



## PLAN COMMISSION AGENDA ITEM EXECUTIVE SUMMARY

<b>Project Title/Address:</b>	Appeal of Administrative Design Review Decision – 828 S. 3 <sup>rd</sup> Street		
<b>City Staff:</b>	Ellen Johnson, Planner Russell Colby, Planning Division Manager		
<b>PUBLIC HEARING</b>		<b>MEETING 5/16/17</b>	X

**APPLICATIONS:** Appeal

**ATTACHMENTS AND SUPPORTING DOCUMENTS:**

<p><b>New Items:</b></p> <ul style="list-style-type: none"> <li>• Memo from Staff to Applicant, dated 5/12/17</li> <li>• Letter from Applicant, dated 5/11/17</li> <li>• Revised Plans</li> <li>• Staff Memo Re: Design Review, dated 5/12/17</li> </ul>	<p><b>Items from Last Meeting:</b></p> <ul style="list-style-type: none"> <li>• Zoning Ordinance Sections from Ch. 17.04 &amp; Ch. 17.06</li> <li>• Letter Requesting Appeal, dated 4/25/17</li> <li>• Correspondence between Staff &amp; Applicant (See highlighted sections)</li> <li>• Architectural Elevations &amp; Floor Plan (original)</li> </ul>
--	---

**SUMMARY:**

The Plan Commission discussed this item on 5/2/17 and voted to continue to the 5/16/17 meeting to allow the applicant to provide revised plans.

The applicant has submitted revised plans. The following changes have been made:

1. The second floor balcony has been pushed forward to project over the first floor on the front of the house.
2. The colors of the home have been modified.

These changes do not address all of staff’s original comments related to compliance with the 360-degree architecture Design Standard.

**Background:**  
Clark Evans has applied for a building permit to construct a single-family home at 828 S. 3<sup>rd</sup> Street, which is currently a vacant lot. The property is located in the RT-2 Traditional Single-Family Residential zoning district.

Because the property is located within an RT Traditional Residential zoning district, the structure is subject to Design Review. Design Review is an administrative, staff-level review process, meant to ensure that development occurs, “in a manner that promotes the general welfare of the City, is harmonious with surrounding properties, and is consistent with the City’s ordinances and Comprehensive Plan” (Section 17.04.230).

Staff conducted Design Review of the proposed structure to determine compliance with Ch. 17.06 “Design Review Standards and Guidelines”, Section 17.06.060 “Standards & Guidelines – RT-1, RT-2, RT-3, RT-4, and CBD-2 Districts”. Section 17.06.060 was added to the Zoning Ordinance in 2015 upon a recommendation by the Plan Commission.

The proposed structure is constructed of shipping containers and the modern design is not common in St. Charles’ older neighborhoods.

Staff determined the Design Standard requiring “360-degree architecture” around all elevations was not met and provided the applicant with comments on how the plans should be modified in order to comply with this Design Standard (Memo dated 3/15/17). The applicant provided a response to the comments and made changes to the windows on the north elevation to match the windows on the rear (east) elevation (Letter dated 4/12/17). No other requested changes were made. Staff provided the applicant with additional comments, stating that the plans do not meet the Design Standards and Guidelines of Ch. 17.06, as outlined previously (Memo dated 4/21/17).

The applicant submitted a request for an Appeal of Administrative Design Review Decision regarding staff’s determination that the plans do not comply with the Design Standards and Guidelines (Letter dated 4/25/17).

*Continued on next page.*

**SUGGESTED ACTION:**

Review the materials provided by staff related to the Appeal and hear testimony from the applicant.

Vote whether to affirm or reverse, in whole or in part, the administrative Design Review decision. Plan Commission can make modifications to the decision.

**INFO / PROCEDURE – APPEAL OF ADMINISTRATIVE DECISION**

- The Appeal process provides an opportunity for persons affected by administrative decisions by the director of Community Development to appeal those decisions.
- Appeal of Administrative Design Review decisions are heard by the Plan Commission.
- The Plan Commission may affirm or reverse, in whole or in part, or may modify the administrative decision. The decision shall be based on the documents provided relating to the administrative decision and any testimony presented at the hearing.
- The Plan Commission's action is final. The Appeal will not be considered by City Council.

Community & Economic Development  
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



## Memo

May 12, 2017

TO: Clark Evans, Group3 Construction  
Kaleb Yanko, Linden Group

FROM: Ellen Johnson, Planner  
Russell Colby, Planning Division Manager

CC: Rita Tungare, Director of Community & Economic Development

RE: Permit No. 17-24970 / 828 S. 3<sup>rd</sup> St. (New house in RT district)

---

City staff have received and reviewed the letter from Kaleb Yanko dated 5/11/17 and the revised elevation drawings. We acknowledge the following two changes have been made to the plans:

1. The second floor balcony has been pushed forward to project over the first floor on the front elevation.
2. The colors of the home have been modified.

However, these changes do not address staff's previous comments related to compliance with the Design Standards and Guidelines of Chapter 17.06, specifically the Design Standard concerning 360-degree architecture. The ordinance states,

*"360 degree architecture is required, meaning that facades must be designed to be viewed from all directions. At a minimum, the same window types and similar trim detailing to the front elevation must be used on the side and rear elevations."*

Staff's previous comments which have not been addressed are as follows:

- a. Materials are not consistent on all elevations. The fiber cement siding used on the side elevations should be incorporated on at least part of the front and rear elevations.
- b. Window openings and panes should be similarly proportioned throughout and should be placed in a manner that creates a balanced elevation on all sides of the house. As currently drawn, window openings are not balanced; a variety of window types and sizes are proposed and window positioning is inconsistent. This is of particular concern on the front elevation.
- c. While we understand the shipping container doors are part of the container, we feel they are not appropriate for a residential structure in a Traditional Residential zoning district. Consider removing the container doors and/or handles/hardware.

