	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item number: 5b
	Title:	Recommendation to approve a Minor Change to PUD for Burger King, Meijer PUD.	
Presenter:	Ellen Johnson		
Meeting: Planning & Development Committee		Date: June 12, 2023	
Proposed Cost: \$		Budgeted Amount: \$	Not Budgeted: <input type="checkbox"/>
TIF District: None			
Executive Summary (if not budgeted, please explain):			
<p>The existing Burger King located at 959 S. Randall Rd. is located within the Meijer PUD, approved under Ord. 1999-M-24. Plans for the Burger King, along with a Special Use for a Drive-Thru Facility and drive-thru stacking reduction, were approved under Ord. 2009-Z-14 and modified under Ord. 2009-Z-21.</p> <p>An application for Minor Change to PUD has been submitted by John Kayser, representing property owner JHGV, LLC proposing the following changes to the site:</p> <ul style="list-style-type: none"> • Reconfiguration of the drive-thru to include two ordering stations at the south end of the building; the drive-thru lane configuration will remain unchanged. • New landscaping at the south end of the building around the ordering stations. • Changes to the building exterior, including a tower element at the NE corner, new drive-thru windows in existing openings, new canopies to replace existing awnings, new parapet coping, LED light band along the east façade, and new building-mounted light fixtures • Updated wall and freestanding signage. • Updated exterior seating on the west side. • The parking lot will be re-sealed and re-striped; no changes to the parking count or drive-thru lane configuration. <p>The Minor Change complies with the Meijer PUD Ordinance and the applicable provisions of the Zoning Ordinance, subject to compliance with the following:</p> <ul style="list-style-type: none"> • The Crabapple tree shall have a height of 6' at planting. • Additional ornamental grasses should be added along the west façade adjacent to the outdoor dining area, per the approved Landscape Plan. 			
Attachments (please list):			
Application, Plans			
Recommendation/Suggested Action (briefly explain):			
Recommendation to approve a Minor Change to PUD for Burger King, Meijer PUD.			

City of St. Charles
 Community Development Division
 2 E. Main Street
 St. Charles, IL 60174



Phone: (630) 377-4443
 Email: cd@stcharlesil.gov

MINOR CHANGE TO PUD APPLICATION

For City Use	
Project Name:	<u>Burger King - Meijer PUD</u>
Project Number:	_____ -PR- _____
Cityview Project Number:	_____



- File this application to request approval of a Minor Change to an approved PUD Preliminary Plan in a manner that complies with all standards of the PUD Ordinance applicable to the property and meets the definition of a Minor Change per the Zoning Ordinance or the PUD Ordinance.
- Complete the application and submit with all required attachments to the Community Development Division.
- The information you provide must be complete and accurate. If you have any questions please contact the Community Development Division.
- City staff will review the submittal for completeness and for compliance with applicable requirements.
- The Minor Change will be scheduled for review by the Planning & Development Committee of the City Council when staff has determined the plans are ready.

1. Property Information:	Location: 959 S. Randall Road	
	Parcel Number (s): 0932476013	
	PUD Name: Meijer PUD	
2. Applicant Information:	Name: John Kayser	Phone: 708-204-4503
	Address 1624 West 18th Street Chicago, IL 60608	Email: john@caveenterprises.com
3. Record Owner Information:	Name: JHGV, LLC	Phone: 312-829-4000
	Address: 1624 West 18th Street Chicago, IL 60608	Email: adam@caveenterprises.com

4. PUD Information:

Name of PUD: Meijer PUD

PUD Ordinance #: #1999-M-24

Ordinance or Resolution that approved the current plans:

5. Proposed Changes:

PUD Plans to be changed:

- Site/Engineering Plan
- Landscape Plan
- Architectural Elevations
- Signs
- Other plans:

Description of plan changes:

Removal of existing drive thru equipment. Addition of tandem style ordering stations in current single ordering station landscape island. Removal and addition of landscaping in existing ordering station landscape island. Minor improvements to the site including: reseal and restripe, updated exterior seating, and trash enclosure improvements. Minor improvements to the building elevations including: new drive thru window tower structure, minor modification to existing drive thru window tower, new drive thru windows, new signage to replace existing, new canopies to replace existing awnings, new lighting to replace existing, new parapet coping to replace existing, and addition of new parapet light band between the two drive thru window towers.

6. Required Attachments:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Provide 1 copy of each required item, unless otherwise noted.

APPLICATION FEE: \$200

REIMBURSEMENT OF FEES AGREEMENT: An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT: Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP: a) A current title policy report; or
b) A deed and a current title search

OWNERSHIP DISCLOSURE: Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.


- LETTER OF AUTHORIZATION:** If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.
- LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper and Microsoft Word file.
- PLAT OF SURVEY:** A current plat of survey for the subject property showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.
- COVER LETTER:** A letter describing the proposed minor change requested, why it is necessary, and how it is different from the currently approved plan.
- PLANS:** All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.


Copies: One 1(1) full size plan set, one (1) 11" by 17" copy, and PDF electronic file emailed to: cd@stcharlesil.gov

Plans shall include the following, depending on the scope of the proposed Minor Change:

- Site Plan indicating location of proposed change.
- For changes to site/engineering plans, show existing/approved and proposed site/engineering plan changes.
- For changes to architectural elevations, show existing/approved and proposed building design, color and materials.
- For changes to landscaping, show existing/approved and proposed plans, indicate species and quantities of plant material to replace existing/approved materials.
- For changes to signs, show existing/approved and proposed signage plans, and include renderings of proposed signage indicating size, materials, and location on the building and/or site.
- Additional information may be necessary depending on the specific change proposed.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.


 _____ 6/5/2023 _____
 Record Owner Date


 _____ 6/5/2023 _____
 Applicant or Authorized Agent Date

MINOR CHANGE TO PUD

BURGER KING

959 S. RANDALL ROAD, ST. CHARLES, IL

A minor change to PUD is being requested for the existing Burger King restaurant located at 959 S. Randall Road. During and following the covid-19 pandemic, this restaurant has experienced an increase in drive thru orders. Reconfiguring the drive thru ordering station to include a tandem style ordering station will allow the restaurant to better accommodate customer vehicles and improve ordering queue times. The addition of a second order confirmation unit and menu board will minimize backups in the drive thru queue line and into the existing parking lot. The two ordering stations are located in such to maintain an access aisle alongside the drive thru lane. This will allow current traffic flow to remain around the existing Burger King site. New landscaping will be provided at the renovated drive thru ordering station landscape island.

In addition to the second drive thru ordering station, minor improvements are being made to the building's elevations to improve the aesthetic and achieve Burger King's current image standards. A new tower structure clad in the existing stone material is being built at the northeast corner of the building at the third drive thru window. This Archon provides the first impression from the road and upon entry to the site, representing the brands heritage and welcoming guests to the restaurant experience. New silver canopies are replacing the existing standing seam awnings that are a key design element that defines the restaurant's entrance and dining areas, while also providing protection from inclement weather to the customers at the drive thru windows. A new red LED light band is proposed on the east façade between the two drive thru tower structures. This is a key design element for Burger King that is a core brand differentiator and an iconic beacon. New LED light fixtures are proposed to replace the outdated gooseneck style lighting that is currently in place. Finally, new signage is proposed to replace the existing to conform to Burger King's current image standards.

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS)
) SS.
COOK COUNTY)

I, Adam Verlarde, being first duly sworn on oath depose and say that I am
Manager of JHGV, LLC, an Illinois Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

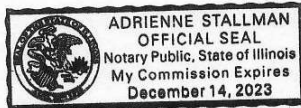
<u>Adam Verlarde</u>	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

By: , Manager

Subscribed and Sworn before me this ____ 5th _____
day of __June_____, 20__23__.



Notary Public



JHGV, LLC
1624 W. 18th Street
Chicago, IL 60608
Phone: 312-829.4000

6.1.23

Re: Zoning Application
959 South Randall Road
St. Charles, IL. 60174

To whom it may concern:

Please be advised, Cave Enterprises Operations, LLC and its representatives have permission to file the zoning application with the City of St. Charles on behalf of the owner for the above noted property and represent the property owner in matters concerning the approval for zoning.

Thank you,



Adam Velarde
Manager
JHGV, LLC

Cc John Kayser
Dieter Maiwald

NO.	DESCRIPTION	DATE

MINOR CHANGE TO PLD 06/05/23

NO.	DESCRIPTION	DATE

DRAWN BY: T. SAVOCA
 CHECKED BY: M. VALENTINI
 PROJECT NO: 23051

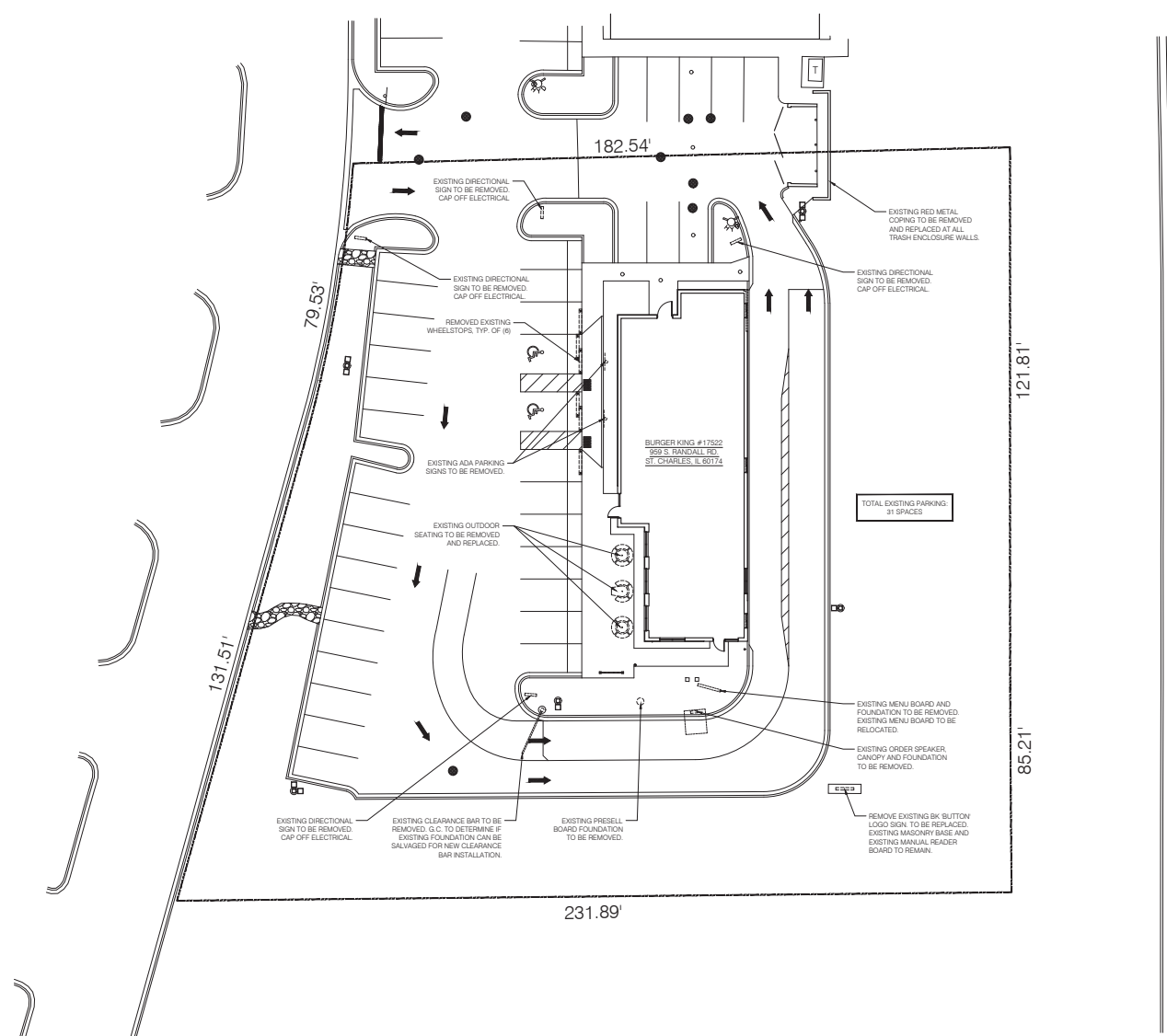
BURGER KING
 STORE #17522
 959 S. RANDALL RD.,
 ST. CHARLES, IL

DEMO SITE PLAN

SHEET

SP-0.1

ONE OF FOUR



S. RANDALL ROAD

G.C. NOTE:
 ALL FOOTINGS FROM ABANDONED
 SIGNAGE TO BE REMOVED & BELOW
 GRADE AND LANDSCAPED OVER.

