

Community & Economic Development
 Planning Division
 Phone: (630) 377-4443



Staff Report

TO: Chairman Todd Bancroft
 And the Members of the Government Operations Committee

FROM: Ellen Johnson, Planner

RE: Crystal Loft Townhomes – 214 S. 13th Ave.

DATE: September 10, 2018

I. APPLICATION INFORMATION:

Project Name: Crystal Loft Townhomes

Applicant: Jeffrey Funke

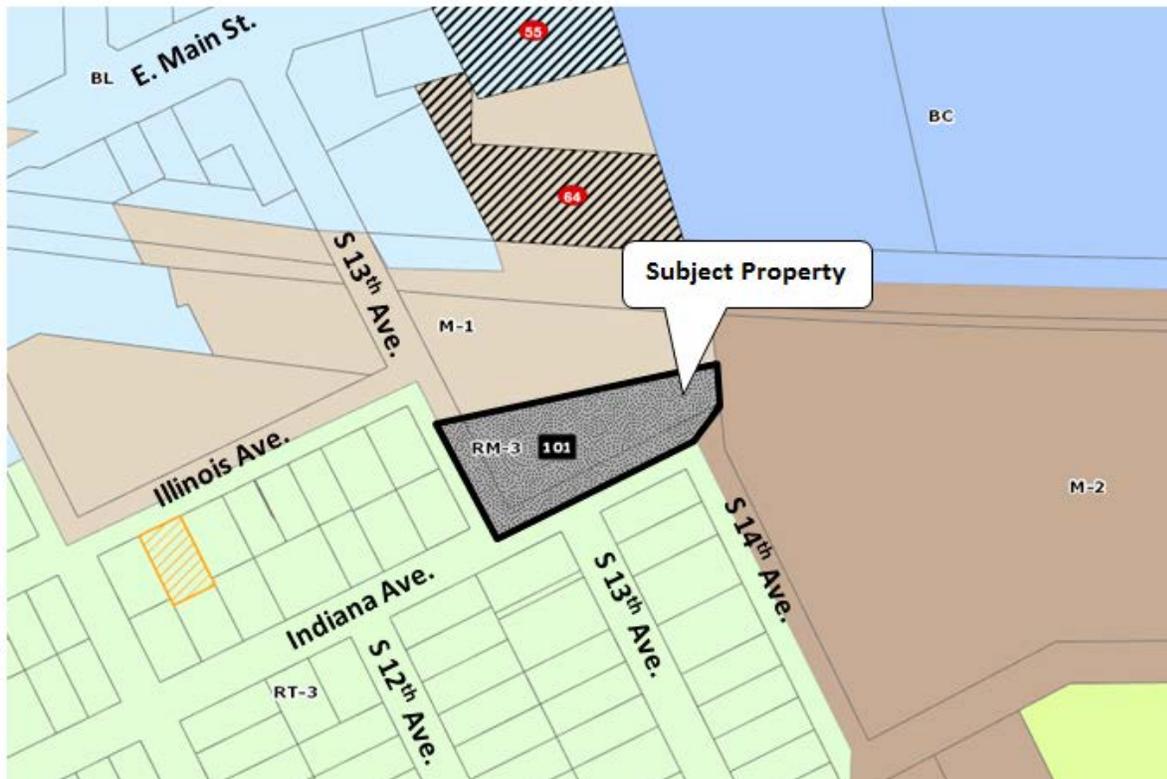
Purpose: Conversion of the former Lamp Factory building into townhomes and construction of additional townhome units on the property.

General Information:		
Site Information		
Location	214 S. 13 th Ave. (northeast corner of S. 13 th Ave. and Indiana Ave.)	
Acres	0.76 acres (33,079 sf)	
Applications:	Minor Change to PUD Final Plat of Subdivision	
Applicable Code Sections and Ordinances	17.04 Administration Title 16 Subdivision and Land Improvement Ordinance No. 2017-Z-21 “An Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan for Crystal Lofts (214 S. 13 th Ave.)”	
Existing Conditions		
Land Use	Industrial/vacant	
Zoning	RM-3 General Residential & PUD	
Zoning Summary		
North	M-1 Special Manufacturing	Industrial
East	M-2 Limited Manufacturing	Industrial
South	RT-3 Traditional Single-Family Residential	Single-family homes
West	RT-3 Traditional Single-Family Residential	Single-family homes
Comprehensive Plan Designation		
Industrial/Business Park		

Aerial



Zoning



II. OVERVIEW

A. BACKGROUND

The subject property is located at the northeast corner of S. 13th Ave. and Indiana Ave. It contains a two-story, brick manufacturing building constructed in 1904 for the Heinz Brothers Cut Glass Company. Later, the building was used as a lamp factory. The building is now largely vacant/storage space.

The property is located near the 7th Avenue Creek, which is north of the property and parallel to the former railroad right-of-way, crossing 13th Avenue. The existing building is outside of the floodplain. A portion of the north side of the property is within the floodplain.

B. APPROVED DEVELOPMENT

In December 2017, the City approved Ordinance No. 2017-Z-21 “An Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan for Crystal Lofts (214 S. 13th Ave.)”, which approved redevelopment of the subject property for residential use. Details of the approved development are as follows:

- Conversion of the original two-story building into 9 townhome units with new third floor/rooftop balconies. Each unit has a rear yard and/or deck and a detached garage.
- Construction of 5 additional townhome units at the east end of the existing building. Units are two stories with a garden level that is partially underground and each unit has an attached garage.
- Front entrance along Indiana Ave.
- Garages located in the rear, accessed from a one-way drive off of S. 13th Ave., running behind and around the east side of the building, exiting onto Indiana Ave.

The plans also include subdivision of the property into 14 lots, one for each of the townhome units including yards and garages and an outlot covering the access drive.

The access drive and detached garages were identified as located within the floodplain. As such, the PUD ordinance references construction standards for the detached garages, including use of flood resistant and waterproof material and limitations on the size and construction cost. Compensatory storage for stormwater is also required.

C. CURRENT PROPOSAL

A revised Final Plat of Subdivision, engineering plans, landscape plan, and architectural elevations have been submitted for this project. The following changes are proposed:

- Final Plat:
 - The development will be constructed in two phases; Phase 1 includes work on the existing building (units 1-9) and site development work. Phase 2 will be the building addition (units 10-14).
 - A Final Plat has been submitted for Phase 1. Condominium ownership of the units is now proposed so all units in the existing building, as well as the detached garages, are on one lot (Lot 1). Outlot A includes the drive aisle, shared parking, and compensatory storage basin. Outlot B encompasses the area of the building addition and will be platted as Phase 2 at a later date.

- Site Plan:
 - The detached garages for Units 1-9 have been shifted closer to the building. The garages are no longer in the floodplain. The rear courtyards for Units 1-9 have been eliminated.
 - A compensatory stormwater storage area has been added at the north end of the site.
 - 6 on-site parking spaces at the northwest corner have replaced the 5 parallel spaces along the drive aisle.

- Landscape Plan:
 - The rear courtyards and associated landscaping have been eliminated.
 - One fewer tree along the north property line (4 total).
 - Only switchgrass and coneflower are proposed along the building foundation, rather than a mixture of more shrubs, perennials, and grasses.

- Architectural Elevations:
 - Height of the building addition increased from 28' to 32'6".
 - Height of existing building increased from 36'8" to 38'6".
 - Siding material changed from fiber cement to metal.
 - Some changes to window placement and distribution of siding on the addition.
 - Parapet height is consistent across the new addition.

The following zoning applications have been submitted to accommodate the changes to the project scope:

1. **Minor Change to PUD** – To approve revisions to the engineering plans, landscape plan, and architectural elevations approved under PUD Ordinance No. 2017-Z-21.
2. **Final Plat of Subdivision** – To subdivide the first phase of the project.

III. ANALYSIS

A. ZONING

The subject property was rezoned from M-1 Special Manufacturing to RM-3 General Residence to accommodate the project. Several zoning deviations were granted through the PUD. The table below compares the PUD standards to the proposal. The proposal meets all applicable standards.

	PUD Standard	Proposed
Min. Lot Area	2,363 sf / unit (based on total site area)	2,363 sf / unit (based on total site area) (no change)
Min. Lot Width	18.98 ft. per townhome lot	81.03 ft.
Max. Building Coverage	58% of total site area	58% of total site area (no change)
Max. Building Height	40 ft./3 stories	38'6"
Min. Front Yard	0 ft.	0 ft. (no change)

(Indiana Ave.)		
Min. Interior Side Yard	0 ft. for townhome lots, 10 ft. from building to east property line	16.5 ft. to east property line
Min. Exterior Side Yard (S. 13 th Ave.)	0 ft.	0 ft. (no change)
Min. Rear Yard	0 ft. for townhome lots, 14.75 ft. from buildings to north property line	15.18 ft. to north property line
Landscape Buffer Yard	None	None
Off-Street Parking	2 per unit	2 per unit + 6 shared

B. LANDSCAPING

Deviations from several landscaping requirements of Ch. 17.26 “Landscaping and Screening” were granted through the PUD due to the position of the existing building on or very close to the property lines. The PUD states that the total landscaped area, building foundation landscaping, and public street frontage landscaping is to be provided per the approved plan.

A revised landscape plan has been submitted. The rear courtyards have been removed, however due to the stormwater detention area, the total percentage of landscaped area has increased from 2,300 sf to 4,850 sf. Building foundation and street frontage landscaped areas are provided in the locations shown on the approved plan. However, there is less variety in plantings than on the approved plan.

Staff Comments:

- The plan will need to be revised to add more shrubs and perennials along the building foundation, per the approved plan, in order to comply with the PUD Ordinance.

C. BUILDING DESIGN

Revised architectural elevations have been submitted. Buildings in the RM-3 District are subject to the Design Review requirements of Section 17.06.050 Standards and Guidelines – RM1, RM2, and RM3 Districts. Corrugated metal siding is now proposed instead of fiber cement. A rendering of the proposed siding has been provided. This type of material is not specifically referenced as an approved or prohibited material, however “architectural metal” is permitted. The proposed material can be considered to fit within that category.

There is a Design Standard requiring a private “yard” of 200 sf to be provided for each townhouse unit. The rear yards have been removed, however staff has determined this requirement is met with the decks and outdoor rooftop spaces provided on the building and the garages.

D. PLAT OF SUBDIVISION

A revised Final Plat of Subdivision has been submitted for Phase 1. Proposed Lot 1 encompasses the existing building, decks, garages and a portion of the drive aisle. Proposed

Outlot A covers the remainder of the drive aisle, shared parking, and compensatory storage basin. Outlot B will be platted in the future for the building addition.

Staff Comments:

Staff has a number of minor comments on the Final Plat that will need to be addressed prior to Council approval:

- Change the zoning designation note to RM-3 General Residential District & PUD.
- Owner’s Certificate – remove the By and Address lines and replace them with the Signature and Title lines.
- Notary Certificates – Add, “Given under my hand and Notarial Seal this…” before the date/signature.
- Does a concrete monument exist at the northeast corner, or is a monument proposed in that location? If not, amend the notation.

An owners’ association will need to be formed to provide for common maintenance of the outlot, landscaping, decks, building exterior and garages. The Declaration of Covenants establishing the owners association must be provided for review prior to recording of the Final Plat.

E. ENGINEERING REVIEW

Revised Final Engineering plans are currently under review. Two compensatory storage basins have been added to the site which will be used to meet the requirement that post-development runoff does not exceed pre-development runoff. Detailed comments will be provided to the applicant once the review is complete.

F. INCLUSIONARY HOUSING

The Inclusionary Housing Ordinance, Title 19 of the City Code, requires construction of, or fee in-lieu for, affordable units as a percentage of any new residential development. The Inclusionary Housing worksheet submitted by the applicant proposes payment of a fee in-lieu of providing affordable units. The fee shall be paid first for the nine units proposed in Phase 1. The fee for the remaining five units will be due upon building permit for Outlot B, after it is platted as Phase 2.

G. SCHOOL AND PARK FEE-IN-LIEU CONTRIBUTIONS

School and Park Land-Cash worksheets have been submitted by the applicant and forwarded to St. Charles School District #303 and the St. Charles Park District for review. Full cash contributions are proposed for both. The fees shall be paid first for the nine units proposed in Phase 1. The fees for the remaining five units will be due upon building permit for Outlot B, after it is platted as Phase 2.

IV. PLAN COMMISSION RECOMMENDATION

Plan Commission does not typically review applications for Minor Change to PUD. However, staff felt that in this situation, given the extent of the changes to the site plan and the fact that Plan Commission had to review the Final Plat, it was appropriate for Plan Commission to also provide a recommendation on the Minor Change.

Plan Commission reviewed the applications on 9/4/18 and recommended approval subject to resolution of outstanding staff comments prior to City Council action by a vote of 7-0.

V. ATTACHMENTS

- Applications for Final Plat of Subdivision & Minor Change to PUD; received 8/29/18
- Plans
- Ordinance No. 2017-Z-21

City of St. Charles, Illinois
Plan Commission Resolution No. 18-2018

**A Resolution Recommending Approval of a Final Plat of Subdivision for
Crystal Loft Condominiums Phase 1 and a Minor Change to PUD for Crystal
Lofts PUD (Jeffrey Funke)**

Passed by Plan Commission on September 4, 2018

WHEREAS, it is the responsibility of the St. Charles Plan Commission to review requests for Final Plat of Subdivision; and

WHEREAS, the Plan Commission has reviewed the Final Plat of Subdivision for Crystal Loft Condominiums Phase 1; and

WHEREAS, the Plan Commission finds the Final Plat of Subdivision to be in conformance with the requirements of Title 16 of the City Code entitled, "Subdivisions and Land Improvement"; and

WHEREAS, the Plan Commission has reviewed the application for Minor Change to PUD for Crystal Lofts PUD.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of a Final Plat of Subdivision for Crystal Loft Condominiums Phase 1 and a Minor Change to PUD for Crystal Lofts PUD (Jeffrey Funke); contingent upon the resolution of all staff comments prior to City Council action.

Roll Call Vote:

Ayes: Purdy, Schuetz, Holderfield, Wallace, Pietryla, Vargulich, Pretz

Nays: 0

Absent: 0

Recused: Kessler, Funke

Motion carried: 7-0

PASSED, this 4th day of September 2018.

Chairman
St. Charles Plan Commission

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

MINOR CHANGE TO PUD APPLICATION

For City Use	
Project Name:	<u>Crystal Loft Townhomes</u>
Project Number:	<u>2017 -PR- 009</u>
Application No.	<u>2018 -AP- 031</u>



Instructions:

A Minor Change to PUD is one that modifies an approved PUD Preliminary Plan in a manner that complies with all standards of the Special Use for PUD Ordinance applicable to the property and meets the definition of a Minor Change as contained either in Section 17.04.430 of the Zoning Ordinance or the Special Use for PUD Ordinance.

To request approval of a Minor Change, complete this application and submit it with all required attachments to the Planning Division. When the application is complete, City staff will schedule a review by the Planning and Development Committee of the City Council. The Committee's recommendation will be forwarded to the City Council for final action.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: <u>244 S. 13TH AVENUE</u>	
	Parcel Number (s): <u>09-26-352-002</u>	
	PUD Name: <u>CRYSTAL LOFT TOWNHOMES</u>	
2. Applicant Information:	Name <u>JEFFREY FUNKE</u>	Phone <u>312 593 4612</u>
	Address <u>160 E GRAND #300</u> <u>CHICAGO IL 60611</u>	Fax
		Email <u>FUNKE@FUNKEPROJECTS.COM</u>
3. Record Owner Information:	Name <u>CRYSTAL LOFTS LLC</u>	Phone <u>312 209 9502</u>
	Address <u>1847 W BERTHAU</u> <u>CHICAGO IL 60640</u>	Fax
		Email <u>MICHAELHENSE@EMAIL.COM</u>

Information for proposed Minor Change:

Name of PUD: Crystal Lofts

PUD Ordinance Number: 2017-Z-21

Ord. or Resolution(s) that approved the current plans: 2017-Z-21

Identify Specific PUD Plans to be changed:

- Site/Engineering Plan
- Landscape Plan
- Architectural Elevations
- Signs
- Other plans: _____

Description of Proposed Changes:

RELOCATE (9) GARAGES TO OUTSIDE
OF THE FLOOD PLAIN, INCORPORATE
RETENTION, RELOCATE TRANSFORMER PAD
ENLARGE WIDTH OF DRIVEWAY,

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

- APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$200)
- REIMBURSEMENT OF FEES AGREEMENT:**
 An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- REIMBURSEMENT OF FEES INITIAL DEPOSIT:**
 Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

LEGAL DESCRIPTION: For entire subject property, on 8 ½ x 11 inch paper

PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

COVER LETTER: Letter describing the proposed minor change requested, why it is necessary, and how it is different from the currently approved plan.

PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

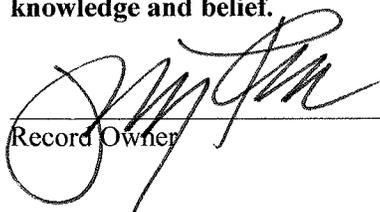
Copies of Plans:

Please contact the Planning Division to determine if full size copies of plans are needed. For simple applications, provide one full scale plan set, three (3) 11" x 17" copies (in color if applicable), and a PDF file on CD-ROM or emailed to the Project Manager.

Plans shall include the following, depending on the scope of the proposed Minor Change:

- Site Plan indicating location of proposed change.
- For changes to site/engineering plans, show existing/approved and proposed site/engineering plan changes.
- For changes to architectural elevations, show existing/approved and proposed building design, color and materials.
- For changes to landscaping, show approved and proposed plans, indicate species and quantities of plant material to replace existing/approved materials.
- Additional information may be necessary depending on the specific change proposed.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.


Record Owner


Date

Applicant or Authorized Agent

Date

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

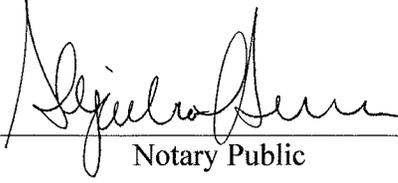
STATE OF ILLINOIS)
) SS.
KANE COUNTY)

I, JEFFREY FUNCE, being first duly sworn on oath depose and say that I am
Manager of CRYSTAL LOFTS LLC, an Illinois Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

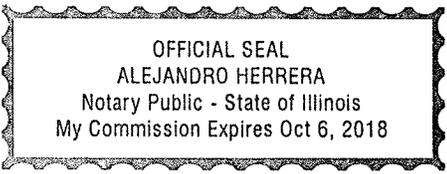
- JEFFREY FUNCE _____
- LIFT CAPITAL _____
- LABRADOR HOLDINGS _____
- _____
- _____
- _____
- _____

By: Jeffrey Funce Manager 

Subscribed and Sworn before me this 29 day of
August, 2018.



Notary Public



CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

FINAL PLAT OF SUBDIVISION APPLICATION

For City Use	
Project Name:	<u>Crystal Loft + Townhomes</u>
Project Number:	<u>2017 -PR- 009</u>
Application Number:	<u>2018 -AP- 032</u>



To request approval of Final Plat for a Subdivision, complete this application and submit it with all required attachments to the Planning Division.

When this application is complete and the plans are substantially in compliance with requirements, the Final Plat will be placed on a Plan Commission agenda for review.

The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location:	<u>214 S. 13TH AVENUE</u>	
	Parcel Number (s):	<u>0926.352.002</u>	
	Proposed Subdivision Name:	<u>CRYSTAL LOFT TOWNHOMES</u>	
2. Applicant Information:	Name	<u>Jeffrey Funke</u>	Phone <u>312 593 9812</u>
	Address	<u>160 E GRAND STREET 300 CHICAGO IL 60611</u>	Fax
			Email <u>funke@funkearchitects.com</u>
3. Record Owner Information:	Name	<u>CRYSTAL LOFTS LLC</u>	Phone <u>312 209 9502</u>
	Address	<u>1847 W BERTHEAU CHICAGO IL 60640</u>	Fax
			Email <u>michaelhensey@gmail.com</u>

Please check the type of application:

- Subdivision:**
 - Preliminary Subdivision Plat was previously approved by the City
 - Combined Preliminary-Final Review Process (Preliminary Plat Application filed concurrently)
- Planned Unit Development (PUD):**
 - PUD Preliminary Plan was previously approved by the City
 - Combined Preliminary-Final Review Process (PUD Preliminary Plan Application filed concurrently)
 - PUD Final Plan application filed concurrently

This application is not required for a Minor Subdivision (Per City Code Section 16.04.040: Meets all subdivision design standards, no more than 4 lots, no utility extensions or new streets, no stormwater detention required, lots meet minimum zoning standards)

Attachment Checklist:

For Combined Preliminary-Final Review or where multiple applications have been submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

APPLICATION FEE:

Application fee in accordance with Appendix A of the Subdivision Code. (\$300)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

Submit one of the following:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

❑ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

❑ **SUBDIVISION PLAT – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the plat.

❑ **FINAL ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Final Engineering Plans.

❑ **ENGINEER'S COST ESTIMATE SPREADSHEET:**

See attached form.

❑ **STORMWATER MANAGEMENT PERMIT APPLICATION (if not already filed)**

❑ **STORMWATER REPORT**

❑ **FINANCIAL GUARANTEE & LAND IMPROVEMENT AGREEMENT**

When submitting the application, provide a draft or description of the proposed guarantee for the payment and completion of Land Improvements (consisting of proposed form, amount and provider of completion guarantee collateral - bond, cash, or letter of credit).

- For Letter of Credit form, see City Code Title 16, Appendix C.
- For Land Improvement Agreement, see City Code Title 16, Appendix D.

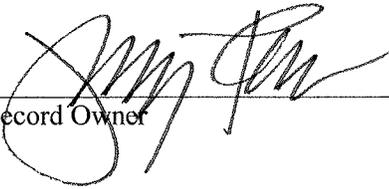
A Financial Guarantee and Land Improvement Agreement must be provided prior to the City signing the Final Plat of Subdivision and recording the plat.

❑ **COPIES OF THIRD PARTY PERMIT/APPROVALS**

- Illinois EPA Water Pollution Control Permit for sanitary sewer extension

- Illinois EPA Division of Public Water Supplies Permit for water mains
 - Notice of Intent (NOI) letter/permit for NPDES Stormwater Discharge for sites 5 acres and larger
 - IDNR Office of Water Resources Permit (for work in flood plain)
 - Wetlands Permit from Army Corps of Engineers
 - Kane County DOT and/or IDOT signature on Final Plat (if applicable)
 - Offsite easements and right of way necessary to construct the required Land Improvements
- PARK AND SCHOOL LAND/CASH WORKSHEETS:** For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.
- INCLUSIONARY HOUSING SUMMARY:** For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.


09/28/18

Record Owner Date

Applicant or Authorized Agent Date

SCHOOL LAND/CASH WORKSHEET

City of St. Charles, Illinois

Name of Development
Date Submitted:
Prepared by:

Crystal Lofts - Phase 1



ST. CHARLES
SINCE 1834

Total Dwelling Units: 9

A credit for existing residential lots within the proposed subdivision shall be granted. Deduct one (1) unit per existing lot.

Total Dwelling Units w/ Deduction: _____

**If the proposed subdivision contains an existing dwelling unit, a credit is available calculated as a reduction of the estimated population for the dwelling. Please request a worksheet from the City.*

Estimated Student Yield by Grades:

Type of Dwelling	# of dwelling Units (DU)	Elementary (Grades K to 5)	Middle (Grades 6 to 8)	High (Grades 9 to 12)
Detached Single Family				
➤ 3 Bedroom		DU x .369 =	DU x .173 =	DU x .184 =
➤ 4 Bedroom		DU x .530 =	DU x .298 =	DU x .360 =
➤ 5 Bedroom		DU x .345 =	DU x .248 =	DU x .300 =
Attached Single Family				
➤ 1 Bedroom		DU x .000 =	DU x .000 =	DU x .000 =
➤ 2 Bedroom	4	DU x .088 = .352	DU x .048 = .192	DU x .038 = .152
➤ 3 Bedroom		DU x .234 =	DU x .058 =	DU x .059 =
➤ 4 Bedroom	5	DU x .322 = 1.61	DU x .154 = .77	DU x .173 = .865
Apartments				
➤ Efficiency		DU x .000 =	DU x .000 =	DU x .000 =
➤ 1 Bedroom		DU x .002 =	DU x .001 =	DU x .001 =
➤ 2 Bedroom		DU x .086 =	DU x .042 =	DU x .046 =
➤ 3 Bedroom		DU x .234 =	DU x .123 =	DU x .118 =
Totals	<u>9</u> TDU (with deduction, if applicable)	<u>1.962</u> TE	<u>.962</u> TM	<u>1.017</u> TH

School Site Requirements:

Type	# of students	Acres per student	Site Acres
Elementary (TE)	1.962	x .025	= 0.04905
Middle (TM)	.962	x .0389	= 0.0374218
High (TH)	1.017	x .072	= 0.073224
Total Site Acres			<u>.1596958</u>

Cash in lieu of requirements:

.1596958 (Total Site Acres) x \$240,500 (Fair Market Value per Improved Land) = \$ 38,406.84

PARK LAND/CASH WORKSHEET

City of St. Charles, Illinois

Name of Development
Date Submitted:
Prepared by:

Crystal Lofts - Phase 1



Total Dwelling Units: 9

A credit for existing residential lots within the proposed subdivision shall be granted. Deduct one (1) unit per existing lot.

Total Dwelling Units w/ Deduction: _____

**If the proposed subdivision contains an existing residential dwelling unit, a credit calculated as a reduction of the estimated population for the dwelling is available. Please request a worksheet from the City.*

Estimated Population Yield:

Type of Dwelling	# Dwelling Units (DU)	Population Generation per Unit	Estimated Population
Detached Single Family			
➤ 3 Bedroom		DU x 2.899	=
➤ 4 Bedroom		DU x 3.764	=
➤ 5 Bedroom		DU x 3.770	=
Attached Single Family			
➤ 1 Bedroom		DU x 1.193	=
➤ 2 Bedroom	4	DU x 1.990	= 7.96
➤ 3 Bedroom		DU x 2.392	=
➤ 4 Bedroom	5	DU x 3.145	= 15.725
Apartments			
➤ Efficiency		DU x 1.294	=
➤ 1 Bedroom		DU x 1.758	=
➤ 2 Bedroom		DU x 1.914	=
➤ 3 Bedroom		DU x 3.053	=
Totals	<u>9</u>		<u>23.685</u>
	Total Dwelling Units (with deduction, if applicable)		Estimated Total Population

Park Site Requirements:

Estimated Total Population 23.685 x .010 Acres per capita = .23685 Acres

Cash in lieu of requirements:

Total Site Acres .23685 x \$240,500 (Fair Market Value per Improved Land) = \$ 56,962.43

INCLUSIONARY HOUSING WORKSHEET



Name of Development Crystal Lofts - Phase 1
 Date Submitted: _____
 Prepared by: _____

Use this worksheet to determine the affordable unit requirement for the proposed development and to propose how the development will meet the Inclusionary Housing requirements of Title 19.

Calculate the number of affordable units required:

Unit Count Range	# of Units Proposed in Development		% of Affordable Units Required		# of Affordable Units Required
1 to 15 Units	9	X	5%	=	.45
More than 15 Units		X	10%	=	

How will the Inclusionary Housing requirement be met?

- Provide on-site affordable units
- Pay a fee in-lieu of providing affordable units (calculate fee in-lieu below)
- Provide a mixture of affordable units and fee in-lieu
 - o # of affordable units to be provided: _____
 - o Amount of fee in-lieu to be paid (calculate below): _____

Fee In-Lieu Payment Calculation

# of Affordable Units Required	# of Affordable Units Proposed to Pay the Fee-In-Lieu		Fee-In-Lieu Amount Per Unit		Total Fee-In-Lieu Amount
.45	.45	X	\$36,409.75	=	\$16,384.39

FINAL PLAT OF SUBDIVISION
FOR

CRYSTAL LOFT CONDOMINIUMS, PHASE 1

BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

THIS PLAT WAS SUBMITTED TO THE COUNTY RECORDER FOR THE PURPOSES OF RECORDING BY:
CITY OF ST. CHARLES
2 E. MAIN STREET
ST. CHARLES, IL 60174
NOTICE TO RECORDER:
PLEASE RETURN RECORDED MAP TO THE SAME.



20 10 0 20
SCALE: 1 INCH = 20 FEET



SITE LOCATION

VICINITY MAP

TOTAL AREA OF SUBDIVISION
.761 ACRES
(MORE OR LESS)

NOTES
3/4 INCH IRON PIPE SET AT SOUTHWEST AND NORTHEAST PARCEL CORNERS.
ALL MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL FRACTIONS THEREOF.
DIMENSIONS ENCLOSED WITH () ARE RECORD DATA. ALL OTHER DIMENSIONS ARE MEASURED.
ALL EASEMENTS ARE HEREBY GRANTED UNLESS OTHERWISE NOTED.
THE MEASURED BEARINGS SHOWN ARE BASED UPON THE EAST LINE OF THE SUBDIVISION BEING N 18°59'44" W (ASSUMED).
FIP = FOUND IRON PIPE (# AS SHOWN)
PROPERTY ZONED M-1 SPECIAL MANUFACTURING DISTRICT OF CITY OF ST. CHARLES.

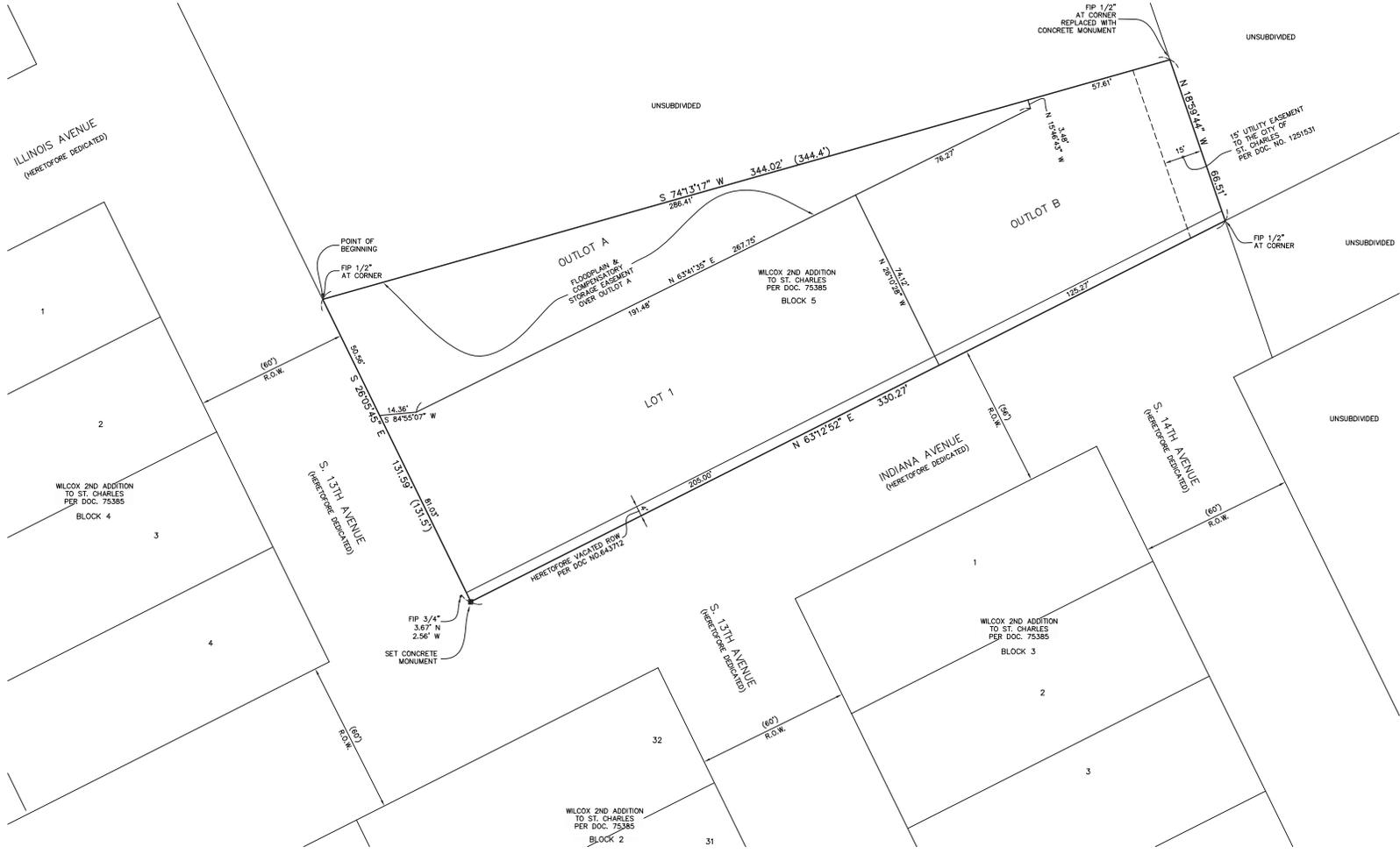
LEGEND
- SUBDIVISION BOUNDARY LINE (Heavy Solid Line)
- LOT LINE/PROPERTY LINE (Solid Line)
- ADJACENT LOT LINE/PROPERTY LINE (Light Solid Line)
- EASEMENT LINE/LIMITS OF EASEMENT (Short Dashed Lines)
■ - SET CONCRETE MONUMENT

LOT AREA SUMMARY TABLE

LOT NO.	SQ. FT.	ACRES
1	15,400	0.354
OUTLOT A	15,303	0.191
OUTLOT B	9,449	0.217
TOTAL	33,152	0.761

PREPARED FOR:
FUNKE ARCHITECTS
160 EAST GRAND
CHICAGO, IL 60611
(312) 593-4812

PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
630.862.2100 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: coid@cemcon.com Website: www.cemcon.com
DISC NO.: 504015 FILE NAME: SUBPLAT
DRAWN BY: AJB FLD. BK. / PG. NO.: D53/57-60
COMPLETION DATE: 04-26-18 JOB NO.: 504.015
PROJECT REFERENCE: 826.005
REVISED 7-10-18/MMC-PER REVIEW LETTER DATED 6-8-18
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PLAT FILE CREATED: 07/07/18

OWNER'S & SCHOOL DISTRICT CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF KANE)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE PART OWNER OF THE PROPERTY DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT PROPERTY BEING, SUBDIVIDED AFORESAID, AND TO THE BEST OF THE OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF:

ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303

BY: _____

ADDRESS: _____

DATED THIS _____ DAY OF _____ A.D. 2018.

(SIGNATURE)

(TITLE)

NOTARY CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

DATED THIS _____ DAY OF _____ A.D. 2018.

(SIGNATURE)

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, PETER A. BLAESER, ILLINOIS LAND SURVEYOR NO. 3072, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF BLOCK 5 OF W.H. WILCOX SECOND ADDITION TO ST. CHARLES AND THAT PART OF VACATED INDIANA AVENUE, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTH ALONG THE WEST LINE OF SAID BLOCK AND SAID WEST LINE EXTENDED 131.5 FEET TO A LINE DRAWN PARALLEL WITH AND 4 FEET SOUTHERLY OF, MEASURED AT RIGHT ANGLES THERETO THE SOUTHERLY LINE OF SAID BLOCK 5; THENCE EASTERLY ALONG SAID PARALLEL LINE AND SAID LINE EXTENDED TO THE EASTERLY LINE OF SAID BLOCK 5; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHEAST CORNER THEREOF; THENCE NORTHERLY ALONG SAID NORTHERLY LINE 344.4 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS

FURTHER, THIS PLAT HAS BEEN PREPARED BY AN ILLINOIS PROFESSIONAL LAND SURVEYOR AND THAT THE PLAT HEREON DRAWN IS A REPRESENTATION OF SAID SURVEY AND SUBDIVISION.

IT IS FURTHER CERTIFIED THAT THE PROPERTY SHOWN HEREON LIES WITHIN THE CORPORATE LIMITS OF THE CITY OF ST. CHARLES, WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

IT IS FURTHER CERTIFIED THAT, TO THE BEST OF OUR KNOWLEDGE, ALL REGULATIONS ENACTED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

SPECIAL FLOOD HAZARD AREA CERTIFICATE

THIS IS TO CERTIFY THAT A PORTION OF THE PROPERTY HEREON DESCRIBED IN THE RECORD OF DEED FALLS WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED ON A MAP ENTITLED "EFFECTIVE FIRM COMPARISON", SHEETS 1 THROUGH 3 OF 3, UNDATED, INCLUDED IN THE "ENGINEERING REPORT, LOWER FOX RIVER WATERSHED - 7TH AVENUE CREEK AND ITS TRIBUTARY" DATED AUGUST 17, 2012 AND REVISED JULY 2, 2013, RECEIVED SEPTEMBER 13, 2013 WHICH MAP, FOR REGULATORY PURPOSES, IS BEING ENFORCED BY THE CITY OF ST. CHARLES UNDER A MEMORANDUM OF UNDERSTANDING BETWEEN THE ILLINOIS DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF ST. CHARLES OWR-310.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS, THIS _____ DAY OF _____ A.D. 2018.

PETER A. BLAESER
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3072
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2018
PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002937
EXPIRES APRIL 30, 2019

MORTGAGEE'S CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

ACCEPTED AND APPROVED

BY: _____ AS MORTGAGEE.

DATED AT _____, ILLINOIS,
THIS _____ DAY OF _____, A.D. 2018.

BY: _____

ATTEST: _____

NOTARY CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

DATED THIS _____ DAY OF _____ A.D. 2018.

(SIGNATURE)

DIRECTOR OF COMMUNITY DEVELOPMENT CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

I, _____, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY & ECONOMIC DEVELOPMENT, CITY OF ST. CHARLES

DATED AT _____, ILLINOIS,
THIS _____ DAY OF _____, A.D. 2018.

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS

DATED AT _____, ILLINOIS,
THIS _____ DAY OF _____, A.D. 2018.

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

APPROVED THIS _____ DAY OF _____, A.D. 2018.

CITY OF ST. CHARLES PLAN COMMISSION

CHAIRMAN

CITY COUNCIL CERTIFICATE

APPROVED AND ACCEPTED THIS _____ DAY OF _____, A.D. 2018.

CITY COUNCIL OF CITY OF ST. CHARLES, ILLINOIS

MAYOR

ATTEST: _____
CITY CLERK

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL AT _____, ILLINOIS,
THIS _____ DAY OF _____, A.D. 2018.

COUNTY CLERK

FLOODPLAIN AND COMPENSATORY STORAGE EASEMENT PROVISIONS

A NON-EXCLUSIVE FLOODPLAIN AND COMPENSATORY EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO THEIR HEIRS, SUCCESSORS AND ASSIGNS, IN, UPON, ACROSS, OVER, UNDER, AND THROUGH OUTLOT A AS PLATED HEREON FOR THE PURPOSE OF ENFORCING FLOODPLAIN RESTRICTIONS ON USE OF OUTLOT A PURSUANT TO CITY CODES AND TO MAINTAIN THE VOLUME OF COMPENSATORY STORAGE CONSTRUCTED AND PROVIDED ON OUTLOT A IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PERMIT ISSUED FOR CRYSTAL LOFT CONDOMINIUMS. NO PERSON SHALL ALTER OR MODIFY THE PAVEMENT AND GROUND SURFACE ON OUTLOT A OR CAUSE A REDUCTION IN THE COMPENSATORY STORAGE BASINS AS CONSTRUCTED THEREON WITHOUT HAVING FIRST RECEIVED WRITTEN APPROVAL FROM THE CITY OF ST. CHARLES. THE CRYSTAL LOFT CONDOMINIUM ASSOCIATION SHALL BEAR RESPONSIBILITY FOR THE MAINTENANCE AND UPKEEP OF OUTLOT A PURSUANT TO THE COVENANTS, CONDITIONS, AND RESTRICTIONS OF THE CONDOMINIUM DECLARATION RECORDED _____ AS DOCUMENT R_____. IN KANE COUNTY ILLINOIS, THE CITY OF ST. CHARLES SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO RESTORE, REPAIR, OR REPLACE ANY COMPENSATORY STORAGE VOLUME DISPLACED THROUGH UNAUTHORIZED ACTIVITIES.

PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
630.862.2100 Ph: 630.862.2100 FAX: 630.862.2199
E-Mail: coid@cemcon.com Website: www.cemcon.com
DISC NO: 504015 FILE NAME: SUBPLAT
DRAWN BY: AJB FLD. BK. / PG. NO: 053/57-60
COMPLETION DATE: 04-26-18 JOB NO: 504.015
PROJECT REFERENCE: 026.005
REVISED 7-10-18/MMC-PER REVIEW LETTER DATED 6-8-18
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PLAT FILE CREATED BY: 07-10-18

FINAL SITE DEVELOPMENT PLANS
FOR
CRYSTAL LOFT CONDOMINIUMS
ST. CHARLES, ILLINOIS
WATERMAIN-SANITARY SEWER-STREET-STREET LIGHTING
AND DRAINAGE IMPROVEMENTS



LOCATION MAP



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
○	●	MANHOLE
□	■	CATCH BASIN
○	■	INLET
○	■	CLEANOUT
○	■	SLOPE INLET BOX
—	—	HEADWALL
—	—	END SECTION
—	—	STORM SEWER
—	—	SANITARY SEWER
—	—	WATERMAIN
○	○	VALVE & BOX
○	○	WATER VALVE IN VAULT
○	○	FIRE HYDRANT
—	—	CONTOUR
(ELEV)	ELEV	ELEVATIONS
—	—	STREET LIGHT
—	—	WATERMAIN PROTECTION
—	—	SILT FENCE INLET PROTECTOR
—	—	TEMPORARY STRAW BALE DITCH CHECK
—	—	SILT FENCE DITCH CHECK
—	—	RIP-RAP
—	—	OVERFLOW ROUTE

BENCH MARKS

REFERENCE BENCHMARK:
NGS MONUMENT N19 (WF006)
ELEVATION: 696.45 NAVD 88

#1—SOUTH BONNET BOLT ON FIRE HYDRANT
AT SOUTHEAST CORNER OF SITE
ELEVATION: 731.13

#2—WEST BONNET BOLT ON FIRE HYDRANT
AT SOUTHWEST CORNER OF SITE
ELEVATION: 730.58

INDEX OF SHEETS

01	TITLE
02-03	CONSTRUCTION SPECIFICATIONS - GENERAL NOTES
04-05	GEOMETRIC- STRIPING-SIGNAGE PLAN
06	DEMOLITION PLAN
07	OVERALL UTILITY PLAN
08	STORMWATER POLLUTION PREVENTION PLAN
09	STORMWATER POLLUTION PREVENTION DETAILS
10	STORMWATER POLLUTION PREVENTION NOTES
11-12	DRAINAGE AND GRADING PLAN
13	INDIANA AVENUE
14	INDIANA AVENUE AND EAST ENTRANCE
15	13TH AVENUE
16-17	CONSTRUCTION DETAILS
18-25	COMPENSATORY STORAGE CROSS SECTIONS

PROFESSIONAL ENGINEER'S CERTIFICATION

STATE OF ILLINOIS) SS.
COUNTY OF DU PAGE)

I, RANDALL W. BUS, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS,
HEREBY CERTIFY THAT THIS TECHNICAL SUBMISSION WAS PREPARED ON
BEHALF OF FUNKE ARCHITECTS, BY CEMCON, LTD. UNDER MY PERSONAL
DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN
INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS
AND CONTRACT DOCUMENTS.

