

**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984

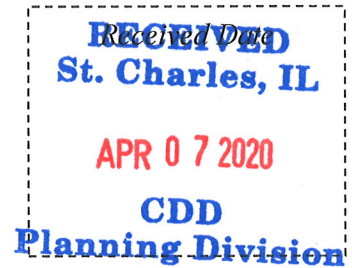


COMMUNITY DEVELOPMENT DIVISION

PHONE: (630) 377-4443 EMAIL: cd@stcharlesil.gov

**ZONING MAP AMENDMENT APPLICATION**

<b>CITYVIEW</b>	
Project Name:	<u>Pride of Kane County</u>
Project Number:	<u>2019 -PR- 007</u>
Cityview Project Number:	<u>PLMA202000019</u>



*Instructions:*

To request a zoning map amendment (rezoning) for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a Plan Commission public hearing or meeting date.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

<b>1. Property Information:</b>	Location:	<u>SEC KIRK ROAD AND MAIN ST. (IL STATE ROUTE 64)</u>	
	Parcel Number (s):	<u>09-25-100-036</u>	
	Proposed PUD Name:	<u>THE PRIDE OF KANE COUNTY</u>	
<b>2. Applicant Information:</b>	Name	<u>CIMA DEVELOPERS, LP</u>	Phone <u>630.653.1700</u>
	Address	<u>30W180 BUTTERFIELD RD</u>	Fax <u>630.791.8283</u>
		<u>WARRENVILLE, IL 60555</u>	Email <u>dsoltis@cimadevelopers.org</u>
<b>3. Record Owner Information:</b>	Name	<u>CIMA DEVELOPERS, LP</u>	Phone <u>- SAME -</u>
	Address	<u>30W180 BUTTERFIELD RD</u>	Fax <u>-</u>
		<u>WARRENVILLE, IL 60555</u>	Email

**Zoning and Use Information:**

Comprehensive Plan Land Use Designation of the property: Corridor / Regional Commercial

Current zoning of the property: F - Farming (Kane County)

Is the property a designated Landmark or in a Historic District? No

Current use of the property: VACANT

Proposed zoning of the property: BR

Proposed use of the property: RETAIL

If the proposed Map Amendment is approved, what improvements or construction are planned? (An accurate site plan may be required to establish that the proposed improvement can meet the minimum zoning requirements)

CONSTRUCTION OF GAS FUELING FACILITY, CONVENIENCE STORE AND STAND ALONE CAR WASH

**Attachment Checklist:**

*If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**APPLICATION FEE:**

Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

**REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**PROOF OF OWNERSHIP and DISCLOSURE:**

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

**LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

**PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

**SITE PLAN:**

Simple site plan drawn to scale to demonstrate that the property can meet the requirements of the proposed zoning district (parking requirements, setbacks, landscaping, etc.)

**FINDINGS OF FACT:**

Fill out the attached form or submit responses on a separate sheet.

**LIST OF PROPERTY OWNERS WITHIN 250 FT.**

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

**SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>


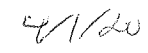


*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

**ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnrecocat.state.il.us/ecopublic/>

*Fill out the online form, print the report and submit with this application.*

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

 _____ Record Owner	 _____ Date
 _____ Applicant or Authorized Agent	 _____ Date

## FINDINGS OF FACT – MAP AMENDMENT

The St. Charles Zoning Ordinance requires the Plan Commission to consider factors listed below in making a recommendation to the City Council.



As an applicant, the “burden of proof” is on you to show why the proposed zoning is more appropriate than the existing zoning. Therefore, you need to “make your case” by explaining how the following factors support your proposal. If a factor does not apply to the property in question, indicate “not applicable” and explain why it does not apply.

PRIDE OF KANE COUNTY  
33W573 E. MAIN ST.  
Project Name or Address

3-28-20  
Date

### From the Charles Zoning Ordinance, Section 17.04.320.D:

In making its recommendation to grant or deny an application for a Zoning Map Amendment, including changes to Zoning District and Overlay boundaries, the Plan Commission shall consider:

1. The existing uses and zoning of nearby property. (Relate the proposed land use and zoning to the land use and zoning of other properties in the area)

THE INTENDED USE IS VERY CONSISTENT WITH THE  
OTHER RETAIL BUSINESS USES ALONG KIRK ROAD AND  
ALONG (ILRTWA) MAIN STREET.

2. The extent to which property values are diminished by the existing zoning restrictions. (Compare the value of the subject property and nearby properties under the current zoning to their potential value under the proposed zoning.)

PROPERTY VALUES WILL NOT BE AFFECTED.  
THE INTENDED USE IS CONSISTENT WITH ALL NEARBY  
USES.

3. The extent to which the reduction of the property’s value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public. (If the existing zoning decreases the value of the subject realty, does it also produce any perceptible public benefits?)

THE PROPERTY VALUE WILL NOT BE DIMINISHED  
AND IN FACT WILL PROVIDE AN ADDED AMENITY AND  
CONVENIENCE TO THE SURROUNDING CITY AND COMMUNITY

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification. (Can the subject property reasonably be used for any of the uses currently permitted? Physical and market conditions may be considered.)

THE SUBJECT PROPERTY'S CURRENT ZONING DOES NOT ALLOW FOR OUR INTENDED USE.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located. (If a property has been vacant longer than other similar properties in the area, it may be an indicator that the existing zoning is inappropriate.)

THIS PROPERTY HAS BEEN VACANT FOR A SUBSTANTIALLY LONG AMOUNT OF TIME.

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district. (Development trends, market forces, and the Comprehensive Plan may be considered.)

THE INTENDED USE IS VERY CONSISTENT WITH DEVELOPMENT TRENDS AND ALL NEIGHBORING USES.

7. The consistency of the proposed amendment with the City's Comprehensive Plan.

OUR INTENDED USE IS CONSISTENT

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

Per Title 17 of the City Code, unless otherwise requested, land being annexed is automatically zoned R-F-1 Single-Family Estate District. BR zoning is requested to accommodate the proposed commercial development.

9. The extent to which the proposed amendment creates nonconformities. (Generally it is not appropriate to rezone a property unless it can comply with the requirements of the new zoning.)

THE PROPOSED DEVELOPMENT WILL ONLY REQUIRE  
PAVING SETBACKS, OTHER THAN THAT WILL COMPLY  
WITH NEW ZONING REQUIREMENTS. OFF-SITE SIGNS  
ALSO WILL BE PART OF OUR PUD DEVIATION REQUEST

10. The trend of development, if any, in the general area of the property in question. (New development, redevelopment, changes in use, or other changes in the area may help to justify a change in zoning.)

THE INTENDED USE IS CONSISTENT WITH THE  
OTHER RETAIL BUSINESS USES.

Plan Commission recommendation shall be based upon the preponderance of the evidence presented and the Commission shall not be required to find each Finding of Fact in the affirmative to recommend approval of an application for Map Amendment.

**OWNERSHIP DISCLOSURE FORM**

OWNER: CIMA Developers Limited Partnership

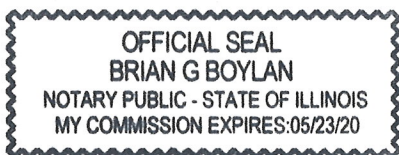


By: Peter M. Spina, sole managing member of  
Angel Associates LLC, general partner

STATE OF ILLINOIS        )  
  )SS  
COUNTY OF DuPage        )

I, Brian G. Boylan, a Notary Public in and for the County and State aforesaid, DO  
HEREBY CERTIFY that Peter M. Spina, personally known to me to be the managing member of Angel  
Associates LLC, the general partner of Cima Developers Limited Partnership, and personally known to  
me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this  
day in person and acknowledged that as such managing member, he signed and delivered such  
instrument, as his free and voluntary act and deed, and as the free and voluntary act and deed of Angel  
Associates LLC, the general partner of such Limited Partnership, for the uses and purposes therein set  
forth.

Given under my hand and official seal this 1 day of April, 2020



Brian G. Boylan  
Notary Public

My Commission Expires: \_\_\_\_\_

**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT DIVISION

PHONE: (630) 377-4443 EMAIL: cd@stcharlesil.gov

**SPECIAL USE APPLICATION**

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

<b>For City Use</b>	
Project Name:	<u>Pride of Kane County</u>
Project Number:	<u>2019 -PR- 007</u>
Cityview Project Number:	<u>PLS4202000021</u>



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

<b>1. Property Information:</b>	Location: <u>SEC KIRK RD AND MAIN ST. (IL STATE ROUTE 64)</u>	
	Parcel Number (s): <u>09-25-100-036</u>	
	Proposed Name: <u>THE PRIDE OF KANE COUNTY</u>	
<b>2. Applicant Information:</b>	Name <u>CIMA DEVELOPERS, LP</u>	Phone <u>630.653.1700</u>
	Address <u>30W180 BUTTERFIELD RD WARRENVILLE, IL 60555</u>	Fax <u>630.791.8283</u>
		Email <u>dsoltis@cimadevelopers.org</u>
<b>3. Record Owner Information:</b>	Name <u>CIMA DEVELOPERS, LP</u>	Phone <u>-SAME-</u>
	Address <u>30W180 BUTTERFIELD RD WARRENVILLE, IL 60555</u>	Fax
		Email



**Please check the type of application:**

- Special Use for Planned Unit Development - PUD Name:** THE PRIDE OF KANE COUNTY
- New PUD
- Amendment to existing PUD- Ordinance #: \_\_\_\_\_
- PUD Preliminary Plan filed concurrently
- Other Special Use (from list in the Zoning Ordinance):** \_\_\_\_\_
- Newly established Special Use
- Amendment to an existing Special Use Ordinance #: \_\_\_\_\_

**Information Regarding Special Use:**

Comprehensive Plan designation of the property: Corridor/Regional Commercial

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? F - Farming (Kane County)

What is the property currently used for? VACANT

If the proposed Special Use is approved, what improvements or construction are planned?

CONSTRUCTION OF FUELING FACILITY, CONVENIENCE STORE  
AND CARWASH.

**For Special Use Amendments only:**

Why is the proposed change necessary?

TO ALLOW FOR THE INTENDED USE AND DEVELOPMENT

What are the proposed amendments? (Attach proposed language if necessary)

**Note for existing buildings:**

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

**Attachment Checklist:**

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**APPLICATION FEE:**

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

**REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
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**PROOF OF OWNERSHIP and DISCLOSURE:**

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

**LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper

**PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

**FINDINGS OF FACT:**

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

**LIST OF PROPERTY OWNERS WITHIN 250 FT.:**

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

**SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

**ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

**TRAFFIC STUDY:** If requested by the Director of Community Development.

*Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.*

**PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.



**SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
  - a. Location, height, intensity and fixture type of all proposed exterior lighting
  - b. Photometric information pertaining to locations of proposed lighting fixtures

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

 _____ Record Owner	<u>4/1/20</u> Date
 _____ Applicant or Authorized Agent	<u>3-29-20</u> Date

# CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDS)



*\*For Special Use for PUD or PUD Amendment applications.\**

*The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.*

*As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.*

*(You may utilize this form or provide the responses on another sheet.)*

THE PRIDE OF KANE COUNTY  
PUD Name

4-10-20  
Date

### **From the St. Charles Zoning Ordinance, Section 17.04.410.3:**

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

#### **i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

YES WE BELIEVE THAT THE PROPOSED DEVELOPMENT ADVANCES MANY OF THE PURPOSES OF THE PLANNED UNIT DEVELOPMENT AS OUTLINED AND STATED IN SECTION 17.04.400.A

THE ARCHITECTURAL BUILDING DESIGN WILL PROVIDE A UNIQUE AND DISTINCTIVE LOOK THAT WILL INCLUDE "BARN" LIKE FEATURES THAT WILL CAPTURE THE HISTORIC ESSENCE OF THE PROPERTY.

- NEW SIDEWALKS ARE PROPOSED ALONG THE ENTIRE WEST AND NORTH PROPERTY LINES TO CONNECT EXISTING SIDEWALK STRUCTURES ALONG KIRK RD AND MAIN ST. (1/4 BT 64) TO HELP PROMOTE PEDESTRIAN TRAFFIC AND PHYSICAL ACTIVITY
- THIS PROPERTY HAS REMAINED UNDEVELOPED FOR A VERY LONG TIME, AND THE PROPOSED DEVELOPMENT ALLOWS FOR AND ENCOURAGES AND PROMOTES ECONOMIC GROWTH & EFFICIENT LAND USE
- THIS DEVELOPMENT INCLUDES A RECIPROCAL EASEMENT AGREEMENT WITH THE NEIGHBORING PROPERTY OWNER (MAIN STREET COMMONS) WHICH ALLOWS FOR CROSS-ACCESS SERVICE ROADS AND SHARED STORMWATER DETENTION

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

- A. Conforming to the requirements would inhibit creative design that serves community goals, or
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

THE FOLLOWING FACTORS BELOW PER SECTION 17.04.400.B ARE HIGHLIGHTED TO JUSTIFY THE RELIEF FROM THE ZONING REQUIREMENTS.

- THE PUD WILL PROVIDE SUPERIOR LANDSCAPING AND BUFFERING AS ALLOWED BY THE SITE PARAMETERS.
- THE BUILDINGS WITHIN THE PUD WILL BE UNIQUE AND DISTINCTIVE IN NATURE, CAPTURING HISTORIC FEATURES
- THE BUILDINGS WILL BE BUILT WITH ENERGY EFFICIENCY GUIDELINES AND SITE DESIGN
- THE DEVELOPMENT WILL BE DESIGNED WITH SHARED DETENTION WITH MAIN STREET COMMONS

ZONING DEVIATIONS FOR THE FOLLOWING IS BEING REQUESTED; PAVING SETBACKS, OFF-SITE SIGNAGE, CONVENIENCE STORE BUILDING SIGNAGE, FREESTANDING

SIGN SETBACK, BUILDING FOUNDATION LANDSCAPE, CARWASH STACKING REQUIREMENT

iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

YES. THE PROPOSED DEVELOPMENT WILL SERVE AS A PUBLIC CONVENIENCE AND AN ADDED AMENITY. THE DEVELOPMENT WILL OFFER, FUELING, CONVENIENCE STORE, QUICK SERVICE RESTAURANT AND CARWASH

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

YES. THE PROPOSED DEVELOPMENT HAS SUFFICIENT INFRASTRUCTURE REQUIRED TO DEVELOP. UTILITIES, ADDED SERVICE ROADS, AND ADEQUATE ON SITE AND OFF-SITE DETENTION ARE BEING PROVIDED

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

THE DEVELOPMENT IS CONSISTENT AND COMPATIBLE WITH SURROUNDING LAND USES AND WILL NOT EFFECT NEARBY PROPERTY IN ANY WAY.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

THE DEVELOPMENT WILL NOT IMPEDE THE NORMAL AND ORDERLY DEVELOPMENT AND IMPROVEMENT OF THE SURROUNDING PROPERTY AND WILL COMPLETE THE NEEDED DEVELOPMENT AT THAT PARTICULAR PROPERTY LOCATION IN A MANNER THAT IS CONSISTENT AND COMPATIBLE WITH SURROUNDING AND NEIGHBORING PROPERTY

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

NO. THE PROPOSED DEVELOPMENT WILL NOT POSE ANY DETRIMENT TO OR ENDANGER THE PUBLIC HEALTH, SAFETY, COMFORT OR GENERAL WELFARE.

- F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

YES. THE DEVELOPMENT WILL BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL, CITY, STATE, AND FEDERAL CODE & ORDINANCE AND MEETS ALL APPLICABLE PROVISIONS, EXCEPT AS MAY BE VARIED PURSUANT TO A SPECIAL USE FOR PUD.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

YES. THE PROPOSED DEVELOPMENT WILL PROVIDE AN ADDED AND SUBSTANTIAL TAX BASE TO THE CITY, IMPROVING THE OVERALL ECONOMIC WELL-BEING OF THE CITY.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

YES THE PROPOSED DEVELOPMENT IS IN CONFORMANCE WITH THE GOALS, OBJECTIVES AND POLICIES OF THE ADOPTED CITY OF ST. CHARLES COMPREHENSIVE PLAN.





CIMA DEVELOPERS, LP

30W180 Butterfield Road  
Warrenville, IL 60555  
O: (630) 653-1700  
F: (630) 791-8283

October 22, 2019

City of St. Charles  
Community and Economic Development/Planning Division  
Two East Main Street  
St. Charles, IL 60174-1984

RE: Request for Relief to construct Public Sidewalks on Proposed SEC Main St & Kirk Road Development

To Whom It May Concern:

Please allow this correspondence to serve as CIMA Developers, LP's (Developer) formal request to have Public sidewalk costs associated with the proposed development to be incurred by the City of St. Charles.

On our current site plan dated April 3, 2019, we show approximately 700 LFT of sidewalk running the entire length of the frontages of the site.

We depict it on the plan, however our intent is to **not** have to incur the costs of that Public sidewalk. We feel this should be the responsibility of the City, especially since this development would be part of an Annexation. We are not asking for any type of TIF, we are not asking for any type of tax abatement, or any other type of relief. With the additional costs of all the other requirements on this property that we will need to incur, (stormwater, retaining walls, etc) we feel this is a very reasonable request.

Thank you and we will look forward to the City's overall review and Staff notes, and subsequent approval of this request.

Regards,

Dan Soltis  
Vice President of Real Estate  
CIMA Developers, LP.



Engineering • Design • Consulting

**April 20, 2020**

**CIMA Developers, LP  
30W180 Butterfield Road  
Warrenville, IL 60555**

**Attn: Mr. Dan Soltis**

**Re: Pride of Kane County  
Tree Preservation Waiver Request**

**Dear Mr. Soltis:**

It is our opinion that a Tree Preservation Plan is not required for the Pride of Kane County project as the existing site is being completely cleared and the existing grades are being substantially changed. Please note, per the Tree Preservation Requirements included within the ordinance, the Tree Preservation Requirement can be waived when "...the area of the parcel will be substantially modified such that any existing vegetation is unlikely to be successfully preserved." As a result of the proposed improvements and on site grading changes, the existing vegetation will not be able to be preserved and the Tree Preservation Plan requirement should therefore be waived.

Feel free to contact me if you have any questions or comments, or if you require any further information.

**Regards,**

**The WT Group, LLC**

A handwritten signature in black ink, appearing to read 'Todd O. Abrams', with a horizontal line extending to the right.

**Todd O. Abrams, P.E., CFM  
Principal in Charge, Civil Engineering Division**

**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT DIVISION

PHONE: (630) 377-4443 EMAIL: cd@stcharlesil.gov

**PUD PRELIMINARY PLAN APPLICATION**

<b>For City Use</b>	
Project Name:	<u>Pride of Kane County</u>
Project Number:	<u>2019 -PR- 007</u>
Cityview Project Number:	<u>PLPUD202000020</u>



To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

<b>1. Property Information:</b>	Location:	<u>SEC KIRK ROAD AND MAIN ST. (IL STATE ROUTE 64)</u>	
	Parcel Number (s):	<u>09-25-100-036</u>	
	Proposed PUD Name:	<u>THE PRIDE OF KANE COUNTY</u>	
<b>2. Applicant Information:</b>	Name	<u>CIMA DEVELOPERS, LP</u>	Phone <u>630.653.1700</u>
	Address	<u>30W180 BUTTERFIELD RD WARRENVILLE, IL 60555</u>	Fax <u>630.791.8283</u>
			Email <u>dsoltis@cimadevelopers.org</u>
<b>3. Record Owner Information:</b>	Name	<u>CIMA DEVELOPERS, LP</u>	Phone <u>- SAME -</u>
	Address	<u>30W180 BUTTERFIELD RD WARRENVILLE, IL 60555</u>	Fax
			Email

**Please check the type of application:**

- New proposed PUD- Planned Unit Development** (Special Use Application filed concurrently)
- Existing PUD-Planned Unit Development**
  - PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

**Subdivision of land:**

- Proposed lot has already been platted and a new subdivision is not required.
- New subdivision of property required:
  - Final Plat of Subdivision Application filed concurrently
  - Final Plat of Subdivision Application to be filed later

**Attachment Checklist:**

*If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

*Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.*

**APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

**REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there are any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

**LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

**PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

**SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

**ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

**PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

**SITE/ENGINEERING PLAN:**

**PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with

the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
  - Location, height, intensity and fixture type of all proposed exterior lighting
  - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

□ **SKETCH PLAN FOR LATER PHASES OF PUD:**

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

**ARCHITECTURAL PLANS:**

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

**TREE PRESERVATION PLAN:**

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

**LANDSCAPE PLAN:**

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

**STORMWATER MANAGEMENT:**

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

**SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

❑ **PUBLIC BENEFITS, DEPARTURES FROM CODE:**

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

❑ **SCHEDULE:** Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

❑ **PARK AND SCHOOL LAND/CASH WORKSHEETS**

N/A

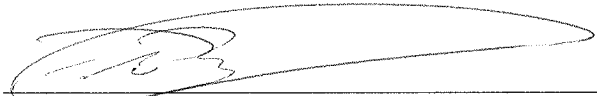

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

❑ **INCLUSIONARY HOUSING SUMMARY**

N/A

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

	4/1/20
Record Owner	Date
	3-29-20
Applicant or Authorized Agent	Date





**CIMA DEVELOPERS**

30W180 Butterfield Road  
Warrenville, IL 60555  
(630) 653-1700  
Fax: (630) 791-8283

Ms. Ellen Johnson  
City Planner  
City of St. Charles Planning Department  
2 E. Main Street  
St. Charles, IL 60174-1984

**RE: PUD Preliminary Plan Application- Request for Deviations**

Dear Ellen,

In response to the request for information, I present the following points supporting deviations, (variances) respective to meeting the purpose for PUD's as described in Section 17.04.400 of the zoning ordinance.

**1 ) Paving setbacks-** We are requesting this deviation due to the limited site area that we have to work with on the plan as it relates to the overall site layout.

*A ) The paving setbacks depicted on the current site layout do not undermine the intent and purpose of the underlying zoning district.*

*B). The paving setbacks depicted on the current layout are not detrimental to the provision of municipal services and infrastructure as detailed.*

*C) The paving setbacks depicted on the current layout will contribute to the planned unit development and will offer a superior level of design, amenity enhancement to the development.*

**2 ) Off-Site Signage-** Our request for the three (3) off-premise signs as shown on the site plan are the most strategic locations to maximize branding exposure as well as promote safe ingress/egress traffic maneuvering. The Convenience store business is an impulse decision and maximizing exposure and lead times allows for the safest and most sufficient traffic flow. The need for additional off-site signage is being requested due to the configuration of the site plan, and proposed access points.

*A ) The off-premise signs depicted on the current site layout do not undermine the intent and purpose of the underlying zoning district.*

*B). The off-premise signs depicted on the current layout are not detrimental to the provision of municipal services and infrastructure as detailed.*

*C) The off-premise sign depicted on the current layout will contribute to the planned unit development and will offer a superior level of design, amenity enhancement to the development.*



## CIMA DEVELOPERS

30W180 Butterfield Road  
Warrenville, IL 60555  
(630) 653-1700  
Fax: (630) 791-8283

**3 ) Four (4) Wall signs are being requested for the Convenience Store – (two (2) wall signs are permitted) -(Section 17.28.050)** We are requesting this deviation due to the overall configuration of the Convenience Store and the southbound configuration . Also our C-Store offers a Quick Service restaurant that requires separate branding requirement opportunity.

*A ) The Convenience Store wall signs depicted on the current elevation plan do not undermine the intent and purpose of the underlying zoning district.*

*B). The Convenience Store wall signs depicted on the current elevation plan are not detrimental to the provision of municipal services and infrastructure as detailed.*

*C) The Convenience Store wall signs depicted on the current elevation plan will contribute to the planned unit development and will offer a superior level of design, amenity enhancement to the development.*

**4 ) Freestanding sign 10' setback requirement- (Section 17.28.050)** We are requesting a deviation for our corner Main ID sign at the corner to be 3' setback due to the site area constraints of the development.

*A ) The Main ID sign location depicted on the current site layout does not undermine the intent and purpose of the underlying zoning district.*

*B). The Main ID sign location depicted on the current layout is not detrimental to the provision of municipal services and infrastructure as detailed.*

*C) The Main ID sign location depicted on the current layout will contribute to the planned unit development and will offer a superior level of design, amenity enhancement to the development.*

**5 ) Minimum width of building foundation planting beds needs to be 5'. (Section 17.26.080)** We are requesting a deviation to this to be a planting area of approximately 3' on our west building wall of the convenience store. This deviation is required due to site plan configuration and the need to keep the c-store building aligned with parking and other aspects of the plan.

*A ) The Landscape foundation planting depicted on the current site layout does not undermine the intent and purpose of the underlying zoning district.*

*B). The Landscape foundation planting depicted on the current layout is not detrimental to the provision of municipal services and infrastructure as detailed.*

*C) The Landscape foundation planting depicted on the current layout will contribute to the planned unit development and will offer a superior level of design, amenity enhancement to the development.*



**CIMA DEVELOPERS**

30W180 Butterfield Road  
Warrenville, IL 60555  
(630) 653-1700  
Fax: (630) 791-8283

**6 ) Ten stacking spaces are required for the car wash. Stacked vehicles shall be in a single lane up to the point of service. Proposed is a double lane. (Section 17.24.100).** We are proposing a deviation to allow for a double lane car wash stacking lane to improve circulation and maximize car wash speed time. The dual stacking lane allows for and exceeds the required ten (10) car stacking requirement and takes advantage of a dual Point of Sale kiosk pay stations that control flow of vehicles. The Conveyor style carwash system allows for multiple cars in the wash bay at the same time for efficient and speedy wash cycle.

*A ) Contained within the property boundaries, and designed to minimize congestion, the dual-lane carwash layout does not undermine the intent and purpose of the underlying zoning district*

*B). The dual-lane car wash layout depicted on the current layout is not detrimental to the provision of municipal services and infrastructure as detailed.*

*C )The dual-lane carwash layout will contribute to the planned unit development and will offer a superior level of design, amenity enhancement to the center.*

Regards,

A handwritten signature in black ink, appearing to read "Dan Soltis", with a stylized flourish at the end.

Dan Soltis  
Vice President of Real Estate  
CIMA Developers, LP

# THE PRIDE OF KANE COUNTY 33W573 EAST MAIN STREET SAINT CHARLES, ILLINOIS 60174

DRAWING INDEX		
SHEET	DESCRIPTION	DATE
T-1.0	TITLE SHEET	06-08-20
C-1.0	SITE DEMOLITION PLAN	06-08-20
C-2.0	SITE GEOMETRIC PLAN	06-08-20
C-3.0	SITE DEVELOPMENT PLAN	06-08-20
C-3.1 - C-3.3	SITE DEVELOPMENT DETAILS	06-08-20
C-4.0 - C-4.1	SITE GRADING PLAN	06-08-20
C-5.0	SITE UTILITY PLAN	06-08-20
C-5.1 - C-5.3	SITE UTILITY DETAILS	06-08-20
C-6.0	STORMWATER POLLUTION PREVENTION PLAN	06-08-20
C-6.1	STORMWATER POLLUTION PREVENTION DETAILS	06-08-20
C-7.0 - C-7.1	PROJECT SPECIFICATIONS	06-08-20
C-8.0	FIRE APPARATUS CIRCULATION PLAN	06-08-20

SURVEY DRAWING INDEX		
SHEET	DESCRIPTION	DATE
SUR-1	TOPOGRAPHIC SURVEY (PREPARED BY THE W-T GROUP)	03-12-19

**BENCHMARKS:**  
 SITE BENCHMARK #1 - SET CROSS ON SSE BOLT OF HYDRANT LOCATED IN GRASS APPROXIMATELY 6.8' S OF EAST MAIN STREET AND 76.4' E OF M4 #6, AS SHOWN ON SHEET SUR-2. ELEVATION=104.79' (NAVD88)  
 SITE BENCHMARK #2 - SET CROSS ON CONCRETE SIDEWALK LOCATED APPROXIMATELY 25.3' ESE OF KIRK ROAD AND 22.8' SWH OF ENTRANCE, AS SHOWN ON SHEET SUR-2. ELEVATION=114.23' (NAVD88)  
 SITE BENCHMARK #3 - SET CROSS IN WALK LOCATED 39' EAST OF FOND AND 200 FEET SOUTH OF ROUTE 64 ON WEST SIDE OF DRIVE, AS SHOWN ON SHEET SUR-3. ELEVATION=104.12' (NAVD88)



SCALE 1"=1000'  
 SECTION 25  
 TOWNSHIP 40N  
 RANGE 8E  
 MAP DATA © 2019 6006LLE

### CIVIL ENGINEERING STATEMENT AND SEAL

I, TODD ABRAMS, P.E., DULY LICENSED IN THE STATE OF ILLINOIS BY THE DEPARTMENT OF TRANSPORTATION AND PROFESSIONAL REGULATION, DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF DOES CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES, AND ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (IAC 140-1.0-2) AND THE ILLINOIS ACCESSIBILITY CODE (11 ILL. ADM. CODE 400).

DATE: 6-8-20

TODD ABRAMS  
 TODD ABRAMS - ILLINOIS P.E. # 062-066600  
 DATE OF EXPIRATION - NOVEMBER 30, 2021  
 NOTE: SIGNED AND SEALED FOR SHEETS T-1.0 THROUGH C-7.1

CALL JULIE TOLL FREE  
 1(800)842-0123  
 OPERATES 24 HOURS A  
 DAY 365 DAYS A YEAR



CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.  
 NOTE: TOTAL PROPERTY AREA: 2.31 ACRES  
 NOTE: TOTAL DISTURBED AREA: 2.69 ACRES  
 NOTE: ALL SURROUNDING PROPERTIES ARE COMMERCIAL LAND USE

TO	DATE
REV. SITE	8/18/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/13/20
REV. SITE	6/8/20

CHECKED BY: \_\_\_\_\_  
 DRAWN BY: TEP  
 JOB: 1910803C

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

**HATCH LEGEND**

-  EXISTING CONCRETE TO BE REMOVED FULL DEPTH
-  EXISTING ASPHALT TO BE REMOVED FULL DEPTH



















**PROJECT NOTES**

1. FULL DEPTH SAWCUT OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
2. NEW 2' WIDE BUTT JOINT.
3. SAWCUT OF EXISTING CONCRETE CURB & GUTTER TO PROVIDE CLEAN CONSTRUCTION BREAK.
4. EXISTING CURB & GUTTER TO BE REMOVED.
5. EXISTING CONCRETE SIDEWALK TO BE REMOVED.
6. SAWCUT OF EXISTING CONCRETE SIDEWALK TO PROVIDE CLEAN CONSTRUCTION BREAK.
7. EXISTING CONCRETE SIDEWALK TO REMAIN.
8. EXISTING CONCRETE SIDEWALK TO BE REMOVED.
9. EXISTING STORM SEWER TO REMAIN. VERIFY UPSTREAM END OF THE SEWER AND CONTACT THE ENGINEER WITH ANY CONFLICTS.
10. EXISTING STORM STRUCTURE TO REMAIN.
11. EXISTING ELECTRIC METER TO BE REMOVED.
12. EXISTING HANDHOLE TO REMAIN.
13. EXISTING STREET LIGHT TO BE RELOCATED.
14. EXISTING AREA LIGHT TO REMAIN.
15. EXISTING AREA LIGHT TO BE REMOVED.
16. EXISTING ID SIGN TO REMAIN.
17. EXISTING SANITARY SEWER TO REMAIN.
18. EXISTING SANITARY STRUCTURE TO BE REMOVED.
19. EXISTING SANITARY SEWER TO BE REMOVED AS NECESSARY TO COMPLETE DETENTION POND CONSTRUCTION.
20. EXISTING WATER VALVE TO REMAIN.
21. EXISTING WATER MAIN TO REMAIN.
22. EXISTING BUILDING TO REMAIN.
23. EXISTING BRUSH AREA TO BE REMOVED.
24. EXISTING BRUSH AREA TO BE REMOVED.
25. EXISTING BRUSH AREA TO BE REMOVED.
26. EXISTING TREE TO BE REMOVED.
27. EXISTING TREE TO REMAIN.
28. EXISTING UTILITY POLE TO BE REMOVED.
29. EXISTING OVERHEAD ELECTRIC TO BE REMOVED.
30. EXISTING UTILITY POLE TO REMAIN.
31. EXISTING OVERHEAD ELECTRIC TO REMAIN.
32. EXISTING GUY WIRE ANCHOR TO REMAIN.
33. EXISTING TELEPHONE FEEDSTAP TO REMAIN.
34. EXISTING FIRE HYDRANT AND AUXILIARY VALVE TO BE REMOVED.
35. EXISTING FIRE HYDRANT TO REMAIN.
36. EXISTING SILEO TO BE REMOVED.
37. EXISTING GRAVEL TO BE REMOVED FULL DEPTH.
38. EXISTING WOOD POST TO BE REMOVED.
39. EXISTING HANDRAIL TO BE REMOVED.
40. EXISTING FENCE TO BE REMOVED.
41. EXISTING FENCE TO BE REMOVED.
42. EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF PROPOSED PAVEMENT CROSS SECTION PROPOSED SUBGRADE ELEVATION. SEE THE CONSTRUCTION DETAILS FOR THE PROPOSED PAVEMENT CROSS SECTIONS.
43. EXISTING CONCRETE SIDEWALK TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE PROPOSED PAVEMENT CROSS SECTION. PROPOSED SUBGRADE ELEVATION. SEE THE CONSTRUCTION DETAILS FOR THE PROPOSED PAVEMENT CROSS SECTIONS.
44. EXISTING TELEPHONE LINE TO BE REMOVED.
45. EXISTING TELEPHONE LINE TO REMAIN.
46. EXISTING ELECTRIC LINE TO BE REMOVED AND RELOCATED.
47. EXISTING ELECTRIC LINE TO REMAIN.
48. EXISTING PAVEMENT STRIPINGS TO BE COVERED BY NEW PAVEMENT SEALCOAT PAVING FOR THE DURATION OF CONSTRUCTION.
49. EXISTING TRAFFIC CONTROL BOX TO REMAIN.
50. EXISTING HANDHOLE TO BE REMOVED.



























**SITE DEMOLITION NOTES:**

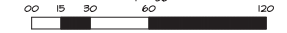
- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
- C. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND OWNER REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
- D. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- E. Voids LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORTS.
- F. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURBS AND GUTTERS AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO, FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.
- G. CONTACT GAO COMPANY PRIOR TO DEMOLITION LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
- H. ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
- I. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
- J. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- K. CONTRACTOR SHALL PROTECT, REPAIR, AND REPLACEMENT AND SHORING AS NECESSARY TO MEET OSHA AND LOCAL CODE.
- L. ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE.
- M. PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF-ROLLING SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT.
- N. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS EXCEPT THE TOPOGRAPHIC SURVEY LAST DATED 03-12-14, PREPARED BY THE W-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- O. SEE SHEET SURV FOR TOPOGRAPHIC SURVEY FOR ALL EXISTING LOCATED UTILITY LOCATIONS.
- P. CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- Q. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- R. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LFC-662 AND/OR LFC-669 FORMS AS PART OF THEIR CONTRACT.
- S. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' LONG MIN NON-SINKING CONCRETE PORTLAND FLUGS AT BOTH ENDS.

