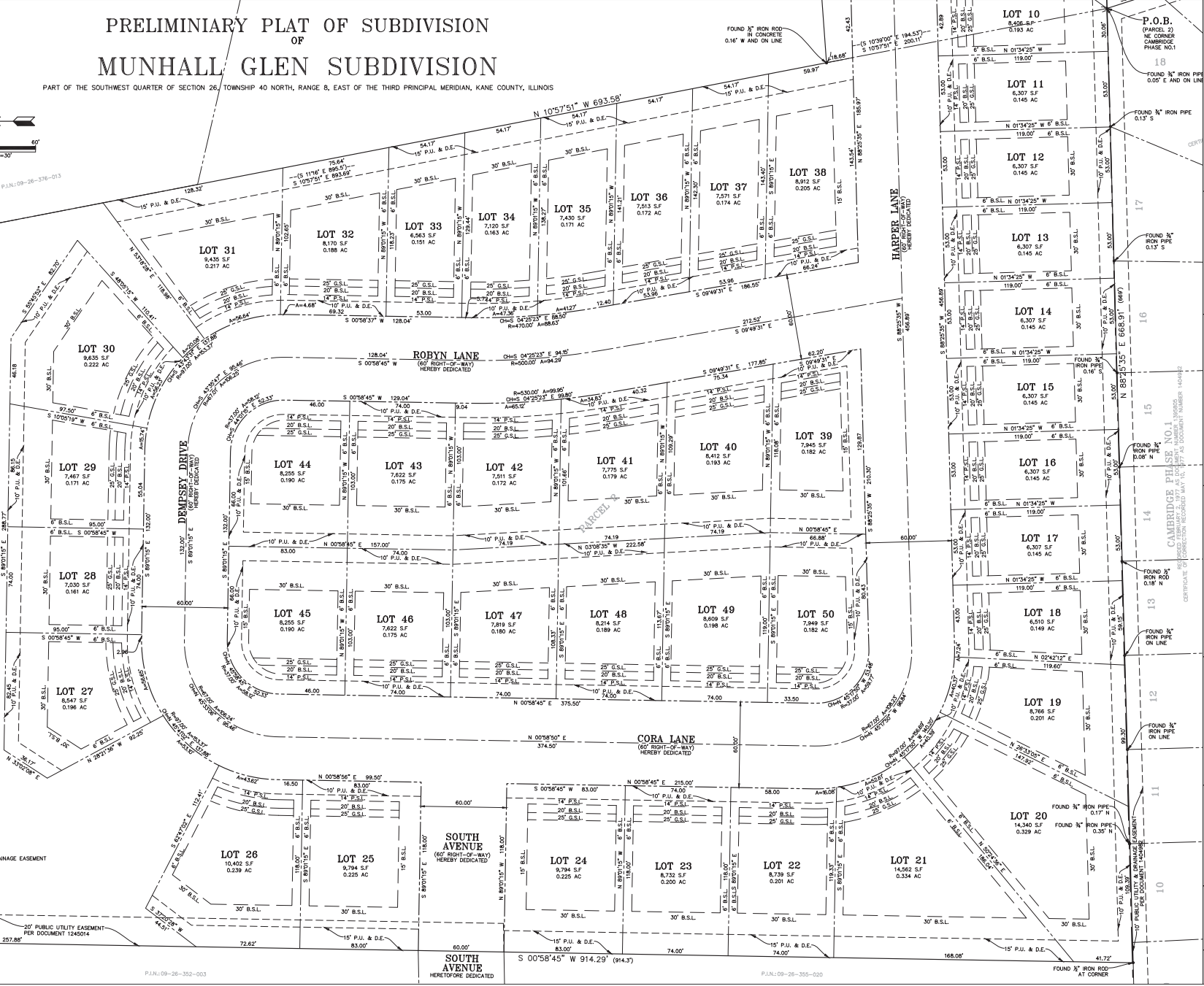
P.O.C. (PARCEL 2)  
 SET 1/2" IRON PIPE 5.00'S & ON-LINE

SET 3/4" IRON PIPE

OUTLOT A  
 81,108 S.F.  
 1,863 AC  
 STORMWATER DETENTION EASEMENT HEREBY GRANTED

- LEGEND**
- PROPERTY LINE
  - - - LOT LINE
  - - - EX. EASEMENT LINE
  - - - BUILDING SETBACK LINE
  - - - PORCH SETBACK LINE
  - - - CENTER LINE
  - - - PROP. RIGHT-OF-WAY
  - - - PROP. EASEMENT LINE
  - FOUND IRON PIPE OR ROD
  - CONCRETE MONUMENT

- ABBREVIATIONS**
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  - B.S.L. BUILDING SETBACK LINE
  - CH. CHORD
  - CONC. CONCRETE
  - DOC. DOCUMENT
  - E EAST
  - FR FOUND IRON PIPE
  - FR FOUND IRON ROD
  - G.S.L. GARAGE SETBACK LINE
  - N NORTH
  - P.U.&D.E. PUBLIC UTILITY AND DRAINAGE EASEMENT
  - P.S.L. PORCH SETBACK LINE
  - R.O.W. RIGHT OF WAY
  - S SOUTH
  - W WEST
  - XXXLX RECORD INFORMATION
  - XXXXX MEASURED INFORMATION



P.O.B. (PARCEL 2)  
 NE CORNER  
 CAMBRIDGE  
 PHASE NO.1

FOUND 3/4" IRON PIPE 0.05' E AND ON LINE

FOUND 3/4" IRON PIPE 0.13' S

FOUND 3/4" IRON PIPE 0.13' S

FOUND 3/4" IRON PIPE 0.08' N

FOUND 3/4" IRON PIPE ON LINE

FOUND 3/4" IRON PIPE ON LINE

FOUND 3/4" IRON PIPE 0.17' N  
 FOUND 3/4" IRON PIPE 0.35' N

FOUND 3/4" IRON PIPE AT CORNER

ENGINEERING  
 RESOURCE ASSOCIATES  
 1300 WEST AVENUE, SUITE 100  
 CHICAGO, ILLINOIS 60606  
 PHONE (312) 379-1000  
 FAX (312) 379-1001  
 WWW.RESOURCEASSOCIATES.COM



AIRHART  
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 "Building a Better Tomorrow"

AIRHART  
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MUNHALL GLEN  
 SUBDIVISION  
 ST. CHARLES, IL

PROJECT:

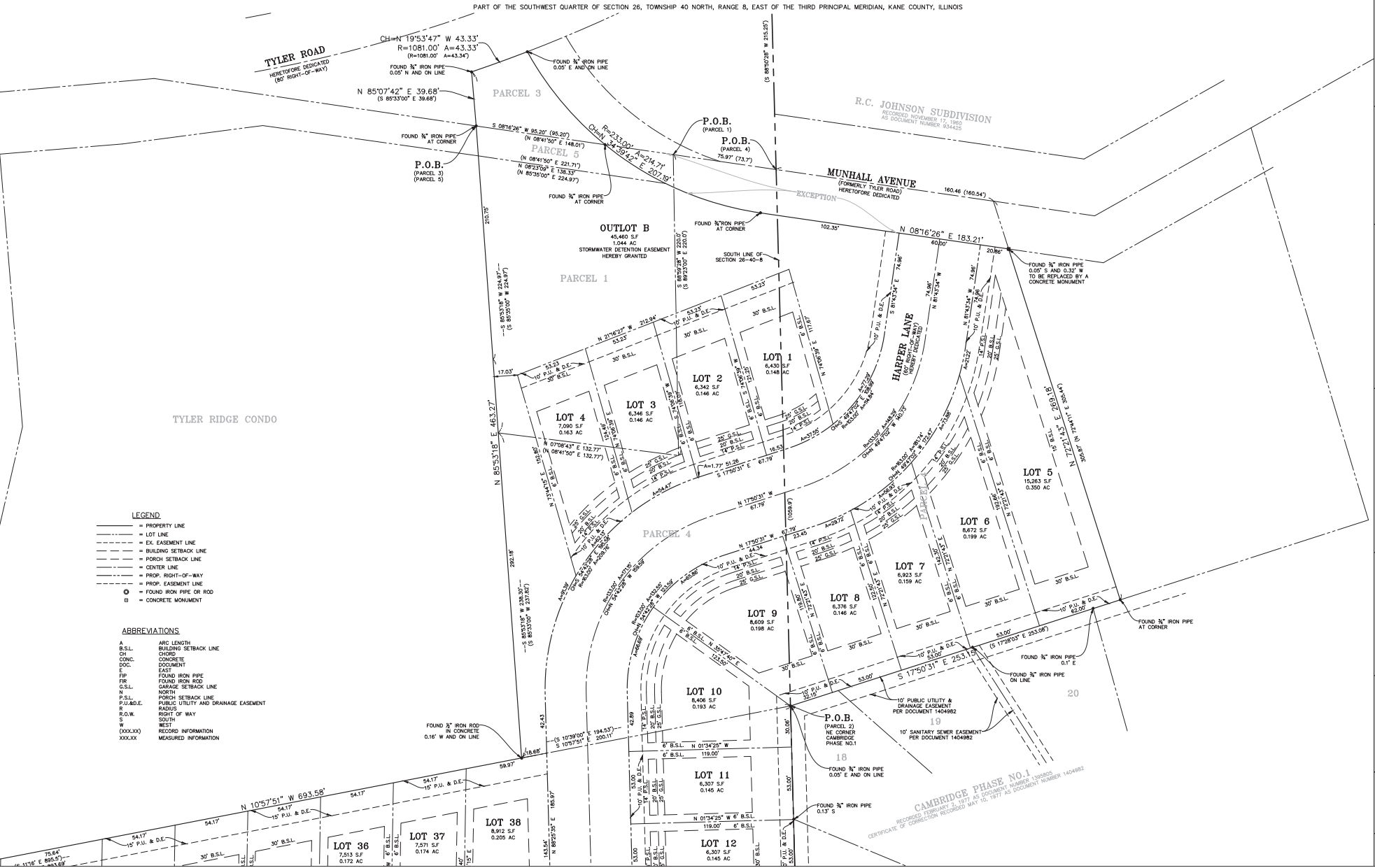
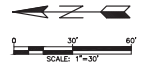
DESCRIPTION:

DATE: 07/29/2020  
 PROJECT #: 190726.00  
 DRAWN BY: C. OMB  
 CHECKED BY: B.M.  
 APPROVED BY: C.C.C.

PRELIMINARY  
 PLAT OF  
 SUBDIVISION

P.L.N.:  
 09-26-376-003 (PARCEL 1)  
 09-26-376-001 (PARCEL 2)  
 09-26-376-005 (PARCEL 3)  
 09-35-126-010 (PARCEL 4)  
 09-26-377-004 (PARCEL 5)

# PRELIMINARY PLAT OF SUBDIVISION OF MUNHALL GLEN SUBDIVISION



- LEGEND**
- = PROPERTY LINE
  - = LOT LINE
  - - - = EX. EASEMENT LINE
  - - - - = BUILDING SETBACK LINE
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  - (X)X(X) = RECORD INFORMATION
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**ENGINEERING**  
 RESOURCE ASSOCIATES  
 3300 WEST AVENUE, SUITE 100  
 CHICAGO, ILLINOIS 60659  
 PHONE (773) 374-1000  
 FAX (773) 374-1000  
 www.resourceassociates.com



**AIRHART CONSTRUCTION**

**MUNHALL GLEN SUBDIVISION**  
 ST. CHARLES, IL

DATE	07/25/2020
PROJECT	MUNHALL GLEN SUBDIVISION
DESCRIPTION	
DATE	07/25/2020
PROJECT #	190726.00
DRAWN BY	C. OMB
CHECKED BY	B.M.
APPROVED BY	C.C.C.

**CAMBRIDGE PHASE NO.1**  
 RECORDED FEBRUARY 10, 2019 AS DOCUMENT NUMBER 134980  
 CERTIFICATE OF CORRECTION RECORDED MAY 10, 1977 AS DOCUMENT NUMBER 140492



# Floor Plans GARDEN SERIES

---



**AIRHART CONSTRUCTION**  
*"Building a Better Tomorrow"*



**AIRHART CONSTRUCTION**  
*"Building a Better Tomorrow"*

**The Hemsley Ranch**



## The Hemsley Ranch

Garden series - 1664

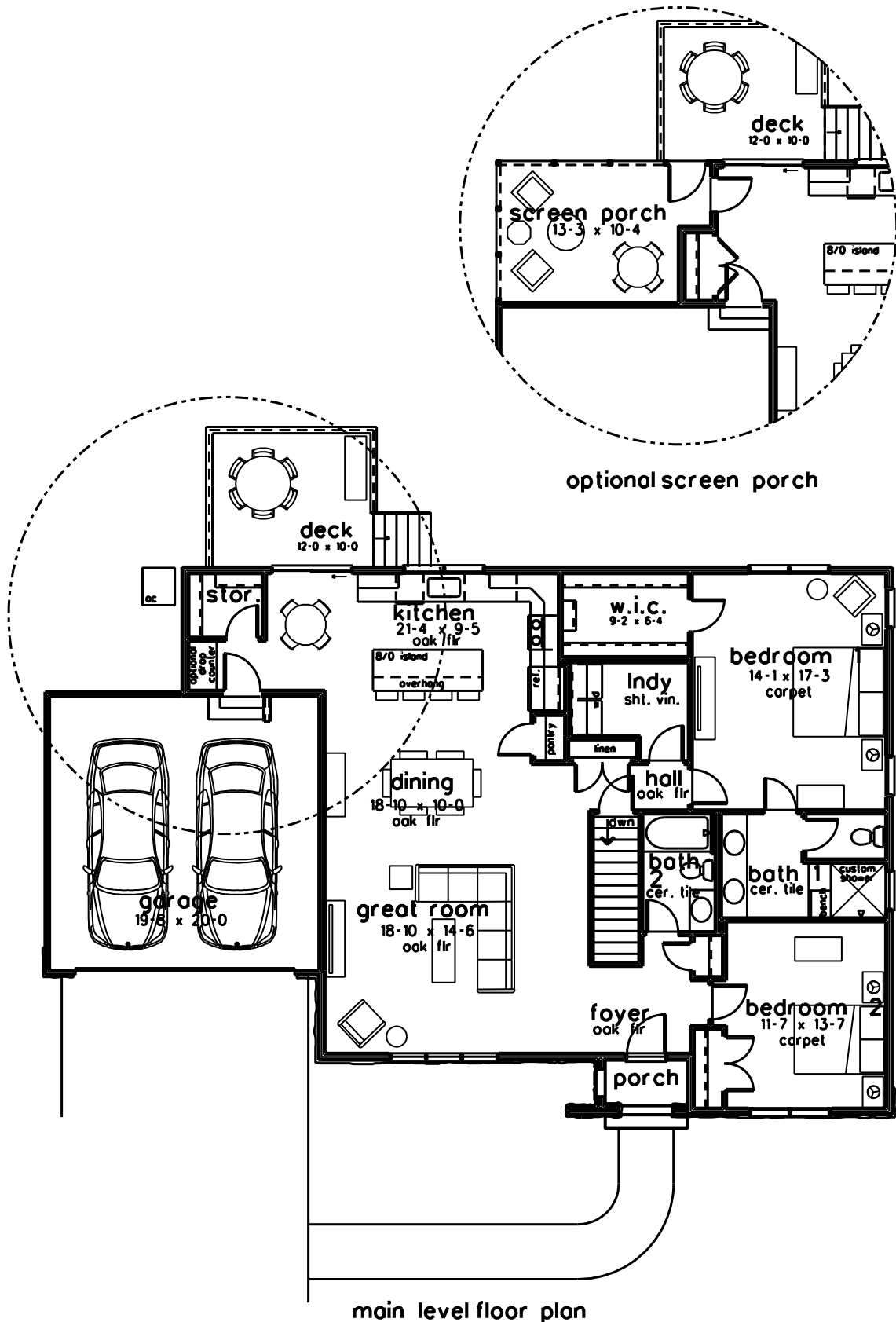
The Hemsley's charming exterior welcomes you to this home through a covered entry. Entering through the foyer into the expansive great room, the open floor plan allows for easy entertaining. The kitchen and breakfast area open to the rear yard and are located close to the rear entry. This entry includes space for a drop zone as well as a "Costco" sized storage room.