DATED THIS ____ DAY OF _____, A.D., 2018.

ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 062-032381
MY LICENSE EXPIRES ON NOVEMBER 30, 2019

PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002937
EXPIRES APRIL 30, 2019

NOTE: UNLESS THIS DOCUMENT BEARS THE ORIGINAL SIGNATURE AND
IMPRESSED SEAL OF THE DESIGN PROFESSIONAL ENGINEER, IT IS NOT A VALID
TECHNICAL SUBMISSION.

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**FOR UNDERGROUND UTILITY
LOCATIONS, CALL
J.U.L.I.E.
TOLL FREE
TEL. 1-800-892-0123 or 811**

DATE: _____
RELEASED FOR PLAN REVIEW AND PERMIT
PROCESSING ONLY.
IF USED FOR BIDDING PURPOSES, THOSE PARTIES
CONCERNED SHALL BE ADVISED THAT REVISIONS
MAY BE REQUIRED PRIOR TO PLAN APPROVAL.
NOT ISSUED FOR CONSTRUCTION UNTIL APPROVED BY THE
VILLAGE OF _____ AND PERMITTED AS REQUIRED.

PREPARED FOR:
FUNKE ARCHITECTS
160 EAST GRAND SUITE 300
CHICAGO ILLINOIS, 60611
(312) 344-1151



PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100
Aurora, Illinois 60504-9675
Ph: 630.862.2100 Fax: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com

R E V I S I O N S					
NO.	DATE	SHEETS	NO.	DATE	SHEETS

JOB NO. 904.264
COMPLETION DATE :
08-13-18
SHEET 1 OF 25

CONSTRUCTION SPECIFICATIONS – GENERAL NOTES

SANITARY SPECIFICATION REQUIREMENTS

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE CITY OF ST. CHARLES, ILLINOIS ORDINANCE AND REQUIREMENTS FOR THE "STANDARD SPECIFICATION FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" CURRENT EDITION.
2. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING STANDARDS AS APPROVED BY THE CITY OF ST. CHARLES, ILLINOIS.
3. SANITARY MANHOLE FRAMES SHALL BE NEDIAN 8-1712 IN PAVED AREAS, AND NEDIAN 8-2535 IN NON PAVED AREAS (OR APPROVED EQUAL).
4. ALL JOINTS BETWEEN PRE-CAST ELEMENTS, ADJUSTING RINGS AND MANHOLE FRAMES ON ALL UNDERGROUND STRUCTURES, SHALL BE SET IN PLACE WITH ONE OF THE FOLLOWING BUTYL RUBBER JOINT SEALANTS:

CONCRETE PRODUCTS SUPPLY CO. – EZ STIKS
HAMILTON-KENT GASKET CO. – KENT SEAL
OR EQUAL, AS APPROVED BY THE ENGINEER, AND ALL JOINTS TO BE TUCKPOINTED WITH HYDRAULIC MORTAR WITH A BRUSH FINISH.

5. ALL SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED WITH FLEXIBLE MANHOLE COUPLING, AS MANUFACTURED BY INTERPACE CORPORATION (LOCKJUNT FLEXIBLE MANHOLE SLEEVE), PRESS-SEAL GASKET CORPORATION (PRESS WEDGE, I), OR EQUAL, AS APPROVED BY THE ENGINEER. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL COMPLY WITH THOSE SPECIFIED BY THE MANUFACTURER.
6. A WATER-TIGHT MASONRY BULKHEAD SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE BULKHEAD SHALL REMAIN IN PLACE UNTIL AFTER THE SANITARY SEWERS HAVE BEEN TESTED AND ACCEPTED.
7. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY UNPOLLUTED WATER SUCH AS GROUND AND SURFACE WATER FROM ENTERING THE EXISTING SANITARY SEWER.
8. THE CONTRACTOR SHALL BE PROHIBITED FROM DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSES OF SEWER FLUSHING OR FLOATING LINES FOR THE DEFLECTION TEST WITHOUT PRIOR APPROVAL.
9. ALL NEW SANITARY SEWERS SHALL BE PRESSURE TESTED AND TESTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE CURRENT EDITION OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS".
10. SANITARY SEWER MANHOLES WITH INTERNAL DROPS TWO FEET OR LESS SHALL HAVE A PRECAST CONCRETE TROUGH BUILT IN THE STRUCTURE TO OBTAIN A SMOOTH FLOW TRANSITION FROM THE UPSTREAM PIPE INVERT TO THE DOWNSTREAM PIPE INVERT.
11. ALL MANHOLES AND STRUCTURES SHALL BE CLEANED OF ANY ACCUMULATION OF SILT, DEBRIS, OR FOREIGN MATTER OF ANY KIND, AND SHALL BE FREE FROM SUCH ACCUMULATIONS AT THE TIME OF FINAL INSPECTION.
12. SANITARY MANHOLE LID MUST HAVE CONCEALED PICK HOLES AND HAVE THE WORDS "SANITARY" AND "STAMPED IN THE COVER WITH AN INTACT RUBBER GASKET SEAL".
13. THE FRAME LIP SHALL BE CLEANED OF ALL MUD AND DEBRIS TO PROVIDE A WATER-TIGHT SEAL BETWEEN THE FRAME AND THE MANHOLE COVER GASKET.
14. ALL STEPS MUST BE INSTALLED, ALIGNED AND CLEAN.
15. THE BARREL SECTION JOINTS MUST BE TUCKPOINTED WITH HYDRAULIC GROUT OR MORTAR WITH A BRUSH FINISH.
16. ALL PRINCIPLES MUST BE MORTARED WITH A BRUSH FINISH TO PROVIDE A WATER-TIGHT SEAL.
17. THE UPSTREAM AND DOWNSTREAM PIPE CAVITIES MUST BE FILLED WITH MORTAR AND SMOOTHED WITH A BRUSH FINISH.
18. THE UPSTREAM AND DOWNSTREAM FLOW LINES (INVERTS) SHALL HAVE A SMOOTH TRANSITION FROM THE PIPE TO THE MANHOLE INVERT.
19. ALL MANHOLE STRUCTURES SHALL BE FREE OF ANY TYPE OF INFILTRATION (WATER LEAKING INTO THE STRUCTURE).
20. IF THERE IS AN INTERNAL DROP IN THE STRUCTURE THERE MUST BE A SMOOTH TRANSITION FROM THE PIPE TO THE INVERT (E. CHANNEL FLOW FROM THE PIPE TO THE MANHOLE INVERT).
21. ALL SANITARY MANHOLE CHAMBERS SHALL BE SEALED USING RAPID SEAL BY CANUSA, OR APPROVED EQUAL.
22. OUTER SURFACES OF PRECAST AND CAST-IN-PLACE MANHOLES SHALL BE GIVEN TWO (2) COATS OF BERIUMOUS IMPROFROOF AT THE RATE OF 30 – 60 SQ. FT. PER GALLON AS DIRECTED BY THE ENGINEER AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

SANITARY SEWER, STORM SEWER, WATERMAIN

1. THE CONTRACTOR SHALL NOTIFY THE MUNICIPAL ENGINEERING DEPARTMENT 48 HOURS PRIOR TO START OF THE CONSTRUCTION OF PUBLIC IMPROVEMENTS TO ARRANGE FOR THE "STANDARD SPECIFICATION FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" CURRENT EDITION. THE PUBLIC IMPROVEMENTS INCLUDE THE WATERMAIN AND ANY WORK WITHIN PUBLIC R.O.W.
2. THE WATER DIVISION SHALL BE CONTACTED AT LEAST TWO (2) BUSINESS DAYS PRIOR TO PLANNED CONSTRUCTION TO EXISTING WATERMANS.
3. THE CITY OF ST. CHARLES COLLECTS ALL BIOLOGICAL TESTING FOR NEW WATER MAIN CONSTRUCTION. CHLORINATION OF NEW WATER MAIN IS THE RESPONSIBILITY OF THE CONTRACTOR. PLEASE CONTACT THE WATER DIVISION TWO BUSINESS DAYS PRIOR TO FLUSHING, PRESSURE TESTING AND CHLORINATION OF NEW WATER MAIN.
4. THE CITY OF ST. CHARLES, ILLINOIS SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE AND REJECT THE CONSTRUCTION OF PUBLIC IMPROVEMENTS.
5. THE CONTRACTOR(S) SHALL INDemnify AND HOLD AS ADDITIONALLY INSURED ON THE CONTRACTOR(S) INSURANCE THE CITY OF ST. CHARLES, THEIR AGENTS ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE PUBLIC IMPROVEMENTS ON THIS PROJECT.
6. ALL SANITARY SEWER, STORM SEWER AND WATERMAIN WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION.
7. SANITARY SEWERS AND WATERMAIN SERVICES SHALL HAVE A MINIMUM OF 3.0 FEET OF COVER AND SHALL BE RUN IN STRAIGHT ALIGNMENT UNLESS SPECIFICALLY SHOWN ON THE PLANS.
8. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
9. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN A LIST OF ALL EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE PROJECT AND BE RESPONSIBLE FOR PROTECTION OF SAME.
10. ALL STORM MANHOLE, CATCH BASIN, AND INLET FRAME ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS SET WITHIN THE MANHOLE FRAME JOINT SEALANT, NO MORE THAN 8" OF ADJUSTING RINGS WILL BE PERMITTED.
11. ALL DRAIN STRUCTURES TO HAVE POURED INVERTS CONFORMING TO THE SHAPE OF THE PIPE.
12. THE CONTRACTOR SHALL BE AWARE OF POTENTIAL CONFLICTS WITH EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE CONTRACTOR SHALL EDUCATE AROUND UTILITIES TO DETERMINE ELEVATIONS BEFORE BACKFILLING.
13. STAINLESS STEEL "NON-SHEAR" OR SIMILAR COUPLINGS SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR MATERIALS.
14. ALL NEW SANITARY SEWERS SHALL HAVE WYES FOR PROPOSED BUILDING SERVICES. ALL EXISTING SANITARY SEWERS NOT HAVING WYES SHALL BE MADE WITH AN INSERT-THAT TYPE FITTING OR APPROVED EQUAL.
15. ALL EXISTING FIELD DRAINAGE THE ENCOUNTERED OR DAMAGED DURING CONSTRUCTION ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION. ALL LOCATIONS OF UNDOCUMENTED FIELD DRAINAGE SHALL BE PROMPTLY REFERENCED AND DOCUMENTED FOR INCORPORATION INTO THE RECORD DRAWING.
16. AT THE COMPLETION OF THIS PROJECT, ONE SET OF PLANS (INCLUDING A MUDLOG) WITH RECORD MEASUREMENTS IS TO BE SUBMITTED TO THE ENGINEER SHOWING THE LOCATION OF ALL OF THE SERVICES, PIPES, STRUCTURES, GRADING AND UTILITIES.
17. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED UP TO 8" TOTAL ADJUSTMENT OR REDISTRIBUTED BY THE CONTRACTOR. ADJUSTMENTS OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
18. CONNECTIONS TO EXISTING STORM AND WATER SYSTEMS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, UNLESS SPECIFICALLY NOTED OTHERWISE.
19. ALL WATERMAIN SHALL BE GEMENT LINED DUCTILE IRON PIPE, CLASS 52 CONFORMING TO AWWA C-151 OR AISA A-21.01 WITH PUSH-ON OR MECHANICAL JOINTS AND SHALL HAVE A MINIMUM OF 3.0 FEET OF COVER AND A MAXIMUM OF 8.0 FEET DEEP AND SHALL BE ENCASED IN POLYETHYLENE FIM IN ACCORDANCE WITH AWWA C-105-82. FITTINGS SHALL BE GEMENT LINED, TAR COATED CAST IRON WITH MECHANICAL JOINTS RATED 250 PSI PER AWWA C10-ANSI 21-20 (CLOW, AMERICAN, U.S. OR EQUAL).
20. ALL MAIN LINE VALVES UP TO 12" SHALL BE RESILIENT SEAT EPOXY COATED WEDGE GATE VALVE TYPE (WELLER), CA-6 CRUSHED COMPACTED LIMESTONE SHALL BE UTILIZED TO BACKFILL AROUND ALL VALVES AND VALVE BOXES.
21. WATER SERVICES SHALL INCLUDE THE NECESSARY LENGTH OF TYPE "K" COPPER WATER TUBE OF THE SIZE SHOWN ON THE PLANS, CORPORATION STOP (WELLER FORD, 1") CURB STOP (WELLER FORD, 1") AND SERVICE BOX (WELLER), ALL AS REQUIRED BY THE MUNICIPALITY, AND ALL NECESSARY LABOR, TOOLS, EQUIPMENT, EXCAVATION AND BACKFILL FOR A COMPLETE INSTALLATION AS SHOWN ON THE PLANS. TRENCH BACKFILL SHALL BE PAID FOR BY THE CONTRACTOR. NO SIDE YARD WATER SERVICES WILL BE ALLOWED. SERVICE TO BE ONE CONTINUOUS SECTION OF COPPER. (NO SPLICES)
22. SANITARY SEWER STRUCTURES SHALL BE ASSEMBLED AND ADAPTED USING BUTYL RUBBER JOINT SEALANT SHOWN ON THE PLANS AND MEETING THE APPROVAL OF THE MUNICIPALITY.
23. ALL PRE HYDRANTS SHALL BE WUELLER CANTON A, 433 (0 1/2" BARREL) ALL WUELLER VALVES & HARDWARE AUXILIARY VALVE GATE VALVE NO. A 2370 MODIFIED WEDGE RESILIENT SEAT.
24. ALL WATERMANS SHALL BE PRESSURE TESTED AND BACKFILLED IN ACCORDANCE WITH STANDARDS AND PROCEDURES MEETING THE APPROVAL OF THE MUNICIPALITY.
25. GRANULAR TRENCH BACKFILL SHALL BE USED IN ALL LOCATIONS WHERE THE PROPOSED UNDERGROUND UTILITY IS TO BE CONSTRUCTED UNDER PERMANENT TYPE PAVEMENTS OR EXISTING PAVEMENTS. IN ANY UTILITY TRENCH OVER WHICH ANOTHER UTILITY WILL PASS, OR AS DIRECTED BY THE ENGINEER, THE PERMANENT TYPE PAVEMENT SHALL BE TWO (2) FEET ON EACH SIDE OF THE PERMANENT TYPE SURFACE, AS MEASURED AT THE LOWEST POINT OF THE PERMANENT TYPE PAVEMENT. MATERIAL MAY BE USED WITH THE GEOTECHNICAL CONSULTANT'S APPROVAL, FOR ANY PRIVATE IMPROVEMENTS.

SANITARY SEWER, STORM SEWER, WATERMAIN (CONT.)

25. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS WHERE NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAID IN FULL FOR ALL DEBRIS REMOVED AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS SHALL BE MAINTAINED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. NO PAYMENT WILL BE MADE FOR EXISTING STRUCTURES OR SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT.
26. WHERE DUCTILE IRON PIPE IS INDICATED ON THE PLANS FOR WATERMAIN AND/OR SANITARY SEWER, IT SHALL BE ENCASED IN POLYETHYLENE FILM IN ACCORDANCE WITH AWWA C-105-82.
27. TRENCH BACKFILL WILL BE PAID FOR IN ACCORDANCE WITH THE 1997 EDITION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
28. ALL PUBLIC SANITARY SEWERS TWELVE INCHES (12") OR LESS IN DIAMETER WILL BE INSPECTED BY THE ENGINEER, AT HIS EXPENSE, UNDER THE SUPERVISION OF THE MUNICIPAL ENGINEER, OR HIS AUTHORIZED REPRESENTATIVE. ONE COPY OF THE REPORT SHALL BE FORWARDED TO THE MUNICIPAL ENGINEER, AN INFILTRATION TEST WILL BE ALLOWED IF IT CAN BE SHOWN AT THE TIME OF THE TEST THAT THE WATER TABLE IS ABOVE THE TOP OF THE PIPE. (SEE TEST PROCEDURE SECTION).
29. CONNECTION TO EXISTING STORM SEWER STRUCTURES SHALL BE DONE BY CORING THE CONCRETE BARREL SECTION.
30. ALL TWELVE INCH (12") STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-778 (CLASS IV). ALL FIFTEEN INCH (15") PIPES AND LARGER SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-778 (CLASS IV). ALL STORM SEWERS MUST HAVE GASKETED JOINTS CONFORMING TO ASTM C-443 REQUIREMENTS.
31. ALL EXISTING WELLS TO BE CAPPED AND ABANDONED IN ACCORDANCE WITH COUNTY HEALTH STANDARDS.
32. ALL SANITARY SEWER SHALL BE TESTED IN ACCORDANCE WITH SECTION 31-111 OF THE "STANDARD SPECIFICATION FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS". IN ADDITION ALL MANHOLES SHALL BE VAQUUM TESTED IN ACCORDANCE WITH ASTM 1224-83.

PROTECTION OF WATERMAIN AND WATER SERVICE LINES

WATERMANS AND WATER SERVICE LINES SHALL BE PROTECTED FROM SANITARY SEWERS, STORM SEWERS, COMBINED SEWERS, HOUSE SEWER SERVICE CONNECTIONS AND DRAINS AS FOLLOWS:

- A) WATERMANS:
 - 1) HORIZONTAL SEPARATION:
 - a) WATERMANS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER OR SEWER SERVICE CONNECTION.
 - b) WATERMANS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN:
 - i) LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET.
 - ii) THE WATERMAIN INVERT IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND
 - iii) THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SLOPE LOCATED TO ONE SIDE OF THE SEWER.
 - 2) BOTH THE WATERMAIN AND DRAIN OR SLEEPER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT DUCTILE IRON PIPE. PRESTRESSED CONCRETE PIPE OR PVC PIPE MEETING WATERMAIN STANDARDS WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
- B) VERTICAL SEPARATION:
 - a) A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHEREVER WATERMANS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUITIDISTANT FROM THE SEWER OR DRAIN.
 - b) THE DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, (STORM SEWER ONLY), OR WATERMAIN QUALITY PIPE AND PRESSURE TESTED. THE DRAIN OR SEWER SHALL BE SLEEVED WITH STEEL PIPE OR CONSTRUCTED OF REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76 WITH GASKETED JOINTS CONFORMING TO ASTM C-361 (CLOW, AMERICAN, U.S. OR EQUAL). A DISTANCE OF 10 FEET EITHER SIDE OF THE CONTACT.
 - i) IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (A) ABOVE; OR
 - ii) THE WATERMAIN PASSES UNDER A SEWER, SEWER SERVICE OR DRAIN.

SANITARY SEWER, STORM SEWER, WATERMAIN (CONT.)

- C) A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHEREVER A DRAIN OR SEWER SERVICE OR DRAIN LINES TO PREVENT SETTLING AND BREAKING OF THE WATERMAIN.
 - D) CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.
 - E) WHENEVER WATERMAIN QUALITY PVC SDR 26 PIPE IS REQUIRED, THE PIPE SHALL CONFORM TO ASTM D-2241 WITH JOINTS CONFORMING TO ASTM D-1139 FOR A MINIMUM OF 10 FEET EITHER SIDE OF THE CROSSING.
- B) WATER SERVICE LINES:
 - 1) THE HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATER SERVICE LINES AND ALL STORM SEWERS, SANITARY SEWER, COMBINED SEWERS OR ANY DRAIN OR SEWER SERVICE CONNECTION SHALL BE THE SAME AS WATER MAIN SEPARATION DESCRIBED IN (A) ABOVE.
 - 2) WATER PIPE DESCRIBED IN (A) ABOVE SHALL BE USED FOR SEWER SERVICE LINES WHEN MINIMUM HORIZONTAL AND VERTICAL SEPARATION CANNOT BE MAINTAINED.
 - C) SPECIAL CONDITIONS – ALTERNATE SOLUTIONS SHALL BE PRESENTED TO THE AGENCY WHEN EXTREME TOPOGRAPHICAL, GEOLOGICAL OR EXISTING STRUCTURAL CONDITIONS MAKE STRICT COMPLIANCE WITH (A) AND (B) ABOVE TECHNICALLY AND ECONOMICALLY IMPRACTICAL. ALTERNATE SOLUTIONS WILL BE APPROVED PROVIDED WATER/TIGHT CONSTRUCTION STRUCTURALLY EQUIVALENT TO APPROVED WATERMAIN MATERIAL IS PROPOSED.
 - D) WATERMANS SHALL BE SEPARATED FROM SEPTIC TANKS, DISPOSAL, FILLING AND SERVICE EDDS BY A MINIMUM OF 25 FEET.
 - E) WATERMANS AND WATER SERVICE LINES SHALL BE PROTECTED AGAINST ENTRANCE OF HYDROCARBONS THROUGH INFILTRATION THROUGH ANY MATERIAL USED IN CONSTRUCTION OF THE LINE.

SANITARY SEWER PIPE SPECIFICATIONS

- A) WATER AND SEWER REGULATIONS
 - 1) THE BUILDING SEWER SHALL BE EITHER OF THE FOLLOWING:
 - i) PVC PLASTIC SEWER PIPE AND FITTINGS OF SIZES 4-INCH THROUGH 15-INCH SHALL CONFORM TO THE LATEST REVISED SPECIFICATION REQUIREMENTS OF ASTM D3034 FOR TYPE PSM POLYVINYL CHLORIDE (PVC) SEWER PIPE AND FITTINGS OF MINIMUM WALL THICKNESS 50W 26, AND THE JOINTS SHALL BE EITHER THE SOLVENT WELD TYPE CONFORMING TO THE LATEST REVISED SPECIFICATION REQUIREMENTS OF ASTM D2556, OR ELASTOMERIC GASKET TYPE CONFORMING TO THE LATEST REVISED AND AS SPECIFICATION REQUIREMENTS OF ASTM D1969 AND ASTM D3212. A THICKER WALLED PIPE MAY BE SPECIFIED BY THE ENGINEER DEPENDING ON DESIGN AND/OR FIELD CONDITIONS. PVC PLASTIC SEWER PIPE AND FITTINGS OF SIZES 18-INCH THROUGH 36-INCH SHALL CONFORM TO THE LATEST REVISED SPECIFICATION REQUIREMENTS OF ASTM F879 FOR POLYVINYL CHLORIDE (PVC) LARGE DIAMETER PLASTIC GRAVITY SEWER PIPE AND FITTINGS OF MINIMUM WALL THICKNESS 71, OR ASTM F796 FOR SERIES 46 POLYETHYLENE (PE) LARGE DIAMETER RIBBED GRAVITY SEWER PIPE AND FITTINGS WITH INTEGRAL BELL-GASKETED JOINTS AND ELASTOMERIC GASKETS TO FORM A WATER-TIGHT SEAL CONFORMING TO THE LATEST REVISED SPECIFICATION REQUIREMENTS OF ASTM F477 OR ASTM D3212. PIPE AND FITTINGS SHALL BE THE PRODUCTS OF APPROVED MANUFACTURERS ONLY, AND THESE SHALL NOT BE ANY MIMING OF PIPE AND FITTINGS OF DIFFERENT MANUFACTURERS. THE HANDLING AND INSTALLATION OF PIPE ASSEMBLY JOINTS AND MANHOLE CONNECTIONS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - ii) GASKET TYPE WATERSTOP COLLARS CONSISTING OF A NEOPRENE COLLAR AND A STAINLESS STEEL BAND OR OTHER APPROVED MANHOLE WATERSTOP SHALL BE INSTALLED WHEREVER THE PIPE PASSES THROUGH THE MANHOLE WALLS TO PROVIDE A WATER-TIGHT JOINT TO PROHIBIT INFILTRATION INTO THE SEWER SYSTEM.
 - 2) INSTALLATION OF PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE INSTALLATION OF PVC PIPE LATEST REVISED SPECIFICATION REQUIREMENTS OF ASTM D3201 USING EITHER COMPACTED CLASS 1 OR CLASS II GRANULAR EMBEDMENT MATERIALS FOR BEDDING, HANDBLING AND INITIAL BACKFILL OF 12 INCHES OVER THE TOP OF PIPE TO PROVIDE THE NECESSARY SUPPORT FOR THE PIPE SO THAT THE MAXIMUM DEFLECTION DOES NOT EXCEED FIVE PERCENT (5%) OF THE PIPES ORIGINAL INTERNAL DIAMETER.
- B) THE CONTRACTOR SHALL PROVIDE THE NECESSARY TOOLS AND EQUIPMENT AND PERFORM THE WORK NECESSARY TO TEST THE DEFLECTION IN THE INITIAL 1,200 FEET OF INSTALLED SEWER AND NOT LESS THAN TEN PERCENT (10%) OF THE REMAINDER OF THE SEWER PROJECT AT RANDOM LOCATIONS SELECTED BY THE ENGINEER NO SOONER THAN 30 DAYS AFTER BACKFILLING HAS BEEN COMPLETED. IN THE EVENT THAT DEFLECTION EXCEEDS THE MAXIMUM LIMIT OF FIVE PERCENT (5%) OF THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEFLECTION TESTING. SAID TEST SHALL CONSIST OF EITHER A MANDREL OR ROAD BALL HAVING A DIAMETER EQUAL TO NINETY PERCENT (90%) OF THE PIPE AND THE TEST SHALL BE PERFORMED WITHOUT USING MECHANICAL OR AN EXPLODED, THE CONTRACTOR SHALL PULLING DEVICES. WHEREVER THE DEFLECTION LIMITS UNDER THE PIPE, CAREFULLY REPEL, COMPACTED EMBEDMENT AND BACKFILL MATERIAL, AND RETEST FOR DEFLECTION.
2. CAST IRON SOIL PIPE SERVICE WEIGHT CAST IRON SOIL PIPE AND FITTINGS CONFORMING C.I.S.P.I. SPECIFICATION HS-67 WITH COMPRESSIVE-TYPE RUBBER GASKET JOINTS CONFORMING TO ASTM SPECIFICATION C564, OR OTHER SUITABLE MATERIALS APPROVED BY THE MUNICIPAL ENGINEER.

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CONSTRUCTION SPECIFICATIONS – GENERAL NOTES

CRYSTAL LOFT CONDOMINIUMS

FILE NAME: GENNOTES	DSGN. BY: RWB	JOB NO: 904,264	FLD. BK./PG.: ---	SHEET NO. 03 of 25
DIR: 904264	DRN. BY: RDS	DATE: 08-13-18	SCALE: 1" = N.T.S.	

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160 EAST GRAND SUITE 300
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PREPARED BY:

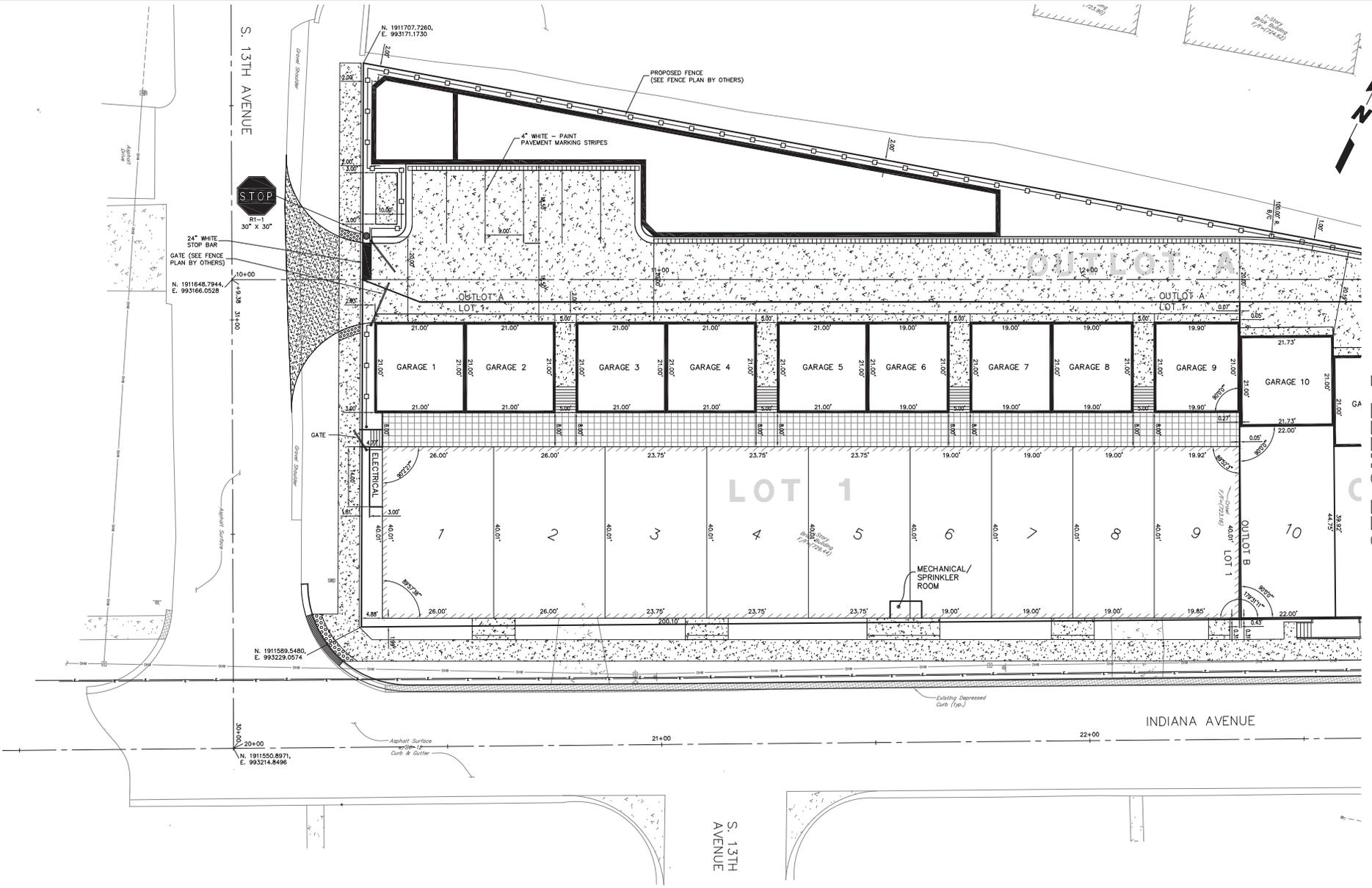
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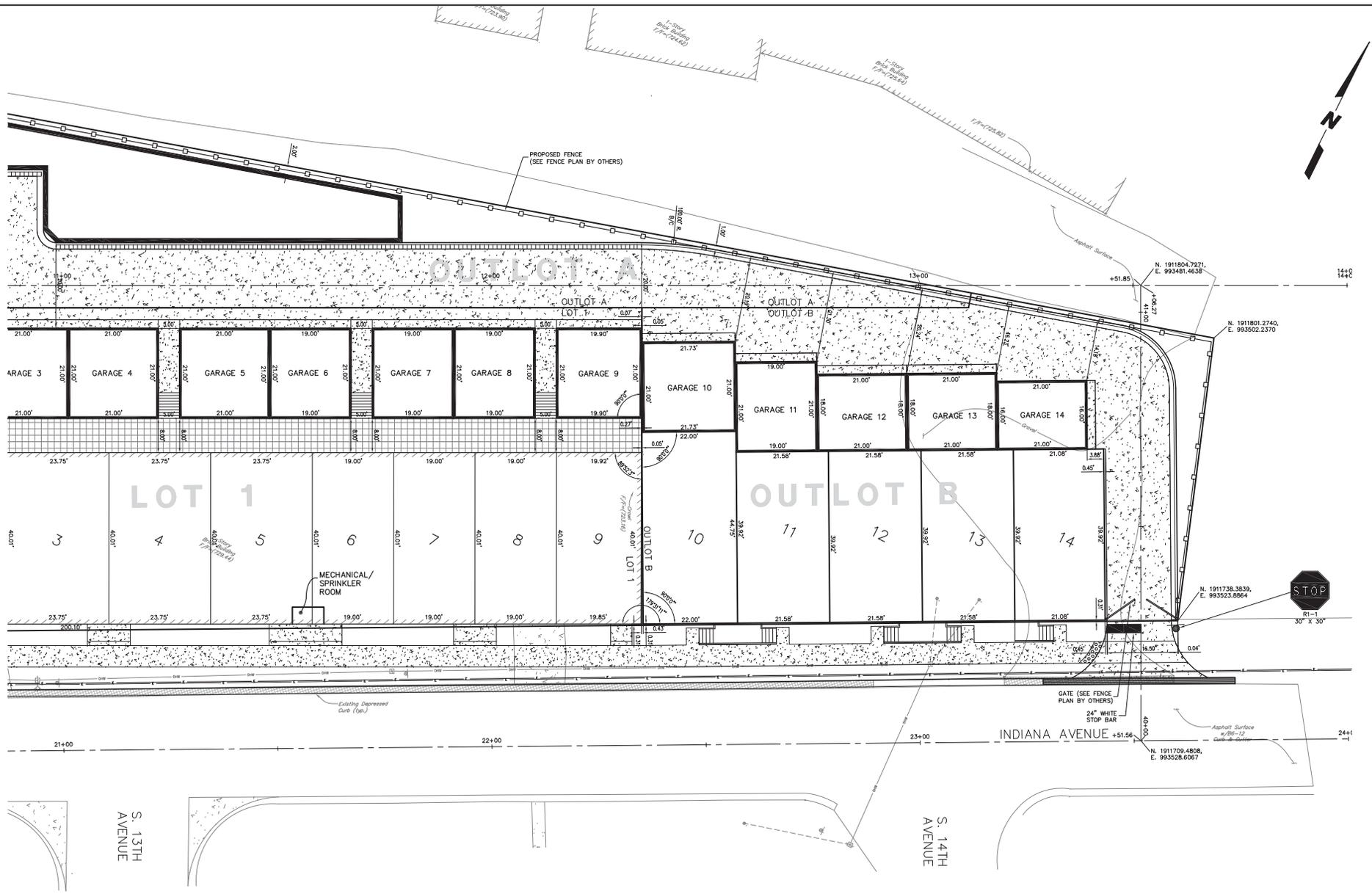
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GEOMETRIC- STRIPING-SIGNAGE PLAN
CRYSTAL LOFT CONDOMINIUMS

FILE NAME: GEO	DSGN. BY: RWB	JOB NO.: 904.264	FLD. BK./PG.: ---	SHEET NO. 04 of 25
DIR: 904264	DRN. BY: RDS	DATE: 08-13-18	SCALE: 1" = 20'	

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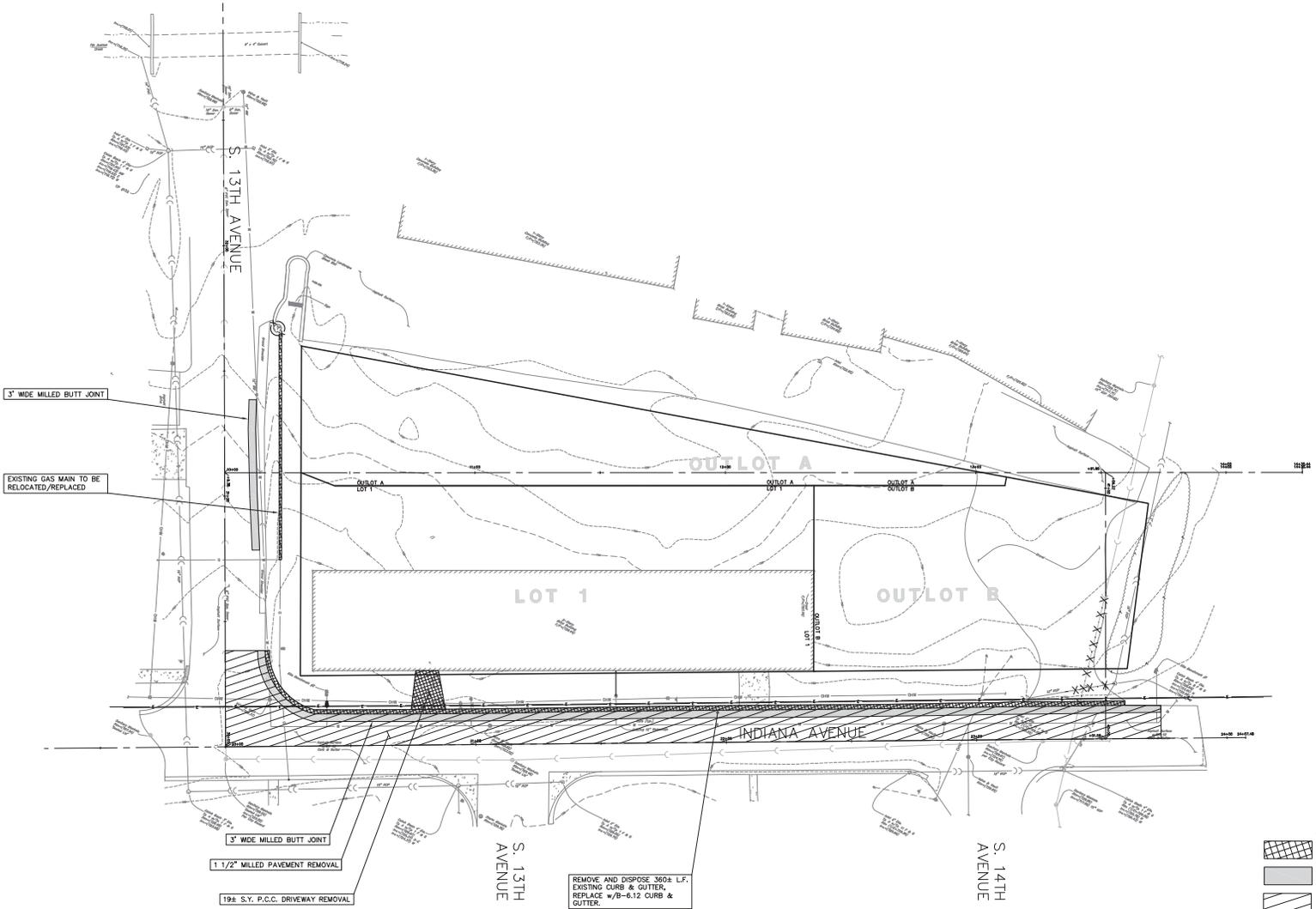


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GEOMETRIC-STRIPING-SIGNAGE PLAN
CRYSTAL LOFT CONDOMINIUMS
 FILE NAME: GEO DSGN. BY: RWB JOB NO.: 904.264 FLD. BK./PG.: ---
 DIR: 904264 DRN. BY: RDS DATE: 08-13-18 SCALE: 1" = 20'
 SHEET NO. **05 of 25**

PLOT FILE CREATED: 8/13/2018 8:49 AM BY: JET, CEBULA DRAWING LAST SAVER: 8/9/2018 1:58 PM BY: RDO, DRAWING PATH: P:\WORK\41030\030\030\ADMIN\5\FINAL\CRMTING\UTILITY.DWG



- LEGEND**
- CONCRETE CURB AND GUTTER TO BE REMOVED
 - 2" THICK BY 3' WIDE MMA MILLED BUTT JOINT
 - 1 1/2" MMA MILLED PAVEMENT REMOVAL
 - UTILITY TO BE REMOVED
 - EXISTING TREE TO BE REMOVED
 - EXISTING TREE, WITH TREE PROTECTION FENCE, TO BE PRESERVED IN AS GOOD CONDITION. SEE LANDSCAPE PLANS FOR FURTHER INFORMATION.