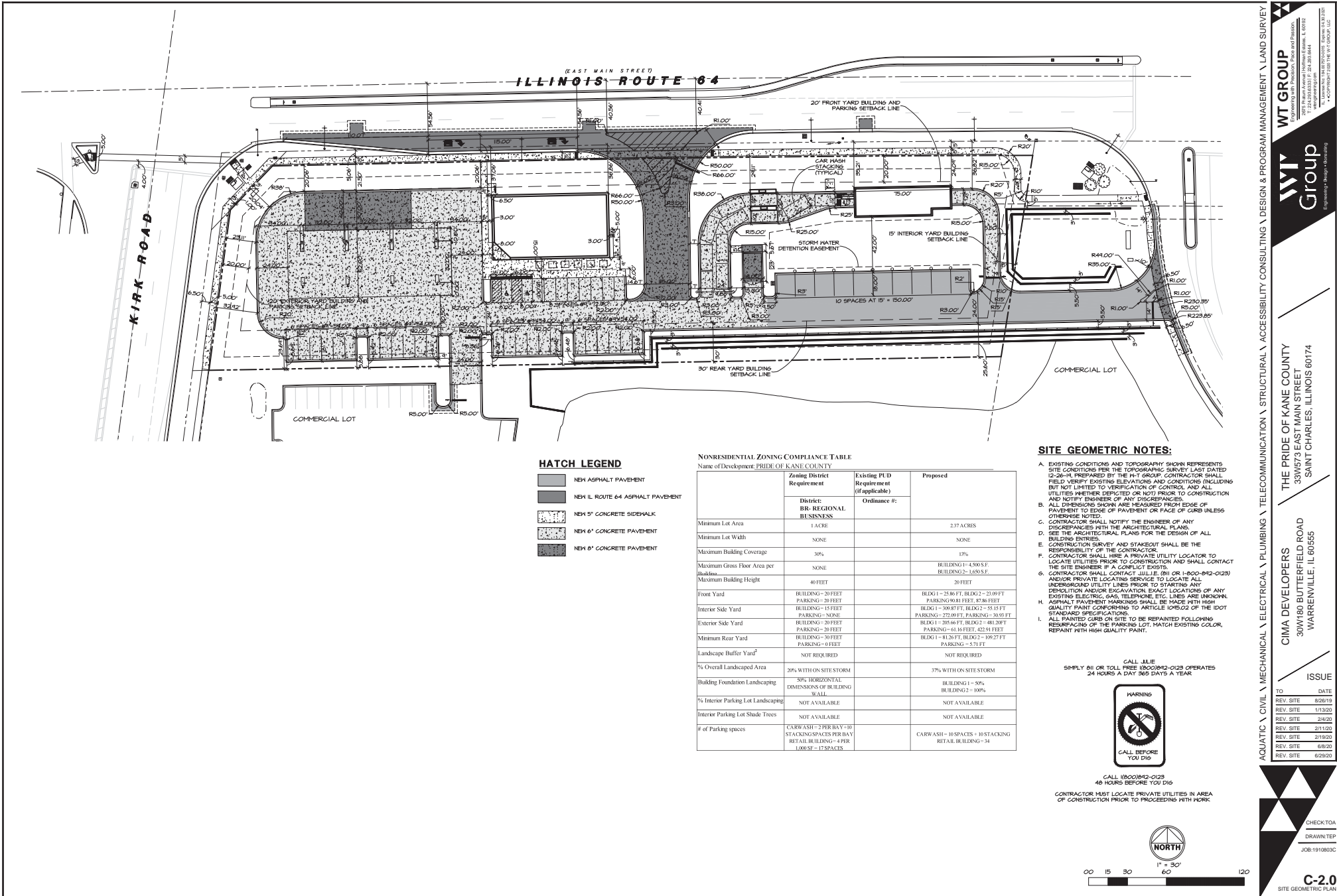
**DEMOLITION LEGEND**

-  EXISTING STORM SEWER
-  EXISTING SANITARY SEWER
-  EXISTING WATER MAIN
-  EXISTING GAS LINE
-  EXISTING UNDERGROUND ELECTRIC LINE
-  EXISTING OVERHEAD LINES
-  EXISTING UNDERGROUND TELEPHONE LINE
-  EXISTING FIBER OPTICS LINE
-  EXISTING CLOSED MANHOLE
-  EXISTING OPEN GRATE MANHOLE
-  EXISTING CURB INLET
-  EXISTING FIRE HYDRANT
-  EXISTING VALVE VAULT
-  EXISTING B-BOX
-  EXISTING TELCO FEEDSTAP
-  EXISTING UTILITY POLE W/ GUY WIRE

**EXISTING UTILITY DATA**

-  RW-78160 (SANITARY)  
48" CONCRETE STRUCTURE  
NW-77157 (UNKNOWN N/S)  
NW-77156 (15' ROP N)  
NO FLOW WITNESSED  
TOP OF MANHOLE-777.26
-  RW-78167 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78164 (STORM)  
24" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78177 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)  
NW-77156 (15' ROP E)  
NW-77156 (15' ROP E)
-  RW-78180 (STORM)  
24" CONCRETE STRUCTURE  
NW-77155 (15' ROP SE)
-  RW-78166 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)  
NW-77156 (15' ROP E)
-  RW-78185 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78186 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78181 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78182 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78183 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78184 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78187 (STORM)  
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NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78188 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78189 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78190 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78191 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78192 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78193 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78194 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78195 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78196 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78197 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78198 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78199 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)
-  RW-78200 (STORM)  
48" CONCRETE STRUCTURE  
NW-77157 (15' ROP N)  
NW-77155 (15' ROP SE)





**HATCH LEGEND**

- NEW ASPHALT PAVEMENT
- NEW IL ROUTE 64 ASPHALT PAVEMENT
- NEW 5' CONCRETE SIDEWALK
- NEW 6' CONCRETE PAVEMENT
- NEW 8' CONCRETE PAVEMENT

**NONRESIDENTIAL ZONING COMPLIANCE TABLE**

Name of Developer: PRIDE OF KANE COUNTY

Minimum Lot Area	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District: BR-REGIONAL BUSINESS	Ordinance #:	
Minimum Lot Area	1 ACRE		2.37 ACRES
Minimum Lot Width	NONE		NONE
Maximum Building Coverage	50%		17%
Maximum Gross Floor Area per Building	NONE	BUILDING 1-4,500 S.F. BUILDING 2-1,650 S.F.	
Maximum Building Height	40 FEET		20 FEET
Front Yard	BUILDING-20 FEET PARKING-20 FEET		BLDG 1 - 25.86 FT, BLDG 2 - 23.09 FT PARKING 30.81 FEET, 37.86 FEET
Interior Side Yard	BUILDING-15 FEET PARKING- NONE		BLDG 1 - 39.03 FT, BLDG 2 - 55.13 FT PARKING - 27.09 FT, PARKING - 30.93 FT
Exterior Side Yard	BUILDING-20 FEET PARKING-20 FEET		BLDG 1 - 205.66 FT, BLDG 2 - 481.28 FT PARKING - 61.96 FEET, 42.51 FEET
Minimum Rear Yard	BUILDING-30 FEET PARKING-0 FEET		BLDG 1 - 81.28 FT, BLDG 2 - 109.27 FT PARKING - 57.1 FT
Landscape Buffer Yard <sup>2</sup>	NOT REQUIRED		NOT REQUIRED
% Overall Landscaped Area	20% WITH ON SITE STORM		17% WITH ON SITE STORM
Building Foundation Landscaping	50% HORIZONTAL DIMENSIONS OF BUILDING		BUILDING 1 - 50% BUILDING 2 - 100%
% Interior Parking Lot Landscaping	NOT AVAILABLE		NOT AVAILABLE
Interior Parking Lot Shade Trees	NOT AVAILABLE		NOT AVAILABLE
# of Parking spaces	CARWASH - 2 PER BAY *10 RETAIL BUILDING - 4 PER 1,000 S.F. - 17 SPACES		CARWASH - 10 SPACES + 10 STACKING RETAIL BUILDING - 34

**SITE GEOMETRIC NOTES:**

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 12-26-19, PREPARED BY THE H-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
- C. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- D. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- G. CONTRACTOR SHALL CONTACT JILLIE (811 OR 1-800-842-0123) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 106.02 OF THE DOT STANDARD SPECIFICATIONS.
- I. ALL PAINTED CURB ON SITE TO BE REPAINTED FOLLOWING RESURFACING OF THE PARKING LOT. MATCH EXISTING COLOR, REPAINT WITH HIGH QUALITY PAINT.

CALL JILLIE  
811 OR TOLL FREE (800)842-0123 OPERATES  
24 HOURS A DAY 365 DAYS A YEAR



CALL 1-800-842-0123  
48 HOURS BEFORE YOU DIG

CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.



0 15 30 60 90 120  
1" = 30'

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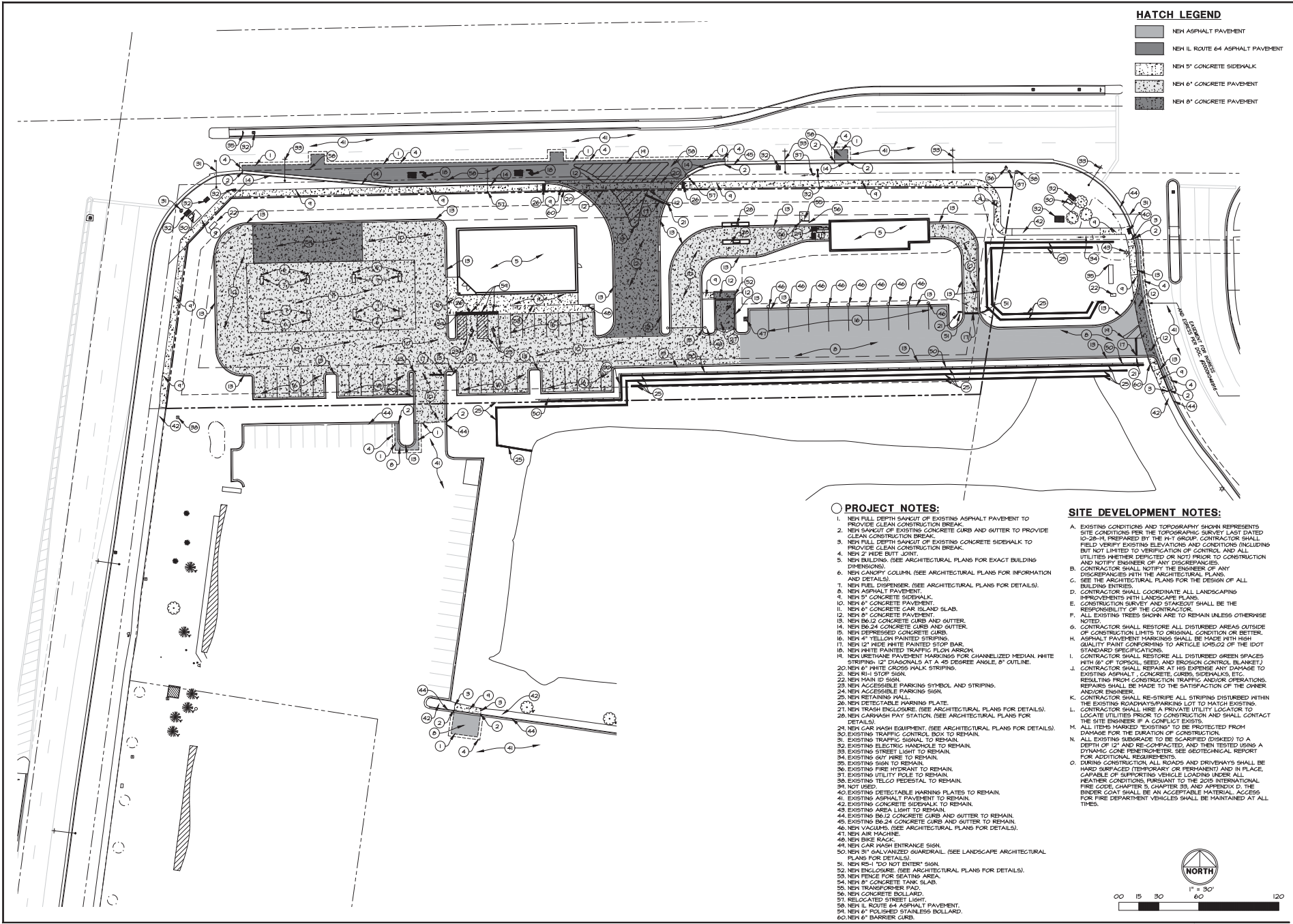
CIMA DEVELOPERS  
30W180 BUTTERFIELD ROAD  
WARRENVILLE, IL 60055

ISSUE






TO	DATE
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/18/20
REV. SITE	4/8/20
REV. SITE	6/29/20

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**C-2.0**  
SITE GEOMETRIC PLAN



**HATCH LEGEND**

-  NEW ASPHALT PAVEMENT
-  NEW IL ROUTE 64 ASPHALT PAVEMENT
-  NEW 5' CONCRETE SIDEWALK
-  NEW 6' CONCRETE PAVEMENT
-  NEW 8' CONCRETE PAVEMENT

**PROJECT NOTES:**

1. NEW FULL DEPTH SAWCUT OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
2. NEW SAWCUT OF EXISTING CONCRETE CURB AND GUTTER TO PROVIDE CLEAN CONSTRUCTION BREAK.
3. NEW FULL DEPTH SAWCUT OF EXISTING CONCRETE SIDEWALK TO PROVIDE CLEAN CONSTRUCTION BREAK.
4. NEW 2" WIDE BUTT JOINT.
5. NEW BUILDING (SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS).
6. NEW CANOPY COLUMN (SEE ARCHITECTURAL PLANS FOR INFORMATION AND DETAILS).
7. NEW FUEL DISPENSER (SEE ARCHITECTURAL PLANS FOR DETAILS).
8. NEW ASPHALT PAVEMENT.
9. NEW 5' CONCRETE SIDEWALK.
10. NEW 4' CONCRETE PAVEMENT.
11. NEW 6' CONCRETE CAR ISLAND SLAB.
12. NEW 8' CONCRETE PAVEMENT.
13. NEW B6/2 CONCRETE CURB AND GUTTER.
14. NEW B6/24 CONCRETE CURB AND GUTTER.
15. NEW DEPRESSED CONCRETE CURB.
16. NEW 4" YELLOW PAINTED STRIPING.
17. NEW 12" WIDE WHITE PAINTED STOP BAR.
18. NEW URETHANE PAVEMENT MARKINGS FOR CHANNELIZED MEDIAN WHITE STRIPING, 12" DIAGONALS AT A 45 DEGREE ANGLE, 8" OUTLINE.
20. NEW 4" WHITE CROSS WALK STRIPING.
21. NEW R-11 STOP SIGN.
22. NEW H-10 SIGN.
23. NEW ACCESSIBLE PARKING SYMBOL AND STRIPING.
24. NEW ACCESSIBLE PARKING SIGN.
25. NEW RETAINING WALL.
26. NEW DETECTABLE WARNING PLATE.
27. NEW TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS).
28. NEW CARWASH PAY STATION (SEE ARCHITECTURAL PLANS FOR DETAILS).
29. NEW CAR WASH EQUIPMENT (SEE ARCHITECTURAL PLANS FOR DETAILS).
30. EXISTING TRAFFIC SIGNAL TO REMAIN.
31. EXISTING TRAFFIC SIGNAL TO REMAIN.
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**SITE DEVELOPMENT NOTES:**

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 10/28/14 PREPARED BY THE HY GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- C. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- D. CONTRACTOR SHALL COORDINATE ALL LANDSCAPING IMPROVEMENTS WITH LANDSCAPE PLANS.
- E. CONSTRUCTION SHALL BE LIMITED TO THE RESPONSIBILITY OF THE CONTRACTOR.
- F. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- G. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 106.02 OF THE DOT STANDARD SPECIFICATIONS.
- I. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH 6" OF TOPSOIL, SEED, AND EROSION CONTROL (BLANKET).
- J. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- K. CONTRACTOR SHALL RE-STRIPE ALL STRIPING DISTURBED WITHIN THE EXISTING ROADWAY/PARKING LOT TO MATCH EXISTING STRIPING. IF A CONFLICT EXISTS.
- L. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- M. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- N. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RECOMPACTED AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- O. DURING CONSTRUCTION ALL ROADS AND DRIVEWAYS SHALL BE HAND SURFACED TEMPORARILY OR PERMANENTLY AND IN PLACE, CAPABLE OF SUPPORTING VEHICLE LOADINGS UNDER ALL WEATHER CONDITIONS. PURSUANT TO THE 2015 INTERNATIONAL FIRE CODE, CHAPTER 5, CHAPTER 55, AND APPENDIX D, THE BINDER COAT SHALL BE AN ACCEPTABLE MATERIAL. ACCESS FOR FIRE DEPARTMENT VEHICLES SHALL BE MAINTAINED AT ALL TIMES.

**WT GROUP**  
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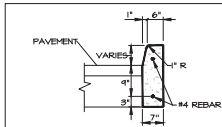
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 SAINT CHARLES, ILLINOIS 60174

**CIMA DEVELOPERS**  
 30W180 BUTTERFIELD ROAD  
 WARRENVILLE, IL 60555

**ISSUE**  
 TO DATE  
 REV. SITE 8/19/19  
 REV. SITE 8/26/19  
 REV. SITE 1/13/20  
 REV. SITE 2/4/20  
 REV. SITE 2/11/20  
 REV. SITE 3/13/20  
 REV. SITE 6/30/20

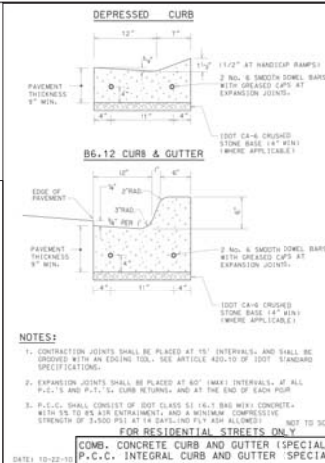
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**C-3.0**  
 SITE DEVELOPMENT PLAN

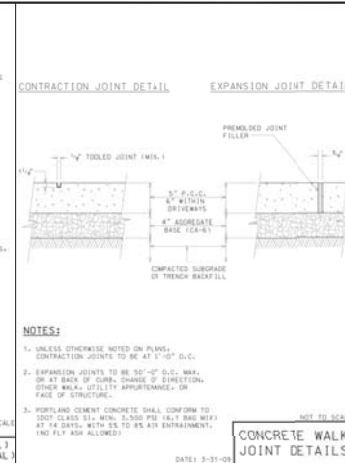


- NOTES:**
1. BARRIER CURB SHALL BE CONCRETE.
  2. CONTRACTION JOINTS, 1/4" WIDE X 1" DEEP, SHALL BE LOCATED AT RADIUS TANGENTS.
  3. BASE MATERIAL SHALL MEET THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR GRADATION AND OTHER SPECIFIED MATERIAL REQUIREMENTS.

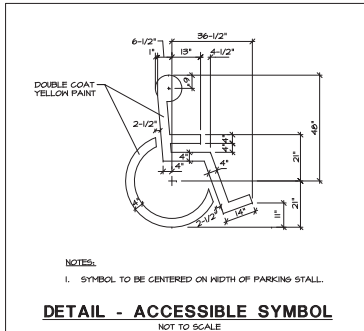
**DETAIL - BARRIER CURB**  
NOT TO SCALE



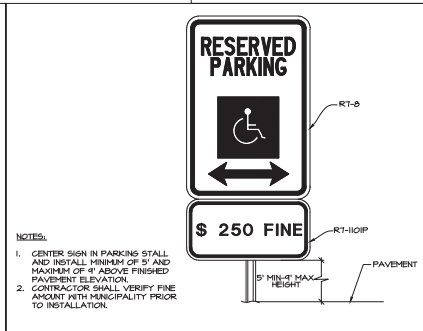
**DETAIL - BARRIER CURB & GUTTER (SPECIAL)**  
NOT TO SCALE



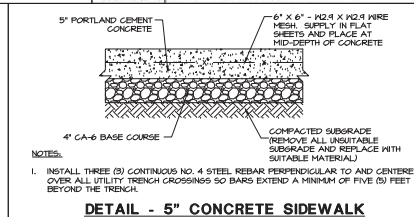
**CONCRETE WALK JOINT DETAILS**  
NOT TO SCALE



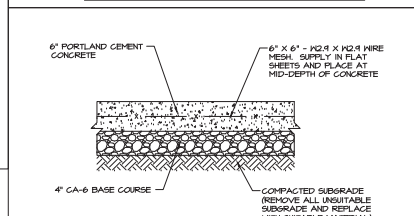
**DETAIL - ACCESSIBLE SYMBOL**  
NOT TO SCALE



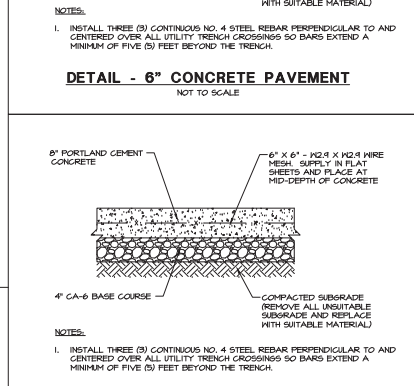
**DETAIL - ACCESSIBLE PARKING SIGN**  
NOT TO SCALE



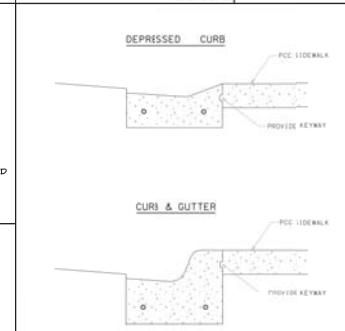
**DETAIL - 5" CONCRETE SIDEWALK**  
NOT TO SCALE



**DETAIL - 6" CONCRETE PAVEMENT**  
NOT TO SCALE



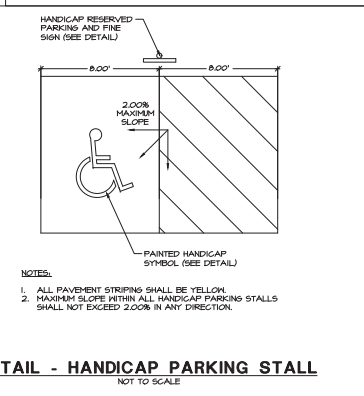
**DETAIL - 8" CONCRETE PAVEMENT**  
NOT TO SCALE



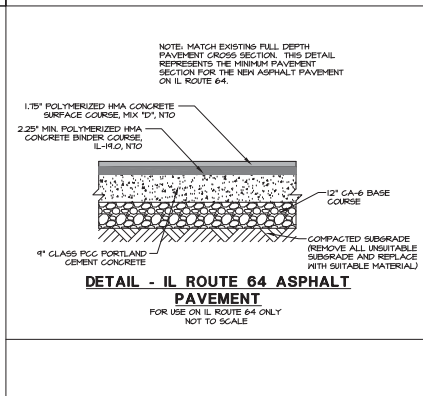
**DETAIL - DEPRESSION CURB & GUTTER**  
NOT TO SCALE



**DETAIL - ASPHALT PAVEMENT**  
NOT TO SCALE

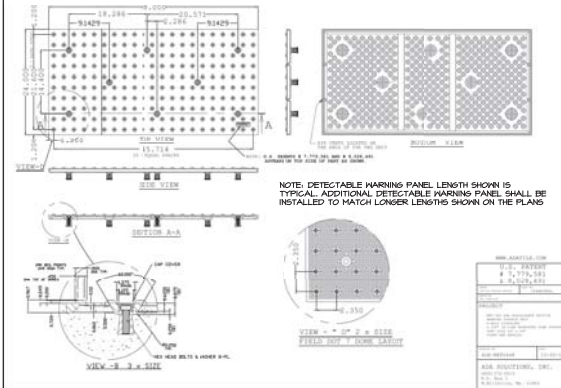
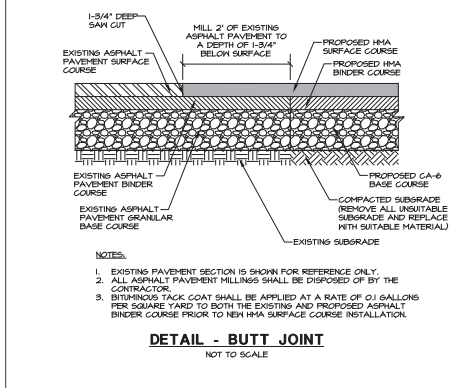
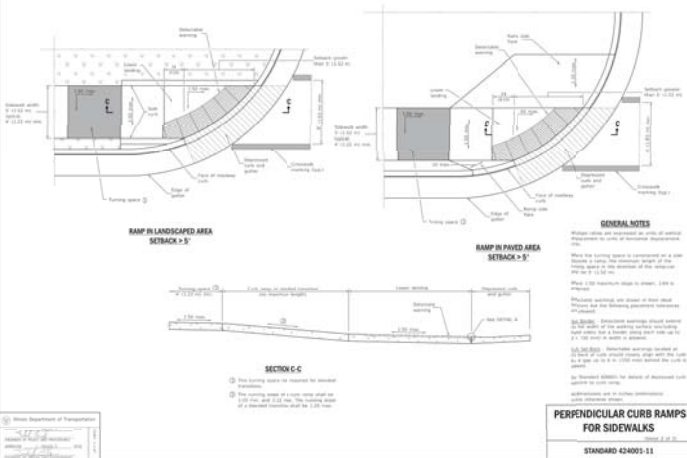
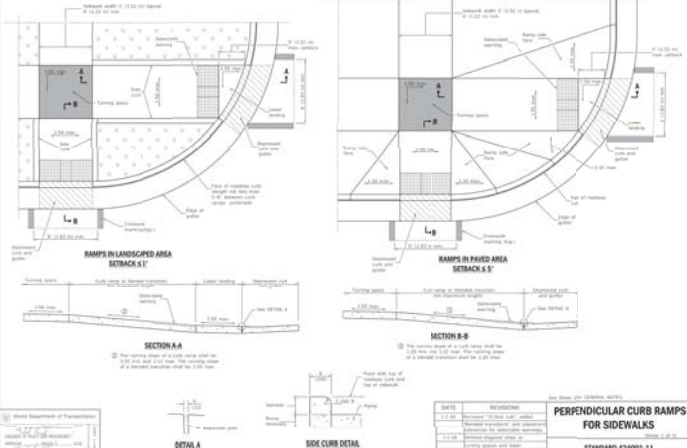
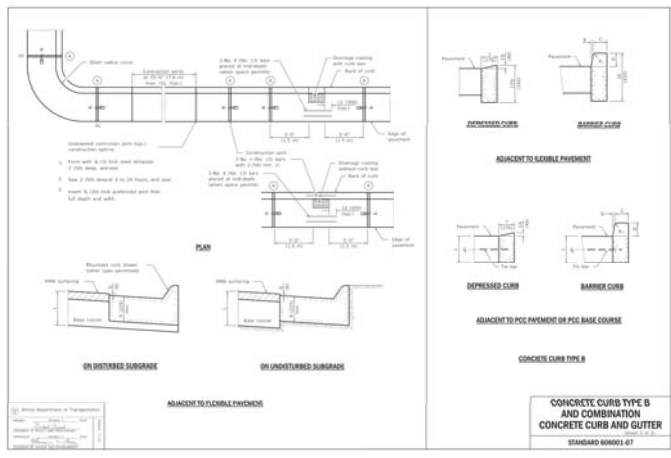
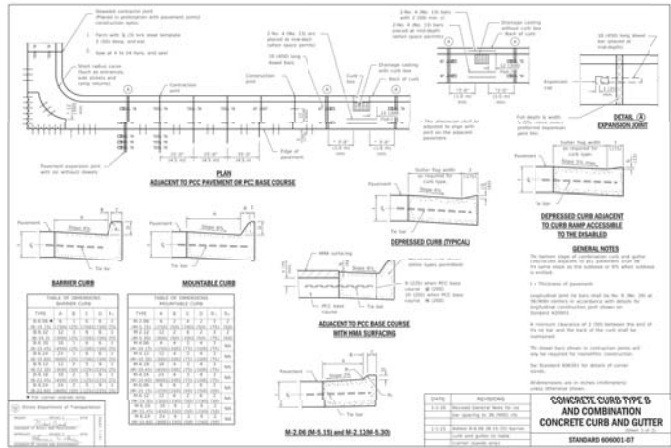


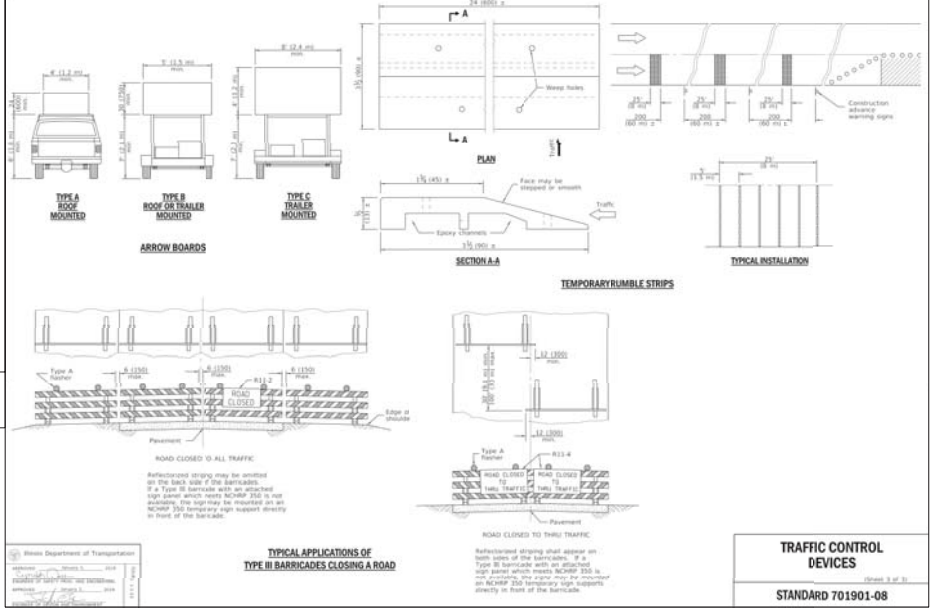
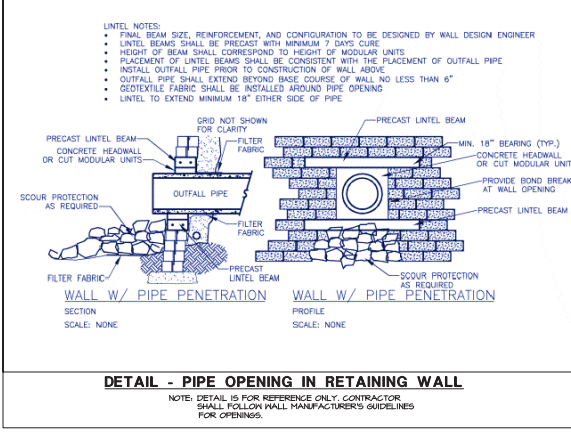
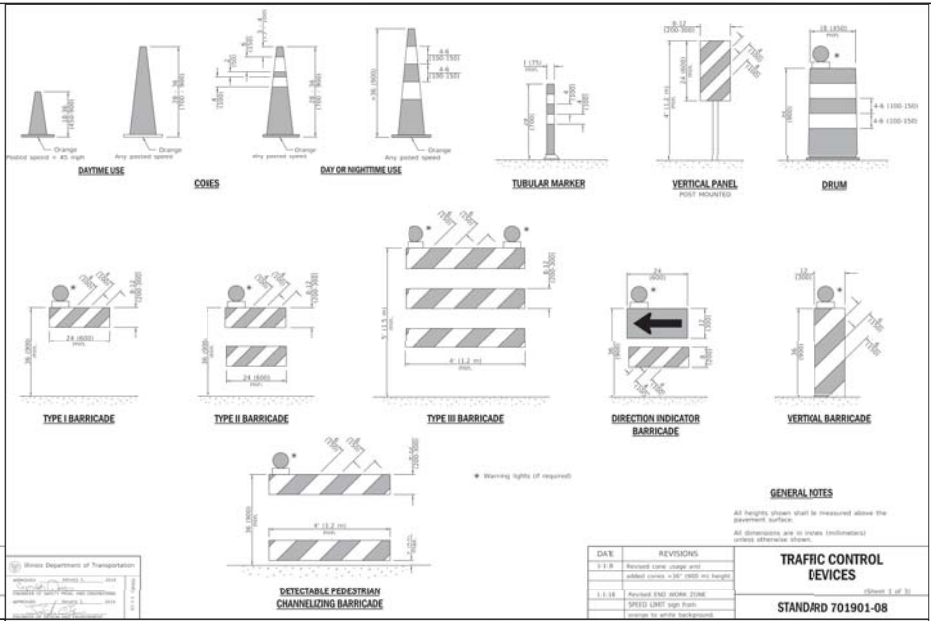
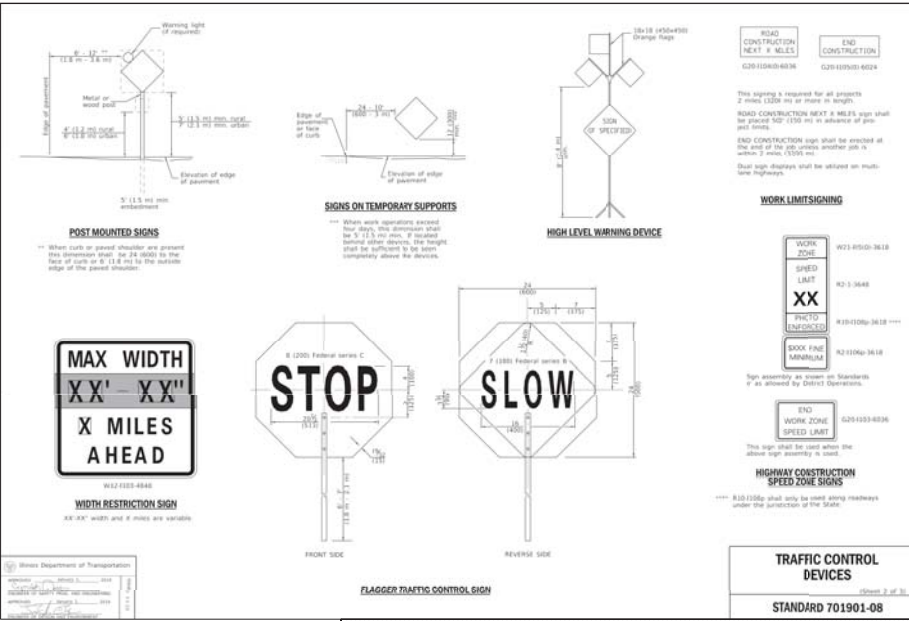
**DETAIL - HANDICAP PARKING STALL**  
NOT TO SCALE



**DETAIL - IL ROUTE 64 ASPHALT PAVEMENT**  
FOR USE ON IL ROUTE 64 ONLY  
NOT TO SCALE

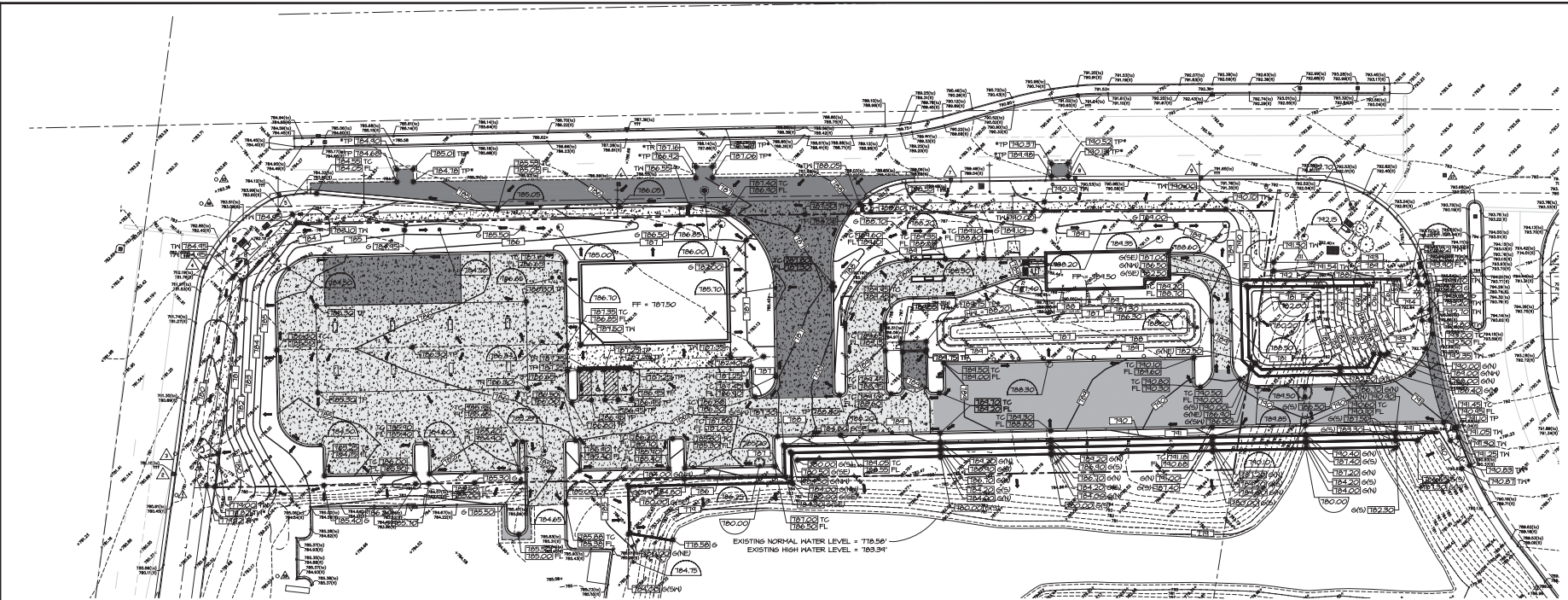






**ISSUE**

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	11/3/20
REV. SITE	2/4/20
REV. SITE	2/18/20
REV. SITE	3/10/20
REV. SITE	6/30/20



EXISTING NORMAL WATER LEVEL = 778.56'  
 EXISTING HIGH WATER LEVEL = 783.24'