### FEATURES:

- Foyer: Includes a coat closet, oak flooring, and opens to the great room
- Great Room: This room is bathed in natural light through three large windows, includes oak flooring and is open to the dining room
- Dining Room: Includes oak flooring and is open to the great room and kitchen
- Kitchen: Includes an expansive island, oak flooring, custom cabinetry, stainless steel appliances, pantry, granite counter tops with a stainless steel sink overlooking the rear yard, and space for a breakfast table.
- Rear Entry: Includes an expansive walk in closet for coats and "Costco" purchases, a perfect spot for a drop zone and is ideally located near kitchen
- Bedroom 1: The master bedroom suite showcases four bright windows and an expansive walk in closet
- Bathroom 1: Private bath suite boasts a water closet, two sinks in a large vanity and a custom shower with tile floors and walls with a high set window
- Bathroom 2: Full bathroom located discretely near bedroom 2
- Bedroom 2/Flex: This room includes a large closet, double windows overlooking the front yard and could be used as a home office
- Laundry Room: Large centrally located laundry room provides easy access with linen closet located close by in hallway
- Nine foot ceilings throughout the main level
- Optional Deck: 12'0" x 10'0" deck provides enjoyable outdoor space in private back yard
- 2 car attached garage
- Full basement
- Optional 2nd floor available which includes loft, bathroom, and 2 additional bedrooms
- Artist renderings and floor plans are for illustration purposes, changes or modifications may occur without notice.



**(630) 293-3000**  
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**The Hemsley - 2 Story**



## The Hemsley - 2 Story

Garden series - 2556

The Hemsley's charming exterior welcomes you to this home through a covered entry. Entering through the foyer into the expansive great room, the open floor plan allows for easy entertaining. The kitchen and breakfast area open to the rear yard and are located close to the rear entry. This entry includes space for a drop zone as well as a "Costco" sized storage room.

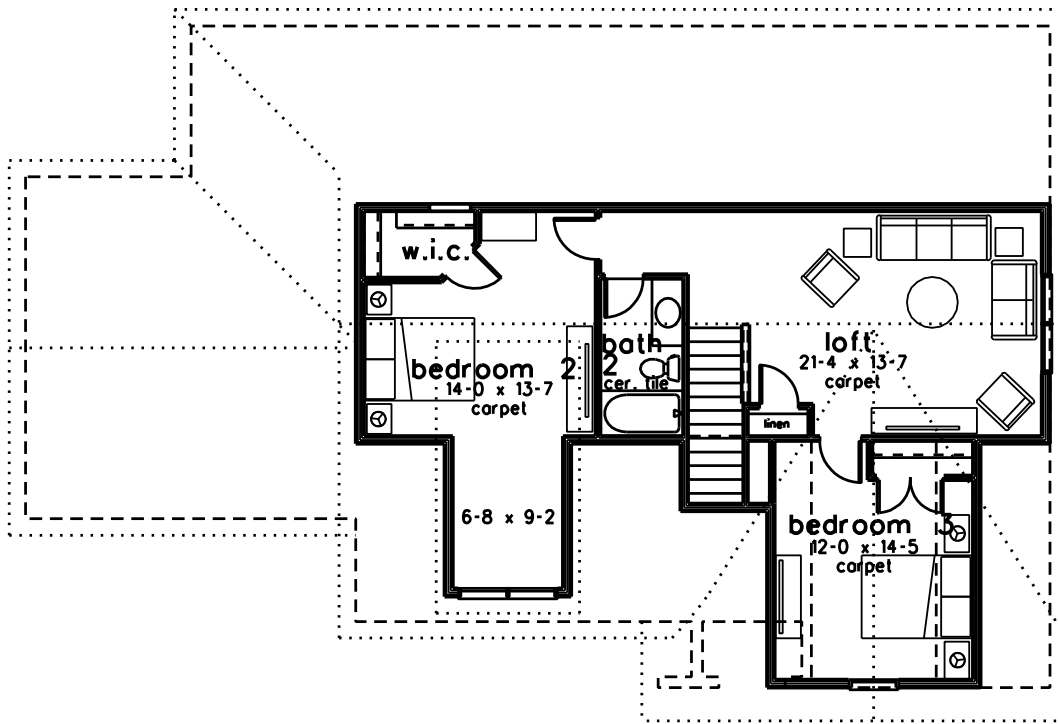
The upper level includes a spacious loft as well as 2 additional bedrooms and full bathroom.

### FEATURES:

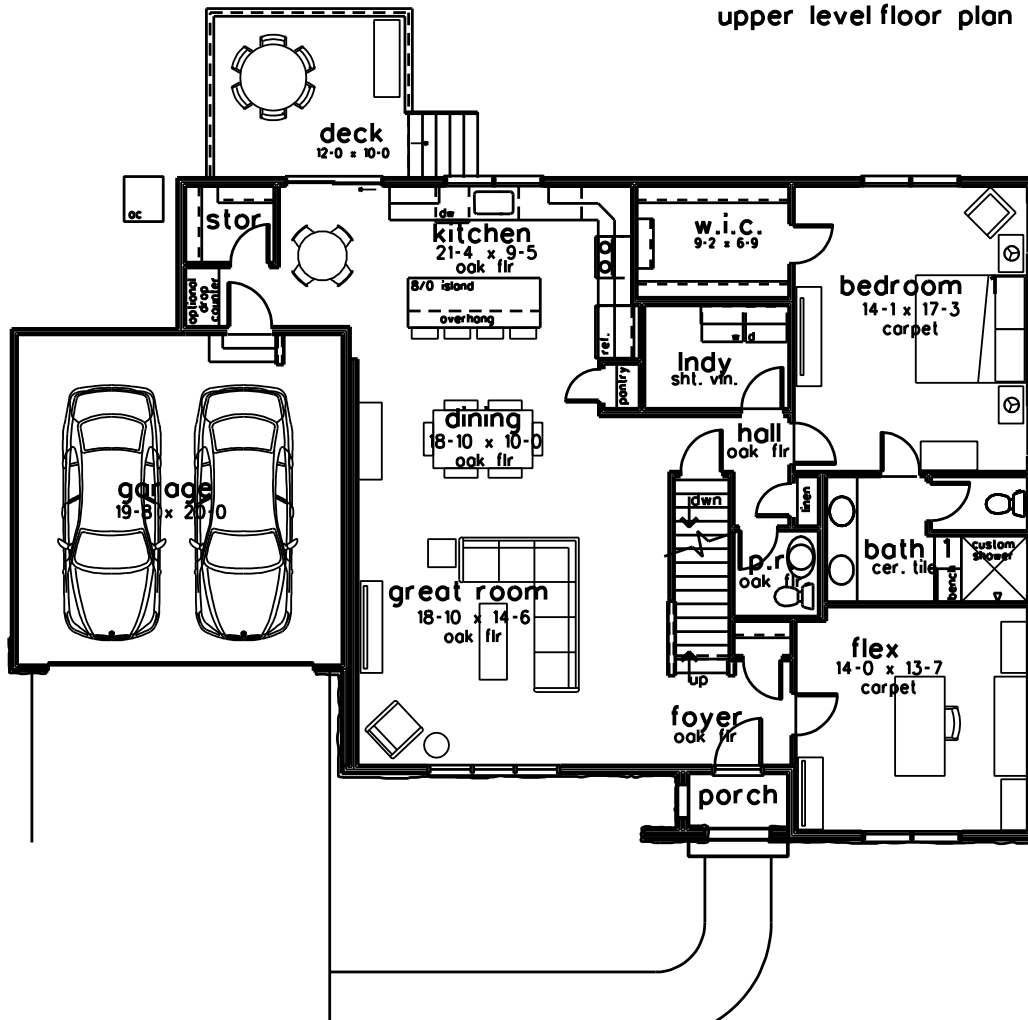
- Foyer: Includes a coat closet, oak flooring, and opens to the great room
- Great Room: This room is bathed in natural light through three large windows, includes oak flooring and is open to the dining room
- Dining Room: Includes oak flooring and is open to the great room and kitchen
- Kitchen: Includes an expansive island, oak flooring, custom cabinetry, stainless steel appliances, pantry, granite counter tops with a stainless steel sink overlooking the rear yard, and space for a breakfast table.
- Rear Entry: Includes an expansive walk in closet for coats and "Costco" purchases, a perfect spot for a drop zone and is ideally located near kitchen
- Bedroom 1: The master bedroom suite showcases four bright windows and an expansive walk in closet
- Bathroom 1: Private bath suite boasts a water closet, two sinks in a large vanity and a custom shower with tile floors and walls with a high set window
- Powder Room: Located discretely or rear hall with pedestal vanity
- Office/Flex: This multi-use room can be used as home office, overflow bedroom, TV room, etc.
- Laundry Room: Large centrally located laundry room provides easy access with linen closet located close by in hallway
- Nine foot ceilings throughout the main level
- Loft: This open space offers a lot of options, such as a great art studio, computer room, craft space, game room, etc. Includes large linen closet for storage. This space also could be turned into a 4th bedroom!
- Bedroom 2: Includes walk-in closet and large sitting area overlooking front yard through 2 large windows
- Bedroom 3: Includes large closet and window overlooking front yard
- Bath 2: Full bath with easy access from bedrooms 2, 3 and loft
- Optional Deck: 12'0" x 10'0" deck provides enjoyable outdoor space in private back yard
- 2 car attached garage
- Full basement
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upper level floor plan







**AIRHART CONSTRUCTION**  
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**The St. James Ranch**



## The St. James

Garden series - 1915

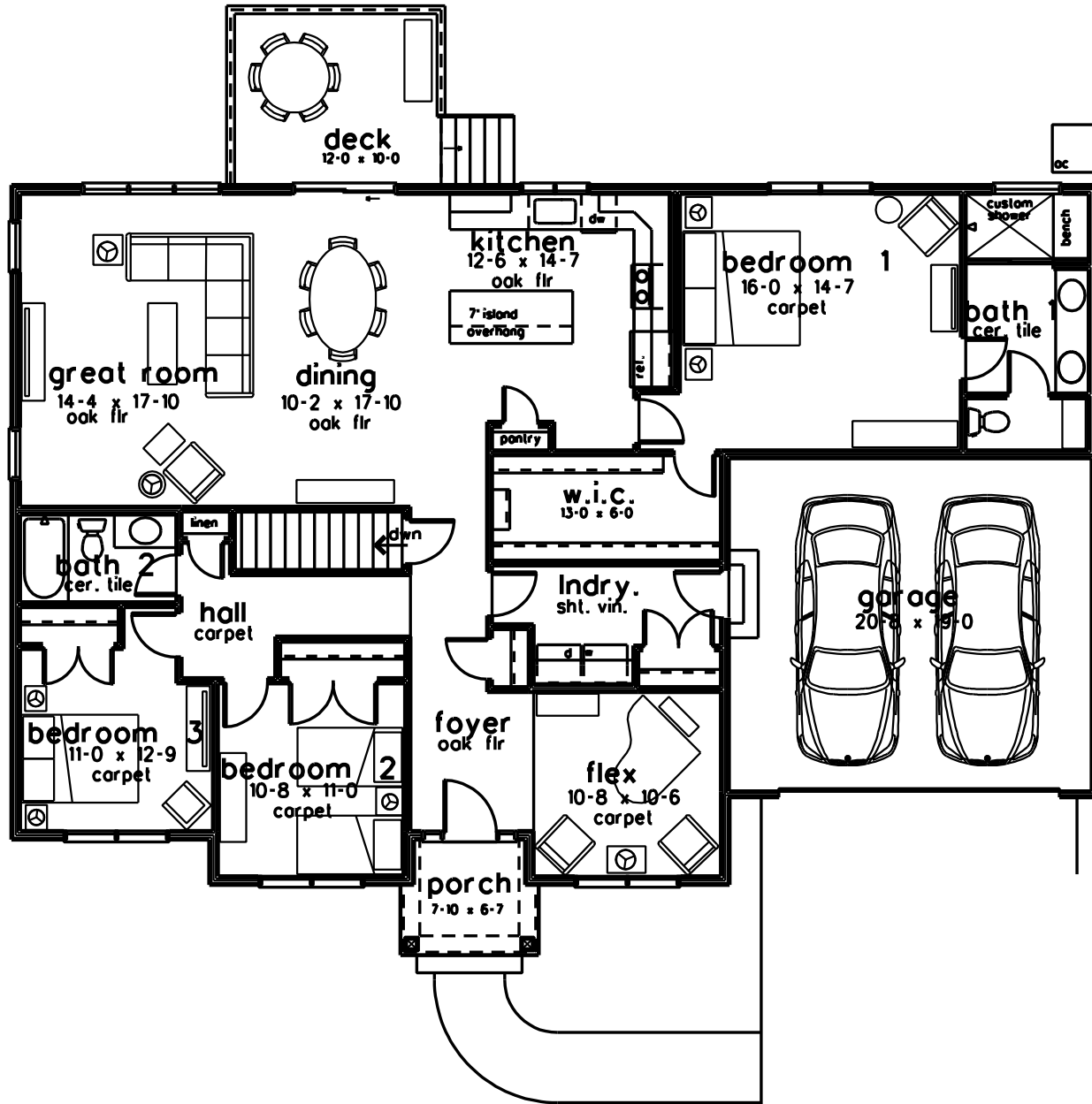
The St. James delivers ample amenities within a very comfortable floor plan. Entering from the porch, the foyer welcomes you, and provides views into the den which is large enough to hold a piano, or can function as an office away from the household business. The rear of the home provides plenty of light filled living space. The kitchen, dining, and great room are open to each other, all with views of the rear yard. The master bedroom suite is expansive and has all the features you would want. Two additional bedrooms and a full bathroom complete this home.

### FEATURES:

- Porch: Covered porch welcomes your guests to the home.
- Foyer: Includes coat closet, oak flooring, plenty of light, and opens to the den.
- Den: Provides a welcoming space for a seating area or home office and is large enough for a piano
- Great Room: Includes oak floor, three large windows overlooking the rear yard, and is open to the kitchen and dining room
- Dining Room: Includes oak flooring and overlooks the rear yard through large sliding glass doors which provide easy access to the rear deck
- Kitchen: Includes a spacious island, oak flooring, custom cabinetry, stainless steel appliances, pantry, and granite counter tops with stainless steel sink overlooking the backyard through 2 windows.
- Laundry Room: Laundry room is centrally located, includes coat closet and provides access to garage.
- Bedroom 1: The large master bedroom suite showcases 2 bright windows overlooking the rear yard and an expansive walk-in closet
- Bathroom 1: Private bath suite boasts a water closet, two sinks in a large vanity and a custom shower with tiled floors and walls and a high set window
- Bathroom 2: Full bathroom located discretely off the hall near bedroom 2 and 3
- Bedroom 2: This bedroom includes a large closet and double windows overlooking the front yard
- Bedroom 3: This bedroom includes a large closet and double windows overlooking the front yard
- Nine foot ceilings throughout
- Optional Deck: 12'0" x 10'0" deck provides enjoyable outdoor space in private back yard
- 2 car attached garage
- Full basement
- Artist renderings and floor plans are for illustration purposes only, changes or modifications may occur without notice.



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main level floor plan



**AIRHART CONSTRUCTION**  
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**The Macrae Ranch**



## The Macrae Ranch

Garden series - 1635

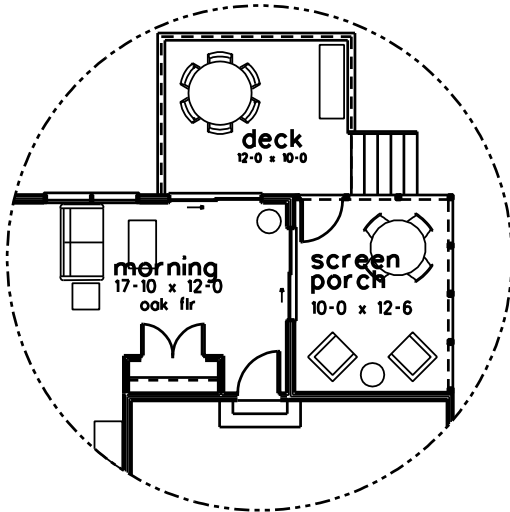
The Macrae's large front porch adds charm to the striking design of this ranch home. The open floor plan is ideally suited for easy living. With ample storage, great living spaces, and laundry room just in the right location, this home lives large.