In addition, the letter from Mr. Yanko dated 5/11/17 stated Clark Evans will be in attendance at the Plan Commission meeting on May 16th. At the last meeting, the Plan Commission requested the architect attend the May 16th meeting, as well.



May 11, 2017

Ellen Johnson  
Planner  
**St. Charles Plan Commission**  
2 East Main Street  
St. Charles, Illinois 60174

RE: **Super Bad** – Appeal of Administrative Design Review Decision  
828 S. Third St.  
Permit #: 17.24970  
LGI# 2015-0135

Dear Mrs. Johnson:

Following the Plan Commission meeting on May 2<sup>nd</sup>, 2017, we have reviewed the comments and suggestions with the Owner (Mr. Evans) and made adjustments to the exterior of the home. Please refer to the attached 3D rendering. The balcony projection has been added to provide depth to the front of the home. It should be noted that this extension is aesthetic only and should be considered a porch-like projection into the setback. Additionally, the colors of the home have been modified for a more subtle appearance. We feel that the container hardware should be left intact and painted a contrasting color to break up the monotony of the blue containers.

We request that this appeal be added to the agenda for the May 16<sup>th</sup>, 2017 Plan Commission meeting. Our client, Clark Evans, will be in attendance to discuss this review. Thank you in advance for your consideration of this design decision. Please let me know if you have any questions or comments.

Sincerely,  
LINDENGROUP Inc.

**Kaleb W. Yanko, AIA, Associate**

Cc: Clark Evans, Group3 Construction

DATE	DRAWN	DESCRIPTION
09/12/2016	AWP	FIELD FOR PERM & PERM
10/12/2016	AWP	OWNER REVIEW
02/08/2017	AWP	OWNER REVIEW
04/18/2017	AWP	PERM REVIEW
05/10/2017	AWP	PERM REVIEW

2015-0135  
PROJECT NUMBER

09.22.2016  
DATE

KGP / KWP  
DRAWN BY

FINAL REVIEW

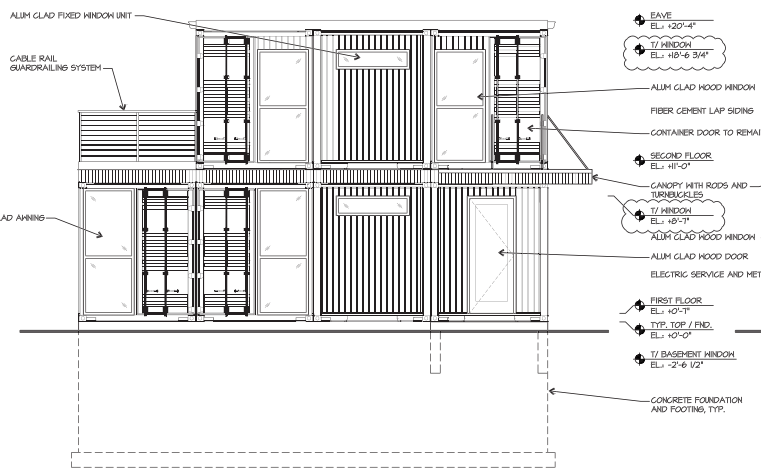
CONTRACTOR'S RESPONSIBILITY:  
ALL RIGHTS RESERVED.  
THIS DRAWING IS THE PROPERTY OF LINI ENGROUP AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF LINI ENGROUP.