**EXISTING UTILITY DATA**

<ul style="list-style-type: none"> <li>RM-781.66' (SANITARY)</li> <li>48" CONCRETE STRUCTURE</li> <li>INV-771.53' (CONCREOM N/S)</li> <li>INV-772.50' (15" RCP E)</li> <li>INV-781.50' (15" RCP W)</li> <li>INV-781.33' (8" DP W)</li> <li>TOP OF WATER=777.26'</li> </ul>	<ul style="list-style-type: none"> <li>RM-781.23' (STORM)</li> <li>48" CONCRETE STRUCTURE</li> <li>INV-771.53' (CONCREOM N/S)</li> <li>INV-772.50' (15" RCP E)</li> <li>INV-781.50' (15" RCP W)</li> <li>INV-781.33' (8" DP W)</li> <li>TOP OF WATER=777.26'</li> </ul>	<ul style="list-style-type: none"> <li>RM-781.23' (STORM)</li> <li>48" CONCRETE STRUCTURE</li> <li>INV-771.53' (CONCREOM N/S)</li> <li>INV-772.50' (15" RCP E)</li> <li>INV-781.50' (15" RCP W)</li> <li>INV-781.33' (8" DP W)</li> <li>TOP OF WATER=777.26'</li> </ul>	<ul style="list-style-type: none"> <li>RM-781.23' (STORM)</li> <li>48" CONCRETE STRUCTURE</li> <li>INV-771.53' (CONCREOM N/S)</li> <li>INV-772.50' (15" RCP E)</li> <li>INV-781.50' (15" RCP W)</li> <li>INV-781.33' (8" DP W)</li> <li>TOP OF WATER=777.26'</li> </ul>	<ul style="list-style-type: none"> <li>RM-781.23' (STORM)</li> <li>48" CONCRETE STRUCTURE</li> <li>INV-771.53' (CONCREOM N/S)</li> <li>INV-772.50' (15" RCP E)</li> <li>INV-781.50' (15" RCP W)</li> <li>INV-781.33' (8" DP W)</li> <li>TOP OF WATER=777.26'</li> </ul>	<ul style="list-style-type: none"> <li>RM-781.23' (STORM)</li> <li>48" CONCRETE STRUCTURE</li> <li>INV-771.53' (CONCREOM N/S)</li> <li>INV-772.50' (15" RCP E)</li> <li>INV-781.50' (15" RCP W)</li> <li>INV-781.33' (8" DP W)</li> <li>TOP OF WATER=777.26'</li> </ul>	<ul style="list-style-type: none"> <li>RM-781.23' (STORM)</li> <li>48" CONCRETE STRUCTURE</li> <li>INV-771.53' (CONCREOM N/S)</li> <li>INV-772.50' (15" RCP E)</li> <li>INV-781.50' (15" RCP W)</li> <li>INV-781.33' (8" DP W)</li> <li>TOP OF WATER=777.26'</li> </ul>	<ul style="list-style-type: none"> <li>RM-781.23' (STORM)</li> <li>48" CONCRETE STRUCTURE</li> <li>INV-771.53' (CONCREOM N/S)</li> <li>INV-772.50' (15" RCP E)</li> <li>INV-781.50' (15" RCP W)</li> <li>INV-781.33' (8" DP W)</li> <li>TOP OF WATER=777.26'</li> </ul>	<ul style="list-style-type: none"> <li>RM-781.23' (STORM)</li> <li>48" CONCRETE STRUCTURE</li> <li>INV-771.53' (CONCREOM N/S)</li> <li>INV-772.50' (15" RCP E)</li> <li>INV-781.50' (15" RCP W)</li> <li>INV-781.33' (8" DP W)</li> <li>TOP OF WATER=777.26'</li> </ul>	<ul style="list-style-type: none"> <li>RM-781.23' (STORM)</li> <li>48" CONCRETE STRUCTURE</li> <li>INV-771.53' (CONCREOM N/S)</li> <li>INV-772.50' (15" RCP E)</li> <li>INV-781.50' (15" RCP W)</li> <li>INV-781.33' (8" DP W)</li> <li>TOP OF WATER=777.26'</li> </ul>	<ul style="list-style-type: none"> <li>RM-781.23' (STORM)</li> <li>48" CONCRETE STRUCTURE</li> <li>INV-771.53' (CONCREOM N/S)</li> <li>INV-772.50' (15" RCP E)</li> <li>INV-781.50' (15" RCP W)</li> <li>INV-781.33' (8" DP W)</li> <li>TOP OF WATER=777.26'</li> </ul>	<ul style="list-style-type: none"> <li>RM-781.23' (STORM)</li> <li>48" CONCRETE STRUCTURE</li> <li>INV-771.53' (CONCREOM N/S)</li> <li>INV-772.50' (15" RCP E)</li> <li>INV-781.50' (15" RCP W)</li> <li>INV-781.33' (8" DP W)</li> <li>TOP OF WATER=777.26'</li> </ul>
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**HATCH LEGEND**

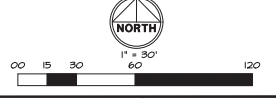
	NEH ASPHALT PAVEMENT
	NEH IL ROUTE 64 ASPHALT PAVEMENT
	NEH 5' CONCRETE SIDEWALK
	NEH 6' CONCRETE PAVEMENT
	NEH 8' CONCRETE PAVEMENT

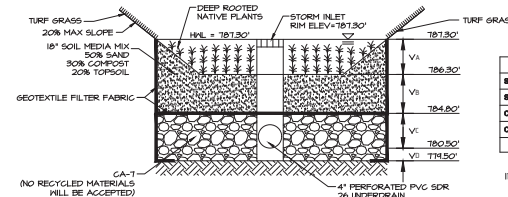
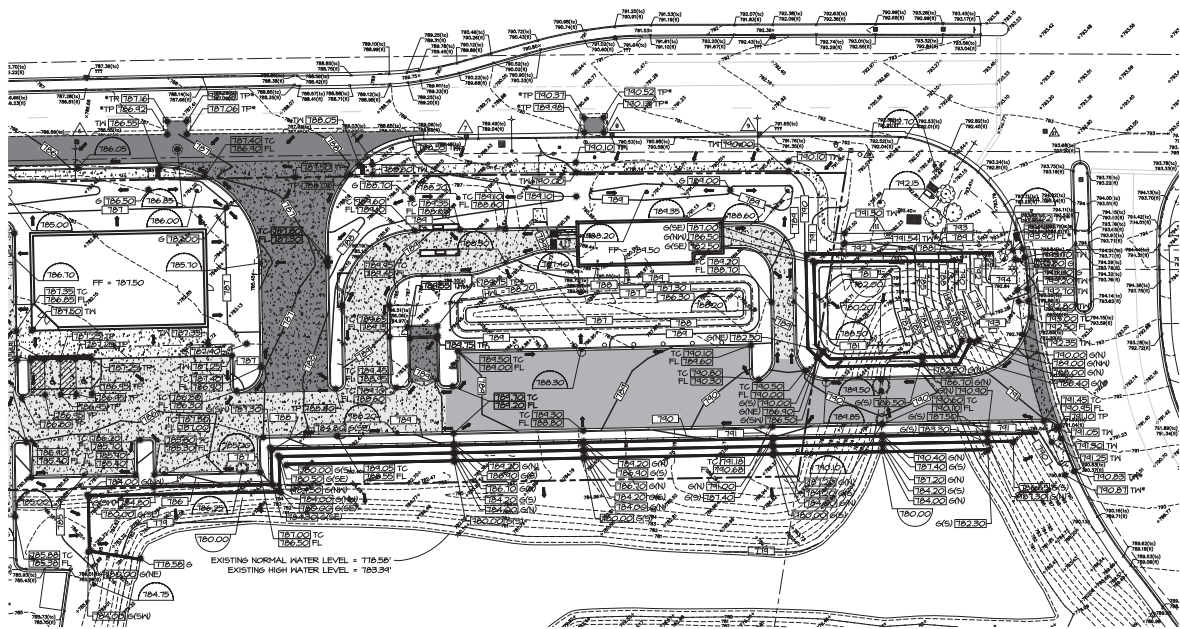
**GRADING LEGEND**

	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	INTERPOLATED SPOT GRADE
	PROPOSED RIM ELEVATION
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	OVERLAND FLOW ARROW
	100 YEAR OVERLAND FLOW ROUTE
	EMERGENCY OVERLAND ARROW
	TOP OF PAVEMENT ELEVATION
	TOP OF SIDEWALK ELEVATION
	FINISHED GRADE ELEVATION
	FINISHED FLOOR ELEVATION
	TOP OF CURB ELEVATION
	FLOOR LINE ELEVATION
	ADJUST EXISTING RIM ELEVATION
	EXISTING CLOSED HANNOLE
	EXISTING OPEN GATE HANNOLE
	EXISTING CURB INLET
	EXISTING FIRE HYDRANT
	EXISTING VALVE VAULT
	EXISTING B-BOX
	EXISTING TELCO PEDESTAL
	EXISTING UTILITY POLE W/ 6/4 WIRE
	PROPOSED FIRE HYDRANT
	PROPOSED VALVE WITH VAULT
	PROPOSED B-BOX
	PROPOSED INLET
	PROPOSED OPEN LID HANNOLE / CATCH BASIN
	PROPOSED CLOSED LID HANNOLE
	PROPOSED RESTRICTOR STRUCTURE
	PROPOSED NYLOPLAST DRAIN BASIN
	PROPOSED FLARED END SECTION
	PROPOSED GREASE TRAP

**SITE GRADING NOTES:**

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 09-12-18. PREPARED BY THE H/T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTOUR AND ALL UTILITIES WHETHER DELETED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES).
- B. ALL PROPOSED GRADES ARE GIVEN TO FINISHED GRADE. THE TOP OF PROPOSED ASPHALT, CONCRETE, TOP OF PROPOSED CURB, ETC. SEE DETAILS FOR PAVEMENT THICKNESS.
- C. CONTRACTOR SHALL CONTACT JULLIE BE (81 OR 1-800-892-0282) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY EXCAVATION AND/OR ELEVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- D. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSATISFACTORY MATERIALS CREATED AS A RESULT.
- E. CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OTHER AND/OR ENGINEER.
- G. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OTHER AND/OR ENGINEER.
- H. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED. ALL HANDICAP ACCESSIBLE ROUTES (SIDEWALKS, PARKING SPACES, DRIVEWAYS, ETC.) SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE PARKING SPACES SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
- I. VOIDS LEFT BY ANY TREES REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24' THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- K. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE. CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- L. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO ADJACENT THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- M. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- N. ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
- O. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LFP-662 AND/OR LFP-663 FORMS AS PART OF THEIR CONTRACT.
- P. PREPARE SUBGRADE AS SPECIFIED IN THE GEOTECHNICAL REPORT DATED MONTH DAY, YEAR PREPARED BY GEOTECHNICAL ENGINEER.
- Q. ALL TOPSOIL BENEATH PROPOSED STRUCTURES AND PAVEMENT SHALL BE REMOVED. REFER TO THE GEOTECHNICAL REPORT DATED MONTH DAY, YEAR PREPARED BY GEOTECHNICAL ENGINEER FOR EXISTING TOPSOIL DEPTHS.





VOLUME TYPE	POROSITY	MEDIA VOLUME	STORAGE VOLUME	VOLUME PROVIDED
SURFACE STORAGE	1.00	VA = 1489 C.F.	1.00 X VA	1489 C.F.
SOIL MEDIA MIX	0.25	VB = 3162 C.F.	0.5 X 0.25 X VB	395 C.F.
COARSE AGG. (ABOVE INVERT)	0.36	VC = 6034 C.F.	0.5 X 0.36 X VC	1056 C.F.
COARSE AGG. (BELOW INVERT)	0.36	VD = 2101 C.F.	0.36 X VD	756 C.F.
			<b>WEST RAIN GARDEN TOTAL</b>	<b>4890 C.F.</b>

INFILTRATION VOLUME REQUIRED = 1.416 AC. X 0.75' = 0.0895 ACRE - FEET  
 INFILTRATION VOLUME PROVIDED = 0.098 AC-FT X 0.0895 AC-FT

**WEST POND INFILTRATION VOLUME**  
 NOT TO SCALE

EXISTING POND - DETENTION STORAGE VOLUME ADDED			
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
783.95	8,235 SQ. FT.		
783.75	8,505 SQ. FT.	1,674 CU. FT.	48,440 CU. FT. OR 1,1120 AC-FT
783.50	8,832 SQ. FT.	2,167 CU. FT.	46,766 CU. FT. OR 1,0736 AC-FT
783.39 HWL	8,974 SQ. FT.	979 CU. FT.	44,599 CU. FT. OR 1,0238 AC-FT
783.20	9,220 SQ. FT.	1,728 CU. FT.	43,619 CU. FT. OR 1,0014 AC-FT
783.00	9,220 SQ. FT.	2,726 CU. FT.	41,891 CU. FT. OR 0,9617 AC-FT
782.91 WEIR	9,582 SQ. FT.	9,172 CU. FT.	39,165 CU. FT. OR 0,8991 AC-FT
782.00	10,576 SQ. FT.	11,116 CU. FT.	29,993 CU. FT. OR 0,6885 AC-FT
781.00	11,855 SQ. FT.	12,234 CU. FT.	18,877 CU. FT. OR 0,4334 AC-FT
780.00	12,812 SQ. FT.	6,574 CU. FT.	6,644 CU. FT. OR 0,1525 AC-FT
779.00	335 SQ. FT.	70 CU. FT.	70 CU. FT. OR 0,0016 AC-FT
778.58	0 SQ. FT.	70 CU. FT.	70 CU. FT. OR 0,0016 AC-FT

TOTAL POND V<sub>783.39</sub> = 43,619 CU. FT.  
 OR 1,001 AC-FT

EXISTING POND - DETENTION STORAGE VOLUME LOST			
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
783.95	3,231 SQ. FT.		
783.75	3,137 SQ. FT.	637 CU. FT.	11,630 CU. FT. OR 0,2670 AC-FT
783.50	3,022 SQ. FT.	770 CU. FT.	10,993 CU. FT. OR 0,2524 AC-FT
783.39 HWL	2,972 SQ. FT.	330 CU. FT.	10,223 CU. FT. OR 0,2347 AC-FT
783.20	2,887 SQ. FT.	557 CU. FT.	9,893 CU. FT. OR 0,2271 AC-FT
782.91 WEIR	2,761 SQ. FT.	819 CU. FT.	9,336 CU. FT. OR 0,2143 AC-FT
782.00	2,400 SQ. FT.	2,348 CU. FT.	8,518 CU. FT. OR 0,1955 AC-FT
781.00	2,020 SQ. FT.	2,210 CU. FT.	6,169 CU. FT. OR 0,1416 AC-FT
780.00	1,712 SQ. FT.	1,866 CU. FT.	3,959 CU. FT. OR 0,0909 AC-FT
779.00	1,375 SQ. FT.	1,544 CU. FT.	2,093 CU. FT. OR 0,0481 AC-FT
778.58	1,243 SQ. FT.	550 CU. FT.	550 CU. FT. OR 0,0126 AC-FT

TOTAL POND V<sub>783.39</sub> = 9,893 CU. FT.  
 OR 0,227 AC-FT

**PROPOSED DETENTION POND VOLUME - EAST POND**

ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
788.20 HWL	4,231 SQ. FT.		
788.00	4,191 SQ. FT.	842 CU. FT.	20,626 CU. FT. OR 0,4735 AC-FT
787.00	3,978 SQ. FT.	4,085 CU. FT.	19,784 CU. FT. OR 0,4542 AC-FT
786.00	3,002 SQ. FT.	3,490 CU. FT.	15,699 CU. FT. OR 0,3604 AC-FT
785.00	2,805 SQ. FT.	2,904 CU. FT.	12,209 CU. FT. OR 0,2803 AC-FT
784.00	2,608 SQ. FT.	2,707 CU. FT.	9,306 CU. FT. OR 0,2136 AC-FT
783.00	2,410 SQ. FT.	2,509 CU. FT.	6,599 CU. FT. OR 0,1515 AC-FT
782.00	1,921 SQ. FT.	2,166 CU. FT.	4,090 CU. FT. OR 0,0939 AC-FT
781.00	1,258 SQ. FT.	1,590 CU. FT.	1,925 CU. FT. OR 0,0442 AC-FT
780.20	0 SQ. FT.	335 CU. FT.	335 CU. FT. OR 0,0077 AC-FT

TOTAL POND V<sub>788.20</sub> = 20,626 CU. FT.  
 OR 0,474 AC-FT

**PROPOSED DETENTION POND VOLUME - WEST POND**

ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
788.20 HWL	3,403 SQ. FT.		
788.00	3,226 SQ. FT.	663 CU. FT.	2,527 CU. FT. OR 0,0580 AC-FT
787.30 OUTLET ELEV.	2,101 SQ. FT.	1,864 CU. FT.	1,864 CU. FT. OR 0,0428 AC-FT
786.30	885 SQ. FT.	1,493 CU. FT.	1,493 CU. FT. OR 0,0343 AC-FT

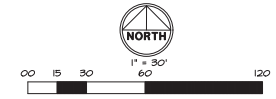
TOTAL POND V<sub>786.30</sub> = 2,527 CU. FT.  
 OR 0,058 AC-FT

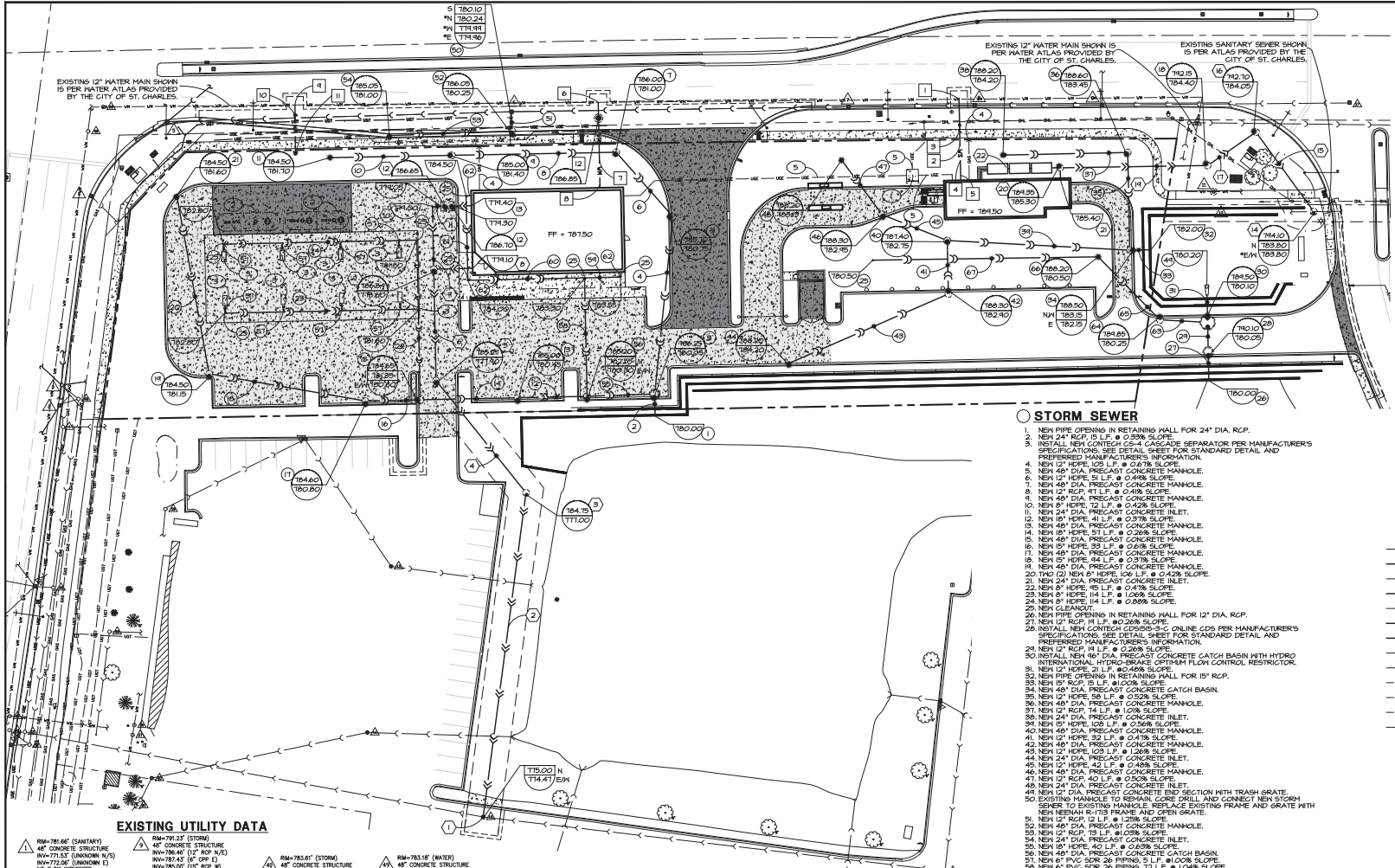
**PROPOSED DETENTION POND VOLUME - WEST & EAST PONDS**

ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
788.20 HWL			
788.00			23,154 CU. FT. OR 0,5315 AC-FT
787.00			21,648 CU. FT. OR 0,4970 AC-FT
786.00			17,192 CU. FT. OR 0,3947 AC-FT
785.00			12,209 CU. FT. OR 0,2803 AC-FT
784.00			9,306 CU. FT. OR 0,2136 AC-FT
783.00			6,599 CU. FT. OR 0,1515 AC-FT
782.00			4,090 CU. FT. OR 0,0939 AC-FT
781.00			1,925 CU. FT. OR 0,0442 AC-FT
780.20			335 CU. FT. OR 0,0077 AC-FT

TOTAL POND V<sub>788.20</sub> = 23,154 CU. FT.  
 OR 0,532 AC-FT

VOLUME REQUIRED = 1,200 ACRE - FEET  
 VOLUME ADDED EXISTING POND = 1,001 ACRE - FEET  
 VOLUME LOST EXISTING POND = 0,227 ACRE - FEET  
 VOLUME PROVIDED NEW PONDS = 0,532 ACRE - FEET  
 VOLUME PROVIDED = 1,306 ACRE - FEET





### SITE UTILITY NOTES:

- CONTRACTOR SHALL CONTACT UTILITIES (811 OR 1-800-892-0828) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY PERMIT AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING UTILITY, GAS, TELEPHONE, ETC. LINES ARE INDICATED ON THIS PLAN.
- CONTRACTOR TO TAKE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN ANY DAMAGE TO EXISTING UTILITIES NOTIFIED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER. CONTRACTOR SHALL EXCAVATE IN FIELD OF EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- REFER TO THE GENERAL NOTES AND SPECIFICATION SHEETS FOR ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS EXCEPTED CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- CONTRACTOR SHALL VERIFY IN FIELD OF EACH SIZE MATERIAL, INVERT, PIPE ROUTING, AND SLOPE OF ALL EXISTING UTILITIES AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF UTILITY TRENCHES DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING AND BRACING AS NECESSARY TO MAINTAIN STABILITY UNTIL CONSTRUCTION OF THE UTILITY IS COMPLETE IN CONFORMANCE WITH LOCAL AND STATE CODES, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- ALL RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE CLASS 107 36" WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C443 AND SECTION 31-0.2 OF THE "STANDARD SPECIFICATIONS".
- TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY (ASTM D-1557) OVER ALL UNDERGROUND UTILITIES WHICH ARE CONSTRUCTED UNDER OR WITHIN 18" OF ANY PROPOSED OR EXISTING PAVEMENT OR SIDEWALKS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ADJUST RM ELEVATIONS OF EXISTING STRUCTURES IN PAVEMENT AS NECESSARY TO MEET PROPOSED FINISHED GRADE.
- CONTRACTOR TO COORDINATE ALL CONNECTIONS TO CITY UTILITIES AND STORM SEWERS WITH THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR TO USE CAUTION WHEN EXCAVATING AT EXISTING UTILITY LINES.
- ALL STORM MANHOLES SHALL HAVE OPEN LIDS UNLESS OTHERWISE SPECIFIED.
- ALL EXISTING UTILITIES TO BE ABANDONED IN-PLACE SHALL BE CARRIED WITH 12" LONG ANTI-SHOCKING CONCRETE PORTAL PLUGS AT BOTH ENDS.
- ALL NEW STORM SEWERS WITHIN 50' RIGHT-OF-WAY TO BE PUBLIC. ALL OTHER NEW STORM SEWER TO BE PRIVATE.
- ALL NEW SANITARY SEWER SERVICE TO BE PRIVATE.
- ALL STORM SEWERS AND INLETS HAVE BEEN DESIGNED TO PASS THE 100-YEAR STORM EVENT.

### STORM SEWER

- NEW PIPE OPENING IN RETAINING WALL FOR 24" DIA. RCP.
- INSTALL NEW CONCRETE INLET SEPARATOR PER MANUFACTURER'S SPECIFICATIONS. SEE DETAIL SHEET FOR STANDARD DETAIL AND PREFERRED MANUFACTURER'S INFORMATION.
- NEW 12" HOPE L25 L.F. @ 0.26% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 12" HOPE S1 L.F. @ 0.48% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 12" RCP 14 L.F. @ 0.48% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 6" HOPE 12 L.F. @ 0.42% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 48" DIA. PRECAST CONCRETE INLET.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 12" HOPE 24 L.F. @ 0.26% SLOPE.
- NEW 24" DIA. PRECAST CONCRETE INLET.
- NEW 6" HOPE 14 L.F. @ 0.58% SLOPE.
- NEW 12" HOPE 14 L.F. @ 0.58% SLOPE.
- NEW CLEANOUT.
- NEW PIPE OPENING IN RETAINING WALL FOR 12" DIA. RCP.
- NEW 12" RCP 14 L.F. @ 0.26% SLOPE.
- INSTALL NEW 48" DIA. PRECAST CONCRETE CATCH BASIN WITH HYDRO INTERNATIONAL HYDRO-BRACE OPTIMUM FLOW CONTROL RESTRICTOR.
- NEW 12" HOPE 24 L.F. @ 0.26% SLOPE.
- NEW PIPE OPENING IN RETAINING WALL FOR 15" RCP.
- NEW 48" DIA. PRECAST CONCRETE CATCH BASIN.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 24" DIA. PRECAST CONCRETE INLET.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 24" DIA. PRECAST CONCRETE INLET.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 12" RCP 40 L.F. @ 0.58% SLOPE.
- NEW 24" DIA. PRECAST CONCRETE INLET.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 48" DIA. PRECAST CONCRETE CATCH BASIN.
- NEW 6" PVC SDR 35 PIPE 12 L.F. @ 1.00% SLOPE.
- NEW 6" PVC SDR 35 PIPE 12 L.F. @ 1.00% SLOPE.
- NEW 6" PVC SDR 35 PIPE 60 L.F. @ 1.00% SLOPE.
- NEW 6" PVC SDR 35 PIPE 60 L.F. @ 1.00% SLOPE.
- NEW BUILDING DOWNSPOUT.
- NEW 6" HOPE 28 L.F. @ 0.58% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 12" RCP 10 L.F. @ 0.26% SLOPE.
- NEW 24" DIA. PRECAST TYPE 'IV' CATCH BASIN.
- NEW 14" REBAR MAIN, 35 L.F. @ 0.00% SLOPE.

### SANITARY SEWER

- EXISTING MANHOLE TO REMAIN. CORE DRILL, BOOT AND CONNECT NEW SANITARY SEWER TO EXISTING MANHOLE. PROVIDE EXTERNAL CHIMNEY AS PER ASTM C-425.
- NEW 6" PVC SDR 35 PIPE 36 L.F. @ 1.00% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 6" PVC SDR 26 PIPE 12 L.F. @ 1.00% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 6" PVC SDR 26 PIPE 60 L.F. @ 1.00% SLOPE.
- NEW 6" PVC SDR 26 PIPE 60 L.F. @ 1.00% SLOPE.
- NEW CLEANOUT. TRAP SHALL BE ENCLOSED IN A CLEANOUT BOX, ELPH BRAP OR APPROVED EQUAL.
- NEW 6" PVC SDR 26, 10 L.F. @ 1.00% SLOPE.
- NEW 6" PVC SDR 26, 10 L.F. @ 1.00% SLOPE.
- INSTALL NEW 48" DIA. PRECAST CONCRETE MANHOLE ON EXISTING SANITARY SEWER SERVICE LOCATION.
- NEW 6" PVC SDR 26, 60 L.F. @ 1.00% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 6" PVC SDR 26, 60 L.F. @ 1.00% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE.
- NEW 6" PVC SDR 26, 7 L.F. @ 1.45% SLOPE.
- NEW REBAR TANK. CONTRACTOR TO CONTACT OWNER AND ALL NECESSARY PIPING FROM BUILDING PER MANUFACTURER'S SPECIFICATIONS. SEE PUMPING DRAWINGS FOR ADDITIONAL INFORMATION.

### WATER:

- CONNECT NEW 2" WATER SERVICE TO EXISTING 12" WATER MAIN. METHOD OF CONNECTION SHALL BE BY CUT-IN TEE.
- NEW 2" COPPER WATER SERVICE LINE, 26 L.F.
- NEW WATER SERVICE TO BE EXTENDED INTO NEW BUILDING. (SEE ARCHITECTURAL PLANS FOR DETAILS AND CONTINUATION).
- CONNECT NEW 6" WATER SERVICE TO EXISTING 12" WATER MAIN. METHOD OF CONNECTION SHALL BE BY CUT-IN TEE.
- NEW 6" CLASS 50 D.I.P. WATER SERVICE WITH FITTINGS, 5 L.F.
- NEW WATER SERVICE TO BE EXTENDED INTO NEW BUILDING. (SEE ARCHITECTURAL PLANS FOR DETAILS AND CONTINUATION).
- CONNECT NEW 6" WATER SERVICE TO EXISTING 12" WATER MAIN. METHOD OF CONNECTION SHALL BE BY CUT-IN TEE.
- NEW 6" CLASS 50 D.I.P. WATER LINE WITH FITTINGS, 24 L.F.
- NEW FIRE HYDRANT.
- NEW 48" DIA. PRECAST CONCRETE VALVE VAULT.

### MISCELLANEOUS NOTES

- NEW TRANSFORMER PAD. COORDINATE WITH LOCAL UTILITY PROVIDER FOR LOCATION AND UNDERGROUND SERVICE LOCATION.
- NEW FUEL TANKS. (SEE ARCHITECTURAL PLANS FOR DETAILS AND PRODUCT PIPING).
- NEW FUEL DISPENSER. (SEE ARCHITECTURAL PLANS FOR MORE INFORMATION).
- CONTRACTOR SHALL LOCATE GAS MAIN AND COORDINATE NEW GAS HOODUP WITH GAS COMPANY.
- NEW ELECTRIC SERVICE LINE. CONTRACTOR SHALL COORDINATE INSTALLATION WITH ELECTRIC COMPANY.

### EXISTING UTILITY DATA

84" CONCRETE STRUCTURE INV=715.53 (UNKNOWN N/S) NO FLOW WINDICED TOP OF MANHOLE 177.75  24" CONCRETE STRUCTURE INV=717.57 (12' RCP E) INV=715.57 (12' RCP N) INV=717.57 (12' RCP S)  48" CONCRETE STRUCTURE INV=716.02 (12' RCP SE)  48" CONCRETE STRUCTURE INV=715.53 (12' RCP NE)  48" CONCRETE STRUCTURE INV=715.24 (12' RCP SW)  48" CONCRETE STRUCTURE INV=715.07 (12' RCP W)  48" CONCRETE STRUCTURE INV=715.07 (12' RCP S)	48" CONCRETE STRUCTURE INV=784.45 (12' RCP N/S) INV=784.47 (12' RCP W) INV=785.02 (12' RCP E)  48" CONCRETE STRUCTURE INV=772.52 (12' RCP NW)  48" CONCRETE STRUCTURE INV=772.52 (12' RCP NE)  48" CONCRETE STRUCTURE INV=772.52 (12' RCP SW)  48" CONCRETE STRUCTURE INV=772.52 (12' RCP W)	48" CONCRETE STRUCTURE INV=783.67 (12' RCP NE) INV=784.17 (12' RCP NW)  48" CONCRETE STRUCTURE INV=783.67 (12' RCP SE) INV=784.17 (12' RCP SW)  48" CONCRETE STRUCTURE INV=783.67 (12' RCP E) INV=784.17 (12' RCP W)	48" CONCRETE STRUCTURE INV=775.52 (12' RCP SW/E)  48" CONCRETE STRUCTURE INV=775.52 (12' RCP W)  48" CONCRETE STRUCTURE INV=775.52 (12' RCP S)	48" CONCRETE STRUCTURE INV=783.18 (12' RCP NW/E)  48" CONCRETE STRUCTURE INV=783.18 (12' RCP W)  48" CONCRETE STRUCTURE INV=783.18 (12' RCP S)	48" CONCRETE STRUCTURE INV=775.52 (12' RCP SW/E)  48" CONCRETE STRUCTURE INV=775.52 (12' RCP W)  48" CONCRETE STRUCTURE INV=775.52 (12' RCP S)	48" CONCRETE STRUCTURE INV=775.52 (12' RCP SW/E)  48" CONCRETE STRUCTURE INV=775.52 (12' RCP W)  48" CONCRETE STRUCTURE INV=775.52 (12' RCP S)	48" CONCRETE STRUCTURE INV=775.52 (12' RCP SW/E)  48" CONCRETE STRUCTURE INV=775.52 (12' RCP W)  48" CONCRETE STRUCTURE INV=775.52 (12' RCP S)	48" CONCRETE STRUCTURE INV=775.52 (12' RCP SW/E)  48" CONCRETE STRUCTURE INV=775.52 (12' RCP W)  48" CONCRETE STRUCTURE INV=775.52 (12' RCP S)	48" CONCRETE STRUCTURE INV=775.52 (12' RCP SW/E)  48" CONCRETE STRUCTURE INV=775.52 (12' RCP W)  48" CONCRETE STRUCTURE INV=775.52 (12' RCP S)	48" CONCRETE STRUCTURE INV=775.52 (12' RCP SW/E)  48" CONCRETE STRUCTURE INV=775.52 (12' RCP W)  48" CONCRETE STRUCTURE INV=775.52 (12' RCP S)
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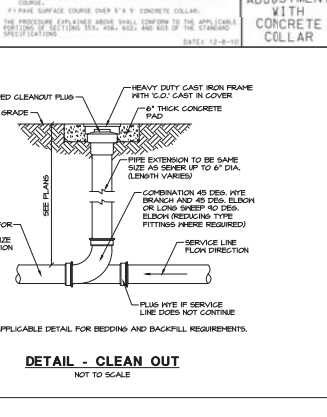
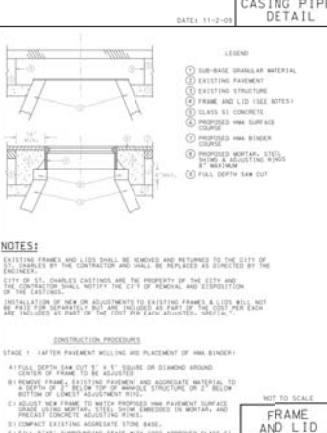
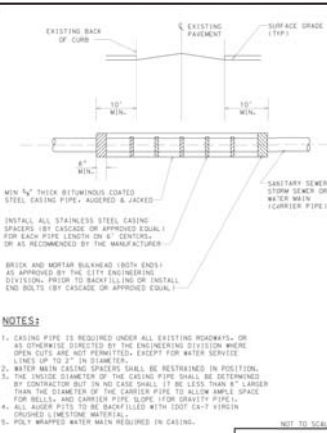
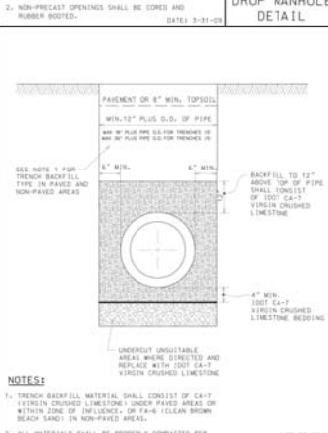
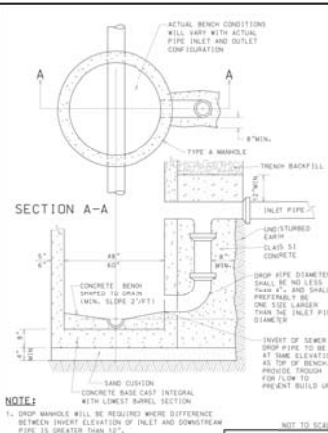
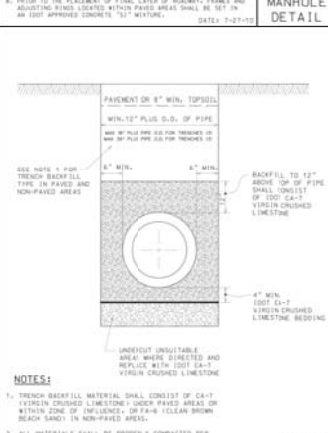
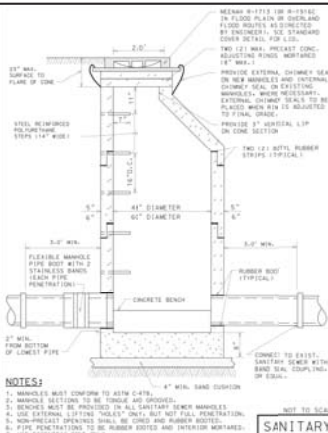
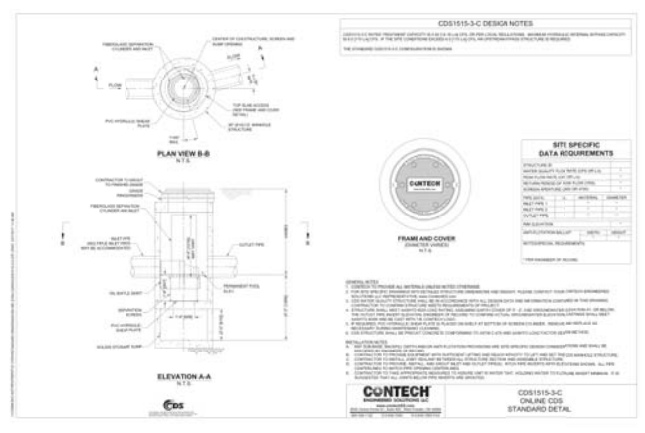
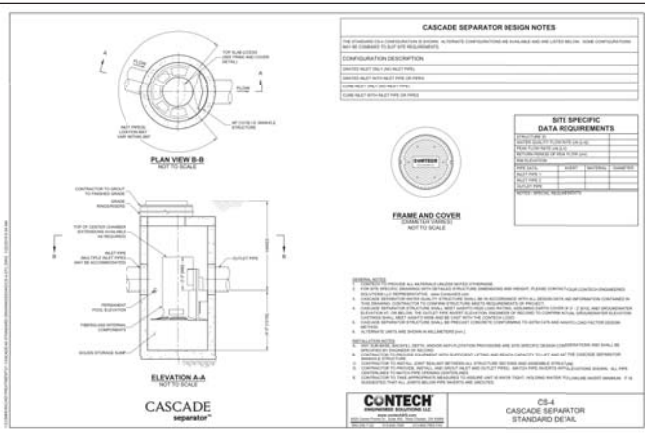
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ISSUE  
 TO DATE  
 REV. SITE 6/15/19  
 REV. SITE 6/26/19  
 REV. SITE 1/13/20  
 REV. SITE 2/4/20  
 REV. SITE 2/19/20  
 REV. SITE 6/3/20