### FEATURES:

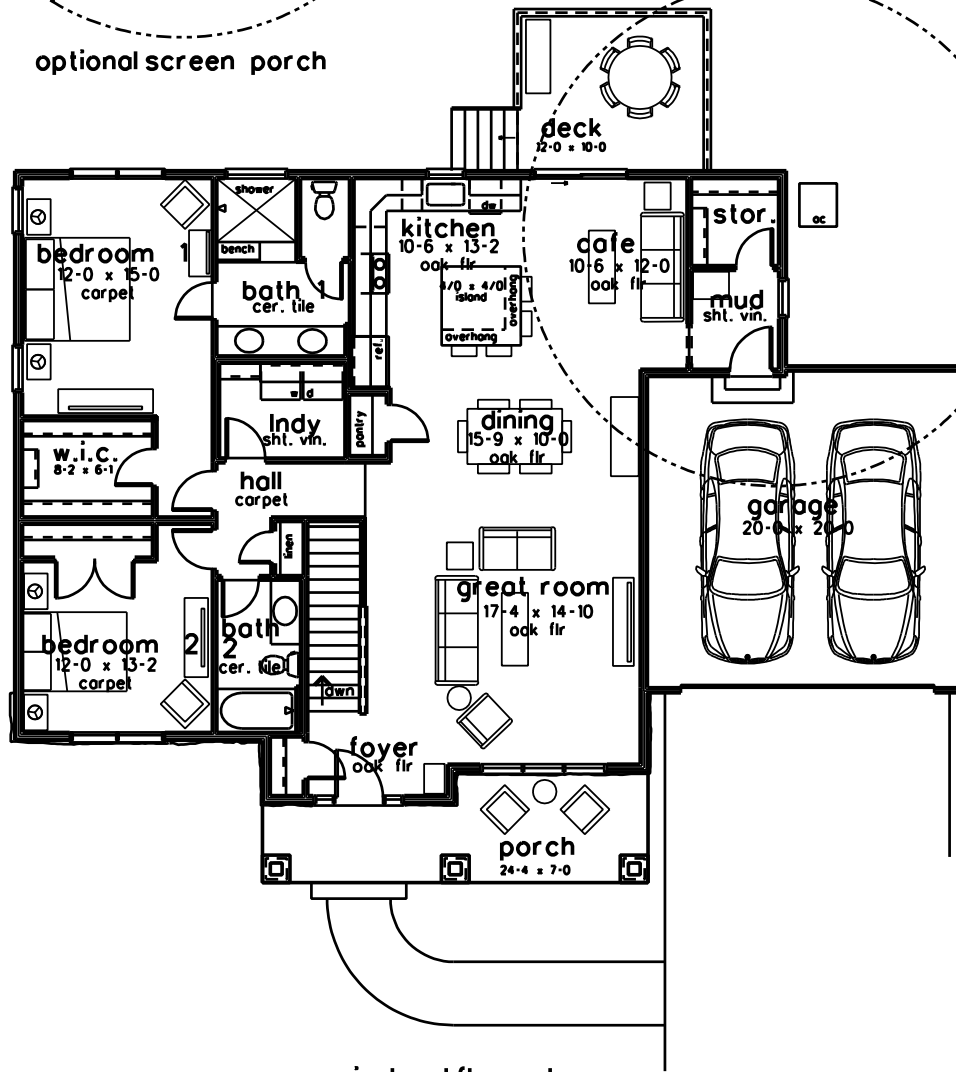
- Porch: The generous covered front porch welcomes you to the home and provides plenty of room for seating
- Foyer: Includes a coat closet, oak flooring, and opens to the great room
- Great Room: Includes three large windows overlooking the front porch, oak flooring, and is open to the dining room
- Dining Room: Includes oak flooring and is open to the great room and kitchen
- Kitchen: Includes expansive island with seating on 2 sides, oak flooring, custom cabinetry, stainless steel appliances, pantry, and granite counter tops with stainless steel sink overlooking rear yard
- Sitting Room: This sunny multi use room, which can be used as a breakfast area, is open to the kitchen and leads to deck overlooking rear yard, includes oak flooring
- Mud Room: Light filled entry from garage includes an expansive walk in closet for coats and "Costco" purchases and is ideally located near kitchen
- Bedroom 1: The master bedroom suite showcases four bright windows and an expansive walk in closet
- Bathroom 1: Private bath suite boasts a water closet, two sinks in a large vanity and a custom shower with tile floors and walls, and a high set window
- Bathroom 2: Full bathroom located discretely off the hall
- Bedroom 2: This room includes a large closet, double windows overlooking the front yard, and could be used as a home office
- Laundry Room: Large centrally located laundry room provides easy access with linen closet located close by in hallway
- Nine foot ceilings throughout the main level
- Optional Deck: 12'0" x 10'0" deck provides enjoyable outdoor space in private back yard
- 2 car attached garage
- Full basement
- Optional 2nd floor available which includes loft, bathroom and additional bedroom
- Artist renderings and floor plans are for illustration purposes only, changes or modifications may occur without notice.



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optional screen porch



main level floor plan



## The Macrae - 2 Story

Garden series - 2295

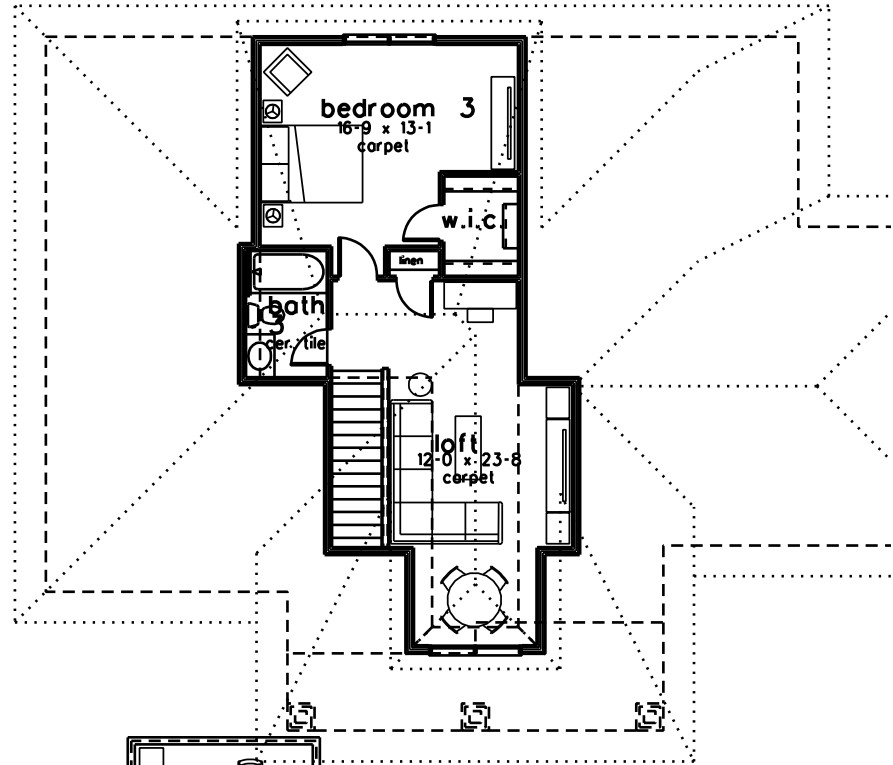
The Macrae's large front porch adds charm to the striking design of this ranch home. The open floor plan is ideally suited for easy living. With ample storage, great living spaces, and laundry room just in the right location, this home lives large. The upper level includes an additional bedroom and loft space for home office, art studio, etc.

### FEATURES:

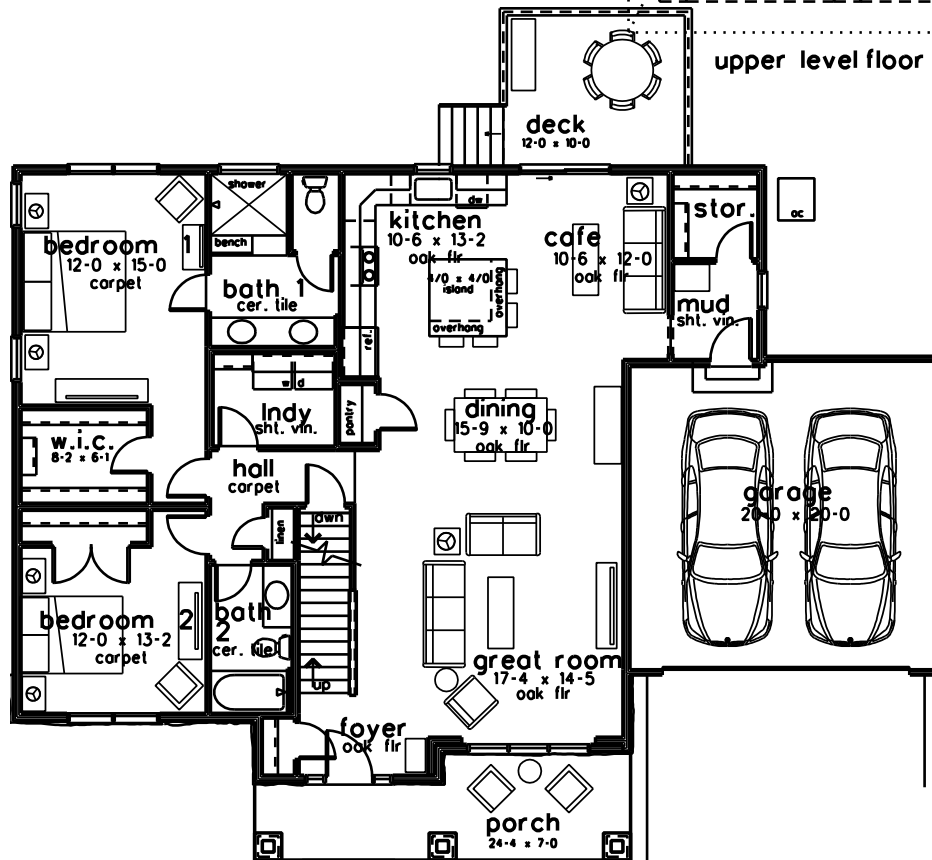
- Porch: The generous covered front porch welcomes you to the home and provides plenty of room for seating
- Foyer: Includes a coat closet, oak flooring, and opens to the great room
- Great Room: Includes three large windows overlooking the front porch, oak flooring, and is open to the dining room
- Dining Room: Includes oak flooring and is open to the great room and kitchen
- Kitchen: Includes expansive island with seating on 2 sides, oak flooring, custom cabinetry, stainless steel appliances, pantry, and granite counter tops with stainless steel sink overlooking rear yard
- Sitting Room: This sunny multi use room, which can be used as a breakfast area, is open to the kitchen and leads to deck overlooking rear yard, includes oak flooring
- Mud Room: Light filled entry from garage includes an expansive walk in closet for coats and "Costco" purchases and is ideally located near kitchen
- Laundry Room: Large centrally located laundry room provides easy access with linen closet located close by in hallway
- Bedroom 1: The master bedroom suite showcases four bright windows and an expansive walk in closet
- Bathroom 1: Private bath suite boasts a water closet, two sinks in a large vanity and a custom shower with tile floors and walls, and a high set window
- Bathroom 2: Full bathroom located discretely off the hall
- Bedroom 2: This room includes a large closet, double windows overlooking the front yard, and could be used as a home office
- Loft: This open space offers a lot of options, such as a great art studio, computer room, craft space, game room, etc. Includes large linen closet for storage. This space also could be turned into a 4th bedroom!
- Bedroom 3: Includes walk-in closet, this bedroom overlooks the rear yard through 2 large windows
- Bath 3: Full bath with easy access from bedroom 3 and loft
- Nine foot ceilings throughout the main level
- Optional Deck: 12'0" x 10'0" deck provides enjoyable outdoor space in private back yard
- 2 car attached garage
- Full basement
- Artist renderings and floor plans are for illustration purposes only, changes or modifications may occur without notice.



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upper level floor plan



main level floor plan



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**The Cloverdale**



## The Cloverdale Ranch

Garden series - 1915

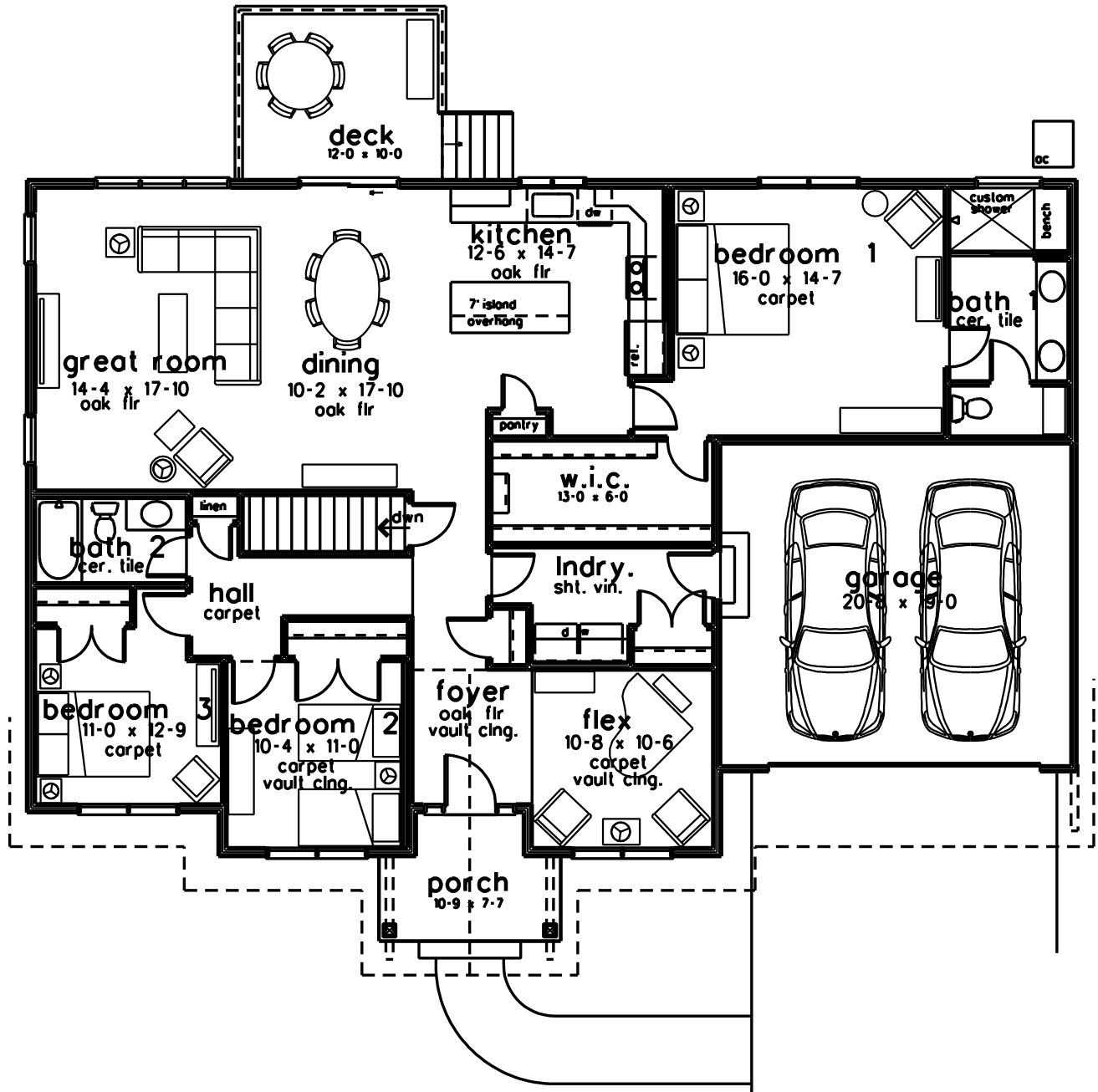
The Cloverdale delivers ample amenities with extra glass and a modern elevation. Entering from the porch, the foyer welcomes you, and provides views into the den which is large enough to hold a piano, or can function as an office away from the household business. The rear of the home provides plenty of light filled living space. The kitchen, dining, and great room are open to each other, all with views of the rear yard. The master bedroom suite is expansive and has all the features you would want. Two additional bedrooms and a full bathroom complete this home.