**EXTERIOR ELEVATIONS**

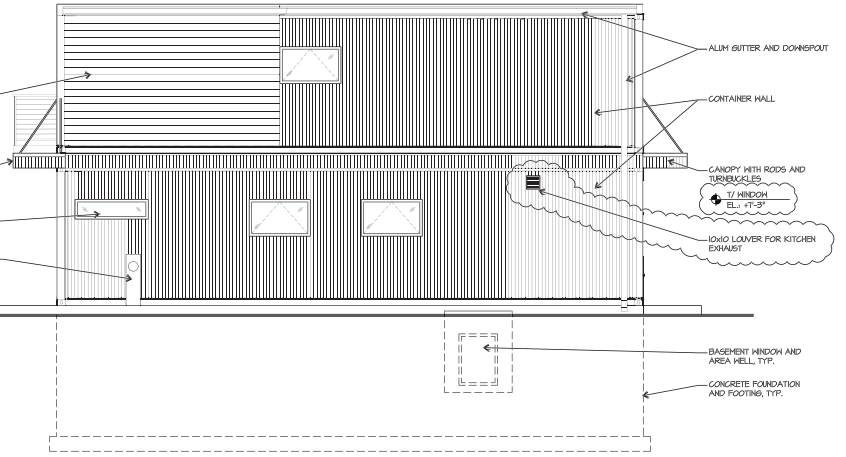
SHEET NAME

**A-4.0**

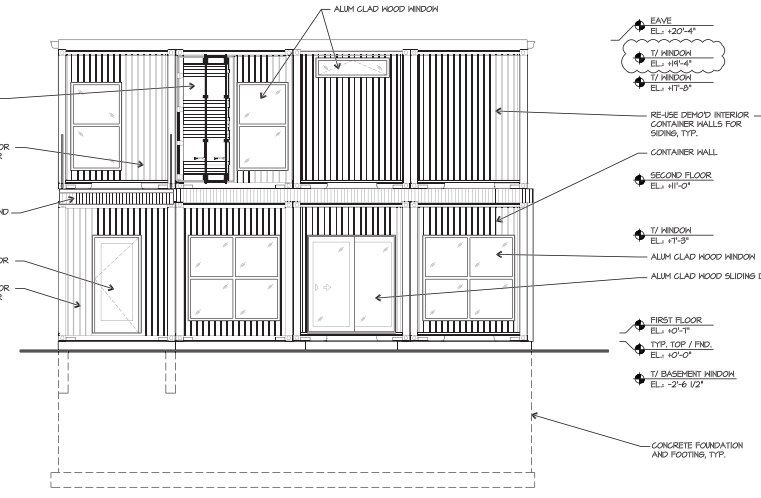
SHEET 9 OF 15



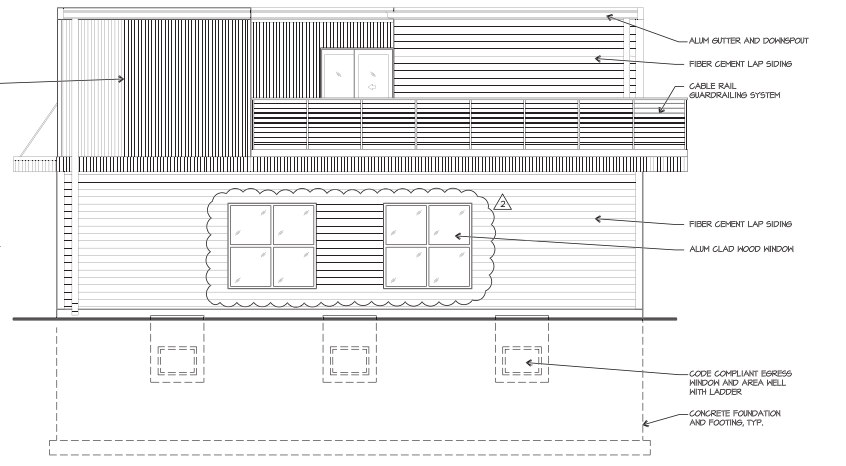
**FRONT (WEST) ELEVATION**  
SCALE: 1/4" = 1'-0"



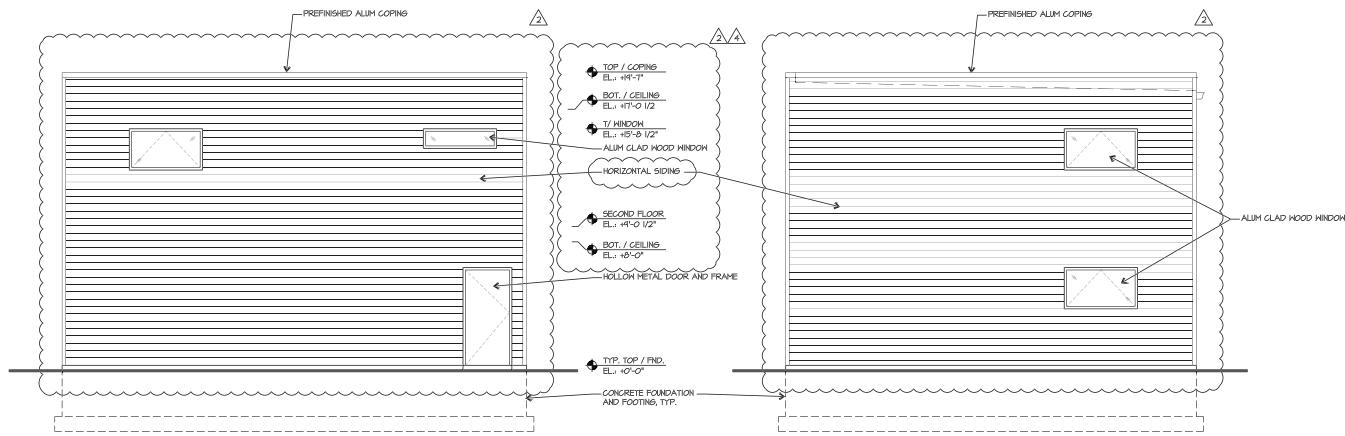
**SIDE (SOUTH) ELEVATION**  
SCALE: 1/4" = 1'-0"



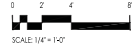
**REAR (EAST) ELEVATION**  
SCALE: 1/4" = 1'-0"



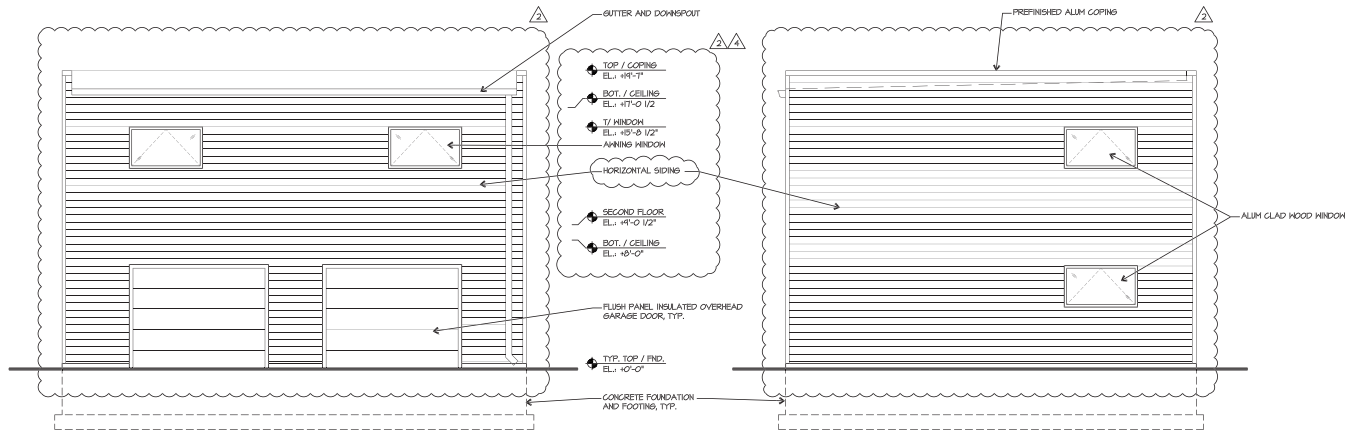
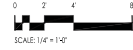
**SIDE (NORTH) ELEVATION**  
SCALE: 1/4" = 1'-0"