 DEMO SITE PLAN
 SCALE: 1" = 15'-0"



ISSUE DATES / REVISIONS

NO.	DESCRIPTION	DATE

NO.	DESCRIPTION	DATE

DRAWN BY:	T. SAVOCA
CHECKED BY:	M. VALENTINI
PROJECT NO.:	23051

BURGER KING
STORE #17522
959 S. RANDALL RD.,
ST. CHARLES, IL

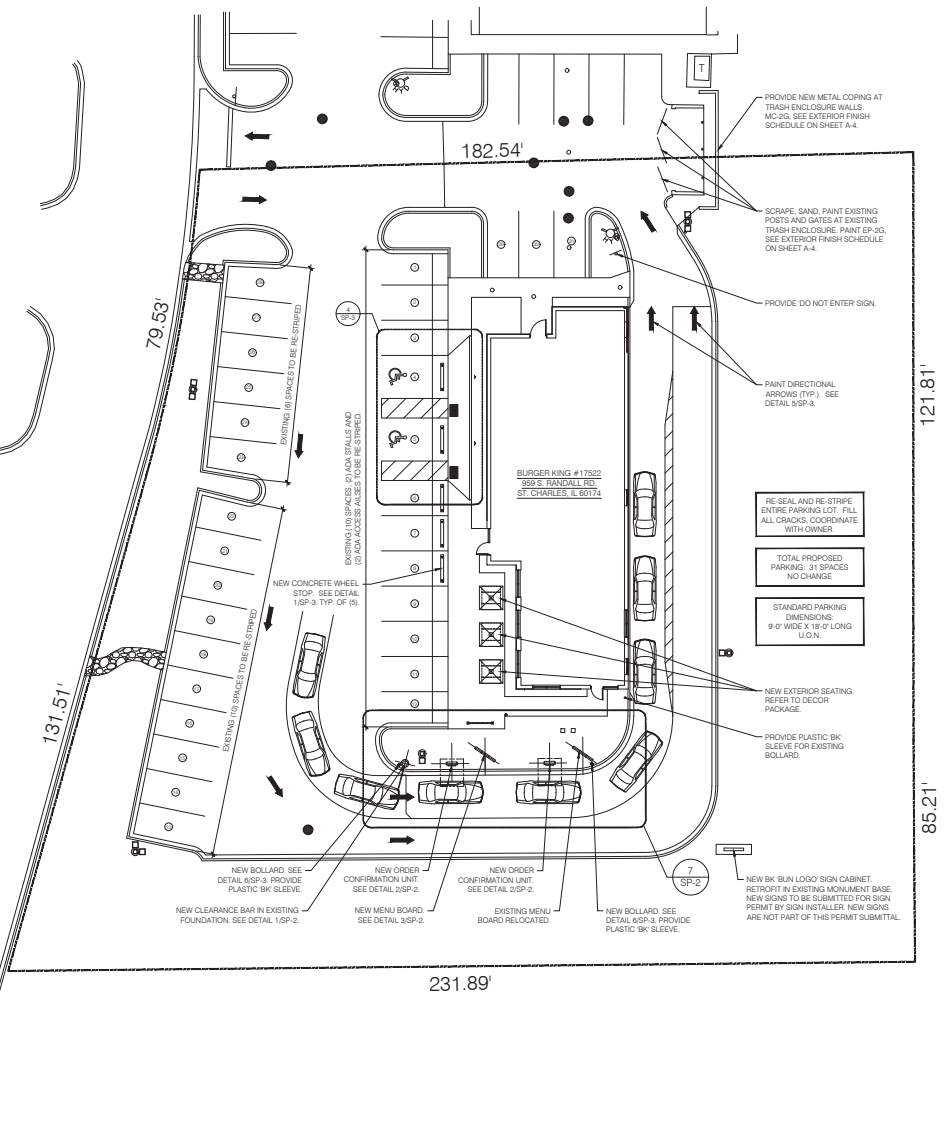
PROPOSED SITE PLAN

SHEET

SP-1

TWO OF FOUR

S. RANDALL ROAD



PROPOSED SITE PLAN
SCALE: 1" = 15'-0"

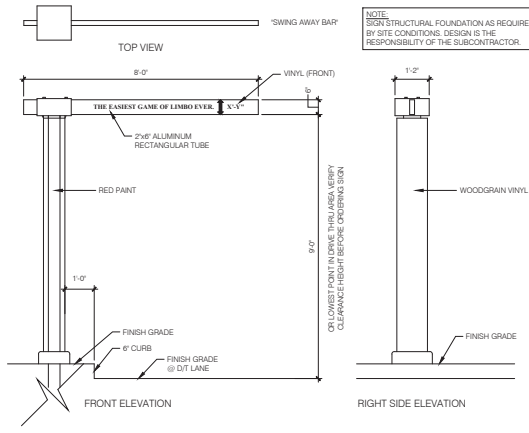
NOTE:
G.C. TO ENSURE THAT ALL EXISTING LOT LIGHT POLES ARE STRAIGHTENED / FULLY. REPLACE OR PROVIDE BOLT COVERS AS NEEDED.

NOTE:
CUT / PATCH DAMAGED AREAS OF ASPHALT MAY BE REQUIRED. COORDINATE LOCATIONS WITH OWNER.

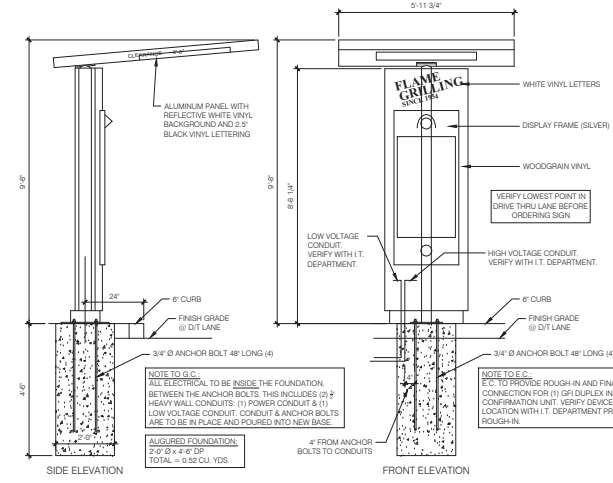
NOTE:
G.C. TO ENSURE ALL EXTERIOR FIXTURES ARE PROPERLY POWERED. G.C. TO TEST AND MAKE ALL FUTURE CIRCUITS OPERATIONAL.

NOTE:
AT THE ADA PATH OF EGRESS & SIDEWALKS, IT IS THE RESPONSIBILITY OF THE G.C. TO VERIFY THAT THE EXISTING NEW GRADES MEET ADA COMPLIANCE. IT IS THE RESPONSIBILITY OF THE G.C. TO MODIFY THE GRADES TO MEET ADA COMPLIANCE. G.C. TO REQUEST ADDITIONAL ENGINEERING (IF NEEDED) ON DAY (1) OF CONSTRUCTION.

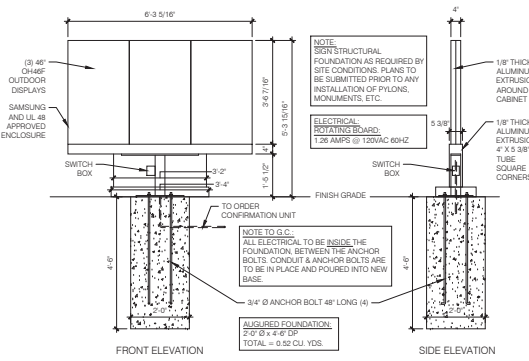
NOTE:
AT THE ADA PARKING STALLS AND ACCESSIBLE AISLES, IT IS THE RESPONSIBILITY OF THE G.C. TO VERIFY THAT THE EXISTING NEW GRADES MEET ADA COMPLIANCE OF LESS THAN 2% SLOPE IN ALL DIRECTIONS. IT IS THE RESPONSIBILITY OF THE G.C. TO MODIFY THE ASPHALT GRADES TO MEET ADA COMPLIANCE. G.C. TO REQUEST ADDITIONAL ENGINEERING (IF NEEDED) ON DAY (1) OF CONSTRUCTION.