### FEATURES:

- Porch: Covered porch welcomes your guests to the home.
- Foyer: Includes coat closet, oak flooring, plenty of light, and opens to the den.
- Den: Provides a welcoming space for a seating area or home office and is large enough for a piano
- Great Room: Includes oak floor, three large windows overlooking the rear yard, and is open to the kitchen and dining room
- Dining Room: Includes oak flooring and overlooks the rear yard through large sliding glass doors which provide easy access to the rear deck
- Kitchen: Includes a spacious island, oak flooring, custom cabinetry, stainless steel appliances, pantry, and granite counter tops with stainless steel sink overlooking the backyard through 2 windows.
- Laundry Room: Laundry room is centrally located, includes coat closet and provides access to garage.
- Bedroom 1: The large master bedroom suite showcases 2 bright windows overlooking the rear yard and an expansive walk-in closet
- Bathroom 1: Private bath suite boasts a water closet, two sinks in a large vanity and a custom shower with tiled floors and walls and a high set window
- Bathroom 2: Full bathroom located discretely off the hall near bedroom 2 and 3
- Bedroom 2: This bedroom includes a large closet and double windows overlooking the front yard
- Bedroom 3: This bedroom includes a large closet and double windows overlooking the front yard
- Nine foot ceilings throughout
- Optional Deck: 12'0" x 10'0" deck provides enjoyable outdoor space in private back yard
- 2 car attached garage
- Full basement
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main level floor plan





## The Leyland Ranch

Garden series - 1785

The Leyland's single story provides an ease of living with its open floor plan and well designed spaces. The large kitchen is open to the great room and dining room which look out through expansive windows to the back yard. Just off the dining area is ample storage and easy access to the laundry room as well as an innovative pocket office.

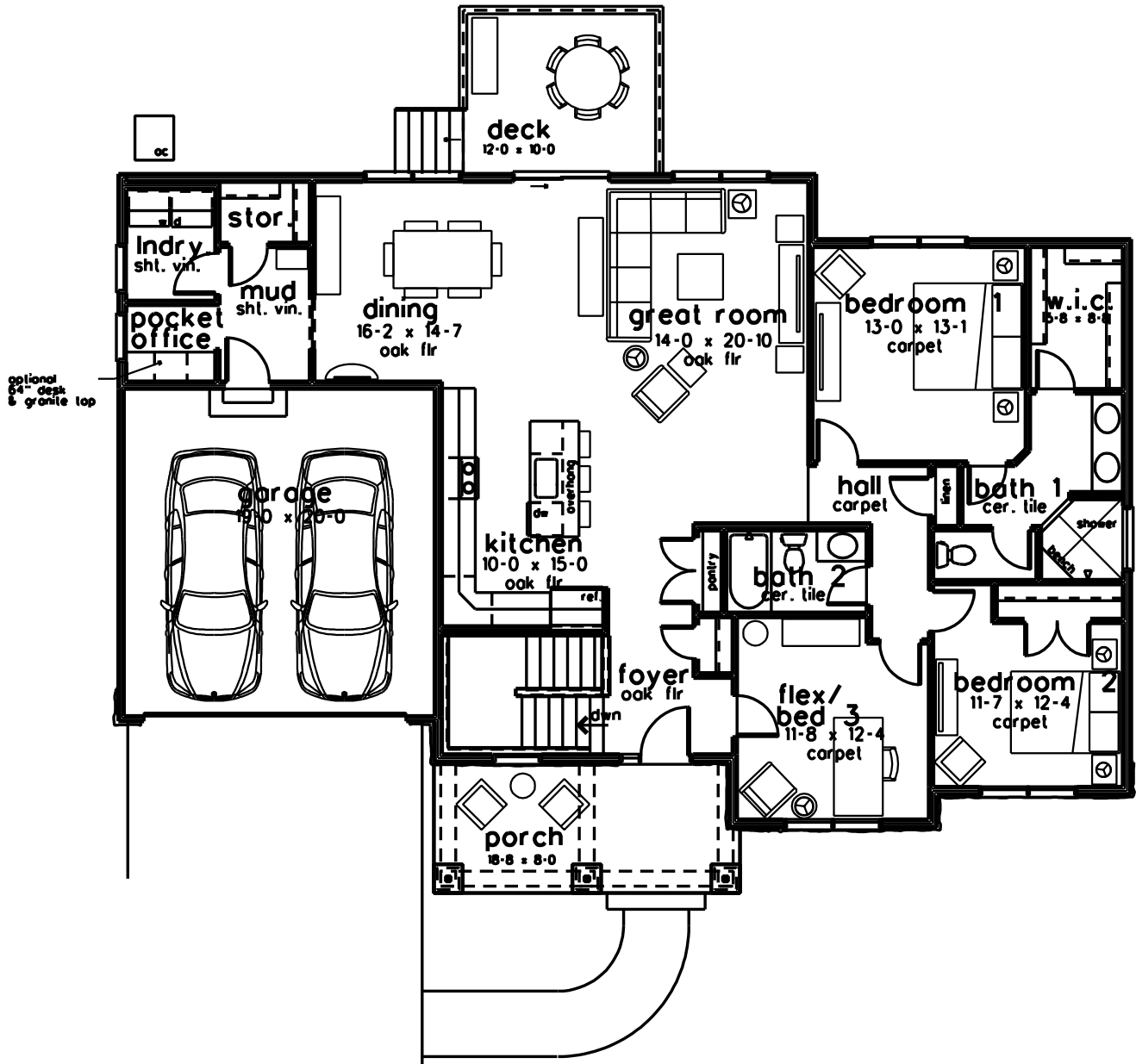
This inviting floor plan, including master bedroom and 2 additional bedrooms, has everything you need.

### FEATURES:

- Porch: The expansive covered porch welcomes you to the home and provides plenty of room for seating
- Foyer: Includes coat closet, oak flooring, plenty of light and open stairs to the lower level
- Great Room: Includes oak floor, two large windows overlooking the rear yard, and open to the kitchen and dining room; perfect for entertaining
- Dining Room: This large space is open to the great room and includes oak flooring with views and access to the rear yard
- Kitchen: Boasts expansive island with sink overlooking the great room, oak flooring, custom cabinetry, stainless steel appliances, large pantry, and granite counter tops with stainless steel sink
- Pocket Office: This clever use of space located off the rear hall provides the perfect area to handle the busyness of life
- Laundry Room: Light filled laundry room off the rear hall is ideally located near kitchen
- Mud Room: Includes an expansive walk in closet for coats and "Costco" purchases and is ideally located near kitchen
- Bedroom 1: The master bedroom suite showcases 2 bright windows overlooking the rear yard
- Bathroom 1: Private bath suite boasts a water closet, two sinks in a large vanity, custom corner shower with tile floors and walls, a high set window, and a large walk in closet
- Bathroom 2: Full bathroom located discretely off the hall near bedroom 2 and the office/flex room
- Bedroom 2: This bedroom includes a large closet and double windows overlooking the front yard
- Office/Flex/Bedroom 3: This space provides plenty of possibilities and can be used as home office, bedroom, TV room, etc.
- Nine foot ceilings throughout
- Optional Deck: 12'0" x 10'0" deck provides enjoyable outdoor space in private back yard
- 2 car attached garage
- Full basement
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**main level floor plan**



## The Avery Ranch

Garden series - 1915

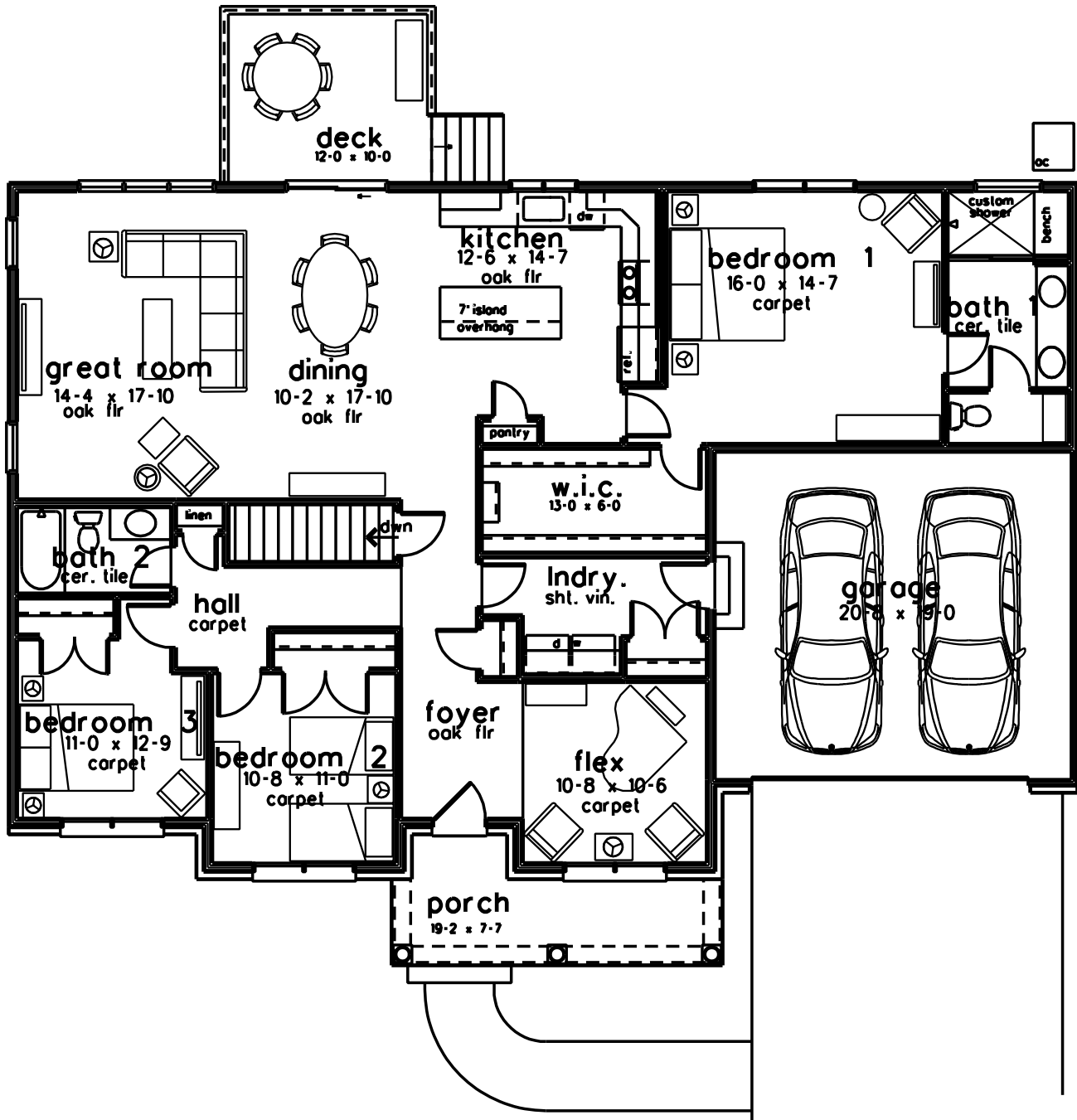
The Avery delivers ample amenities with a traditional brick elevation. Entering from the porch, the foyer welcomes you, and provides views into the den which is large enough to hold a piano, or can function as an office away from the household business. The rear of the home provides plenty of light filled living space. The kitchen, dining, and great room are open to each other, all with views of the rear yard. The master bedroom suite is expansive and has all the features you would want. Two additional bedrooms and a full bathroom complete this home.

### FEATURES:

- Porch: Covered porch welcomes your guests to the home.
- Foyer: Includes coat closet, oak flooring, plenty of light, and opens to the den.
- Den: Provides a welcoming space for a seating area or home office and is large enough for a piano
- Great Room: Includes oak floor, three large windows overlooking the rear yard, and is open to the kitchen and dining room
- Dining Room: Includes oak flooring and overlooks the rear yard though large sliding glass doors which provide easy access to the rear deck
- Kitchen: Includes a spacious island, oak flooring, custom cabinetry, stainless steel appliances, pantry, and granite counter tops with stainless steel sink overlooking the backyard through 2 windows.
- Laundry Room: Laundry room is centrally located, includes coat closet and provides access to garage.
- Bedroom 1: The large master bedroom suite showcases 2 bright windows overlooking the rear yard and an expansive walk-in closet
- Bathroom 1: Private bath suite boasts a water closet, two sinks in a large vanity and a custom shower with tiled floors and walls and a high set window
- Bathroom 2: Full bathroom located discretely of the hall near bedroom 2 and 3
- Bedroom 2: This bedroom includes a large closet and double windows overlooking the front yard
- Bedroom 3: This bedroom includes a large closet and double windows overlooking the front yard
- Nine foot ceilings throughout
- Optional Deck: 12'0" x 10'0" deck provides enjoyable outdoor space in private back yard
- 2 car attached garage
- Full basement
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main level floor plan



## The Chestnut Hill

Garden series - 2751

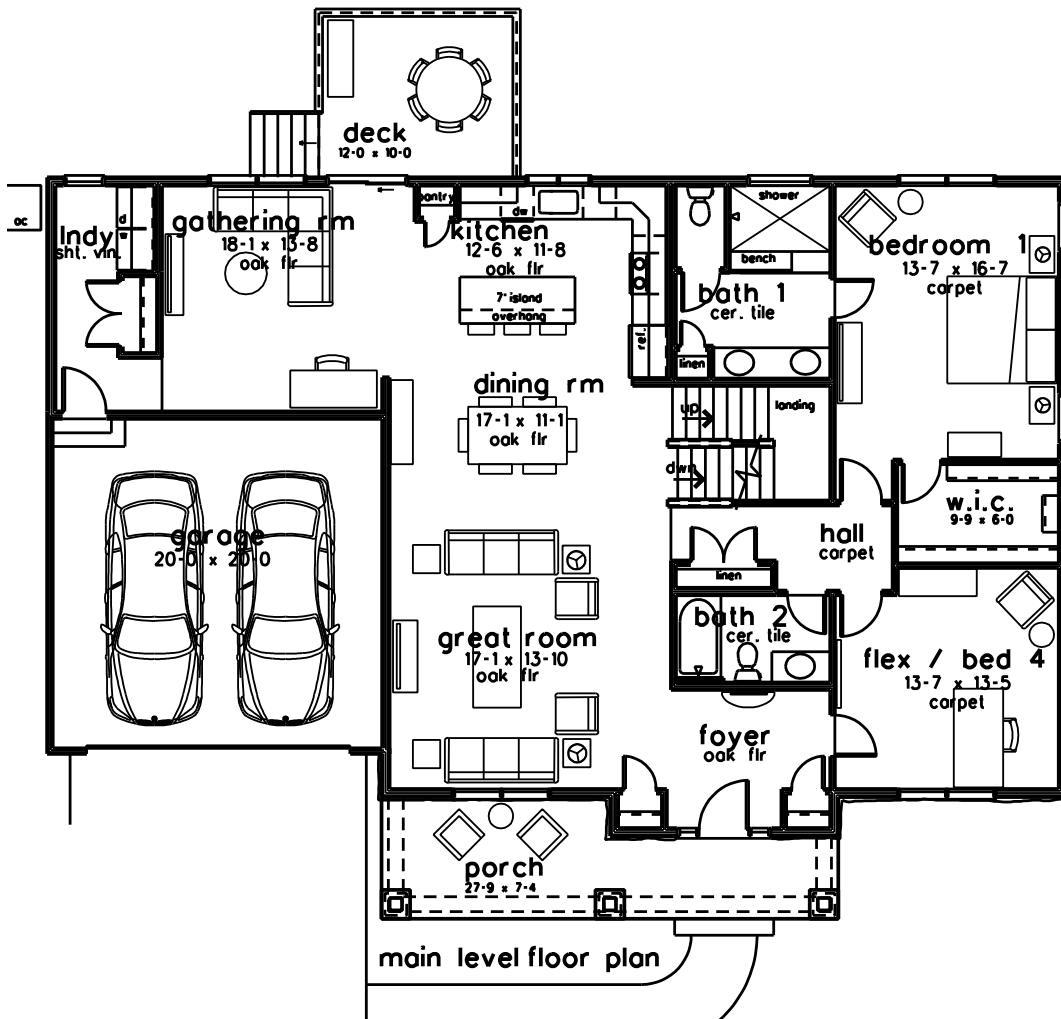
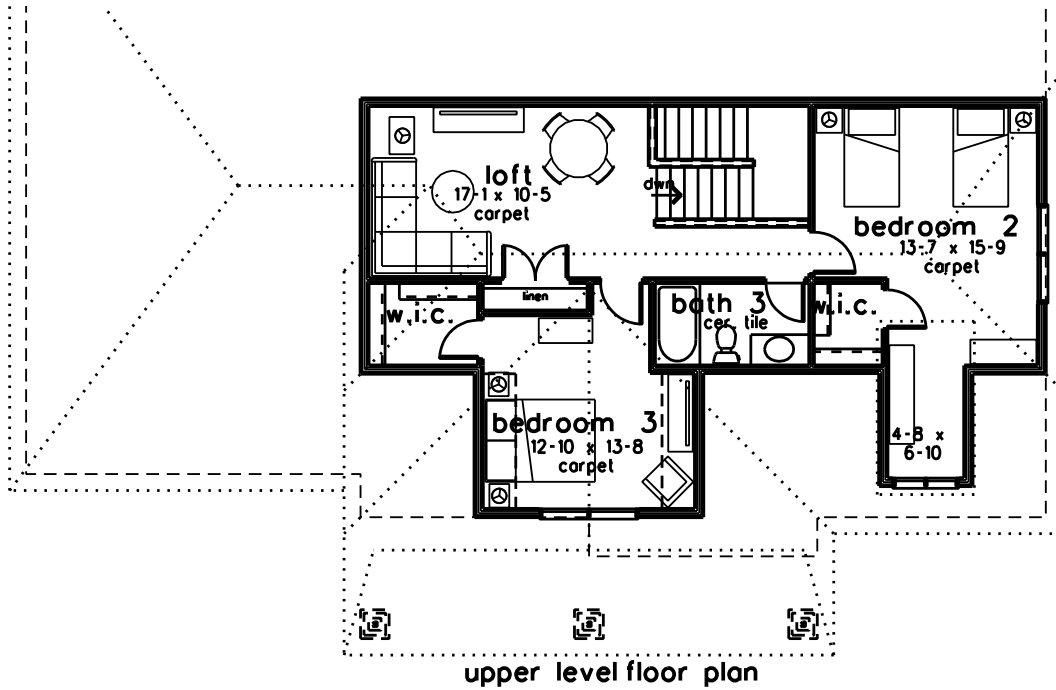
The Chestnut Hill's large front porch and craftsman exterior invite you into this home. The main level provides plenty of opportunity for entertaining with its wide open floor plan as well as providing cozy, personal spaces. The office provides a private place to get away. The master bedroom and luxurious master bath complete the main floor. The upper level includes a spacious loft as well as 2 additional bedrooms and full bathroom.