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DEMOLITION PLAN				
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FILE NAME: UTILITY	DSGN. BY: RWB	JOB NO.: 904.264	FLD. BK./PG.: ---	SHEET NO. 06 of 25
DIR: 904264	DRN. BY: RDS	DATE: 08-13-18	SCALE: 1" = 20'	

SEDIMENT AND EROSION CONTROL DURING CONSTRUCTION

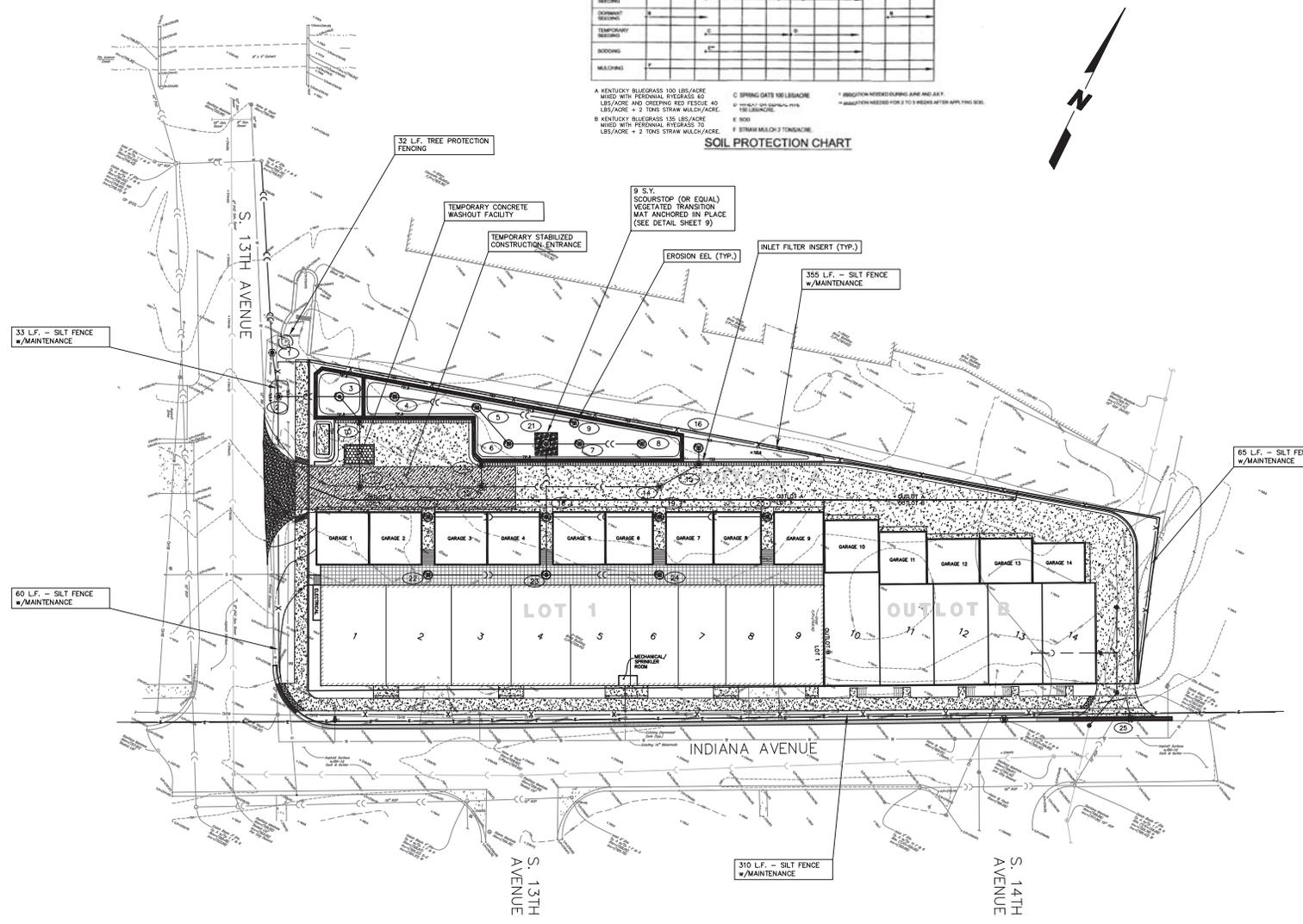
STANDARDS:
 THE FOLLOWING PUBLICATIONS WILL BE USED AS A GUIDE FOR THE IMPLEMENTATION OF SOIL EROSION AND SEDIMENT CONTROL (1987):
 ILLINOIS ENVIRONMENTAL PROTECTION AGENCY STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (1987)
 PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS (OCT. 1987)
 URBAN COMMITTEE OF THE ASSOCIATION OF ILLINOIS SOIL AND WATER CONSERVATION DISTRICTS: PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS (JULY 1988)

- REQUIREMENTS:**
1. SEDIMENT AND EROSION CONTROL SPECIFIED ON THE PLANS WILL BE FUNCTIONAL BEFORE ANY EARTHWORK OPERATIONS COMMENCE OR BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE.
 2. STOCKPILES OF EARTH MATERIAL WILL BE PLACED AT LOCATIONS AS INDICATED ON THE PLANS. A SILT FENCE WILL BE PLACED AROUND THE BASE OF THE STOCKPILE WHERE INDICATED. STOCKPILES OF SOIL SHALL NOT BE LOCATED IN SPECIAL MANAGEMENT AREAS.
 3. SHOULD THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER RUNOFF TEMPORARILY INCREASE DURING CONSTRUCTION, THEN ADDITIONAL MEASURES TO PROTECT ADJACENT PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM SHALL BE UNDERTAKEN.
 4. STORM SEWER INLETS SHALL BE PROTECTED BY SILT FENCE INLET PROTECTORS FOLLOWING INSTALLATION.
 5. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING WILL BE FILTERED.
 6. VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A GRAVEL DRIVE, SAID GRAVEL DRIVE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS ABOVE THE TOP OF FOUNDATION.
 7. THE DESIGNATED CONSTRUCTION ACCESS ROAD WILL BE MAINTAINED WITH CONNECTION TO ADJACENT PUBLIC ROADWAY. THIS ACCESS ROAD WILL BE UTILIZED AS A VEHICLE WASH-DOWN AREA TO PREVENT A DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ADJACENT ROADWAYS WILL BE SWEEP OR CLEANED OF SOIL, MUD, DEBRIS OR EXTRANEOUS MATERIALS AS NECESSARY BEFORE THE END OF EACH WORKDAY.
 8. ALL CONTROL MEASURES NECESSARY WILL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGH THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT EROSION CONTROL IS OPERATIONAL.
 9. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.

STABILIZATION TYPE	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
PERMANENT SEEDING												
CONCRETE SEEDING												
TEMPORARY SEEDING												
WOODING												
MULCHING												

SOIL PROTECTION CHART

A KENTUCKY BLUEGRASS 100 LBS/ACRE MIXED WITH PERENNIAL RyEGRASS 60 LBS/ACRE AND CRESTED RED TOPSOE 40 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
 B KENTUCKY BLUEGRASS 125 LBS/ACRE MIXED WITH PERENNIAL RyEGRASS 70 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
 C SPRING GRASS 100 LBS/ACRE
 D STRAW MULCH 2 TONS/ACRE
 E 1000
 F 1000
 G 1000
 H 1000
 I 1000
 J 1000
 K 1000
 L 1000
 M 1000
 N 1000
 O 1000
 P 1000
 Q 1000
 R 1000
 S 1000
 T 1000
 U 1000
 V 1000
 W 1000
 X 1000
 Y 1000
 Z 1000



LEGEND

EXISTING	PROPOSED	DESCRIPTION
	○	MANHOLE
	●	CATCH BASIN
	○	INLET
	□	GRABBOX
	□	GRAB INLET BOX
	□	HEADWALL
	□	END SECTION
	□	STORM SEWER
	○	INLET OR MANHOLE FILTER INSERT
	○	1/2' EROSION EEL
	○	ENERGY DISSIPATOR
	△	TRIANGULAR SILT DIKE w/MAINTENANCE
	○	SINGLE ROW SILT FENCE WITH MAINTENANCE
	□	DUAL ROW SILT FENCE WITH MAINTENANCE
	○	TREE TO BE REMOVED
	○	TREE PROTECTIVE FENCING
	□	STABILIZED CONSTRUCTION ENTRANCE
	□	SCOUR MAT
	□	TEMPORARY CONCRETE WASHOUT FACILITY
	→	OVERLAND FLOOD ROUTE

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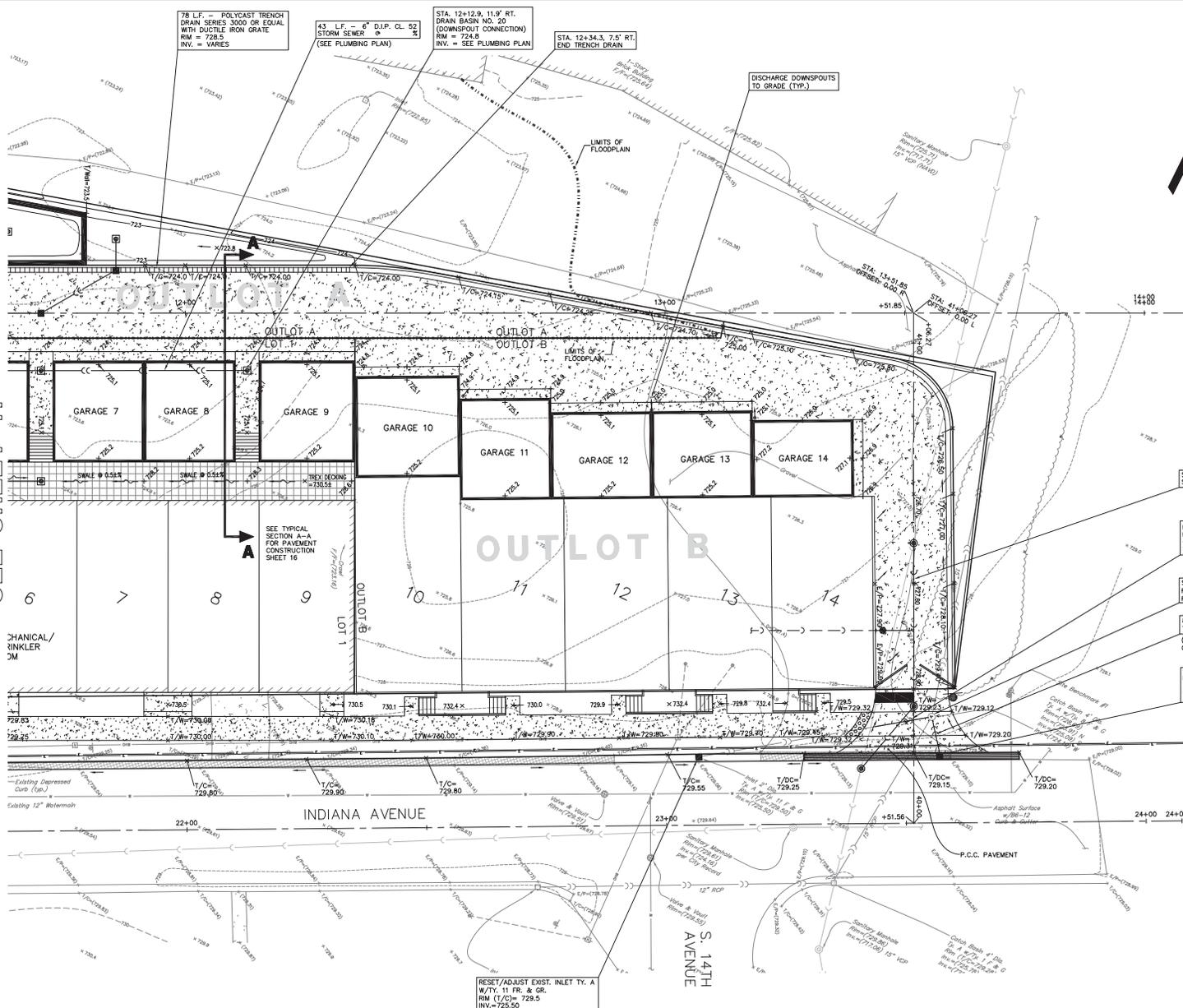
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STORMWATER POLLUTION PREVENTION PLAN
CRYSTAL LOFT CONDOMINIUMS

FILE NAME: SOLOERO	DSGN. BY: RWB	JOB NO.: 904,264	FLD. BK./PG.: ---	SHEET NO.
DIR: 904264	DRN. BY: RDS	DATE: 08-13-18	SCALE: 1" = 20'	08 of 25

PLOT FILE CREATED: 8/13/2018 8:49 AM BY: JET. CEBULA DRAWING LAST SAVER: 8/13/2018 8:38 AM BY: CHASE DRAWING PATH: P:\042824\CRD\INDUSTRIAL\DRAWINGS\GRADING

SEE SHEET 11



DRAINAGE & GRADING NOTES

1. ELEVATIONS SHOWN FOR ALL CURB INLETS, CATCH BASINS, AND MANHOLES ARE TOP OF CURB.
2. ALL CURBS SHALL BE BACKFILLED TO WITHIN 6 INCHES OF THE TOP OF CURB.
3. ALL BACK YARD SWALES SHALL BE CUT OR FILLED 6 INCHES BELOW FINISHED GRADE.
4. EXISTING DRAINAGE TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE PRESERVED OR REPAIRED IN ACCORDANCE WITH SPECIFICATION (SEE SHEET 2).
5. T/F - INDICATES PROPOSED TOP OF FOUNDATION ELEVATIONS AND THE LOWEST OPENING IN A CONVENTIONAL FOUNDATION WHERE SURFACE RUNOFF CAN ENTER THE FOUNDATION.
6. THE TOP OF WINDOW WELLS SHALL BE CONSTRUCTED NO LOWER THAN THE TOP OF FOUNDATION ELEVATION (T/F).
7. THE FINISHED TOPSOIL ELEVATION AT THE FOUNDATION SHOULD GENERALLY BE 0.7 FEET BELOW THE TOP OF FOUNDATION ELEVATION UNLESS INDICATED OTHERWISE.
8. G/F - INDICATES THE PROPOSED GARAGE FLOOR ELEVATION. THE PLACEMENT OF THE GARAGE / DRIVEWAY IS CRITICAL WHEN AND WHERE SHOWN ON THIS PLAN. IT IS MANDATORY THAT THE GARAGE BE CONSTRUCTED ON THE SIDE INDICATED.
9. L.O. OR W.O. - INDICATED THOSE LOTS WHERE A "LOOK-OUT" (L.O.) OR "WALK-OUT" (W.O.) BASEMENT CAN BE CONSTRUCTED. THE REQUIRED ELEVATION OF THE LOWEST FOUNDATION OPENING IS GIVEN. IF A LOOK-OUT OR WALK-OUT BASEMENT IS NOT DESIRED, A DETAILED GRADING PLAN OF THE ALTERNATE DESIGN MUST BE SUBMITTED TO THE GOVERNING AUTHORITY.
10.  - ACCENTED SIDES OF PROPOSED HOUSE FOUNDATIONS ARE INTENDED TO INDICATE THE APPROXIMATE LOCATION WHERE A LOOK-OUT OR WALK-OUT BASEMENT MAY BE CONSTRUCTED OR TO INDICATE THAT SPECIAL CONSTRUCTION MEASURES MUST BE EMPLOYED IN ORDER TO MINIMIZE SIDE YARD REAR YARD AND / OR FRONT YARD GRADIENTS (E.G. DROPPED SIDING, STEPPED FOUNDATION, RETAINING WALL, ETC.) - SEE NOTES ABOVE FOR FURTHER DETAILS.
11. LOT DIMENSIONS SHOWN ON THIS PLAN MAY NOT NECESSARILY CORRESPOND TO THE PLATTED DIMENSIONS. REFER TO THE FINAL RECORDED PLAT OF SUBDIVISION.
12.  - WATERMAIN PROTECTION (SEE SHEETS 2 & 3 FOR DETAILS).
13.  - INDICATES THE LOCATION AND DIRECTION OF AN OVERLAND FLOOD ROUTE THAT MUST BE RESPECTED IN ALL FINAL GRADING OPERATIONS (SEE DETAIL).
14.  - DENOTES AREA WHERE GRANULAR TRENCH BACKFILL IS REQUIRED.
15. (ELEV.) - INDICATES EXISTING ELEVATION.
16.  - DENOTES EXISTING UTILITY TO BE REMOVED.
17. ALL REAR YARD STORM SEWERS ARE TO BE OFFSET 5 FEET FROM LOT LINE UNLESS OTHERWISE NOTED.
18.  - INDICATES DRIVEWAY LOCATION.
19.  - INDICATES PVC SUMP DRAIN CONDUIT.
20.  - INDICATES LIMITS OF FLOODPLAIN.

SEE SHEET 14 FOR SANITARY SEWER

REMOVE 12" L.F. EXISTING 12" R.C.P. STORM SEWER, REPLACE w/12" L.F. OF NEW 12" R.C.P. T.Y. 2 STORM SEWER

SALVAGE T.Y. 8 FR. & GR. REPLACE w/T.Y. 1 FR. & O.L. RM ADJUST = 729.2 (MEET WALK)

8" L.F. - 12" R.C.P. T.Y. 2 @ 18.8% (CONNECT TO EXISTING CATCH BASIN INV=724.08)

STA. 23+57.0, 14.8' LT. (B/C) INLET NO. 25 T.Y. A w/T.Y. 12 FR. & GR. RM = 729.10 T/DC INV. = 729.50

RESET/ADJUST EXIST. INLET T.Y. A W/T.Y. 11 FR. & GR. RM (T/DC) = 729.5 INV. = 728.50

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PREPARED FOR:
FUNKE ARCHITECTS
 160 EAST GRAND SUITE 300
 CHICAGO ILLINOIS, 60611
 (312) 344-1151



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REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

DRAINAGE AND GRADING PLAN				
CRYSTAL LOFT CONDOMINIUMS				
FILE NAME: GRADE	DSGN. BY: RWB	JOB NO.: 904264	FLD. BK./PG.: ---	SHEET NO. 12 of 25
DIR: 904264	DRN. BY: RDS	DATE: 08-13-18	SCALE: 1" = 10'	

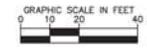
PLANT SCHEDULE

SHADE TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DIAL	SIZE
	OK	4	GYMNOCLADUS DIOICA	KENTUCKY COFFEE TREE	8 & B	2.5" CAL MIN	SINGLE STEM

ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	PH	42	PANICUM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	1 GAL	24" DC	

PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	EA	83	ECHINACEA PURPUREA 'ALBA'	WHITE CONEFLOWER	1 GAL	18" DC

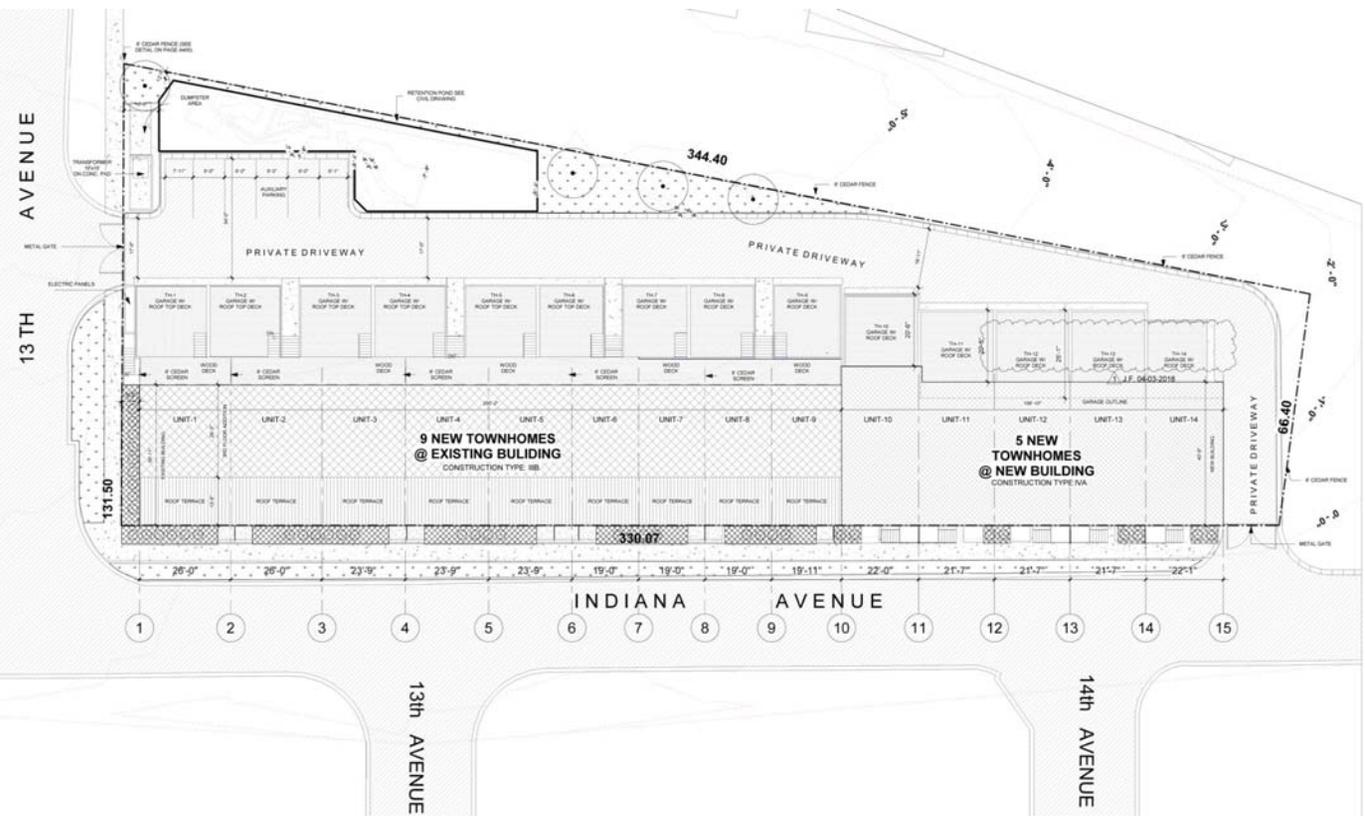
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	-2	---	SOD
	DS	---	DECORATIVE STONE MAINTENANCE STRIP



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S 13TH AVENUE

ST. CHARLES, IL 60174



LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
4. ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
5. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
6. AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
7. PLANTING AREA SOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
8. SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SOD ALL AREAS WHICH ARE DISTURBED BY GRADING AND CONSTRUCTION.
9. CONTRACTOR SHALL INSTALL SHREDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM THREE RING WITH 3" DEPTH SHREDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
10. WEED FABRIC SHALL ONLY BE APPLIED UNDER DECORATIVE STONE APPLICATIONS.
11. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
12. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
13. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
14. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.



I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY PERSONAL SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, CONFORM WITH ALL PERTINENT CITY OF CHICAGO CODES AND ORDINANCES

DATE	REMARKS

SHEET Name
LANDSCAPE PLAN
SHEET No.

L1.0



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S 13TH AVENUE

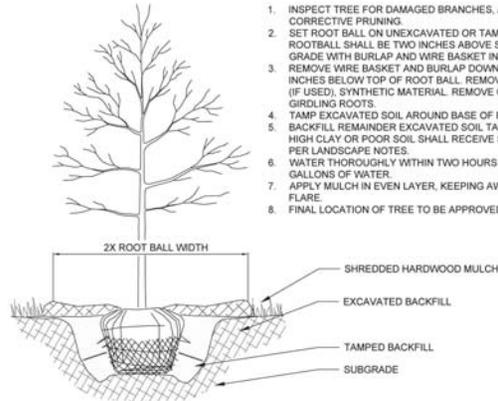
ST. CHARLES, IL 60174



I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY PERSONAL SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, CONFORM WITH ALL PERTINENT CITY OF CHICAGO CODES AND ORDINANCES

NOTES:

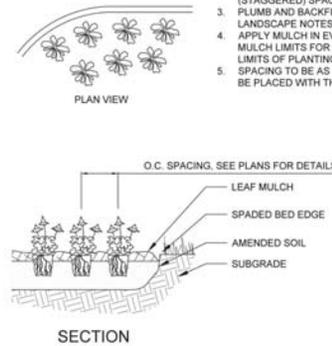
1. INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
5. BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



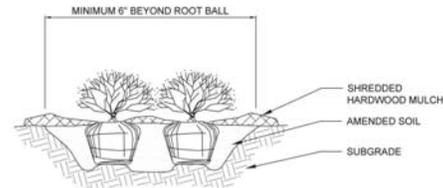
1 TREE PLANTING NTS

NOTES:

1. EXCAVATE PLANTING BED.
2. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
3. REMOVE CONTAINER, SCORE SOIL MASS TO REDIRECT AND PREVENT CIRCLING ROOTS. CORRECT GIRDLING ROOTS.
4. PLANT MATERIAL SHALL BE LAID OUT BY FOLLOWING THE BED EDGE, WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS PLAUSIBLE.
5. PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS/GROUND COVER EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.
7. SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.



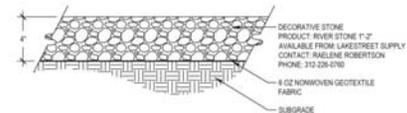
3 PERENNIAL PLANTING NTS



NOTES:

1. APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
4. REMOVE OR CORRECT GIRDLING ROOTS.
5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.

2 SHRUB PLANTING NTS



4 DECORATIVE STONE MAINTENANCE STRIP NTS

DATE	REMARKS

SHEET Name
 LANDSCAPE
 DETAILS
 SHEET No.

L2.0



ARIAL PHOTO

NOTICE TO CONTRACTOR:
 1. THE ARCHITECT OF RECORD IS PROVIDING PLANS ONLY. NO OTHER TYPE OF ARCHITECTURAL SERVICE IS INTENDED OR IMPLIED. THESE PLANS ARE TO BE USED BY A COMPETENT LICENSED CONTRACTOR KNOWLEDGEABLE IN THE BUILDING TRADES, WHO WILL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AND BE RESPONSIBLE FOR THEM.
 2. ADMINISTRATION OF THE CONTRACT WILL BE BY OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR AND THE OWNER SHALL BE SOLELY RESPONSIBLE FOR THE BUILDING CONSTRUCTION PROCESS MEANS AND METHODS AND JOBSITE SAFETY.
 3. THE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT, THE DIMENSIONS OF THE BUILDING, MAJOR ARCHITECTURAL ELEMENTS, AND TYPE OF STRUCTURAL SYSTEM. THE DRAWINGS DO NOT DESCRIBE ALL THE WORK REQUIRED FOR SUCCESSFULLY COMPLETING THE PROJECT. BASED ON THE DRAWINGS, THE CONTRACTOR MUST FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
 4. DECISIONS OF THE ARCHITECT REGARDING THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THIS DOCUMENT WILL BE FINAL AND BINDING ON THE CONTRACTOR AND THE OWNER.
 5. THE CONTRACTOR MUST THOROUGHLY EXAMINE THE DRAWINGS TO DETERMINE THE SCOPE AND THE INTENT OF THESE DOCUMENTS AND DRAWINGS. THE CONTRACTOR MUST VISIT THE SITE AND BECOME INFORMED OF ALL EXISTING CONDITIONS, DIMENSIONS AND LIMITATIONS UNDER WHICH THE WORK IS TO BE PERFORMED. IF ANY DISCREPANCIES OR OMISSIONS ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE ARCHITECT AND OBTAIN CLARIFICATIONS BEFORE SUBMITTING HIS BID. FAILURE TO GIVE NOTICE OR OBTAIN CLARIFICATION WILL NOT BE CAUSE FOR ADDITIONAL COMPENSATION.
 6. THE CONTRACTOR MUST FURNISH SKILLED LABOR, MATERIALS, EQUIPMENT, APPLIANCES AND SERVICES, AND PERFORM ALL OPERATIONS NECESSARY TO COMPLETE THE WORK IN A SAFE AND WORKMANLIKE MANNER WITHIN THE OWNER'S SCHEDULE.
 7. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS - DO NOT SCALE DRAWINGS.
 8. ALL EXTERIOR DIMENSIONS ARE TO FACE OF BRICK OR CONCRETE.
 9. ALL MATERIALS AND EQUIPMENT MUST BE INSTALLED PER MANUFACTURER INSTRUCTIONS AND RECOMMENDATIONS, AND TO THE BEST INDUSTRY STANDARDS.
 10. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS GENERATED BY THE WORK. CLEAN UP IS REQUIRED ON DAILY BASIS.

CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

ENERGY CONSERVATION STATEMENT CERTIFICATION STATEMENT

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE ATTACHED PLANS FOR:

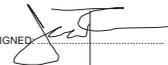
214 S 13TH STREET
 CHARLES, IL 60174

(x) FULLY COMPLY () NEED NOT COMPLY

WITH THE REQUIREMENTS OF 2015 INTERNATIONAL ENERGY CODE.

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF CONFORM TO THE CURRENT EDITION OF THE ST. CHARLES CITY BUILDING AND ZONING CODE.

SIGNED:  DATE: 08.23.2018

SIGNED:  DATE: 08.23.2018

APPLICABLE CODES:

- 2015 International Residential Code for One- and Two-Family Dwellings
- St. Charles Amendments to 2015 International Residential Code
- 2015 International Building Code
- St. Charles Amendments to 2015 International Building Code
- 2015 International Mechanical Code
- St. Charles Amendments to 2015 International Mechanical Code
- 2015 International Fuel Gas Code
- St. Charles Amendments to 2015 International Fuel Gas Code
- National Electric Code, NFPA No. 70, 2014 Edition
- St. Charles Amendments to 2014 National Electric Code
- Illinois State Plumbing Code, 2014
- St. Charles Amendments to State Plumbing Code, 2014
- 2015 International Fire Code
- St. Charles Amendments to 2015 International Fire Code
- 2015 International Energy Conservation Code
- Illinois Accessibility Code 1997
- NFPA Life Safety Code 101

OCCUPANCY TYPE: R-2
 CONSTRUCTION TYPE: IIIB EXISTING BUILDING
 IVA NEW BUILDING

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PROPOSED FIRST FLOOR PLAN @ exist. BUILDING	A112
PROPOSED SECOND FLOOR PLAN @ exist. BUILDING	A113
PROPOSED THIRD FLOOR PLAN @ exist. BUILDING	A114
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CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S
 13TH
 AVENUE

ST. CHARLES,
 IL 60174

OWNER:
 East Kezios,
 Carole Kezios
 1400 N. Halsted st.
 Chicago, IL 60642
 312-467-7407
 tsaal@greentransitions.com
 carole@athensperthouses.com



I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY PERSONAL SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, CONFORM WITH ALL PERTINENT CITY OF CHICAGO CODES AND ORDINANCES

DATE	REMARKS

SHEET Name

COVER PAGE

SHEET No.
A100



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S 13TH AVENUE

ST. CHARLES, IL 60174

OWNER:
East Kezios,
Carole Kezios
1400 N. Halsted st.
Chicago, IL 60642
312-467-7407
east@greattransitions.com
carole@athensperthouses.com



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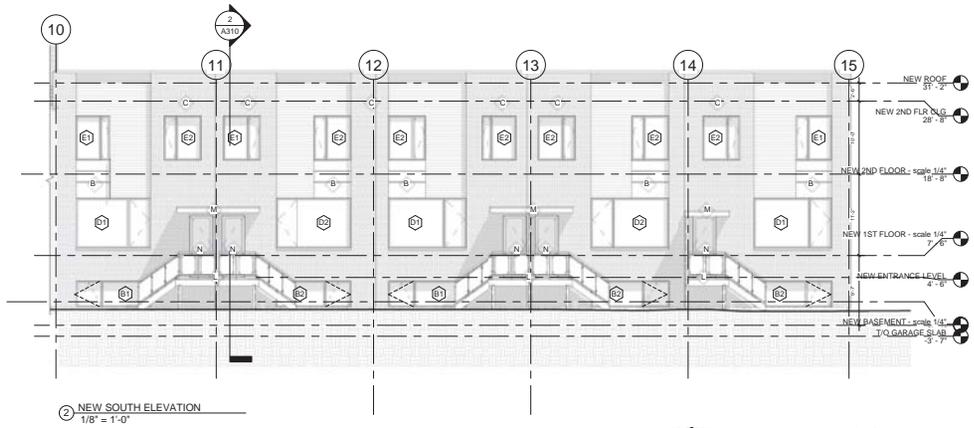
DATE	REMARKS

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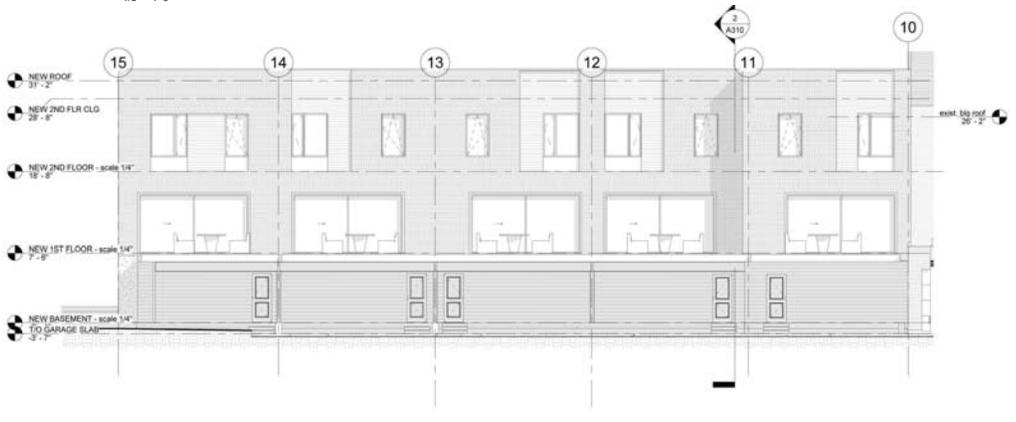
ELEVATIONS

SHEET No.

A201



2 NEW SOUTH ELEVATION
1/8" = 1'-0"



2 NEW NORTH NO GARAGE
1/8" = 1'-0"

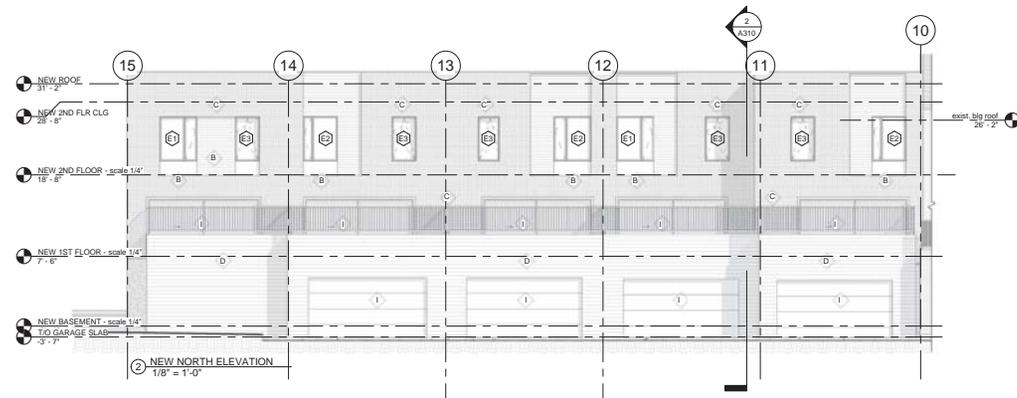
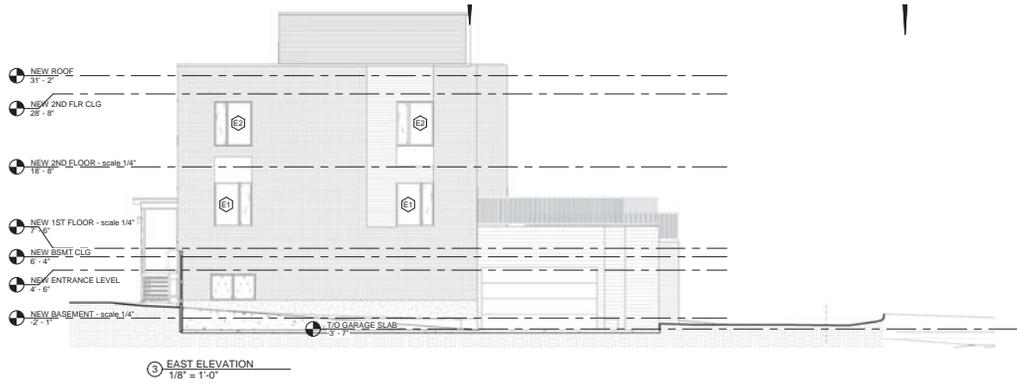
ELEVATION GENERAL NOTES:

PELLA 250 SERIES, OR EQUAL GLASS SIZES SHOWN ON ELEVATIONS TEMPERED GLAZING SHALL BE PROVIDED IN WINDOWS THAT MEET BOTH:
A. GLASS GREATER THAN 9 S.F. IN AREA.
EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
ALL OPERABLE WINDOWS FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5'20. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20".
ALL ROOF VENTS AND THROUGH ROOF MECHANICAL TO BE LOCATED @ REAR OF HOME AND PAINTED TO MATCH ROOF.
ALL D.S. LOCATIONS TO BE FILED VERIFIED WITH OWNER PRIOR TO INSTALLATION
PROVIDE COUNTER FLASHING, WHERE REQUIRED, INCLUDING ROOF TO WALL INTERSECTIONS, CHIMNEYS AND SADDLES 20 G.A. (MIN)
PROVIDE 26 G.A. (MIN) GALV. W-VALLEYS UNDERLAID WITH NO. 15 MIN. ROOFING FELT
PROVIDE COUNTER FLASHING DIAGONALLY ACROSS MASONRY. STEP AND REGGLED INTO THE MORTAR
NOTE: ALL WINDOWS BEING REPLACED MUST HAVE A U-FACTOR VALUE OF 0.32 OR LESS.
ALL EXISTING AND/OR NEW DOOR GLASS TO BE TEMPERED SAFETY GLASS

WINDOWS AND DOORS:
ALL WINDOW AND DOOR OPENINGS TO BE VERIFIED IN FIELD PRIOR TO ORDERING.

ELEVATION KEYNOTES

- A EXISTING COMMON BRICK (DEEP TUCK POINT EXISTING MASONRY WALL AND INSTALL LIMESTONE SILLS)
- B ALUMINUM PANEL
- C GLAZED BRICK
- D CORRUGATED METAL SIDING
- E TPO ROOFING SYSTEM
- F ALUMINUM INSULATED GARAGE DOOR
- G FOLDING DOOR SYSTEM
- J BELCONY RAILING
- K TIMBER TECH DECKING
- L FRONT DOOR STAIR
- M FRONT DOOR CANOPY
- N FRONT DOOR
- O BACKYARD CEDAR FENCE



ELEVATION KEYNOTES

- A EXISTING COMMON BRICK (DEEP TUCK POINT EXISTING MASONRY WALL AND INSTALL LIMESTONE SILLS)
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ELEVATION GENERAL NOTES:

TEMPERED GLAZING SHALL BE PROVIDED IN WINDOWS THAT MEET BOTH:
 A. GLASS GREATER THAN 9 S.F. IN AREA.
 B. DOWNWARD 2' AS WITHIN 14" OF THE E.D.C.P.
 EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR AND WINDOWS FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20".
 ALL ROOF VENTS AND THROUGH ROOF MECHANICAL TO BE LOCATED @ REAR OF HOME AND PAINTED TO MATCH ROOF.
 ALL D.S. LOCATIONS TO BE FILED VERIFIED WITH OWNER PRIOR TO INSTALLATION.
 PROVIDE COUNTER FLASHING, WHERE REQUIRED, INCLUDING ROOF TO WALL INTERSECTIONS, CHIMNEYS AND SADDLES 20 G.A. (MIN.)
 PROVIDE 26 G.A. (MIN.) GALV. W-VALLEYS UNDERLAD WITH NO. 15 MIN. ROOFING FELT
 PROVIDE COUNTER FLASHING DIAGONALLY ACROSS MASONRY. STEP AND REGGED INTO THE MORTAR.
 NOTE: ALL WINDOWS BEING REPLACED MUST HAVE A U-FACTOR VALUE OF 0.32 OR LESS.
 ALL EXISTING AND/OR NEW DOOR GLASS TO BE TEMPERED SAFETY GLASS.

WINDOWS AND DOORS:
 ALL WINDOW AND DOOR OPENINGS TO BE VERIFIED IN FIELD PRIOR TO ORDERING.



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S
13TH
AVENUE

ST. CHARLES,
IL 60174

OWNER:
 Basil Kezios,
 Carole Kezios,
 1400 N. Halsted st.
 Chicago, IL 60642
 312-867-7407
 bsail@greatentransitions.com
 carole@athensperthouses.com



I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY PERSONAL SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, CONFORM WITH ALL PERTINENT CITY OF CHICAGO CODES AND ORDINANCES

DATE	REMARKS

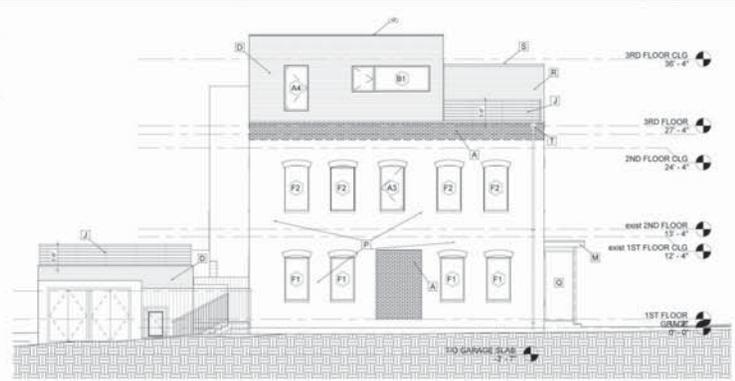
SHEET Name
ELEVATIONS

SHEET No.
A202

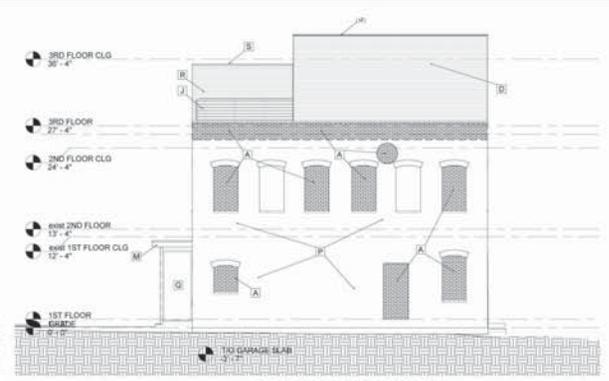
ELEVATION GENERAL NOTES:

PELLA 250 SERIES OR EQUAL GLASS SIZES SHOWN ON ELEVATIONS
 TEMPERED GLAZING SHALL BE PROVIDED IN WINDOWS THAT MEET BOTH
 A. GLASS GREATER THAN 9 S.F. IN AREA
 B. BOTTOM OF GLASS WITHIN 18" OF THE FLOOR
 EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
 ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5'50". FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20".
 ALL ROOF VENTS AND THROUGH ROOF MECHANICAL TO BE LOCATED @ REAR OF HOME AND PAINTED TO MATCH ROOF.
 ALL D.S. LOCATIONS TO BE FILED VERIFIED WITH OWNER PRIOR TO INSTALLATION
 PROVIDE COUNTER FLASHING, WHERE REQUIRED INCLUDING ROOF TO WALL INTERSECTIONS, CHIMNEYS AND SADDLES 20 G.A. (M.N.)
 PROVIDE 20 G.A. (M.N.) GALV. W-VALLEYS UNDERLAD WITH NO. 15 MIN. ROOFING FELT
 PROVIDE COUNTER FLASHING DIAGONALLY ACROSS MASONRY, STEP AND REGLED INTO THE MORTAR
 NOTE: ALL WINDOWS BEING REPLACED MUST HAVE U-FACTOR VALUE OF 0.32 OR LESS
 ALL EXISTING AND/OR NEW DOOR GLASS TO BE TEMPERED SAFETY GLASS

WINDOWS AND DOORS:
 ALL WINDOW AND DOOR OPENINGS TO BE VERIFIED IN FIELD PRIOR TO ORDERING.