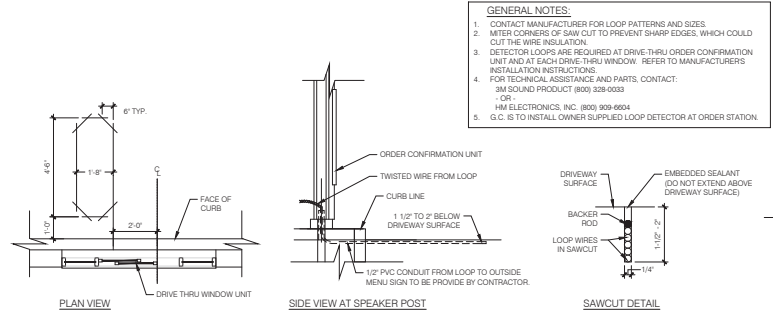
1 CLEARANCE POST DETAILS
 SP-2 SCALE: 1/2" = 1'-0"



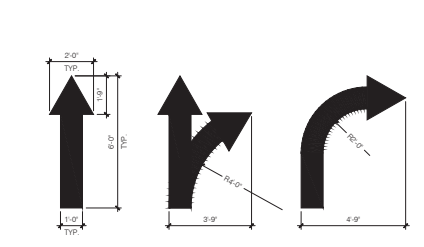
2 ORDER CONFIRMATION UNIT DETAILS
 SP-2 SCALE: 1/2" = 1'-0"



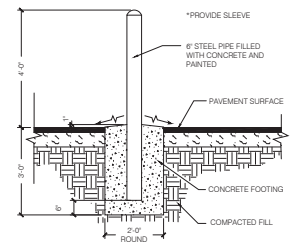
3 MENU BOARD DETAILS
 SP-2 SCALE: 1/2" = 1'-0"



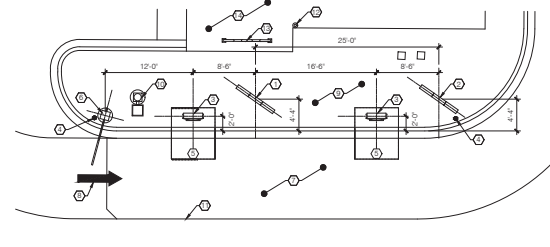
4 DETECTOR LOOP DETAILS
 SP-2 SCALE: 3/8" = 1'-0"



5 PAINTED TRAFFIC ARROWS
 SP-2 SCALE: 3/8" = 1'-0"



6 BOLLARD DETAIL
 SP-2 SCALE: 1/2" = 1'-0"



7 DRIVE THRU DETAIL
 SP-2 SCALE: 1/8" = 1'-0"

- KEYED NOTES**
- NEW MENU BOARD. SEE DETAIL 3SP-2
 - RELOCATED EXISTING MENU BOARD. SEE DETAIL 3SP-2.
 - NEW ORDER CONFIRMATION UNIT. SEE DETAIL 2SP-2 (2) TOTAL 1/2" HEAVY WALL CONDUITS: (1) FOR POWER, (1) FOR LOW VOLTAGE. CONDUITS & ANCHOR BOLTS ARE TO BE IN PLACE AND POURED INTO NEW BASE.
 - NEW BOLLARD. SEE DETAIL 6SP-2
 - REQUIRED DETECTOR LOOPS. SEE DETAIL 4SP-3
 - NEW CLEARANCE BAR IN EXISTING FOUNDATION. SEE DETAIL 1SP-2.
 - EXISTING CONCRETE DRIVE THRU LANE.
 - NEW PAINTED TRAFFIC ARROW. SEE DETAIL 5SP-2
 - EXISTING LANDSCAPE AREA. SEE SHEET L101.
 - EXISTING LIGHT POLE TO REMAIN.
 - TYP. 4" PAINTED STRIPING (YELLOW REFLECTIVE).
 - EXISTING FLAG POLE TO REMAIN.
 - EXISTING BIKE RACK TO REMAIN.
 - EXISTING SIDEWALK.

ISSUE DATES / REVISIONS

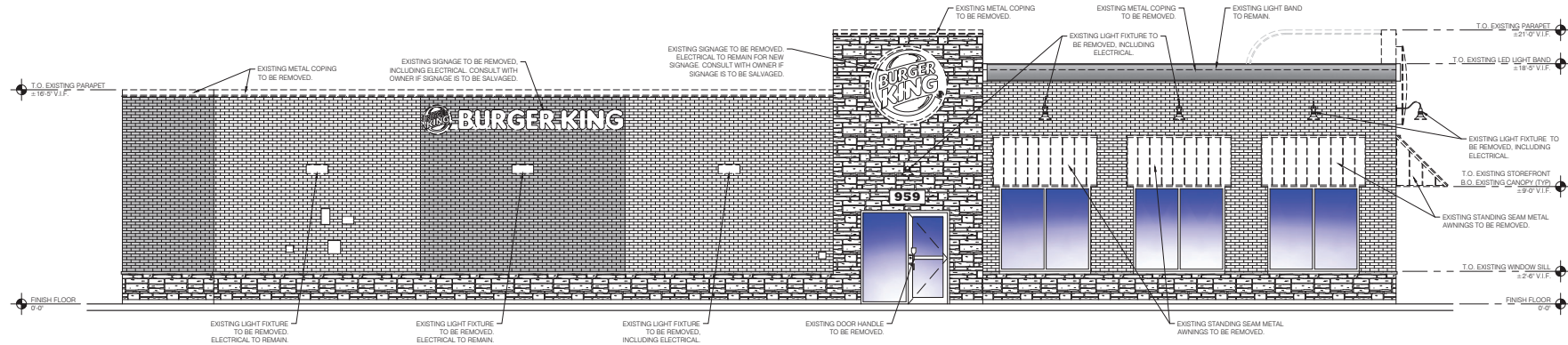
NO.	DESCRIPTION	DATE

MINOR CHANGE TO PLD 06/06/23

DRAWN BY: T. SAVOCA
 CHECKED BY: M. VALENTINI
 PROJECT No: 23051

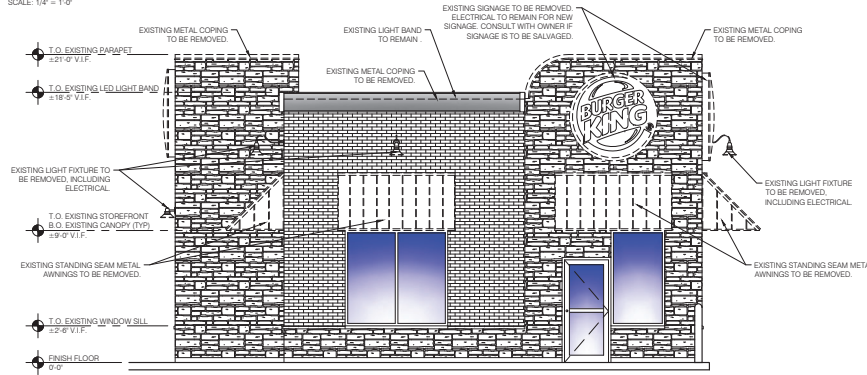
BURGER KING
 STORE #17522
 959 S. RANDALL RD,
 ST. CHARLES, IL

SITE DETAILS



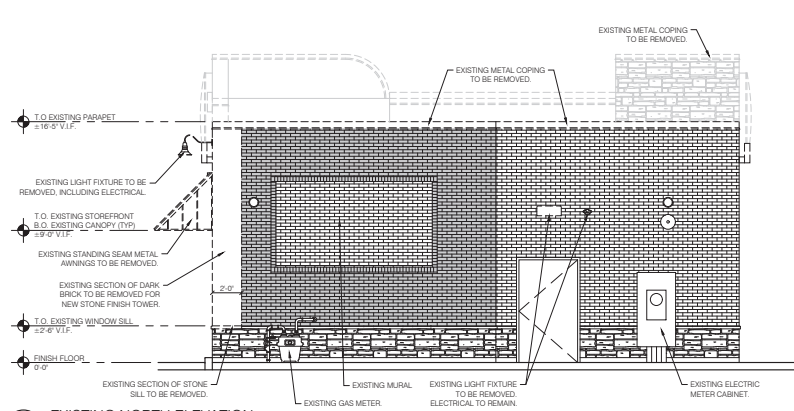
1 EXISTING WEST ELEVATION

A-3 SCALE: 1/4" = 1'-0"



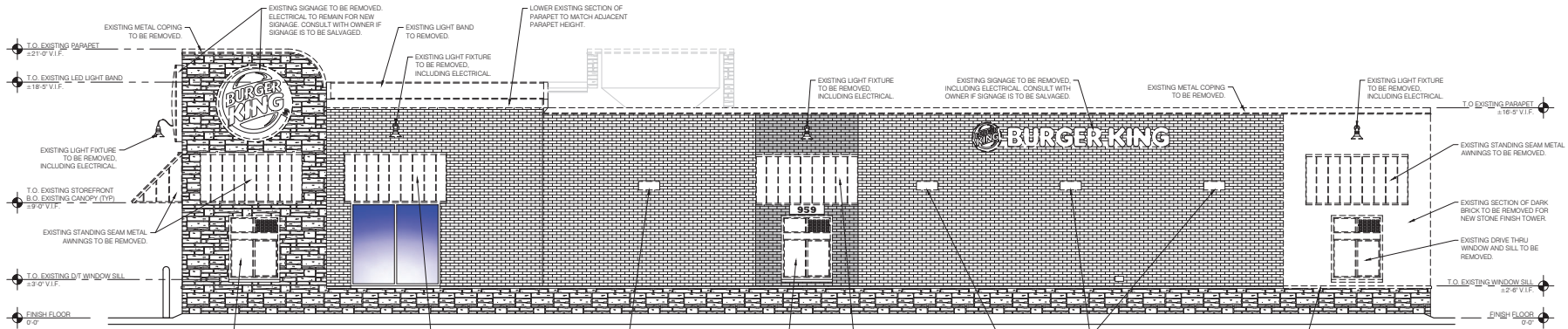
2 EXISTING SOUTH ELEVATION

A-3 SCALE: 1/4" = 1'-0"



3 EXISTING NORTH ELEVATION

A-3 SCALE: 1/4" = 1'-0"



4 EXISTING EAST ELEVATION

A-3 SCALE: 1/4" = 1'-0"

ISSUE DATES / REVISIONS

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MINOR CHANGE TO PUD 06/06/23

NO. DESCRIPTION DATE

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PROJECT NO.: 23051

BURGER KING STORE #17522
959 S. RANDALL RD.
ST. CHARLES, IL

EXISTING EXTERIOR ELEVATIONS

SHEET

A-3

THREE OF NINE



ISSUE DATES / REVISIONS		
NO.	DESCRIPTION	DATE

MINOR CHANGE TO PLD 06/06/23

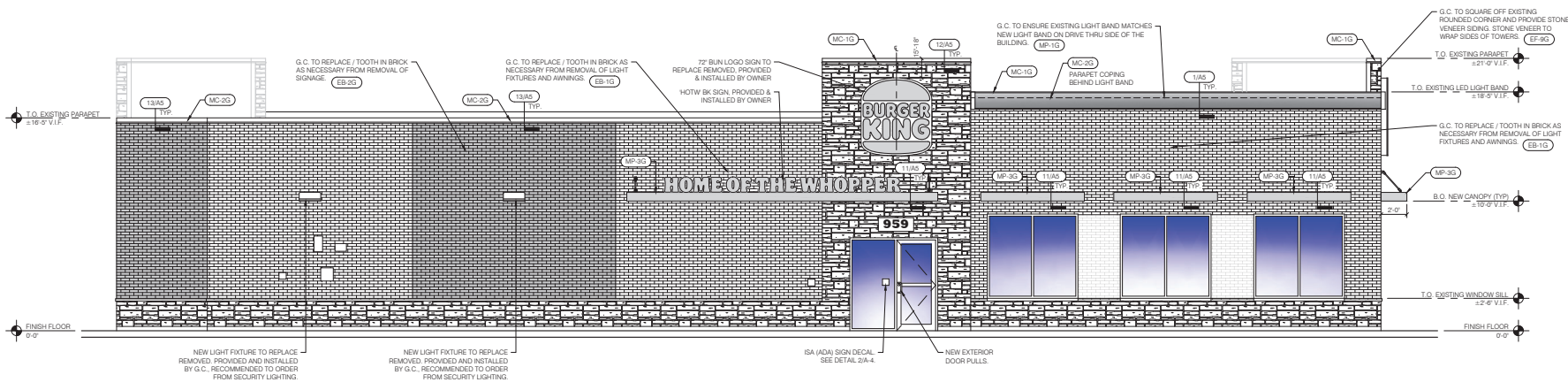
THESE DOCUMENTS ARE THE PROPERTY OF MRV ARCHITECTS, INC. & MAY NOT BE REPRODUCED, COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM THE AUTHOR.