C-5.0  
 SITE UTILITY PLAN



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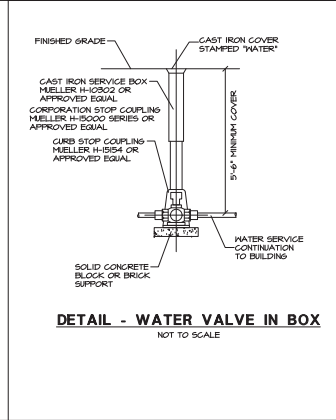
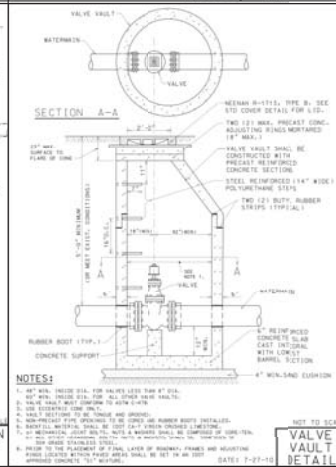
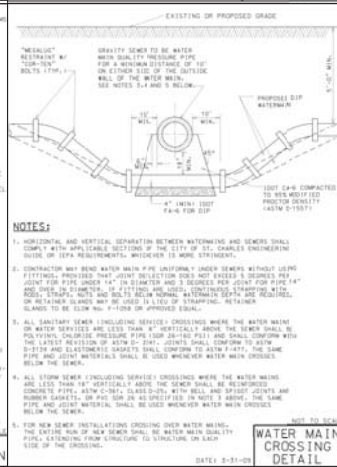
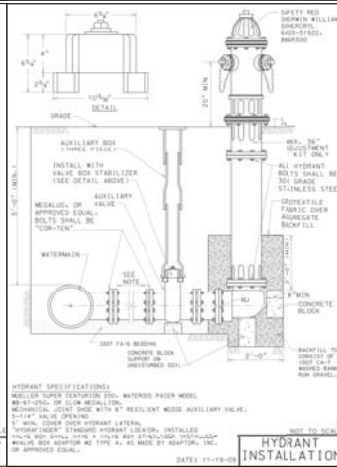
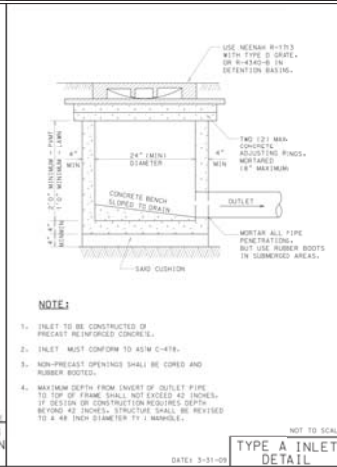
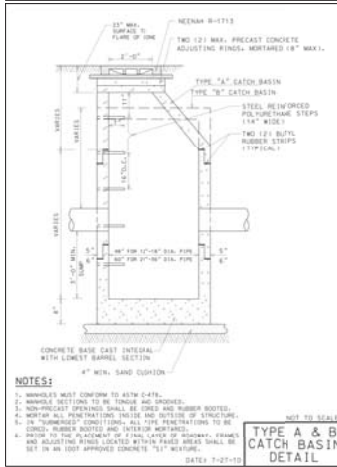
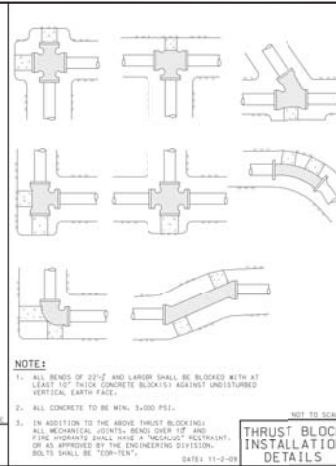
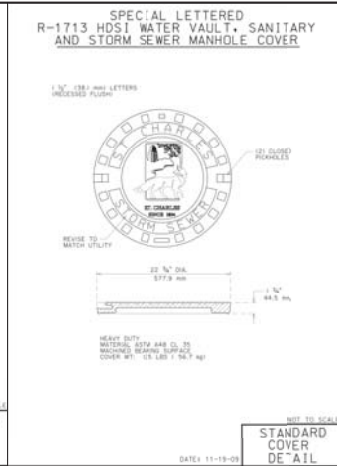
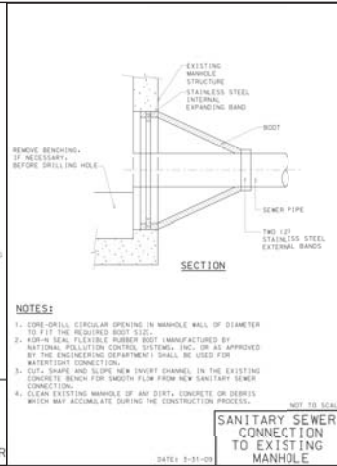
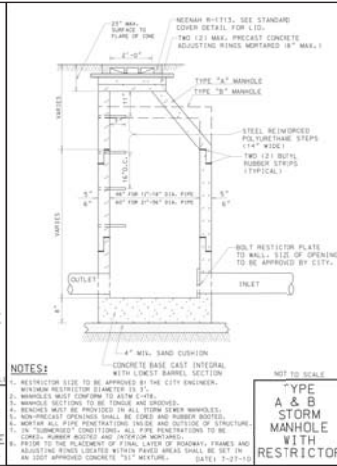
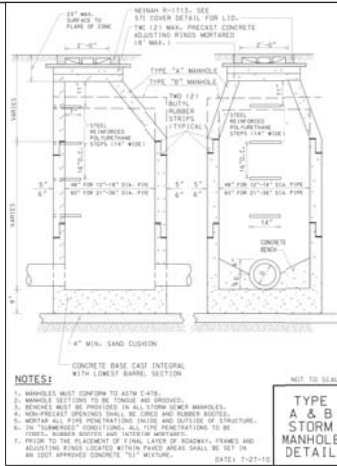
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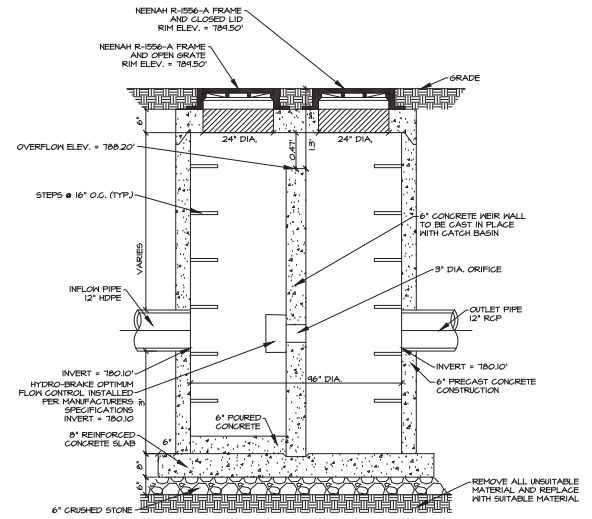
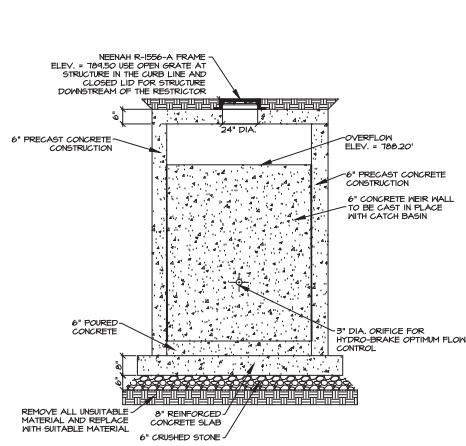
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TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/13/20
REV. SITE	6/30/20

**CHECK/TO**  
**DRAWN/TEP**  
 JOB:1910803C

**C-5.1**  
 SITE UTILITY DETAILS





**DETAIL - 96" CATCH BASIN #30 WITH RESTRICTOR**

Technical Specification			
Control Point	Head (ft)		Flow (cfs)
Primary Design	5.100	0.096	Hydro-Braker® Optimum Flow Control including: • 8.118 gpm 304L stainless steel mesh screen • 1/2" diameter stainless steel pipe • 1/2" diameter stainless steel pipe with always clear line of sight through to outlet • 1/2" diameter stainless steel pipe with • Bead treated foam to maximize capacity • 1/2" diameter stainless steel pipe • Rubber gasket to seal outlet
Flush-Flow™	3.800	0.061	
Kick-Flow™	1.850	0.049	
Mass Flow		0.070	

**Hydro-Braker Optimum Flow Control**

**SECTION A-A**      **SECTION B-B**

**IMPORTANT:** Check for correct installation. Do not use in areas where the headflow characteristics are not as specified. Do not use in areas where the headflow characteristics are not as specified. Do not use in areas where the headflow characteristics are not as specified.

**THIS DESIGN LAYOUT IS FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO SCALE.**

**DESIGN:** The headflow characteristics of the SHE-0063-2710-2469-2710 Hydro-Braker® Optimum Flow Control are unique. Customized headflow including includes the full headflow characteristics curve. The use of an outlet flow control will include any design based on this data.

**ADVICE:** Hydro-Braker® Optimum Flow Control is a registered trademark of Hydro-Braker® International, Inc. All rights reserved. © 2010 Hydro-Braker® International, Inc. All rights reserved.

**DATE:** 12/25/2009 10:23 AM  
**SITE:** Pride of Kane County  
**PROJECT:** Main Ridge  
**REP:** New Pond

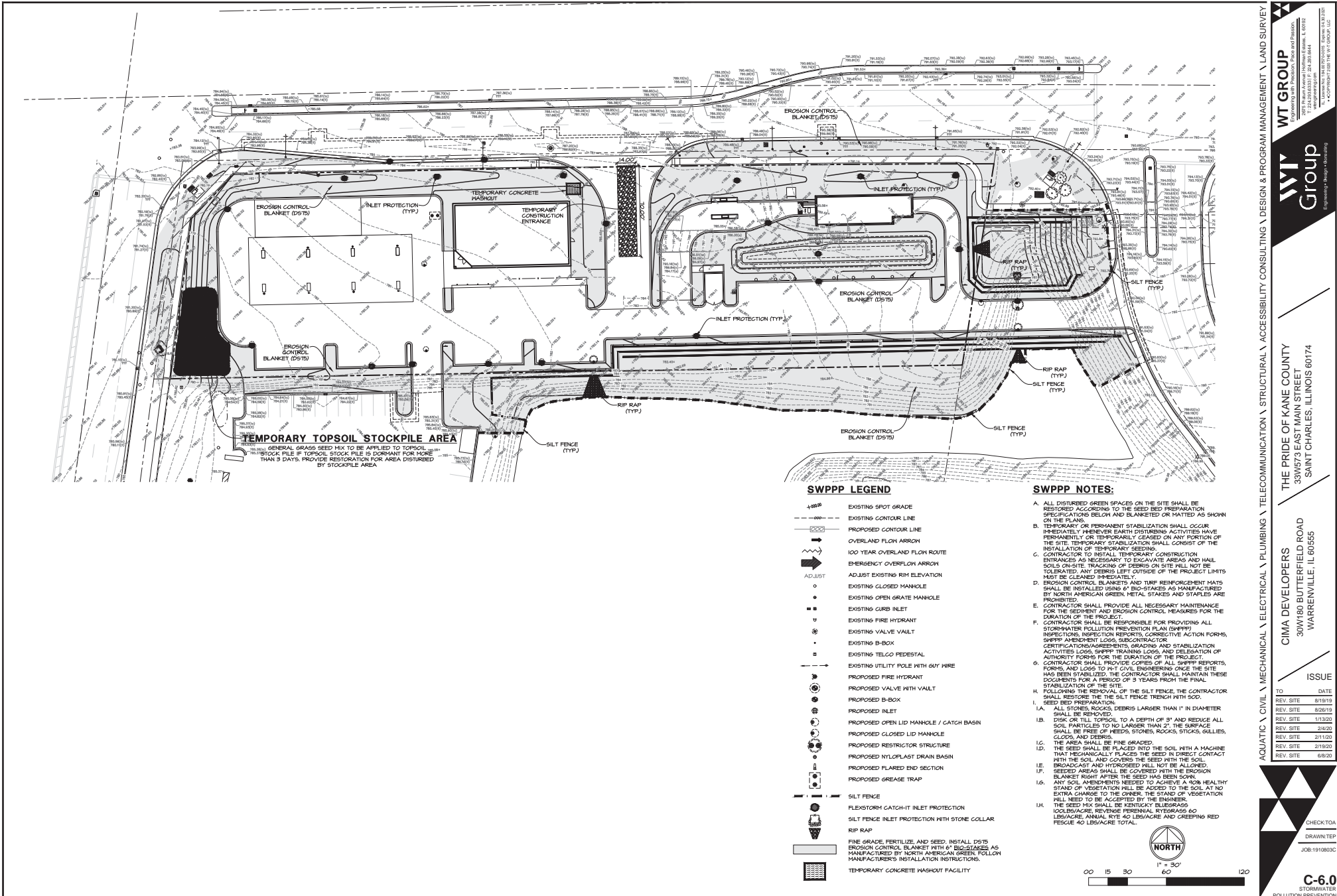
**Hydro-Braker® International, Inc.**  
 SHE-0063-2710-2469-2710  
 Hydro-Braker® Optimum

[info@hydrobraker.com](mailto:info@hydrobraker.com)

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REV. SITE	2/11/20
REV. SITE	2/13/20
REV. SITE	6/30/20





**TEMPORARY TOPSOIL STOCKPILE AREA**  
 GENERAL GRASS SEED MIX TO BE APPLIED TO TOPSOIL STOCK PILE IF TOPSOIL STOCK PILE IS DORMANT FOR MORE THAN 30 DAYS. PROVIDE RESTORATION FOR AREA DISTURBED BY STOCKPILE AREA.

**SWPPP LEGEND**

- EXISTING SPOT GRADE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- ADJUST EXISTING RIM ELEVATION
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING VALVE VAULT
- EXISTING B-BOX
- EXISTING TELCO PEDESTAL
- EXISTING UTILITY POLE WITH GUY WIRE
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE VAULT
- PROPOSED B-BOX
- PROPOSED INLET
- PROPOSED OPEN LID MANHOLE / CATCH BASIN
- PROPOSED CLOSED LID MANHOLE
- PROPOSED RESTRICTOR STRUCTURE
- PROPOSED NYLON LAST DRAIN BASIN
- PROPOSED FLARED END SECTION
- PROPOSED GREASE TRAP
- SILT FENCE
- FLEXSTORM CATCH-INLET PROTECTION
- SILT FENCE INLET PROTECTION WITH STONE COLLAR
- RIP RAP
- FINE GRADE, FERTILIZE AND SEED. INSTALL DISTS EROSION CONTROL BLANKET WITH 6" BIG-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- TEMPORARY CONCRETE WASHOUT FACILITY

**SWPPP NOTES:**

- A. ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLAN.
- B. TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
- C. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO ELEVATE AREAS AND HAIL SOILS ON-SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.
- D. EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6" BIG-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. METAL STAKES AND STAPLES ARE PROHIBITED.
- E. CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- G. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO PAE CIVIL ENGINEERING ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
- H. FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR SHALL RESTORE THE SILT FENCE TRENCH WITH SOIL.
- I. SEED BED PREPARATION
  - 1A. ALL STONES, ROCKS, DEBRIS LARGER THAN 1" IN DIAMETER SHALL BE REMOVED.
  - 1B. DISK OR TILL TOPSOIL TO A DEPTH OF 3" AND REDUCE ALL SOIL PARTICLES TO NO LARGER THAN 2". THE SURFACE SHALL BE FREE OF NEEDS, STONES, ROCKS, STICKS, GULLIES, CLOS, AND DEBRIS.
  - 1C. THE AREA SHALL BE FINE GRADED.
  - 1D. THE SEED SHALL BE PLACED INTO THE SOIL WITH A MACHINE THAT MECHANICALLY PLACES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL. BROADCAST AND HYDROPOSED WILL NOT BE ALLOWED.
  - 1E. SEEDING AREAS SHALL BE COVERED WITH THE EROSION BLANKET RIGHT AFTER THE SEED HAS BEEN SOWN.
  - 1F. ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 40% HEALTHY STAND OF VEGETATION WILL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER.
  - 1G. THE SEED MIX SHALL BE KENTUCKY BLUEGRASS 10 LBS/ACRE, REVERSE PERENNIAL RYEGRASS 40 LBS/ACRE, ANNUAL RYE 40 LBS/ACRE, AND CREEPING RED FESCUE 40 LBS/ACRE TOTAL.



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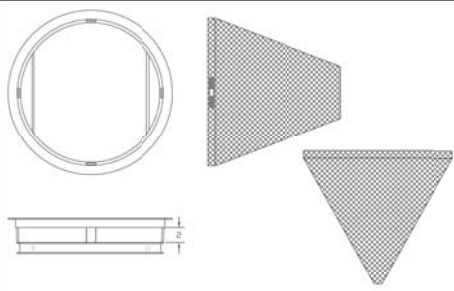
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**ISSUE**

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	3/13/20
REV. SITE	6/30/20

CHECK/TOA  
 DRAWN/TEP  
 JOB:1910803C

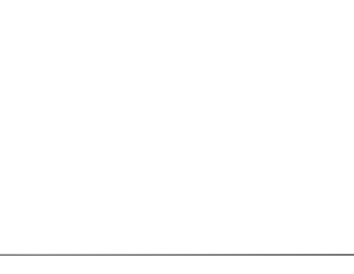
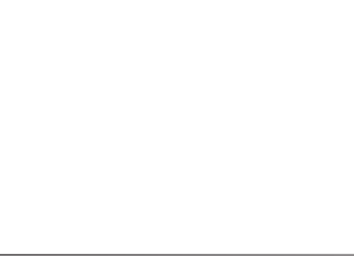
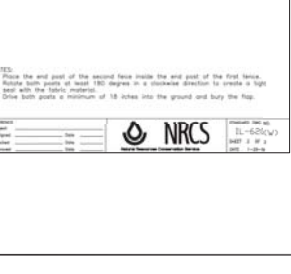
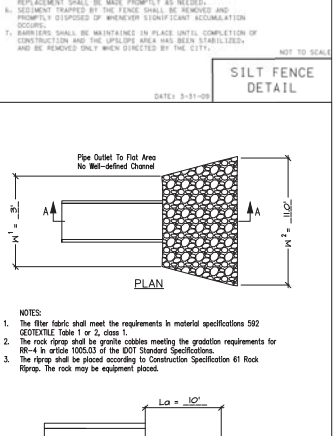
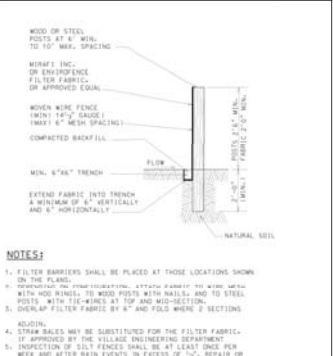
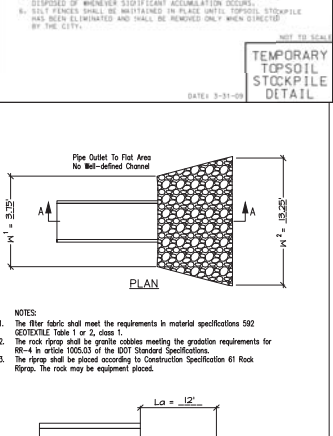
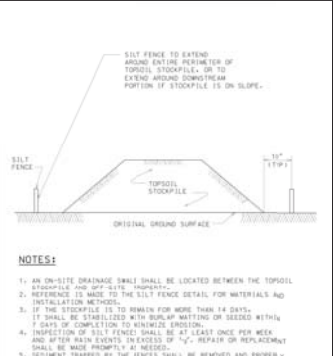
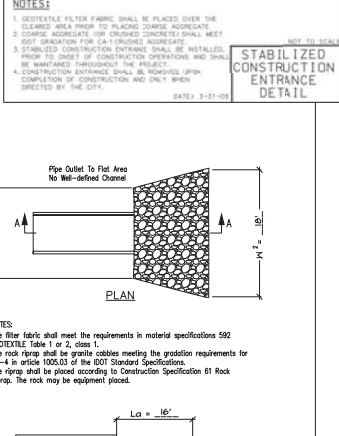
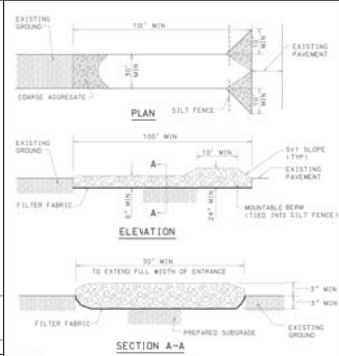
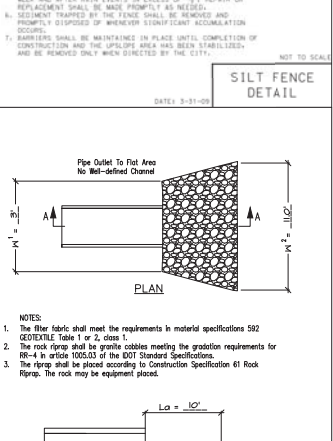
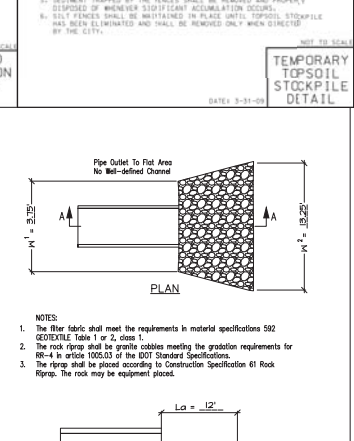
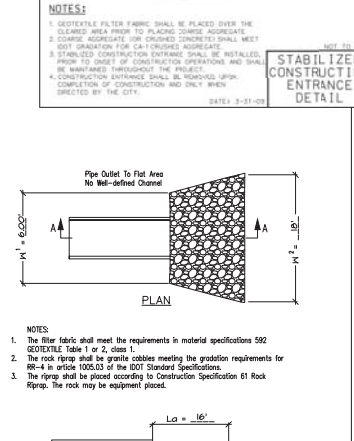
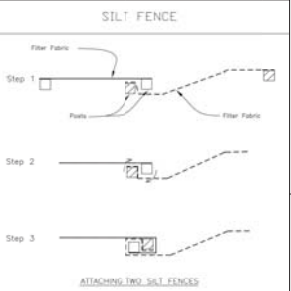
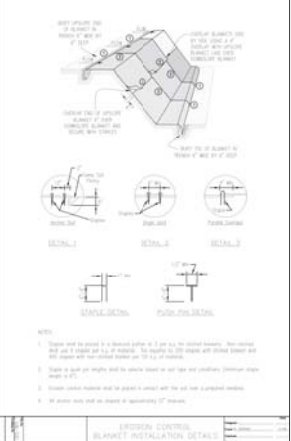
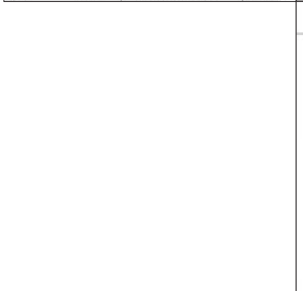
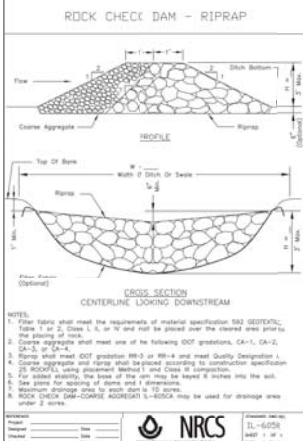
**C-6.0**  
 STORMWATER  
 POLLUTION PREVENTION  
 PLAN



GENERIC NOTES:  
 FINE: Top Flange Fabricated from 1/2"x1/2"x1/4" angle. Base rim Fabricated from 1/2"x1/2"x1/4" channel. Handles and suspension brackets Fabricated from 1/2"x1/2"x1/4" pipe. All steel conforming to ASTM-A36.  
 STANDARD: All Pipe Fabricated from 4" Schedule 40 seamless polypropylene galvanized pipe. All other steel conforming to ASTM-A36.  
 ALL STEEL SHALL BE GALVANNEAL WITH MINIMUM 55% ZINC COATING.

DATE	REVISION
	Original

Typical Round Catch-All  
 Marathon Materials, Inc.





**STORMWATER POLLUTION PREVENTION NOTES**

1. COPIES OF THE APPROVED STORM WATER POLLUTION PREVENTION PLANS SHALL BE MAINTAINED ON THE SITE AT ALL TIMES ALONG WITH THE PERMIT, INCIDENT OF NON-COMPLIANCE (I/CN) FORM AND INSPECTION FORMS.
2. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE CITY ENGINEER. CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION DATE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- 3.1. ILLINOIS QUALIFIED PERSONNEL SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 3.2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INFORM ANY SUBCONTRACTORS WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS EPA.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED.
5. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED FOR REVIEW.
6. THE GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE PROJECT SITE MUST BE NOTIFIED ONE (1) WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES AND ONE (1) WEEK PRIOR TO THE FINAL INSPECTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE GOVERNING AUTHORITY.
8. IF AFTER REPEATED FAILURE ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL EROSION POLLUTION, THE GOVERNING AUTHORITIES RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
9. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, LATEST EDITION.
10. INLET PROTECTION SHALL BE INSTALLED AROUND EACH INLET OR CATCH BASIN. THESE SHALL BE MAINTAINED UNTIL THE TEMPORARY DRAINAGE AREAS HAVE ADEQUATE GRASS COVER OR APPROPRIATE GROUND STABILIZATION.
11. ALL STREETS ADJACENT TO THE SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS.
12. CONTRACTORS SHALL MINIMIZE BARE EARTH SURFACES DURING CONSTRUCTION.
13. ALL DISTURBED AREAS SHOULD BE SEEDED OR SOODED WITHIN THREE (3) DAYS OF FINAL DISTURBANCE.
14. WHENEVER DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOE OF DRAINAGE STRUCTURES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED IMMEDIATELY.
15. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF INLET PROTECTION OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
16. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A MANNER AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, MASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
17. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE FROM THE PROPOSED CONSTRUCTION ENTRANCE. THE USE OF ANY OTHER ACCESSSES IS PROHIBITED.
18. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED OR OTHERWISE DISCHARGED FROM THE SITE INTO SEDIMENT BASINS, SILT TRAPS, DEWATERING BAGS OR POLYMER MIXING SHALL, DEWATERING DIRECTLY INTO FIELD TILES, WETLANDS, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, STREAMS, LAKES, PONDS, RIVERS, OR STORMWATER SYSTEMS IS PROHIBITED.
19. ALL STOCKPILES SHOULD BE STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
20. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY ON THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:
  - 20.1. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
  - 20.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (I.E. THE TOTAL PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.
21. EROSION CONTROL BLANKETS SHALL BE USED IN AREAS OF 6% SLOPE OR STEEPER AND AS SHOWN ON THE PLANS.
22. ALL DISTURBED GREEN SPACES WITHIN THE R.O.W. SHALL BE RESTORED WITH 6" OF TOPSOIL AND CLASS 2A SEEDING.
23. THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SAFTDOWN SHALL BE ADDRESSED EARLY IN THE FALL, GRASSING SEASON SO THAT THE SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER. EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GRASSING SEASON. THE AREAS TO BE WORKED BEFORE THE END OF THE GRASSING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT INCLUDE VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.
24. ONCE ALL DISTURBED AREAS WITHIN THE R.O.W. SHALL BE RESTORED WITH SEED AND BLANKET OR SOIL AS SHOWN IN THE PLANS, SILT FENCING SHALL BE REMOVED AND THE FENCE SHALL BE RESTORED WITH TOPSOIL, SEED FERTILIZER AND BLANKETING. RESTORATION SHALL OCCUR IMMEDIATELY FOLLOWING THE REMOVAL OF THE SILT FENCE. RESTORATION SHALL BE COMPLETED THE SAME WORKING DAY AS ANY SILT FENCING REMOVAL, AND AT LEAST 2 HOURS BEFORE ANY FORECASTED PRECIPITATION.
25. ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PROPERLY STABILIZED OR DISPOSED OFF BY THE CONTRACTOR.

**SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION SCHEDULE**

1. OBTAIN NPDES AND OTHER APPLICABLE SITE PERMITS AND REVIEW PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SHEETS THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
3. INSTALL PERIMETER SEDIMENT CONTROL MEASURES (E.G. SILT FENCE).
4. INSTALL PROTECTION DEVICES FOR EXISTING DRAINAGE INLET AND OUTLET STRUCTURES, IF APPLICABLE.
5. PERFORM STORMWATER POLLUTION PREVENTION SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP.
- 5.1. ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION (SEE THE STORMWATER POLLUTION PREVENTION NOTES AND STORMWATER POLLUTION PREVENTION MAINTENANCE SCHEDULE FOR ADDITIONAL INFORMATION). CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 5.2. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTORS.
- 5.3. PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED.
6. PERFORM SITE CLEANING AND GRUBBING AND REMOVE EXISTING VEGETATION AS NEEDED FOR INITIAL SITE GRADING OPERATIONS. VEGETATED SITE AREAS THAT ARE NOT INCLUDED WITH THE INITIAL GRADING SHALL REMAIN UNDISTURBED. ALL TOPSOIL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE AND STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
7. REMOVE ALL ITEMS NOTED FOR REMOVAL IN THE DEMOLITION PLAN.
8. PERFORM ROUGH GRADING OPERATIONS, CONSTRUCT OVERFLOW ROUTES, AND STABILIZE ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO STEEP SLOPES, DRAINAGE CHANNELS AND SWALES (I.E. TEMPORARY AND PERMANENT SEEDING, EROSION CONTROL, BLANKETS, RIP-RAP, CHECK DAMS, TEMPORARY DRAINAGE DIVERSIONS, ETC.).
9. INSTALL TEMPORARY CONCRETE WASHOUT FACILITY.
10. INSTALL BUILDING FOUNDATIONS AND BEGIN BUILDING CONSTRUCTION.
11. INSTALL DETENTION SYSTEMS, STORM SEWERS AND OTHER SITE UTILITIES AND IMMEDIATELY INSTALL DRAINAGE INLET AND OUTLET PROTECTION DEVICES AS INDICATED ON THE PLANS.
12. PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.
13. INSTALL CURBS AND BEGIN SITE PAVING OPERATIONS (I.E. DRIVEWAYS, SIDEWALKS, ETC.).
14. COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS.
15. REMOVE TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.
16. SUBMIT A NOTICE OF TERMINATION (N.O.T.) TO THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY UPON COMPLETION OF ALL SITE CONSTRUCTION AND FINAL SITE STABILIZATION (I.E. OVER 70% VEGETATIVE COVER).



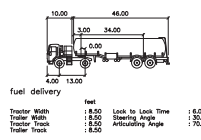
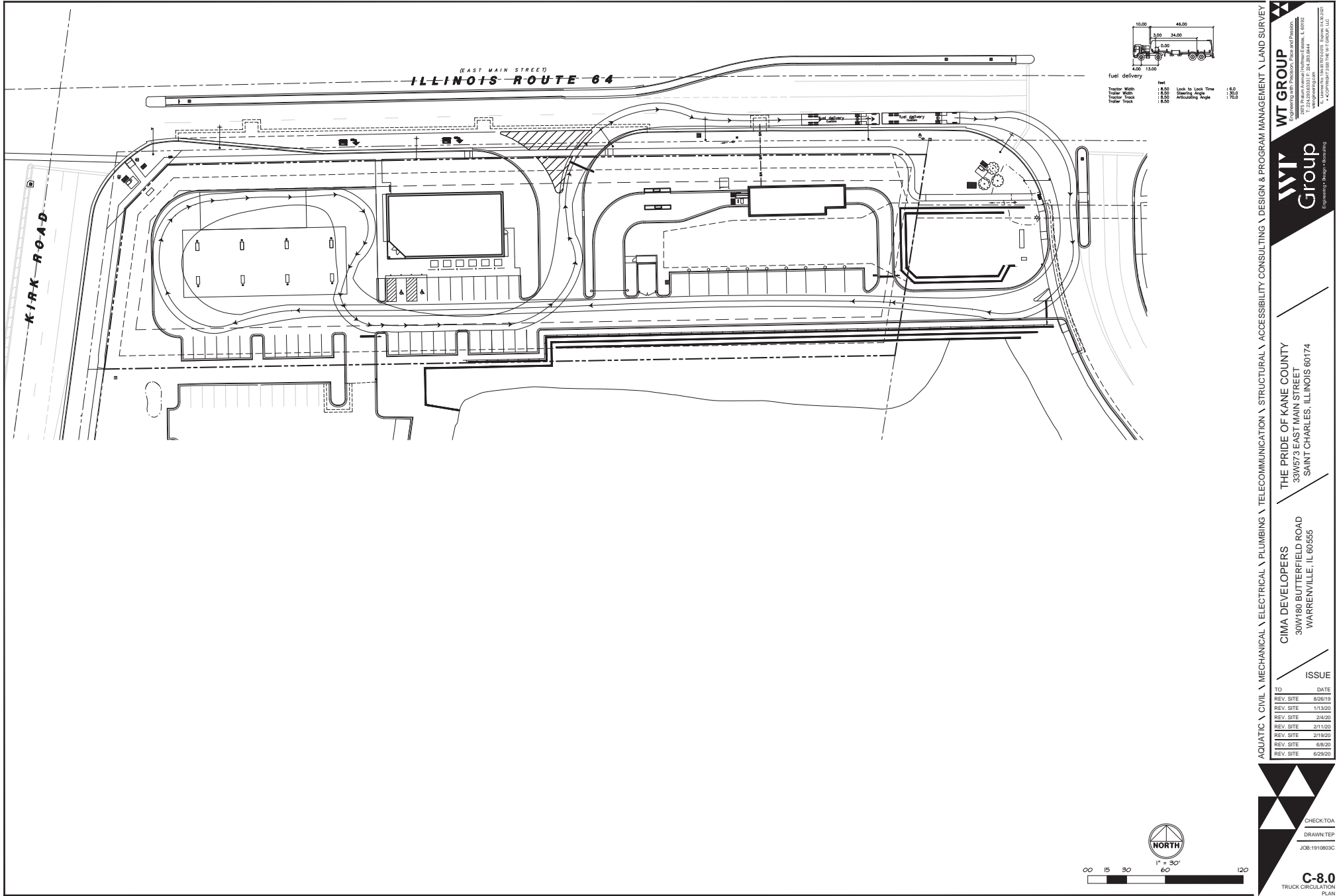
THE PRIDE OF KANE COUNTY  
3301/180 BUTTERFIELD ROAD  
SAINT CHARLES, ILLINOIS 60174

CIMA DEVELOPERS  
3301/180 BUTTERFIELD ROAD  
WARRENVILLE, IL 60555

ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	3/10/20
REV. SITE	6/30/20

CHECK/TO  
DRAWN/TEP  
JOB:1910803C



	feet		feet
Tractor Width	8.50	Lock to Lock Time	18.0
Trailer Width	10.00	Steering Angle	130.0
Tractor Track	1.50	Articulating Angle	70.0
Trailer Track	8.50		

**WT GROUP**  
 ENGINEERING AND PLUMBING, INCORPORATED  
 1224 203 0331 ST. JOE, IN 46782  
 WWW.WTGROUP.COM TEL: 317.233.0331 FAX: 317.233.0344  
 \*A COMMITMENT TO THE W.T. GROUP, LLC

**WJ Group**  
 A Lighting & Design Company

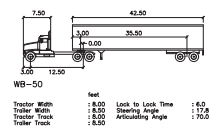
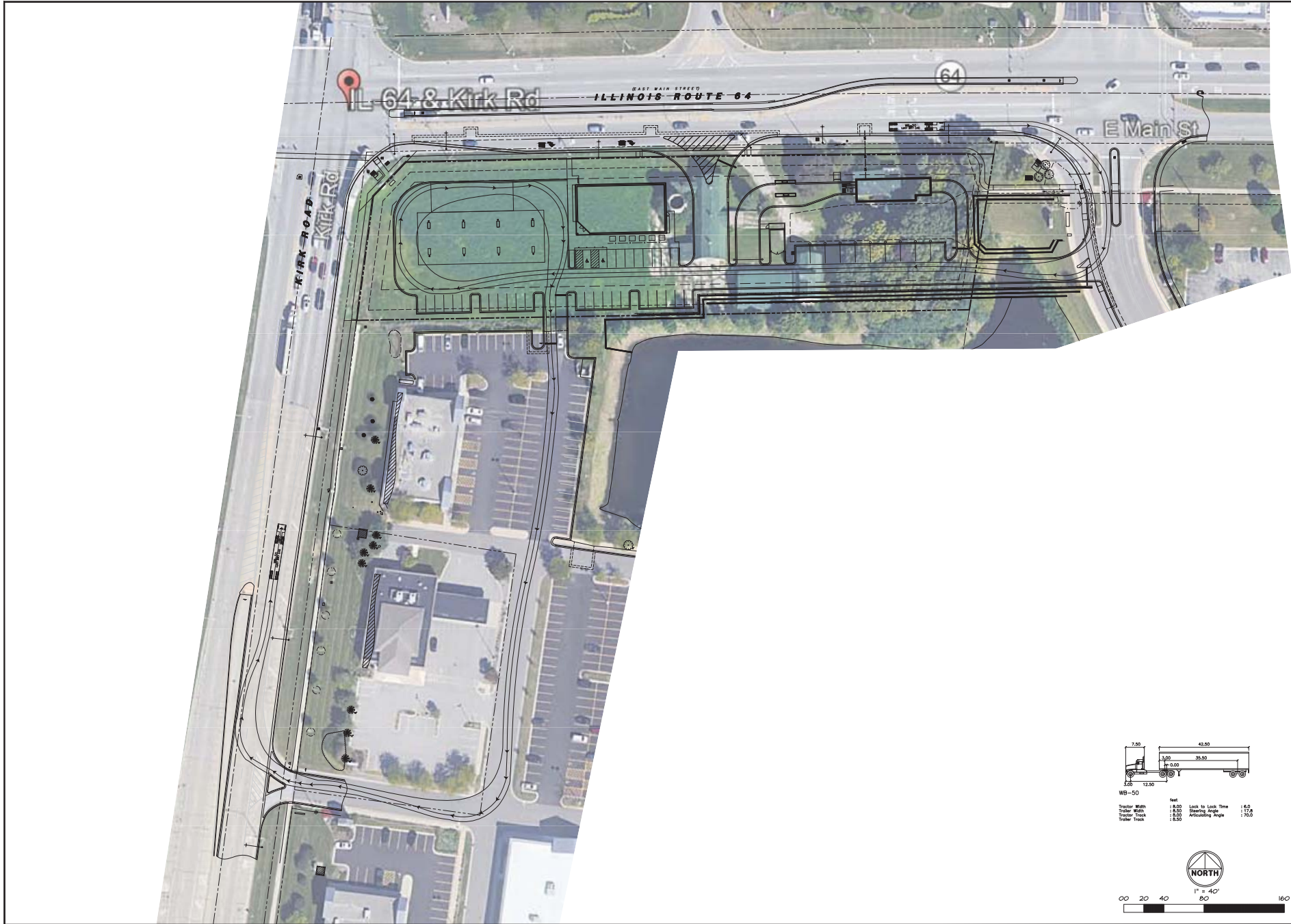
THE PRIDE OF KANE COUNTY  
 33W573 EAST MAIN STREET  
 SAINT CHARLES, ILLINOIS 60174