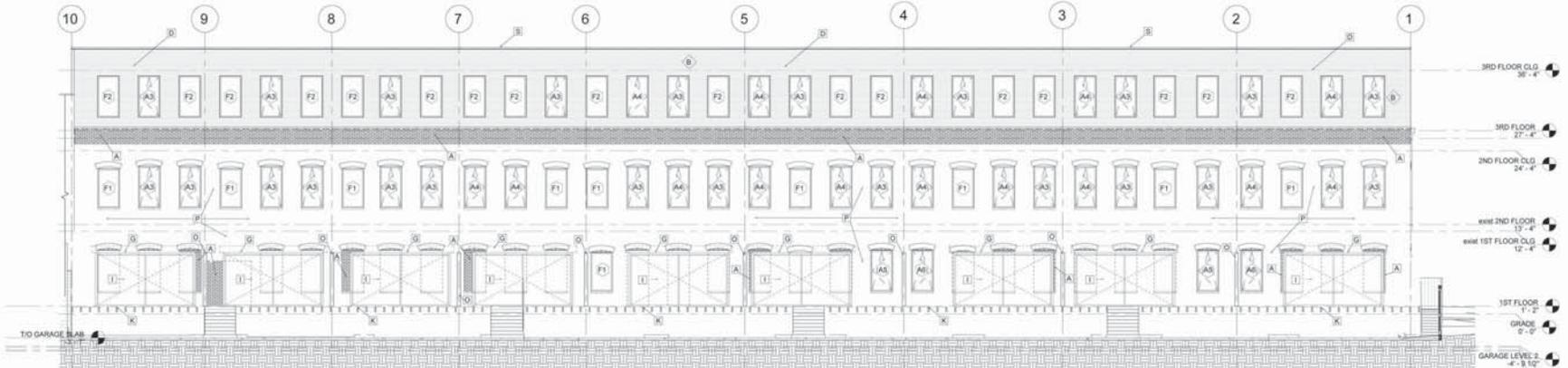
WEST ELEVATION
 SCALE: 1/8" = 1'-0"



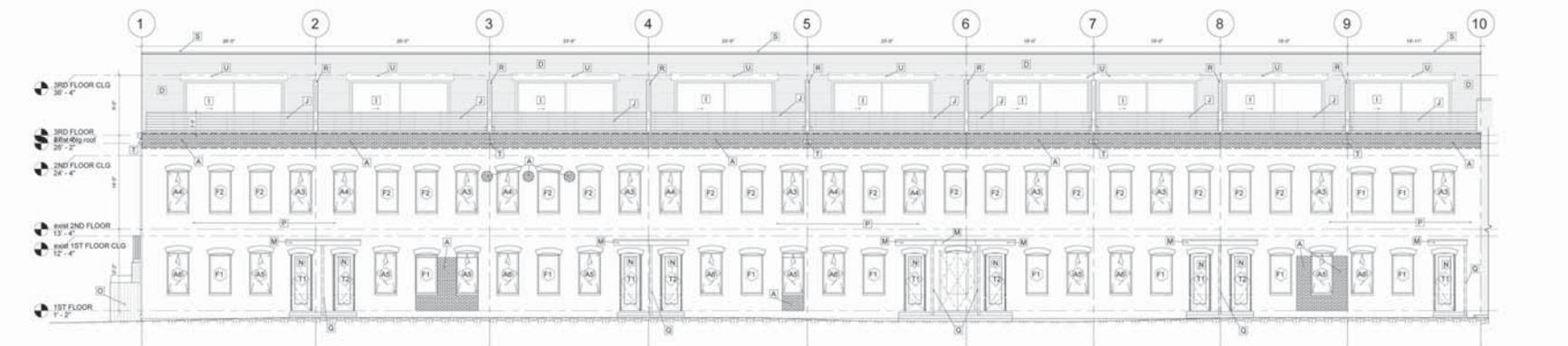
EAST ELEVATION
 SCALE: 1/8" = 1'-0"

ELEVATION KEYNOTES

- A BRICK INFILL
- B ALUMINUM PANEL
- C GLAZED BRICK
- D CORRUGATED METAL SIDING
- E TPO ROOFING SYSTEM
- F ALUMINUM INSULATED GARAGE DOOR
- G 15X1" CUT & INSTAL. STEEL BEAM
- H SLIDE DOOR SYSTEM
- J TREX RAILING
- K TREX DECKING 1"X6" JOIST 2"X6" @ 16" O.C.
- L FRONT DOOR STAIR
- M "SEATTLE" CANOPY SYSTEM (4X11" - 3") (4X6")
- N FRONT DOOR
- O BACKYARD CEDAR FENCE
- P GRIND & TUCKPOINT AS REQUIRED
- Q FROSTED LAMINATED 1/2" GLASS PANEL
- R 8" HIGH CORRUGATED METAL SCREEN WALL
- S METAL COPPING
- T SCUPPER
- U 2"X12"X16" JOIST



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S
 13TH
 AVENUE

ST. CHARLES,
 IL 60174

OWNER:
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 Carole Kezios
 1400 N. Halsted st.
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 312-467-7407
 tsall@greatentransitions.com
 carole@athenspenthouses.com



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DATE	REMARKS

SHEET Name

ELEVATIONS

SHEET No.

A203

ELEVATION GENERAL NOTES:

PELLA 250 SERIES, OR EQUAL GLASS SIZES SHOWN ON ELEVATIONS

TEMPERED GLAZING SHALL BE PROVIDED IN WINDOWS THAT MEET BOTH:

- A. GLASS GREATER THAN 9 SF IN AREA.
 - B. BOTTOM OF GLASS WITHIN 9" OF THE FLOOR.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20".

ALL ROOF VENTS AND THROUGH ROOF MECHANICAL TO BE LOCATED @ REAR OF HOME AND PAINTED TO MATCH ROOF. ALL D.S. LOCATIONS TO BE FILED VERIFIED WITH OWNER PRIOR TO INSTALLATION.

PROVIDE COUNTER FLASHING WHERE REQUIRED INCLUDING ROOF TO WALL INTERSECTIONS, CHIMNEYS AND SADDLES 20 G.A. (MIN.)

PROVIDE 26 G.A. (MIN.) GALV. W VALLEYS UNDERLAD WITH NO. 15 MIN. ROOFING FELT

PROVIDE COUNTER FLASHING DIAGONALLY ACROSS MASONRY. STEP AND REGGLED INTO THE MORTAR.

NOTE: ALL WINDOWS BEING REPLACED MUST HAVE

U-FACTOR VALUE OF 0.32 OR LESS. ALL EXISTING AND/OR NEW DOOR GLASS TO BE TEMPERED SAFETY GLASS.

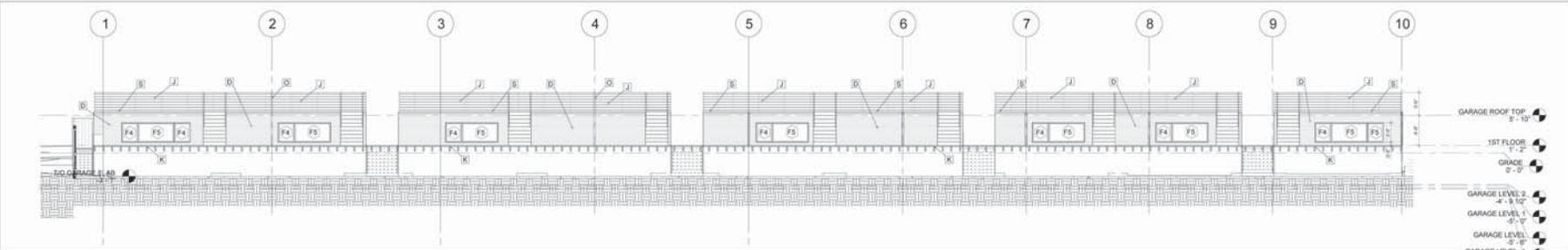
WINDOWS AND DOORS:
ALL WINDOW AND DOOR OPENINGS TO BE VERIFIED IN FIELD PRIOR TO ORDERING.

ELEVATION KEYNOTES

- A BRICK INFILL
- B ALUMINUM PANEL
- C GLAZED BRICK
- D CORRUGATED METAL SIDING
- E TPO ROOFING SYSTEM
- F ALUMINUM INSULATED GARAGE DOOR
- G 15X6 CUT & INSTALL STEEL BEAM
- H SLIDE DOOR SYSTEM
- I TREX RAILING
- J TREX DECKING 1"X6" JOIST 2"X8" @16" O.C.
- K FRONT DOOR STAIR
- L "SEATTLE" CANOPY SYSTEM (4"X11" J) (4"R)
- M FRONT DOOR
- N BACKYARD CEDAR FENCE
- O GRIND & TUCKPOINT AS REQUIRED
- P FROSTED LAMINATED 1/2" GLASS PANEL
- Q 8" HIGH CORRUGATED METAL SCREEN WALL
- R METAL COPPING
- S SCUPPER
- T 2"X12"X16" JOIST



NORTH GARAGE ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH GARAGE ELEVATION
SCALE: 1/8" = 1'-0"



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S 13TH AVENUE

ST. CHARLES, IL 60174

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DATE	REMARKS

SHEET Name

ELEVATIONS

SHEET No.

A204

GENERAL DEMOLITION NOTES

PRIOR TO DEMOLITIONS OF WALLS, COLUMNS, FLOORS AND ROOFS, THE CONTRACTOR MUST VERIFY EXISTING STRUCTURAL CONDITIONS AND LOCAL FOR ALL BEARING WALLS. NOTIFY THE ARCHITECT OF ANY STRUCTURAL CONDITIONS THAT ARE CONTRARY TO THESE DRAWINGS.

PROPERLY SHORE EXISTING STRUCTURE WHEN REMOVING COLUMNS, WALLS, FLOORS AND ROOF.

THIS PLAN SHOWS GENERAL DEMOLITION WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR OF OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE BUILDING MODIFICATIONS SHOWN ON THE REMAINING CONTRACT DOCUMENTS, INCLUDING PLUMBING, HVAC AND ELECTRICAL WORK.

PROTECT ALL EXISTING CONSTRUCTION SHOWN TO REMAIN FROM DAMAGE DURING CONSTRUCTION, FOR THE EXTENT OF THE DEMOLITION AND MODIFICATION.

THE CONTRACTOR WILL SUPERVISE AND DIRECT THE WORK USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, UNLESS A SEQUENCE IS SPECIFIED BY THE OWNER OR CONTRACT DOCUMENTS AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK.

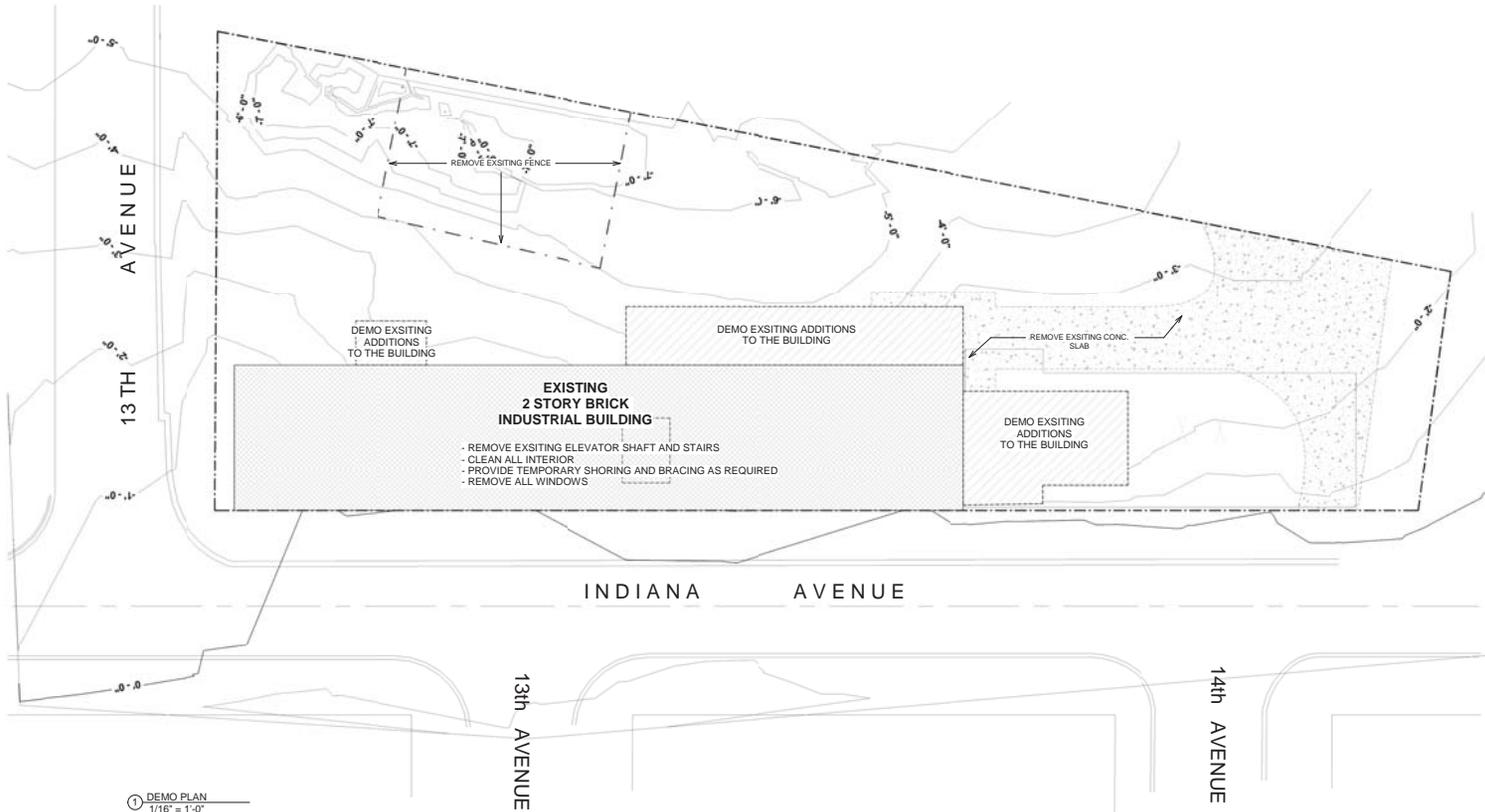
ALL LABOR, MATERIALS AND CONSTRUCTION MEANS AND METHODS SHALL COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES OF ALL FEDERAL, STATE AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE WORK, INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).

THE CONTRACTOR WILL KEEP THE PREMISES FREE FROM THE ACCUMULATION OF WASTE MATERIAL AND DEBRIS. AT THE COMPLETION OF THE WORK UNDER EACH PHASE HE MUST REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS AND LEAVE THE AREAS BROOM CLEAN. SITE BURNING WILL NOT BE ALLOWED.

THE CONTRACTOR WILL PERFORM DEMOLITION IN A MANNER THAT WILL PROTECT EXISTING CONSTRUCTION, INCLUDING MECHANICAL, ELECTRICAL, PLUMBING WORK, ETC. THAT IS TO REMAIN AND OR BE REUSED. ALL ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED.

INFORMATION CONTAINED WITHIN THESE DRAWINGS IS BASED ON EARLIER DOCUMENTATION AND FIELD VERIFICATION OF APPARENT ITEMS. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE PLANS AND INFORMATION CONTAINED HEREIN. THE ARCHITECT MUST BE NOTIFIED OF ANY LATENT AND UNFORESEEN CONDITIONS THAT MAY ADVERSELY AFFECT THE PROGRESS OF WORK. SECURE ANY DAMAGED AREAS AS REQUIRED TO MAINTAIN A SAFE ENVIRONMENT FOR ADDITIONAL EVALUATION AND REMEDIAL WORK TO OCCUR.

DEMOLITION DESCRIBED FOR THE EXISTING FACILITY AND SYSTEMS CANNOT POSSIBLY CONVEY ALL THE ELEMENTS OF THE DEMOLITION WORK. THE INTENT OF THE DEMOLITION NOTES CONTAINED HEREIN IS TO CONVEY THE MAJOR ITEMS TO BE REMOVED. THE NOTES ALSO IMPLY THAT ALL MINOR ITEMS CONSISTENT WITH A MAJOR ITEM BE REMOVED. THUS, THE PURPOSE OF THESE DRAWINGS IS TO SHOW THE MINIMUM LIMITS AND NOT THE ENTIRE SCOPE OF WORK.



① DEMO PLAN
1/16" = 1'-0"



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

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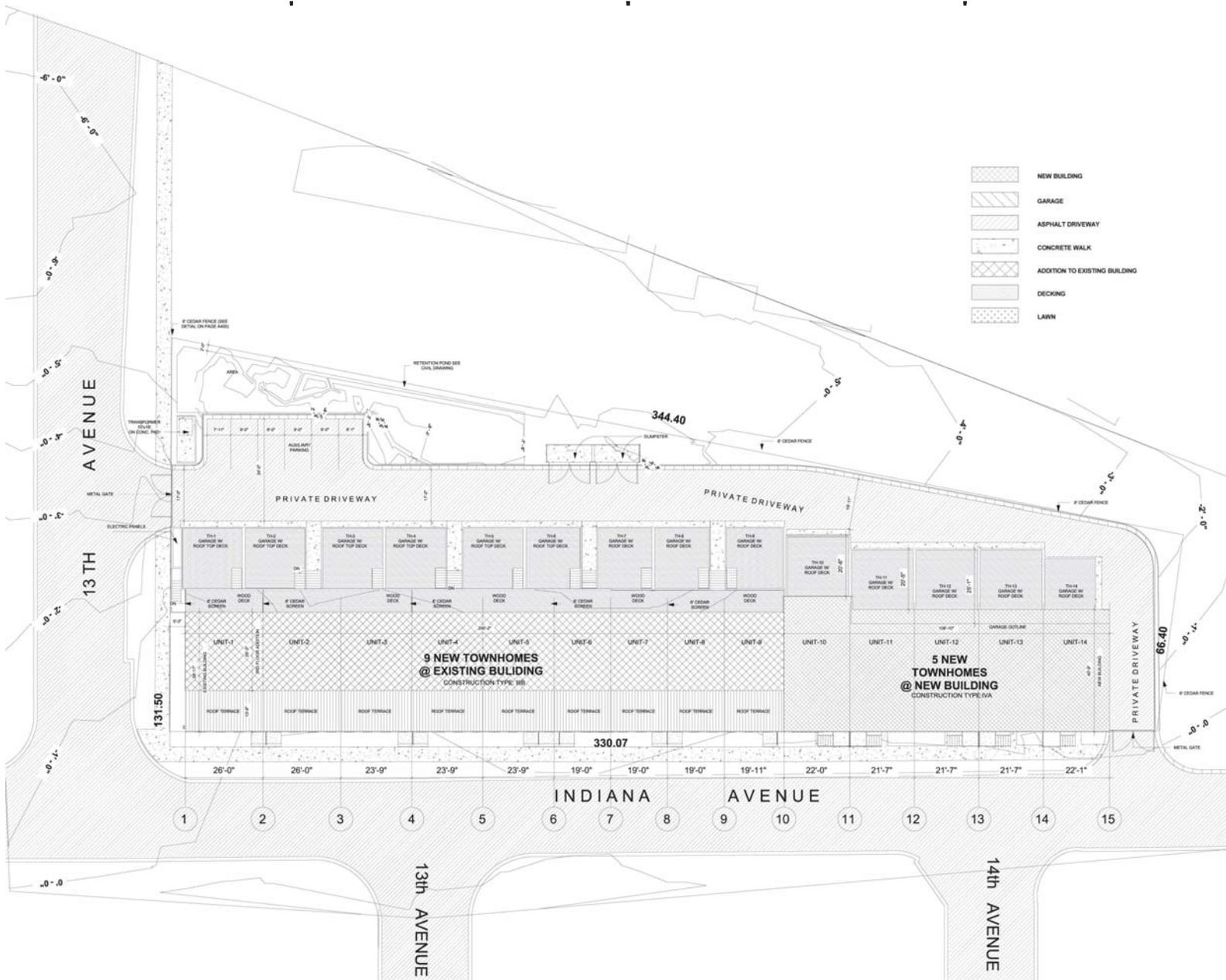
DATE	REMARKS

SHEET Name

DEMO PLAN

SHEET No.

A101



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S 13TH AVENUE

ST. CHARLES, IL 60174

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DATE	REMARKS

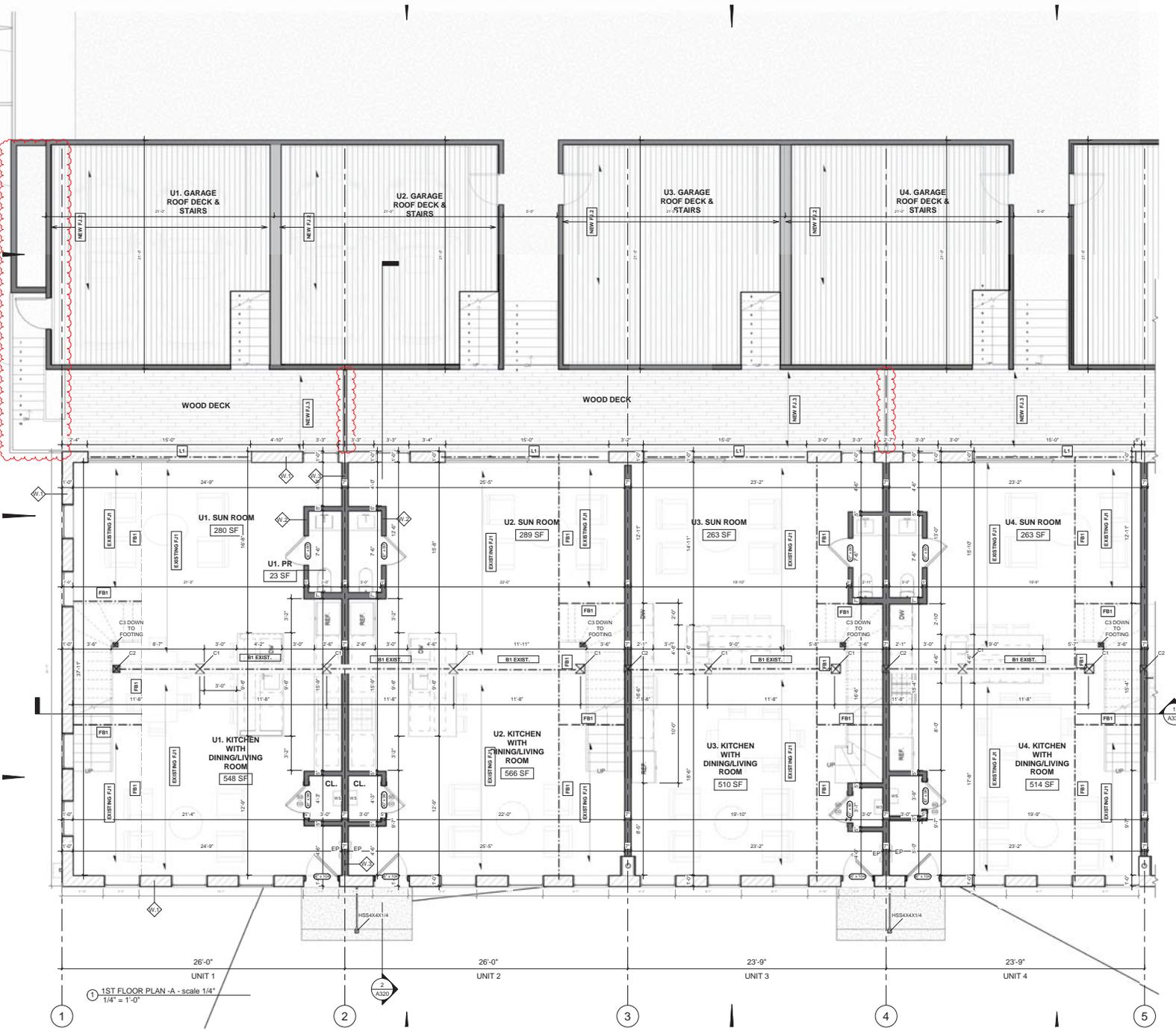
SHEET Name

SITE PLAN

SHEET No.

A102

1 SITE PLAN
1/16" = 1'-0"



STRUCTURAL KEYNOTES

- F FLOOR JOISTS:**
 - F1 EXISTING 2X12 @ 16" O.C. FLOOR JOISTS
 - F2 16" OPEN WOOD TRUSSES @ 16" O.C.
 - F3 2X10 PRESSURE TREATED @ 16" O.C.
- B BEAM TYPE:**
 - B1 EXISTING 10"X12" WOOD BEAM
 - B2 EXISTING RIDGE BEAM
 - B3 (2) 2X10 TREATED DECK BEAM
- FB FLUSHED BEAM TYPE:**
 - FB1 3 (1 3/4" X 12") ML
 - FB2 3 (16") OPEN WOOD TRUSS
 - FB3 3 (1 3/4" X 16") ML
- DB DROPPED BEAM TYPE:**
 - DB1 DROPPED W16X25 STEEL BEAM
- L LINTEL TYPE:**
 - L1 W 16X25
- C COLUMN TYPE:**
 - C1 EXISTING 10"X10" WOOD COLUMN
 - C2 NEW 8"X8" TIMBER COLUMN
 - C3 NEW 5 1/2"X5 1/2" TIMBER COLUMN
 - C4 NEW 4"X4" STEEL COLUMN
- W WALL TYPE:**
 - W1 EXISTING EXTERIOR 12" BRICK WALL
 - W2 5" INTERIOR BEARING AND NON LOAD BEARING WALL
 - W3 2H FIRE RATED INTERIOR BEARING AND NON LOAD BEARING WALL
 - W4 NEW EXTERIOR WALL WITH 4" BRICK FINISH
 - W5 2H FIRE WALL L&R/2

TYP. HEADER SCHEDULE

SIZE OF WOOD HEADER	SUPPORTING ROOF ONLY	SUPPORTING ONE STORY ROOF	SUPPORTING TWO STORES OR ROOFS ABOVE	NOT SUPPORTING FLOORS OR ROOFS ABOVE
2x4	4'	-	-	6'
2x6	4 TO 6'	-	-	6 TO 8'
2x8	6 TO 8'	4 TO 6'	-	8 TO 10 1/2'
2x10	8 TO 10'	6 TO 8'	-	10 TO 12'
2x12	10 TO 12'	8 TO 10'	6 TO 8'	12 TO 14'

ALL OTHER SIZES SEE FLOOR PLANS

STEEL LINTEL SCHEDULE

OPENING SIZE	REQUIRED LINTEL	BEARING
4'-0"	L3 10X10 10#16	4"
5'-0"	L4X10 10#16	4"
6'-0"	L5X10 10#16	4"
7'-0"	L6X10 10#16	4"
8'-0"	L7X10#16	4"
9'-0"	L7X10#16	4"
10'-0"	L8X10#16	4"

WALL LEGEND:

- NEW GYPSUM BOARD PARTITION
- BRICK WALL
- CONCRETE WALL



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S 13TH AVENUE

ST. CHARLES, IL 60174

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carole@sthenepertownhomes.com



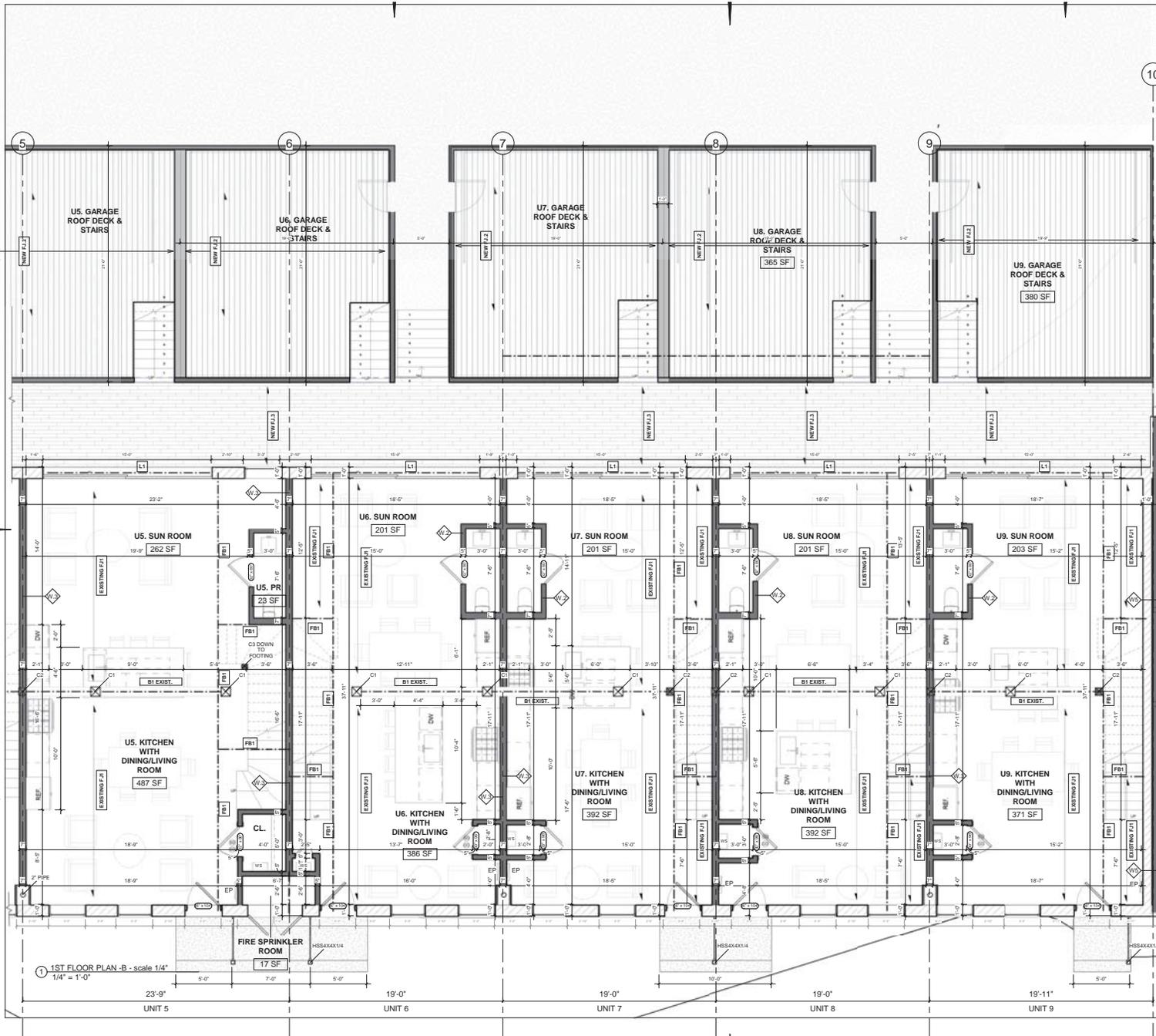
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DATE	REMARKS

SHEET Name
PROPOSED FIRST FLOOR PLAN @ exist. BUILDING

SHEET No.
A111

1 1ST FLOOR PLAN -A - scale 1/4" = 1'-0"



STRUCTURAL KEYNOTES

- F** FLOOR JOISTS:
 - F1 1" EXISTING 2X12 @ 16" O.C. FLOOR JOISTS
 - F2 16" OPEN WOOD TRUSSES @ 16" O.C.
 - F3 2X10" PRESSURE TREATED @ 16" O.C.
- B** BEAM TYPE:
 - B1 EXISTING 10"X12" WOOD BEAM
 - B2 EXISTING RIDGE BEAM
 - B3 (2) 2X10 TREATED DECK BEAM
- FB** FLUSHED BEAM TYPE:
 - FB1 3 (1 3/4" X 12") ML
 - FB2 3 (16") OPEN WOOD TRUSS
 - FB3 3 (1 3/4" X 16") ML
- DB** DROPPED BEAM TYPE:
 - DB1 DROPPED W16X26 STEEL BEAM
- L** LINTEL TYPE:
 - L1 W 16X26
- C** COLUMN TYPE:
 - C1 EXISTING 10"X10" WOOD COLUMN
 - C2 NEW 8"X8" TIMBER COLUMN
 - C3 NEW 5 1/2"X5 1/2" TIMBER COLUMN
 - C4 NEW 4"X4" STEEL COLUMN
- W** WALL TYPE:
 - W1 EXISTING EXTERIOR 12" BRICK WALL
 - W2 5" INTERIOR BEARING AND NON LOAD BEARING WALL
 - W3 2H FIRE RATED INTERIOR BEARING AND NON LOAD BEARING WALL
 - W4 NEW EXTERIOR WALL WITH 4" BRICK FINISH
 - W5 3H FIRE WALL UL9002

TYP. HEADER SCHEDULE

SIZE OF WOOD HEADERS	SUPPORTING ONE STORY ABOVE	SUPPORTING TWO STORES ABOVE	NOT SUPPORTING FLOORS OR ROOFS ABOVE
2x4	4	-	6
2x6	4 TO 6	-	6 TO 8
2x8	6 TO 8	4 TO 6	8 TO 10
2x10	8 TO 10	6 TO 8	10 TO 12
2x12	10 TO 12	8 TO 10	12 TO 14

ALL OTHER SIZES SEE FLOOR PLAN

STEEL LINTEL SCHEDULE

OPENING SIZE	REQUIRED LINTEL	BEARING
4'-0"	L 16X16	✓
5'-0"	L 16X16	✓
6'-0"	L 16X16	✓
7'-0"	L 16X16	✓
8'-0"	L 16X16	✓
9'-0"	L 16X16	✓
10'-0"	L 16X16	✓

WALL LEGEND:

- NEW GYPSUM BOARD PARTITION
- BRICK WALL
- CONCRETE WALL



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S 13TH AVENUE

ST. CHARLES, IL 60174

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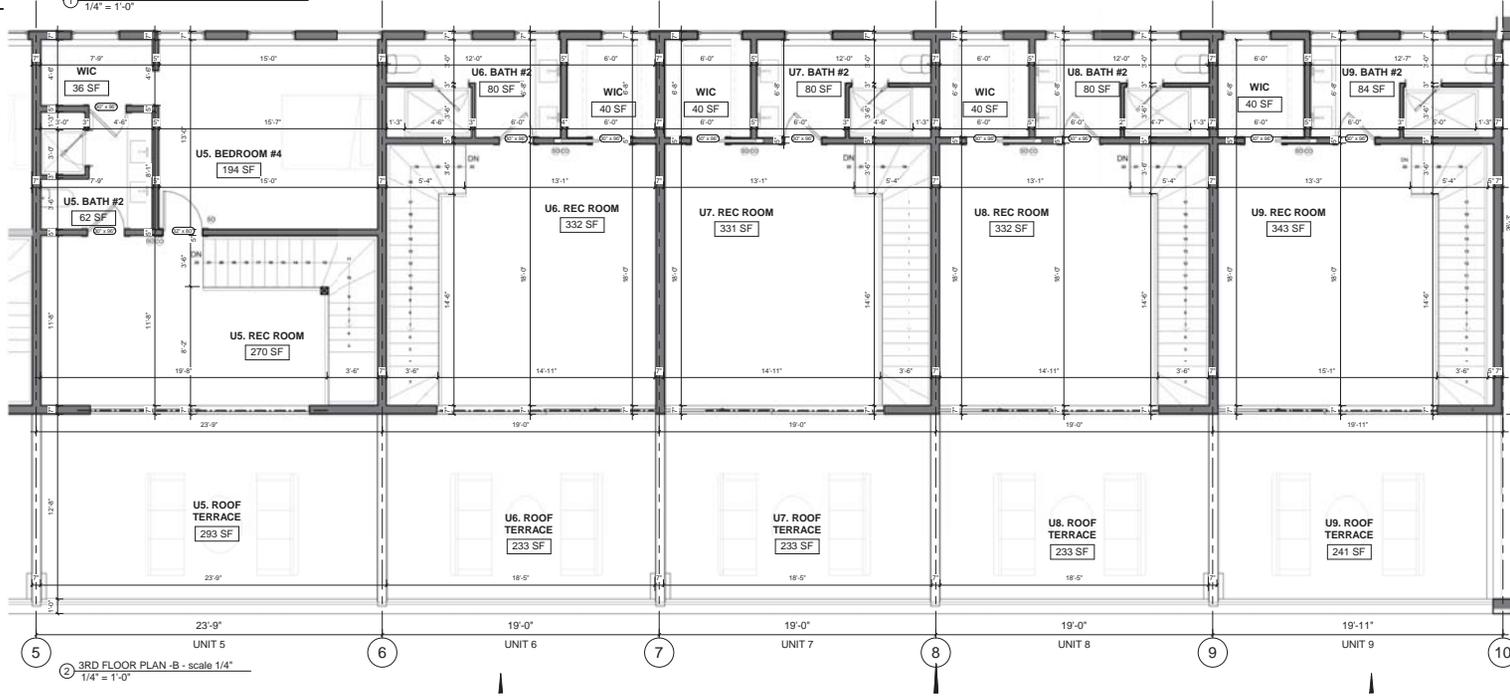
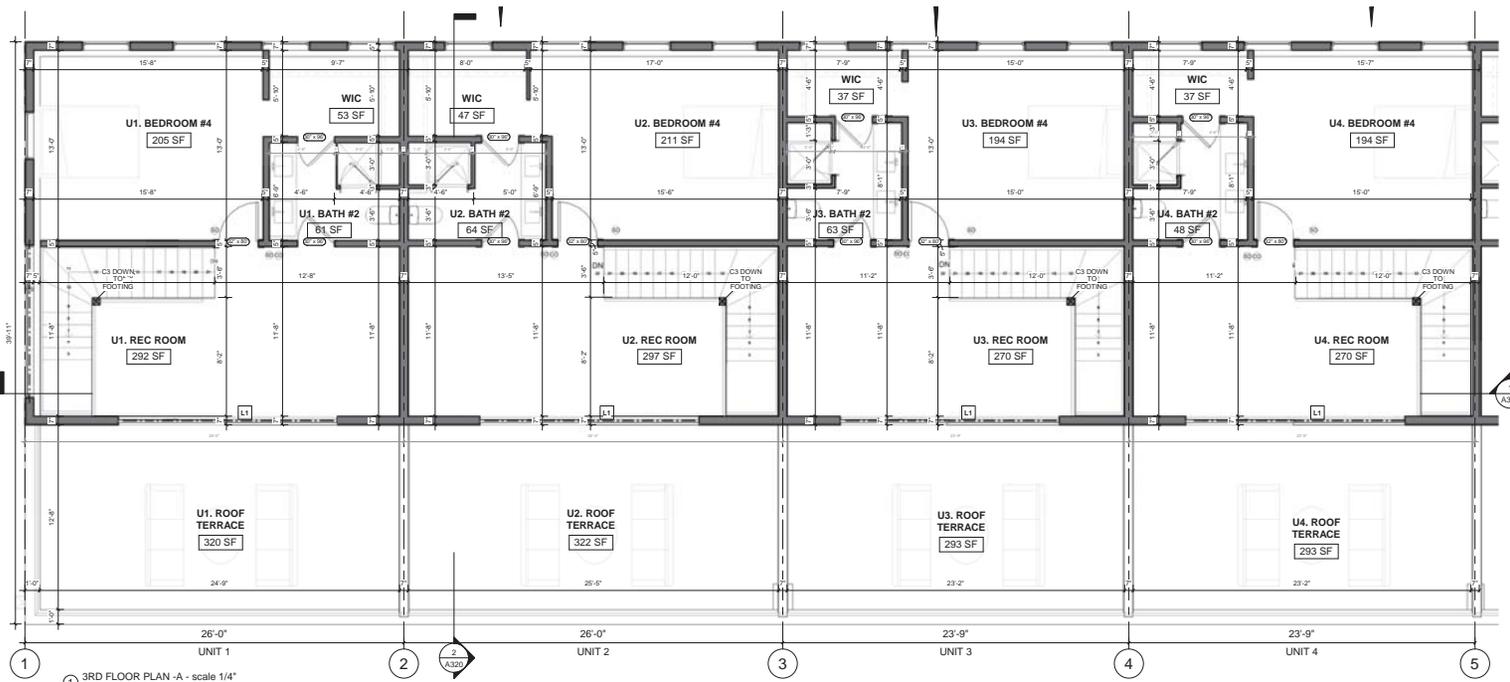
DATE	REMARKS

SHEET Name
PROPOSED FIRST FLOOR PLAN @ exist. BUILDING

SHEET No.

A112

1ST FLOOR PLAN - B - scale 1/4" / 1/4" = 1'-0"



- ### STRUCTURAL KEYNOTES
- FJ FLOOR JOISTS:**
 - FJ1 EXISTING 2X12 @ 16" O.C. FLOOR JOISTS
 - FJ2 16' OPEN WOOD TRUSSES @ 16" O.C.
 - FJ3 2X10' PRESSURE TREATED @ 16" O.C.
 - BEAM TYPE:**
 - B1 EXISTING 12X12' WOOD BEAM
 - B2 EXISTING RIDGE BEAM
 - B3 (2) 2X10 TREATED DECK BEAM
 - FLUSHED BEAM TYPE:**
 - FB1 3 (1) 3/4" X 12" ML
 - FB2 3 (1) 3/4" X 12" ML
 - FB3 3 (1) 3/4" X 12" ML
 - DROPPED BEAM TYPE:**
 - DB1 DROPPED W/ GUSSET BEAM
 - LINTEL TYPE:**
 - L1 W/ 1626
 - COLUMN TYPE:**
 - C1 EXISTING 12X12' WOOD COLUMN
 - C2 NEW 6"X6" TIMBER COLUMN
 - C3 NEW 5.1/2"X5.1/2" TIMBER COLUMN
 - C4 NEW 4"X4" STEEL COLUMN
 - WALL TYPE:**
 - W1 EXISTING EXTERIOR 12" BRICK WALL
 - W2 5" INTERIOR BEARING AND NON LOAD BEARING WALL
 - W3 2H FIRE RATED INTERIOR BEARING AND NON LOAD BEARING WALL
 - W4 NEW EXTERIOR WALL WITH 4" BRICK FINISH
 - W5 3H FIRE WALL LULR902

TYP. HEADER SCHEDULE

SIZE OF WOOD ROOF MEMBER	SPANNING ROOF ONLY	SPANNING ONE STORY ABOVE	SPANNING TWO STORIES ABOVE	NOT SPANNING FLOORS OR ROOFS ABOVE
2x4	4'	-	-	6'
2x6	4 TO 6'	-	-	6 TO 8'
2x8	6 TO 8'	4 TO 6'	-	8 TO 10'
2x10	8 TO 10'	6 TO 8'	4 TO 6'	10 TO 12'
2x12	10 TO 12'	8 TO 10'	6 TO 8'	12 TO 14'

ALL OTHER SIZES SEE FLOOR PLANS

STEEL LINTEL SCHEDULE

OPENING SIZE	REQUIRED LINTEL	BEARING
0'-0"	2.3 1/2" X 10 1/2" L	4"
0'-0"	1.3 1/2" X 10 1/2" L	4"
0'-0"	1.3 1/2" X 10 1/2" L	4"
0'-0"	1.3 1/2" X 10 1/2" L	4"
0'-0"	1.3 1/2" X 10 1/2" L	4"
0'-0"	1.3 1/2" X 10 1/2" L	4"
0'-0"	1.3 1/2" X 10 1/2" L	4"
0'-0"	1.3 1/2" X 10 1/2" L	4"

WALL LEGEND:

- NEW GYPSUM BOARD PARTITION
- BRICK WALL
- CONCRETE WALL



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S 13TH AVENUE
ST. CHARLES, IL 60174

OWNER:
East Kezios,
Carole Kezios
1400 N. Halsted st.
Chicago, IL 60642
312-467-7407
tsall@greattransitions.com
carole@athenspenthouses.com



I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY PERSONAL SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, CONFORM WITH ALL PERTINENT CITY OF CHICAGO CODES AND ORDINANCES

DATE	REMARKS

SHEET Name
PROPOSED THIRD FLOOR PLAN @ exist. BUILDING
SHEET No.