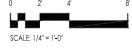
FRONT (WEST) ELEVATION



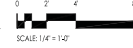
SIDE (SOUTH) ELEVATION



REAR (EAST) ELEVATION



SIDE (NORTH) ELEVATION



ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE

10100 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60462  
P: 708.799.4400 F: 708.799.4434  
WWW.LINIGROUPINC.COM

**SUPER BAD**  
**group3 Construction**  
828 S. 3RD STREET  
ST. CHARLES, IL

DATE	DRAWN	DESCRIPTION
09/12/2016	KWY	ISSUE FOR PERMITS
02/08/2017	KWY	OWNER REVISION
04/18/2017	KWY	PERMITS REVISION SHELL 2/3
05/10/2017	KWY	PERMITS REVISION SHELL 4/6

PROJECT NUMBER  
**2015-0135**

FILE NUMBER  
**09.22.2016**

DATE  
**KGP / KWY**

DRAWN BY

FINAL REVIEW

EXTERIOR ELEVATIONS

SHEET NAME

**A-4.1**

SHEET 10 OF 15



**Super Bad**  
**828 S. Third Street**



**LINDENGROUP**  
ARCHITECTS

10100 ORLAND PARKWAY, SUITE 110  
ORLAND PARK, IL 60467  
P:708.799.4400 F:708.799.4434  
WWW.LINDENGROUPINC.COM



Community Development  
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



**STAFF MEMO**

**Date:** May 12, 2017

**To:** Chairman Wallace and Members of the Plan Commission

**From:** Russell Colby, Planning Division Manager

**RE:** Information on Design Review Standards and Guidelines applicable to  
828 S. 3<sup>rd</sup> St.

---

At the 5/2/17 meeting, the Plan Commission reviewed an Administrative Appeal of the Design Review decision regarding a house proposed at 828 S. 3<sup>rd</sup> St.

Subsequent to the meeting, staff received questions regarding how staff determined that the proposal met the other provisions of the Design Review section.

The Design Review Standards and Guidelines applicable to 828 S. 3<sup>rd</sup> St. are attached, with a brief summary of how each Standard or Guideline has been or has not been met.

Standards and Guidelines are listed under each category.

**“Standards” are specific requirements that must be met.**

**“Guidelines” are meant to be applied with more flexibility.**

### A. Site Layout and Context

Intent: To ensure building placement is compatible with neighboring properties and reflects the development pattern of the surrounding neighborhood.

Standards:

1. Buildings facades shall be oriented to the street. Front facades should squarely face the street and should not be set at an angle. However if adjacent homes are set at an angle the new home may be similarly sited. *Meets standard- house squarely faces the street.*
2. Site grading shall be consistent with that of adjacent properties. The slope and elevation of the property shall not be altered in such a manner that results in an artificial change of grade. *Meets standard- grading is not being altered.*
3. The amount of front or exterior side yard covered by driveways shall be limited per Section 17.24.070.Z *Meets standard- no driveway in front or exterior side yard.*

Guidelines:

1. Setbacks (front, side, rear) should generally follow the averages for the block on which the new house is located. Front and exterior side yard setbacks may be reduced based on averaging of existing principal building setbacks along the street frontage of a block- See Table 17.12-2 for setback requirements. *Meets guideline- front setback is the average setback for the block.*
2. Building and site layout should be compatible with existing topography and vegetation. Preservation of existing trees, particularly older growth trees, is recommended. *N/A- no vegetation exists on the lot.*
3. The coverage of driveways and parking areas in the front and exterior side yards should be minimized to the greatest extent possible. *Meets guideline- driveway is in the rear yard, off the alley.*

### B. Garages

Intent: To reduce the appearance and prominence of garages in order to maintain a pedestrian friendly streetscape.

Standards:

1. Garages shall meet the provisions of Section 17.22.020 Accessory Buildings and Structures, including but not limited to: requirement to provide access from a public alley; limitations on garage door width; and requirements to set back street-facing attached garages from the remainder of the building. *Meets standard- garage is detached, accessed from the alley.*
2. Detached garages shall be consistent with the architectural style of the house. Use of similar window styles, exterior materials, and trim detailing is required. *Meets standard- similar architectural style and materials.*

Guidelines:

1. Detached or rear-loaded garages are recommended. A Building Coverage bonus shall be provided where a detached garage or an attached garage accessed via an alley is provided. See Table 17.12-2. *Meets guideline- garage is detached and accessed from the alley.*
2. Street-facing doors on attached garages should incorporate glass panel windows. *N/A- garage does not face the street.*
3. The use of individual bay doors (single stall) is preferred over double-wide doors, particularly for street-facing attached garages. Stepped back, separate garage doors should also be considered to

further soften the impact of a street-facing attached garage. *Meets guideline- single stall doors are used.*

### C. Massing and Proportion

Intent: To reduce the appearance of mass and to encourage new houses to match the scale of the existing neighborhood.