CIMA DEVELOPERS  
 30W180 BUTTERFIELD ROAD  
 WARRENVILLE, IL 60555

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REV. SITE	2/18/20
REV. SITE	4/8/20
REV. SITE	6/29/20

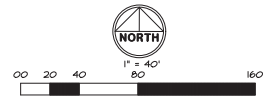
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 DRAWN BY: TEP  
 JOB: 1910803C

**C-8.0**  
 TRUCK CIRCULATION PLAN



WB-50

feet	
Tractor Width	8.00
Tractor Length	18.00
Tractor Track	8.00
Tractor Wheelbase	8.00
Lock to Lock Time	14.0
Steering Angle	17.8
Articulating Angle	70.0



AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

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THE PRIDE OF KANE COUNTY  
 33W573 EAST MAIN STREET  
 SAINT CHARLES, ILLINOIS 60174

CIMA DEVELOPERS  
 30W180 BUTTERFIELD ROAD  
 WARRENVILLE, IL 60555

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REV. SITE	2/11/20
REV. SITE	2/18/20
REV. SITE	4/8/20
REV. SITE	6/29/20

CHECK/TOA  
 DRAWN:TEP  
 JOB:1910803C

**C-9.0**  
 FIRE APPARATUS  
 CIRCULATION PLAN



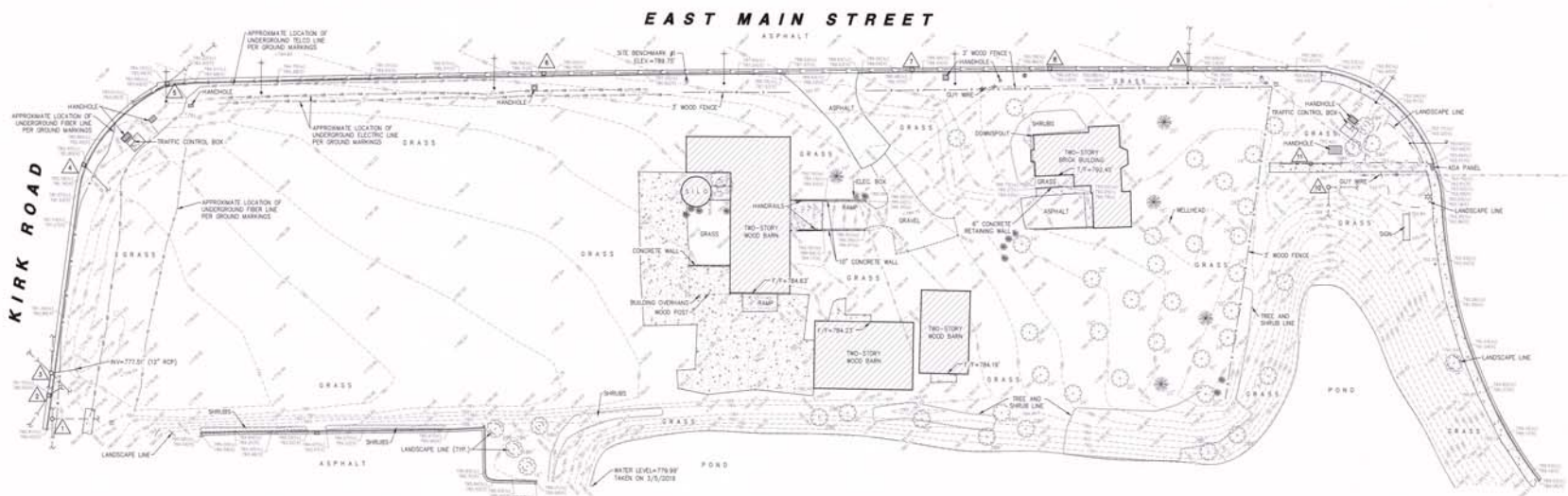
LOCATION MAP

# TOPOGRAPHIC SURVEY

NOTES:

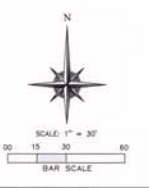
1. SITE BENCHMARK - SET CROSS ON SSE BOLT OF HYDRANT LOCATED APPROXIMATELY 4.1' S OF EAST MAIN STREET AND 290' E OF KIRK ROAD, AS SHOWN, ELEVATION=789.75' (NAVD83)
2. THE LOCATION OF UNDERGROUND UTILITIES WAS DETERMINED BY FIELD OBSERVATION AND VISIBLE MARKINGS ONLY.
3. FIELD WORK COMPLETED ON 3/5/2019
4. SURVEY PREPARED FOR: OMA DEVELOPERS, INC.
5. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.

- ▲ BM=789.86' (QUARTARY)  
48" CONCRETE STRUCTURE  
N=+771.55' (UNCOMMON N/3)  
N=+772.00' (UNCOMMON E)  
NO FLOW WITNESSES  
TOP OF MARK=777.26'
- ▲ BM=789.86' (STONE)  
24" CONCRETE STRUCTURE  
N=+771.81' (1" OP SW)  
N=+777.55' (1" OP NW)
- ▲ BM=789.77' (STONE)  
48" CONCRETE STRUCTURE  
N=+777.57' (1" OP NW)  
N=+777.20' (1" OP N)  
N=+777.21' (1" OP E)  
N=+777.22' (1" OP SE)  
N=+777.28' (1" OP S)
- ▲ BM=789.85' (STONE)  
24" CONCRETE STRUCTURE  
N=+778.52' (1" OP SW)
- ▲ BM=789.85' (STONE)  
48" CONCRETE STRUCTURE  
N=+778.54' (1" OP SW)  
N=+778.55' (1" OP W)  
N=+779.90' (1" OP E)
- ▲ BM=789.85' (STONE)  
48" CONCRETE STRUCTURE  
N=+782.81' (1" OP E/W)  
N=+783.81' (1" OP W)  
N=+785.03' (1" OP E)
- ▲ BM=789.85' (STONE)  
48" CONCRETE STRUCTURE  
N=+783.81' (1" OP W)  
N=+785.03' (1" OP E)  
N=+784.52' (1" OP E)
- ▲ BM=791.23' (STONE)  
48" CONCRETE STRUCTURE  
N=+786.46' (1" OP N/E)  
N=+787.45' (1" OP E)  
N=+788.00' (1" OP W)  
N=+788.33' (1" OP W)
- ▲ BM=793.28' (QUARTARY)  
48" CONCRETE STRUCTURE  
N=+783.99' (1" METAL E)  
N=+783.51' (1" METAL S)
- ▲ BM=792.25' (PAIRED)  
48" CONCRETE STRUCTURE  
TOP OF PAIR=789.86' (1" OP E/W)



**LEGEND**

PROPERTY LINE	UTILITY POLE	SOIL BORING
OWNER LINE	TRUCK SIGN	ELECTRICAL WIREHOLE
EASEMENT LINE	FLARED DISC SECTION	PARKING METER
BUILDING SETBACK	CURBED MANHOLE	GUARDRAIL
RECORD DATA	OPEN GRAVE MANHOLE	OUT WIRE AND/OR
TOP OF CURB (PERMANENT)	BROKEN GRAVE MANHOLE	CONCRETE LINE
TOP OF CURB (NON-PERMANENT)	SPLITTER FRANK MANHOLE	TREE LINE / WEDGE LINE
CONCRETE	TRUNK WELLS	EDGE GRADE/STONE
DEVELOPED/UNDEVELOPED	FIRE HYDRANT	FENCE LINE
SHRUBS/TREE LINE	S-BOX / SERVICE VALVE	STORM SEWER
WATER WELL	POST LIGHT/GRADING LIGHT	SEWER GUY WIRE
DATE WELLS	STREET LIGHT	WATER SERVICE LINE
UTILITY MARKINGS	TRAFFIC SIGNAL	WATER MAIN
(Cable, gas)	WIRE AND SIGN	CHIMNEY
(Water, gas)	HANDHOLE (Electric/Utility)	CONCRETE GUY WIRE
MANHOLE	POST-ELECTRIC METER	WATER OPTIC LINE
	POST-ELECTRIC METER	COIL LINE
		U.S. TELE. LINE
		U.S. FIRELINE LINE

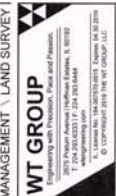


STATE OF ILLINOIS }  
COUNTY OF COOK } SS

WE, THE W-T GROUP DO HEREBY DECLARE THAT THIS TOPOGRAPHIC SURVEY WAS MADE UNDER OUR DIRECTION AND SUPERVISION. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

GIVEN UNDER OUR HAND AND SEAL THIS 12TH DAY OF MARCH, A.D. 2019, AT NORTON ESTATES, ILLINOIS.

THE W-T GROUP, LLC  
*Joseph J. Witek*  
FRANCO J. MATYCIK - PLS. REG. #020066 EXPIRES 11/30/2020  
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-07970-0001 ILLINOIS



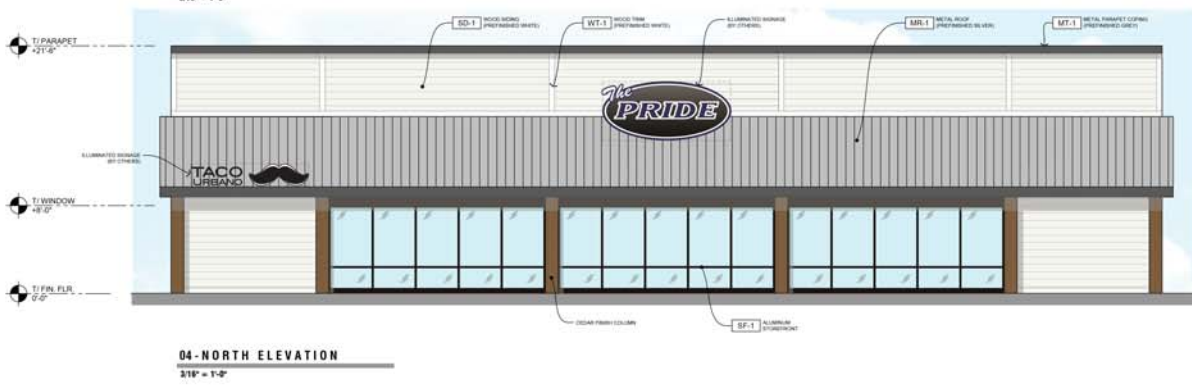
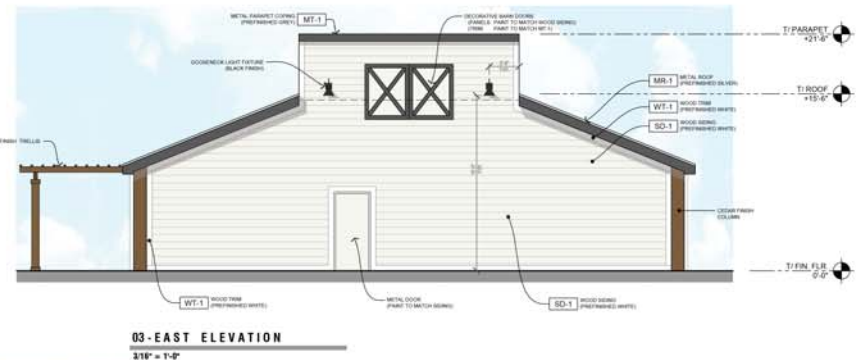
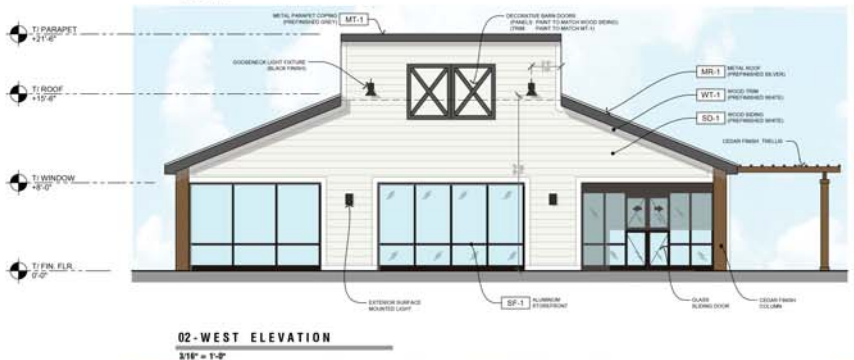
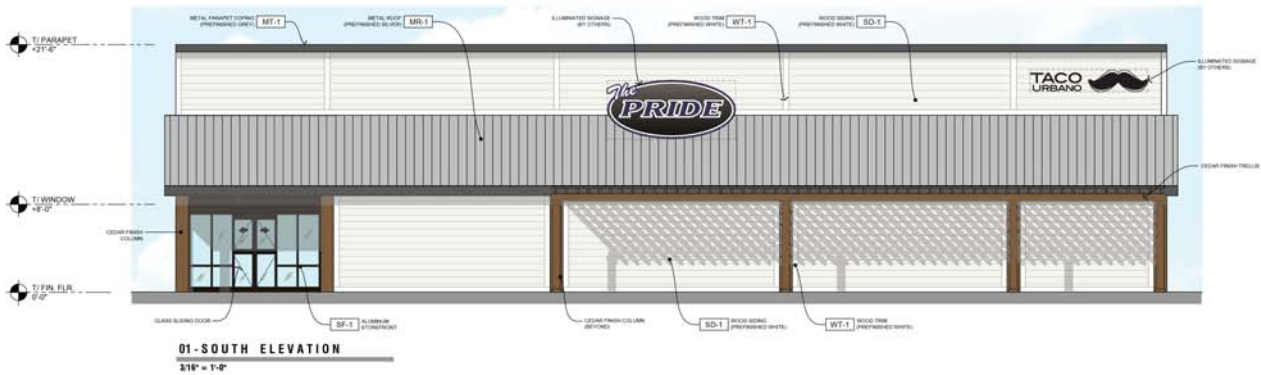
PRIDE OF SAINT CHARLES  
33W573 EAST MAIN STREET  
SAINT CHARLES, ILLINOIS

ISSUE

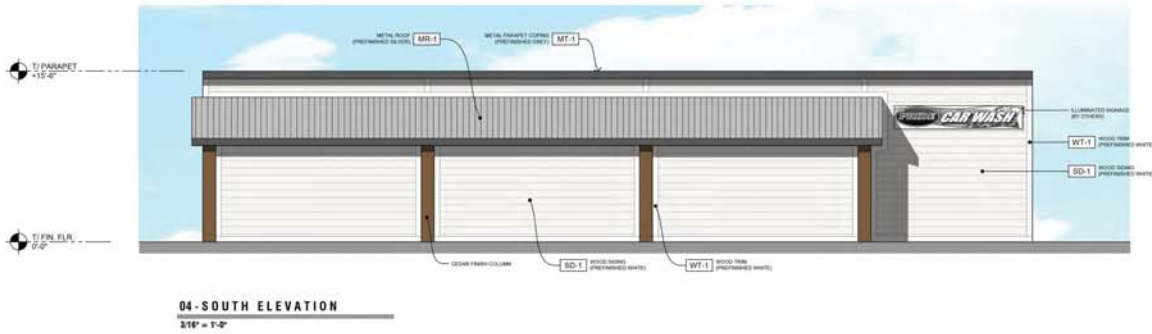
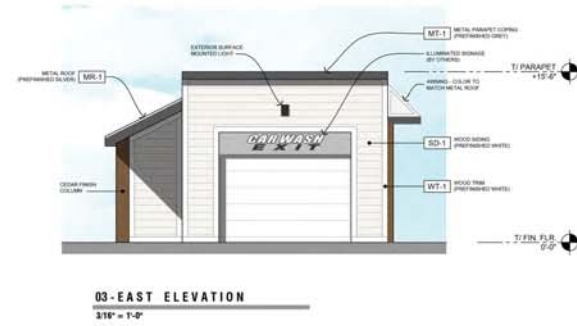
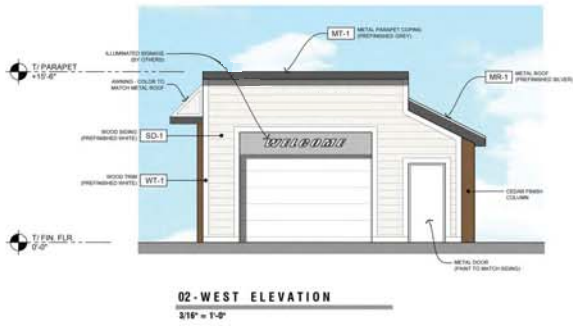
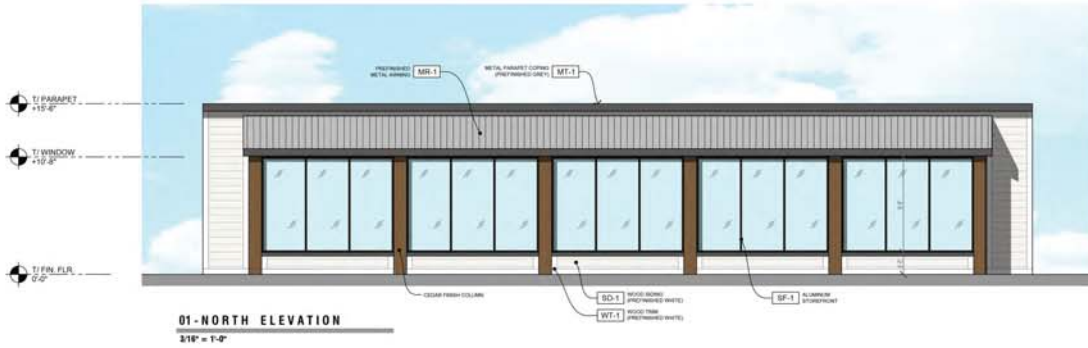
TO:	DATE:
CLIENT:	3/12/19

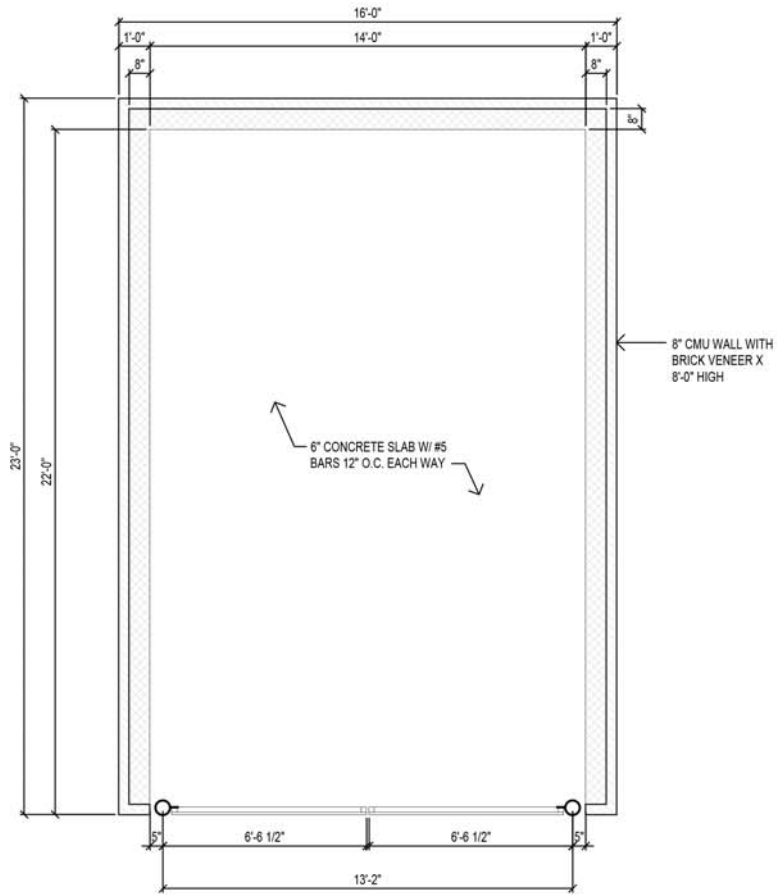
CHECK/FM  
DRAWN/BBB  
JOB: 1915803C

SUR-1  
TOPOGRAPHIC SURVEY



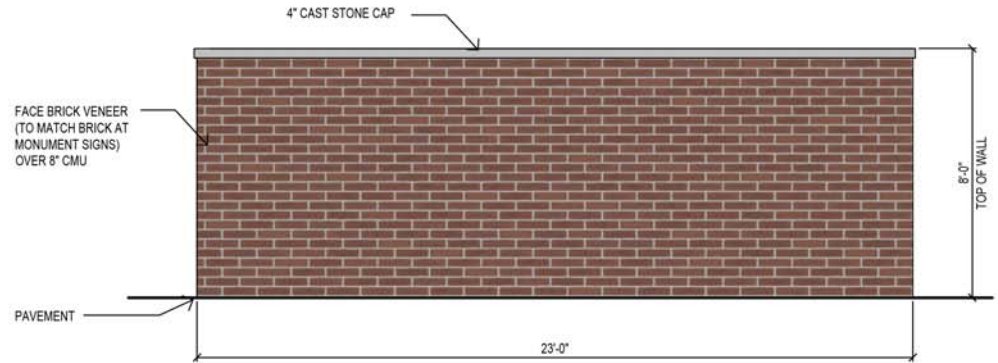






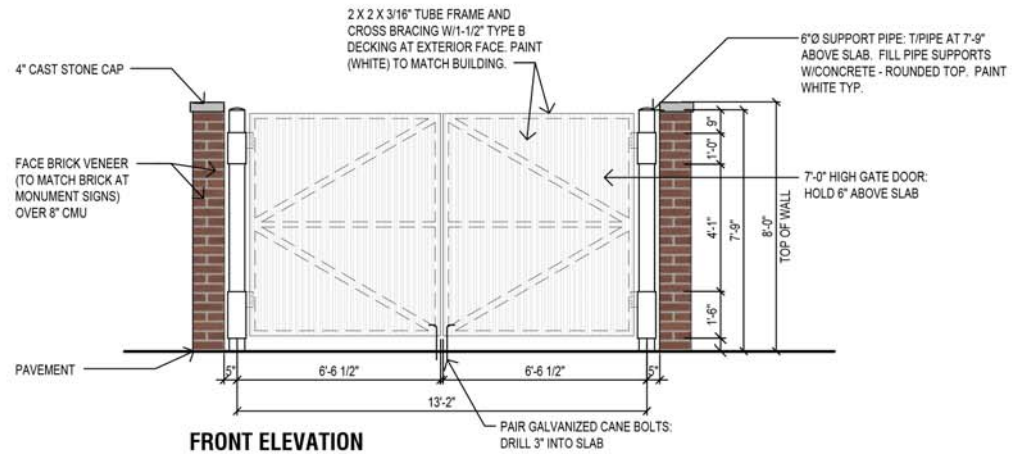
**DUMPSTER PLAN**

SCALE: 1/4" = 1'-0"



**TYPICAL ELEVATION**

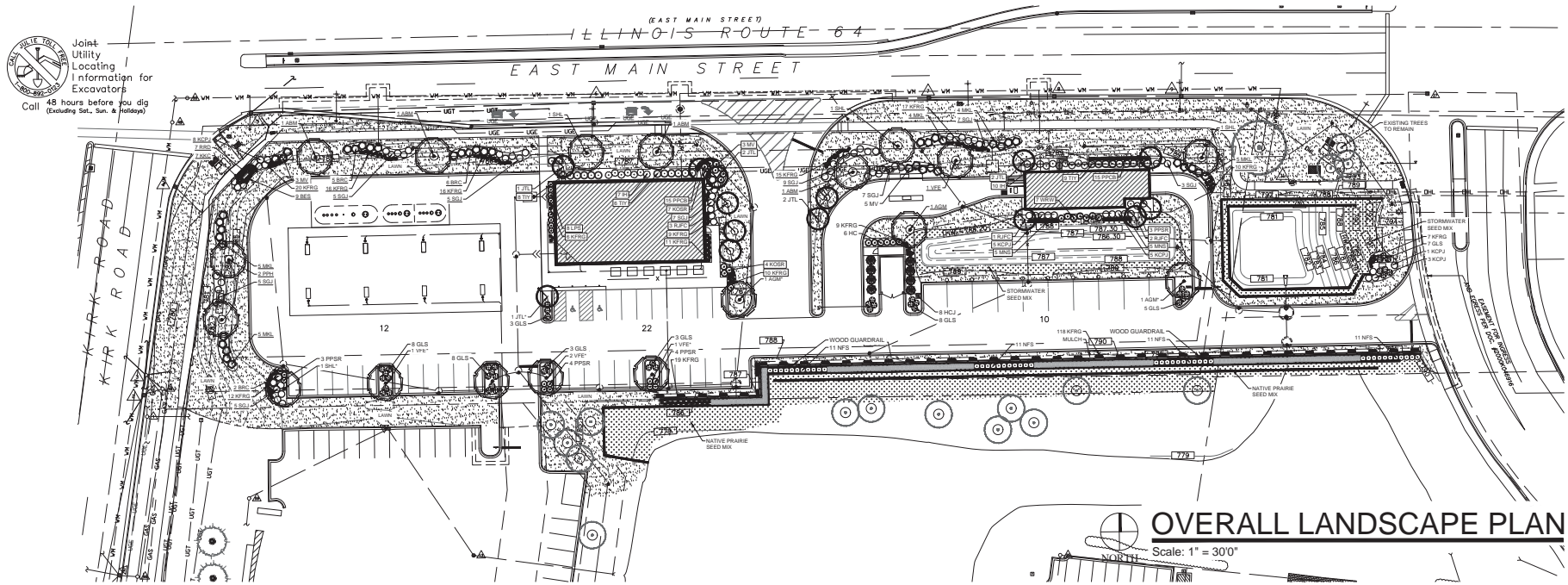
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"





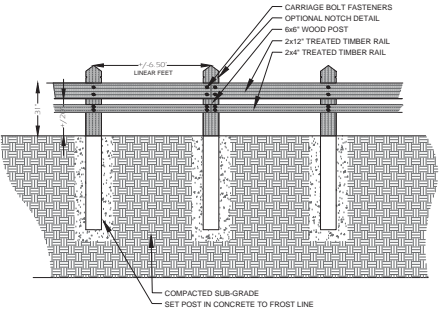
Joint Utility Locating Information for Excavators  
Call 48 hours before you dig (excluding Sat., Sun. & Holidays)

**HELLER & ASSOCIATES, LLC**  
LANDSCAPE ARCHITECTURE  
P.O. Box 1359  
Lake Geneva, Wisconsin 53147-1359  
ph 262.639.9733  
dave@vhavaheller.com  
www.vhavaheller.com

**CIMA DEVELOPERS**  
THE PRIDE OF KANE COUNTY

Southeast Corner of Main St. & Kirk Rd.  
St. Charles, IL

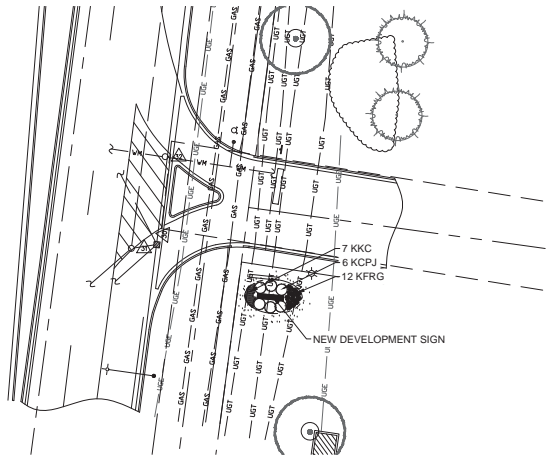
**OVERALL LANDSCAPE PLAN**  
Scale: 1" = 30'



**1 DETAIL**  
N.T.S. **WOOD GUARDRAIL SECTION**



EXAMPLE OF WOOD GUARDRAIL



**KIRK ROAD MONUMENT SIGN LANDSCAPE**  
Scale: 1" = 100'

**SHADE TREES (DECIDUOUS)**

- ABM Autumn Blaze Maple
- BRM Prairie Tree Hackberry
- DHL Skyline Honeylocust
- ADAM Autumn Gold Kosterhaze
- VEE Valley Forge American Elm

**ORNAMENTAL TREES (DECIDUOUS)**

- BRM King Pine American Hornbeam
- RFC Red Jewel Flowering Cabbage
- JTL Ivory Silk Japanese Tree Lilac

**EVERGREEN TREES**

- HCJ Hartz Columnar Juniper (upright)

**EVERGREEN SHRUBS**

- SGJ Sea Green Juniper
- KCPJ Kinky Compact Effort Juniper
- TIV Tautou Intermediate Yew

**DECIDUOUS SHRUBS**

- BAC Brilliant Red Chokeberry
- HC Pinking Hedge Coleonaster
- HC Incrediball Hydrangea
- GLS GLO Low Fragrant Sumac
- KOSR Knock Out Smilax Rose
- PPSR Pink Pavement Series Rose
- NS Neon Flash Spirea
- MK Mexican Dwarf Elm
- MV Mexican Viburnum
- WVW White & Rose Compact Weigela

**ORNAMENTAL GRASSES**

- KFRG Karl Foerster Feather Reed Grass

**HERBACEOUS PERENNIALS**

- RSD Roy Romeo Daylily
- PPCB Palace Purple Coreopsis
- KCC Dwarf Catmint
- RES Black-eyed Susan
- NYS May Night Salvia

**PLANT ABBREVIATIONS**

BUILDING FOUNDATION  
STREET FRONTAGE  
PARKING ISLAND TREE\*

**Cardno Native Plant Nursery**  
www.cardnonativeplantnursery.com  
128 Sunset Drive  
Waukegan, Indiana 46574  
ph 374-586-2412

**Stormwater Seed Mix**  
For Use on Stormwater Management Ponds (SWMP) side slopes to Normal Water Line (NWL)

Botanical Name	Common Name	PLS	Dances/Acre
<b>Permanent Grasses/Sedges/Rushes:</b>			
Carex crinitata	Crested Oval Sedge		1.00
Carex frankii	Bristly Cattail Sedge		1.00
Carex lurida	Buttonbush Sedge		2.00
Carex (sparganoides v. cephaloides)	Rough Clustered Sedge		2.00
Carex vulpinoidea	Brown Fox Sedge		6.00
Eriochloa ovata	Blunt Spike Rush		0.50
Elymus virginicus	Virginia Wild Rye		12.00
Glyceria striata	Fowl Manna Grass		1.25
Aeluropus effusus	Common Rush		1.00
Aeluropus lamiifolius	Torney's Rush		0.25
Lernaeus arvensis	Rice Cut Grass		1.00
Panicum strigosum	Switch Grass		2.00
Scirpus atrovirens	Dark Green Rush		1.00
Scirpus cyperinus	Wood Grass		4.50
Scirpus (Buxifolia)	River Bulrush		0.25
Scirpus validus	Great Bulrush		6.00
<b>Total</b>			<b>45.75</b>

**Temporary Cover:**

Avena sativa	Common Oat	360.00
Lolium multiflorum	Annual Ryegrass	135.00
<b>Total</b>		<b>495.00</b>

<b>Forbs:</b>		
Alisma spp.	Water Plantain (Various Mix)	4.25
Asclepias incarnata	Swamp Milkweed	1.50
Bidens spp.	Bidens (Various Mix)	2.00
Helianthus autumnalis	Sneezeweed	3.00
Mimulus ringens	Monkey Flower	1.00
Pentstemon axillaris	Diach Stair-step	0.50
Polygonum pennsylvanicum	Pinkweed	4.00
Rudbeckia subtomentosa	Sweet Black-eyed Susan	1.00
Sagittaria arifolia	Broad Leaf Arrowweed	1.00
Senecio hebecarpa	Wild Senecio	1.00
Thalictrum dasycarpum	Purple Meadow Rue	2.00
<b>Total</b>		<b>23.25</b>

**Approximate area of coverage:**

Total area (SF) of coverage surrounding SWM ponds:	2,690
Total area (acres) of coverage surrounding SWM ponds:	0.06

**ISSUANCE AND REVISIONS**

DATE	DESCRIPTION
10.3.19	ISSUE TO OWNER
10.25.19	REVISIONS
03.03.20	REVISIONS
05.15.20	CITY COMMENTS
05.20.20	CITY COMMENTS
05.28.20	REV. MONUMENT SIGN
06.22.20	REVISED CIVIL
07.21.20	REVISED CIVIL
08.03.20	REVISED CIVIL

**SHEET TITLE**  
**OVERALL LANDSCAPE PLAN**

**PROJECT MANAGER** WDH  
**PROJECT NUMBER** 19-066  
**DATE** 08.03.20  
**SHEET NUMBER**

**STORMWATER SEED MIX**

**L 1.0**



- SHADE TREES (DECIDUOUS)**
- ABM Autumn Blaze Maple
  - PPH Prairie Pride Hackberry
  - SHL Skyline Honeylocust
  - AGM Autumn Gold Maidenhair
  - VFE Valley Forge American Elm

- ORNAMENTAL TREES (DECIDUOUS)**
- RFH Rising Fire American Hornbeam
  - RJFC Red Jewel Flowering Crabapple
  - JTL Ivory Silk Japanese Tree Lilac

- EVERGREEN TREES**
- HCJ Hetsel Columnar Juniper (upright)

- EVERGREEN SHRUBS**
- SGJ Sea Green Juniper
  - KCPJ Kallay Compact Pfitzer Juniper
  - TYT Taunton Intermediate Yew

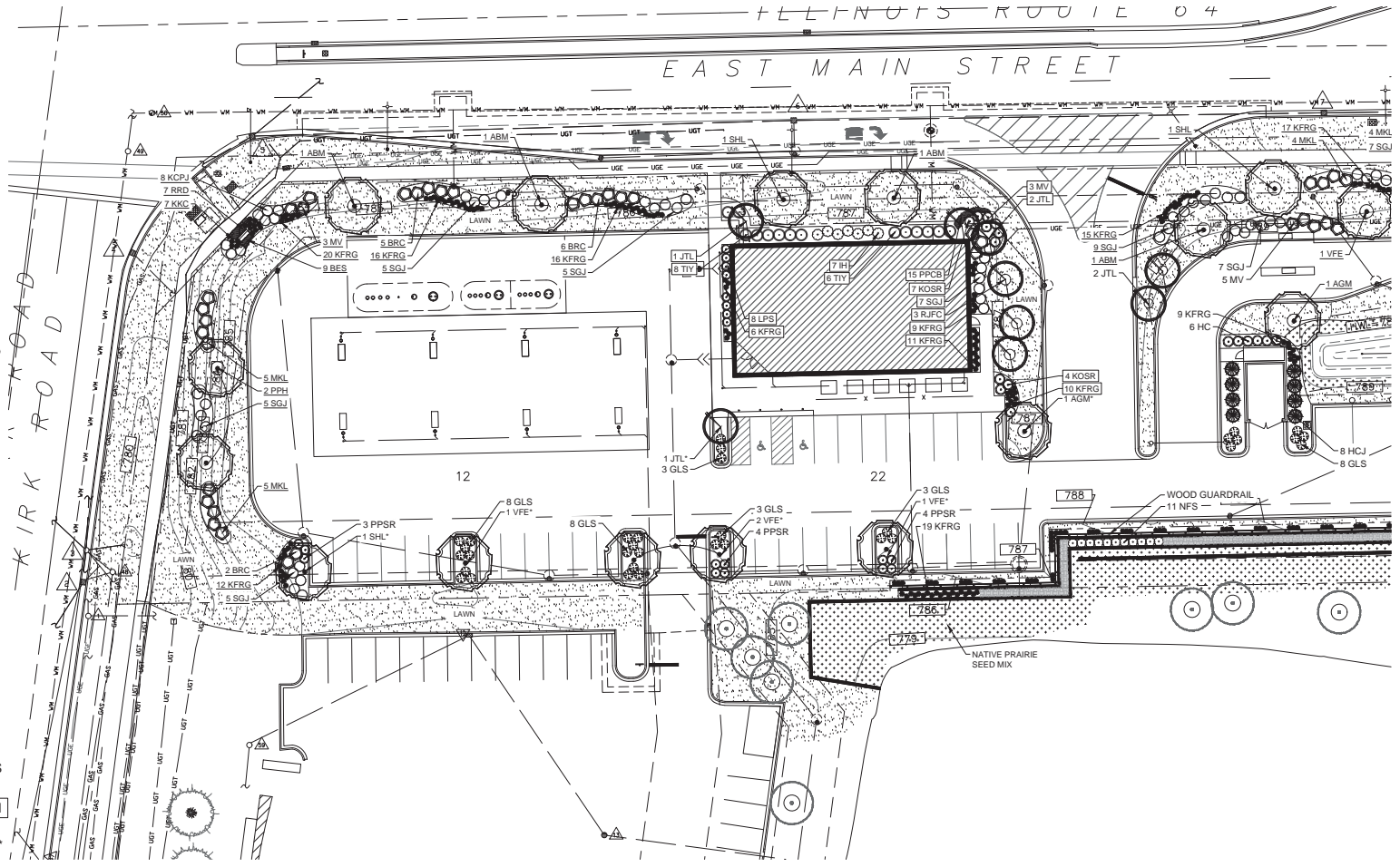
- DECIDUOUS SHRUBS**
- BRC Brilliant Red Chokeberry
  - HC Peking (Hedge) Cotoneaster
  - IH Incredible Hydrangea
  - GLS GLO Low Fragrant Sumac
  - KOSR Knock Out Shrub Rose
  - PPSR Pink Pavement Series Rose
  - NFS Neon Flash Spirea
  - MKL Miss Kim Dwarf Lilac
  - MV Mohican Viburnum
  - WRW Wine & Roses Compact Wiegela

- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass

- HERBACEOUS PERENNIALS**
- RRD Rosy Returns Daylily
  - PPCB Palace Purple Coralbells
  - KKC Dwarf Catmint
  - BES Black-eyed Susan
  - MNS May Night Salvia

**PLANT ABBREVIATIONS**

**BUILDING FOUNDATION**  
**STREET FRONTAGE**  
**PARKING ISLAND TREE\***



**ENLARGED LANDSCAPE PLAN**

Scale: 1" = 20'0"

**HELLER & ASSOCIATES, LLC**  
 LANDSCAPE ARCHITECTURE  
 P.O. Box 1359  
 Lake Geneva, Wisconsin 53147-1359  
 ph 262.639.9733  
 david@vdayheller.com  
 www.vdayheller.com

PROJECT

**THE PRIDE OF KANE COUNTY**

Southeast Corner of  
 Main St. & Kirk Rd.  
 St. Charles, IL

**ISSUANCE AND REVISIONS**

DATE	DESCRIPTION
10.3.19	ISSUE TO OWNER
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Information contained herein is based on survey information, field inspection, and believed to be accurate.