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CHECKED BY: M. VALENTINI
PROJECT NO: 22051

BURGER KING
STORE #17522
959 S. RANDALL RD,
ST. CHARLES, IL

PROPOSED EXTERIOR
ELEVATIONS

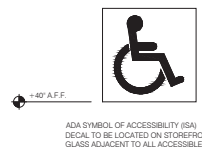
SHEET
A-4
FOUR OF NINE



1 WEST ELEVATION
A-4 SCALE 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

CODE	MATERIAL	LOCATION	MANUFACTURER	PRODUCT	DESCRIPTION		ADDITIONAL INFORMATION
					COLOR	DIMENSION	
EB-1G	EXTERIOR BRICK	EXISTING LIGHT COLORED BRICK	GLEN-GERY	TUSCAN SERIES	TAWNY BEIGE		NOTE: MORTAR TO MATCH EXISTING
EB-2G	EXTERIOR BRICK	EXISTING DARK COLORED BRICK	GLEN-GERY	SIOUX CITY BRICK	HEARTH-SIDE VELOUR		NOTE: MORTAR TO MATCH EXISTING
EF-8G	EXTERIOR FINISH STONE	EXTERIOR ARCHONS	BORAL STONE PRODUCTS	COUNTRY LEDGESTONE	CARAMEL		EMAIL: CULTUREDSTONE@BORAL.COM PHONE: 800-255-1727
EP-2G	EXTERIOR PAINT	TRASH ENCLOSURE GATES AND POLES	PPG	PRIMER: 17-821 PAINT: 6206300	DESERT DUNE* 1023-4 = *TANNERS TAUPÉ		CONTACT: KEVIN LASTACY @ PPG CORPORATE NATIONAL ACCOUNTS MANAGER 616.333.3259 EMAIL: KLASTACY@PPG.COM
EXT-1G	EXTERIOR PAINT	POLES & SIGNS		PRIMER: 90-712 PAINT: 90-353	BLACK		
MC-1G	METAL COPING	TOP OF LIGHT BAND AND TOP OF STONE ARCHONS	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	A-30 SILVERSMITH		CONTACT: W.P. HICKMAN COMPANY PHONE: 828.676.1199 WEBSITE: WWW.WPH.COM
MC-2G	METAL COPING	TOP OF BRICK PARAPET CAP			FACTORY FINISH TO MATCH EP-2G PPG *TANNERS TAUPÉ		
MP-1G	PARAPET LIGHT BAND		LEKTRON *SEE APPROVED SIGN SUPPLIERS	LED LIGHT BAND		*SEE PLANS	PRODUCT INFORMATION: CONTACT: KEVIN RUBIDOMM AT LEKTRON PHONE: 800.634.4208 OR 918.622.4975, EXT. 302 EMAIL: JFITZWILSON@LEKTRONINC.COM
MP-3G	METAL CANOPY	ABOVE DOORS & WINDOWS	*SEE APPROVED CANOPY SUPPLIERS	CUSTOM METAL CANOPY	COLOR: CLEAR ANODIZED	*SEE PLANS	OWNER SUPPLIED, OWNER INSTALLED. ALL AWNING DIMENSIONS TO BE FIELD VERIFIED BY MANUFACTURER PRIOR TO FABRICATION.
SS-1	STONE SILL	BELOW DRIVE THRU WINDOW	CULTURED STONE	WATERTABLE / SILL	COLOR: CHAMPAGNE	*SEE PLANS	NOTE: SILL TO MATCH EXISTING



2 ISA SIGN DECAL DETAIL
A-4 SCALE: N.T.S.

- GENERAL NOTES**
- G.C. TO INSURE ALL EXISTING ROOF DRAINS ARE CLEAR AND PROPERLY CONNECTED.
 - LIGHTING IS SUPPLIED AND INSTALLED BY G.C. AWNING & LIGHT BANDS ARE OWNER SUPPLIED & INSTALLED. E.C. TO PROVIDE POWER TO LIGHT BAND TRANSFORMERS.
 - SEE THIS SHEET FOR NEW EXTERIOR FINISH DETAILS.
 - ALL AWNING DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION.
 - SIGNS ARE OWNER SUPPLIED & INSTALLED. SIGNS WILL BE APPLIED FOR UNDER SEPARATE PERMIT BY THE SIGN MANUFACTURER / INSTALLER.
 - G.C. TO INSURE ALL EXTERIOR FIXTURES ARE PROPERLY POWERED. G.C. TO TEST AND MAKE ALL FIXTURE CIRCUITS OPERATIONAL.
 - G.C. RESPONSIBLE FOR CONDITION OF ANY EXISTING DOORS TO REMAIN DURING THE REMODEL PROCESS.
 - G.C. TO VERIFY PROPER ROOF DRAINAGE-MODIFY AS REQUIRED.



NO.	DESCRIPTION	DATE

MINOR CHANGE TO PLUD 06/06/23

NO. DESCRIPTION DATE

DRAWN BY: T. SAVOICA
CHECKED BY: M. VALENTINI
PROJECT No.: 23051

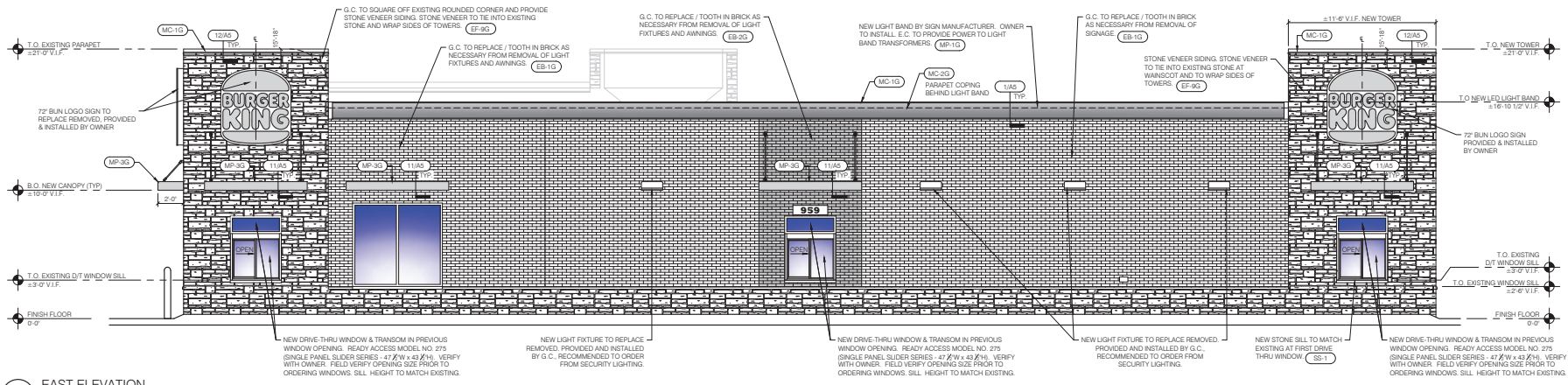
BURGER KING
STORE #17522
959 S. RANDALL RD.,
ST. CHARLES, IL