Standards:

1. Buildings shall comply with the Bulk Requirements provided in Table 17.12-2 (including setbacks, building coverage, and building height). *Meets standard.*

Guidelines:

1. Scale, proportions, and height, should be compatible with adjacent homes and with the general characteristics of homes in the surrounding neighborhood. For example, effort should be made to limit the height, or reduce the appearance of height, of a two-story house constructed among single-story houses. *Meets guideline- house size and height are compatible with adjacent homes and neighborhood.*
2. Simple building forms and shapes are encouraged. *Meets guideline.*
3. The following methods may be incorporated to reduce the apparent mass of a home:
  - a. Step back portions of the home. For example, set the second story back a number of feet from the first story or add an unenclosed porch on the first story. *Meets guideline- portion of second floor is stepped back from the first floor.*
  - b. Use dormers to break up roof mass, if consistent with the architectural style of the home. *N/A- dormers not possible on flat roof.*
  - c. Incorporate horizontal design detailing to visually break up flat walls. Examples include wide skirt boards, mid-section trim between stories, frieze boards along roof eaves, partial or complete gable returns, or a change in siding or masonry patterns or materials. *Meets guideline- horizontal elements are used, including horizontal siding and canopy between the first and second floors.*

### D. Roofs

Intent: To encourage roofs and rooflines that add character and interest to a home, while blending with the roof forms found throughout the existing neighborhood.

Guidelines:

1. The form, pitch, and scale of roofs should be compatible with the surrounding neighborhood. *Flat roof is not found in surrounding neighborhood.\**
2. Roof form, pitch, and scale should match the architectural style of the house. *Meets guideline- flat roof is compatible with the modern style of the house.\**
3. Simple gabled and hipped roof forms are preferred. *Does not meet guideline.\**
4. Eaves that extend a sufficient distance to create shadow lines are encouraged if appropriate for the architecture of the structure. *Meets guideline- canopy provided between first and second floors.*
5. The roof of the garage and other accessory structures should mimic the roof of the house in both form and pitch. *Meets guideline- both have flat roofs.*
6. Mansard and flat roofs should be used only if appropriate for the architectural style of the house. *Meets guideline- flat roof is appropriate for modern style of architecture.\**

*\*The plans comply with guidelines 2 and 6, which conflict with guideline 1 and 3. Guidelines are not binding requirements and are meant to be applied with flexibility.*

### E. Architectural Details

Intent: To promote architectural interest and design that complements the traditional building styles found in older neighborhoods.

#### Standards:

1. “360 degree architecture” is required, meaning that facades must be designed to be viewed from all directions. At a minimum, the same window types and similar trim detailing to the front elevation must be used on the side and rear elevations. *Does not meet- the following comments have been provided to the applicant. Staff has determined this standard can be met by addressing these comments. The applicant has appealed staff’s determination regarding compliance with this Standard.*
  - a. *“Materials are not consistent on all elevations. The fiber cement siding used on the side elevations should be incorporated on at least part of the front and rear elevations.*
  - b. *Window openings and panes should be similarly proportioned throughout and should be placed in a manner that creates a balanced elevation on all sides of the house. As currently drawn, window openings are not balanced; a variety of window types and sizes are proposed and window positioning is inconsistent. This is of particular concern on the front elevation.*
  - c. *While we understand the shipping container doors are part of the container, we feel they are not appropriate for a residential structure in a Traditional Residential zoning district. Consider removing the container doors and/or handles/hardware.*
  - d. *Because non-conventional materials are being used, please provide the proposed exterior colors and paint finishes so that we can better assess whether the design will be compatible.”*

#### Guidelines:

1. Use of masonry should be consistent on all façades. Use of masonry on the front façade only is discouraged. *N/A- masonry is not used.*
2. The use of exterior trim detailing is recommended. In addition to window casing, such detailing includes: wide vertical corner boards, skirt boards, frieze boards, and mid-section trim. *N/A- trim detailing would not be appropriate for the modern style of the house.*
3. The limited use of decorative elements such as gable trusses, exposed rafters, arched doors and windows, quoins, pediments, etc. is encouraged, provided such elements do not overwhelm or clutter the home’s appearance and are appropriate for the architectural style of the home. *Staff has recommended the container door hardware be removed, under the 360-degree architecture Standard.*
4. All window openings should be articulated by window casing of at least four (4) inches if the primary wall material is siding. *N/A- primary wall materials are metal panels.*
5. Shutters should only be utilized where appropriate for the architectural style of the building. If shutters are used, they should exactly match the window size. *N/A- no shutters.*
6. Chimneys should be masonry when located on a street-facing elevation. *N/A- no chimney.*

#### **F. Windows, Doors, and Entrances**

Intent: To promote an inviting presence that contributes to the pedestrian friendly character of the neighborhood.