**SHEET TITLE**  
**ENLARGED LANDSCAPE PLAN**

PROJECT MANAGER	WDH
PROJECT NUMBER	19-066
DATE	08.03.20
SHEET NUMBER	

**L 1.1**

 Joint Utility Locating Information for Excavators  
Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

**SHADE TREES (DECIDUOUS)**  
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 SHL Skyline Honeylocust  
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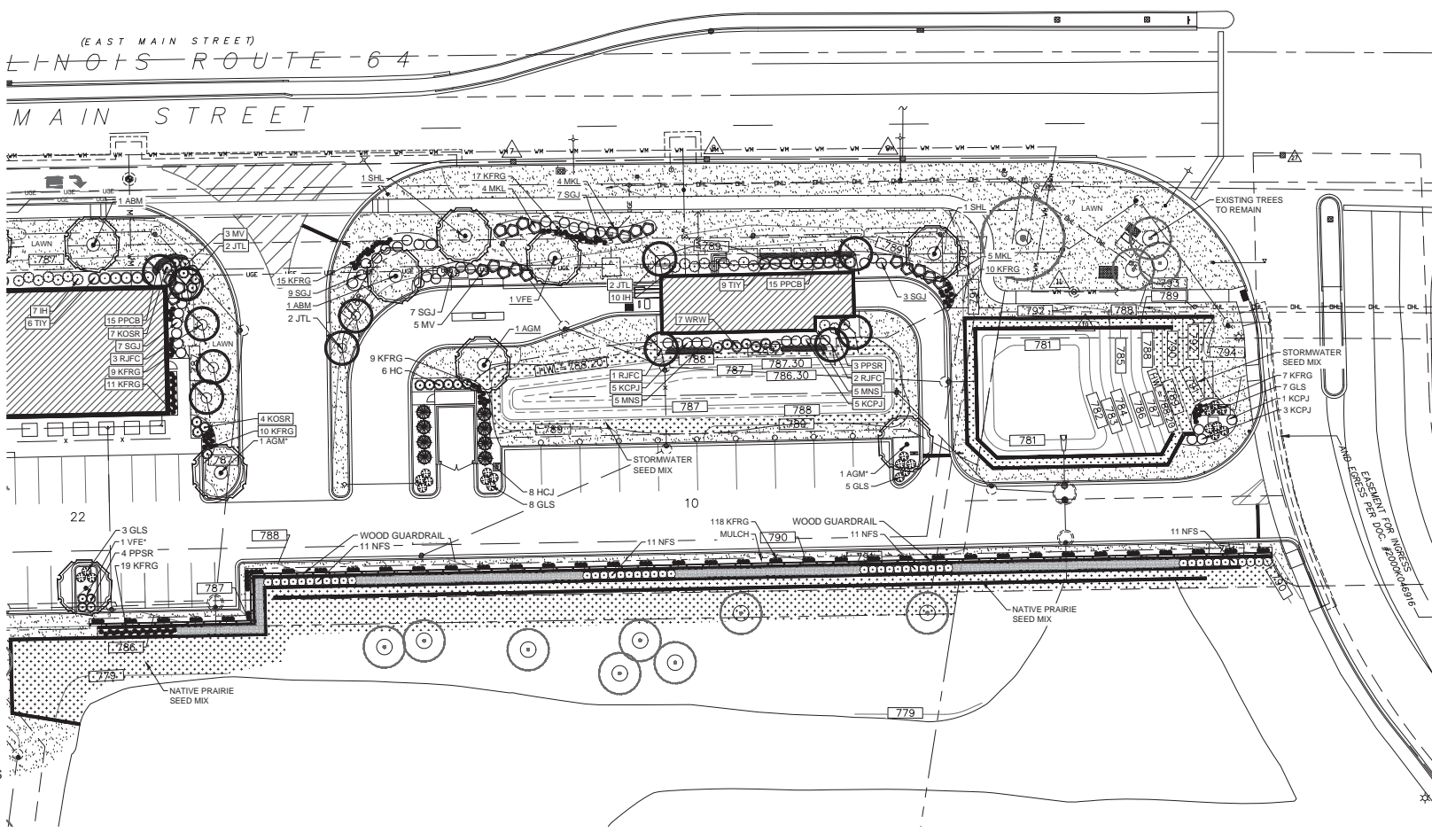
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 KCPJ Kallay Compact Pfitzer Juniper  
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**PLANT ABBREVIATIONS**  
 BUILDING FOUNDATION  
 STREET FRONTAGE  
 PARKING ISLAND TREE\*



**HELLER & ASSOCIATES, LLC**  
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 P.O. Box 1359  
 Lake Geneva, Wisconsin 53147-1359  
 ph 262.639.9733  
 david@vdavheller.com  
 www.vdavidheller.com

PROJECT  
  
**THE PRIDE OF KANE COUNTY**

Southeast Corner of Main St. & Kirk Rd. St. Charles, IL

**ISSUANCE AND REVISIONS**

DATE	DESCRIPTION
10.3.19	ISSUE TO OWNER
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03.03.20	REVISIONS
05.15.20	CITY COMMENTS
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05.28.20	REV. MONUMENT SIGN
06.22.20	REVISED CIVIL
07.21.20	REVISED CIVIL
08.03.20	REVISED CIVIL

 **ENLARGED LANDSCAPE PLAN**  
 Scale: 1" = 200'

Information contained herein is based on survey information, field inspection, and believed to be accurate.  
**SHEET TITLE**  
**ENLARGED LANDSCAPE PLAN**

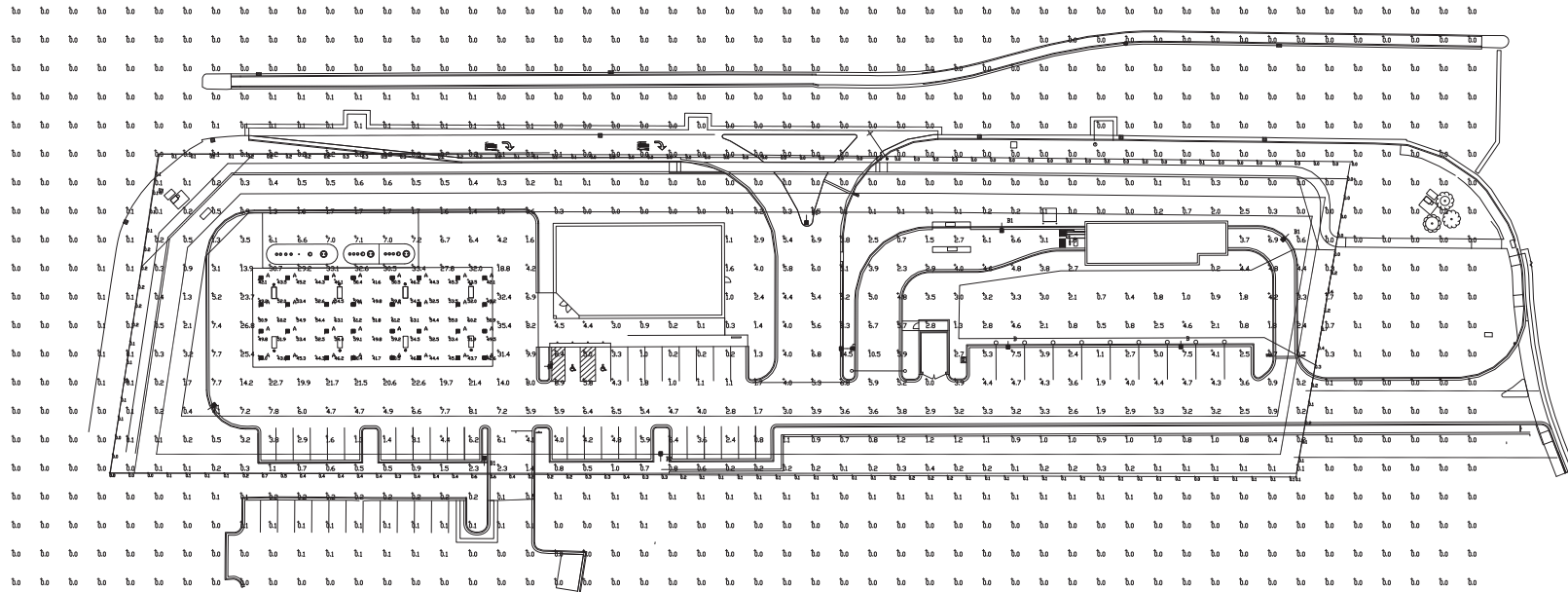
PROJECT MANAGER WDH  
 PROJECT NUMBER 19-066  
 DATE 08.03.20  
 SHEET NUMBER

**L 1.2**



Example Retaining Wall- Presented to Plan Commission 8-4-20





Luminaire Schedule							LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts
Symbol	Qty	Label	Arrangement	Description							
	32	A	SINGLE	SCV-LED-18L-SC-50 MTD @ 15'	1,000	1,000	1,000	15410	103		
	3	B	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-SINGLE-16'PDLE*2'BASE	1,000	1,000	1,000	19664	148.5		
	6	BI	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-IL-SINGLE-16'PDLE*2'BASE	1,000	1,000	1,000	12568	148.5		
	1	C	DI80	SLM-LED-18L-SIL-FT-50-70CRI-DI80-16'PDLE*2'BASE	1,000	1,000	1,000	39328	297		

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL_CALC_POINTS	Illuminance	Fc	1.52	35.4	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	50.74	631	41.6	1.22	1.52
EAST PROPERTY LINE	Illuminance	Fc	0.31	1.6	0.0	N.A.	N.A.
NORTH PROPERTY LINE	Illuminance	Fc	0.07	0.3	0.0	N.A.	N.A.
SOUTH PROPERTY LINE	Illuminance	Fc	0.20	0.7	0.0	N.A.	N.A.
WEST PROPERTY LINE	Illuminance	Fc	0.11	0.2	0.0	N.A.	N.A.
INSIDE CURB	Illuminance	Fc	7.21	35.4	0.0	N.A.	N.A.



[Click image to open Product Page](#)

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in luminaire LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature notes does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts  
Total Watts = 49295

LIGHTING PROPOSAL LD-148828-3

PROJECT: KERR ROAD & IL RTE 64  
ST CHARLES, IL

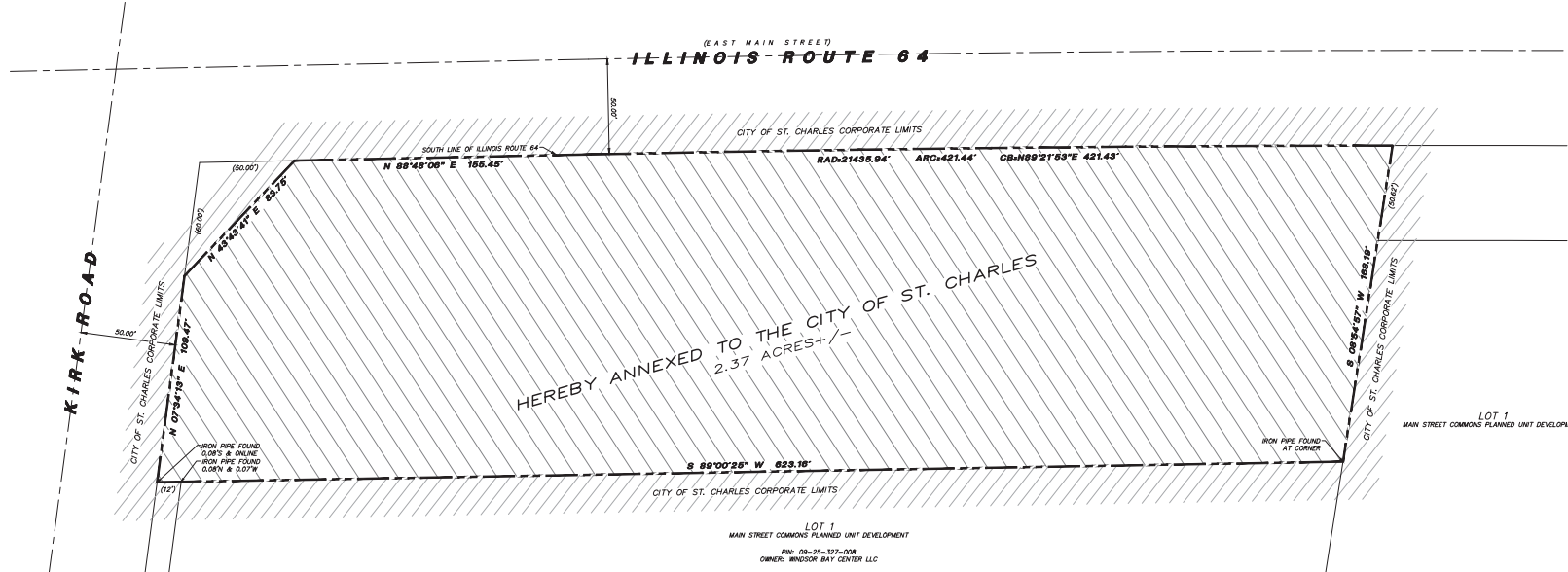
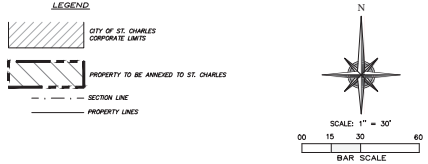
DATE: 01/28/24 REV: 08-20 SHEET 1 OF 1

SCALE: 1"=30' 0 30



# PLAT OF ANNEXATION TO THE CITY OF ST. CHARLES

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 16 DEGREES EAST 20.84 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.38 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES HERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.78 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 10.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 48 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.28 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE 'ST. CHARLES' ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5, 108.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN INTERIOR ANGLE OF 216 DEGREES, 59 MINUTES, 05 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 13.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES, 09 MINUTES, 25 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING, IN KANE COUNTY, ILLINOIS.



**CITY COUNCIL CERTIFICATE**  
STATE OF ILLINOIS )  
                                ) SS  
COUNTY OF KANE )  
THIS IS TO CERTIFY THAT THIS ACCURATE MAP OF TERRITORY ANNEXED IS IDENTIFIED AS THAT INCORPORATED INTO AND MADE PART OF THE CITY OF ST. CHARLES ORDINANCE NO. \_\_\_\_\_, ADOPTED BY THE CITY COUNCIL OF SAID CITY ON THE DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_.

BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
MAYOR    CITY CLERK

**KANE COUNTY CLERK'S CERTIFICATE**  
STATE OF ILLINOIS )  
                                ) SS  
COUNTY OF KANE )  
I, \_\_\_\_\_, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THIS PLAT.  
I, FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THIS PLAT.  
GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK OF KANE COUNTY, ILLINOIS,  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_.  
COUNTY CLERK

**OWNER'S CERTIFICATE**  
STATE OF \_\_\_\_\_ )  
  ) SS  
COUNTY OF \_\_\_\_\_ )  
THIS IS TO CERTIFY THAT CIMA DEVELOPERS, LP IS THE OWNER OF THE LAND SHOWN AND DESCRIBED ON THE ANNEXED PLAT AND BY ITS DULY AUTHORIZED MANAGER HAS AS SUCH OWNER CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON SHOWN.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., \_\_\_\_\_  
BY: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_

**NOTARY CERTIFICATE**  
STATE OF \_\_\_\_\_ )  
  ) SS  
COUNTY OF \_\_\_\_\_ )  
I HEREBY CERTIFY THAT THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE ARE KNOWN TO ME AS SUCH OWNERS.  
GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., \_\_\_\_\_  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_

- NOTES:**
1. PERMANENT INDEX NUMBER (P.I.N.) 81-09-25-100-038
  2. PROPERTY AREA: 103,407 SQUARE FEET / 2.37 ACRES MORE OR LESS.
  3. BASE OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 109 ZONE.
  4. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.

**SURVEYORS CERTIFICATE**  
STATE OF ILLINOIS )  
                                ) SS  
COUNTY OF COOK )  
THIS IS TO CERTIFY THAT I, FRANJO L. MATIJC, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3556, HAVE PREPARED THIS PLAT FROM EXISTING PLATS AND RECORDS FOR THE PURPOSE OF ANNEXATION TO THE CITY OF ST. CHARLES, ILLINOIS, AS SHOWN BY THE PLAT HEREON DRAWN. DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.  
GIVEN UNDER OUR HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., \_\_\_\_\_ AT HOFFMAN ESTATES, ILLINOIS  
THE W-T GROUP, LLC  
FOR REVIEW 06/02/20  
FRANJO L. MATIJC - PLS #035-003556 EXPIRES 11/30/2016  
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-004387

**WT GROUP**  
ENGINEERS AND ARCHITECTS  
2075 Franklin Avenue, Naperville, Illinois, IL 60563  
TEL: 630.205.5444 FAX: 630.205.5444  
WWW.WTGROUP.COM  
CORPORATE OFFICE: 100 W. GROUP, LLC

**WT Group**  
Engineering • Design • Construction

**CIMA DEVELOPERS**  
PLAT OF ANNEXATION  
PRIDE OF KANE COUNTY  
33W573 EAST MAIN STREET  
SAINT CHARLES, ILLINOIS  
30W180 BUTTERFIELD ROAD  
WARRENVILLE, IL 60555

**ISSUE**

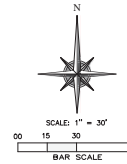
TO	DATE
CLIENT	1/13/20
CLIENT	2/11/20
CLIENT	2/14/20
CLIENT	6/02/20

**CHECK/FIRM**  
DRAWN/KCH  
JOB: 1910803C

**ANNEX-1**  
SHEET 1 OF 1  
PLAT OF ANNEXATION

# PRELIMINARY PLAT OF SUBDIVISION PRIDE OF KANE COUNTY

BEING A SUBDIVISION IN THAT PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.



PIN NUMBER: 09-25-100-036  
AFTER RECORDING RETURN TO:  
CITY OF ST. CHARLES  
2 E. MAIN STREET  
ST. CHARLES, IL 60174

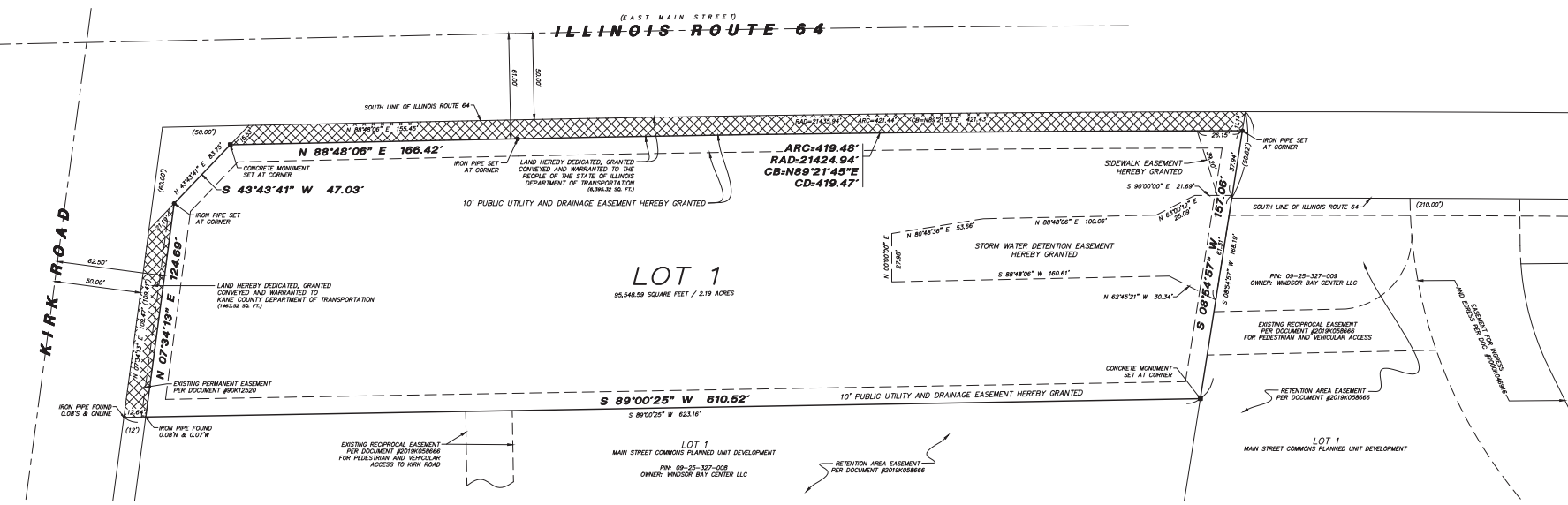
PROPERTY OWNER:  
CIMA DEVELOPERS, LP  
30848 BUTTERFIELD ROAD  
WARRENVILLE, IL 60555

SUBDIVIDER:  
THE W-T GROUP, LLC  
2675 PRATIUM AVE.  
HOFFMAN EST., IL 60192  
224-293-6333

DESIGNER/ENGINEER:  
THE W-T GROUP, LLC  
2675 PRATIUM AVE.  
HOFFMAN EST., IL 60192  
224-293-6333

**LEGEND**  
PROPERTY LINE  
CENTERLINE OF RIGHT OF WAY  
UNDERLYING PROPERTY LINES  
SET CONCRETE MONUMENT / SET IRON PIPE  
(XXX)  
RECORD PROPERTY DIMENSIONS  
RIGHT OF WAY (HEREBY DEDICATED)

**NOTES:**  
1. BASIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.  
2. ANY DISCREPANCIES FOUND WITH THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.



**OWNER'S CERTIFICATE**  
STATE OF \_\_\_\_\_ )  
                                  ) SS  
COUNTY OF \_\_\_\_\_ )

THIS IS TO CERTIFY THAT CIMA DEVELOPERS, LP IS THE OWNER OF THE LAND SHOWN AND DESCRIBED ON THE ANNEXED PLAT AND BY ITS DULY AUTHORIZED MANAGER HAS AS SUCH OWNER CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED AND PLATTED AS SHOWN THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON SHOWN.

THE UNDERSIGNED DO HEREBY CERTIFY THAT, AS OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE, TO THE BEST OF THEIR KNOWLEDGE, IS LOCATED WITHIN THE BOUNDARIES OF ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_

BY: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

**NOTARY CERTIFICATE**  
STATE OF \_\_\_\_\_ )  
                                  ) SS  
COUNTY OF \_\_\_\_\_ )

I, \_\_\_\_\_, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_

**CITY COUNCIL CERTIFICATE**  
STATE OF ILLINOIS )  
                                  ) SS  
COUNTY OF KANE )

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_ BY THE COUNCIL OF THE CITY OF ST. CHARLES.

MAYOR \_\_\_\_\_

CITY CLERK \_\_\_\_\_

**DIRECTOR OF COMMUNITY DEVELOPMENT CERTIFICATE**  
STATE OF \_\_\_\_\_ )  
                                  ) SS  
COUNTY OF \_\_\_\_\_ )

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY DEVELOPMENT \_\_\_\_\_  
DATED AT \_\_\_\_\_ ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, D. 20\_\_\_\_

**SPECIAL ASSESSMENT CERTIFICATE**  
STATE OF \_\_\_\_\_ )  
                                  ) SS  
COUNTY OF \_\_\_\_\_ )

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT THERE ARE NO SELINOQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS \_\_\_\_\_  
DATED AT ST. CHARLES, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_

**PLAN COMMISSION CERTIFICATE**  
STATE OF ILLINOIS )  
                                  ) SS  
COUNTY OF KANE )

APPROVED BY THE PLAN COMMISSION OF THE CITY OF ST. CHARLES.  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_

CHAIRMAN \_\_\_\_\_

**ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE**  
THIS PLAN HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO §2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED. A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT.

**ANTHONY J. QUIGLEY P.E.**  
REGION ONE ENGINEER

**ILLINOIS DEPARTMENT OF TRANSPORTATION DEDICATION DESCRIPTION**  
TO BE CREATED AFTER REVIEW

**ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE**  
THE PROPOSED DEDICATION TO THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION IS HEREBY ACCEPTED.  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_ 20\_\_\_\_  
ANTHONY J. QUIGLEY P.E.  
REGION ONE ENGINEER

**WT GROUP**  
Engineering and Planning, Public Works and Planning  
2675 Pratiium Avenue, Hoffman Estates, IL 60192  
TEL: 815-224-9333 FAX: 815-224-9344  
www.wtgroup.com

**WT Group**  
Engineering & Design Community

**CIMA DEVELOPERS**  
30848 BUTTERFIELD ROAD  
WARRENVILLE, IL 60555

**PLAT OF SUBDIVISION PRIDE OF KANE COUNTY**  
33W573 EAST MAIN STREET  
SAINT CHARLES, ILLINOIS

**ISSUE**

TO	DATE
CLIENT	1/10/23
CLIENT	2/11/23
CLIENT	2/14/23
CLIENT	3/9/23
CLIENT	3/16/23
CLIENT	6/30/23

CHECK/FIRM  
DRAWN/KCH  
JOB: 1910803C

**SUB-1**  
SHEET 1 OF 2  
PLAT OF SUBDIVISION

# PRELIMINARY PLAT OF SUBDIVISION PRIDE OF KANE COUNTY

BEING A SUBDIVISION IN THAT PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PIN NUMBER:  
09-25-100-036  
AFTER RECORDING RETURN TO:  
CITY OF ST. CHARLES  
2 E. MAIN STREET  
ST. CHARLES, IL 60174  
PROPERTY OWNER:  
CMA DEVELOPERS, LP  
300W BUTTERFIELD ROAD  
WARRENVILLE, IL 60555  
SUBDIVIDER:  
THE W-T GROUP, LLC  
2675 PRATIUM AVE  
HOFFMAN EST., IL 60192  
224-293-6333  
DESIGNER/ENGINEER:  
THE W-T GROUP, LLC  
2675 PRATIUM AVE  
HOFFMAN EST., IL 60192  
224-293-6333

LEGEND  
--- PROPERTY LINE  
--- CENTERLINE OF RIGHT OF WAY  
--- UNDERLYING PROPERTY LINES  
■ SET CONCRETE MONUMENT / SET IRON PIPE  
(0007)  
RECORD PROPERTY DIMENSIONS  
--- RIGHT OF WAY (HEREBY DEDICATED)

**WT GROUP**  
AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY  
300W BUTTERFIELD ROAD  
WARRENVILLE, IL 60555  
TEL: 630.393.6444  
WWW.WTGROUP.COM  
LICENSE NO. 001-011387-0001 (CIVIL ENGINEER)  
LICENSE NO. 001-011387-0001 (LAND SURVEYOR)  
LICENSE NO. 001-011387-0001 (MECHANICAL ENGINEER)  
LICENSE NO. 001-011387-0001 (ELECTRICAL ENGINEER)  
LICENSE NO. 001-011387-0001 (PLUMBING ENGINEER)

**WT Group**  
AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY  
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LICENSE NO. 001-011387-0001 (ELECTRICAL ENGINEER)  
LICENSE NO. 001-011387-0001 (PLUMBING ENGINEER)

COUNTY RECORDER'S CERTIFICATE  
STATE OF ILLINOIS )  
                                  SS  
COUNTY OF KANE )  
  
THE UNDERSIGNED AS THE RECORDER OF DEEDS FOR KANE COUNTY DO HEREBY CERTIFY THAT INSTRUMENT NUMBER \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_ AT \_\_\_\_\_ O'CLOCK \_\_\_\_.  
  
RECORDER OF DEEDS \_\_\_\_\_  
  
PLEASE PRINT/TYPE NAME \_\_\_\_\_

COUNTY ENGINEER'S CERTIFICATE  
STATE OF ILLINOIS )  
                                  SS  
COUNTY OF KANE )  
  
THIS PLAT HAS BEEN APPROVED BY THE KANE COUNTY ENGINEER WITH RESPECT TO ROADWAY ACCESS TO \_\_\_\_\_ PURSUANT TO ILCS CHAPTER 765 PARAGRAPH 205/2. DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.  
  
COUNTY ENGINEER \_\_\_\_\_  
  
DATED AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, D. 20\_\_\_\_.

COUNTY CLERK'S CERTIFICATE  
STATE OF ILLINOIS )  
                                  SS  
COUNTY OF KANE )  
  
I, \_\_\_\_\_, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEMPTIBLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THIS PLAT.  
I, FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THIS PLAT.  
GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK OF KANE COUNTY, ILLINOIS,  
  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.  
  
COUNTY CLERK \_\_\_\_\_

COUNTY RECORDER'S CERTIFICATE  
STATE OF ILLINOIS )  
                                  SS  
COUNTY OF KANE )  
  
THE UNDERSIGNED AS THE RECORDER OF DEEDS FOR KANE COUNTY DO HEREBY CERTIFY THAT INSTRUMENT NUMBER \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_ AT \_\_\_\_\_ O'CLOCK \_\_\_\_.  
  
RECORDER OF DEEDS \_\_\_\_\_  
  
PLEASE PRINT/TYPE NAME \_\_\_\_\_

## PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERITECH AND NUCOR AND TO THEIR SUCCESSORS AND ASSIGNS (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY AND DRAINAGE EASEMENT" ON THE PLAT OF SUBDIVISION HEREOF DRAIN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENOVATING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGEWAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BODIES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATED HEREON FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK. THE PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES AND THE RESPECTIVE SUCCESSORS AND ASSIGNS FOR MAINTAINING THE UNINTERRUPTED AND UNIMPEDED CONVEYANCE, FLOW AND RUNOFF OF SURFACE STORM WATER ACROSS AND UPON THE AREAS DESIGNATED ON THIS PLAT AS DRAINAGE EASEMENT. THE RIGHT IS HEREBY GRANTED TO SAID GRANTEE(S) TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE DRAINAGEWAYS AND OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR UNDER, UNDER OR THROUGH SAID EASEMENTS, NO PERMANENT BUILDINGS, TREES, GARDENS, DRIVERS, OR BERMING SHALL BE PLACED ON OR IN SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR PAVING, FENCES, SIDEWALKS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFFORSAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SANITARY UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES. FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEE(S) IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREIN, THE GRANTEE(S) SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEE(S) SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SOFTABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION.

## STORM WATER MANAGEMENT EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO THEIR SUCCESSORS AND ASSIGNS, IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "STORMWATER DETENTION EASEMENT" ON THE PLAT OF SUBDIVISION HEREOF DRAIN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENOVATING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING STORM SEWERS, DRAINAGEWAYS, STORM WATER DETENTION AND RETENTION AND ANY AND ALL MANHOLES, PIPES, CONNECTIONS, CATCH BASINS, AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH STORMWATER DETENTION. THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATED HEREON FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK, NO BUILDING SHALL BE PLACED ON SAID EASEMENT PREMISES WITHOUT PRIOR WRITTEN CONSENT FROM THE CITY OF ST. CHARLES. THE RESPONSIBILITY OF MAINTAINING THE DETENTION AREA EASEMENT SHALL BE BINDING ON THE HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGNS OF THE LANDOWNERS, NO PERSON SHALL DESTROY OR MONKEY BUSINESS OR OTHERWISE AFFECT THE DETENTION VOLUME WITHOUT HAVING FIRST RECEIVED WRITTEN APPROVAL FROM THE CITY OF ST. CHARLES. THE CITY SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO RESTORE ANY DETENTION VOLUME LOST THROUGH UNAUTHORIZED ACTIVITIES.

STATE OF ILLINOIS )  
                                  SS  
COUNTY OF COOK )  
  
SURVEYORS CERTIFICATE

THIS IS TO STATE THAT I, FRANCO I. MATIQC, ILLINOIS PROFESSIONAL LAND SURVEYORS #035-003556, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.84 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.98 CHAINS; THENCE NORTH 89 DEGREES EAST 3.38 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAIN PARALLEL WITH AND 50.0 FEET SOUTHWESTLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.79 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTE, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID PARALLEL LINE; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET; TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN INTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 104.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING, IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PLAT HEREON DRAWN IS A CORRECT AND ACCURATE REPRESENTATION OF SAID SURVEY AND SUBDIVISION; ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT I WILL SET ALL SUBDIVISION MONUMENTS AND HAVE DESCRIBED THEM ON THIS FINAL PLAT AS REQUIRED BY THE PLAT ACT (705 ILCS 200/7). THE EXTERIOR SUBDIVISION MONUMENTS HAVE BEEN SET AND INTERIOR MONUMENTS WILL BE SET WITHIN 12 MONTHS OF THE RECORDING OF THIS PLAT (SECTION 1270-56 OF THE ILLINOIS PROFESSIONAL LAND SURVEYOR ACT OF 1989).