A114



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S 13TH AVENUE

ST. CHARLES, IL 60714

OWNER: East Kozlos, Carole Kozlos, 1400 N. Halsted St, Chicago, IL 60642, 312.467.7407, east@eastrentalstations.com, carole@eastrentalstations.com



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DATE	REMARKS

SHEET Name
PROPOSED SECOND FLOOR PLAN @ exist. BUILDING
SHEET No.

A113

STRUCTURAL KEYNOTES

F FLOOR JOISTS:
 FJ1 EXISTING 2X12 @ 16" O.C. FLOOR JOISTS
 FJ2 16" OPEN WOOD TRUSSES @ 16" O.C.
 FJ3 2X10 PRESSURE TREATED @ 16" O.C.

B BEAM TYPE:
 B1 EXISTING 10X12" WOOD BEAM
 B2 EXISTING ROOF BEAM
 B3 (2) 2X10 TREATED DECK BEAM

FB FLUSHED BEAM TYPE:
 FB1 3 (1 3/4" X 12") ML
 FB2 3 (16") GREEN WOOD TRUSS
 FB3 3 (1 3/4" X 12") ML

DB DROPPED BEAM TYPE:
 DB1 DROPPED W16X25 STEEL BEAM

L LINTEL TYPE:
 L1 W 16X26

C COLUMN TYPE:
 C1 EXISTING 10X10" WOOD COLUMN
 C2 NEW 6"X6" TIMBER COLUMN
 C3 NEW 4 (2X6) 12" TIMBER COLUMN
 C4 NEW 4X4" STEEL COLUMN

W WALL TYPE:
 W1 EXISTING EXTERIOR 12" BRICK WALL
 W2 INTERIOR BEARING AND NON LOAD BEARING WALL
 W3 2X4 FRIE RATED INTERIOR BEARING AND NON LOAD BEARING WALL
 W4 NEW EXTERIOR WALL WITH 4" BRICK FINISH
 W5 3/4 FRIE WALL UL902

TYP. HEADER SCHEDULE

SIZE OF WOOD HEADER	SUPPORTING ROOF ONLY	SUPPORTING TWO STORIES ABOVE	SUPPORTING FLOORS OR ROOFS ABOVE
2-3x4	4"	-	6"
2-3x6	4" TO 6"	-	6" TO 8"
2-3x8	6" TO 8"	4" TO 6"	8" TO 10"
2-3x10	8" TO 10"	6" TO 8"	10" TO 12"
2-3x12	10" TO 12"	8" TO 10"	12" TO 14"

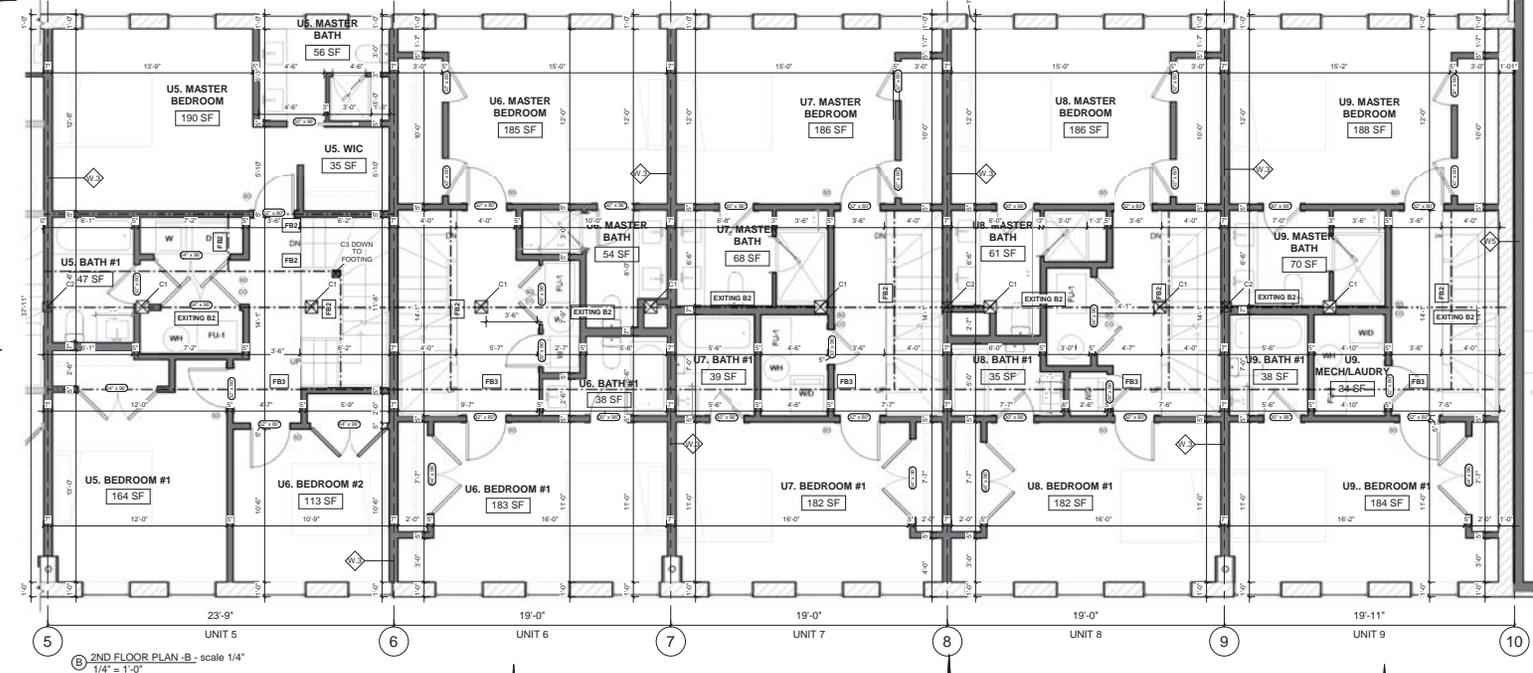
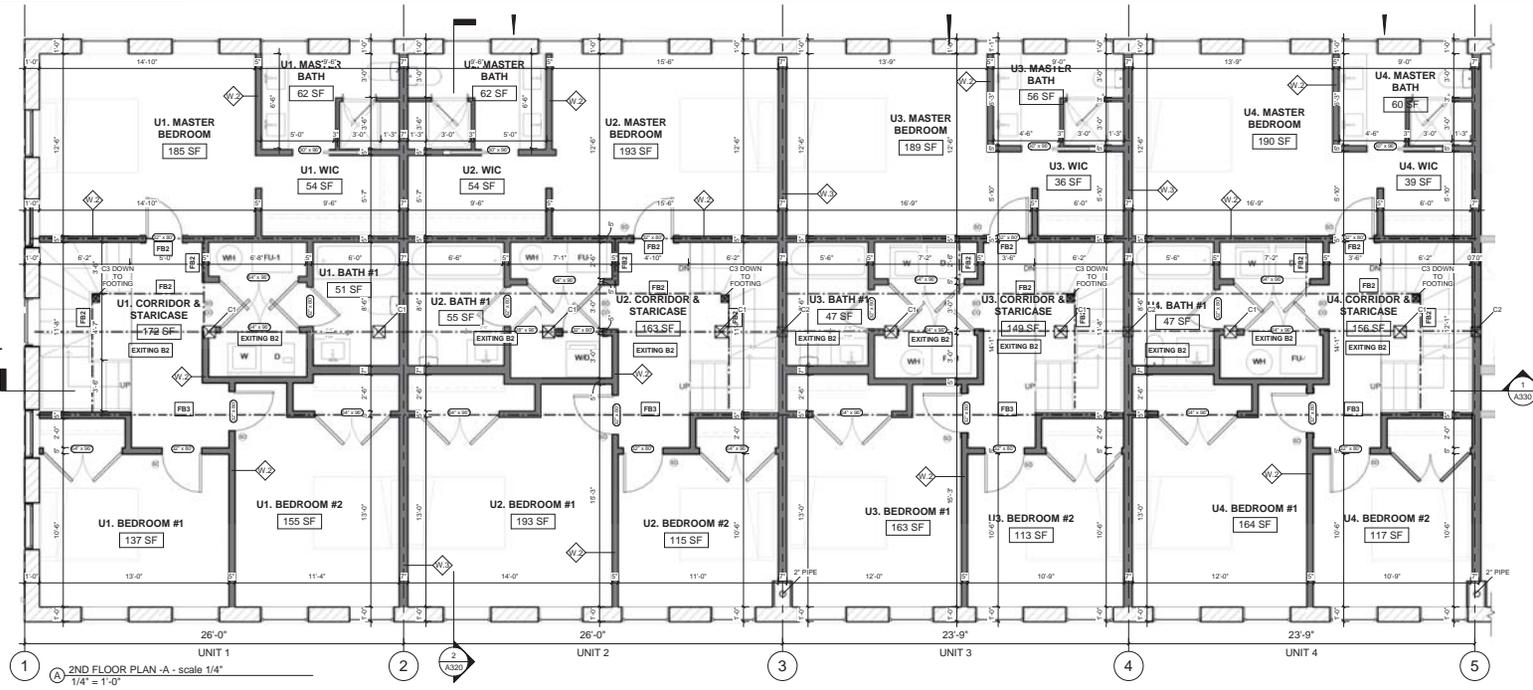
ALL OTHER SIZES SEE FLOOR PLANS

STEEL LINTEL SCHEDULE

OPENING SIZE	REQUIRED LINTEL	BEARING
4'-0"	L 3X10@10'-0"	6"
5'-0"	L 4X12@10'-0"	6"
6'-0"	L 6X12@10'-0"	6"
7'-0"	L 6X12@10'-0"	6"
8'-0"	L 7X12@10'-0"	6"
9'-0"	L 7X12@10'-0"	6"
10'-0"	L 8X12@10'-0"	6"

WALL LEGEND:

	NEW GYPSUM BOARD PARTITION
	BRICK WALL
	CONCRETE WALL



TYP. HEADER SCHEDULE			
SIZE OF WOOD HEADER	SUPPORTING ROOF ONLY	SUPPORTING ONE STORY ABOVE	NOT SUPPORTING FLOORS OR ROOFS ABOVE
2x4	4"	-	6"
2x6	4 TO 6"	-	6 TO 8"
2x8	6 TO 8"	4 TO 6"	8 TO 10"
2x10	8 TO 10"	6 TO 8"	10 TO 12"
2x12	10 TO 12"	8 TO 10"	12 TO 14"

ALL OTHER SIZES SEE FLOOR PLAN

STEEL LINTEL SCHEDULE	
OPENING SIZE	REQUIRED LINTEL BEARING
4'-0"	L3 1/2x10x10x1/2"
5'-0"	L4x10x10x1/2"
6'-0"	L5x10x10x1/2"
7'-0"	L6x10x10x1/2"
8'-0"	L7x10x10x1/2"
9'-0"	L8x10x10x1/2"
10'-0"	L8x10x10x1/2"

STRUCTURAL KEYNOTES

FJ FLOOR JOISTS:

- FJ1 EXISTING 2X12" @ 16" O.C. FLOOR JOISTS
- FJ2 16" OPEN WOOD TRUSSES @ 16" O.C.
- FJ3 2X10" PRESSURE TREATED @ 16" O.C.

B BEAM TYPE:

- B1 EXISTING 10"X12" WOOD BEAM

FB FLUSHED BEAM TYPE:

- FB1 3 (1 3/4" X 12") ML
- FB2 3 (16") OPEN WOOD TRUSS

DB DROPPED BEAM TYPE:

- DB1 DROPPED W16X25 STEEL BEAM

L LINTEL TYPE:

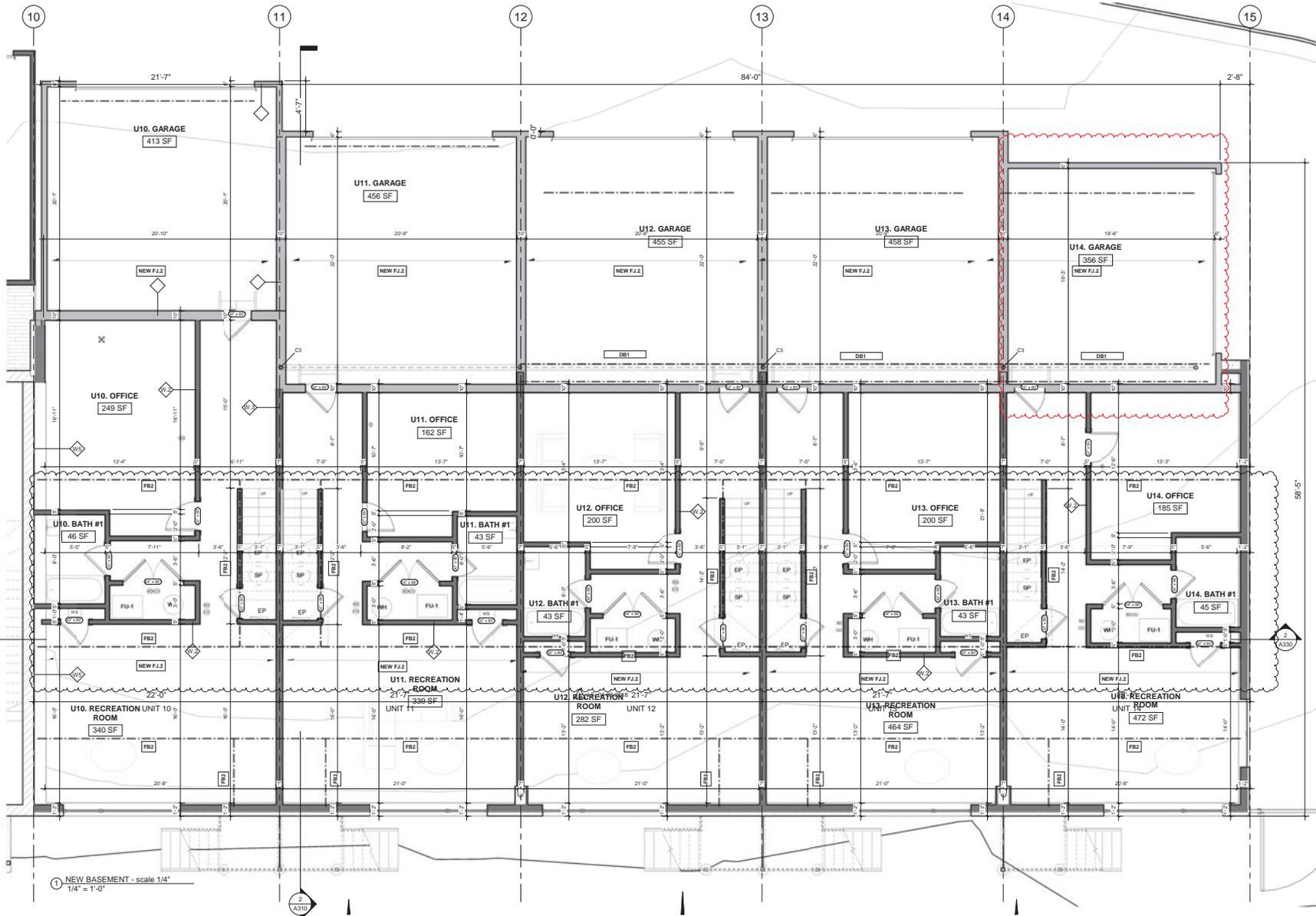
- L1 W 16X25

C COLUMN TYPE:

- C1 EXISTING 10"X10" WOOD COLUMN
- C2 NEW 6"X6" TIMBER COLUMN
- C3 NEW 5 1/2"X5 1/2" TIMBER COLUMN
- C4 NEW 4"X4" STEEL COLUMN

W WALL TYPE:

- W1 EXISTING EXTERIOR 12" BRICK WALL
- W2 5" INTERIOR BEARING AND NON LOAD BEARING WALL
- W3 7" INTERIOR BEARING AND NON LOAD BEARING WALL
- W4 NEW EXTERIOR WALL WITH 4" BRICK FINISH
- W5 3# FIRE WALL U/RO2



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S 13TH AVENUE

ST. CHARLES, IL 60174

OWNER: East Kezros, Carole Kezros, 1400 N. Halsted st, Chicago, IL 60642, 312-467-7407, tball@greatstartations.com, carole@athenspenthouses.com



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DATE	REMARKS

SHEET Name
PROPOSED BASEMENT FLOOR PLAN @ NEW BUILDING

SHEET No.
A115

TYP. HEADER SCHEDULE				
SIZE OF WOOD HEADER	SUPPORTING ROOF ONLY	SUPPORTING ONE STORY ABOVE	SUPPORTING TWO STORIES ABOVE	NOT SUPPORTING FLOORS OR ROOFS
2x4	4"	-	-	6"
2x6	4" OR 6"	-	-	6" OR 8"
2x8	6" OR 8"	4" OR 6"	-	6" TO 10"
2x10	8" TO 10"	6" TO 8"	4" TO 6"	6" TO 12"
2x12	10" TO 12"	8" TO 10"	6" TO 8"	10" TO 14"

ALL OTHER SIZES SEE FLOOR PLANS

STEEL LINTEL SCHEDULE		
OPENING SIZE	REQUIRED LINTEL	BEARING
4'-0"	L 3 1/2" X 12" X 1/2"	4"
5'-0"	L 4" X 12" X 1/2"	4"
6'-0"	L 5" X 12" X 1/2"	4"
7'-0"	L 6" X 12" X 1/2"	4"
8'-0"	L 7" X 12" X 1/2"	4"
9'-0"	L 8" X 12" X 1/2"	4"
10'-0"	L 9" X 12" X 1/2"	4"
11'-0"	L 10" X 12" X 1/2"	4"
12'-0"	L 11" X 12" X 1/2"	4"

STRUCTURAL KEYNOTES

- FLOOR JOISTS:**
 FJ1 EXISTING 2X12 @ 16" O.C. FLOOR JOISTS
 FJ2 16" OPEN WOOD TRUSSES @ 16" O.C.
 FJ3 2X10" PRESSURE TREATED @ 16" O.C.

- BEAM TYPE:**
 B1 EXISTING 10"X12" WOOD BEAM

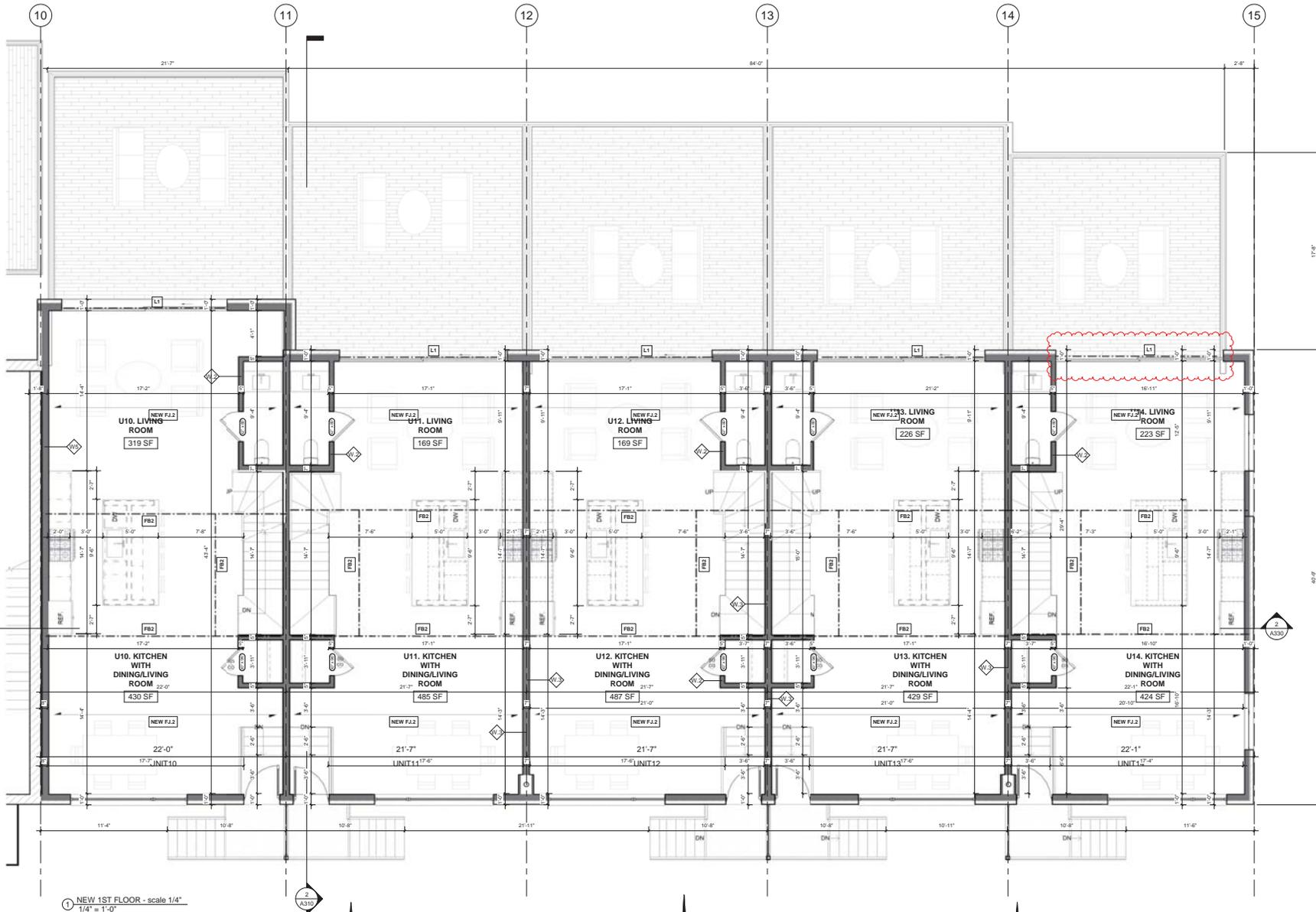
- FLUSHED BEAM TYPE:**
 FB1 3 (1 3/4" X 12") ML
 FB2 3 (1 1/2" X 12") ML
 FB3 3 (1 1/2" X 12") ML

- DROPPED BEAM TYPE:**
 DB1 DROPPED W/16X26 STEEL BEAM

- LINTEL TYPE:**
 L1 W 16X26

- COLUMN TYPE:**
 C1 EXISTING 10"X10" WOOD COLUMN
 C2 NEW 8"X8" TIMBER COLUMN
 C3 NEW 5 1/2"X5 1/2" TIMBER COLUMN
 C4 NEW 4"X4" STEEL COLUMN

- WALL TYPE:**
 W1 EXISTING EXTERIOR 12" BRICK WALL
 W2 5" INTERIOR BEARING AND NON LOAD BEARING WALL
 W3 7" INTERIOR BEARING AND NON LOAD BEARING WALL
 W4 NEW EXTERIOR WALL WITH 4" BRICK FINISH
 W5 3/4" FIRE WALL UL1802



NEW 1ST FLOOR - scale 1/4" = 1'-0"



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S 13TH AVENUE

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DATE	REMARKS

SHEET Name
 PROPOSED FIRST FLOOR PLAN @ NEW BUILDING

SHEET No.

A116

TYP. HEADER SCHEDULE				
SIZE OF WOOD HEADER	SUPPORTING ROOF ONLY	SUPPORTING ONE STORY ABOVE	SUPPORTING TWO STORES ABOVE	NOT SUPPORTING FLOORS OR ROOFS
2x4	4"	-	-	6"
2x6	4 TO 6"	-	-	6 TO 8"
2x8	6 TO 8"	4 TO 6"	-	8 TO 10"
2x10	8 TO 10"	6 TO 8"	4 TO 6"	10 TO 12"
2x12	10 TO 12"	8 TO 10"	6 TO 8"	12 TO 14"

ALL OTHER SIZES SEE FLOOR PLANS

STEEL LINTEL SCHEDULE		
OPENING SIZE	REQUIRED LINTEL	BEARING
4'-0"	L3 102X12@16"	4"
6'-0"	L4 102X16"	4"
8'-0"	L3 102X16"	4"
10'-0"	L4 102X16"	4"
12'-0"	L5 102X16"	4"
14'-0"	L6 102X16"	4"

STRUCTURAL KEYNOTES

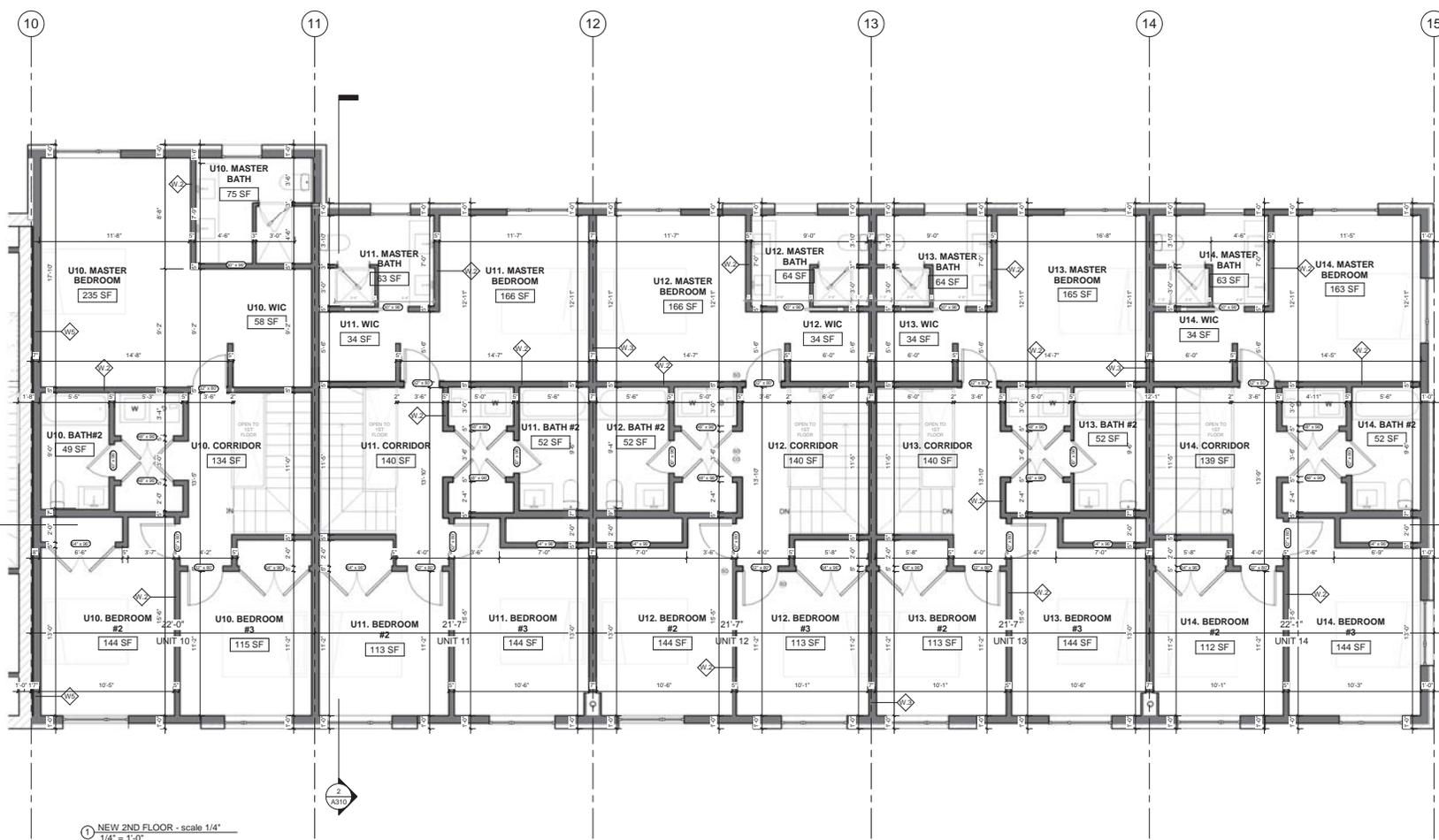
- FJ FLOOR JOISTS:**
 FJ1 EXISTING 2X12 @ 16" O.C. FLOOR JOISTS
 FJ2 16" OPEN WOOD TRUSSES @ 16" O.C.
 FJ3 2X10" PRESSURE TREATED @ 16" O.C.

- B BEAM TYPE:**
 B1 EXISTING 10"x12" WOOD BEAM
- FB FLUSHED BEAM TYPE:**
 FB1 3 (1 3/4" X 12") ML
 FB2 3 (16") OPEN WOOD TRUSS

- DB DROPPED BEAM TYPE:**
 DB1 DROPPED W/4X8" STEEL BEAM
- L LINTEL TYPE:**
 L1 W 16X26

- C COLUMN TYPE:**
 C1 EXISTING 10"x10" WOOD COLUMN
 C2 NEW 6"x6" TIMBER COLUMN
 C3 NEW 5-1/2"x5-1/2" TIMBER COLUMN
 C4 NEW 4"x4" STEEL COLUMN

- W WALL TYPE:**
 W1 EXISTING EXTERIOR 12" BRICK WALL
 W2 5" INTERIOR BEARING AND NON LOAD BEARING WALL
 W3 7" INTERIOR BEARING AND NON LOAD BEARING WALL
 W4 NEW EXTERIOR WALL WITH 4" BRICK FINISH
 W5 3/4" FIRE WALL UL1902



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S 13TH AVENUE
 ST. CHARLES, IL 60174

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 312-467-7407
 tsal@greattransitions.com
 carole@sthenepertownhouses.com



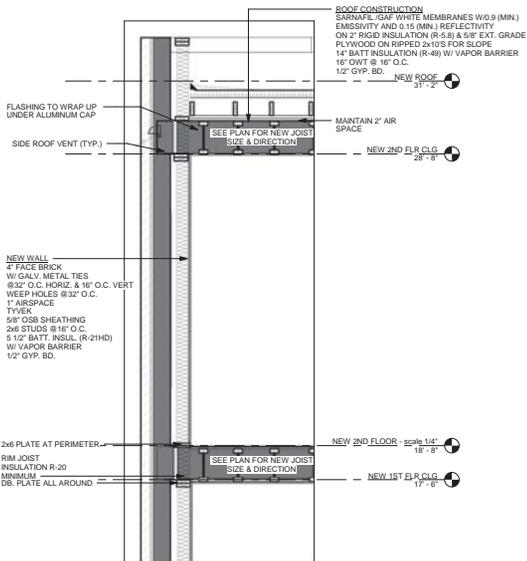
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DATE	REMARKS

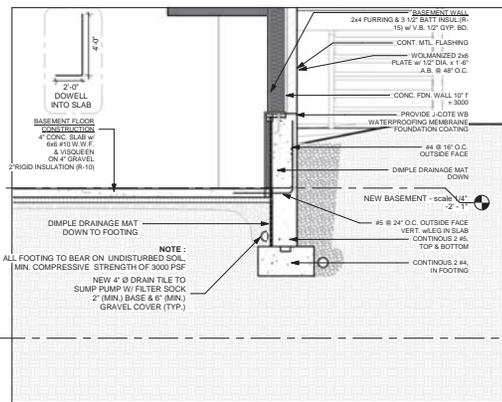
SHEET Name
 PROPOSED SECOND FLOOR PLAN @ NEW BUILDING

SHEET No.

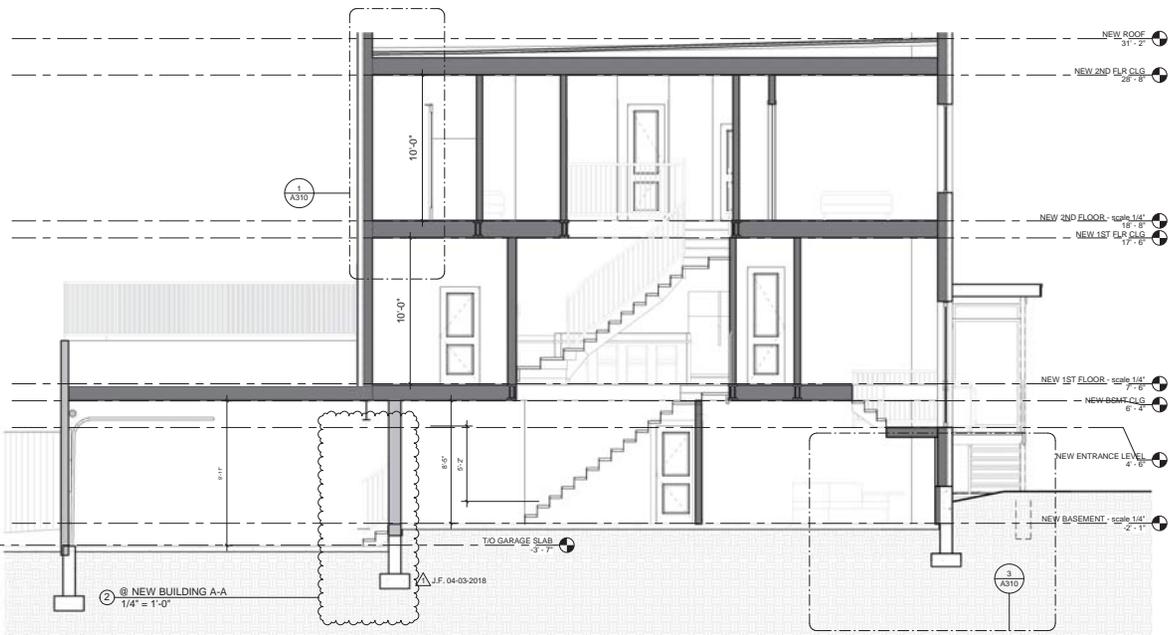
A117



1 @ NEW BUILDING A-A - Callout 1
 1/2" = 1'-0"



2 @ NEW BUILDING A-A - Callout 2
 1/2" = 1'-0"



2 @ NEW BUILDING A-A
 1/4" = 1'-0"

FLOOR ASSEMBLY

- FA1 NEW 3/4" HBRWOOD FLOOR OR CARPET NEW 3/4" FINISH SUBFLOOR TAG SOLID & SCHED. EXISTING 2x12 @ 16" O.C. FLOOR JOISTS
- FA2 3/4" HBRWOOD FLOOR OR CARPET NEW 3/4" FINISH SUBFLOOR TAG SOLID & SCHED. 16" O.C. 2x12 BRIDGE BERRY PRECODE SCORE OPTIMAL PANELS JOISTS FINISH

WALL ASSEMBLY

- WA1 EXISTING EXTERIOR 12" BRICK WALL
- WA2 SIP TYPE 2 (2x6 BOTH SIDES) 2x6 STUDS @ 16" O.C.
- WA3 (2) 95 SHEETROCK ULTRALIGHT PRECODE 8' 10" OPTIMAL PANELS 2x6 STUDS @ 16" O.C. 2x6 BRIDGE BERRY PRECODE SCORE OPTIMAL SHEATHING PRECODE CORE 3/8" BATT INSULATION
- WA4 4" FACE BRICK @ 32" O.C. HORIZ. & 16" O.C. VERT. WEEP HOLES @ 32" O.C. 1" AIRSPACE TYVEK 5/8" OSB SHEATHING 2x6 STUDS @ 16" O.C. 5 1/2" BATT. INSUL. (R-21HD) W/ VAPOR BARRIER 1/2" GYP. BD.

ROOF ASSEMBLY

- RF1 ROOF CONSTRUCTION SARNOL E-GAP WHITE MEMBRANES W/0.9 (MIN.) EMISSIVITY AND 0.15 (MIN.) REFLECTIVITY ON 2" RIGID INSULATION (R-8.8) & 5/8" EXT. GRADE PLYWOOD ON RIPPED 2x10S FOR SLOPE 14" BATT INSULATION (R-49) W/ VAPOR BARRIER 16" OWT @ 16" O.C. 1/2" GYP. BD.

STRUCTURAL KEYNOTES

- F1 FLOOR JOISTS:
 - FJ1 EXISTING 2x12 @ 16" O.C. FLOOR JOISTS
 - FJ2 16" OPEN WOOD TRUSSES @ 16" O.C.
 - FJ3 2x10" PRESSURE TREATED @ 16" O.C.
- B BEAM TYPE:
 - B1 EXISTING 10x12" WOOD BEAM
 - B2 EXISTING RIDGE BEAM
 - B3 (2) 2x10 TREATED DECK BEAM
- FB FLUSH BEAM TYPE:
 - FB1 3 (1 3/4" X 12") ML
 - FB2 3 (16") OPEN WOOD TRUSS
 - FB3 3 (1 3/4" X 16") ML
- DB DROPPED BEAM TYPE:
 - DB1 DROPPED W16x25 STEEL BEAM
- L LINTEL TYPE:
 - L1 W 16x26
- C COLUMN TYPE:
 - C1 EXISTING 10x10" WOOD COLUMN
 - C2 NEW 8"x8" TIMBER COLUMN
 - C3 NEW 5 1/2"x5 1/2" TIMBER COLUMN
 - C4 NEW 4"x4" STEEL COLUMN
- W WALL TYPE:
 - W1 EXISTING EXTERIOR 12" BRICK WALL
 - W2 5" INTERIOR BEARING AND NON LOAD BEARING WALL
 - W3 2H FIRE RATED INTERIOR BEARING AND NON LOAD BEARING WALL
 - W4 NEW EXTERIOR WALL WITH 4" BRICK FINISH
 - W5 3H FIRE WALL LEAD



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S 13TH AVENUE

ST. CHARLES, IL 60174

OWNER:
 Basil Kezios,
 Carole Kezios
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 312-467-7407
 basil@greatnestations.com
 carole@athenspenthouses.com



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DATE	REMARKS

SHEET Name
 SECTION A-A @ NEW BUILDING

SHEET No.
 A310



CRYSTAL LOFT TOWNHOMES - CONVERSION OF EXISTING BUILDING TO: 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S 13TH AVENUE

ST. CHARLES, IL 60174

OWNER:
East Kezios,
Carole Kezios
1400 N. Halsted st.
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bairl@greatentrations.com
carole@athensperthouses.com



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DATE	REMARKS

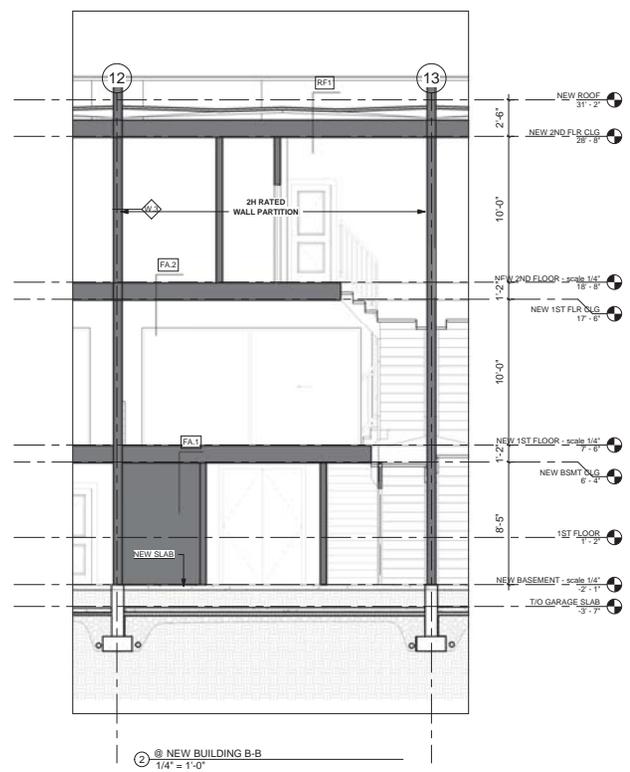
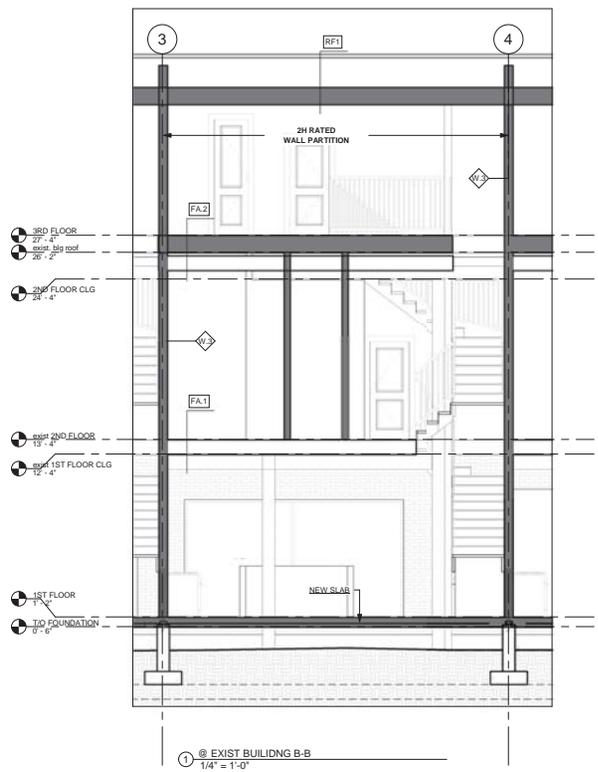
SHEET Name

SECTIONS B-B

SHEET No. A330

- FLOOR ASSEMBLY**
- FA1 NEW 3/4" HARDWOOD FLOOR OR CARPET OVER 3/4" PL. WOOD SUBFLOOR TAG (GULF & SERRA) @ 16" O.C. FLOOR JOISTS EXISTING FINISH
 - FA2 3/4" HARDWOOD FLOOR OR CARPET OVER 3/4" PL. WOOD SUBFLOOR TAG (GULF & SERRA) @ 16" O.C. @ 12" SETBACK GRAND FIRECODE CORE OPTIMUM PANELS JOINTS FINISHED
- WALL ASSEMBLY**
- WA1 EXISTING EXTERIOR 12" BRICK WALL
 - WA2 5/8" TYPE X GWS (BOTH SIDES) @ 8" STDS @ 16" O.C.
 - WA3 (2) 5/8" DISTRICTO L TRAILGUT FIRECODE X OPTIMUM PANELS @ 8" STDS @ 16" O.C. @ 12" SETBACK GRAND FIRECODE CORE OPTIMUM PANELS 1" DISTRICTO INSULATION
 - WA4 4" FACE BRICK, 1/2" GWS (BOTH SIDES) @ 8" STDS @ 16" O.C. VERT. REINFORCING @ 8" O.C. 1" AIRSPACE TYPE-X 5/8" GWS @ 8" STDS @ 16" O.C. 1" 1/2" BATT INSUL. @ 2" HD @ 16" SPACER BAR @ 12" O.C. 1/2" GWS
- ROOF ASSEMBLY**
- RF1 ROOF CONSTRUCTION: CURBUL GAP WHITE MEMBRANE (W/3 MIN) RESISTIVITY AND 15 MIN RESISTIVITY @ 3" MIN INSULATION @ 8" STDS @ 16" O.C. POLYWOOD ON SIPPED 2x12S FOR SLABS 1" BATT INSULATION @ 16" W/ WOOD BARRIERS @ 8" O.C. @ 16" O.C.