#### Guidelines:

1. The home’s primary entrance should be located at the front of the house, facing the street. *Meets guideline- entrance is on the front, facing the street.*
2. The front entry should be the predominate feature on the front elevation. Multi-story entry features should be used only when architecturally appropriate. *Meets guideline- canopy overhangs front door; single-story entry.*
3. Open, full-width front or wrap-around porches are recommended to emphasize the front entrance. Porches should be at least six (6) to eight (8) feet in depth and constructed in a manner so as to be fully functional. Porch detailing should be consistent with the architecture of the house. *Staff has recommended a front porch be incorporated:*

*“Open front porches are recommended to emphasize the front entrance and to break up the appearance of the front façade (17.06.060.F.3). Porches can encroach up to 8 ft. into the required front yard setback and do not count towards the calculation of building coverage. The proposed canopy could be extended and incorporated into a porch-like structure that extends along the front of the house. The addition of a front porch consistent with the modern architectural style of the house would also soften the appearance of the shipping containers.”*

*The applicant has responded that a porch would not fit the minimalistic style of the house.*

4. Unenclosed Porches are permitted to encroach up to eight (8) feet into the front, exterior side or rear yards. Unenclosed porches are not included in the calculation of Building Coverage. For the definition of an Unenclosed Porch vs. Enclosed Porch and Building Coverage, see Ch. 17.30. For information on permitted yard encroachments, see Section 17.22.030. *See above.*
5. Windows should be incorporated on all elevations. *Meets guideline- windows on all elevations.*
6. Window openings and panes should be similarly proportioned throughout. *Staff has included a comment related to consistency in window openings under the 360-degree architecture Standard. The applicant revised the plans to change the windows on the first floor of the north elevation to relate to match the windows used on the rear elevation.*
7. Windows should be placed in a manner that creates a balanced elevation on all sides of the house. *See comment above.*
8. Double-hung or casement windows are preferred. The use of fixed and large, undivided pane windows should be limited. *Meets standard- divided pane windows are used for the larger windows and windows are operable.*
9. The use of window muntins (divides) should be consistent for all windows. *See comment under guideline 6.*
10. The style of windows and doors (particularly the front door) should complement the architectural style of the house. *Meets guideline- modern style windows and doors are used.*
11. In addition to window casing, design elements such as window muntins (divides), window sills, and head trim, should be incorporated if such details are appropriate for the architectural style of the house. *N/A- would not be appropriate for modern style of house.*

## **G. Additions and Exterior Alterations**

Intent: To ensure additions and exterior alterations are complementary to the existing home and blend with the neighborhood.

Standards:

1. Additions and exterior alterations shall abide by the applicable standards and guidelines in Section 17.06.060 A-F. *N/A*

Guidelines:

1. Additions should match the scale and mass of the original structure. *N/A*
2. Additions and exterior alterations should match the existing house in exterior materials, color, architectural style and detailing, window proportion and type, and roof form, pitch, and color. *N/A*

**End of new materials.**

**The following materials were provided at the 5/2/17 Plan  
Commission meeting.**

### 17.04.300 – Appeals

#### 1. Purpose

The Appeal process provides an opportunity for persons affected by administrative decisions by the Director of Community Development and the Building and Code Enforcement Division Manager to appeal those decisions.

#### 2. Application

An Appeal may be taken to the appropriate review body by any person aggrieved by a written decision, order or determination under this Title by the Director of Community Development or the Building and Code Enforcement Division Manager, if initiated within forty-five (45) days of the action complained of. The applicant shall file a written application with the Director of Community Development or the Building and Code Enforcement Division Manager. The Director of Community Development and the Building and Code Enforcement Division Manager shall transmit to the review body copies of all documents in their possession relating to the administrative decision being appealed. The Appeal shall be referred to one of the following review bodies, based on the type of decision being appealed:

- Appeal of administrative Design Review Decisions (All Districts except CBD1 and CBD2): Plan Commission
- Appeal of Design Review Decisions (CBD1 and CBD2 Districts only): Historic Preservation Commission
- All other decisions under this Title: Board of Zoning Appeals

#### 3. Procedure

1. The review body shall establish a time and place for hearing the Appeal and give written notice thereof to all necessary parties not less than 15 days prior to the hearing. The hearing shall be scheduled at a reasonable time, but not later than the review body's second regular meeting following receipt of the Appeal, unless otherwise agreed by the applicant. Any party may appear in person, or by agent or attorney, at the hearing. The review body shall thereafter reach its decision not later than its next regularly scheduled meeting, or within 45 days after the hearing, whichever is greater.
2. Filing of an Appeal shall stay all proceedings in furtherance of the decision appealed unless, in the reasonable opinion of the Director of Community Development or the Building and Code Enforcement Division Manager, a stay would significantly impair protection of the public health, safety and welfare. In such case the proceedings shall not be stayed other than by a court order.
3. The review body may affirm or reverse, in whole or in part, or may modify, the order, requirement, decision or determination and to that end, has all the powers of the officer from whom the Appeal is taken. Its decision shall be based on the documents pertaining to the administrative decision transmitted by the Director of Community Development and Building and Code Enforcement Division Manager, as well as any additional testimony presented at the hearing.

([2008-Z-32](#) [1]: § 6; [1981-Z-6](#) [2]: § 1 (part))

## 17.04.230 – Design review

### A. Purpose

Design Review is an administrative, staff-level review process, the purpose of which is to ensure that development and redevelopment occur in a manner that promotes the general welfare of the City, is harmonious with surrounding properties, and is consistent with the City's ordinances and Comprehensive Plan. Design Review requires conformance with standards and guidelines governing physical layout and site design as well as architectural design, to achieve the following purposes:

1. To ensure the compatibility of buildings, structures, and site improvements with surrounding property.
2. To protect and enhance the character and quality of the built environment in St. Charles.
3. To ensure the efficient use of land and the adequacy of public and private services and utilities.
4. To minimize traffic and safety hazards and to ensure convenient and safe vehicular and pedestrian circulation on the site and in relation to adjacent property and public streets.
5. To protect natural, environmental, historic and archaeological resources on the site and surrounding areas.
6. To create opportunities for people to meet, interact, and enjoy their community.