ACCORDING TO OUR INTERPOLATION OF THE FLOOD INSURANCE RATE MAP THIS SITE FALLS WITHIN PANEL NO. 1709902072N DATED 8/23/2000. THIS PANEL IS NOT PRINTED.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_ AT HOFFMAN ESTATES, ILLINOIS.  
THE W-T GROUP, LLC

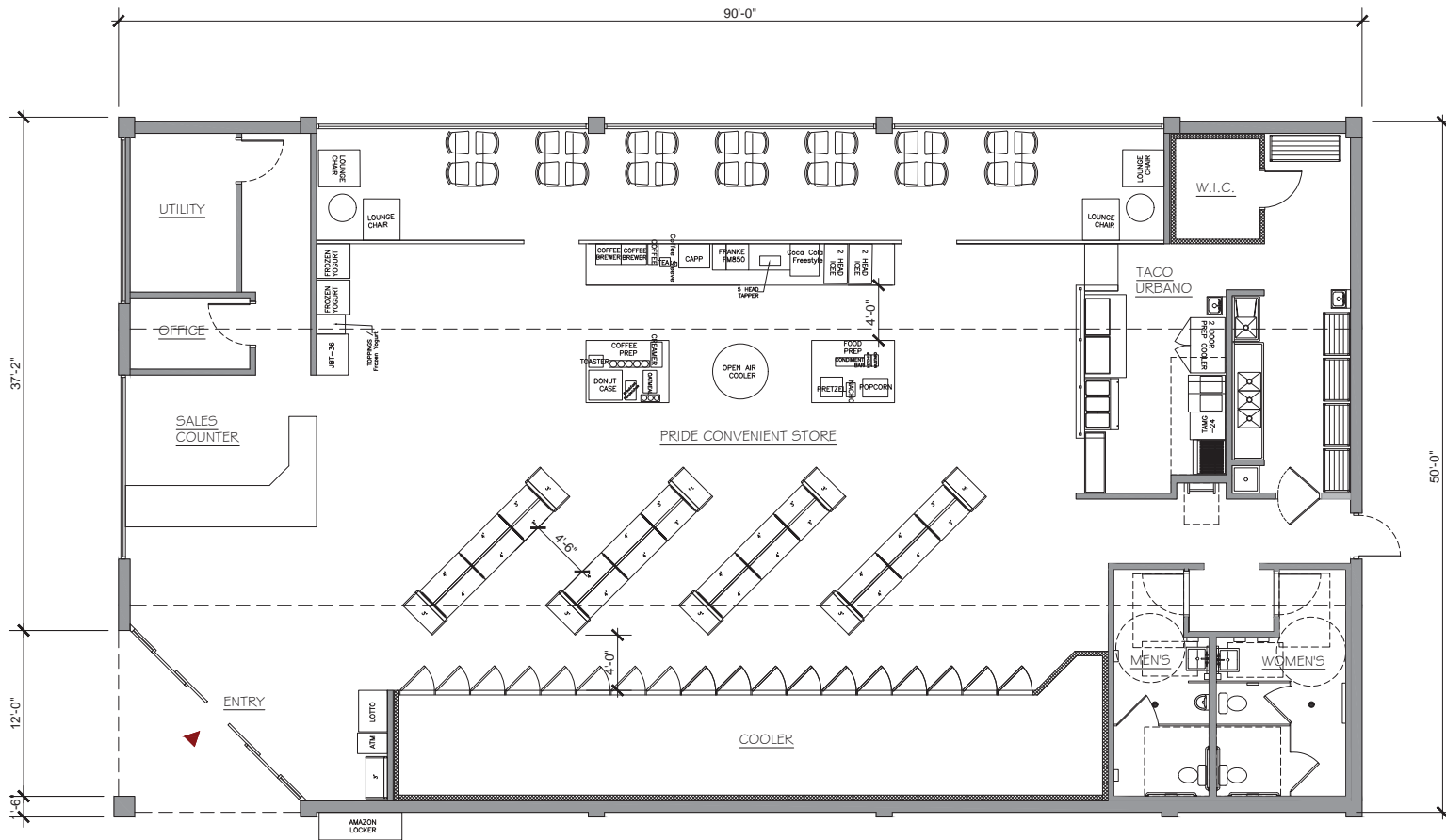
FOR REVIEW 06/03/20  
FRANCO I. MATIQC - PLS #035-003556 EXPIRES 11/30/2020  
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015

**WT GROUP**  
AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY  
300W BUTTERFIELD ROAD  
WARRENVILLE, IL 60555  
TEL: 630.393.6444  
WWW.WTGROUP.COM  
LICENSE NO. 001-011387-0001 (CIVIL ENGINEER)  
LICENSE NO. 001-011387-0001 (LAND SURVEYOR)  
LICENSE NO. 001-011387-0001 (MECHANICAL ENGINEER)  
LICENSE NO. 001-011387-0001 (ELECTRICAL ENGINEER)  
LICENSE NO. 001-011387-0001 (PLUMBING ENGINEER)

**CIMA DEVELOPERS**  
300W BUTTERFIELD ROAD  
WARRENVILLE, IL 60555  
  
ISSUE  
TO: \_\_\_\_\_ DATE \_\_\_\_\_  
CLIENT: 11/03/21  
CLIENT: 2/11/20  
CLIENT: 2/14/23  
CLIENT: 3/29/23  
CLIENT: 3/16/23  
CLIENT: 6/03/23

CHECK/FM  
DRAWN/RCH  
JOB: 19110803C

**SUB-2**  
SHEET 2 OF 2  
PLAT OF SUBDIVISION



C-STORE PLAN  
 1/4" = 1'-0"



**B** RETAIL CANOPY



**ExxonMobil**

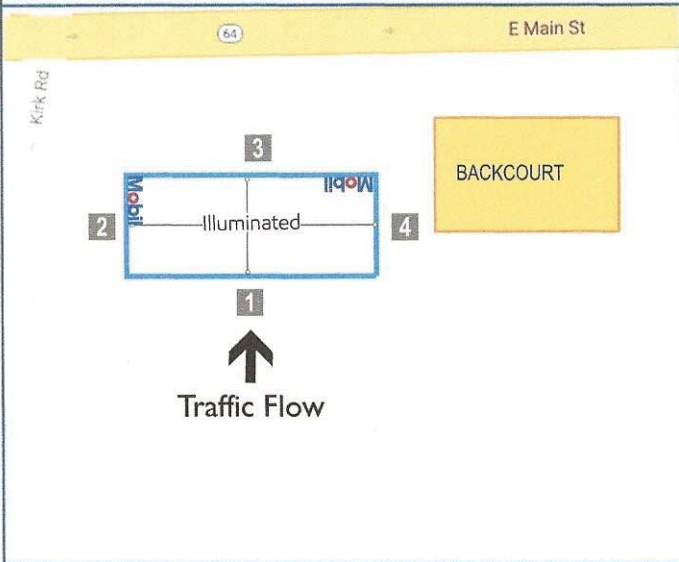


Conceptual Site Visual

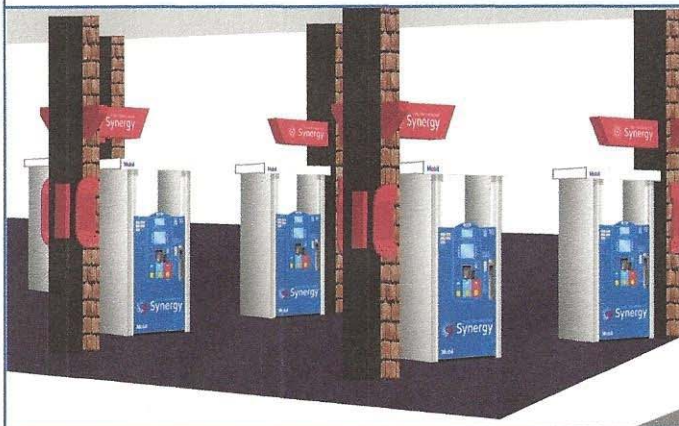
Project Name	PBL #	Customer	Created by	<b>Brand Book</b> Site Image Materials Maintenance 2 Northfield Plaza, Ste. 250 Northfield, IL 60093 P: (847) 441-1818 F: (847) 592-9564
<b>ExxonMobil</b>	-	<b>ExxonMobil</b>	<b>B.Dighero</b>	
Revision #	Date	Scale	Page #	
<b>R2</b>	<b>05/ 26/ 2020</b>	<b>NA</b>	<b>5 OF 16</b>	

# B SITE CONFIGURATIONS

\*\*Canopy fascia artwork for visualization purposes only\*\*

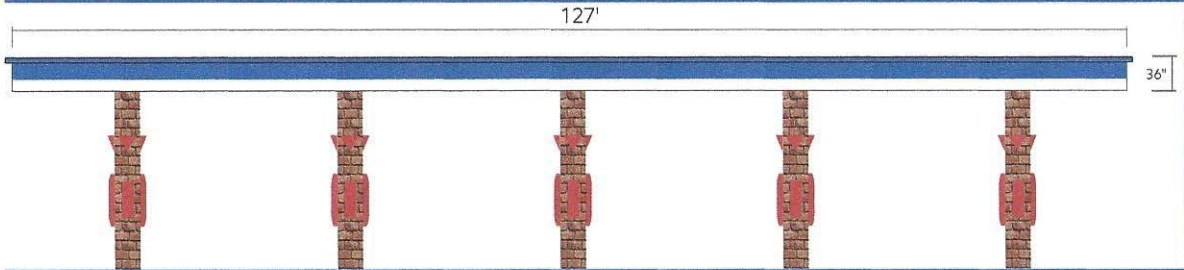


Overhead Map

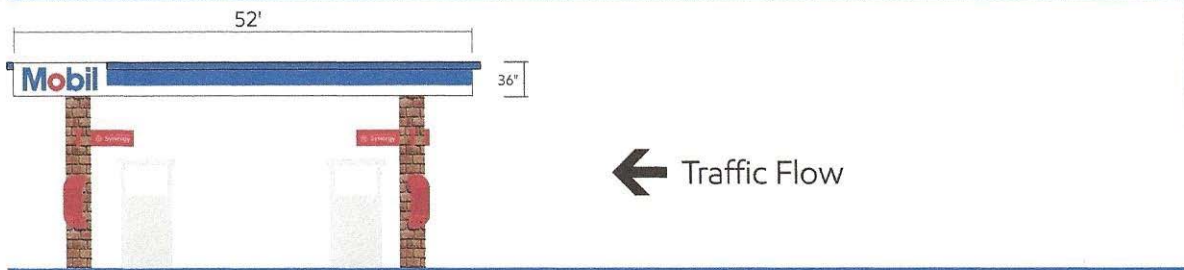


Canopy Perspective

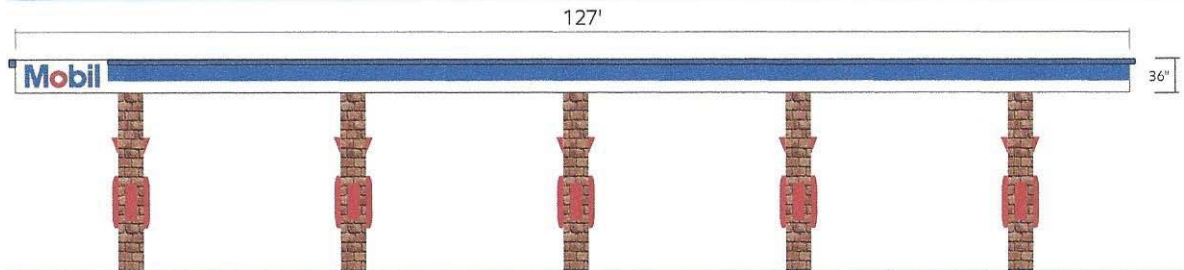
## 1 | BACK ELEVATION



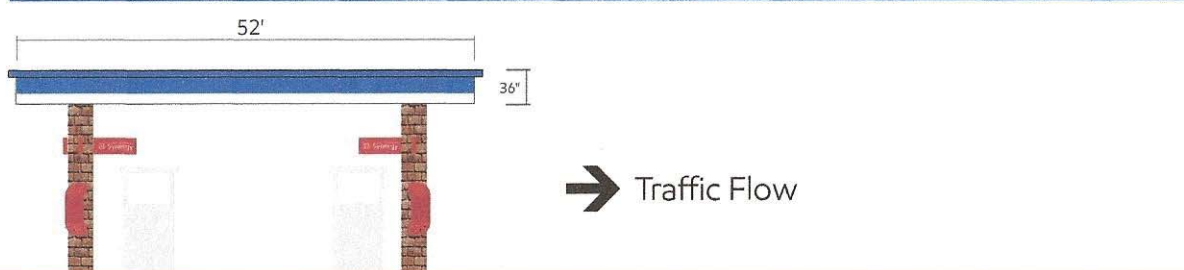
## 2 | RIGHT ELEVATION



## 3 | FRONT ELEVATION



## 4 | LEFT ELEVATION



Project Name

PBL #

Customer

Created by

ExxonMobil

-

ExxonMobil

B.Dighero

**Brand Book**  
Site Image Materials Maintenance

Revision #

Date

Scale

Page #

R3

06\_18\_2020

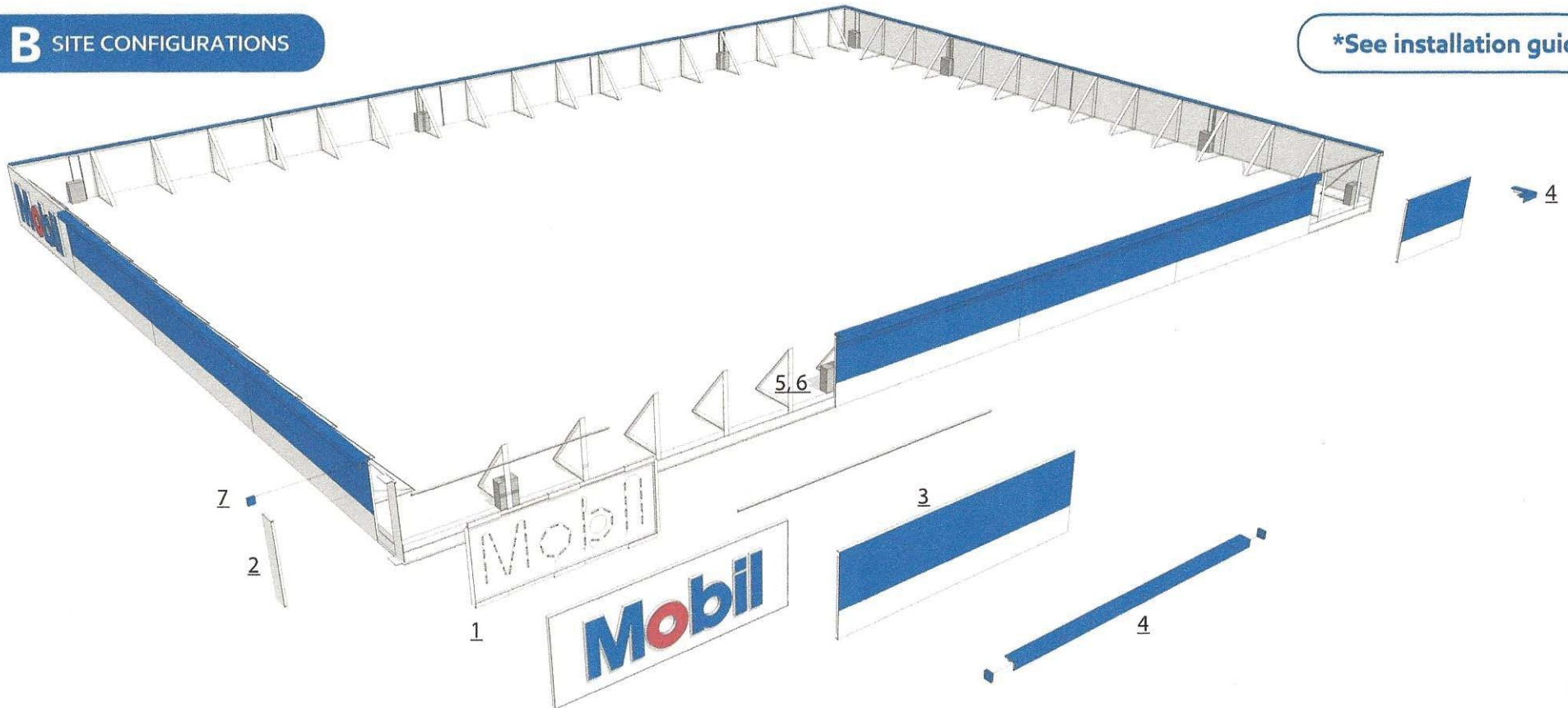
NA

4 OF 13

2 Northfield Plaza, Ste 250  
Northfield, IL 60093  
P. (847) 441-1818 F. (847) 592-9564

## B SITE CONFIGURATIONS

\*See installation guide



- Step 1. Begin with installing any logos (left or right Exxon or Mobil): back skin, side return, LED tray, power supplies and face.
- Step 2. Install logo corner panels on either side of the logo and the ends of each run.
- Step 3. Install mounting brackets and 120" ACM panels, cutting one panel per side to fit.
- Step 4. Install LED corners first, then install 118" LED downlight starting with ACM panel next to the logo. Install short downlight, cut to length or overlap as required on each side for site conditions.
- Step 5. Install (1) power supplies every other panel and connect to LEDs. Each corner downlight comes with their own power supply.
- Step 6. Install junction box power circuits every 200 feet for each side as required by site layout. Electrician to connect to 120VAC.
- Step 7. Install end caps.

Project Name	PBL #	Customer	Created by	<b>Brand Book</b> Site Image Materials Maintenance 2 Northfield Plaza, Ste. 250 Northfield, IL 60093 P: (847) 441-1818 F: (847) 592-9564
ExxonMobil	-	ExxonMobil	B.Dighero	
Revision #	Date	Scale	Page #	
R2	05/ 26/ 2020	NA	9 OF 16	

# B SITE CONFIGURATIONS

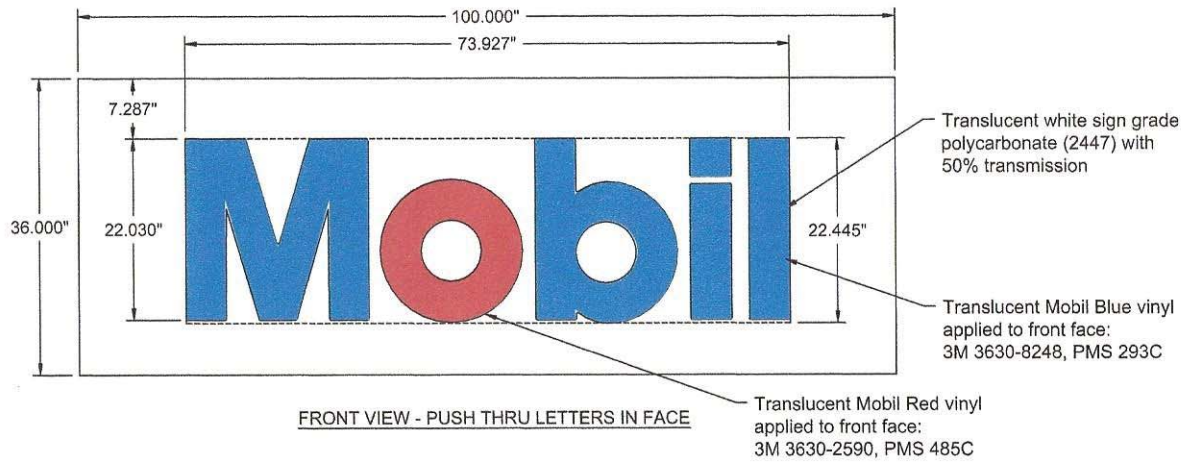
**\*See installation guide**

**SINGLE LETTER SPECS:**  
 "M" = 2.88 sq ft  
 "o" = 1.44 sq ft  
 "b" = 1.83 sq ft  
 "i" = .80 sq ft  
 "l" = .83 sq ft  
 TOTAL = 7.78 sq ft

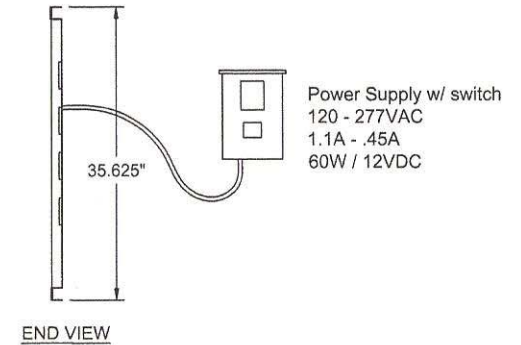
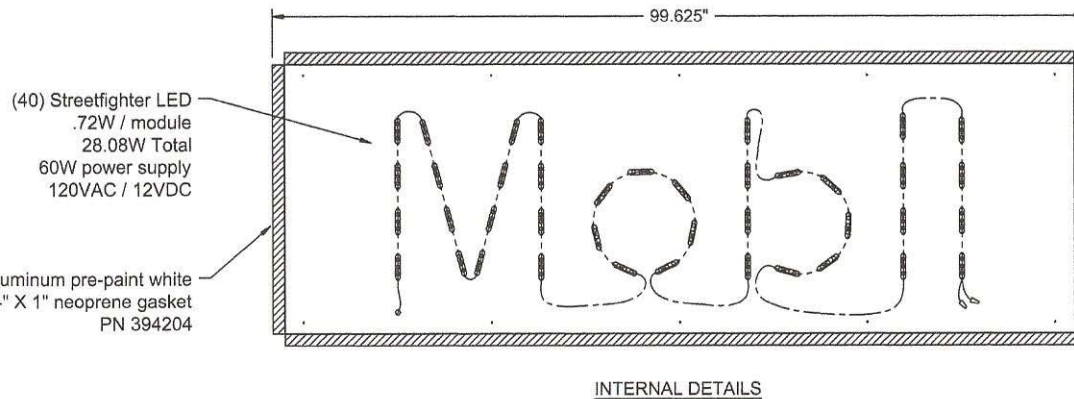
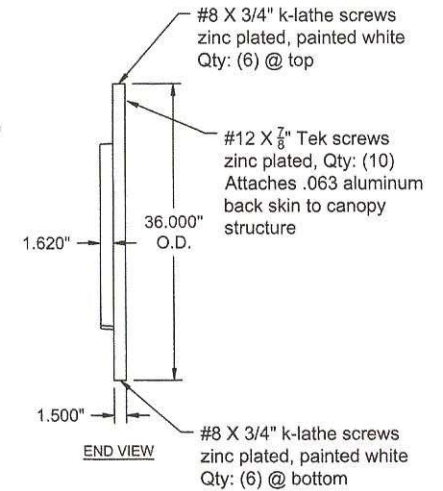
**LETTER SPECS:**  
 22.445" X 73.927" = 11.5 SF

**SIGN SPECS:**  
 36" X 100" = 25 SF

**UL NUMBER:**  
 E84811



Appx weight of sign = 75lbs

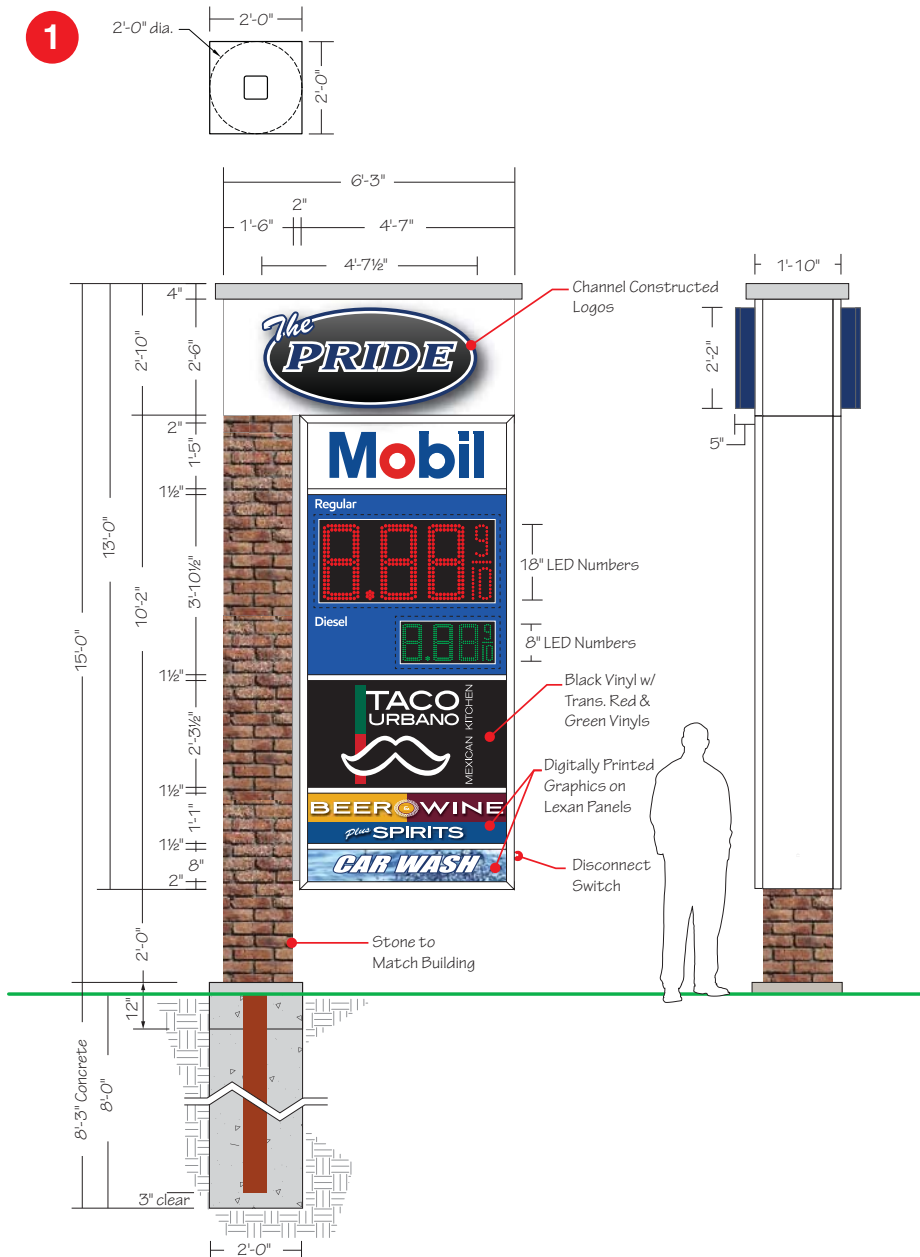


NIGHT VIEW

Project Name	PBL #	Customer	Created by	<b>Brand Book</b> Site Image Materials Maintenance 2 Northfield Plaza, Ste 250 Northfield, IL 60093 P: (847) 441-1818 F: (847) 592-9564
ExxonMobil	-	ExxonMobil	B.Dighero	
Revision #	Date	Scale	Page #	
R2	05/ 26/ 2020	NA	8 OF 16	

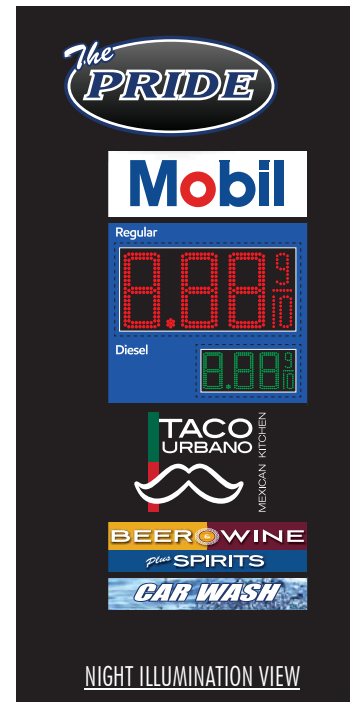


1



**(1) 13'-0" x 6'-3" Double Face Illuminated Flag Mounted Sign - 81.25 SF**

**Cabinet:** Fabricated Aluminum Painted White - Satin Finish  
**Pride Logos:** 5" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination  
**Mobile Logos:** 3M 3630-97 Bristol Blue & 143 Poppy Red Translucent Vinyls  
**Pricer Panel:** 3M 3630-97 Bristol Blue Translucent Vinyl - Copy Reversed Out White  
 - Pricer Units: 16" LED & 12" LED  
**Tenant Panels:** White Polycarbonate  
**"Taco Urbano" Graphics:** 3M 7725-12 Black / 3630-76 Holly Green / 3630-33 Red Vinyls  
**"Beer Wine Liquor" & Car Wash Panels:** White Polycarbonate w/ Digitally Printed Graphics  
**Illumination:** White LEDs  
**Power:** (2) 20Amp @ 120Volts Electrical Circuits Run to Site by Others  
**Column:** CMU Block w/ Brick to Match Building  
**Mounting:** (1) HSS 6" x 6" x 3/8" ASTM A-500 Gr. B with  
 (3) 4" x 4" x 3/16" ASTM A-500 Gr. B Steel Mounting Plates  
 - (1) 2'-0" dia. x 8'-0" deep Concrete Foundation w/  
 2'-0" W x 2'-0" L x 12" D Square Concrete Pad for Masonry



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 www.parvinclauss.com

**PROJECT:**



SEC Kirk Road & Main Street (Rt. 64)  
St. Charles, IL

**CUSTOMER APPROVAL:**  
DATE

**AUTHORIZED SIGNATURE**

**REPRESENTATIVE**

House / RM / KZ

**DRAWN BY**

Bill Marlow

**DATE**

10.23.19

**SCALE**

3/8" = 1'

**SHEET NO.**

1 of 12

**WORK ORDER**

82989

**FILE NAME**

PRD82989

**REVISIONS:**

- 1 11.04.19 - center sundry cab.
- 2 5.18.20 - new layout
- 3 5.19.20 - size adjustments
- 4 5.26.20 - Taco Urbano Logo
- 5 6.19.20
- 6
- 7
- 8

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

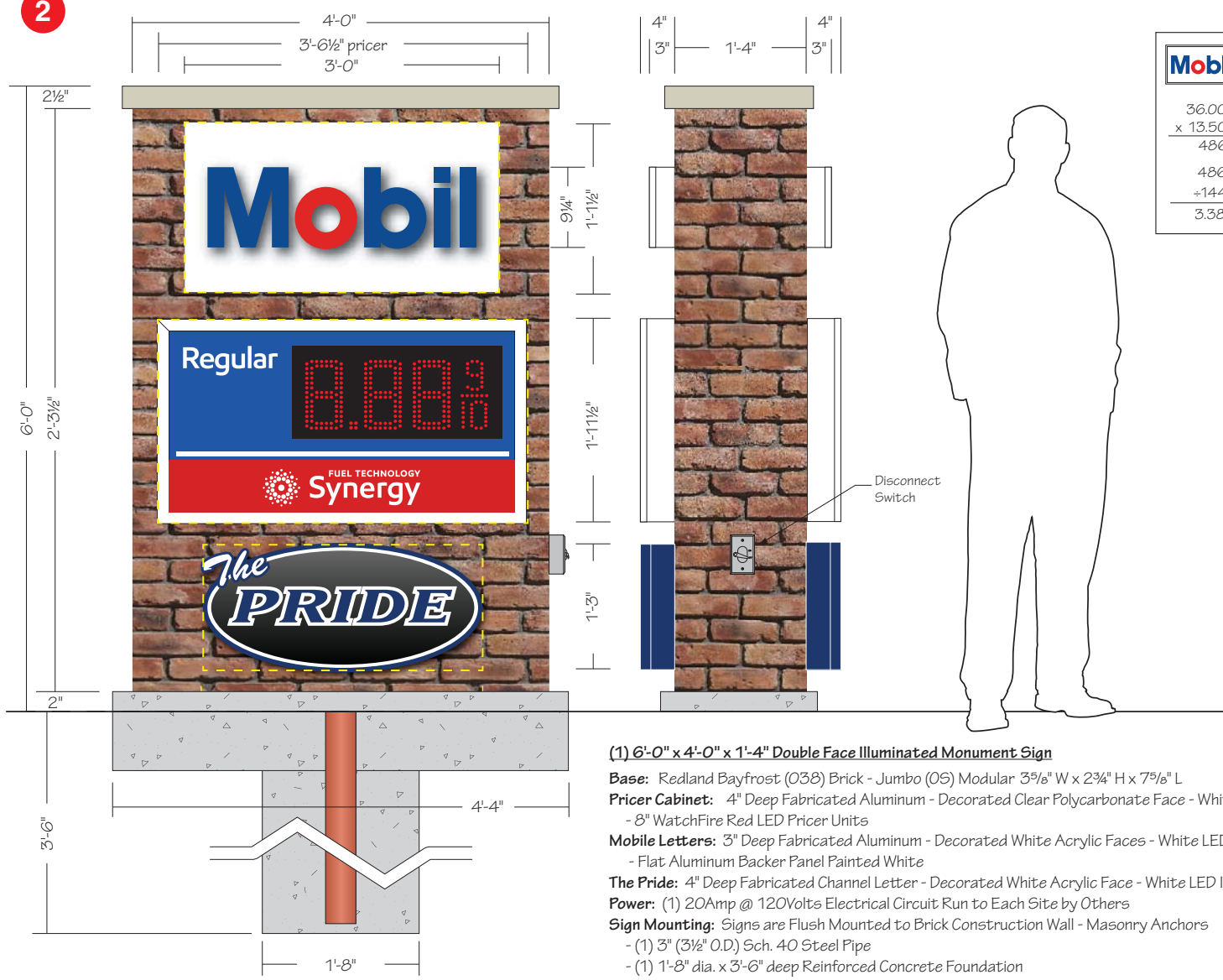


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2



36.00" x 13.50" 486"
486" +144" 3.38 SF

42.50" x 23.50" 998.75"
998.75" + 144" 7 SF

32.50" x 15.00" 487.50"
487.50" +144.00" 3.38 SF

3.38 SF 7.00 SF + 3.38 SF 13.76 SF
Signs

72.00" x 48.00" 3456"
3456" +144" 24 SF
Base

**(1) 6'-0" x 4'-0" x 1'-4" Double Face Illuminated Monument Sign**

- Base:** Redland Bayfrost (038) Brick - Jumbo (05) Modular 3<sup>5</sup>/<sub>8</sub>" W x 2<sup>3</sup>/<sub>4</sub>" H x 7<sup>5</sup>/<sub>8</sub>" L
- Pricer Cabinet:** 4" Deep Fabricated Aluminum - Decorated Clear Polycarbonate Face - White LED Illumination  
- 8" WatchFire Red LED Pricer Units
- Mobile Letters:** 3" Deep Fabricated Aluminum - Decorated White Acrylic Faces - White LED Illumination  
- Flat Aluminum Backer Panel Painted White
- The Pride:** 4" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Power:** (1) 20Amp @ 120Volts Electrical Circuit Run to Each Site by Others
- Sign Mounting:** Signs are Flush Mounted to Brick Construction Wall - Masonry Anchors
  - (1) 3" (3<sup>1</sup>/<sub>2</sub>" O.D.) Sch. 40 Steel Pipe
  - (1) 1'-8" dia. x 3'-6" deep Reinforced Concrete Foundation
  - (1) 8" D x 4'-4" L x 1'-8" W Reinforced Concrete Pad for Masonry

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www.parvinclauss.com

**PROJECT:**



SEC Kirk Road & Main Street (Rt. 64)  
St. Charles, IL

**CUSTOMER APPROVAL:**  
DATE

**AUTHORIZED SIGNATURE**

**REPRESENTATIVE**

House / RM / KZ

**DRAWN BY**

Bill Marlow

**DATE**

10.23.19

**SCALE**

1" = 1'

**SHEET NO.**

2 of 12

**WORK ORDER**

82989

**FILE NAME**

PRD82989

**REVISIONS:**

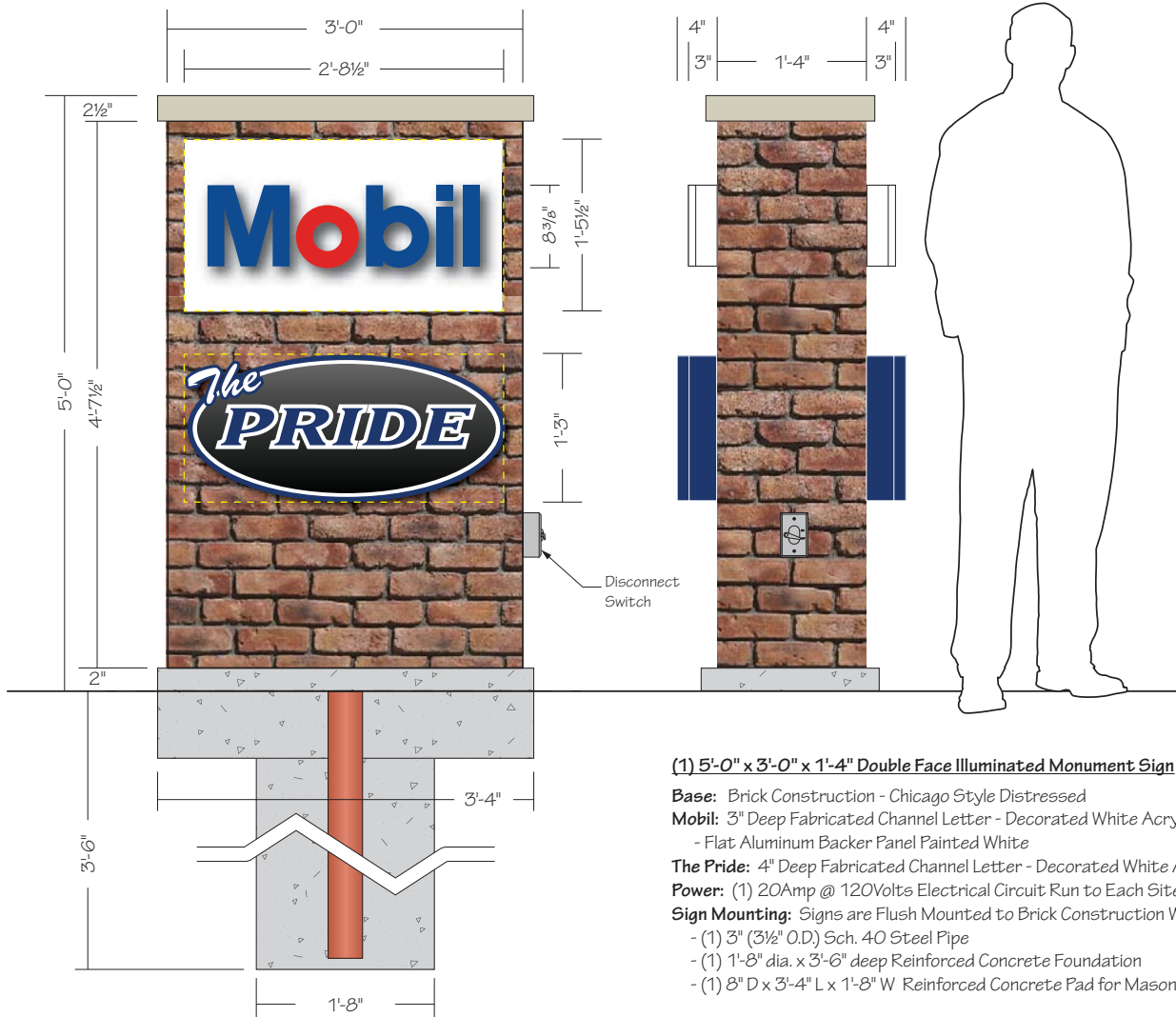
- 11.04.19 - all cabs. on brick area
- 5.18.20
- 5.19.20
- 5.26.20 - Mobil letters / cab. depth
- 6.19.20
- 
- 
- 

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

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**(1) 5'-0" x 3'-0" x 1'-4" Double Face Illuminated Monument Sign**