- STRUCTURAL KEYNOTES**
- FJ FLOOR JOISTS:**
- FJ1 EXISTING 2X12 @ 16" O.C. FLOOR JOISTS
 - FJ2 16" OPEN WOOD TRUSSES @ 16" O.C.
 - FJ3 2X10 PRESSURE TREATED @ 16" O.C.
- B BEAM TYPE:**
- B1 EXISTING 10"X12" WOOD BEAM
 - B2 EXISTING ROOF BEAM
 - B3 (2) 2X10 TREATED DECK BEAM
- FB FLUSHED BEAM TYPE:**
- FB1 3 (1 3/4" X 12") ML
 - FB2 3 (1 1/2" OPEN WOOD TRUSS
 - FB3 3 (1 3/4" X 16") ML
- DB DROPPED BEAM TYPE:**
- DB1 DROPPED WYKOS STEEL BEAM
- L LINTEL TYPE:**
- L1 W 16X26
- C COLUMN TYPE:**
- C1 EXISTING 10"X10" WOOD COLUMN
 - C2 NEW 6"X6" TIMBER COLUMN
 - C3 NEW 5 1/2"X5 1/2" TIMBER COLUMN
 - C4 NEW 4"X4" STEEL COLUMN
- W WALL TYPE:**
- W1 EXISTING EXTERIOR 12" BRICK WALL
 - W2 5" INTERIOR BEARING AND NON LOAD BEARING WALL
 - W3 2H FIRE RATED INTERIOR BEARING AND NON LOAD BEARING WALL
 - W4 NEW EXTERIOR WALL WITH 4" BRICK FINISH
 - W5 3H FIRE WALL LL#902



Lift and Slide Energy Efficient Patio doors



Front Door with Glazing Partition



White brick- Units D1-D5



Metal Siding

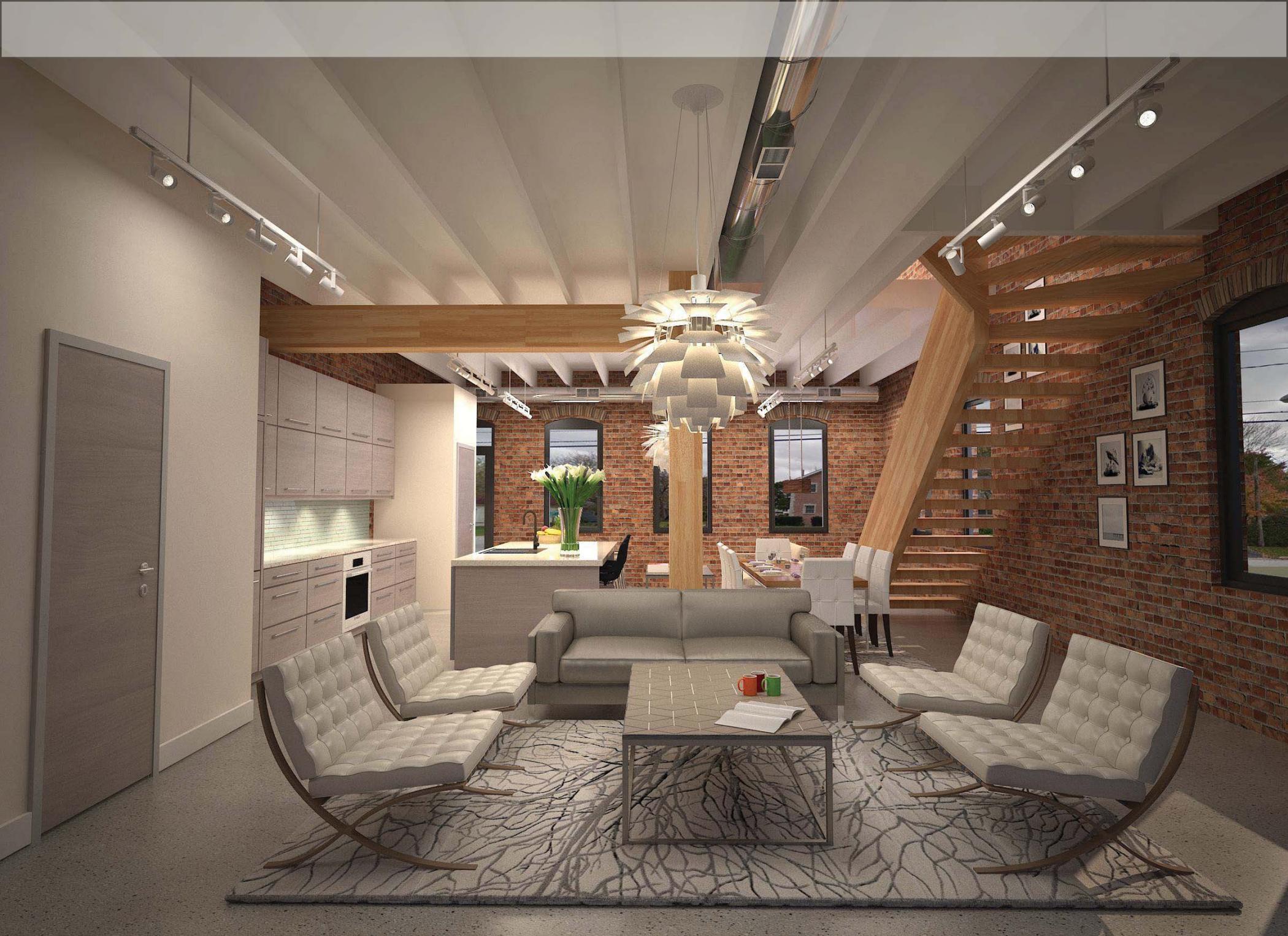


Front entry doors



TimberTech decking













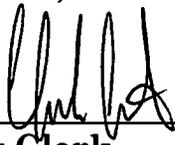
City of St. Charles, Illinois

Ordinance No. 2017-Z-21

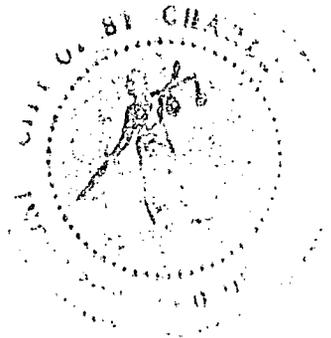
**An Ordinance Granting Approval of a Map Amendment,
Special Use for Planned Unit Development and PUD
Preliminary Plan for Crystal Lofts (214 S. 13th Ave).**

**Adopted by the
City Council
of the
City of St. Charles
December 18, 2017**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, December 27, 2017**



City Clerk



(SEAL)

City of St. Charles, Illinois
Ordinance No. 2017-Z- 21

**An Ordinance Granting Approval of a Map Amendment, Special Use for
Planned Unit Development, and PUD Preliminary Plan for Crystal Lofts
(214 S. 13th Ave.)**

WHEREAS, on or about October 16, 2017, Jeffrey Funke (the “Applicant”) filed petitions for 1) Map Amendment from M1 Special Manufacturing District to RM-3 General Residential District, 2) Special Use for Planned Unit Development, and 3) PUD Preliminary Plan, all for the real estate legally described on Exhibit “A” attached hereto and incorporated herein (the “Subject Property”), for the purpose of renovating an existing building into 9 townhomes and constructing 5 additional townhomes; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Special Use for Planned Unit Development was published on or about October 20, 2017 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about November 7, 2017 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development, and PUD Preliminary Plan petitions on or about November 7, 2017; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of said petitions on or about November 13, 2017; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.
2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the M1 Special Manufacturing District to RM-3

General Residential District, and the Findings of Fact for Map Amendment attached hereto and incorporated herein as Exhibit “B” are expressly adopted by the corporate authorities of the City.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant’s petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit “C”, which is attached hereto and incorporated herein.

4. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit “D”, such that the following documents and illustrations, reduced copies of which are attached hereto, are hereby granted preliminary approval, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Engineering Plans, prepared by Kimley Horn, dated 12/11/17
- Landscape Plan, prepared by Kimley Horn, dated 12/11/17
- Architectural Plans, prepared by Funke Architects:
 - Elevations and Building Materials Sheets, received 10/17/17
 - Sheets A31, A32, dated 10/20/17
 - Sheets A10, A34 dated 11/21/17
- Subdivision Plat, prepared by Compass Surveying Ltd, dated 12/15/17

5. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. Zoning: The Subject Property shall be subject to the requirements of the RM-3 General Residential District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the “PUD Deviations” attached hereto and incorporated herein as Exhibit “E”.
- b. Stormwater:
 1. For portions of the site subject to the IDNR Conveyance Floodway agreement, existing regulatory FEMA floodplain, and proposed FEMA floodplain mapping, compensatory storage shall be provided in accordance with the City Code, and shall be subject to review and approval by the Director of Community & Economic Development and the Director of Public Works at the time of final engineering and stormwater permit review. A recorded covenant running with the land requiring maintenance of the compensatory storage volume shall be provided per the requirements of the City Code.
 2. The detached garages proposed on Lots 1 through 9 shall be individually permitted and constructed. Information submitted with the building permit applications shall demonstrate compliance with all applicable requirements of the City Code regarding detached structures within a floodplain. Details shall

be provided regarding anchoring of the structure, use of flood resistant material, use of water proof materials below the flood protection elevation, installation of service facilities above the flood protection elevation, construction cost, design of garage doors and flood vents, and signage and other preventative measures taken to prevent storage in area below 2 ft. above the base flood elevation. Elevation certificates shall be provided for each detached garage following the installation of the foundation and floor for approval by the Director of Community & Economic Development and the Director of Public Works prior to any additional work being completed on the structures.

3. For the attached garages proposed on Lots 10 through 14, information submitted with the building permit applications shall demonstrate compliance with all applicable requirements of the City Code regarding elevations of the structure outside of the floodplain areas. Elevation certificates shall be provided each garage following the installation of the foundation and floor for approval by the Director of Community & Economic Development and the Director of Public Works prior to any additional work being completed on the structures.
- c. Owners' Association: An owner's association shall be formed for purpose of maintaining all common elements within the development, including but limited to: the driveway parcel (Outlot A), all stormwater drainage improvements within the subdivision, and any private improvements approved to be located within City right-of-way. The association shall be responsible for enforcing the covenant over the compensatory storage area and maintaining or enforcing the maintenance of all structures or other improvements located within areas of the site subject to the IDNR Conveyance Floodway agreement, existing regulatory FEMA floodplain, proposed FEMA floodplain mapping and compensatory storage areas in accordance with final engineering plans, building permit approved plans and City Code requirements. The Declaration of Covenants establishing the owner's association and identifying all maintenance responsibilities of the association shall be provided for the review and approval by the Director of Community & Economic Development and Director of Public Works prior to the recording of the Final Plat of Subdivision.
 - d. Special Service Area: Following a recording of the Final Plat of Subdivision, the City shall initiate the formation of a Special Service Area for the purpose of maintaining and repairing stormwater management facilities (including all compensatory storage areas) and other related facilities serving the Subject Property. Such Special Service Area shall be of perpetual duration with a maximum rate sufficient to provide for maintenance, repair, and reconstruction of such facilities. Such Special Service Area may provide for maintenance by the City in the event that stormwater management facilities or other related facilities are not adequately maintained by the Owner's Association, lot owners or successors.

e. Utilities:

1. The existing overhead utility poles along the Indiana Avenue frontage of the subject property, including all attached electrical wires and equipment and all other public or private utilities attached to the poles, shall be removed and relocated below grade.
2. Utilities services to the residential units shall be provided in accordance with the requirements of the City Code, and subject to review and approval of the Director of Community & Economic Development and the Director of Public Works at the time of building permit.
3. The Sanitary Sewer located east of the building may be considered for realignment as determined by the City after an evaluation and determination of hydraulic impacts. If adverse impacts are determined and cannot be mitigated to the satisfaction of the Director of Public Works, the sanitary sewer shall not be realigned, and the building footprint shall be adjusted to provide an adequate separation from the sanitary sewer.

f. School and Park Contributions: The Park and School contributions shall be provided by the Applicant as cash in lieu of land contribution in accordance with the provisions of Title 16 of the St. Charles Municipal Code, as the same may be amended from time to time.

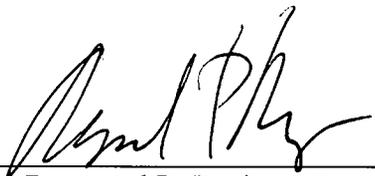
g. Inclusionary Housing: The Inclusionary Housing contribution shall be provided by the Applicant as cash in lieu of affordable units in accordance with the provisions of Title 19 of the St. Charles Municipal Code, as the same may be amended from time to time.

6. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

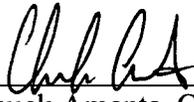
PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of December, 2017.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of December, 2017.

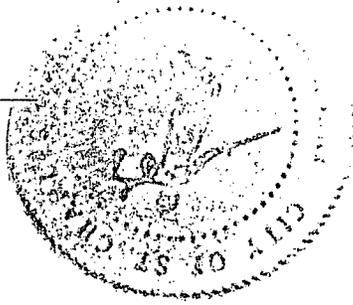
APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of December, 2017.


Raymond P. Rogina, Mayor

Attest:



Chuck Amenta, City Clerk



Vote:

Ayes:

Nays:

Absent:

Abstain:

Date: _____

APPROVED AS TO FORM:

City Attorney

DATE: _____

State of Illinois)
)
) ss.
Counties of Kane and DuPage)

Certificate

I, CHUCK AMENTA, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on December 18, 2017, the Corporate Authorities of such municipality passed and approved Ordinance No. 2017-Z-21, entitled

"An Ordinance Granting Approval of a Map
Amendment, Special Use for Planned Unit
Development and PUD Preliminary Plan for Crystal
Lofts (214 S. 13th Ave)."

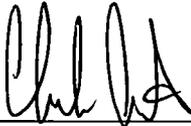
which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2017-Z-21, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on December 27, 2017, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 18th day of December, 2017.

(S E A L)





Municipal Clerk

EXHIBIT "A"

LEGAL DESCRIPTION

THAT PART OF BLOCK 5 OF W. H. WILCOX SECOND ADDITION TO ST. CHARLES AND THAT PART OF VACATED INDIANA AVENUE, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTH ALONG THE WEST LINE OF SAID BLOCK AND SAID WEST LINE EXTENDED 131.5 FEET TO A LINE DRAWN PARALLEL WITH AND 4 FEET SOUTHERLY OF, MEASURED AT RIGHT ANGLES THERETO THE SOUTHERLY LINE OF SAID BLOCK 5; THENCE EASTERLY ALONG SAID PARALLEL LINE AND SAID LINE EXTENDED TO THE EASTERLY LINE OF SAID BLOCK 5; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHEAST CORNER THEREOF; THENCE NORTHERLY ALONG SAID NORTHERLY LINE 344.4 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT "B"

FINDINGS OF FACT FOR MAP AMENDMENT

1. The existing uses and zoning of nearby property.

The current zoning of the existing property is manufacturing M-1. The neighboring properties to the north and east are also M-1. The neighboring properties to the south and west are residential; RT-3.

2. The extent to which property values are diminished by the existing zoning restrictions.

The existing M-1 zoning prohibits the use of residential for the existing building and existing property. Economics, location, the existing building and site prohibit its existing zoning use. The building is deteriorating under the current conditions. The residential use will allow for a new use for the building and site. This proposed use will complement the existing residential to the south and west and offer a great transition to the manufacturing to the north and east of the site.

3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

The existing building does not lend itself to a modern manufacturing facility. The building is deteriorating and in the future, walls and the roof will collapse if the building is not renovated.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

The existing M-1 zoning is not suitable for this type of property. To the south and the west you have single-family homes creating zoning uses that do not complement each other. The location of the site does not lend itself to truck and manufacturing traffic. The building is not adequate for a modern manufacturing facility. The size and location prohibit the function of such a use.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

The building in its current state is deteriorating and does not function as a warehouse. If the property is not re-developed the building will eventually need to be demolished to avoid collapse if left on its own.

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district.

Currently there is a need for new housing product in the St. Charles area. The proposed residential district will allow for new residential product. The existing zoning, M-1, is

obsolete and does not allow for vehicular traffic, building size and location suitable for industrial and/or manufacturing.

7. The consistency of the proposed amendment with the City's Comprehensive Plan.

Multi-Family Residential will make for a great buffer to the commercial buildings to the north and the east. It will also blend in nicely with scale and its use to the residential zoning on the south and the west.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

The proposed zoning will facilitate residential development in the area. The renovation of the existing building and the new (5) town homes will activate Indiana Avenue.

9. The extent to which the proposed amendment creates nonconformities.

The proposed amendment will help the existing property to conform with the surrounding residential properties. The re-use of a vacant building will promote development and compliment the residential community around the site.

10. The trend of development, if any, in the general area of the property in question.

The new zoning will activate the residential development in the area. The town homes will offer amenities that will promote residential and increase property values in the neighborhood.

EXHIBIT "C"

CRITERIA FOR PLANNED UNIT DEVELOPMENTS

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
- 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

The new development will re-purpose an existing deteriorated building. It will also create new residential housing that will increase the values of the neighboring properties, create density and create a beautiful setting for architecture, landscape and a residential presence that will complement the street and neighborhood.

- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
 - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

The PUD will offer the new use of an existing historic building. It will also activate a once dormant building. Relocation of power lines underground, new sidewalks, landscaping and fencing will also beautify the area.

The Heinz Crystal building has been a part of the St. Charles fabric for over 100 years. The renovation of the existing building will allow residents to enjoy its history and architecture. The new (5) town homes offer a modern design that will complement the existing building and offer design innovations not found in the market place.

The existing and new buildings will be renovated with energy-efficient materials lowering the utility costs of the future residents. The storm water management techniques are being modernized to facilitate the new development.

Coverage deviates from the code to allow for the renovation of the existing building. Factors include the existing site conditions, building size and economics restricting the development from adhering to all of the RM-3 requirements. The required Front Yard Setback, Side Yard Setbacks, Lot Width and Building coverage will deviate from the RM-3 District.

iii. The proposed PUD conforms with the standards applicable to Special Use (Section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The architecture of the Crystal Loft Townhomes incorporates a historic building that has been an economic and architectural staple in the community. The building has stood on its location for over 100 years and originally served as the leading manufacturing of crystal in the United States. The architecture will be preserved and serve as an architecturally significant structure for many years to come.

- B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

The Crystal Lofts will be relocating the existing power lines on Indiana to underground. New sidewalks and decorative fencing will surround the site on the west, north and east ends. The drainage and utilities will be improved to accommodate the new development.

- C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The Crystal Lofts development team has been working with the City of St. Charles to produce a product that compliments the current needs in St. Charles. We have also addressed the public concerns about parking adding additional parking spaces on the north side of the property to accommodate guests.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The townhomes compliment the residential single family homes to the west and the south and act as a nice architectural transition to the industrial buildings on the east and the north.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The Crystal Lofts will be relocating the existing power lines on Indiana to underground. New sidewalks and decorative fencing will surround the site on the west, north and east ends the drainage and utilities will be improved to accommodate the new development.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The Crystal Loft Town homes will adhere to all State and local building codes

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The architecture of the Crystal Loft Townhomes incorporates a historic building that has been an economic and architectural staple in the community. The building has stood on its location for over 100 years and originally served as the leading manufacturing of crystal in the United States. The architecture will be preserved and serve as an architectural significant structure for many years to come.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The proposed PUD conforms to all purposes and intent of the Comprehensive Plan by the renovation of an existing historic building that has been in the city of St. Charles for over 100 years. The development of new residential units in an existing warehouse maintains the character of the street. It will provide a catalyst for residential development on the east side of town. The development will create a transition from single family homes to the industrial to the east.

EXHIBIT "D"

PUD PRELIMINARY PLAN

FINAL ENGINEERING PLANS CRYSTAL LOFT TOWNHOMES

214 S. 13TH AVENUE
ST. CHARLES, IL 60174
NOVEMBER, 2017

UTILITY AND GOVERNING AGENCY CONTACTS

ENGINEERING DEPARTMENT
CITY OF ST. CHARLES ENGINEERING DIVISION
2 E. MAIN STREET
ST. CHARLES, IL 60174
TEL: (630) 377-4486

SANITARY SEWER SERVICE
CITY OF ST. CHARLES ENGINEERING DIVISION
2 E. MAIN STREET
ST. CHARLES, IL 60174
TEL: (630) 377-4486

STORM SEWER SERVICE
CITY OF ST. CHARLES ENGINEERING DIVISION
2 E. MAIN STREET
ST. CHARLES, IL 60174
TEL: (630) 377-4486

WATER SERVICE
CITY OF ST. CHARLES ENGINEERING DIVISION
2 E. MAIN STREET
ST. CHARLES, IL 60174
TEL: (630) 377-4486

ROADWAY AUTHORITY
CITY OF ST. CHARLES ENGINEERING DIVISION
2 E. MAIN STREET
ST. CHARLES, IL 60174
TEL: (630) 377-4486

POWER COMPANY
THE ST. CHARLES MUNICIPAL ELECTRIC UTILITY
200 DEVEREAUX WAY
ST. CHARLES, IL 60174
TEL: (630) 377-4405

PROJECT TEAM

ARCHITECT
FUNKE ARCHITECTS
160 EAST GRAND
CHICAGO, IL 60611
TEL: (312) 593-4812
CONTACT: JEFFREY FUNKE

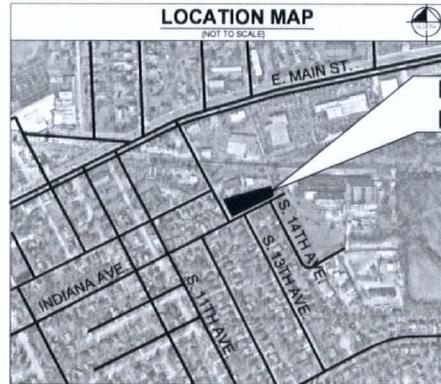
GEOTECH
ETS ENVIRONMENTAL & ASSOCIATES, LLC
204 DEARBORN COURT, SUITE 124
GENEVA, IL 60134
TEL: (630) 513-4710
CONTACT: DAVID J. WAGNER

OWNER
FUNKE ARCHITECTS
160 EAST GRAND
CHICAGO, IL 60611
TEL: (312) 593-4812
CONTACT: JEFFREY FUNKE

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE RD, SUITE 350
LISLE, IL 60532
TEL: (630) 487-5550
EMAIL: NATE.GROFF@KIMLEY-HORN.COM
CONTACT: NATHAN J. GROFF, P.E.

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE RD, SUITE 350
LISLE, IL 60532
TEL: (630) 487-5550
EMAIL: TOM.RUNKLE@KIMLEY-HORN.COM
CONTACT: TOM RUNKLE

SURVEYOR
COMPASS SURVEYING LTD.
2631 GINGER WOODS PARKWAY, SUITE 100
AURORA, IL 60502
TEL: (630) 364-6976
CONTACT: SCOTT C. KREBS



Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
V1.0	ALTA TOPOGRAPHIC SURVEY BY (COMPASS SURVEYING)
C0.1	GENERAL NOTES
C1.0	DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	EROSION CONTROL PLAN
C3.1	EROSION CONTROL DETAILS
C4.0	GRADING AND DRAINAGE PLAN
C5.0	UTILITY PLAN
C6.0	CROSS SECTIONS
C7.0	CONSTRUCTION DETAILS
C7.1	CONSTRUCTION DETAILS
C7.2	CONSTRUCTION DETAILS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS

LEGAL DESCRIPTION

THAT PART OF BLOCK 5 OF W.H. MILCOX SECOND ADDITION TO ST. CHARLES AND THAT PART OF VACATED INDIANA AVENUE, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTH ALONG THE WEST LINE OF SAID BLOCK AND SAID WEST LINE EXTENDED 131.5 FEET TO A LINE DRAWN PARALLEL WITH AND 4 FEET SOUTHERLY OF, MEASURED AT RIGHT ANGLES THERETO THE SOUTHERLY LINE OF SAID BLOCK 5; THENCE EASTERLY ALONG SAID PARALLEL LINE AND SAID LINE EXTENDED TO THE EASTERLY LINE OF SAID BLOCK 5; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHEAST CORNER THEREOF; THENCE NORTHERLY ALONG SAID NORTHERLY LINE 344.4 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS

BENCHMARKS

SITE BENCHMARKS:
(LOCATIONS SHOWN ON SURVEY)

SBM #1 SOUTH BONNET BOLT ON FIRE HYDRANT AT SOUTHEAST CORNER OF SITE
ELEVATION=731.31

SBM #2 WEST BONNET BOLT ON FIRE HYDRANT AT SOUTHWEST CORNER OF SITE.
ELEVATION=730.58

REFERENCE BENCHMARKS:

BENCHMARK NGS N 19 (MFO006)
ELEVATION=696.45 (NAVD 88)

PROFESSIONAL ENGINEER'S CERTIFICATION

I, NATHAN J. GROFF, A LICENSED PROFESSIONAL ENGINEER OF IL, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE, WAS PREPARED ON BEHALF OF FUNKE ARCHITECTS BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 11TH DAY OF DECEMBER, A.D., 2017.

Nathan J. Groff



IL LICENSED PROFESSIONAL ENGINEER 062-060837
MY LICENSE EXPIRES ON NOVEMBER 30, 2019

	REVISIONS NO. DATE BY
	12/11/17 11/22/17 11/20/17
	COMMENTS COMMENTS COMMENTS
AS NOTED DESIGNED BY: NAG DRAWN BY: NAG CHECKED BY: NAG	FUNKE ARCHITECTS COVER SHEET CRYSTAL LOFT TOWNHOMES 214 S. 13TH AVENUE ST. CHARLES, IL
ORIGINAL ISSUE: 10/11/17 RHA PROJECT NO. 168613000 SHEET NUMBER C0.0	

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GENERAL NOTES

- 1. GENERAL NOTES, UTILIZED, RIGHT-OF-WAY AND HORIZONTAL CONTROL, SHOWN ON THE DRAWINGS ARE TO BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE PROJECT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE RIGHT-OF-WAY AND HORIZONTAL CONTROL THROUGHOUT THE PROJECT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE RIGHT-OF-WAY AND HORIZONTAL CONTROL THROUGHOUT THE PROJECT PERIOD.

- 24. ALL FINISHES AND LOTS FOR STORM AND SANITARY SEWERS SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FINISHES AND LOTS THROUGHOUT THE PROJECT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FINISHES AND LOTS THROUGHOUT THE PROJECT PERIOD.

PAVING NOTES

- 1. GENERAL NOTES: ALL FINISHES AND LOTS FOR STORM AND SANITARY SEWERS SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FINISHES AND LOTS THROUGHOUT THE PROJECT PERIOD.

STORM SEWER NOTES

- 1. GENERAL NOTES: ALL FINISHES AND LOTS FOR STORM AND SANITARY SEWERS SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FINISHES AND LOTS THROUGHOUT THE PROJECT PERIOD.

WATERMAIN NOTES

- 1. GENERAL NOTES: ALL FINISHES AND LOTS FOR STORM AND SANITARY SEWERS SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FINISHES AND LOTS THROUGHOUT THE PROJECT PERIOD.

EARTHWORK NOTES

- 1. GENERAL NOTES: ALL FINISHES AND LOTS FOR STORM AND SANITARY SEWERS SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FINISHES AND LOTS THROUGHOUT THE PROJECT PERIOD.

SIGNAGE AND PAVEMENT MARKING NOTES

- 1. GENERAL NOTES: ALL FINISHES AND LOTS FOR STORM AND SANITARY SEWERS SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FINISHES AND LOTS THROUGHOUT THE PROJECT PERIOD.

SANITARY SEWER NOTES

- 1. GENERAL NOTES: ALL FINISHES AND LOTS FOR STORM AND SANITARY SEWERS SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FINISHES AND LOTS THROUGHOUT THE PROJECT PERIOD.

WATERMAIN NOTES

- 1. GENERAL NOTES: ALL FINISHES AND LOTS FOR STORM AND SANITARY SEWERS SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FINISHES AND LOTS THROUGHOUT THE PROJECT PERIOD.

- 25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FINISHES AND LOTS THROUGHOUT THE PROJECT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FINISHES AND LOTS THROUGHOUT THE PROJECT PERIOD.

Project information block including: AS NOTED, EXAMINED BY, DESIGNED BY, CHECKED BY, DATE, and logos for Kimley-Horn and Funk Architects. Includes a table for REVISIONS PER CITY COMMENTS and a table for REVISIONS PER DATE.

BENCHMARKS

SITE BENCHMARKS:
(LOCATIONS SHOWN ON SURVEY)

SBM #1 SOUTH BONNET BOLT ON FIRE HYDRANT AT
SOUTHEAST CORNER OF SITE
ELEVATION=731.31

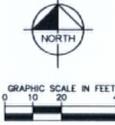
SBM #2 WEST BONNET BOLT ON FIRE HYDRANT AT
SOUTHWEST CORNER OF SITE
ELEVATION=730.58

REFERENCE BENCHMARKS:

BENCHMARK NGS N 19 (MFO006)
ELEVATION=696.45 (NAVD 88)

GENERAL NOTES

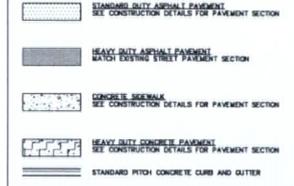
1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
4. RAMP ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET TYPICAL.
5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAINAGE.
6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.



KEY NOTES

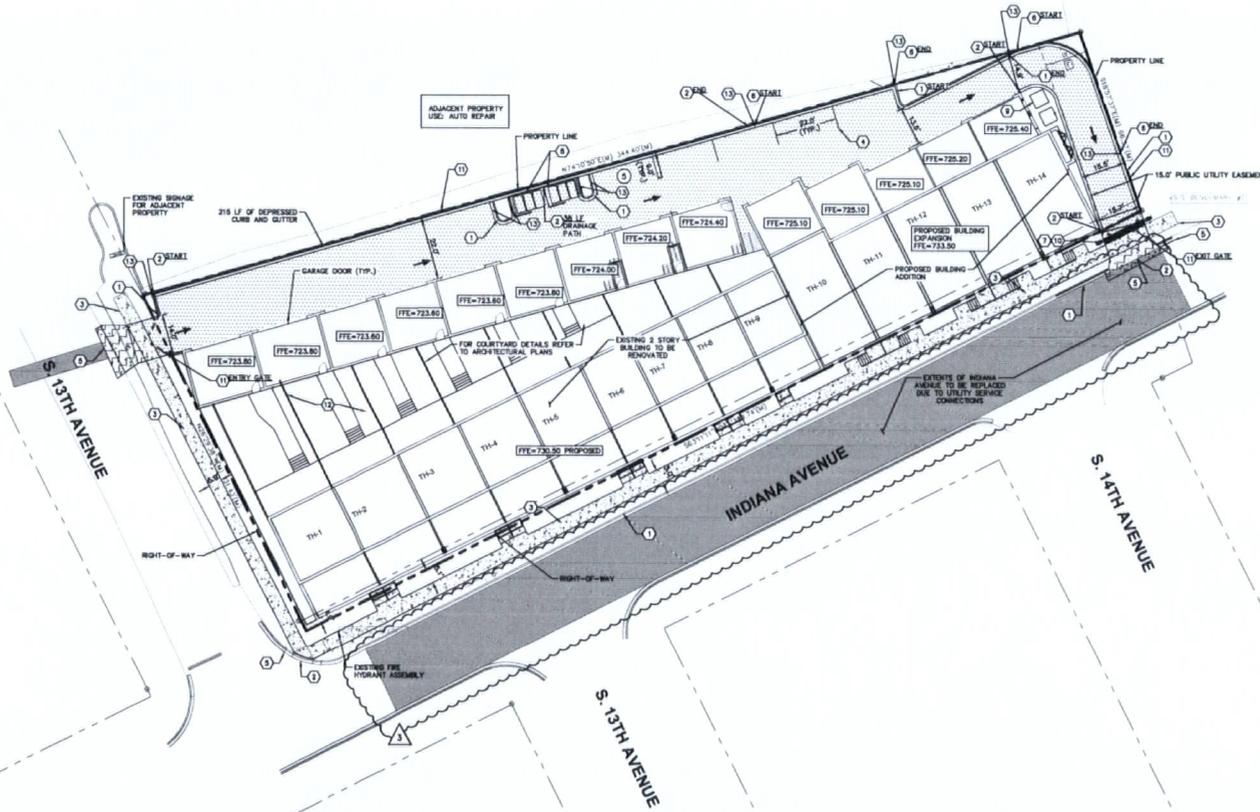
1. 8x12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
2. SPECIAL DEPRESSED CURB AND GUTTER
3. CONCRETE SIDEWALK, TYP. (SEE DETAILS)
4. 4" WIDE PAINTED SOLID LANE, TYP.
5. CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
6. VARIABLE HEIGHT CONCRETE CURB AND GUTTER (SEE GRADING PLAN)
7. STOP SIGN, TYP. (AUTO #1-1, SEE DETAILS)
8. TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
9. TRANSFORMER PAD
10. "DO NOT ENTER" SIGN
11. PERIMETER FENCE WITH GATED ACCESS (SEE ARCHITECTURAL PLANS FOR DETAILS)
12. COURTYARD FENCE (SEE ARCHITECTURAL PLANS FOR DETAILS)
13. 3'-FT TRANSITION CURB

PAVING AND CURB LEGEND



PARKING SUMMARY

PROPOSED GARAGE PARKING	= 88 SPACES
2 ASSIGNED SPACES FOR UNIT	= 5 SPACES
PROPOSED GUEST PARKING	= 5 SPACES
TOTAL PARKING PROVIDED	= 98 SPACES



REVISED PER CITY COMMENTS	DATE
12/17/17	RAM
11/22/17	RAM
11/20/17	RAM
	DATE

Kimley-Horn
ARCHITECTS

SCALE: AS NOTED
DESIGNED BY: RAM
DRAWN BY: RAM
CHECKED BY: NAD

FUNKE
ARCHITECTS

SITE PLAN

CRYSTAL LOFT
TOWNHOMES
214 S. 13TH AVENUE
ST. CHARLES, IL

ORIGINAL ISSUE:
10/11/17
KHA PROJECT NO.
188613000

SHEET NUMBER
C2.0

Drawing name: S:\188613000_KHA_Architects\214_South13th\Drawings\C2.0_Site_Plan.dwg
 Date: 10/11/17
 Author: J. Kimley-Horn
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GRADING NOTES

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL PARADEWAY SPOT GRADE ELEVATIONS AND FIN ELEVATIONS WITHIN OR ALONG CURBS AND GUTTER NOTED TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PARADEWAY SECTION THICKNESS FOR PAVED AREAS TO PROPERLY DISCHARGE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- NO EARTHON SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 0.8% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURBS, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
- MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

GRADING LEGEND

- FG = FINISHED GRADE
- ME = MATCH ELEVATION
- FE = FIN ELEVATION
- TC = TOP OF CURB ELEVATION
- FL = FLOW LINE ELEVATION
- PROPOSED CONTOUR
- EXISTING CONTOUR
- EDGE LINE
- PROPOSED BASE FLOOD ELEVATION (BFE)
- EXISTING BASE FLOOD ELEVATION (BFE)
- SLOPE AND FLOW DIRECTION
- 100-YEAR OVERLAND FLOW ROUTE



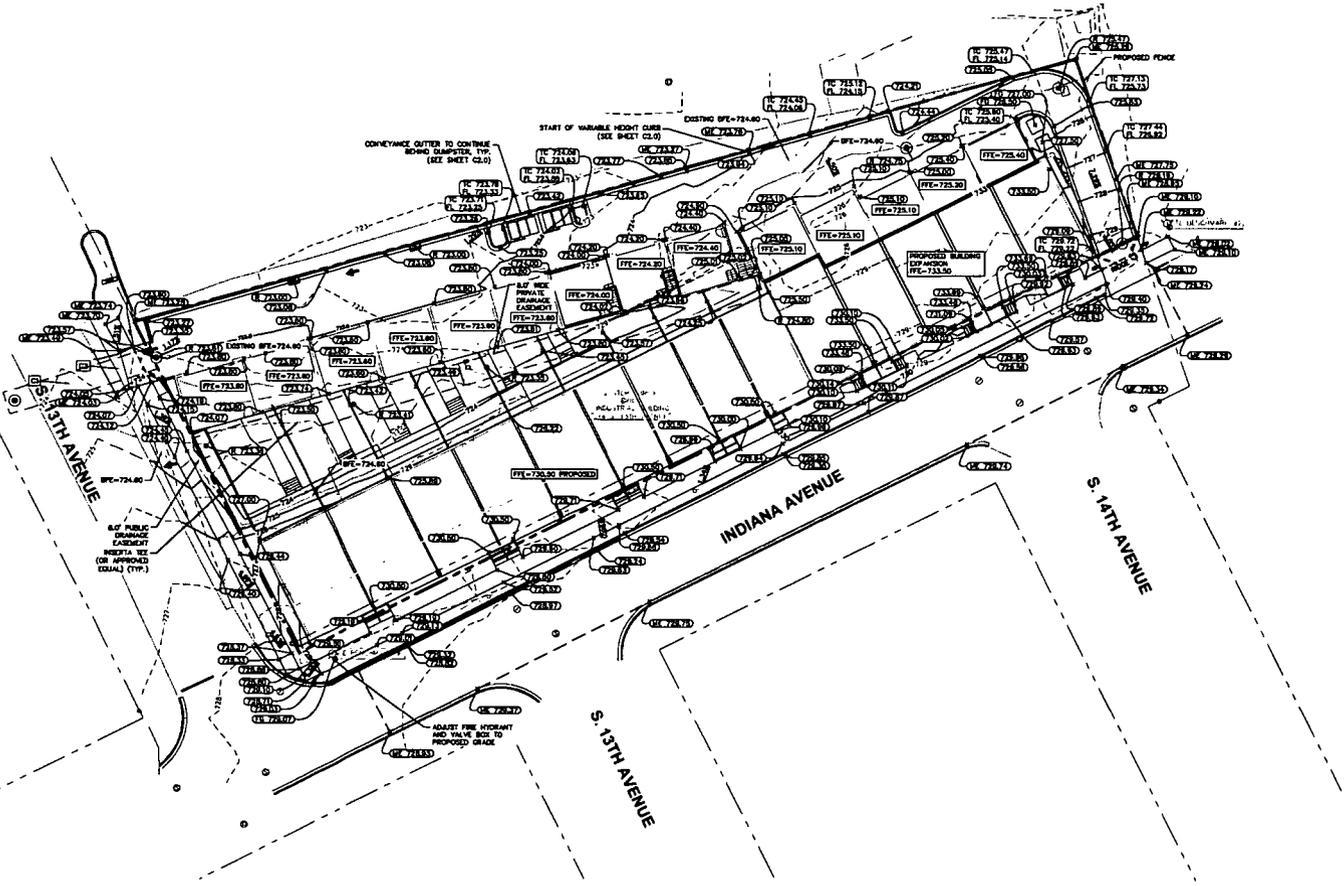
NO.	DATE	BY
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3	11/23/17	RMH
4	11/23/17	RMH
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6	11/23/17	RMH
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50	11/23/17	RMH

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 WWW: KIMLEY-HORN.COM

FUNKE ARCHITECTS
 GRADING AND DRAINAGE PLAN

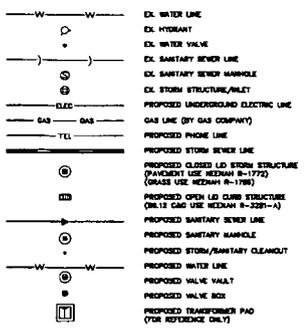
CRYSTAL LOFT TOWNHOMES
 214 S 13TH AVENUE
 ST. CHARLES, LA

ORIGINAL ISSUE:
 10/11/17
 RHA PROJECT NO.
 160813000
 SHEET NUMBER
C4.0



Design: [unreadable] Drawn: [unreadable] Checked: [unreadable] Date: 11/21/17
 Project: [unreadable] Sheet: C4.0 of [unreadable]

UTILITY LEGEND



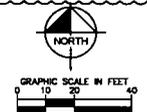
UTILITY NOTES

- GENERAL UTILITY NOTES**
1. ALL WATER LINES 2" SHALL BE DUCTILE IRON PIPE CLASS B2.
 2. ALL SANITARY SEWER LINES SHALL BE PVC METING, ASTM D-3034 SDR 35 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE ALPHA CROD (UNLESS WATER MAIN CADERS IS UTILIZED), PROVIDE A/C, MINIMUM COVER.
 3. CONTRACTOR SHALL COORDINATE ANY DISBURSING TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
 4. ALL ELECTRIC AND TELEPHONE EXISTING INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DISCONNECTED UTILITY COMPANIES.
 5. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
 6. CONTRACTOR TO CALL "CALL" (1-800-HEE-0412) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE CROSSING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 7. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY DEPTHS AND BEHIND THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONTACT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
 8. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SHIELDING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH PERFORMANCE ORGANIZATIONS AS REQUIRED BY OSHA.
 9. CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT SEWANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
 10. ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
 11. SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
 12. SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
 13. STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS.