### B. When Required

Administrative Design Review approval shall be required prior to issuance of Building Permits and Site Development Permits for new buildings, building additions, exterior alterations, signs, and site improvements such as paving, parking lots, lighting and grading, except in the following instances:

1. Design Review is not required for one and two family dwellings on individual lots in any RS Suburban Residential or RE Estate Residential zoning district.
2. Design Review is not required when the proposed construction includes no improvements, or only de minimus improvements, that are regulated by the Design Review Standards and Guidelines (Chapter 17.06).
3. Planned Unit Developments: Conformance with the Design Review Standards and Guidelines (Chapter 17.06) is required as part of the review process for Planned Unit Developments. Therefore, administrative Design Review approval is not required prior to issuance of a building permit for properties within a Planned Unit Development.
4. Historic Properties: Administrative Design Review with respect to building design is not required where the Historic Preservation Commission has the authority to issue or deny a Certificate of Appropriateness (COA). In conducting its review for a COA, the Historic Preservation Commission shall apply any applicable Design Review standards of Chapter 17.06, according to the corresponding zoning district in which the property is located, in addition to the applicable standards of Chapter 17.32, Historic Preservation. If the Historic Preservation Commission determines that there is a conflict between the standards for Design Review and the standards for issuance of a COA, the provisions relating to issuance of a COA shall govern. All other aspects of administrative Design Review, such as review of a Landscape Plan, shall be required.

### C. Application and Approval

No separate application is required for an administrative Design Review. The Building and Code Enforcement Division Manager shall forward applications for Building Permits and Site Development Permits requiring



## 17.04.230 – Design review

---

administrative Design Review to the Director of Community Development for review. The Director of Community Development shall grant Design Review approval if the permit application complies with the Standards and Guidelines of Chapter 17.06, “Design Review Standards and Guidelines”. If the Director of Community Development determines that it does not conform, he/she shall inform the applicant in writing as to which standards were not met, and may offer recommendations as to how to gain compliance.

For projects requiring administrative Design Review, permit applicants are encouraged to schedule a Pre-Application meeting or an informal consultation with the Director of Community Development or his/her designee prior to filing a permit application.

### D. Appeal of Administrative Decision

An Appeal may be taken from the decision of the Director of Community Development regarding Design Review, as provided in Section 17.04.300.

[\(2015-Z-25](#) [1]: § 3)

# 17.06 – Design Review Standards and Guidelines

## Sections

- 17.06.010 – How to use this chapter
- 17.06.020 – Standards and guidelines – All zoning districts
- 17.06.030 – Standards and guidelines – BL, BC, BR, & O/R districts
- 17.06.040 – Standards and Guidelines – CBD1 and CBD2 districts
- 17.06.050 – Standards and Guidelines – RM1, RM2, and RM3 districts
- 17.06.060 – Standards and Guidelines - RT-1, RT-2, RT-3, RT-4 and CBD-2 Districts (one- and two-family dwellings only)

### [17.06.010 – How to use this chapter](#) [1]

#### 1. Standards and Guidelines

The Standards and Guidelines of this Chapter shall apply to applications for Building Permits and Site Development Permits as provided in Section 17.04.230 (Design Review). The Standards and Guidelines of this Chapter shall also apply to applications for Special Uses (Section 17.04.330) and Planned Unit Developments (Sections 17.04.400, et seq.).

The provisions of this Chapter include “Standards” and “Guidelines”, both of which must be addressed in order to obtain Design Review approval. “Standards” are specific requirements that must be met. A Standard typically offers little flexibility unless options are provided within the Standard itself. A Standard may establish requirements not otherwise contained in this Title, or may refer to other requirements more fully set forth elsewhere in this Title or the St. Charles Municipal Code. “Guidelines” are descriptions of design characteristics intended to be applied with flexibility. Where a proposed design does not precisely follow the guideline, it may still be acceptable if the applicant can show how it meets the intent for that group of standards and guidelines and the purpose and intent of this Title, in particular Section 17.04.230.

#### 2. Applicability of Building Design and Material Standards to Existing Buildings

Existing buildings that do not comply with the building design or building materials standards of this Chapter shall comply with the following standards:

1. Building alterations or additions constructed primarily at the side or rear of a building may be constructed with the same design and materials as the remainder of the building, provided an addition

## **17.06.060 – Standards and Guidelines - RT-1, RT-2, RT-3, RT-4 and CBD-2 Districts (one- and two-family dwellings only)**

### **17.06.060 Standards and Guidelines – RT-1, RT-2, RT-3, RT-4, and CBD-2 Districts (one-and two-family dwellings only)**

#### **A. Site Layout and Context**

Intent: To ensure building placement is compatible with neighboring properties and reflects the development pattern of the surrounding neighborhood.

##### Standards:

1. Buildings facades shall be oriented to the street. Front facades should squarely face the street

and should not be set at an angle. However, if adjacent homes are set at an angle the new home may be similarly sited.

1. Site grading shall be consistent with that of adjacent properties. The slope and elevation of the property shall not be altered in such a manner that results in an artificial change of grade.
2. The amount of front or exterior side yard covered by driveways shall be limited per Section 17.24.070Z.

##### Guidelines:

1. Setbacks (front, side, rear) should generally follow the averages for the block on which the new house is located. Front and exterior side yard setbacks may be reduced based on averaging of existing principal building setbacks along the street frontage of a block – See Table 17.12-2 for setback requirements.
2. Building and site layout should be compatible with existing topography and vegetation. Preservation of existing trees, particularly older growth trees, is recommended.
3. The coverage of driveways and parking areas in the front and exterior side yards should be minimized to the greatest extent possible.