### FEATURES:

- Covered Front Porch: Welcomes you to the home and provides plenty of room for seating
- Foyer: Expansive foyer includes 2 coat closets and oak flooring
- Great Room: Includes two large windows overlooking the front porch and oak flooring
- Dining Room: Includes oak flooring is open to the great room and kitchen
- Kitchen: Boasts expansive island, oak flooring, custom cabinetry, stainless steel appliances, and granite counter tops with stainless steel sink which overlooks the rear yard through 2 windows.
- Gathering Room: This sunny multi-use room is open to the kitchen, looks out onto the rear yard, and includes oak flooring
- Laundry Room: Light filled laundry room includes rear hall closet and is ideally located near kitchen
- Bedroom 1: The master bedroom suite showcases four bright windows and an expansive walk in closet
- Bathroom 1: Private bath suite boasts a water closet, two sinks on a large vanity, custom shower with tiled floor and walls and a high set window, and a linen closet for extra storage
- Office/Flex: This dual-use space can be used as home office, overflow bedroom, TV room, etc.
- Bathroom 2: Full bathroom located discretely off the rear hall near office/flex room with a large linen closet near by
- Nine foot ceilings throughout the main level
- Loft: This open space provides lots of options from a great art studio, computer room, craft space, game room, etc. includes large linen closet for storage
- Bedroom 2: This bright room includes a walk in closet, 2 sets of double windows, and a fun nook overlooking the front yard
- Bedroom 3: Includes a large double window and a walk-in closet
- Bath 3: Full bath with easy access from bedrooms 2 & 3
- Optional Deck: 12'0" x 10'0" provides enjoyable outdoor space in private back yard
- 2 car attached garage
- Full basement
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# Premier Series Floor Plans



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**The Carlton**



## The Carlton

Premier Series—1924

*This traditional style home offers exceptional living and entertaining opportunities. The open kitchen serves as an excellent gathering area with easy access to the great room and dining. A covered entry with porch, shown with the stone option, provides a warm and inviting exterior.*

### FEATURES:

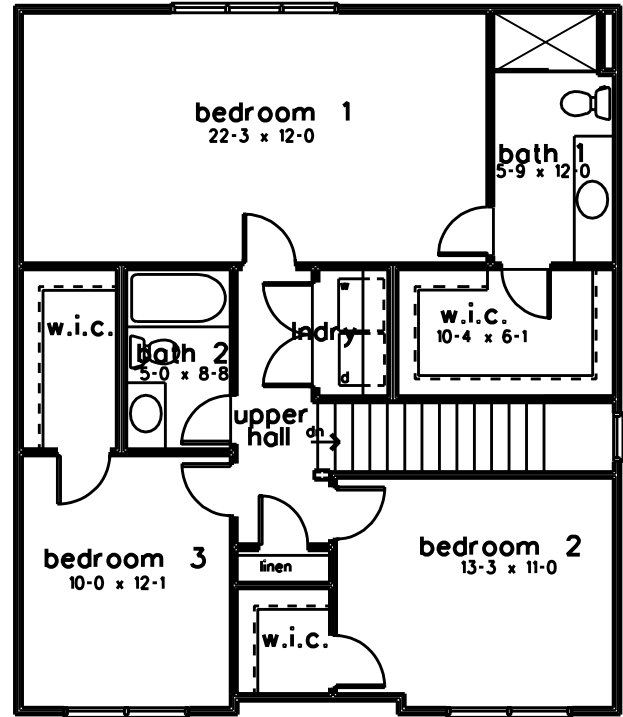
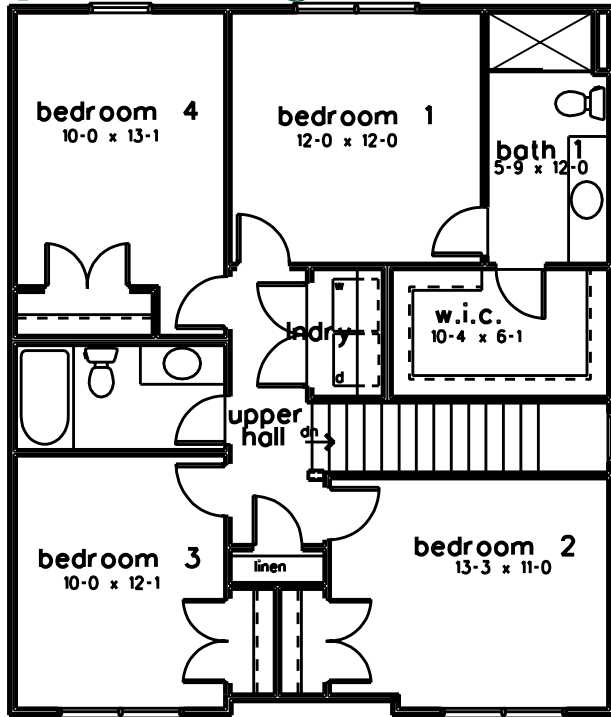
- Foyer: spacious entry with closet and open views to the den
  - Den: 11'9" x 10'4" a spacious first floor room with large windows overlooking the front porch
  - Great Room: 18' x 18'2" this generous room boasts triple windows, creating a light-filled room
  - Kitchen: 9'6" x 15'4" this wonderful family kitchen has an island with eating bar, windows over the sink, spacious walk-in pantry, custom crafted cabinetry and stainless steel appliances
  - Breakfast Room: 10'9" x 10'4" convenient access to the rear yard through the patio door
  - Powder Room: features a pedestal sink
  - Master Bedroom: 12' x 12' houses two large windows and a full bathroom
  - Master Bathroom: full bathroom and large 10'4" x 6' walk-in closet
  - Bedroom 2: 13'3" x 11' includes a closet and large windows
  - Bedroom 3: 10' x 12'1" includes a closet and large windows
  - Bedroom 4: 10' x 13'1" includes a closet and a window overlooking the backyard
  - Bath 2: full bathroom with a nearby linen closet
  - Second floor laundry room
  - 9' ceilings on the first floor
  - Full basement
  - 2 car attached garage (Shown with optional windows in the garage door)
- Artist renderings and floor plans are for illustration purposes, changes or modifications may occur without notice. Please review the Construction Standards and Energy Features brochure and contract blueprint for detailed information.



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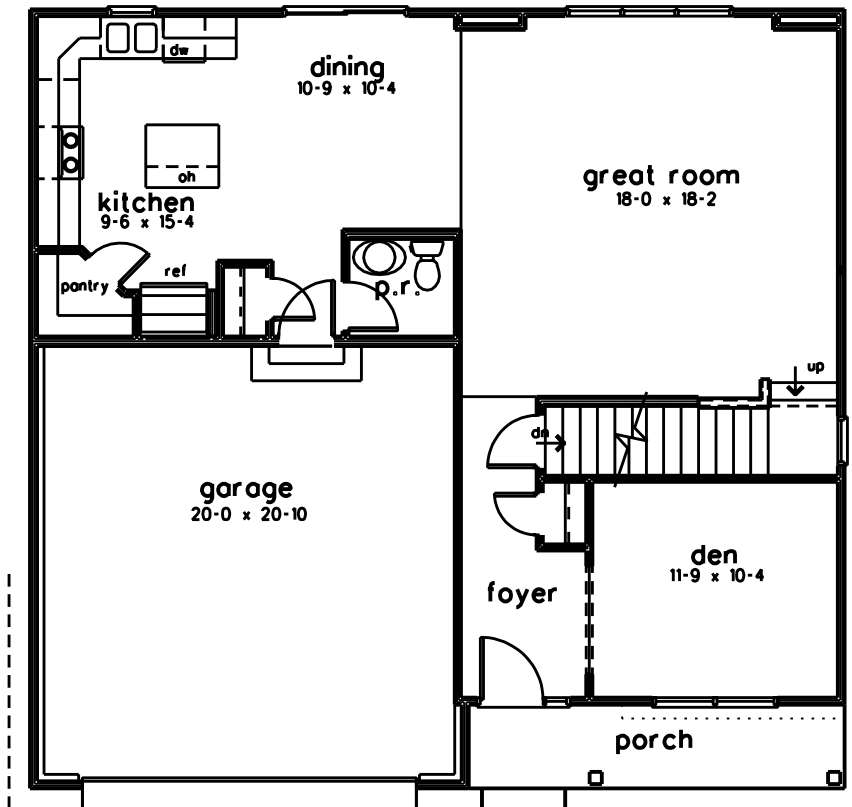
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UPPER LEVEL FLOOR PLAN

3 BEDROOM OPTION



MAIN LEVEL FLOOR PLAN



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**The Glen Arbor**



## **The Glen Arbor**

Premier Series—1700

*This innovative ranch design provides an abundance of bright sunny living areas and flexible multi-purpose rooms set in a dramatic open floor plan.*

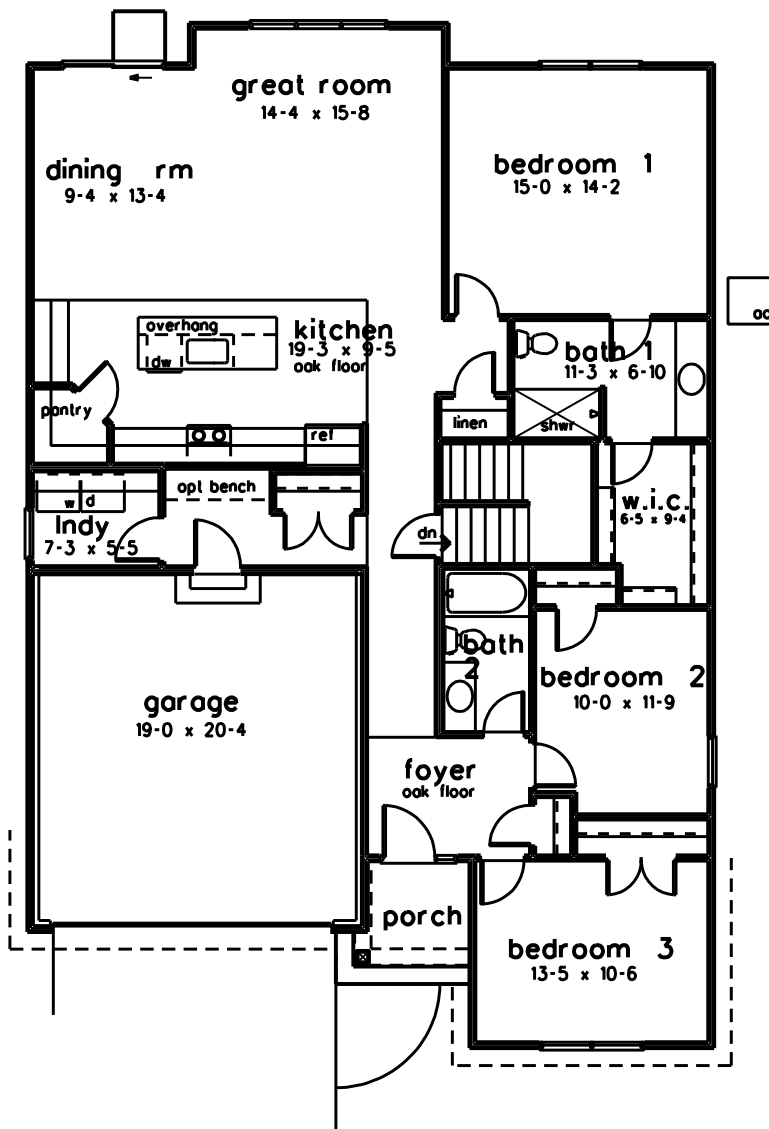
### **FEATURES:**

- Foyer: spacious and open entry with coat closet and 9' ceiling
- Bedroom 3: 13'5" x 10'6" features a large sunny windows at the front of the home perfect for a home office
- Bedroom 2: 10' x 11'9" quiet and private bedroom retreat with nearby full bathroom
- Bathroom 2: full bathroom near bedroom 2 and bedroom 3
- Great Room: 15'8" x 14'4" bright and airy room with 9' ceilings, and triple windows. This open layout provides plenty of entertainment opportunities.
- Dining room: 9'4" x 13'4" open to the kitchen and great room, may be formal or informal
- Kitchen: 19'3" x 9'5" features oak floors, stainless steel appliances, custom cabinets and a large pantry. The kitchen is open to the great room/dining room and includes a large bar top that is perfect for conversing while cooking
- Bedroom 1: 15' x 14'2" with 9' ceiling and views to rear yard
- Master Bathroom: with long vanity, spacious shower, and large walk-in closet
- Main floor laundry room
- Mud room with space for an optional bench and coat closet
- Two car attached garage
- Full basement
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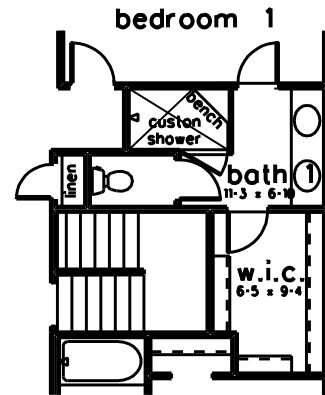


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main level floor plan



luxury bath option



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**The Sinclair**



## **The Sinclair**

Premier Series—2120

*This traditional home offers exceptional living and entertaining opportunities. The spacious kitchen serves as an excellent gathering area with easy access to the great room and breakfast room.*