PROPOSED EXTERIOR
ELEVATIONS

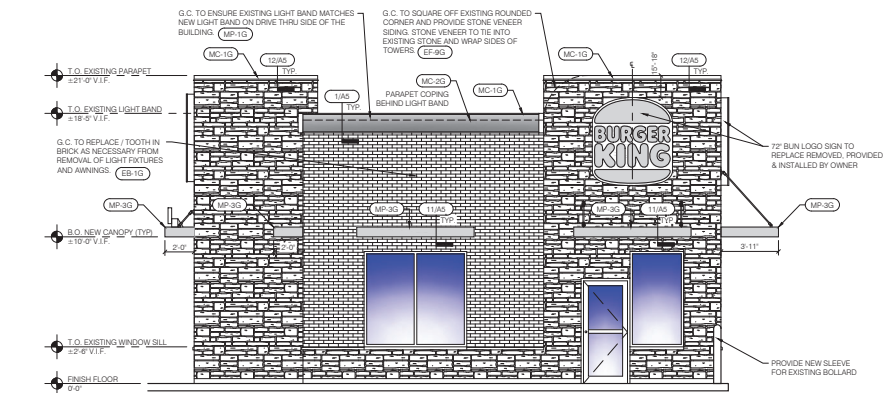
SHEET

A-4.1

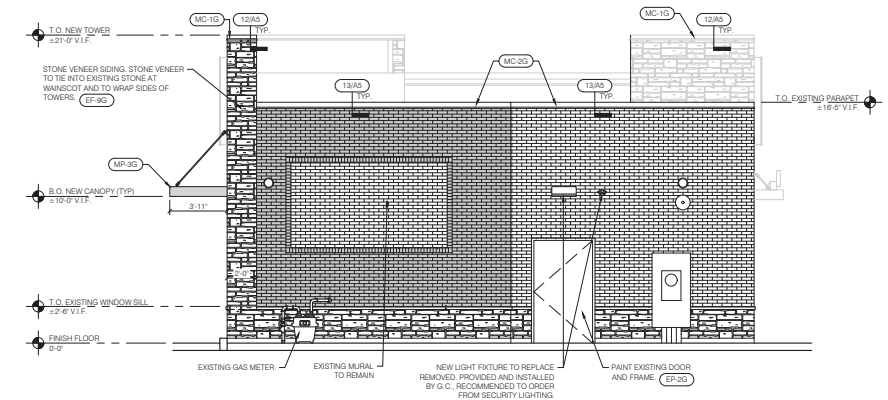
FIVE OF NINE



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

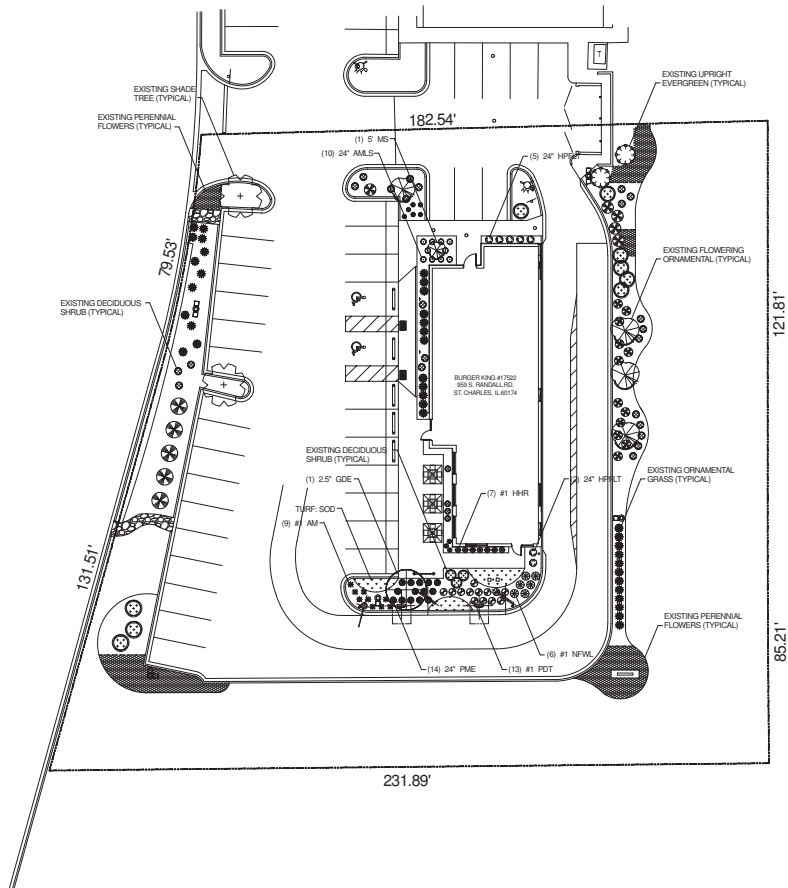


2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- G.C. TO INSURE ALL EXISTING ROOF DRAINS ARE CLEAR AND PROPERLY CONNECTED.
 - LIGHTING IS SUPPLIED AND INSTALLED BY G.C. AWNINGS & LIGHT BANDS ARE OWNER SUPPLIED & INSTALLED. E.C. TO PROVIDE POWER TO LIGHT BAND TRANSFORMERS.
 - SEE SHEET A-5 FOR NEW EXTERIOR FINISH DETAILS.
 - ALL AWNING DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION.
 - SIGNS ARE OWNER SUPPLIED & INSTALLED. SIGNS WILL BE APPLIED FOR UNDER SEPARATE PERMIT BY THE SIGN MANUFACTURER / INSTALLER.
 - G.C. TO INSURE ALL EXTERIOR FIXTURES ARE PROPERLY POWERED. G.C. TO TEST AND MAKE ALL FIXTURE CIRCUITS OPERATIONAL.
 - G.C. RESPONSIBLE FOR CONDITION OF ANY EXISTING DOORS TO REMAIN DURING THE REMODEL PROCESS.
 - G.C. TO VERIFY PROPER ROOF DRAINAGE-MODIFY AS REQUIRED.



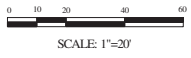
S. RANDALL ROAD

PLANT LIST

Qty.	Common Name	Botanical Name	Size	Remarks	Key
1	Espresso Kentucky Coffee Tree	Gymnocladia dioica 'Espresso'	2.5"	B&B	GDE
1	Sargent Crabapple	Malus sargentii	5"	B&B	AMS
10	Low Scape Chokeberry	Aronia melanocarpa 'Low Scape'	24"	Cont.	AMLS
7	Fire Light Tidbit Hydrangea	Hydrangea paniculata 'Fire Light Tidbit'	24"	Cont.	HPFLT
14	Eric Dwarf Mugg Pine	Pinus mugo 'Eric'	24"	Cont.	PME
9	Millenium Ornamental Onion	Allium 'Millenium'	#1	Pots	AM
7	Happy Returns Daylily	Hemerocallis 'Happy Returns'	#1	Pots	HHR
6	Walker's Low Catmint	Nepeta faassenii 'Walker's Low'	#1	Pots	NFWL
13	Dark Towers Beardtongue	Penstemon 'Dark Towers'	#1	Pots	PDT

NOTES:

- The Landscape Contractor shall provide and install all plant materials in the quantities and sizes sufficient to complete planting as shown on the Landscape Plans. All plants shall comply with the requirements of the current American Standard for Nursery Stock published by The American Nursery and Landscape Association. Plants shall meet size, genus, species and variety and be in good health, free of insects, diseases or defects. No "junk grade" materials shall be accepted. Trees not exhibiting a central (or single) leader will be rejected unless noted in the plant list as multi-stem. Quantity lists are supplied for convenience. The Landscape Contractor shall verify all quantities and, in case of a discrepancy, the drawn plan shall prevail over the plant list. No plants are to be changed or substituted without approval of the Owner or a representative of James Dowden & Associates, Inc.
- All plants shall be watered during the first 24-hour period following installation. A watering schedule must be agreed upon with the Owner (before plantings are installed) of whom, when and how plant materials are to be properly watered. The Landscape Contractor shall verify proper watering is being done for the establishment and health of all plant materials. The Landscape Contractor shall warranty all plant materials for one year from the time of installation and project acceptance.
- Plants shall be balled and burlapped unless otherwise noted on the Landscape Plans. No root bound materials shall be accepted and all synthetic or plastic materials shall be removed at the time of planting. It is the option of the Landscape Contractor to roll back burlap from the top of the root ball.
- Recommended mulch depth is four inches (4") of shredded hardwood bark. The Landscape Contractor shall avoid over-mulching and the creation of "mulch volcanoes." Mulch Beds shall extend a minimum of two feet (2') beyond the center of a tree or shrub. Mulch must be pulled back at least two inches (2") from the base of a tree so the base of the trunk and root crown are exposed.
- Prepare all perennial beds with one cubic yard of garden compost per 100 sf and the compost shall be rototilled to an 8" depth.
- All plants shall be set plumb. It is the option of the landscape contractor to stake deciduous trees but it is also the responsibility of the Landscape Contractor to guarantee the plants remain plumb until the end of the guarantee period.
- Trees shall be installed a minimum of five feet (5') horizontally from underground electrical feeders, sanitary sewers, sanitary services, water mains, and water services. Trees shall be installed a minimum of ten feet (10') horizontally from utility structures including, but not limited to, manholes, valve vaults and valve boxes. Shade trees shall be a minimum of ten feet (10') from all light poles and all shrubs shall be a minimum of three to five feet (3'-5') from all fire hydrants.
- The Landscape Contractor shall locate the existence of all underground utilities prior to starting work. The Landscape Contractor must also keep the pavement and work areas in neat and orderly condition throughout the construction process. The Landscape Contractor shall acquaint himself with, and verify, Working conditions in advance of submitting a proposal. Failure to recognize inherent responsibilities does not relieve the contractor of obligations due to miscalculations.
- Property owners shall be responsible for maintaining all landscaping shown on the approved plans throughout the life of the development.
- Turf shall be Premium Bluegrass Mix seed and blanket in all disturbed areas except where soil is noted.
- Once a Landscape Plan has been approved and a Building Permit issued, the Planning and Zoning Administrator may authorize minor revisions to the approved Landscape Plan including the substitution of equivalent planting and ground covers where such revisions do not diminish the benefits of the approved Landscape Plan. As such, revisions shall require the written approval of the Planning and Zoning Administrator.
- Trees and shrubs shall not be located closer than ten (10) feet to fire hydrants, transformers, or other above ground utilities.
- Bare root plants shall not be allowed.
- All planted areas and landscaped islands shall receive a four (4) inch layer of shredded hardwood bark mulch.



REVIEWS:

DOWDEN DESIGN GROUP
 LANDSCAPE ARCHITECTURE, DESIGN & PLANNING
 P.O. BOX 415, LIBERTYVILLE, IL 60048
 DOWDENDESIGNGROUP.COM PHONE: (847) 362-1254

BURGER KING
 969 SOUTH RANDALL ROAD
 ST. CHARLES, ILLINOIS

LANDSCAPE
 PLAN

DATE: 05/25/23
 SCALE: 1"=20'
 DRAWN: CJD



L101

BURGER KING #17522
959 S. RANDALL ROAD
ST. CHARLES, IL 60174



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ISSUE DATES / REVISIONS

NO.	DESCRIPTION	DATE

PRELIMINARY DESIGN 05/09/23

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DRAWN BY: T. SAVOCA
 CHECKED BY: M. VALENTINI
 PROJECT No: 23051

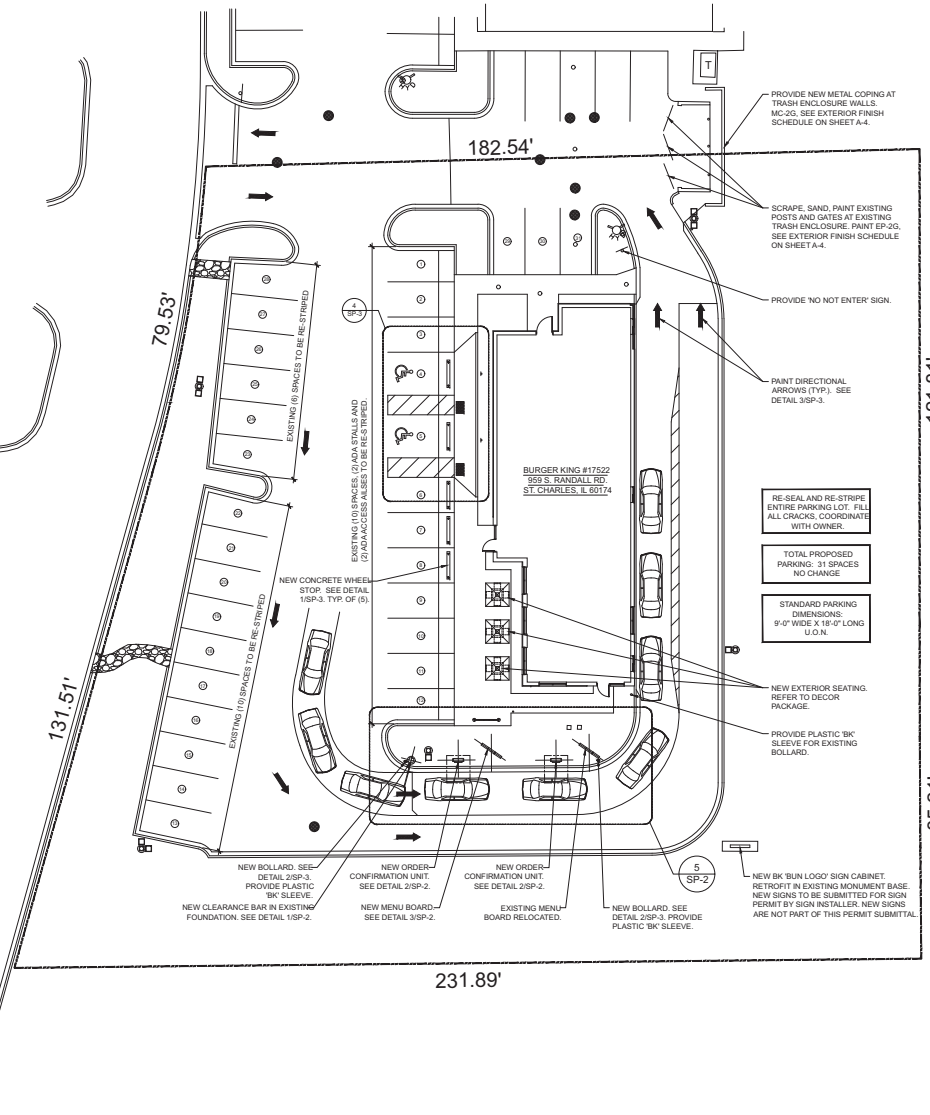
BURGER KING
 STORE #17522
 958 S. RANDALL RD,
 ST. CHARLES, IL

PROPOSED SITE PLAN

SHEET

SP-1

TWO OF FOUR



PROPOSED SITE PLAN
 SCALE: 1" = 15'-0"

S. RANDALL ROAD

- NOTE:** G.C. TO ENSURE THAT ALL EXISTING LOT LIGHT POLES ARE STRAIGHTENED / FULMED. REPLACE OR PROVIDE BOLL COVERS AS NEEDED.
- NOTE:** CUT PATCH DAMAGED AREAS OF ASPHALT MAY BE REQUIRED. COORDINATE LOCATIONS WITH OWNER.
- NOTE:** G.C. TO ENSURE ALL EXTERIOR FIXTURES ARE PROPERLY POWERED. G.C. TO TEST AND MAKE ALL FUTURE CIRCUITS OPERATIONAL.
- NOTE:** AT THE ADA PATH OF EGRESS AND SIDEWALKS, IT IS THE RESPONSIBILITY OF THE G.C. TO VERIFY THAT THE EXISTING NEW GRADES MEET ADA COMPLIANCE. IT IS THE RESPONSIBILITY OF THE G.C. TO MODIFY THE GRADES TO MEET ADA COMPLIANCE. G.C. TO REQUEST ADDITIONAL ENGINEERING (IF NEEDED) ON DAY (1) OF CONSTRUCTION.
- NOTE:** AT THE ADA PARKING STALLS AND ACCESSIBLE AISLES, IT IS THE RESPONSIBILITY OF THE G.C. TO VERIFY THAT THE EXISTING NEW GRADES MEET ADA COMPLIANCE. IT IS THE RESPONSIBILITY OF THE G.C. TO MODIFY THE ASPHALT GRADES TO MEET ADA COMPLIANCE. G.C. TO REQUEST ADDITIONAL ENGINEERING (IF NEEDED) ON DAY (1) OF CONSTRUCTION.