UTILITY CROSSING LEGEND

- 1" 12" STORM 8" = 723.00 (FIELD VERIFY)
 12" 12" WATER 1/4" = 716.00 (FIELD VERIFY)
 12" 12" WATER 1/4" = 717.00
 12" 12" WATER 1/4" = 723.00 (FIELD VERIFY)
 12" 12" WATER 1/4" = 723.12 (FIELD VERIFY)
 12" 12" WATER 1/4" = 724.00 (FIELD VERIFY)

NOTE: WATERMAIN QUALITY PIPE (QWP) IS REQUIRED FOR ALL WATER MAINS. ALL WATER MAINS SHALL BE 15" DIA. UNLESS OTHERWISE NOTED. ALL WATER MAINS SHALL BE 15" DIA. UNLESS OTHERWISE NOTED. ALL WATER MAINS SHALL BE 15" DIA. UNLESS OTHERWISE NOTED. ALL WATER MAINS SHALL BE 15" DIA. UNLESS OTHERWISE NOTED.



STORM STRUCTURE TABLE

STRUCTURE NAME	DETAILS
01	4" DIA. SANITARY INH. 723.13 HW IN. 723.48 (D) HW IN. 723.28 (D) HW OUT. 723.38 (D)
02	4" DIA. SANITARY INH. 723.13 HW IN. 723.88 (D) HW IN. 723.88 (D) HW OUT. 723.43 (D)
03	4" DIA. CATCH BASIN INH. 723.00 HW IN. 723.00 (D) HW OUT. 723.94 (D)
04	4" DIA. CATCH BASIN INH. 723.00 HW IN. 723.88 (D) HW OUT. 723.88 (D)
05	4" DIA. SANITARY INH. 724.75 HW IN. 724.75 (D) HW OUT. 724.32 (D)
013	7" DIA. SANITARY INH. 723.13 HW IN. 723.13 (D) HW OUT. 723.67 (D)
001	7" DIA. SANITARY INH. 723.47 HW IN. 723.47 (D) HW OUT. 724.30 (D)
002	7" DIA. SANITARY INH. 724.77 HW IN. 724.77 (D) HW OUT. 724.30 (D)
003	7" DIA. SANITARY INH. 723.07 HW IN. 723.07 (D) HW OUT. 723.50 (D)
004	7" DIA. SANITARY INH. 724.30 HW IN. 724.30 (D) HW OUT. 724.30 (D)
006	7" DIA. SANITARY INH. 724.75 HW IN. 724.75 (D) HW OUT. 724.30 (D)
007	7" DIA. SANITARY INH. 723.13 HW IN. 723.13 (D) HW OUT. 723.80 (D)
008	7" DIA. SANITARY INH. 724.77 HW IN. 724.77 (D) HW OUT. 724.30 (D)
009	7" DIA. SANITARY INH. 724.77 HW IN. 724.77 (D) HW OUT. 724.30 (D)
010	7" DIA. SANITARY INH. 723.13 HW IN. 723.13 (D) HW OUT. 723.80 (D)
011	7" DIA. SANITARY INH. 723.47 HW IN. 723.47 (D) HW OUT. 723.80 (D)
012	7" DIA. SANITARY INH. 723.13 HW IN. 723.13 (D) HW OUT. 723.80 (D)
013	7" DIA. SANITARY INH. 723.13 HW IN. 723.13 (D) HW OUT. 723.80 (D)
014	7" DIA. SANITARY INH. 723.13 HW IN. 723.13 (D) HW OUT. 723.80 (D)

CRYSTAL LOFT TOWNHOMES
214 S. 13TH AVENUE
ST. CHARLES, IL

UTILITY PLAN

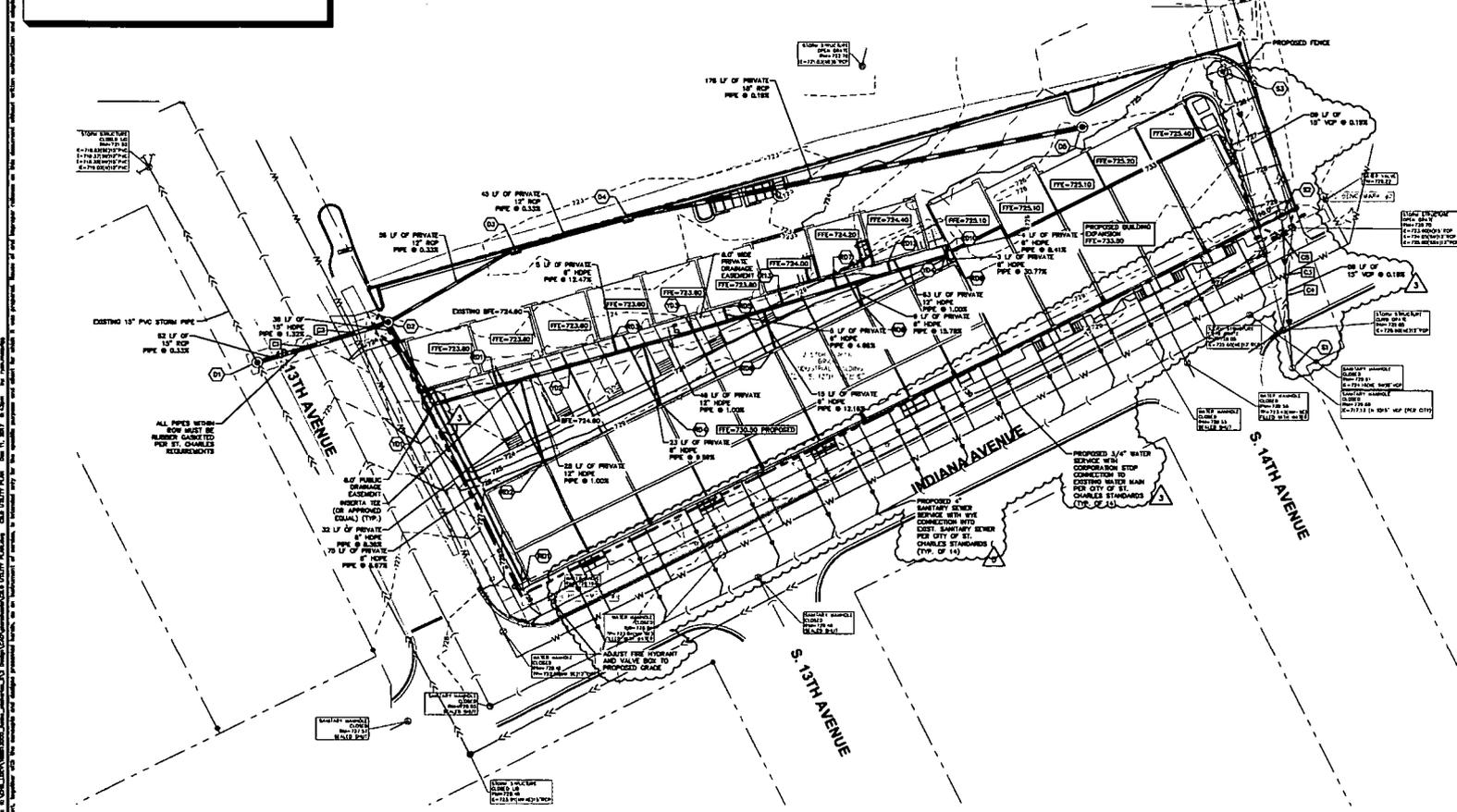
FUNKE ARCHITECTS

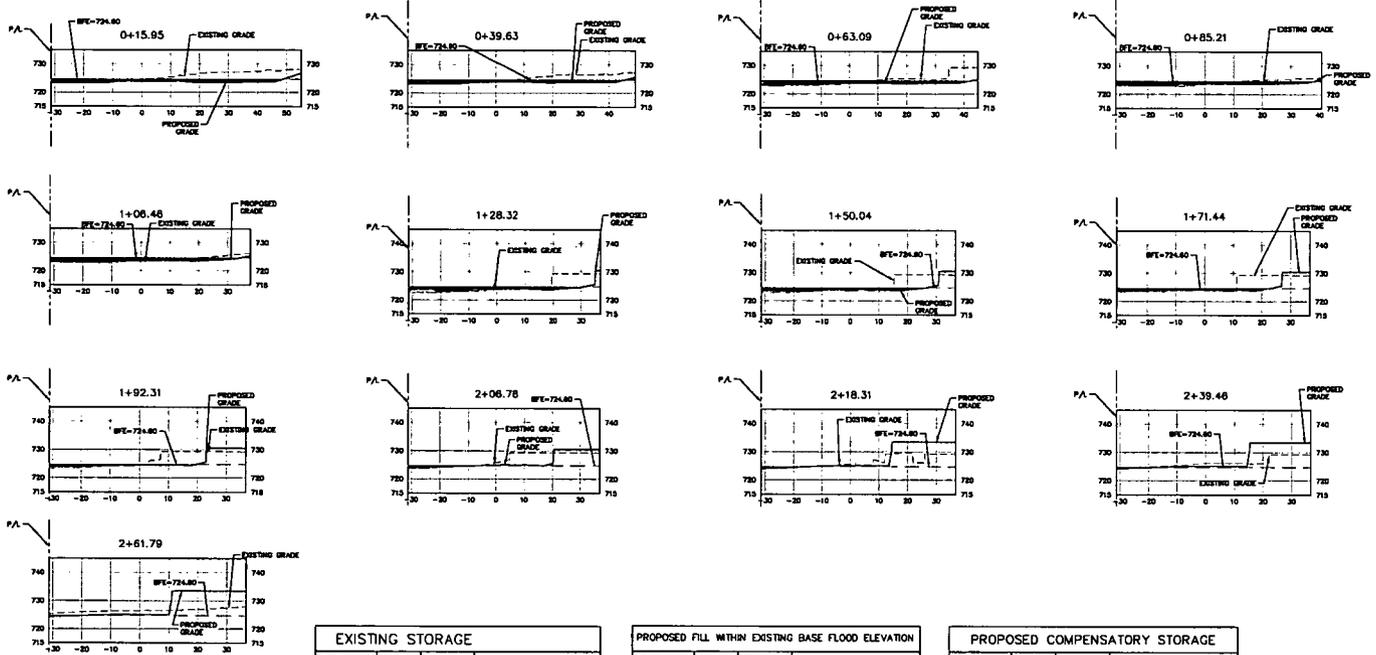
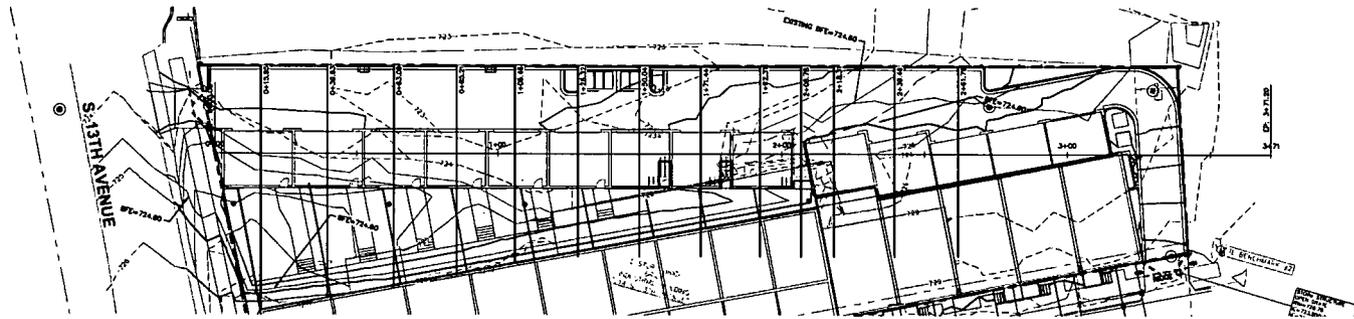
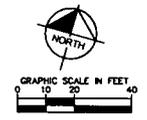
Kimley-Horn

ORIGINAL ISSUE: 10/21/17
 KHA PROJECT NO: 168613000
 SHEET NUMBER: C5.0

STORM STRUCTURE TABLE

STRUCTURE NAME	DETAILS
01	4" DIA. SANITARY INH. 723.13 HW IN. 723.48 (D) HW IN. 723.28 (D) HW OUT. 723.38 (D)
02	4" DIA. SANITARY INH. 723.13 HW IN. 723.88 (D) HW IN. 723.88 (D) HW OUT. 723.43 (D)
03	4" DIA. SANITARY INH. 723.13 HW IN. 723.88 (D) HW IN. 723.88 (D) HW OUT. 723.43 (D)

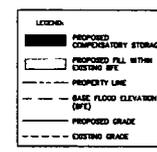




EXISTING STORAGE			
Station	Area	Volume	Cumulative Volume
0+15.95	29.27	0.0	0.00
0+39.63	45.27	882.8	882.87
0+63.09	55.39	1180.9	2063.42
0+85.21	61.37	1291.3	3354.74
1+06.46	72.23	1419.2	4773.95
1+28.32	71.21	1508.4	6342.30
1+50.04	62.58	1432.5	7794.78
1+71.44	48.69	1181.0	8985.78
1+92.31	23.34	772.4	9758.16
2+06.78	14.85	290.8	10048.93
2+18.31	7.83	130.8	10179.88
2+39.46	0.26	83.6	10283.29
2+61.79	0.00	2.9	10286.24

PROPOSED FILL WITHIN EXISTING BASE FLOOD ELEVATION			
Station	Area	Volume	Cumulative Volume
0+15.95	0.72	0.0	0.00
0+39.63	3.84	53.3	53.31
0+63.09	10.60	170.8	225.78
0+85.21	14.68	279.4	508.15
1+06.46	17.38	340.4	848.51
1+28.32	22.77	438.0	1284.48
1+50.04	23.85	506.1	1790.62
1+71.44	25.78	531.0	2321.58
1+92.31	14.04	415.2	2736.78
2+06.78	4.74	135.9	2872.72
2+18.31	2.83	43.7	2916.38
2+39.46	0.00	29.8	2946.28
2+61.79	0.00	0.0	2946.28

PROPOSED COMPENSATORY STORAGE			
Station	Area	Volume	Cumulative Volume
0+15.95	84.93	0.0	0.00
0+39.63	80.34	1837.1	1837.13
0+63.09	81.66	1800.8	3837.69
0+85.21	78.03	1743.9	5601.61
1+06.46	73.40	1587.3	7188.91
1+28.32	57.12	1427.1	8616.02
1+50.04	45.97	1119.2	9735.22
1+71.44	29.41	808.8	10541.99
1+92.31	14.78	460.8	11002.77
2+06.78	10.21	180.7	11183.45
2+18.31	4.92	87.3	11270.70
2+39.46	3.71	91.3	11361.58
2+61.79	2.94	74.2	11436.20



FLOODPLAIN GRADING ANALYSIS

TOTAL PROPERTY AREA = 33,079 SF (0.759 AC)
 BASE FLOOD ELEVATION = 724.60

EXISTING FLOOD STAGE STORAGE VOLUME BELOW BFE = 10,288 CF
 PROPOSED FILL WITHIN EXISTING BFE = 2,847 CF (FILL)
 PROPOSED FILL HAS IMPLIED BY ILS (PER COUNTY REQUIREMENTS) = 2,847 CF x 1.5 = 4,271 CF
 NET DIFFERENCE BETWEEN EXISTING STAGE STORAGE VOLUME AND PROPOSED FILL VOLUME = 10,288 CF - 2,847 CF = 7,441 CF
 PROPOSED COMPENSATORY STORAGE VOLUME = 11,743 CF
 PROPOSED FLOOD STORAGE VOLUME BELOW BFE = 11,436 CF
 VOLUME DEFICIT PROVIDED BY STAGE PILES = 310 CF
 TOTAL VOLUME PROVIDED: 11,746 CF

CRYSTAL LOFT TOWNHOMES
 214 S 13TH AVENUE
 ST. CHARLES, MO

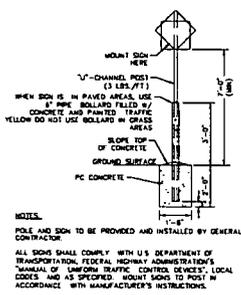
FUNKE ARCHITECTS

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 Fax: (636) 733-3300
 www.kimley-horn.com

REVISIONS

NO.	DATE	REVISIONS
1	11/27/17	REVISED PER CITY COMMENTS
2	12/17/17	REVISED PER CITY COMMENTS
3	11/27/17	REVISED PER CITY COMMENTS
4	11/27/17	REVISED PER CITY COMMENTS
5	11/27/17	REVISED PER CITY COMMENTS
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99	11/27/17	REVISED PER CITY COMMENTS
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ORIGINAL ISSUE: 10/21/17
 IHA PROJECT NO: 168813000
 SHEET NUMBER: C6.0

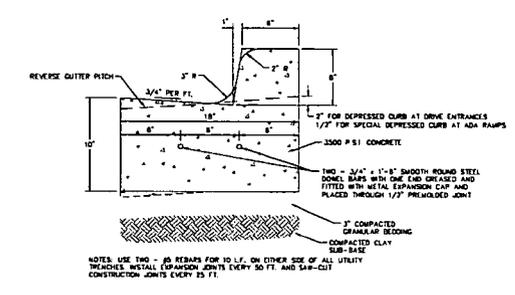
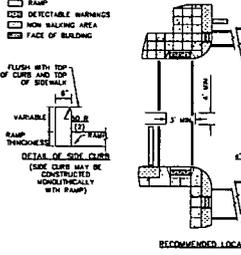


STANDARD SIGN BASE
115

GENERAL NOTES:

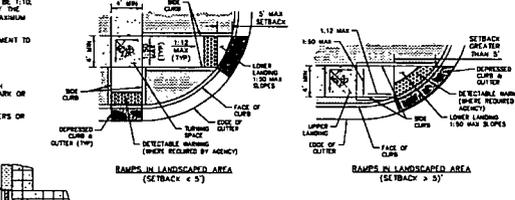
1. THE MAXIMUM SLOPE OF THE SIDE FLARE FOR TYPE B RAMPS SHALL BE 1:10, UNLESS IF THE WIDTH OF THE LANDING AREA BETWEEN THE TOP OF THE RAMP AND AN OBSTRUCTION IS LESS THAN 12M (4'-0"). THE MAXIMUM SLOPE SHALL BE 1:12.
2. ALL SLOPE RAMP ARE EXPRESSED AS UNITS OF VERTICAL DISPLACEMENT TO UNITS OF HORIZONTAL DISPLACEMENT (V:H).
3. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SHOWN.
4. RAMP DETAILS TO BE COORDINATED PER AGENCY REQUIREMENTS.
5. DETECTABLE WARNING SHALL CONSIST OF TRUNCATED DOMES WHICH CONTRAST VISUALLY WITH ADJACENT SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
6. CONTRACTOR TO SELECT ADA DETECTABLE WARNING PERMISSIBLE PAVERS OR CONCRETE WITH ADA DETECTABLE WARNING DOMES FOR RAMPS.

LEGEND:
 [Symbol] SIDEWALK
 [Symbol] RAMP
 [Symbol] DETECTABLE WARNING
 [Symbol] NON BALANCING AREA
 [Symbol] FACE OF BUILDING

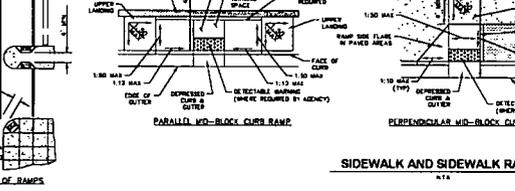


B6.12 CURB & GUTTER
116

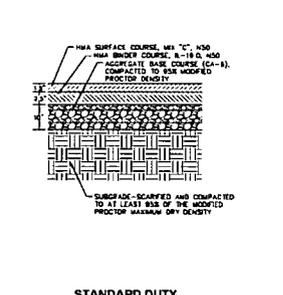
STANDARD DUTY ASPHALTIC PAVEMENT SECTION
117



STANDARD DUTY ASPHALTIC PAVEMENT SECTION
117

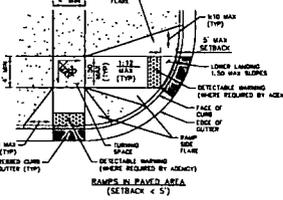


CONCRETE SIDEWALK
118

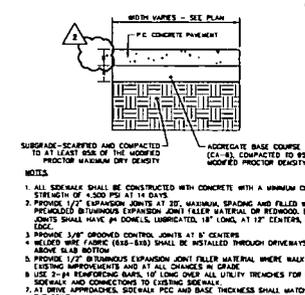


HEAVY DUTY CONCRETE PAVEMENT SECTION
119

STORMWATER INFILTRATION TRENCH DETAIL
120

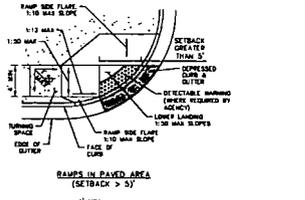


STORMWATER INFILTRATION TRENCH DETAIL
120

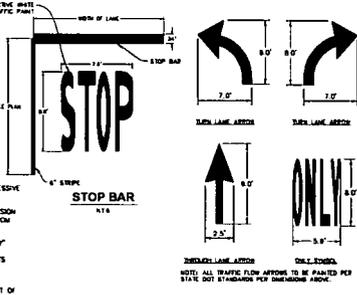


SIDEWALK AT CURB AND GUTTER
121

DRIVEWAY DETAIL
122

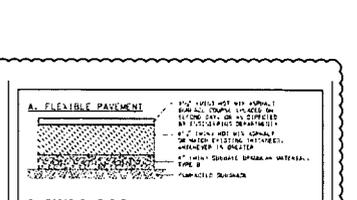


DRIVEWAY DETAIL
122

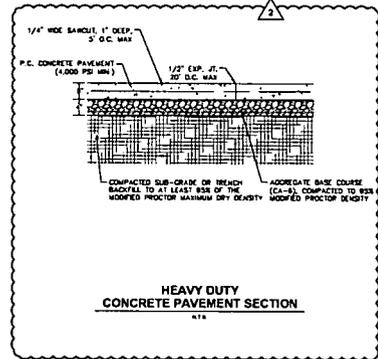


STOP SIGN
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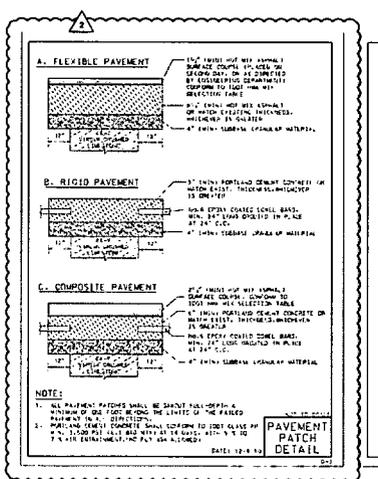
TRAFFIC FLOW ARROW
124



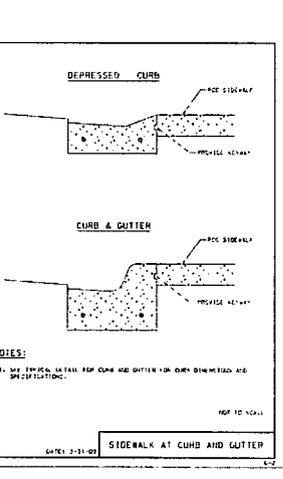
TRAFFIC FLOW ARROW
124



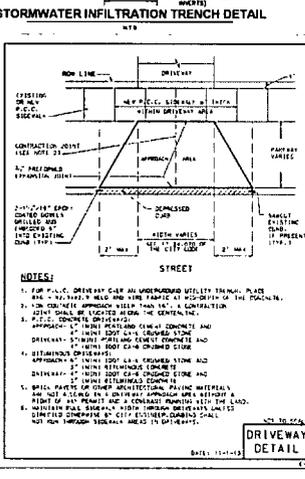
HEAVY DUTY CONCRETE PAVEMENT SECTION
125



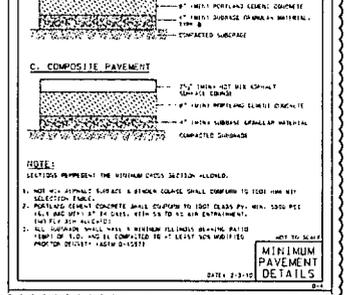
PAVEMENT PATCH DETAIL
126



SIDEWALK AT CURB AND GUTTER
127



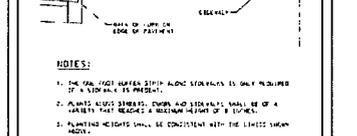
DRIVEWAY DETAIL
128



A. FLEXIBLE PAVEMENT
129



B. RIGID PAVEMENT
130



C. COMPOSITE PAVEMENT
131



MINIMUM PAVEMENT DETAILS
132

Crystal Loft Townhomes
214 S. 13TH AVENUE
ST. CHARLES, IL

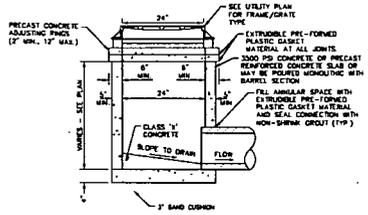
FUNKE ARCHITECTS
CONSTRUCTION DETAILS

Kimley-Horn
INCORPORATED
1001 HANCOCK ROAD
ST. LOUIS, MO 63103
PH: 314.437.1000
WWW.KIMLEY-HORN.COM

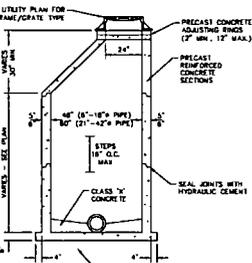
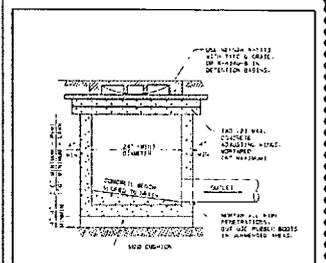
AS NOTED
CONTRACT NO. 115
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: 12/17/17

REVISIONS
NO. DATE BY

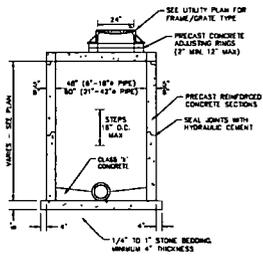
ORIGINAL ISSUE: 10/17/17
KHA PROJECT NO.: 160813000
SHEET NUMBER: C7.0



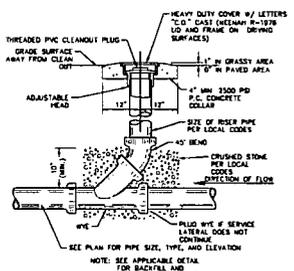
2' DIAMETER STORM INLET
DATE: 2-19-10



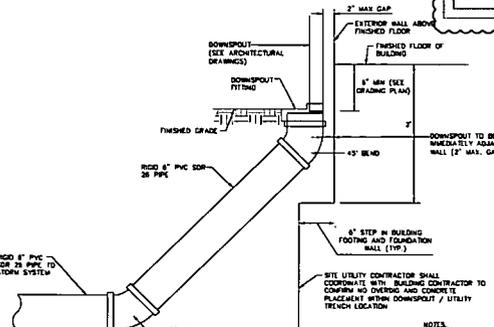
STORM MANHOLE TYPE A
DATE: 2-19-10



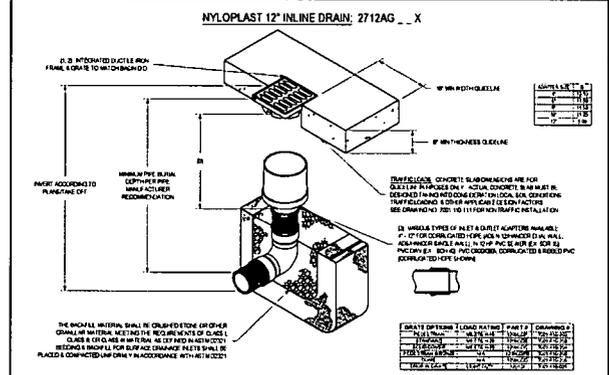
STORM MANHOLE (FLAT TOP)
DATE: 2-19-10



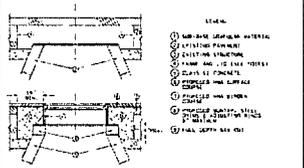
SANITARY/STORM CLEAN-OUT
DATE: 2-19-10



DOWNSPOUT CONNECTION DETAIL
DATE: 2-19-10



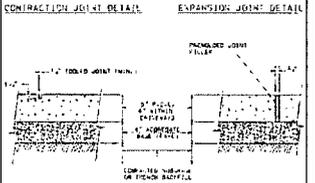
NYLOPLAST 12" INLINE DRAIN, 2712AG_X
DATE: 2-19-10



FRAME AND LID ADJUSTMENT WITH CONCRETE COLLAR
DATE: 2-19-10

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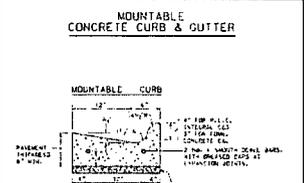
1. THE FRAME SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
2. THE LID SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
3. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
4. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
5. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.



CONCRETE WALK JOINT DETAILS
DATE: 2-19-10

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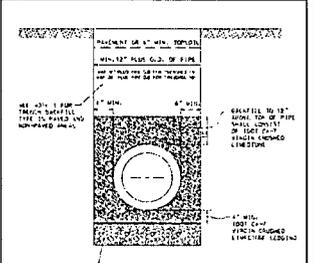
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2. THE LID SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
3. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
4. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
5. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.



MOUNTABLE CURB & GUTTER
DATE: 2-19-10

NOTES:

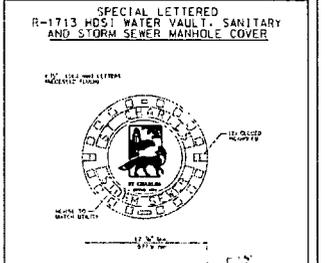
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2. THE LID SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
3. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
4. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
5. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.



RCP & DIP TRENCH DETAIL
DATE: 2-19-10

NOTES:

1. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
2. THE LID SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
3. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
4. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
5. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.



SPECIAL LETTERED R-173 HD5 WATER VAULT, SANITARY AND STORM SEWER MANHOLE COVER
DATE: 2-19-10

NOTES:

1. THE COVER SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
2. THE LID SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
3. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
4. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.
5. THE CURB SHALL BE ADJUSTED TO BE SQUARE TO THE CURB.

NO.	DATE	BY	REVISIONS
1	11/21/17	MM	ISSUE FOR PERMITS
2	11/22/17	MM	ISSUE FOR PERMITS
3	11/22/17	MM	ISSUE FOR PERMITS
4	11/22/17	MM	ISSUE FOR PERMITS
5	11/22/17	MM	ISSUE FOR PERMITS

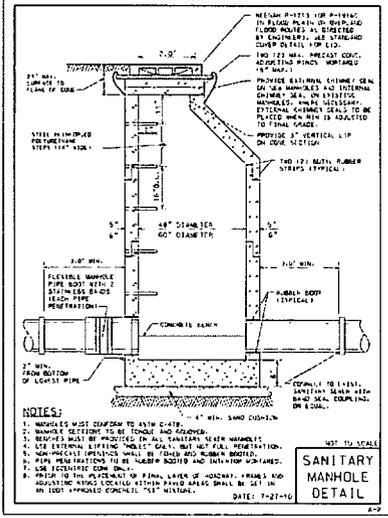
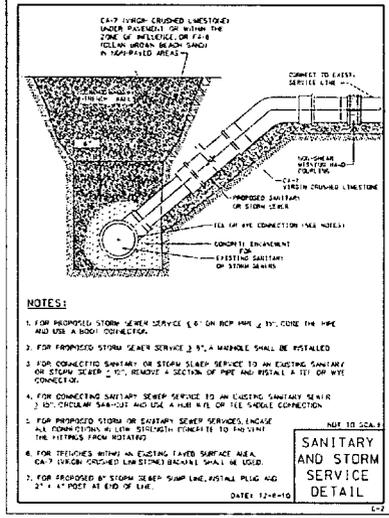
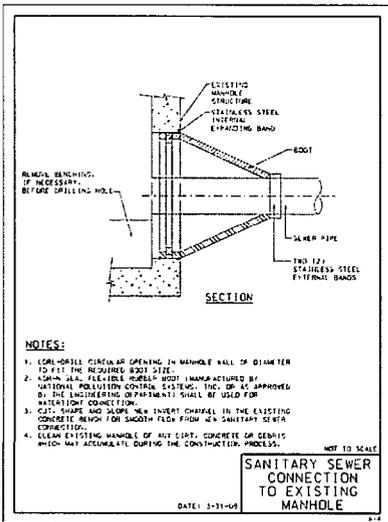
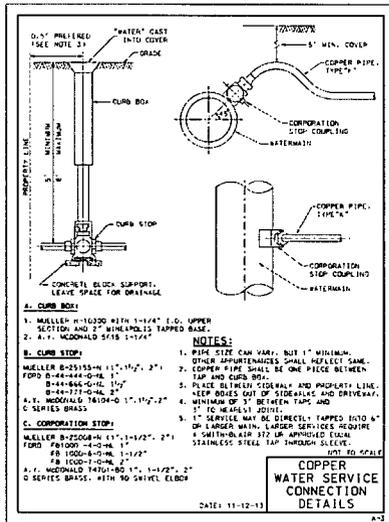
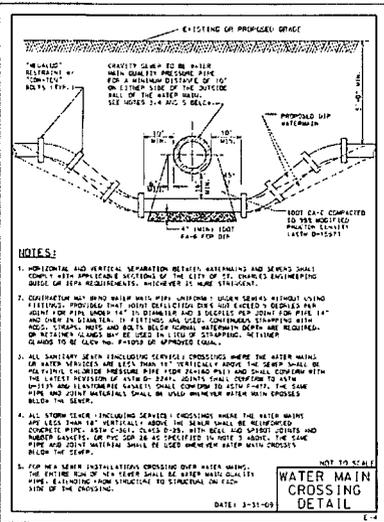
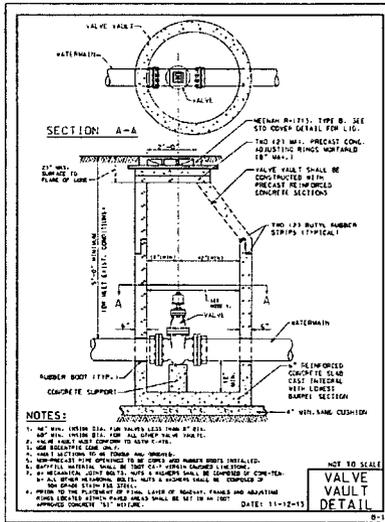
Kimley-Horn
1001 EAST 17TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1100
WWW.KIMLEY-HORN.COM

AS NOTED
CHECKED BY: MM
DESIGNED BY: MM
DATE: 2-19-10
PROJECT NO. 168013000
SHEET NO. 10

FUNKE ARCHITECTS

CRYSTAL LOFT TOWNHOMES
2145 10TH AVENUE
ST. CHARLES, IL

ORIGINAL ISSUE: 10/21/17
RHA PROJECT NO. 168013000
SHEET NUMBER
C7.1



NO.	DATE	BY
1	11/21/13	JK
2	11/22/13	JK
3	11/22/13	JK
4	11/22/13	JK
5	11/22/13	JK
6	11/22/13	JK
7	11/22/13	JK
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10	11/22/13	JK

DESIGNED BY	JK
CHECKED BY	JK
DATE	11/21/13

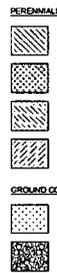
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DESIGNED BY	JK
CHECKED BY	JK
DATE	11/21/13

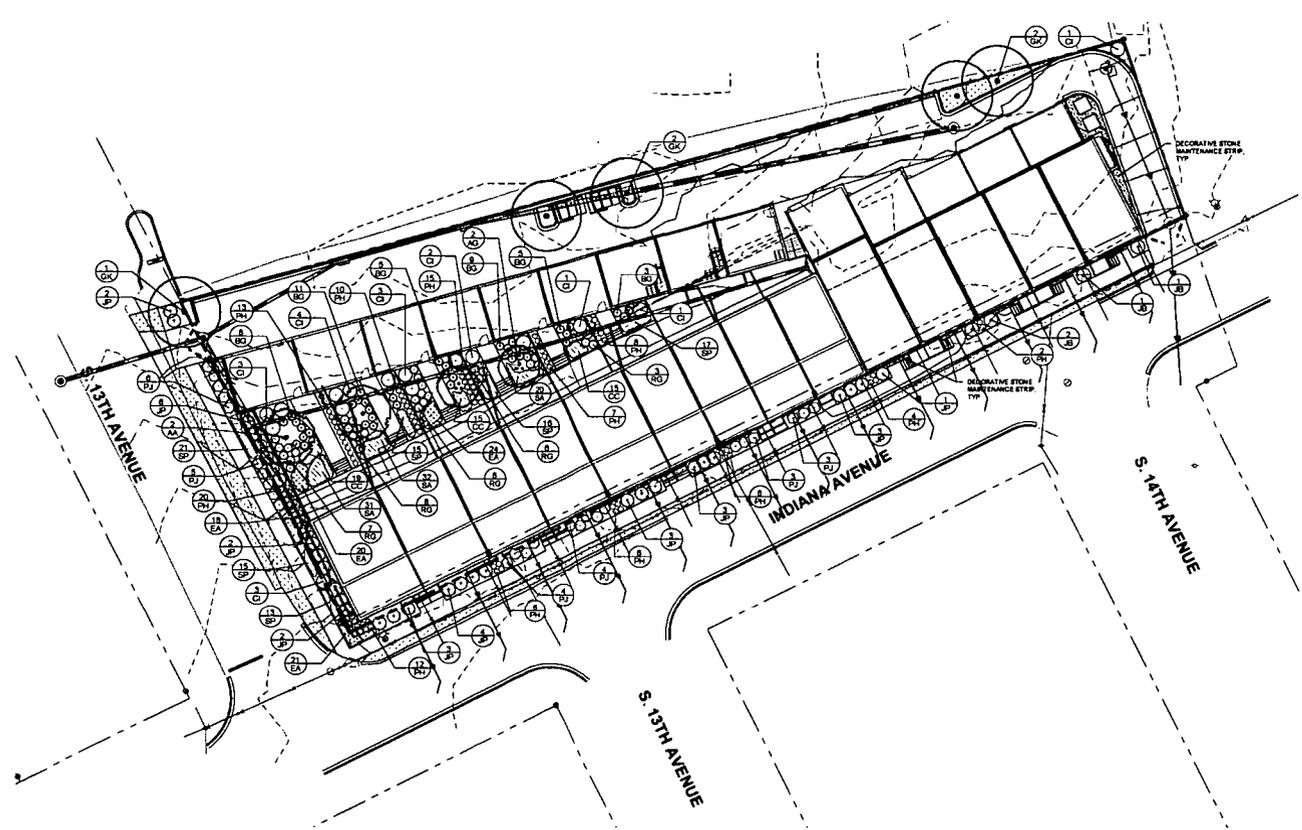
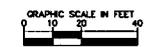
ORIGINAL ISSUE:	10/21/13
KHA PROJECT NO.	186613000
SHEET NUMBER	C7.2

PLANT SCHEDULE

ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	GAL.	SIZE
	AG	2	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	'AUTUMN BRILLIANCE' SERVICEBERRY	0 B & B	MULTI-TRUNK	6' HT MIN
SHADE TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	GAL.	SIZE
	AA	2	ACER X FREEMANI 'ARMSTRONG'	ARMSTRONG FREEMAN MAPLE	B & B	2" CAL MIN	SINGLE STEM
	OK	5	DYMNOCLODUS DIOICA	KENTUCKY COFFEE TREE	B & B	2 1/2" CAL MIN	SINGLE STEM
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	CI	18	CORNUS SERICEA 'ISANTI'	ISANTI REDOSIGER DOGWOOD	-	SEE PLAN	30" HT MIN
	PJ	26	POTENTILLA FRUTICOSA 'JACKMANI'	JACKMAN'S POTENTILLA	-	SEE PLAN	24" HT MIN
	RO	33	RIBES ALPNUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	-	SEE PLAN	24" HT MIN
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	BO	41	BUXUS X 'GREEN MOUND'	GREEN MOUND BOXWOOD	-	SEE PLAN	24" HT MIN
	JB	4	JUNIPERUS SABINA 'BLUE FOREST'	BLUE FOREST JUNIPER	-	SEE PLAN	24" SPREAD
	JP	29	JUNIPERUS CHINENSIS 'KALLAYS COMPACT'	KALLAY COMPACT PRITZER JUNIPER	-	SEE PLAN	24" HT MIN
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	PH	109	PANICUM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	1 GAL	24" OC	



PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING
	CC	49	COREOPSIS X 'CREME BRULEE'	CREME BRULEE/CISSAID	1 GAL	18" OC
	EA	83	ECHINACEA PURPUREA 'ALBA'	WHITE CONEFLOWER	1 GAL	18" OC
	SA	83	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GAL	18" OC
	SP	97	SYMPHYOTRICHUM NOVAE-ANGLIAE 'PURPLE DOME'	NEW ENGLAND ASTER	1 GAL	18" OC
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME			
	-2	...	500			
	DS	...	DECORATIVE STONE MAINTENANCE STRIP			



LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
4. ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
5. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
6. AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
7. PLANTING AREA SOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUBS, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
8. SOO LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SOO ALL AREAS WHICH ARE DISTURBED BY GRADING AND CONSTRUCTION.
9. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUBS, PERENNIAL AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
10. WEED FABRIC SHALL ONLY BE APPLIED UNDER DECORATIVE STONE APPLICATIONS.
11. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
12. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
13. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
14. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

<p>Kimley-Horn</p> <p>ARCHITECTS</p> <p>714 S. 13TH AVENUE ST. CHARLES, IL</p>	<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>11/24/17</td> <td>...</td> <td>...</td> </tr> <tr> <td>2</td> <td>11/24/17</td> <td>...</td> <td>...</td> </tr> <tr> <td>3</td> <td>11/24/17</td> <td>...</td> <td>...</td> </tr> </table>	NO.	DATE	BY	DESCRIPTION	1	11/24/17	2	11/24/17	3	11/24/17
NO.	DATE	BY	DESCRIPTION														
1	11/24/17														
2	11/24/17														
3	11/24/17														
<p>SCALE: AS SHOWN</p> <p>DESIGNED BY: ...</p> <p>DRAWN BY: ...</p> <p>CHECKED BY: ...</p>	<p>ORIGINAL ISSUE: 10/21/17</p> <p>KHA PROJECT NO. 166813000</p> <p>SHEET NUMBER</p>																
<p>FUNKE ARCHITECTS</p>	<p>CRYSTAL LOFT TOWNHOMES</p>																
<p>LANDSCAPE PLAN</p>	<p>L1.0</p>																

NO.	DATE	REVISIONS
1	10/21/17	REVISED PER CITY COMMENTS
2	11/07/17	REVISED PER CITY COMMENTS
3	11/07/17	REVISED PER CITY COMMENTS
4	11/07/17	REVISED PER CITY COMMENTS

Kimley-Horn
 INC.
 1000 UNIVERSITY AVENUE
 SUITE 100
 CHICAGO, IL 60607
 PHONE: 312.461.1000
 WWW.KH.COM

SCALE: AS NOTED
 DESIGNED BY: NMS
 DRAWN BY: NMS
 CHECKED BY: JLD

FUNKE ARCHITECTS

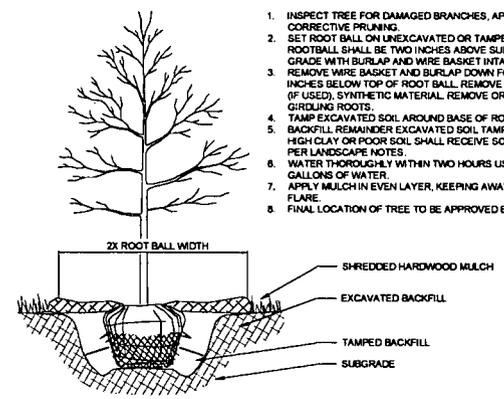
LANDSCAPE DETAILS

CRYSTAL LOFT TOWNHOMES
 214 S 37th AVENUE
 ST. CHARLES, IL

ORIGINAL ISSUE: 10/21/17
 IHA PROJECT NO: 166813000
 SHEET NUMBER: L2.0

NOTES:

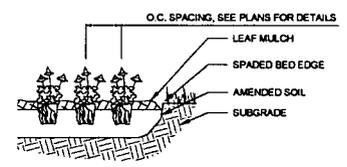
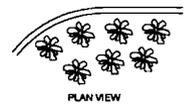
1. INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
5. BACKFILL REMAINDER EXCAVATED SOIL, TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



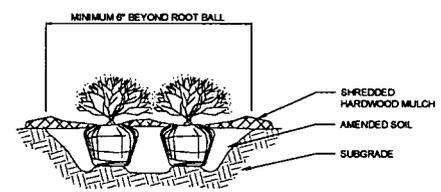
1 TREE PLANTING NTS

NOTES:

1. EXCAVATE PLANTING BED.
2. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
3. REMOVE CONTAINER, SCORE SOIL MASS TO REDIRECT AND PREVENT CIRCLING ROOTS. CORRECT GIRDLING ROOTS.
4. PLANT MATERIAL SHALL BE LAID OUT BY FOLLOWING THE BED EDGE, WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS PLAUSSIBLE.
5. PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS/GROUNDCOVER EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.
7. SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.