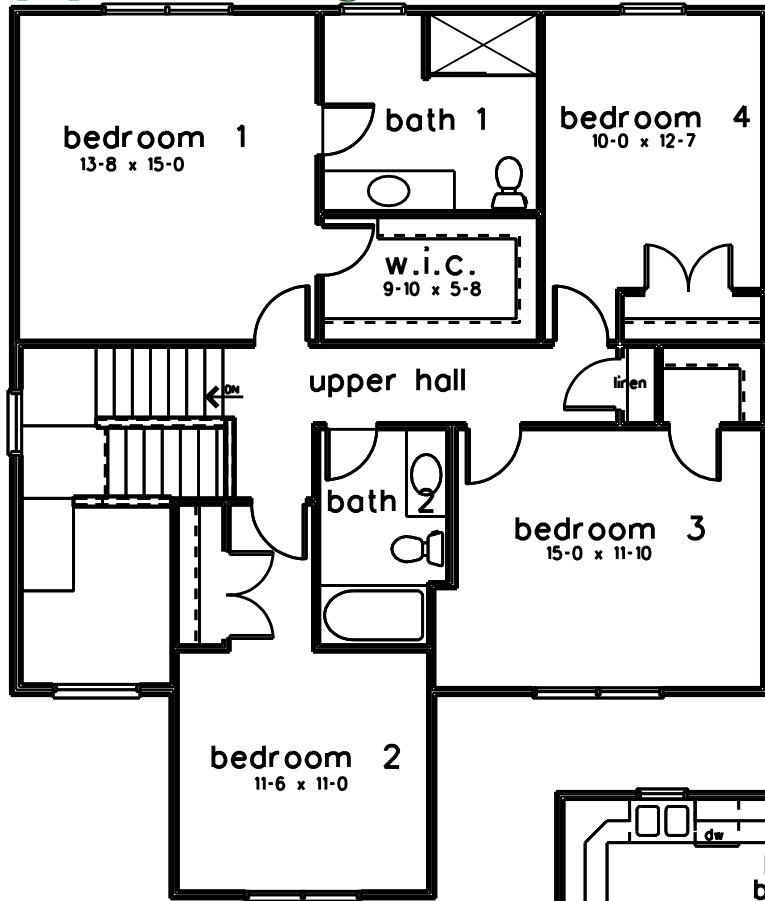
### **FEATURES:**

- Foyer: spacious entry is flooded with light from the soaring two-story ceiling, which holds a bright, large window
- Living Room/Den: 11'6" x 12' angled entry and large windows overlooking the front yard
- Family Room: 15' x 15' generous room boasting triple windows which create a sunny room
- Kitchen/Breakfast Room: 19'2" x 15' this wonderful kitchen has custom cabinetry, a large center island with eating bar, a walk-in pantry and stainless steel appliances. The spacious breakfast area is perfect for family gatherings, and has large sliding glass door to the backyard.
- Powder Room: features a pedestal sink
- Staircase: features a window and a two-story foyer, which creates a light-filled upper hallway.
- Master Bedroom: 13'8" x 15' has two large windows, an oversized walk-in closet, and a bathroom
- Master Bathroom: full bathroom with a sunny window
- Bedroom 2: 11'6" x 11' includes closet and large windows
- Bedroom 3: 15' x 11'10" includes walk-in closet and large windows
- Bedroom 4: 10' x 12'7" closet and window overlooking the backyard
- Bath 2: full bathroom with nearby linen closet
- First floor laundry
- 9' first floor ceilings
- Full basement
- 2 car attached garage (Shown with optional windows in the garage door)
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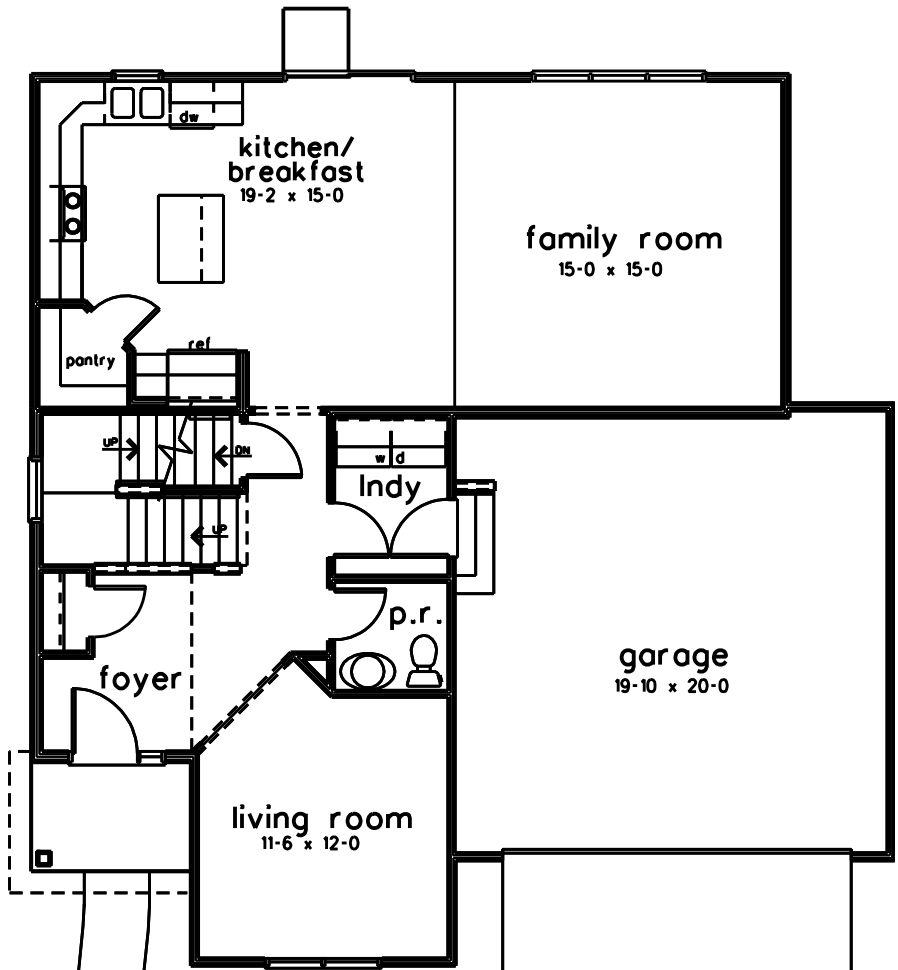


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UPPER LEVEL FLOOR PLAN



MAIN LEVEL FLOOR PLAN



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## The Oakfield

Elevation C



Elevation A



Elevation B

## The Oakfield

Premier Series—1871

*This well-designed plan provides many amenities that you would expect to find in a ranch home today. The master suite features a wonderful bathroom with a large walk-in closet, and the great room is open to the kitchen, breakfast and dining room, providing a great place to entertain.*

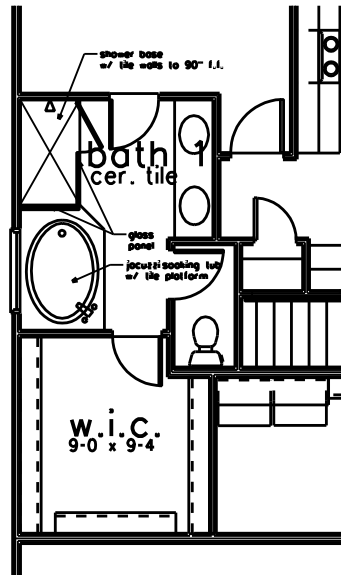
### FEATURES:

- Foyer: 10'4" x 8'10" spacious and open entry with window, coat closet and 9' ceiling
  - Den/Bedroom 3: 12' x 11'9" large sunny window and large closet
  - Bedroom 2: 12' x 10'7"
  - Bathroom 2: full bathroom
  - Dining Room: 12'3" x 12'11" open to great room and kitchen, 9' ceilings, and two large windows. This open layout provides plenty of entertainment opportunities.
  - Great Room: 14'3" x 15' triple windows, open to kitchen and dining room
  - Kitchen: 11'6" x 14'8" features stainless steel appliances, custom cabinets and a pantry. The kitchen is open to the great room/dining room and includes a large bar top that is perfect for conversing while cooking.
  - Breakfast Room: 9'8" x 11'6" open to the great room and features a sliding glass door
  - Bedroom 1: 12'10" x 15' with 9' ceiling and views to the backyard
  - Master Bathroom: has a spacious full bathroom and a large walk-in closet
  - Laundry Room: 10'9" x 7'5" located on the main floor
  - Two car attached garage (Shown with optional windows in the garage door)
  - Full basement
- Artist renderings and floor plans are for illustration purposes, changes or modifications may occur without notice. Please review the Construction Standards and Energy Features brochure and contract blueprint for detailed information.

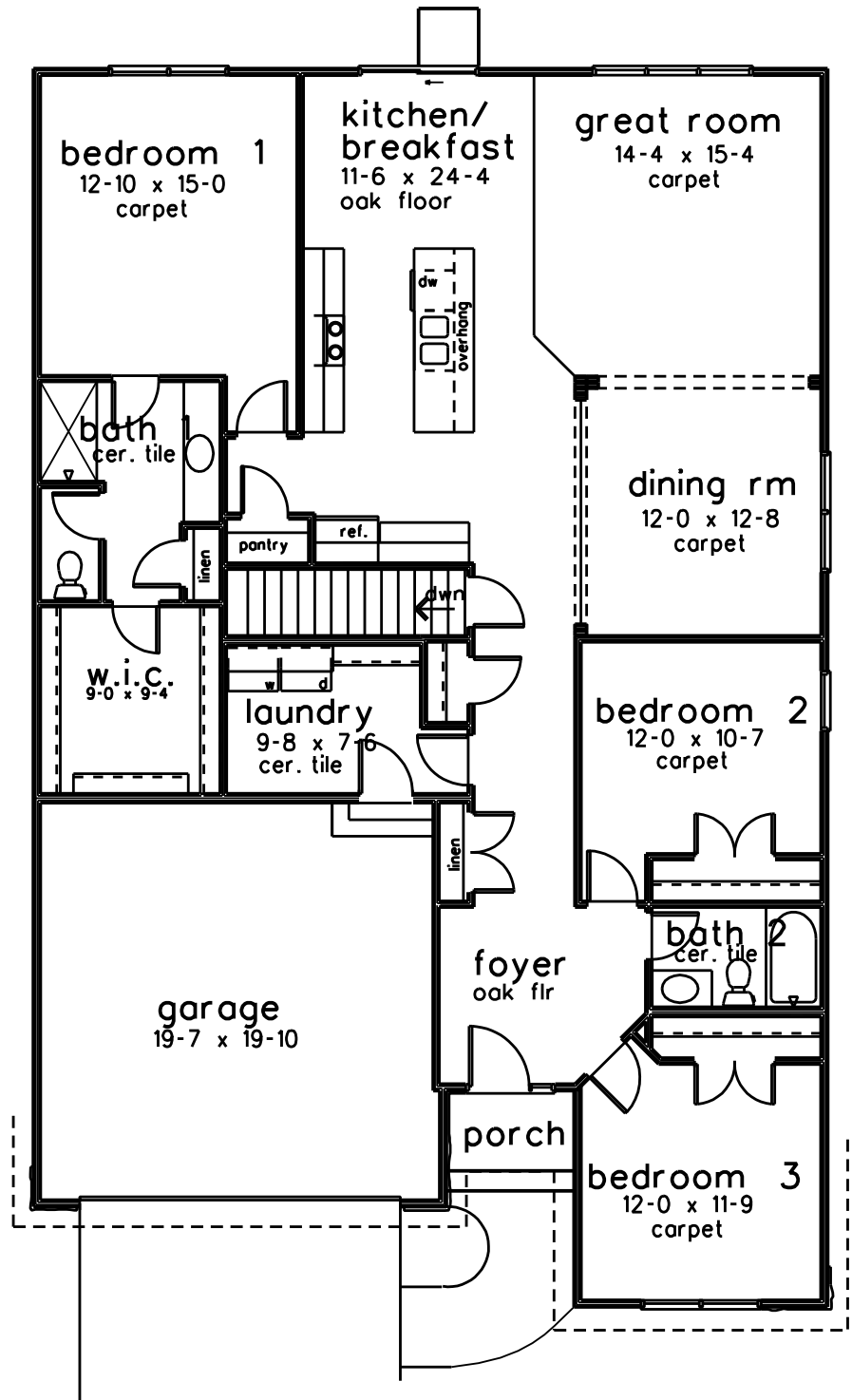


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luxury bath option



main level floor plan



**The Lynford**

Premier Series—1707

*This innovative ranch design provides an abundance of bright sunny living areas and flexible multi-purpose rooms set in a dramatic open floor plan. The Lynford design features a three car tandem garage.*

**FEATURES:**

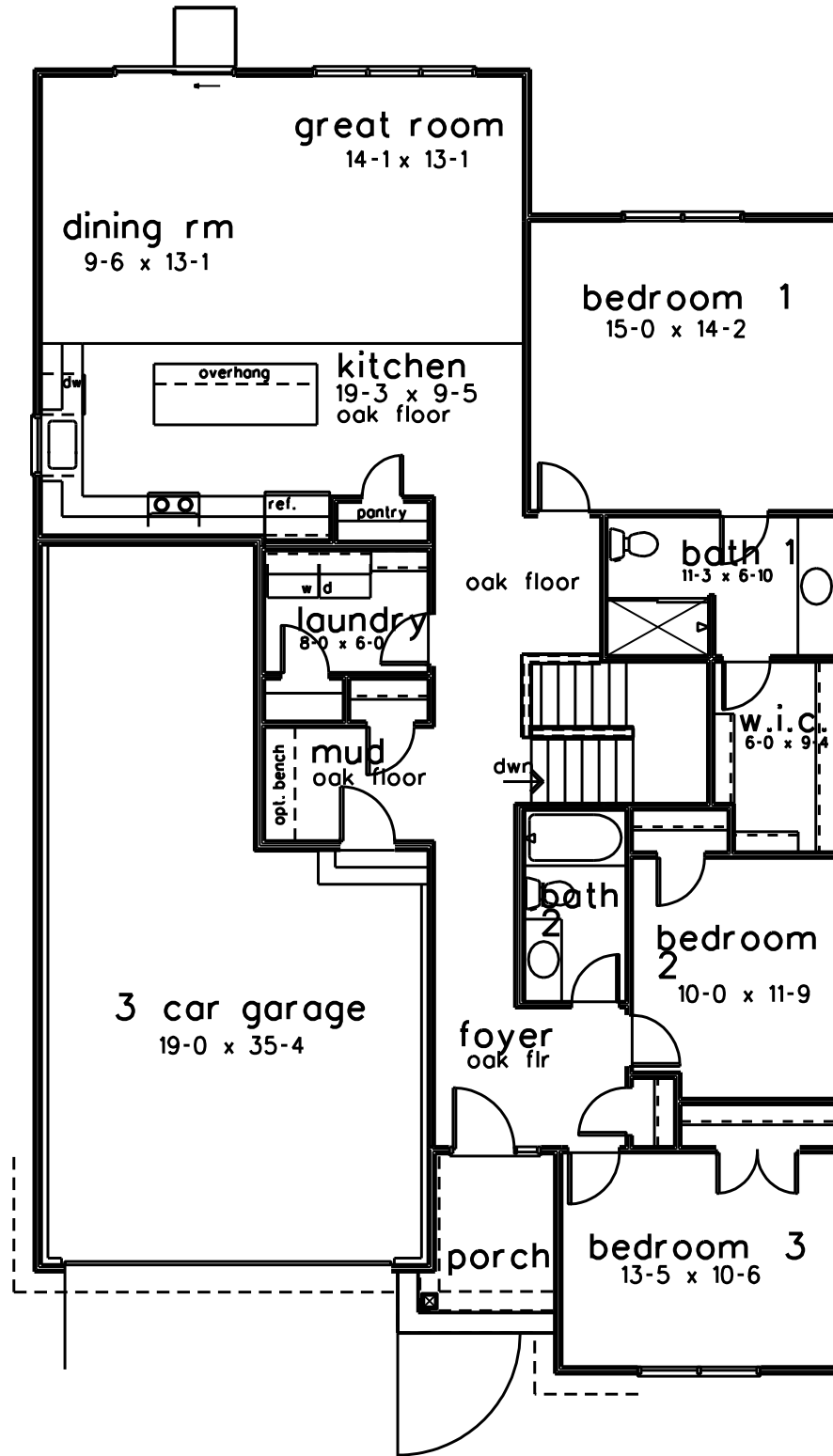
- Foyer: spacious and open entry with coat closet and 9' ceiling
- Bedroom 3: 13'5" x 10'6" features a large sunny windows at the front of the home perfect for a home office
- Bedroom 2: 10' x 11'9" quiet and private bedroom retreat with nearby full bathroom
- Bathroom 2: full bathroom near bedroom 2 and bedroom 3
- Great Room: 13'1" x 14'1" bright and airy room with 9' ceilings, and triple windows. This open layout provides plenty of entertainment opportunities.
- Dining room: 9'6" x 13'1" open to the kitchen and great room, may be formal or informal
- Kitchen: 19'3" x 9'5" features oak floors, stainless steel appliances, custom cabinets and a large pantry. The kitchen is open to the great room/dining room and includes a large bar top that is perfect for conversing while cooking
- Bedroom 1: 15' x 14'2" with 9' ceiling and views to rear yard
- Master Bathroom: with long vanity, spacious shower, and large walk-in closet
- Main floor laundry room with an extra closet
- Mud room with space for an optional bench and coat closet
- Three car attached garage
- Full basement
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main level floor plan