ISSUE DATES / REVISIONS

NO.	DESCRIPTION	DATE

PRELIMINARY DESIGN 05/05/23

NO. DESCRIPTION DATE

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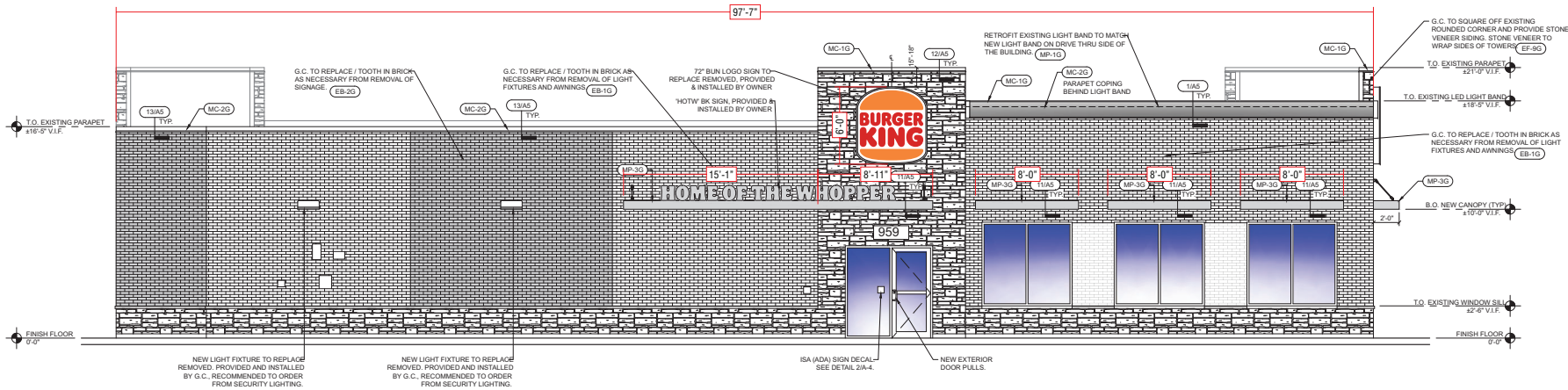
BURGER KING
STORE #17522
959 S. RANDALL RD,
ST. CHARLES, IL

PROPOSED EXTERIOR ELEVATIONS

SHEET

A-4

FOUR OF NINE



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

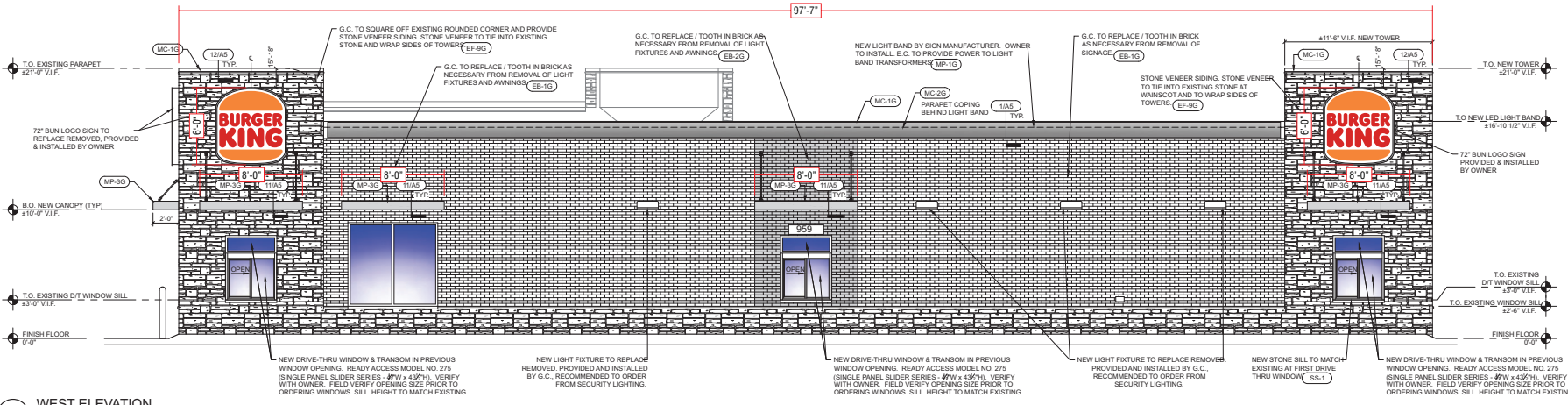
CODE	MATERIAL	LOCATION	MANUFACTURER	PRODUCT	DESCRIPTION	ADDITIONAL INFORMATION
EB-1G	EXTERIOR BRICK	EXISTING LIGHT COLORED BRICK	GLEN-GERY	TUSCAN SERIES	COLOR: TANNY BEIGE	NOTE: MORTAR TO MATCH EXISTING
EB-2G	EXTERIOR BRICK	EXISTING DARK COLORED BRICK	GLEN-GERY	SILOUX CITY BRICK	HEARTHSTONE VELOUR	NOTE: MORTAR TO MATCH EXISTING
EF-8G	EXTERIOR FINISH STONE	EXTERIOR ARCHONS	BORAL STONE PRODUCTS	COUNTRY LEDGESTONE	CARAMEL	EMAIL: CULTUREDSTONE@BORAL.COM PHONE: 800-255-1727
EP-2G	EXTERIOR PAINT	TRASH ENCLOSURE GATES AND POLES	PPG	PRIMER: 17-621 PAINT: 6-2045X1	"DESERT DUNE" 1023-4 + "TANNERS TAUPE" PPG1023-4	CONTACT: KEVIN LASTACY @ PPG CORPORATE NATIONAL ACCOUNTS MANAGER 616.335.3259 EMAIL: KLASTACY@PPG.COM
EXT-1G	EXTERIOR PAINT	POLES & SIGNS		PRIMER: 90-712 PAINT: 90-353	BLACK	
MC-1G	METAL COPING	TOP OF LIGHT BAND AND TOP OF STONE ARCHONS	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	A-30 "SILVERSMITH"	CONTACT: W.P. HICKMAN COMPANY PHONE: 828.676.5700 WEBSITE: WWW.WPHI.COM
MC-2G	METAL COPING	TOP OF BRICK PARAPET CAP			FACTORY FINISH TO MATCH EP-2G PPG "TANNERS TAUPE"	
MP-1G	PARAPET LIGHT BAND		LEKTRON *SEE APPROVED SIGN SUPPLIERS	LED LIGHT BAND		*SEE PLANS PRODUCT INFORMATION: CONTACT: KEVIN RUBENLOM AT LEKTRON PHONE: 800.534.4059 OR 918.622.4978, EXT. 302 EMAIL: JFITZWILSON@LEKTRONINC.COM
MP-3G	METAL CANOPY	ABOVE DOORS & WINDOWS	*SEE APPROVED CANOPY SUPPLIERS	CUSTOM METAL CANOPY	COLOR: CLEAR ANODIZED	*SEE PLANS OWNER SUPPLIED, OWNER INSTALLED. ALL AWNING DIMENSIONS TO BE FIELD VERIFIED BY MANUFACTURER PRIOR TO FABRICATION.
SS-1	STONE SILL	BELOW DRIVE THRU WINDOW	CULTURED STONE	WATERTABLE / SILL	COLOR: CHAMPAGNE	*SEE PLANS NOTE: SILL TO MATCH EXISTING



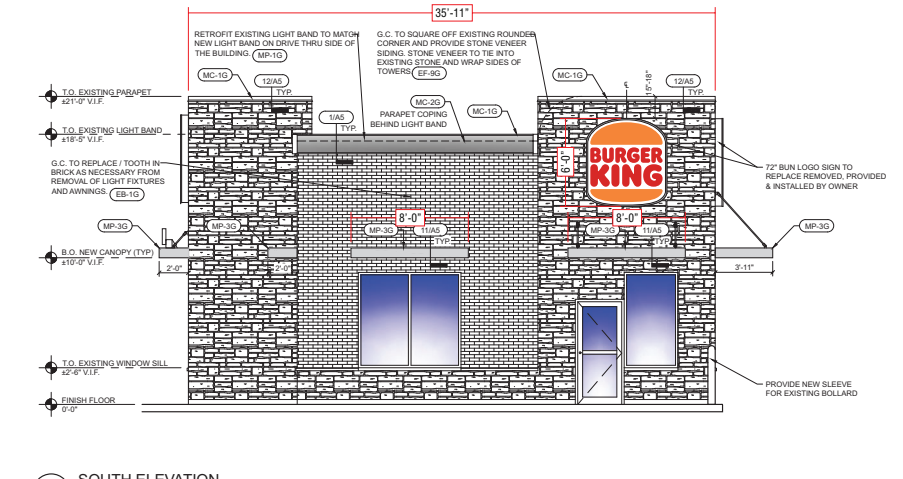
44" A.F.F.
ADA SYMBOL OF ACCESSIBILITY (ISA)
DECAL TO BE LOCATED ON STOREFRONT
GLASS ADJACENT TO ALL ACCESSIBLE DOORS.