- Base:** Brick Construction - Chicago Style Distressed
- Mobil:** 3" Deep Fabricated Channel Letter - Decorated White Acrylic Faces - White LED Illumination  
- Flat Aluminum Backer Panel Painted White
- The Pride:** 4" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Power:** (1) 20Amp @ 120Volts Electrical Circuit Run to Each Site by Others
- Sign Mounting:** Signs are Flush Mounted to Brick Construction Wall - Masonry Anchors
  - (1) 3" (3 1/2" O.D.) Sch. 40 Steel Pipe
  - (1) 1'-8" dia. x 3'-6" deep Reinforced Concrete Foundation
  - (1) 8" D x 3'-4" L x 1'-8" W Reinforced Concrete Pad for Masonry

$\begin{array}{r} 32.50'' \\ \times 17.50'' \\ \hline 568.75'' \\ +144'' \\ \hline 4\text{ SF} \end{array}$	 $\begin{array}{r} 32.50'' \\ \times 15.00'' \\ \hline 487.50'' \\ +144'' \\ \hline 3.38\text{ SF} \end{array}$
---	--

$\begin{array}{r} 4.00\text{ SF} \\ + 3.38\text{ SF} \\ \hline 7.38\text{ SF} \end{array}$ <p>Signs</p>	$\begin{array}{r} 60'' \\ \times 36'' \\ \hline 2160'' \\ + 144'' \\ \hline 15\text{ SF} \end{array}$ <p>Base</p>
---	---

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**PROJECT:**



SEC Kirk Road & Main Street (Rt. 64)  
St. Charles, IL

**CUSTOMER APPROVAL:**

DATE \_\_\_\_\_

AUTHORIZED SIGNATURE \_\_\_\_\_

REPRESENTATIVE \_\_\_\_\_

House / RM / KZ

DRAWN BY Bill Marlow

DATE 10.23.19

SCALE 1" = 1'

SHEET NO. 3 of 12

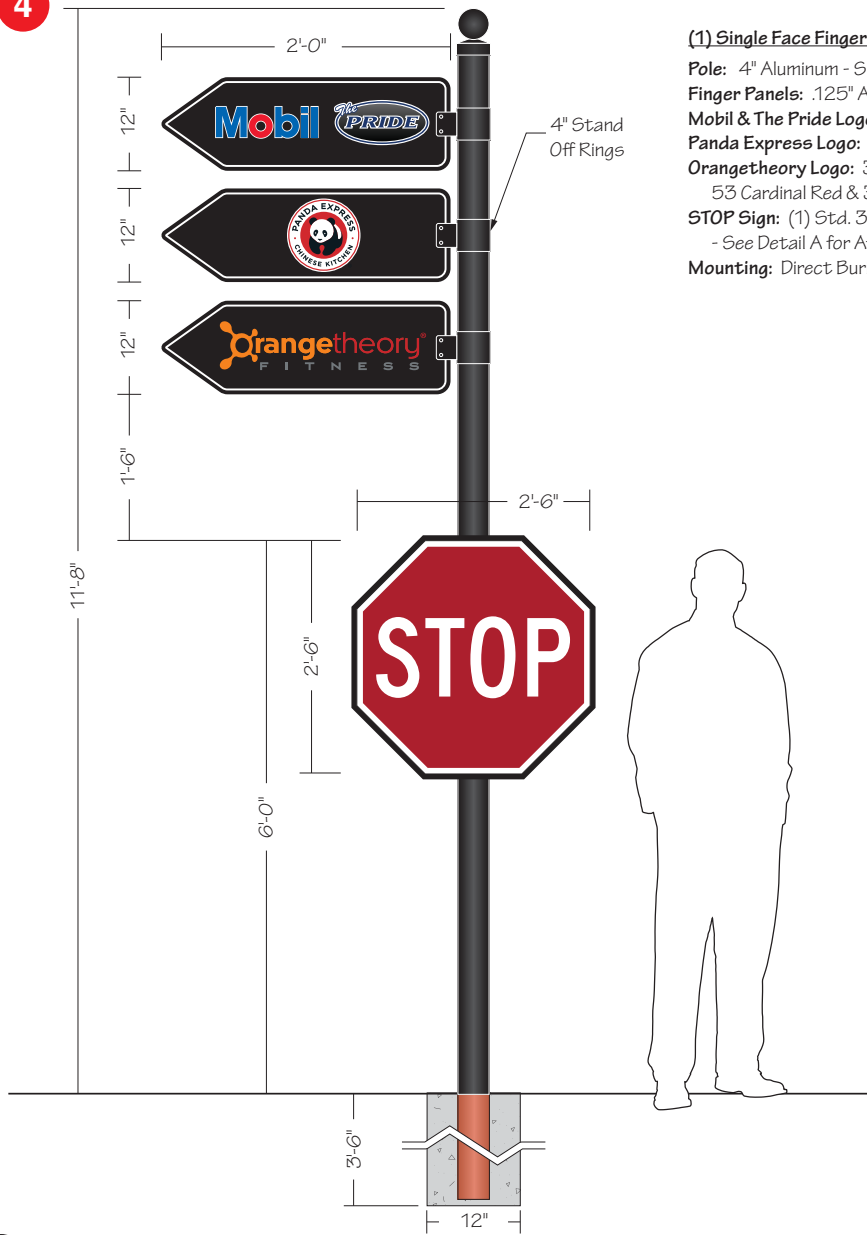
WORK ORDER 82989

FILE NAME PRD82989

**REVISIONS:**

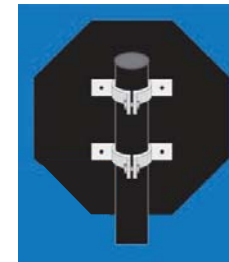
- 1 11.04.19
- 2 5.18.20
- 3 5.19.20
- 4 5.26.20 - Mobil letters / cab. depth
- 5 6.19.20
- 6
- 7
- 8

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



**(1) Single Face Fingerpost Directional Sign**

**Pole:** 4" Aluminum - Smooth - Painted Black - Ball Cap  
**Finger Panels:** .125" Aluminum Painted Black w/ Reflective White Vinyl In-line Border  
**Mobil & The Pride Logos:** Digitally Printed on White Vinyl Applied  
**Panda Express Logo:** Digitally Printed on White Vinyl Applied  
**Orangetheory Logo:** 3M 7725-14 Bright Orange, 53 Cardinal Red & 31 Medium Gray Vinyls Applied  
**STOP Sign:** (1) Std. 30" x 30" Applied to .125" thick Black Aluminum Backer Panel  
 - See Detail A for Attachment Hardware  
**Mounting:** Direct Burial in 1'-0" dia. x 3'-6" deep Concrete Foundation



DETAIL A - Post Brackets



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 St. Charles, IL

**CUSTOMER APPROVAL:**  
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE  
 House / RM / KZ

DRAWN BY  
 Bill Marlow

DATE  
 10.23.19

SCALE  
 3/4" = 1'

SHEET NO.  
 4 of 12

WORK ORDER  
 82989

FILE NAME  
 PRD82989

**REVISIONS:**

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20
6	
7	
8	

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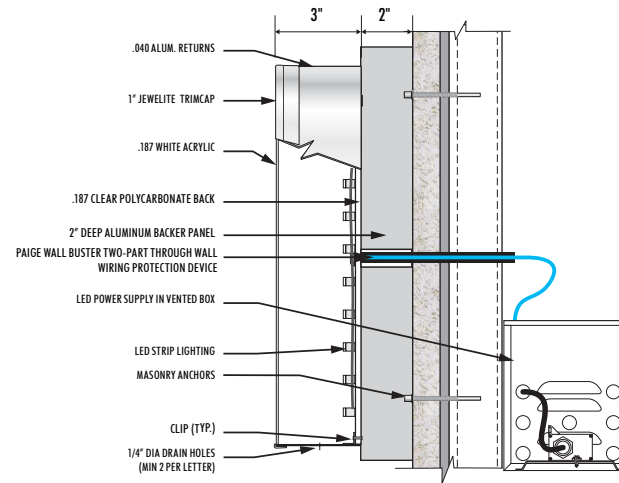
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5

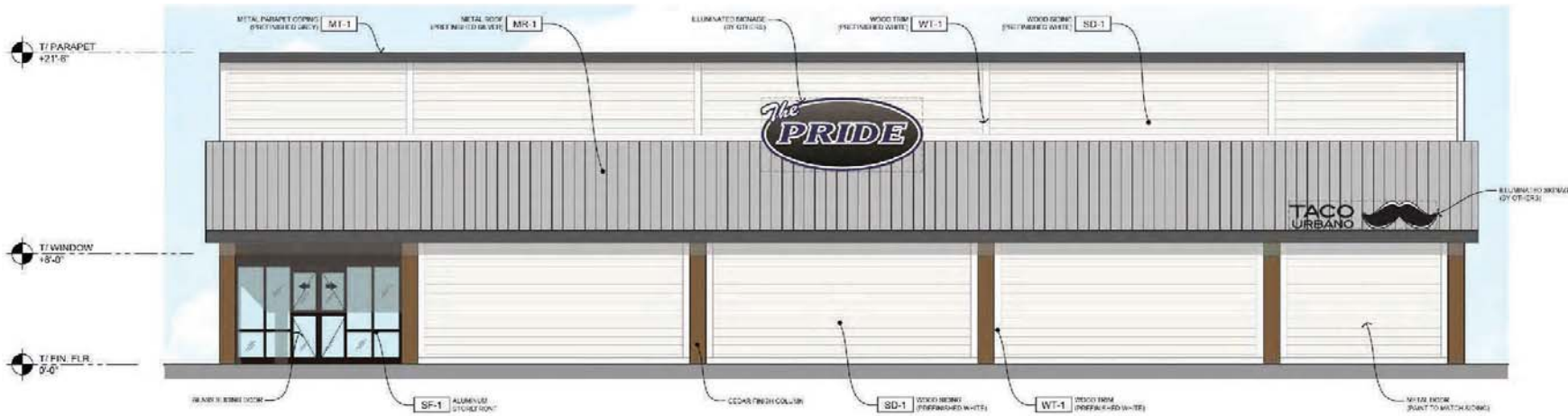


**(1) 5'-4 5/8" x 11'-8 1/2" x 2" Deep SF Wall Sign w/ Illuminated Channel Letters**

- Panel:** 2" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish
- Faces:** .125" Aluminum Painted PMS 288 Blue
- Inline Strip:** 3M 7725-10 White Vinyl
- Black/Grey Gradient:** Digitally Printed on Orajet 3751 RA White Vinyl Applied to Face
- Letters & White In-line:** Fabricated 3" Deep Channel Letters
- "The" Returns:** .040" Aluminum Painted PMS 288 Blue- 1" White Trimcap
- "PRIDE" & In-line Returns:** .040" Pre-finished White Aluminum - 1" White Trimcap
- Faces:** 732B White Acrylic w/ Avery UC 900-684T PMS 288 Blue Translucent Vinyl Applied to Faces
- Illumination:** White LEDs with Remote 60Watt Power Supplies
- Power:** Use Existing at Site
- Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



**3" DEEP U/L APPROVED LED-ILLUMINATED CHANNEL LETTER - WIREWAY MOUNT**



**01-SOUTH ELEVATION**

Scale: 1/8" = 1'-0"

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**PROJECT:**



SEC Kirk Road & Main Street (Rt. 64)  
St. Charles, IL

**CUSTOMER APPROVAL:**  
DATE

**AUTHORIZED SIGNATURE**

**REPRESENTATIVE**

House / RM / KZ

**DRAWN BY**

Bill Marlow

**DATE**

10.23.19

**SCALE**

1/2" = 1'

**SHEET NO.**

5 of 12

**WORK ORDER**

82989

**FILE NAME**

PRD82989

**REVISIONS:**

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



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6



**(1) 5'-4 5/8" x 11'-8 1/2" x 2" Deep SF Wall Sign w/ Illuminated Channel Letters**

**Panel:** 2" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish

**Faces:** .125" Aluminum Painted PMS 288 Blue

**Inline Strip:** 3M 7725-10 White Vinyl

**Black/Grey Gradient:** Digitally Printed on Orajet 3751 RA White Vinyl Applied to Face

**Letters & White In-line:** Fabricated 3" Deep Channel Letters

**"The" Returns:** .040" Aluminum Painted PMS 288 Blue- 1" White Trimcap

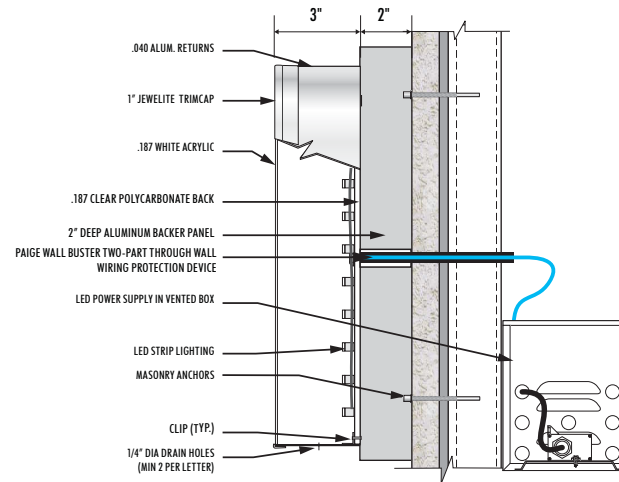
**"PRIDE" & In-line Returns:** .040" Pre-finished White Aluminum - 1" White Trimcap

**Faces:** 7328 White Acrylic w/ Avery UC 900-684T PMS 288 Blue Translucent Vinyl Applied to Faces

**Illumination:** White LEDs with Remote 60Watt Power Supplies

**Power:** Use Existing at Site

**Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



**3" DEEP U/L APPROVED LED-ILLUMINATED CHANNEL LETTER - WIREWAY MOUNT**



**04 - NORTH ELEVATION**

Scale: 1/8" = 1'-0"

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e-mail/signs@parvinclauss.com  
www.parvinclauss.com

**PROJECT:**



SEC Kirk Road & Main Street (Rt. 64)  
St. Charles, IL

**CUSTOMER APPROVAL:**  
DATE

**AUTHORIZED SIGNATURE**

**REPRESENTATIVE**

House / RM / KZ

**DRAWN BY**

Bill Marlow

**DATE**

10.23.19

**SCALE**

1/2" = 1'

**SHEET NO.**

6 of 12

**WORK ORDER**

82989

**FILE NAME**

PRD82989

**REVISIONS:**

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

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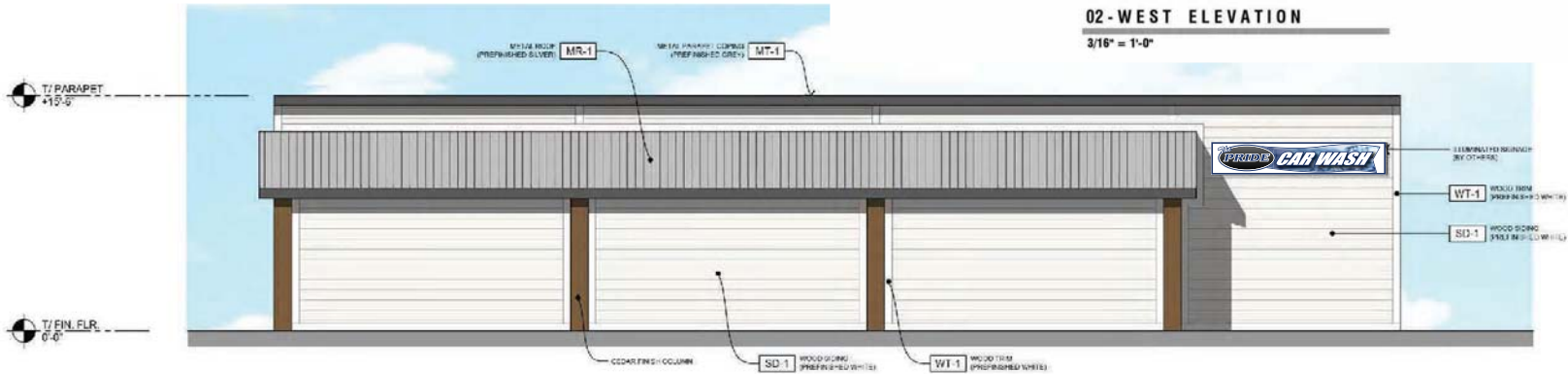
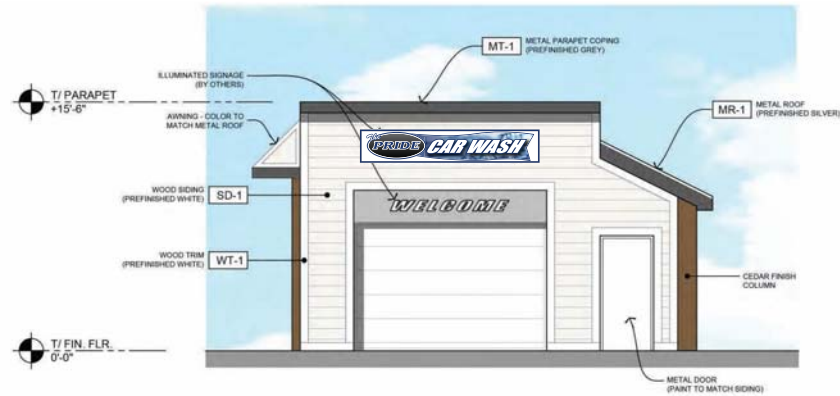
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**(2) 2'-1 1/2" x 11'-6" x 5" Deep SF Wall Sign**

- Cabinet:** 5" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish
- Faces:** 3/16" White Polycarbonate
- Graphics:** Digitally Printed on Translucent White Vinyl
- Illumination:** White LEDs with 12V GOW 120/277V Power Supplies
- Power:** Use Existing at Site
- Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



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e-mail/signs@parvinclauss.com  
www.parvinclauss.com

**PROJECT:**



SEC Kirk Road & Main Street (Rt. 64)  
St. Charles, IL

**CUSTOMER APPROVAL:**  
DATE

**AUTHORIZED SIGNATURE**

**REPRESENTATIVE**

House / RM / KZ

**DRAWN BY**

Bill Marlow

**DATE**

10.23.19

**SCALE**

1" = 1'

**SHEET NO.**

7 of 12

**WORK ORDER**

82989

**FILE NAME**

PRD82989

**REVISIONS:**

- 11.04.19
- 5.18.20
- 5.19.20
- 5.26.20
- 6.19.20 - New Sign
- 
- 
- 

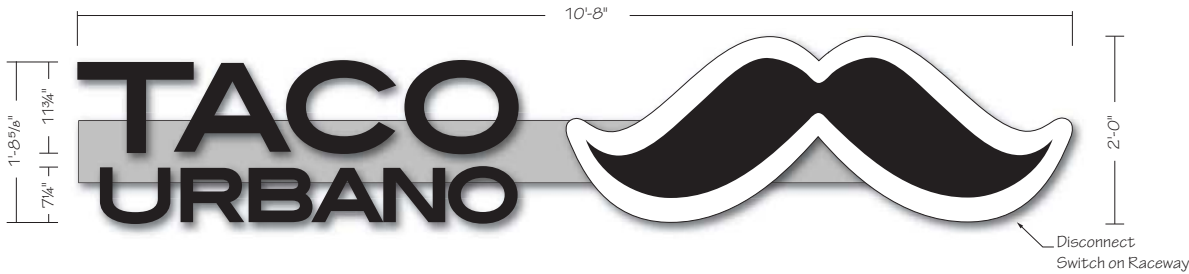
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This sign is built to UL Standards for operation in North America.

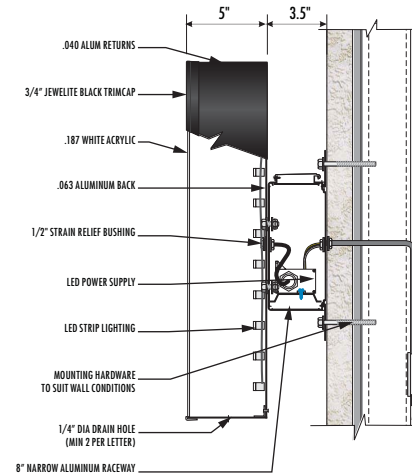
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**(1 set) 5" Deep Illuminated Channel Letters & Logo on Raceway**

**Letter & Logo Returns:** .040" Fabricated Aluminum Prefinished Black  
**Letter Faces:** White Acrylic w/ 3M 3635-222 Black Perforated Vinyl Applied - 3/4" Black Trimcap  
**Logo Face:** White Acrylic w/ 3M 7725-12 Black Vinyl Applied - 3/4" Black Trimcap  
**Raceway:** Std. 8" Narrow - Extruded Aluminum Painted to Match Wall Color  
**Illumination:** White LEDs with 60Watt Power Supplies in Raceway  
**Power:** (1) 20Amp @ 120Volt Electrical Circuit Run to Site by Others  
**Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



**01 - SOUTH ELEVATION**

Scale: 1/8" = 1'-0"



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 165TubewayDrive • CarolStream • Illinois60188  
 Tel/630-510-2020 • Fax/630-510-2074  
 e-mail/signs@parvinclauss.com  
 www.parvinclauss.com

**PROJECT:**



SEC Kirk Road & Main Street (Rt. 64)  
 St. Charles, IL

**CUSTOMER APPROVAL:**  
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/4" = 1'

SHEET NO.

8 of 12

WORK ORDER

82989

FILE NAME

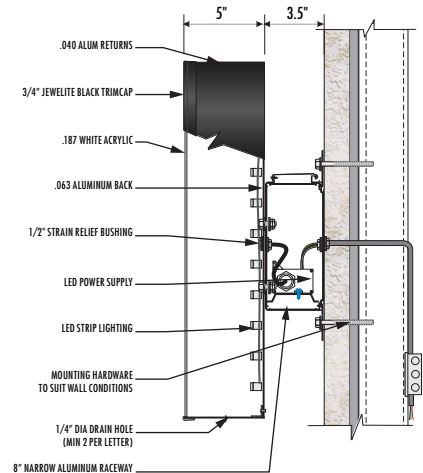
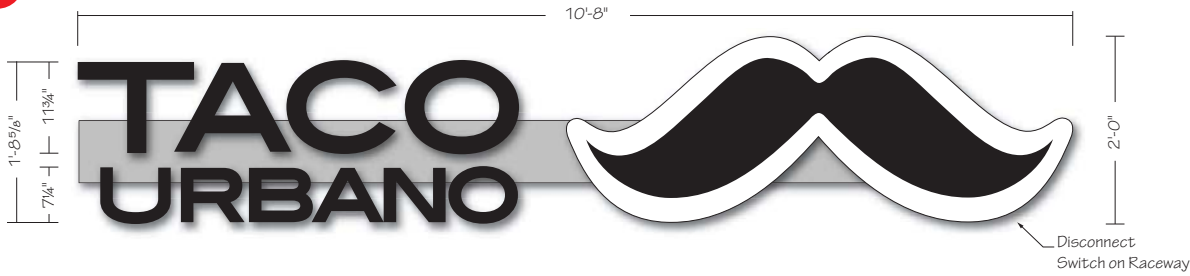
PRD82989

**REVISIONS:**

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.





**(1 set) 5" Deep Illuminated Channel Letters & Logo on Raceway**  
**Letter & Logo Returns:** .040" Fabricated Aluminum Prefinished Black  
**Letter Faces:** White Acrylic w/ 3M 3635-222 Black Perforated Vinyl Applied - 3/4" Black Trimcap  
**Logo Face:** White Acrylic w/ 3M 7725-12 Black Vinyl Applied - 3/4" Black Trimcap  
**Raceway:** Std. 8" Narrow - Extruded Aluminum Painted to Match Wall Color  
**Illumination:** White LEDs with 60Watt Power Supplies in Raceway  
**Power:** (1) 20Amp @ 120Volt Electrical Circuit Run to Site by Others  
**Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



**04 - NORTH ELEVATION**

Scale: 1/8" = 1'-0"

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**PROJECT:**



SEC Kirk Road & Main Street (Rt. 64)  
St. Charles, IL

**CUSTOMER APPROVAL:**  
DATE

**AUTHORIZED SIGNATURE**

**REPRESENTATIVE**

House / RM / KZ

**DRAWN BY**

Bill Marlow

**DATE**

10.23.19

**SCALE**

1/2" = 1'

**SHEET NO.**

9 of 12

**WORK ORDER**

82989

**FILE NAME**

PRD82989

**REVISIONS:**

- 1 11.04.19
- 2 5.18.20
- 3 5.19.20
- 4 5.26.20
- 5 6.19.20 - New Elevation
- 6
- 7
- 8

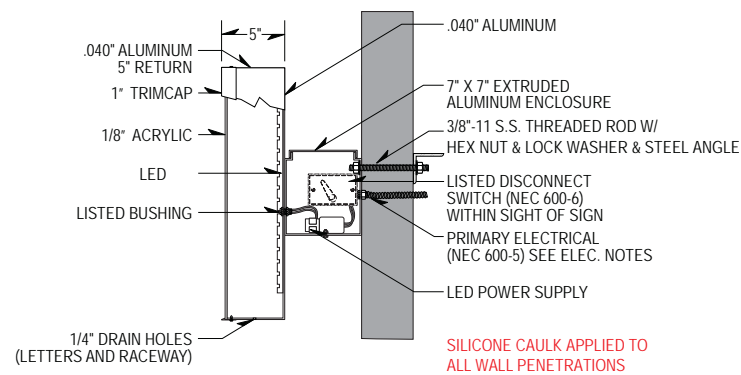
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(1 set each) 5" Deep Illuminated Channel Letters on Raceways - 8.45 SF / 14.40 SF

Returns: Fabricated Aluminum Painted PMS 288 Blue

Faces: #7328 White Acrylic w/ 1" Jewelite White trimcap

Vinyl: 3M 3630-157 Sultan Blue Translucent Vinyl

Raceways: Std. 7" x 7" Aluminum Painted to Match Wall Color - SW 7063 Nebulous White

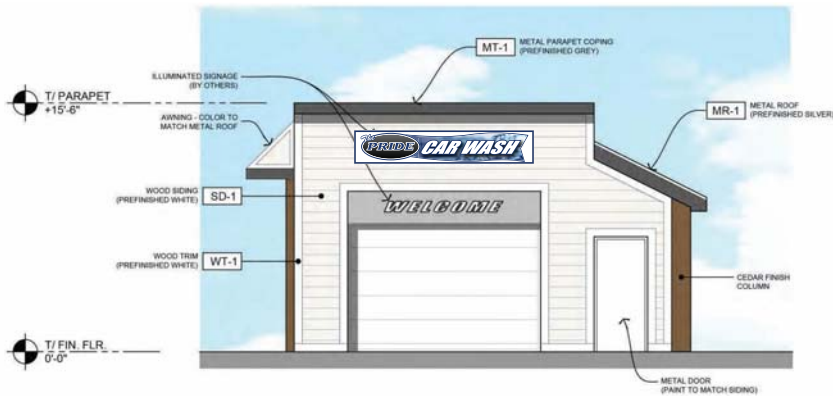
Illumination: White LED

Power: (1) 20Amp @ 120Volts Electrical Circuit Run to Site by Others

Mounting: Raceways Flush Mounted to Building - Appropriate Hardware for Wall Construction

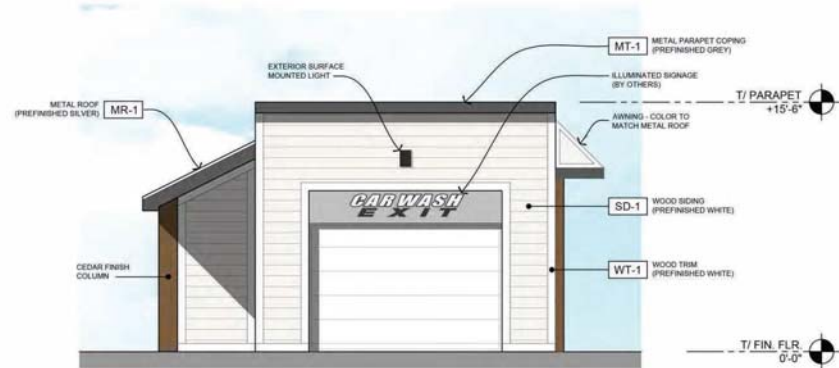
Bottom Raceway Mount  
Upside Down

**NOTE: FIELD SURVEY REQUIRED PRIOR TO FABRICATION**



02 - WEST ELEVATION

Scale: 1/8" = 1'-0"



03 - EAST ELEVATION

Scale: 1/8" = 1'-0"

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AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/4" = 1'

SHEET NO.

10 of 12

WORK ORDER

82989

FILE NAME

PRD82989

**REVISIONS:**

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

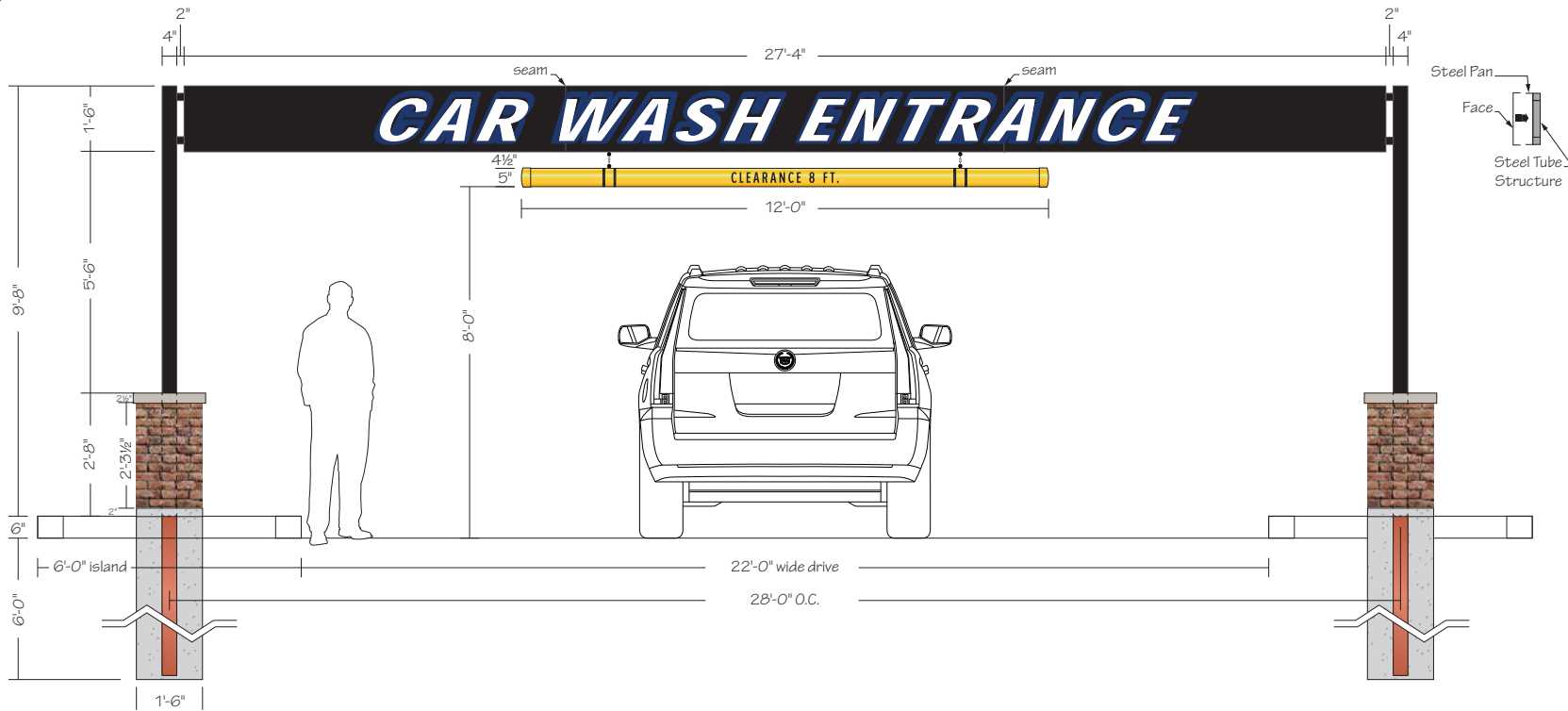
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**(1) 1'-6" x 27'-4" x 2" Single Face Non-Illuminated Entrance Gateway**

**Cabinet:** Fabricated Aluminum Painted Black - Suede Satin Finish  
 - 2" x 2" Tube Internal Structure

**Graphics:** 3M 7725-37 Sapphire Blue & 7725-10 White Vinyls

**Clearance Bar:** 5" PVC Pipe w/ Caps Painted MAP 42248 Sundance Yellow

**Clearance Ht. Copy & Stripes:** 3M 680-85 Black Reflective Vinyl

**Bases:** Masonry to Match Building - Redland Bayfrost (038) Brick

- Jumbo (05) Modular: 35/8" W x 2 3/4" H x 75/8" L

**Mounting:** (2) 4" x 4" Tube Steel set into (2) 1'-6" dia. x 6'-0" deep Concrete Foundations

**NOTE: FIELD SURVEY REQUIRED PRIOR TO FABRICATION**

**PROJECT:**



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DATE \_\_\_\_\_

AUTHORIZED SIGNATURE \_\_\_\_\_

REPRESENTATIVE \_\_\_\_\_

House / RM / KZ

DRAWN BY \_\_\_\_\_

Bill Marlow

DATE \_\_\_\_\_

10.23.19

SCALE \_\_\_\_\_

3/8" = 1'

SHEET NO. \_\_\_\_\_

11 of 12

WORK ORDER \_\_\_\_\_

82989

FILE NAME \_\_\_\_\_

PRD82989

**REVISIONS:**

1	11.04.19
2	5.18.20
3	5.19.20
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5	6.19.20
6	
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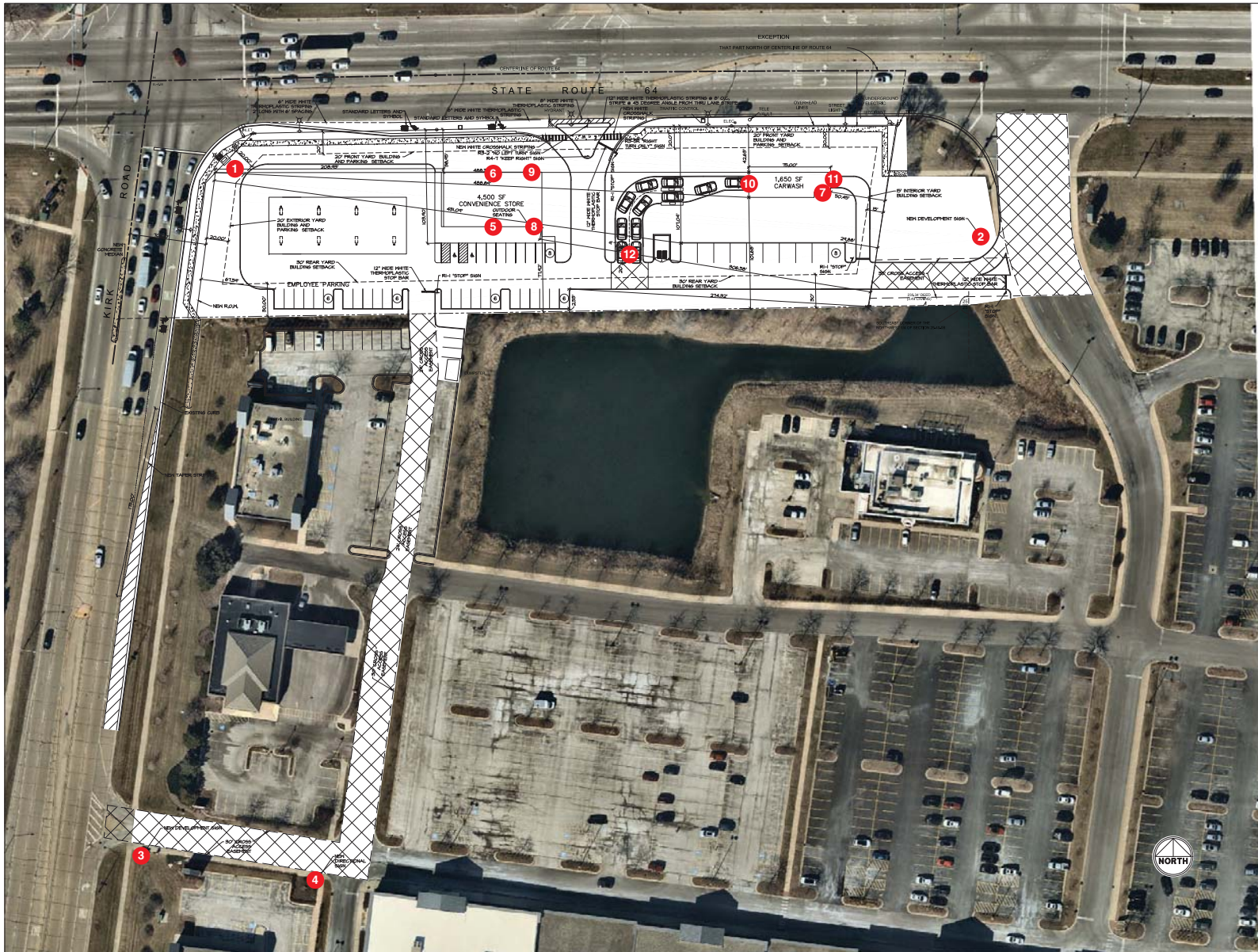
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REPRESENTATIVE \_\_\_\_\_

House / RM / KZ

DRAWN BY \_\_\_\_\_

Bill Marlow

DATE \_\_\_\_\_

10.23.19

SCALE \_\_\_\_\_

nts

SHEET NO. \_\_\_\_\_

12 of 12

WORK ORDER \_\_\_\_\_

82989

FILE NAME \_\_\_\_\_

PRD82989

**REVISIONS:**

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