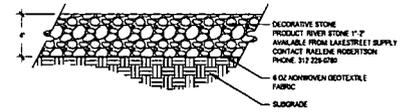
3 PERENNIAL PLANTING NTS



NOTES:

1. APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL TWINE AND (IF USED) SYNTHETIC MATERIAL. SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
4. REMOVE OR CORRECT GIRDLING ROOTS.
5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

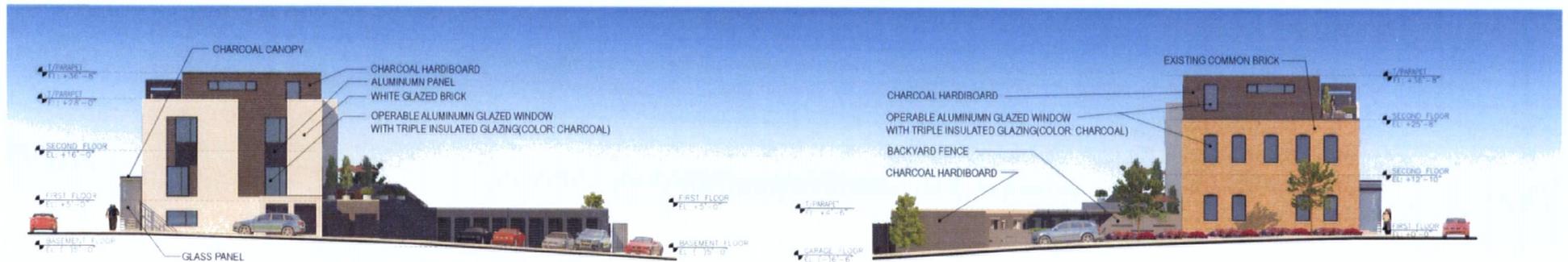
2 SHRUB PLANTING NTS



4 DECORATIVE STONE MAINTENANCE STRIP NTS

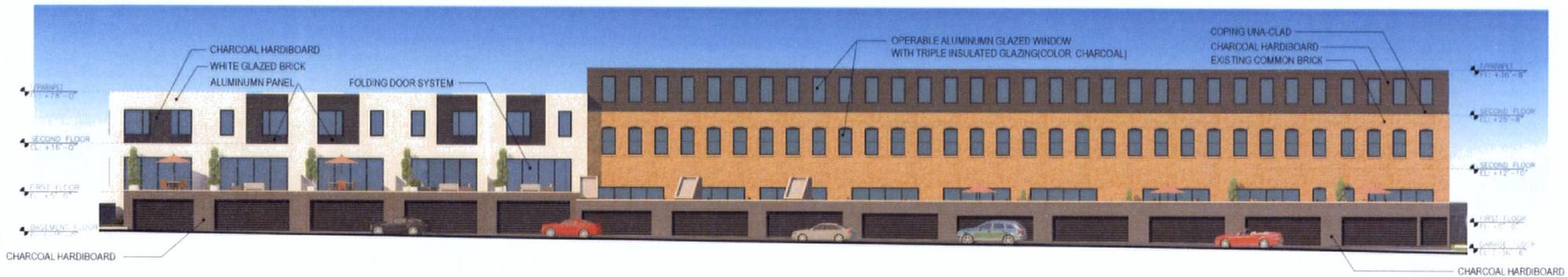


SOUTH ELEVATION

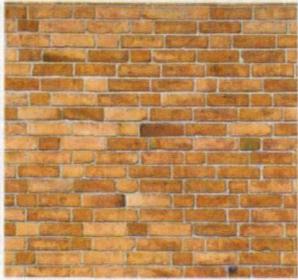


EAST ELEVATION

WEST ELEVATION



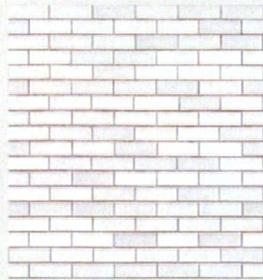
NORTH ELEVATION



A Existing Common Brick



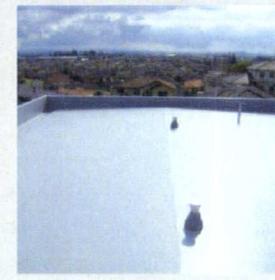
B Aluminum panel



C Glazed Brick



D Hardi board



E TPO Roofing System



F Aluminum Insulated Garage Door



G Operable Aluminum Glazed Window with Triple Insulated Glazing (Color: Charcoal)



H Operable Aluminum Glazed Window (Charcoal)



I Folding Door System



J Balcony Railing



K Timber Tech Decking



L Front Door Stair



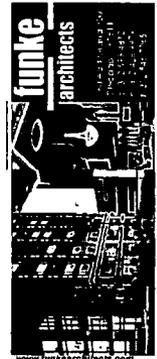
M Front Door Canopy



N Front Door



O Backyard Cedar Fence



CRYSTAL LOFT TOWNHOMES
 214 S 13TH AVE,
 ST CHARLES, IL

DEVELOPER:
 Jeff Funke,
 Funkearchitects
 160 East Grand Suite 300
 Chicago, IL 60611
 T: 312 344 1151
 C: 312 593 4812
 jff@funkearchitects.com
 www.funkearchitects.com

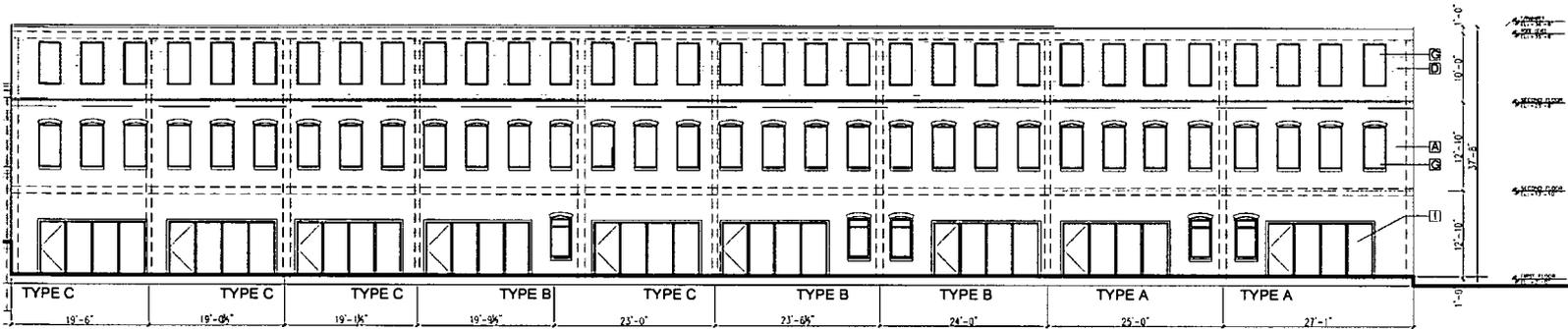
I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY PERSONAL SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, CONFORM WITH ALL PERTINENT CITY CODES AND ORDINANCES



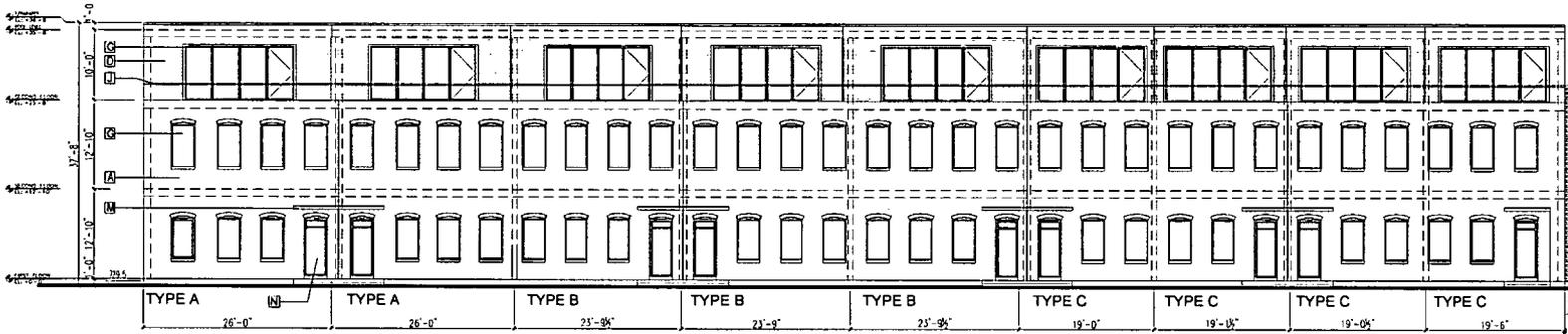
#001-017108
 EXPIRES 11/30/2018

No.	Date	Item

SHEET TITLE:
MAIN BUILDING ELEVATIONS
 SHEET NO.
A31

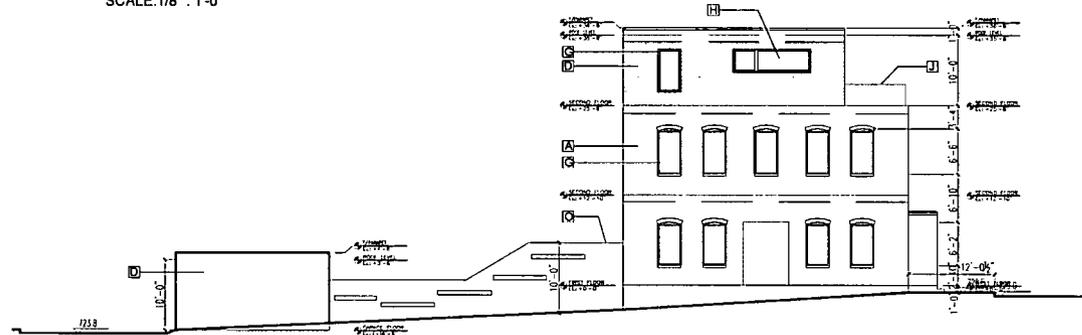


NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

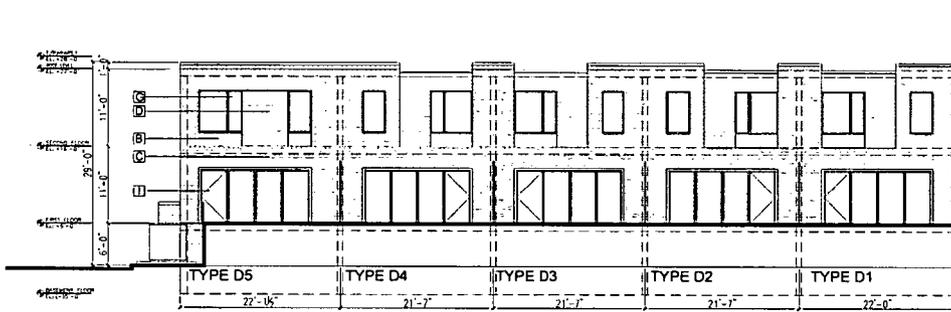


SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

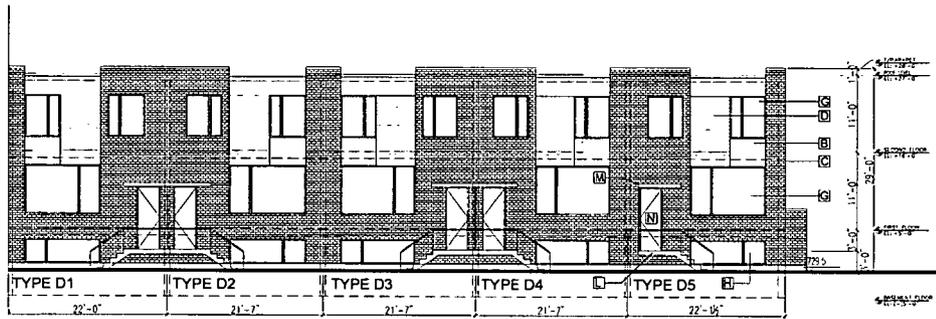
- A** EXISTING COMMON BRICK
- B** ALUMINUM PANEL
- C** GLAZED BRICK
- D** HARDI BOARD
- E** TPO ROOFING SYSTEM
- F** ALUMINUM INSULATED GARAGE DOOR
- G** OPERABLE ALUMINUM GLAZED WINDOW1
- H** OPERABLE ALUMINUM GLAZED WINDOW2
- I** FOLDING DOOR SYSTEM
- J** BELCONY RAILING
- K** TIMBER TECH DECKING
- L** FRONT DOOR STAIR
- M** FRONT DOOR CANOPY
- N** FRONT DOOR
- O** BACKYARD CEDAR FENCE



WEST ELEVATION
 SCALE: 1/8" = 1'-0"

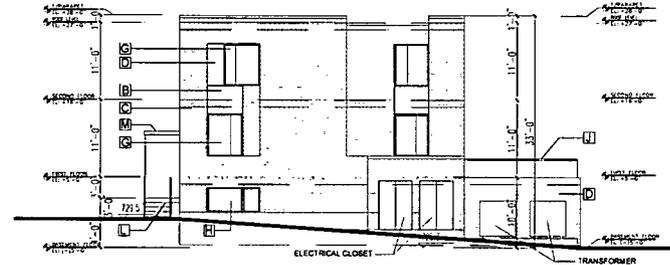


NORTH ELEVATION
SCALE: 1/8" = 1'-0"

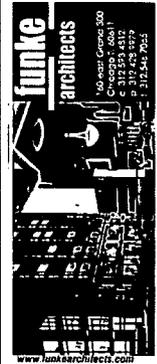


SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

- A EXISTING COMMON BRICK
- B ALUMINUM PANEL
- C GLAZED BRICK
- D HARDI BOARD
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- N FRONT DOOR
- O BACKYARD CEDAR FENCE



EAST ELEVATION
SCALE: 1/8" = 1'-0"



CRYSTAL LOFT TOWNHOMES
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ST CHARLES, IL

DEVELOPER:
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#001-017106
EXPIRES 11/30/2018

▲	
▲	
▲	10.20.17

No. Date Item
Revisions

SHEET TITLE
NEW BUILDING ELEVATIONS
SHEET NO

A32



UNIT NUMBER	TYPE	AREA	GARAGE SPACES	PARKING SPACES
UNIT 1	A	2680 SF	2	1
UNIT 2	A	2680 SF	2	1
UNIT 3	B	2307 SF	2	1
UNIT 4	B	2307 SF	2	1
UNIT 5	B	2307 SF	2	1
UNIT 6	C	2140 SF	2	1
UNIT 7	C	2140 SF	2	
UNIT 8	C	2140 SF	2	
UNIT 9	C	2140 SF	2	
UNIT 10	D1	2400 SF	2	
UNIT 11	D2	2300 SF	2	
UNIT 12	D3	2100 SF	2	
UNIT 13	D4	2100 SF	2	
UNIT 14	D5	2100 SF	2	
TOTAL		31,841 SF	28	5

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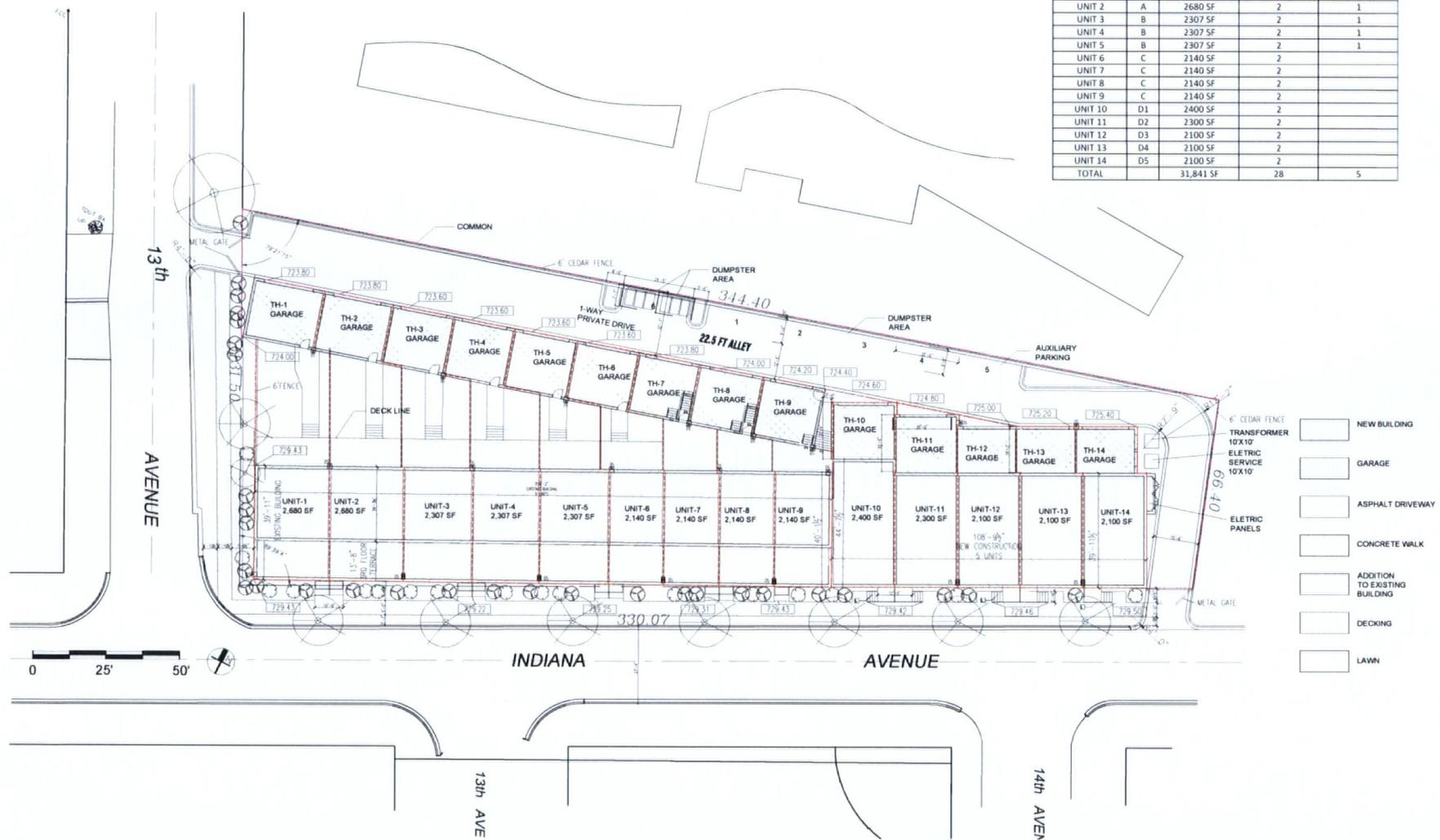
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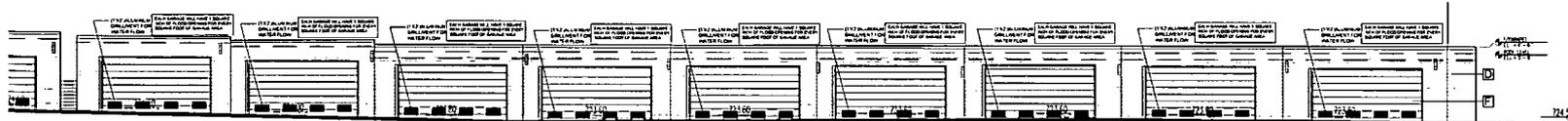
#001-017106
EXPIRES 11/30/2018

No.	Date	Item
1	10.20.17	ISSUED FOR CITY APPROVAL

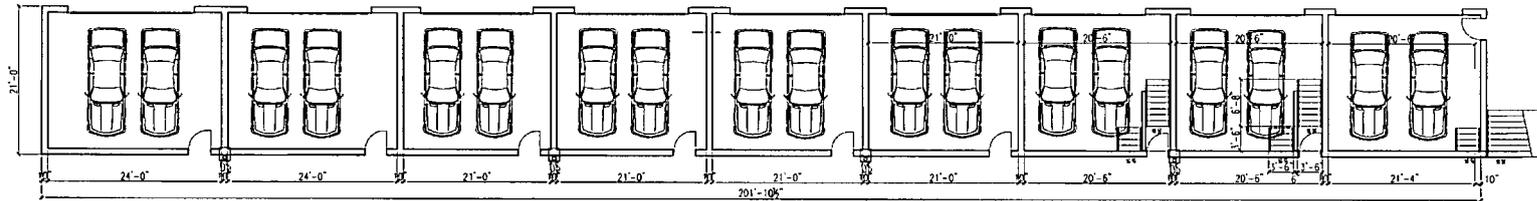
SHEET TITLE
SITE PLAN
SHEET NO.
A10



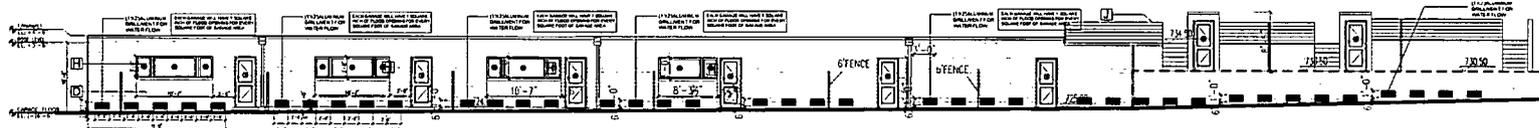
SITE PLAN
SCALE: 1/16" = 1'-0"



UNITS 1-9 GARAGE NORTH ELEVATION
SCALE: 1/8" = 1'-0"



UNITS 1-9 GARAGE PLAN
SCALE: 1/8" = 1'-0"

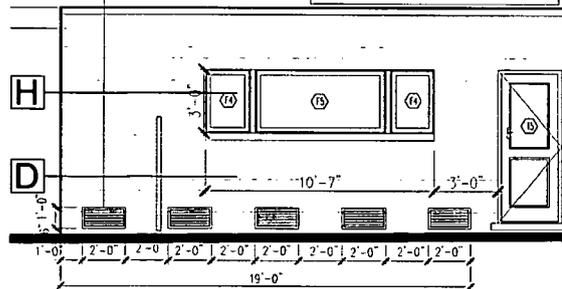


UNITS 1-9 GARAGE SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

- A EXISTING COMMON BRICK
- B ALUMINUM PANEL
- C GLAZED BRICK
- D HARDI BOARD
- E TPO ROOFING SYSTEM
- F ALUMINUM INSULATED GARAGE DOOR
- G OPERABLE ALUMINUM GLAZED WINDOW
- H OPERABLE ALUMINUM GLAZED WINDOW
- I FOLDING DOOR SYSTEM
- J BELCONY RAILING
- K TIMBER TECH DECKING
- L FRONT DOOR STAIR
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- N FRONT DOOR
- O BACKYARD CEDAR FENCE

(1"X2")ALUMINUM GRILL/VENT FOR WATER FLOW

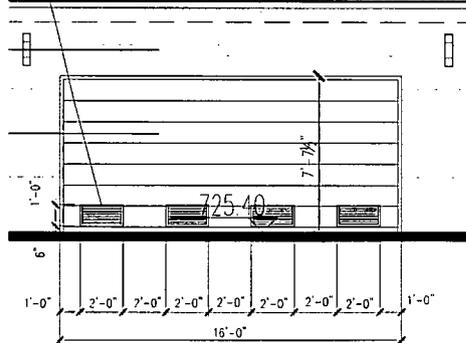
EACH GARAGE WILL HAVE 1 SQUARE INCH OF FLOOD OPENING FOR EVERY SQUARE FOOT OF GARAGE AREA



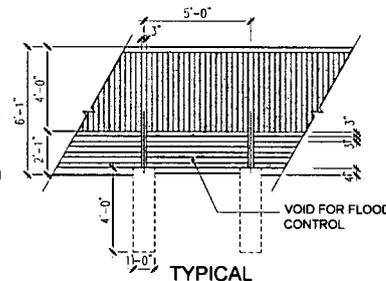
TYPICAL VENTS DETAIL @ YARD
SCALE: 3/16" = 1'-0"

(1"X2")ALUMINUM GRILL/VENT FOR WATER FLOW

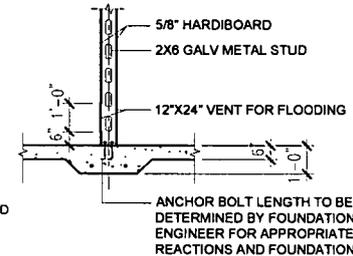
EACH GARAGE WILL HAVE 1 SQUARE INCH OF FLOOD OPENING FOR EVERY SQUARE FOOT OF GARAGE AREA



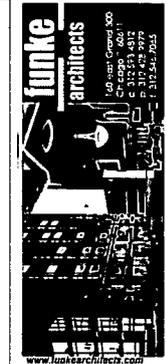
TYPICAL VENTS DETAIL @ ALLEY
SCALE: 3/8" = 1'-0"



TYPICAL FENCE DETAIL
SCALE: 3/8" = 1'-0"



TYPICAL WALL @ GARAGE
SCALE: 1/2" = 1'-0"



CRYSTAL LOFT TOWNHOMES
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#001-017106
EXPIRES 11/30/2018

11.21.17	ES&S FOR QTY #499314	
No.	Date	Items
Revisions		

SHEET TITLE
FLOOD ORDINANCE DETAILS

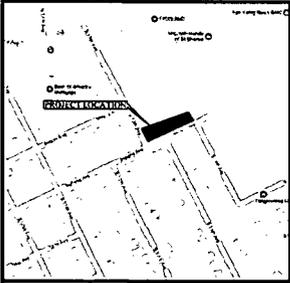
SHEET NO.
A34

PRELIMINARY PLAT OF SUBDIVISION CRYSTAL LOFT TOWNHOMES

PART OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS

P.I.N. 09-26-352-002

GRAPHIC SCALE



VICINITY MAP
NO SCALE

PARCEL AREA TABLE		
LOT	SQUARE FEET	ACRES
1	3115	0.071
2	2540	0.058
3	2222	0.051
4	2119	0.049
5	1944	0.045
6	1659	0.038
7	1525	0.035
8	1463	0.034
9	1544	0.035
10	1448	0.033
11	1339	0.031
12	1233	0.028
13	1195	0.027
14	1225	0.028
OUTLOT A	8507	0.195
TOTAL	33,078	0.758

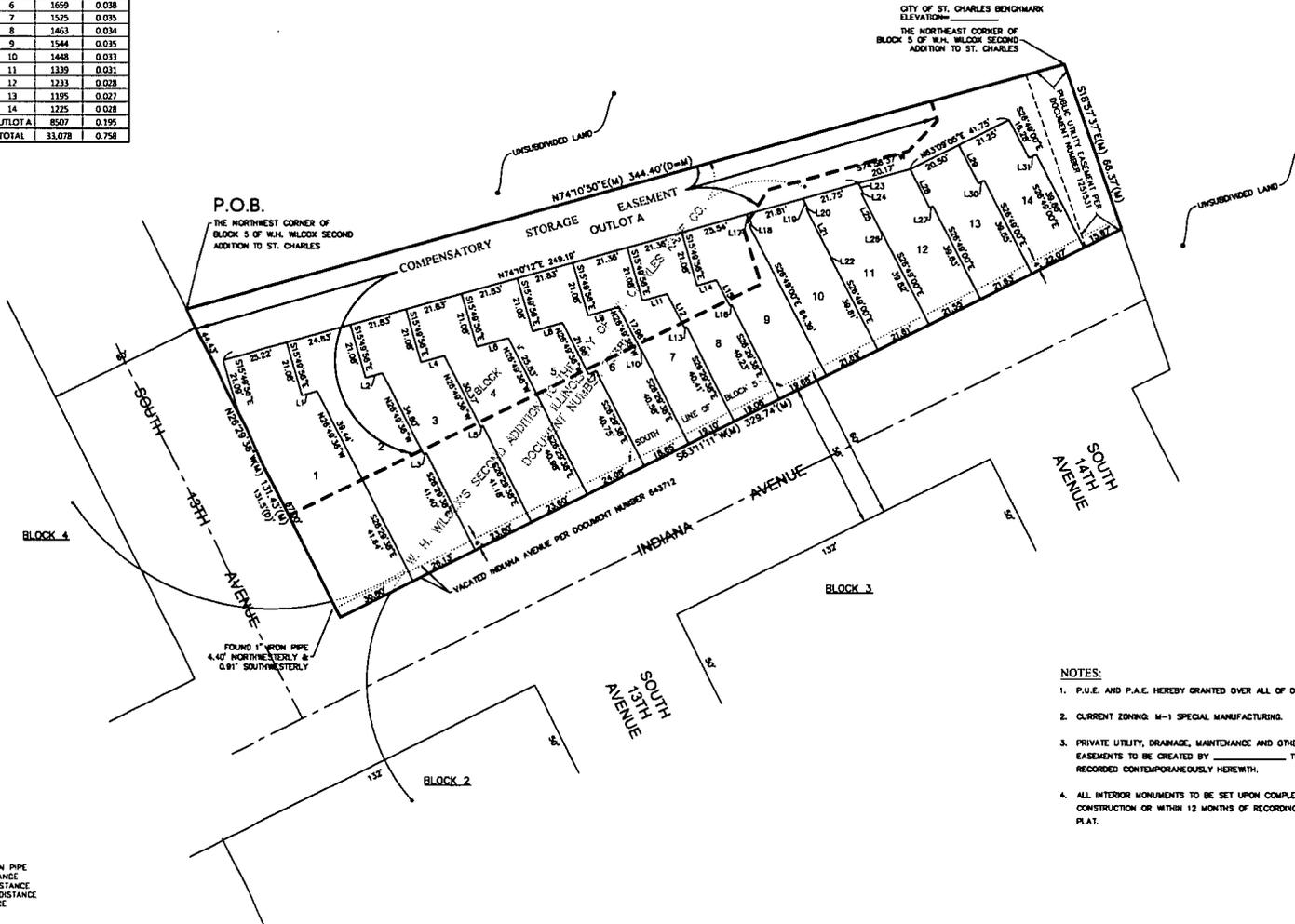
LINE TABLE		
LINE	BEARING	LENGTH
L1	S74°10'12"W	5.89
L2	S74°10'12"W	6.62
L3	S63°42'28"W	1.04
L4	S74°10'12"W	9.14
L5	S63°42'28"W	0.84
L6	S74°10'12"W	12.30
L7	S63°42'28"W	3.14
L8	S74°10'12"W	11.80
L9	S74°10'12"W	12.01
L10	N63°42'28"E	0.35
L11	S74°10'12"W	8.57
L12	N26°49'36"W	14.53
L13	S63°42'28"W	0.88
L14	S74°10'12"W	7.63
L15	N26°49'36"W	11.00
L16	S63°42'28"W	0.89
L17	S26°49'00"E	4.13
L18	S63°11'00"W	1.05
L19	S26°49'00"E	4.10
L20	S63°09'05"W	0.55
L21	S26°49'00"E	20.45
L22	S63°09'05"W	0.22
L23	S26°49'00"E	4.08
L24	S63°11'00"W	0.75
L25	S26°49'00"E	16.31
L26	N63°09'05"E	0.24
L27	S63°09'05"W	1.29
L28	S26°49'00"E	16.26
L29	S26°49'00"E	16.28
L30	N63°09'05"E	2.42
L31	N63°09'05"E	3.24

- LEGEND**
- SET 3/4" x 1/4" IRON PIPE UNLESS OTHERWISE NOTED
 - SET CONCRETE MONUMENT UNLESS OTHERWISE NOTED
 - SET CROSS IN CONCRETE UNLESS OTHERWISE NOTED

- LINE LEGEND**
- SUBDIVISION BOUNDARY LINE
 - ADJACENT LAND PARCEL LINE
 - LOT LINE
 - EASEMENT LINE
 - CENTERLINE
 - BUILDING SETBACK LINE
 - SECTION LINE

ABBREVIATIONS

- O.D.P. = OUTSIDE DIAMETER IRON PIPE
- (R) = RECORD BEARING OR DISTANCE
- (M) = MEASURED BEARING OR DISTANCE
- (C) = CALCULATED BEARING OR DISTANCE
- (D) = DEED BEARING OR DISTANCE
- B.S.L. = BUILDING SETBACK LINE
- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.A.E. = PUBLIC ACCESS EASEMENT
- P.U.D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT



NOTES:

- P.U.E. AND P.A.E. HEREBY GRANTED OVER ALL OF OUTLOT A.
- CURRENT ZONING M-1 SPECIAL MANUFACTURING.
- PRIVATE UTILITY, DRAINAGE, MAINTENANCE AND OTHER EASEMENTS TO BE CREATED BY _____ TO BE RECORDED CONTEMPORANEOUSLY HEREWITH.
- ALL INTERIOR MONUMENTS TO BE SET UPON COMPLETION OF CONSTRUCTION OR WITHIN 12 MONTHS OF RECORDING OF THIS PLAT.

DATE	BY	FOR
11-15-2017	COMPASS SURVEYING LTD.	PRELIMINARY PLAT
11-15-2017	COMPASS SURVEYING LTD.	FINAL PLAT

Kimley-Horn
ENGINEERS

1001 W. WILCOX ROAD, SUITE 200
ST. CHARLES, ILLINOIS 62276
TEL: 618-336-7000
WWW.KIMLEY-HORN.COM

COMPASS SURVEYING LTD.
SURVEYING & ENGINEERING

2411 CONNER SQUARE PARKWAY, STE. 100
AUBURN, IL 62603
TEL: 618-241-1000
WWW.COMPASS-SURVEYING.COM

PRELIMINARY PLAT OF SUBDIVISION CRYSTAL LOFT TOWNHOMES

PART OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 8 EAST
OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS.

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT PROPERTY BEING SUBDIVIDED AFORESAID, AND TO THE BEST OF THE OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF: ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303

DATED THIS _____ DAY OF _____ A.D. 20____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS.

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS DAY OF _____ A.D. 20____, AT _____ ILLINOIS.

NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE

ACCEPTED AND APPROVED BY _____ AS MORTGAGEE,
DATED AT _____ ILLINOIS, THIS _____ DAY OF _____ A.D. 20____.

BY: _____
ATTEST: _____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS.

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH MORTGAGEES, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS DAY OF _____ A.D. 20____, AT _____ ILLINOIS.

NOTARY PUBLIC

CITY COUNCIL CERTIFICATE

APPROVED AND ACCEPTED THIS _____ DAY OF _____ A.D. 20____

CITY COUNCIL OF CITY OF ST. CHARLES, ILLINOIS

MAYOR

ATTEST: _____
CITY CLERK

**DIRECTOR OF COMMUNITY DEVELOPMENT
(OR DESIGNEE) CERTIFICATE**

STATE OF ILLINOIS)
COUNTY OF KANE) SS.

I, _____ DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY DEVELOPMENT

DATED AT _____ ILLINOIS,

THIS _____ DAY OF _____ A.D. 20____

SPECIAL FLOOD HAZARD AREA CERTIFICATE

THIS IS TO CERTIFY THAT THE PARCELS INCLUDED IN THIS RECORD OF DEED ARE NOT LOCATED IN THE SPECIAL FLOOD HAZARD AREA IDENTIFIED FOR THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE FLOOD INSURANCE RATE MAP, PANEL NO. 0256H DATED AUGUST 3, 2009.

ILLINOIS PROFESSIONAL LAND SURVEYOR
NO. 3509

PUBLIC ACCESS EASEMENT PROVISIONS

PERMANENT NON-EXCLUSIVE EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES, IN, UPON, ACROSS, OVER, UNDER AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC ACCESS EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAWN, FOR THE PURPOSE OF ACCESS TO CITY OWNED UTILITIES AND OTHER GRANTED EASEMENTS, AS DEEMED NECESSARY BY THE CITY OF ST. CHARLES. THE RIGHT IS ALSO HEREBY GRANTED TO SAID CITY TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OR ACCESS TO SAID UTILITY OR EASEMENT. NO PERMANENT BUILDINGS SHALL BE PLACED IN SAID EASEMENT, BUT SAME MAY BE USED FOR SHRUBS, LANDSCAPING, AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES AND RIGHTS.

PUBLIC UTILITY EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMETEK AND MOPAC AND TO THEIR SUCCESSORS AND ASSIGNS (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, IMPROVING, OPERATING, REPLACING, REPAIRING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGEWAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK. THE RIGHT IS ALSO HEREBY GRANTED TO SAID GRANTEE TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER, OR THROUGH SAID EASEMENTS. IN THE EVENT UTILITY MAINTENANCE IS PERFORMED WITHIN THE UTILITY EASEMENT, THE CITY OF ST. CHARLES WILL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION, INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEE SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENTS (BUT THE EASEMENT AREAS MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, PAVING, FENCES, SIDEWALKS, CURBS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS). WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS. UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES.

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
CITY OF ST. CHARLES) SS.

APPROVED THIS _____ DAY OF _____ A.D. 20____

CITY OF ST. CHARLES PLAN COMMISSION

CHAIRMAN

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS.

I, _____ COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL AT _____ ILLINOIS,

THIS _____ DAY OF _____ A.D. 20____

COUNTY CLERK

CERTIFICATE OF SPECIAL ASSESSMENTS

STATE OF ILLINOIS)
COUNTY OF KANE) SS.

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS

DATED AT _____ ILLINOIS, THIS _____ DAY OF _____ A.D. 20____

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS.

I, SCOTT C. KREBS, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING PROPERTY:

THAT PART OF BLOCK 5 OF W.H. WILCOX SECOND ADDITION TO ST. CHARLES AND THAT PART OF VACATED INDIANA AVENUE, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTH ALONG THE WEST LINE OF SAID BLOCK AND SAID WEST LINE EXTENDED 131.8 FEET TO A LINE DRAWN PARALLEL WITH AND 4 FEET SOUTHERLY OF, MEASURED AT RIGHT ANGLES INSIDE THE SOUTHERLY LINE OF SAID BLOCK 5; THENCE EASTERLY ALONG SAID PARALLEL LINE AND SAID LINE EXTENDED TO THE EASTERLY LINE OF SAID BLOCK 5; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHEAST CORNER THEREOF; THENCE NORTHERLY ALONG SAID NORTHERLY LINE 344.4 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS

THIS _____ DAY OF _____ 20____

COMPASS SURVEYING LTD
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184-002778
LICENSE EXPIRES 4/30/2018

BY:
SCOTT C. KREBS
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509
LICENSE EXPIRES 11/30/2018

PLEASE RETURN THE RECORDED MYLAR TO:
CITY OF ST. CHARLES
2 E. MAIN STREET
ST. CHARLES, IL 60174

DATE	FILED	BY	BOOK	PAGE	NO.
11/30/2017	11/30/2017	11/30/2017	11/30/2017	11/30/2017	11/30/2017

Kimley-Horn
CONSULTANTS
1001 W. WASHINGTON AVENUE, SUITE 200
AURORA, ILLINOIS 60108
TEL: 630-596-1700
WWW.KIMLEY-HORN.COM

COMPASS SURVEYING LTD
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184-002778
LICENSE EXPIRES 4/30/2018

EXHIBIT “E”

PUD DEVIATIONS

Table 17.12-2 Residential District Bulk Requirements – RM-3 District	
Minimum Lot Area	2,363 sf. per unit based on total site area
Minimum Lot Width	18.98 ft. per townhome lot
Maximum Building Coverage	58% of total site area
Maximum Building Height	40 ft./ 3 stories
Minimum Front Yard	0 ft. along Indiana Ave.
Minimum Interior Side Yard	0 ft. for townhome lots, 10 ft. from building to east property line
Minimum Exterior Side Yard	0 ft. along 13 th Ave.
Minimum Rear Yard	0 ft. for townhome lots, 14.75 ft. from buildings to north property line
Landscape Buffer Yard	None required
Chapter 17.26 Landscaping and Screening	
Minimum percentage of a parcel that is landscaped- 17.26.060	To be provided per Preliminary Landscape Plan
Building Foundation Landscaping- 17.26.080	To be provided per Preliminary Landscape Plan
Public Street Frontage Landscaping- 17.26.090	To be provided per Preliminary Landscape Plan
Chapter 17.06 Design Review Standards & Guidelines	
Maximum number of townhomes attached in a row 17.06.050.A.4	14 townhomes units may be attached in a row