2 ISA SIGN DECAL DETAIL
SCALE: N.T.S.

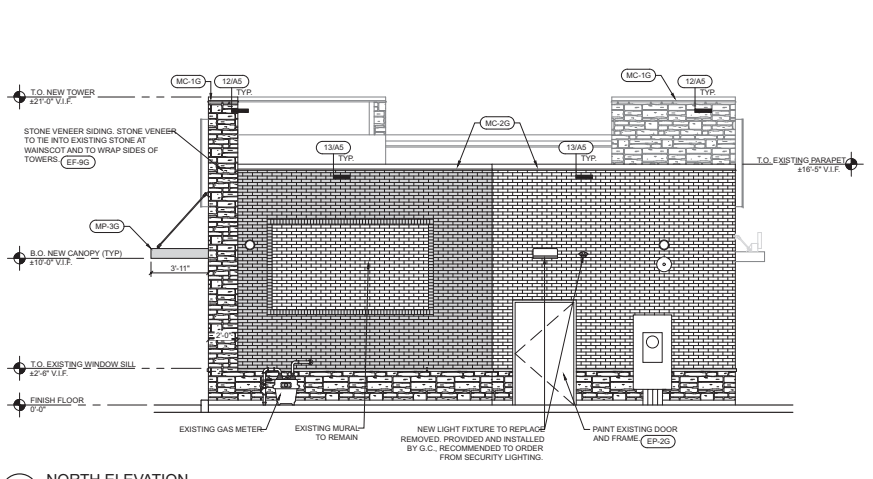
- ### GENERAL NOTES
- G.C. TO INSURE ALL EXISTING ROOF DRAINS ARE CLEAR AND PROPERLY CONNECTED.
 - LIGHTING IS SUPPLIED AND INSTALLED BY G.C. AWNINGS & LIGHT BANDS ARE OWNER SUPPLIED & INSTALLED. E.C. TO PROVIDE POWER TO LIGHT BAND TRANSFORMERS.
 - SEE THIS SHEET FOR NEW EXTERIOR FINISH DETAILS.
 - ALL AWNING DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION.
 - SIGNS ARE OWNER SUPPLIED & INSTALLED. SIGNS WILL BE APPLIED FOR UNDER SEPARATE PERMIT BY THE SIGN MANUFACTURER / INSTALLER.
 - G.C. TO INSURE ALL EXTERIOR FIXTURES ARE PROPERLY POWERED. G.C. TO TEST AND MAKE ALL FIXTURE CIRCUITS OPERATIONAL.
 - G.C. RESPONSIBLE FOR CONDITION OF ANY EXISTING DOORS TO REMAIN DURING THE REMODEL PROCESS.
 - G.C. TO VERIFY PROPER ROOF DRAINAGE-MODIFY AS REQUIRED.



1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- G.C. TO INSURE ALL EXISTING ROOF DRAINS ARE CLEAR AND PROPERLY CONNECTED.
 - LIGHTING IS SUPPLIED AND INSTALLED BY G.C.. AWNINGS & LIGHT BANDS ARE OWNER SUPPLIED & INSTALLED. E.C. TO PROVIDE POWER TO LIGHT BAND TRANSFORMERS.
 - SEE SHEET A-5 FOR NEW EXTERIOR FINISH DETAILS.
 - ALL AWNING DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION.
 - SIGNS ARE OWNER SUPPLIED & INSTALLED. SIGNS WILL BE APPLIED FOR UNDER SEPARATE PERMIT BY THE SIGN MANUFACTURER / INSTALLER.
 - G.C. TO INSURE ALL EXTERIOR FIXTURES ARE PROPERLY POWERED. G.C. TO TEST AND MAKE ALL FIXTURE CIRCUITS OPERATIONAL.
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 - G.C. TO VERIFY PROPER ROOF DRAINAGE-MODIFY AS REQUIRED.



ISSUE DATES / REVISIONS

NO.	DESCRIPTION	DATE
PRELIMINARY DESIGN		05/05/23

DRAWN BY: T. SAVOCA
 CHECKED BY: M. VALENTINI
 PROJECT No: 23051

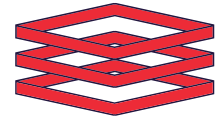
BURGER KING
 STORE #17522
 958 S. RANDALL RD,
 ST. CHARLES, IL

PROPOSED EXTERIOR ELEVATIONS

6' LED ILLUMINATED WALL SIGN - 32.81 SQ. FT.



WALL SIGN: S/F LED ILLUMINATED CABINET WITH CLEAR SOLAR GRADE POLYCARBONATE VACUUM FORMED PANNED AND EMBOSSED FACES. 3M TRANSLUCENT VINYL APPLIED TO 2ND SURFACE W/ WHITE DIFFUSER.



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PANAMA CITY, FL 32409





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FAX: 850-392-0673

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COLOR NOTES:

-  #3630-84 Tangerine
-  #3630-143 Poppy Red
-  #3635-30 White Diffuser
-  BK Silver

REVISION

1	XXXXX
2	XXXXX
3	XXXXX
4	XXXXX

ARTIST

MATT C

CUSTOMER

BURGER KING

SCALE

1" = 1'

DATE

09/22/20

LOCATION

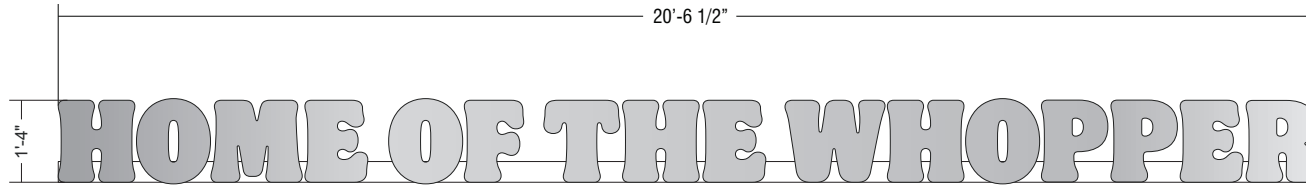
VARIOUS



REPRINTED: ART



16" HOME OF THE WHOPPER RACEWAY CHANNEL LETTERS



*NOTE:
INSTALL TOGGLE SWITCH TO OPERATE
(ON/OFF) IN THE HORIZONTAL POSITION.

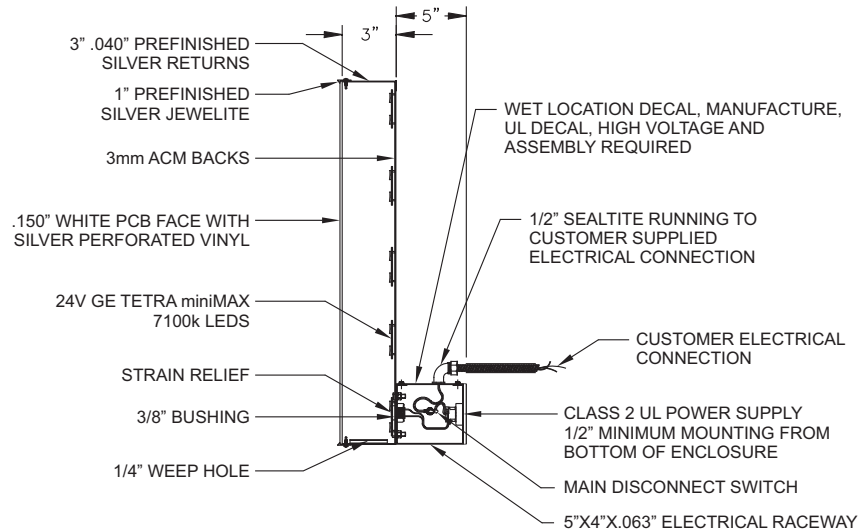
COLOR NOTES:

BACKS: 3mm WHITE ACM - PAINT BACKS SILVER
 RETURNS: 3" .040" PREFINISHED SILVER (STAPLE & CAULK)
 TRIM CAP: 1" PREFINISHED SILVER JEWELITE TO MATCH RETURNS
 FACE: .150 WHITE POLYCARBONATE WITH PERFORATED SILVER
 DAY/NIGHT VINYL APPLIED 1ST SURFACE
 RACEWAY: .063" ALUMINUM PAINTED BK SILVER
 ILLUMINATION: 24V GE TETRA miniMAX LEDs (7100k)

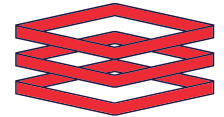
ELECTRICAL NOTE: ACTUAL NUMBER OF CIRCUITS TO BE DETERMINED BY A LICENSED ELECTRICAL CONTRACTOR.

TOTAL AMPS: 1.0
 CIRCUITS: ONE (1) 20 AMP (RECOMMENDED)

VOLTS: 120
 ELECTRICAL CONNECTION AS FOLLOWS:
 GREEN TO GREEN (GROUND), WHITE TO WHITE (NEUTRAL), BLACK TO BLACK (POWER)
 THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS
 OF ARTICLE 600 OF THE NEC 2017 CODE AND/OR OTHER APPLICABLE LOCAL CODES.
 THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.
 THE LOCATION OF DISCONNECT SWITCH AFTER INSTALLATION SHALL COMPLY WITH
 ARTICLE 600.6(A)(1) OF THE NEC 20017 CODE.
 ALL SIGNAGE WILL BE UL LISTED, UL 2161 COMPLIANT, AND CARRY UL LABELS.



RACEWAY CHANNEL LETTERS SECTION VIEW
 NOT TO SCALE



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COLOR NOTES:

#3635-0453 Light Silver (Perforated)

REVISION

1	XXXXX
2	XXXXX
3	XXXXX
4	XXXXX

ARTIST

MATT C.

CUSTOMER

BURGER KING

SCALE

1/2" = 1'

DATE

08/18/21

LOCATION

VARIOUS

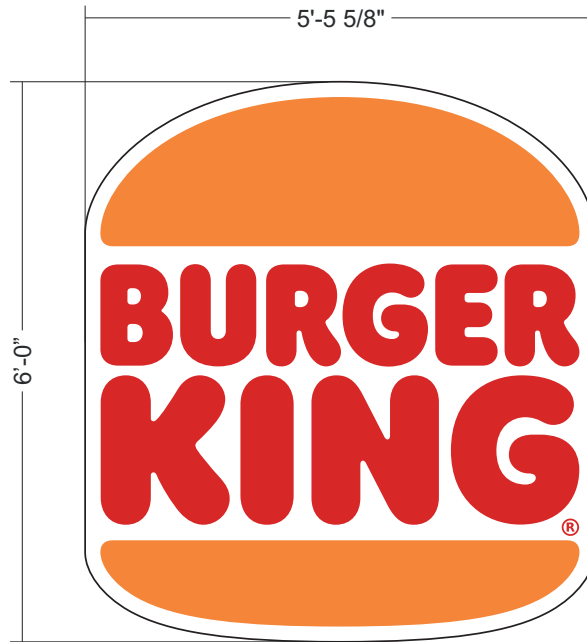


PERMITMENT: ART

6' D/F BK RETRO LOOK BUN LOGO



EMBOSSMENT EXAMPLE



SIGN DETAIL:

6'-0" D/F PANNED & EMBOSSED BUN LOGO FOR EXISTING MONUMENT

FACE: .118" CLEAR PCB

BUN LOGO: 3M 3630-84 TANGERINE

COPY: 3M 3630-143 POPPY RED

INTERIOR OF SIGN TO BE PAINTED WHITE

VINYL TO BE APPLIED 2ND SURFACE

ILLUMINATION: 5000K LED LIT / DOUBLE SIDED LED SPACED @ 650 LUMENS / FT

NOTE: MANUFACTURE CABINET TO SLEEVE OVER EXISTING 4.625" DIAMETER STEEL PIPE



COLOR NOTES

- VINYL # 3630-84 TANGERINE
- VINYL # 3630-143 POPPY RED
- VINYL # 3635-30 WHITE DIFFUSER

REVISION

1.	XXXXX
2.	XXXXX
3.	XXXXX
4.	XXXXX

ARTIST

MW

CLIENT

BURGER KING RETRO

SCALE

1/2" = 1'-0"