## The Legacy

Premier Series—2523

*The Legacy is a spacious family home which includes 9' first floor ceilings, 4 bedrooms, 2 ½ bathrooms, an expansive kitchen, and a great room. New home design features include a second floor laundry room, first floor mud room, and a kitchen fit for families of any size.*

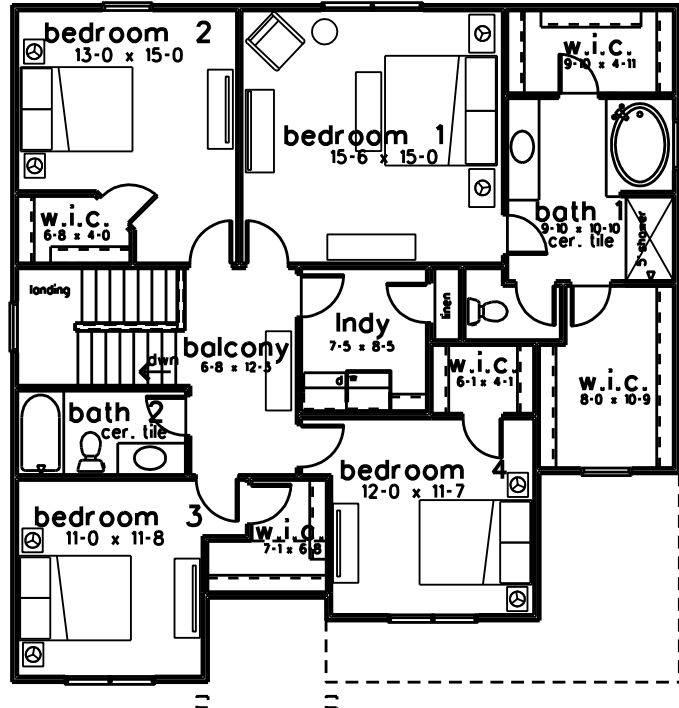
### FEATURES:

- Foyer: the beautiful covered entry leads to the open foyer, which features two sidelight windows, a coat closet, and 9' ceiling
- Living Room/Den: 11' x 11' can easily be transformed into a first floor bedroom.
- Great Room: 18'4" x 15' three windows, 9' ceiling, open to kitchen and dining area
- Kitchen: 15'3" x 8'4" features island with eating bar, stainless steel appliances, custom cabinets and a walk-in pantry. The kitchen is open to the great room/dining area. Sink is set on an angle under two corner windows.
- Dining Area: 12' x 15'4" open to the great room, features a pepper box bay with a sliding glass door to rear yard. This ample eating area can fit a large family table and hutch.
- Mudroom: located off of the garage entry, this room is perfect for coats and boots. Add optional coat hooks and sitting bench for a creative way to store the kids' backpacks and sports equipment.
- Bedroom 1: 16'6" x 15' spacious bedroom showcasing two windows with views of the backyard
- Master Bathroom: has a long vanity, shower, separate soaking tub, linen closet an oversized 8' x 11'10" walk-in closet.
- Bedroom 2: 13' x 12'7"
- Bedroom 3: 11' x 11'8" features a walk-in closet
- Bedroom 4: 12' x 11'7" features a walk-in closet
- Bathroom 2: full bathroom
- Laundry Room: 7'11" x 8'5" second floor laundry
- Two car attached garage (shown with optional windows on garage door)
- Full basement
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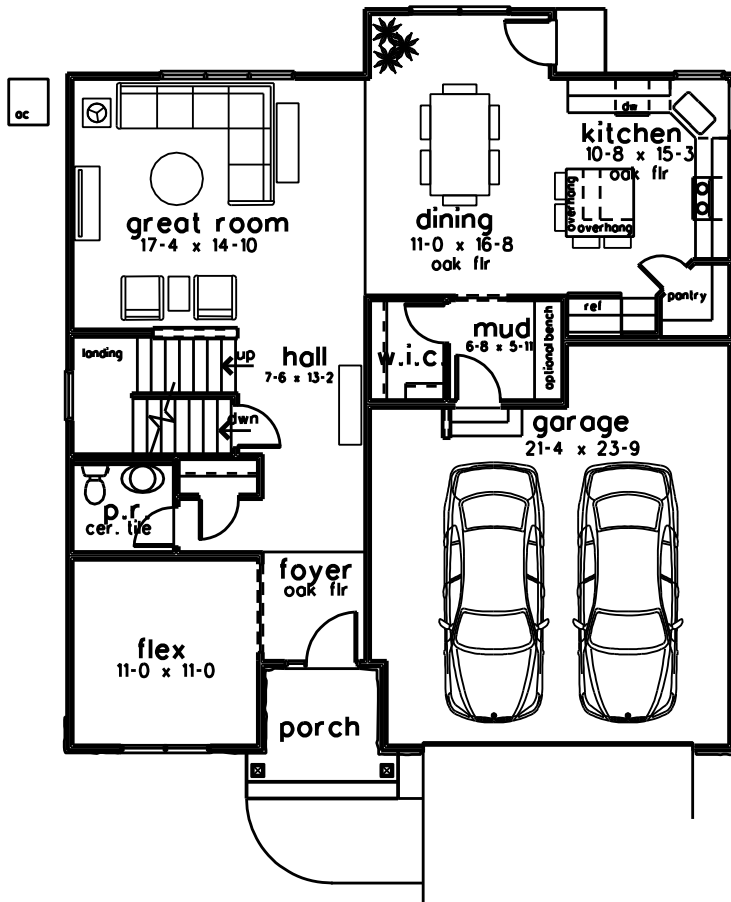


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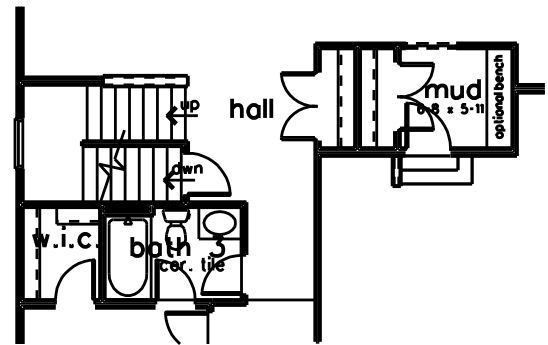
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upper level floor plan



main level floor plan



optional bath 3



**AIRHART CONSTRUCTION**  
*"Building a Better Tomorrow"*

**The Sandhill**



Elevation A

Craftsman Elevation



## The Sandhill

Premier Series—2400

*The Sandhill plan is open concept living at its best! This fantastic first floor master plan features comfortable open living spaces, 9' first floor ceilings, 4 bedrooms, 3 bathrooms, a spacious second floor loft, a full basement, and a dramatic kitchen dining/great room area. Stone or brick options are available with a spacious porch.*

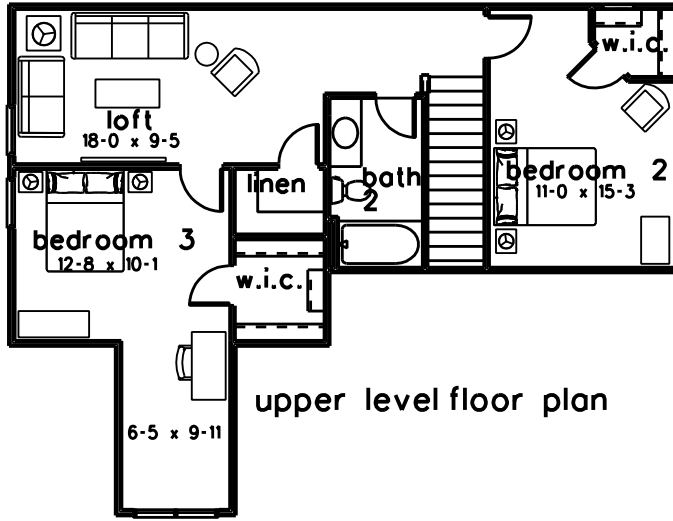
### FEATURES:

- Foyer: 9' ceiling, coat closet and a side light window
- Dining Room: open to kitchen and great room. This open layout provides plenty of entertainment opportunities.
- Great Room: bright and open gathering space with triple window and views of breakfast, kitchen and dining rooms
- Kitchen: features an oversized island with eating bar, stainless steel appliances, custom cabinets, granite counters, wood floors and a pantry. The kitchen is open to both the great room and dining room.
- Bedroom 1: Spacious first floor master bedroom
- Master bathroom features a long vanity, shower, linen closet and a large walk-in closet
- Bedroom 2: first floor bedroom may also be used as a home office or flex room
- Bathroom 2: full bathroom with nearby linen closet
- Laundry room on the first floor
- Bedroom 3: generously sized second floor bedroom with a walk-in closet and nearby full bathroom and loft
- Bedroom 4: generously sized bedroom with a sitting/study area, walk-in closet and nearby full bathroom and loft
- Loft: located on the second floor makes a great family room
- Bathroom 3: full bathroom located on the second floor. A generous linen closet is located nearby.
- Full basement
- Two car attached garage
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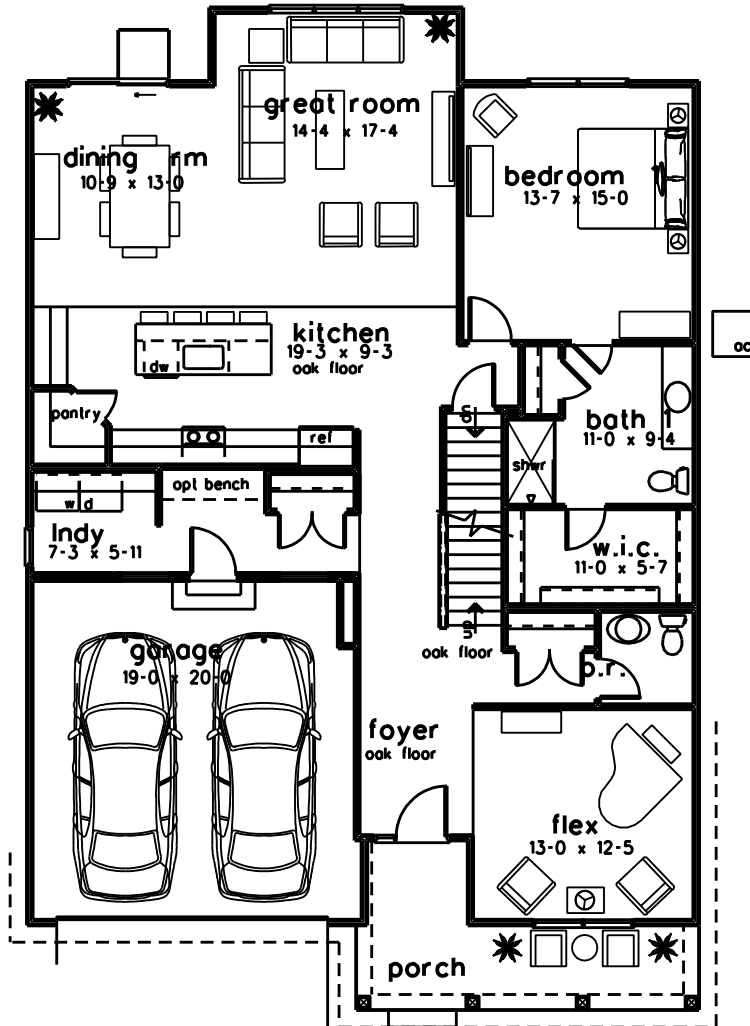


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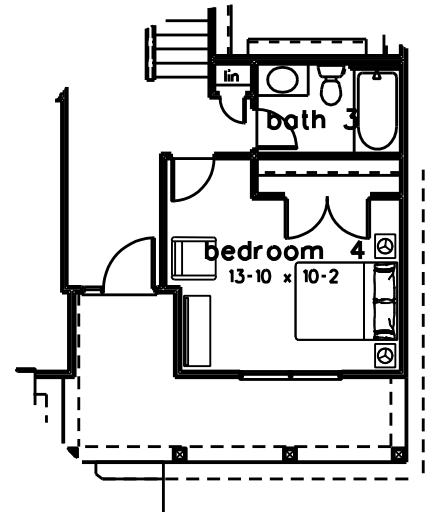
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upper level floor plan



main level floor plan



optional bedroom with full bath



**AIRHART CONSTRUCTION**  
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**The Rockwell**



## The Rockwell

Premier Series—2541

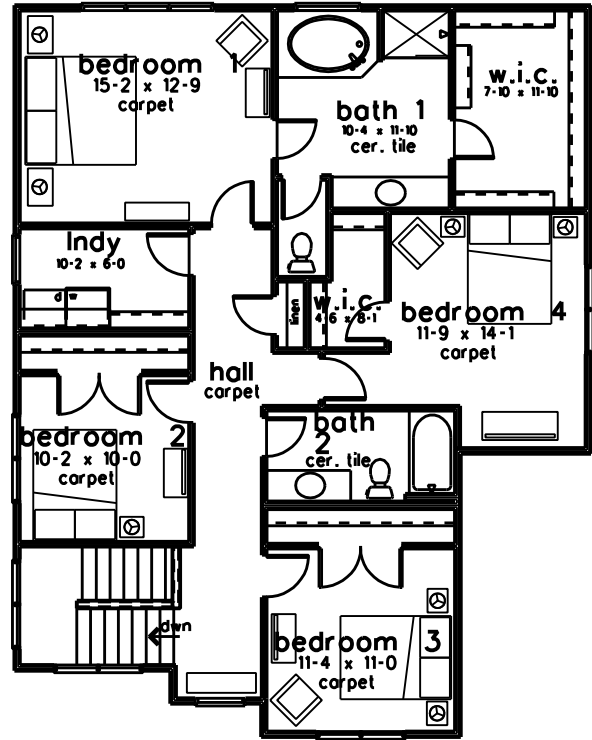
*This striking modern traditional home features a covered front entry, an open floor plan boasting four bedrooms, 2½ bathrooms, a away room and an airy great room with tall windows.*