DATE

05.22.23

LOCATION

959 RANDALL ROAD
ST. CHARLES, IL 60174 #17522

UL MARKETING DESIGN / CDR / B / BURGER KING / ST. CHARLES, IL 959 RANDALL RD, 4PT BUN/4.625



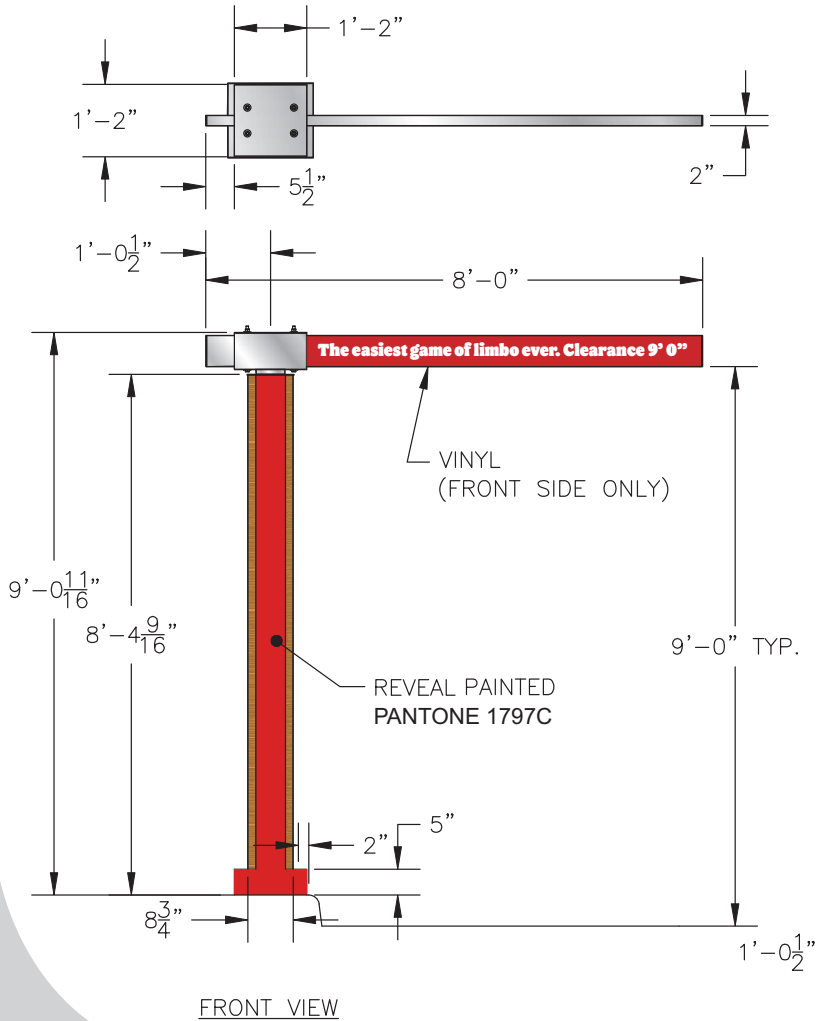
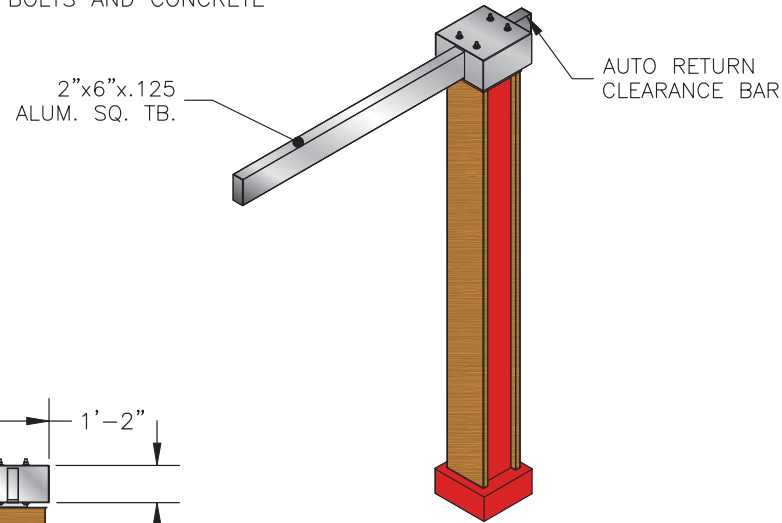
DEPARTMENT:
ART



9' "The easiest game of limbo ever. Clearance 9' 0" CLEARANCE BAR

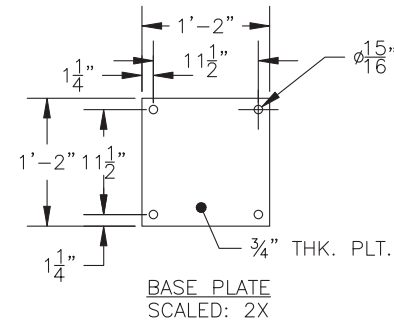
NOTE:
CLADDING/ STEEL SUPPORT: STEEL CONTINGENT ON ENGINEERS SPEC. AND WIND
LOAD REQUIREMENTS STEEL BASE PLATE W/STEEL ANCHOR BOLTS AND CONCRETE
FOUNDATION

ANCHOR BOLT FOUNDATION SHOULD BE PROVIDED BY
LOAD REQUIREMENTS



NOTE: SUPPLY (4) $\frac{3}{4}$ " ϕ x2'-6" J-BOLT
ANCHOR FOUNDATION: 2'-0" ϕ x3'-0" AUGER

AUGERED FOUNDATION:
2'-0" ϕ x3'-0" DP
TOTAL = 0.92 CU. YDS.



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COLOR NOTES:

 BK Silver

REVISION

1	XXXXX
2	XXXXX
3	XXXXX
4	XXXXX

ARTIST

MATT C

CUSTOMER

BURGER KING

SCALE

1/2" = 1'

DATE

12/09/20

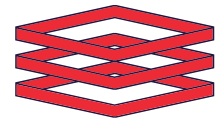
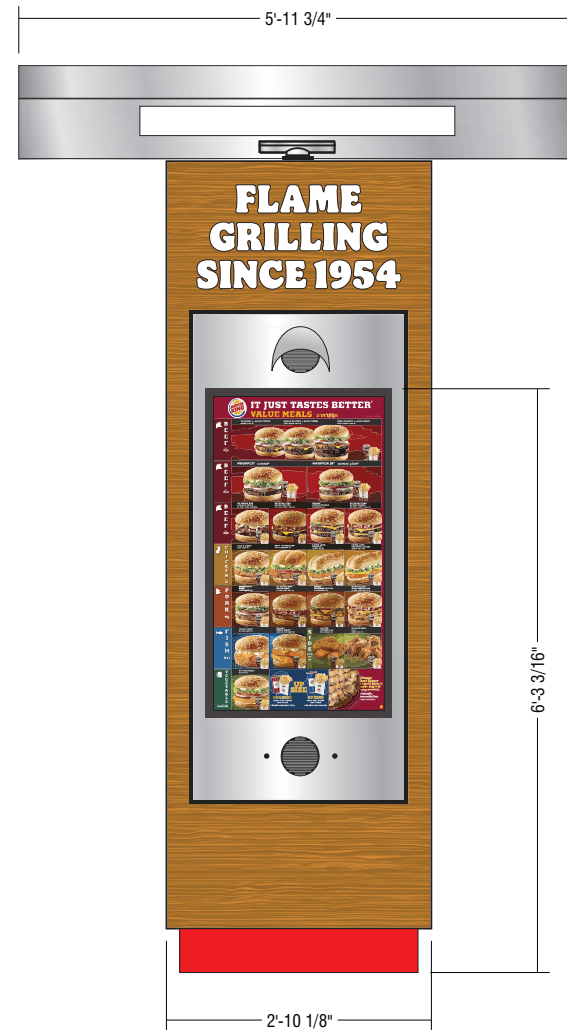
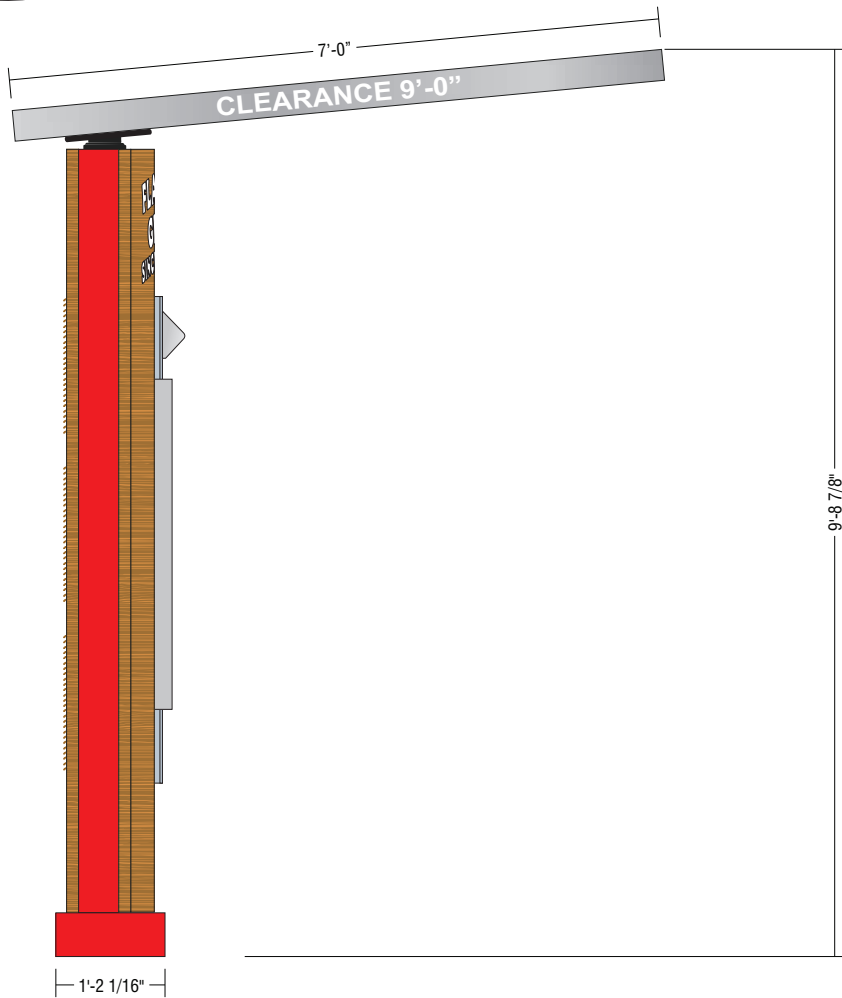
LOCATION

VARIOUS



PERMIT: ART

9'-0" CLEARANCE OCU WITH 1 DISPLAY



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COLOR NOTES:



REVISION

1	XXXXX
2	XXXXX
3	XXXXX
4	XXXXX

ARTIST

MATT C

CUSTOMER

BURGER KING

SCALE

3/4" = 1'

DATE

12/11/20

LOCATION

VARIOUS



DEPARTMENT: ART