### FEATURES:

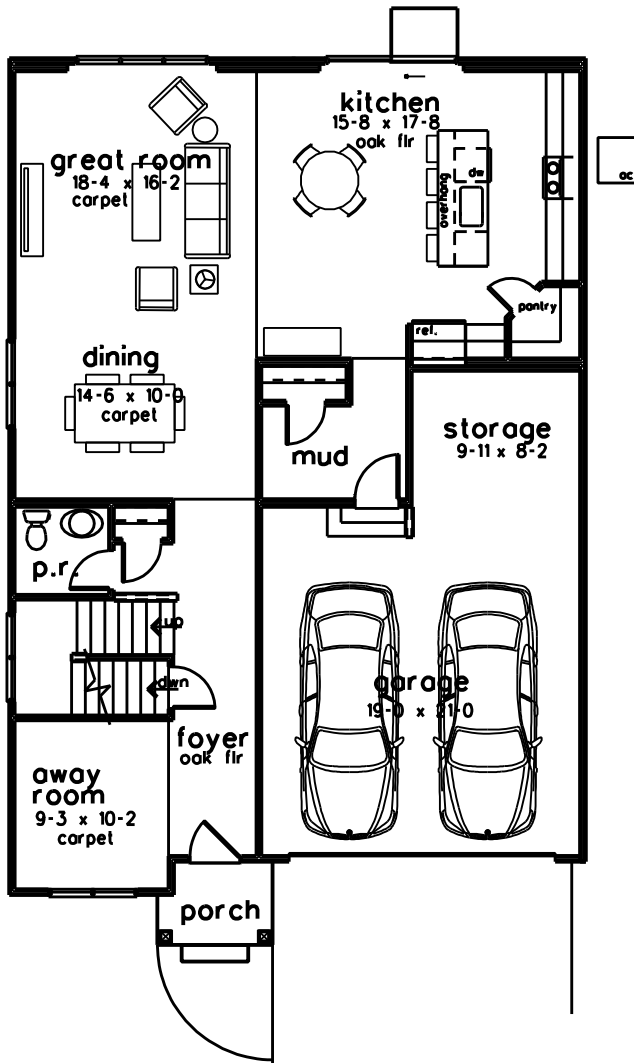
- Foyer: spacious entry with wood floors
- Away Room: 9'3" x 10'2" off foyer featuring large double windows. Great for piano or home office
- Dining Room: 14'6" x 10'9" features large double windows
- Great Room: 18'4" x 16'2" boasts triple windows, which create a light and airy environment for family gatherings
- Kitchen: 17'8" x 15'8" luxury kitchen showcases a large pantry, long center island with eating bar, custom crafted cabinetry, stainless steel appliances and oak floors.
- Powder Room: houses a pedestal sink
- Mud room: from garage to kitchen with coat closet
- Master Bedroom: 15'2" x 12'9" spacious bedroom retreat with adjoining private bath.
- Master Bath: includes an expansive walk-in closet, private water closet, soaking tub with a window set above. This allows bright light into the room and a separate shower.
- Bedroom 2: 10'0" x 10'2"
- Bedroom 3: 11'4" x 11'
- Bedroom 4: 14'1" x 11'9" features a walk-in closet
- Bath 2: full bath
- Second floor laundry room
- Full basement
- 2 car attached garage with extra storage area
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upper level floor plan



main level floor plan



## The Larkspur

Premier Series—2774

*The Larkspur is a spacious family home, including 9' first floor ceilings, 4 bedrooms, 2 ½ bathrooms, an expansive kitchen, and a great room. This home has the option to convert the first-floor study and dining room into a fifth bedroom with a full bathroom.*

### FEATURES:

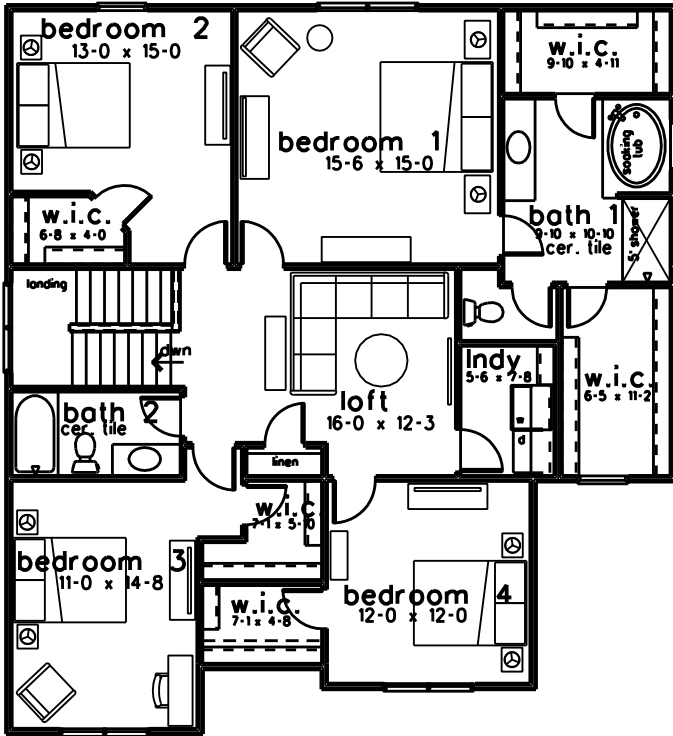
- Foyer: covered entry leads to the open foyer, which features two sidelight windows and a 9' ceiling
- Study: 11' x 10' can easily be transformed into a fifth bedroom on the first floor, having a full private bathroom and a walk-in closet to replace the dining room. Bedroom 5 would be 11' x 15'6".
- Dining Room: 14' x 11' can be transformed into a full bathroom and closet if the study is converted into a fifth bedroom. Bedroom 5 would be 11' x 15'6".
- Great Room: 18'4" x 14'10" three windows, 9' ceiling, open to kitchen and breakfast room
- Kitchen: 15'3" x 8'4" features island with eating bar, stainless steel appliances, custom cabinets and a walk-in pantry. The kitchen is open to the great room/breakfast room. Sink is set on an angle under two corner windows.
- Breakfast Room: 12' x 14'1" open to the great room, features a sliding glass door to rear yard. This ample eating area can fit a large family table and hutch.
- Mudroom: located off of the garage entry, this room is perfect for coats and boots. Add optional coat hooks and sitting bench for a creative way to store the kids' backpacks and sports equipment.
- Powder Room: first floor half-bath near the coat closet
- Bedroom 1: 16'6" x 15' spacious bedroom showcasing two windows with views of the backyard
- Master Bathroom: features a long vanity, shower, separate soaking tub, linen closet, and an oversized walk-in closet
- Bedroom 2: 13' x 12'7"
- Bedroom 3: 11' x 14'8" features a walk-in closet
- Bedroom 4: 12' x 15'7" features a walk-in closet
- Bathroom 2: full bathroom
- Laundry Room: second floor laundry
- Two car attached garage (shown with optional windows on garage door)
- Full basement
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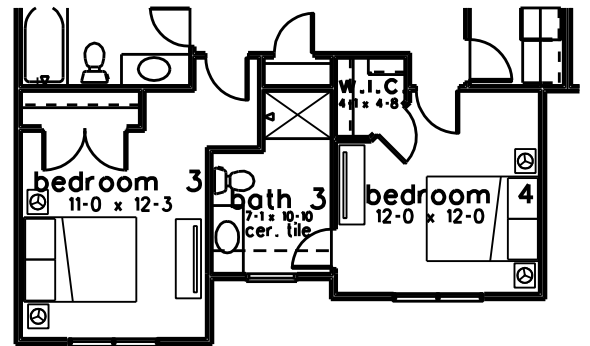
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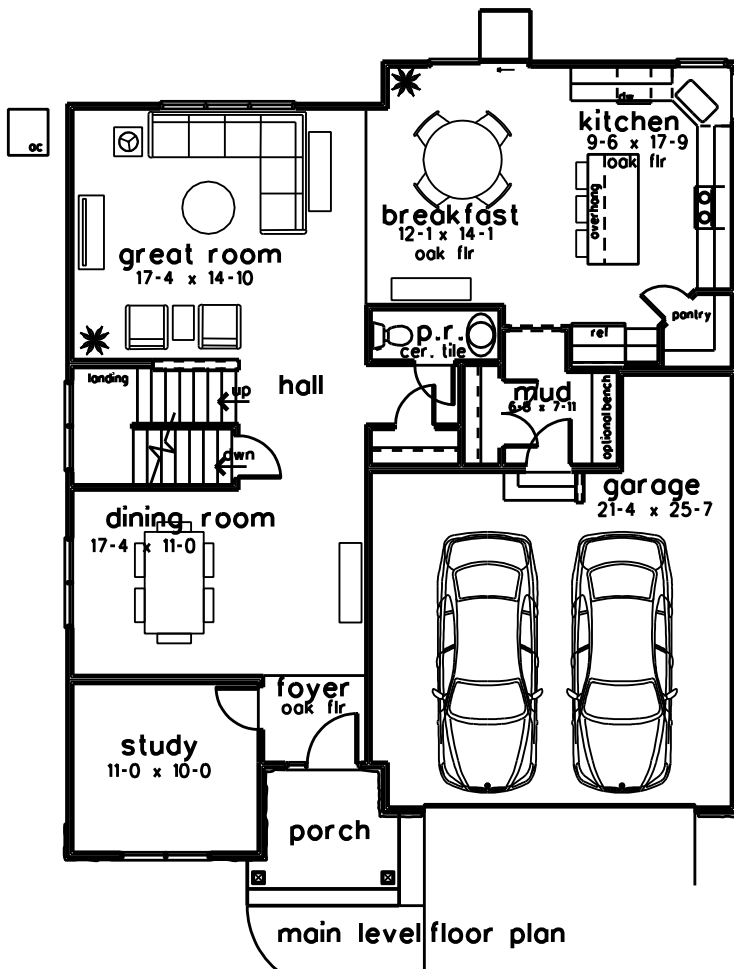




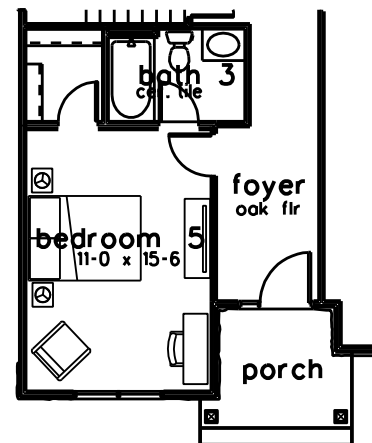
upper level floor plan



optional bath 3



main level floor plan



optional 5 bedroom/3 bath



## The Maple Hill

Premier Series—2945

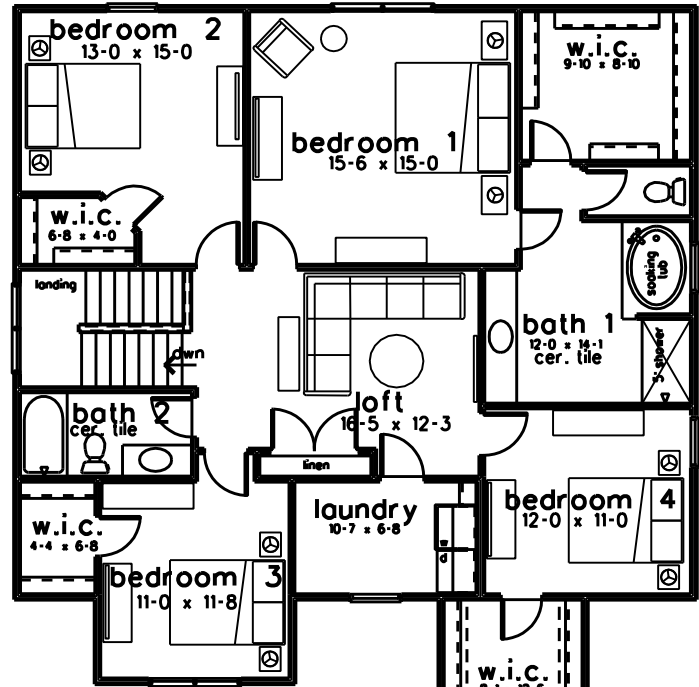
*The Maple Hill is a spacious family home, including 9' first floor ceilings, 4 bedrooms, 2 ½ bathrooms, an expansive kitchen, and a great room. This home has the option to convert the first-floor flex and powder room into a fifth bedroom with a full bathroom and walk-in closet.*

### FEATURES:

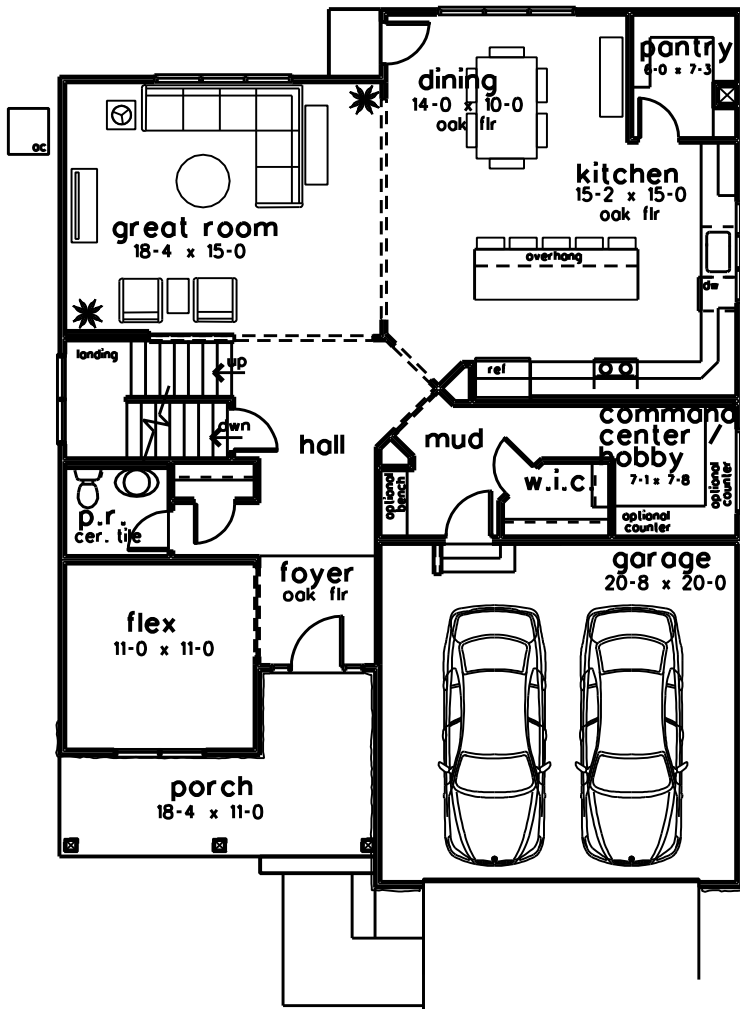
- Foyer: covered entry leads to the open foyer, which features two sidelight windows and a 9' ceiling
- Flex: 11' x 11' can be used as a study or living room or transformed into a fifth bedroom on the first floor, having a full private bathroom and a walk-in closet. Bedroom 5 would be 11' x 11'.
- Great Room: 18'4" x 15' three tall windows, 9' ceiling, open to the kitchen and dining room
- Kitchen: 15'2" x 15' features long island with eating bar, stainless steel appliances, custom cabinets and a spacious walk-in pantry 6' x 7'3". The kitchen is open to the great room/dining room.
- Dining Room: 14' x 10' open to the great room, features three windows and a swing door to the rear yard. This ample eating area can fit a large table and hutch.
- Mudroom: located off of the garage entry, this room is perfect for coats and boots. Add optional coat hooks, sitting bench, or countertops for a creative way to store the kids' backpacks, sports equipment, or add hobby center.
- Powder Room: first floor half-bath near the coat closet
- Bedroom 1: 15'6" x 15' spacious bedroom showcasing two windows with views of the backyard
- Master Bathroom: features a long vanity, shower, separate soaking tub, linen closet, and an oversized 9'10" x 8'10" walk-in closet
- Bedroom 2: 13' x 15' features a walk-in closet
- Bedroom 3: 11' x 11'8" features a walk-in closet
- Bedroom 4: 12' x 11' features a walk-in closet and an optional private bath
- Bathroom 2: full bathroom
- Loft: 16'5" x 12'3" makes a great study or TV area for the family
- Laundry Room: second floor laundry
- Two car attached garage (shown with optional windows on garage door)
- Full basement
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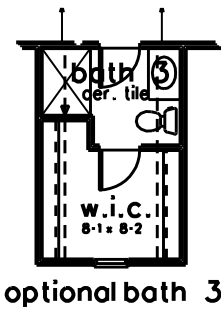
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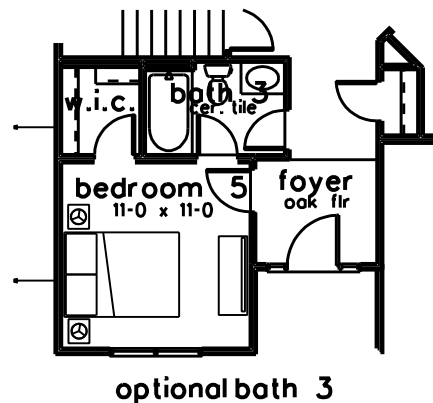
upper level floor plan



main level floor plan



optional bath 3



optional bath 3