#### **B. Garages**

Intent: To reduce the appearance and prominence of garages in order to maintain a pedestrian friendly streetscape.

##### Standards:

1. Garages shall meet the provisions of Section 17.22.020 Accessory Buildings and Structures, including but not limited to: requirement to provide access from a public alley; limitations on garage door width; and requirements to set back street-facing attached garages from the remainder of the building
2. Detached garages shall be consistent with the architectural style of the house. Use of similar window styles, exterior materials, and trim detailing is required

## Guidelines

1. Detached or rear-loaded garages are recommended. A Building Coverage bonus shall be provided where a detached garage or an attached garage accesses via an alley is provided. See Table 17.12.2.

1. Street-facing doors on attached garages should incorporate glass panel windows.
2. The use of individual bay doors (single stall) is preferred over double-wide doors, particularly

for street-facing attached garages. Stepped back, separate garage doors should also be considered to further soften the impact of a street-facing attached garage.

### C. Massing and Proportion

Intent: To reduce the appearance of mass and to encourage new houses to match the scale of the existing neighborhood.

#### Standards:

1. Buildings shall comply with the Bulk Requirements provided in Table 17.12-2 (including Setbacks, building coverage, and building height).

#### Guidelines:

1. Scale, proportions, and height should be compatible with adjacent homes and with the general characteristics of homes in the surrounding neighborhood. For example, effort should be made to limit the height, or reduce the appearance of height, of a two-story house constructed among single-story houses.

1. Simple building forms and shapes are encouraged.
2. The following methods may be incorporated to reduce the apparent mass of a home:
  - a. Step back portions of the home. For example, set the second story back a number of feet from the first story or add an unenclosed porch on the first story.
  - b. Use dormers to break up roof mass, if consistent with the architectural style of the home.
  - c. Incorporate horizontal design detailing to visually break up flat walls. Examples include wide skirt boards, mid-section trim between stories, frieze boards along roof eaves, partial or complete gable returns, or a change in siding or masonry patterns or materials.

### D. Roofs

Intent: To encourage roofs and rooflines that add character and interest to a home, while blending with the roof forms found throughout the existing neighborhood.

#### Guidelines:

1. The form, pitch, and scale of roofs should be compatible with the surrounding neighborhood.
2. Roof form, pitch, and scale should match the architectural style of the house.
3. Simple gabled and hipped roof forms are preferred.
4. Eaves that extend a sufficient distance to create shadow lines are encouraged if appropriate for the architecture of the structure.
5. The roof of the garage and other accessory structures should mimic the roof of the house in both form and pitch.
6. Mansard and flat roofs should be used only if appropriate for the architectural style of the house.

#### **E. Architectural Details**

Intent: To promote architectural interest and design that complements the traditional building styles found in older neighborhoods.

Standards:

1. “360 degree architecture” is required, meaning that facades must be designed to be viewed from all directions. At a minimum, the same window types and similar trim detailing to the front elevation must be used on the side and rear elevations.

Guidelines:

1. Use of masonry should be consistent on all facades. Use of masonry on the front façade only is discouraged.
2. The use of exterior trim detailing is recommended. In addition to the window casing, such detailing includes: wide vertical corner boards, skirt boards, frieze boards, and midsection trim.
3. The limited use of decorative elements such as gable trusses, exposed rafters, arched doors and windows, quoins, pediments, etc. is encouraged, provided such elements do not overwhelm or clutter the home’s appearance and are appropriate for the architectural style of the home.
4. All window openings should be articulated by window casing of at least four (4) inches if the primary all material is sliding.
5. Shutters should only be utilized where appropriate for the architectural style of the building. If shutters are used, they should exactly match the window size.
6. Chimneys should be masonry when located on a street-facing elevation.

#### **F. Windows, Doors, and Entrances**

Intent: To promote an inviting presence that contributes to the pedestrian friendly character of the neighborhood.

Guidelines:

1. The home’s primary entrance should be located at the front of the house, facing the street.
2. The front entry should be the predominate feature on the front elevation. Multi-story entry features should be used only when architecturally appropriate.
3. Open, full-width front or wrap-around porches are recommended to emphasize the front entrance. Porches should be at least six (6) to eight (8) feet in depth and constructed in a manner so as to be fully functional. Porch detailing should be consistent with the architecture of the house.
4. Unenclosed Porches are permitted to encroach up to eight (8) feet into the front, exterior side or rear yards.

Unenclosed porches are not included in the calculation of Building Coverage. For the definition of an Unenclosed Porch vs. Enclosed Porch and Building Coverage see Ch. 17.30. For information on permitted yard encroachments, see Section 17.22.030.

5. Windows should be incorporated on all elevations.
6. Window openings and panes should be similarly proportioned throughout.
7. Windows should be placed in a manner that creates a balanced elevation on all sides of the house.
8. Double-hung or casement windows are preferred. The use of fixed and large, undivided pane windows should be limited.
9. The use of window muntins (divides) should be consistent for all windows.
10. The style of windows and doors (particularly the front door) should complement the architectural style of the house.
11. In addition to window casing, design elements such as window muntins (divides), window sills, and head trim, should be incorporated if such details are appropriate for the architectural style of the house.

### **G. Additions and Exterior Alterations**

Intent: To ensure additions and exterior alterations are complementary to the existing home and blend with the neighborhood.

Standards:

1. Additions and exterior alterations shall abide by the applicable standards and guidelines in Section 17.06.606 A-F.

Guidelines:

1. Additions should match the scale and mass of the original structure.
2. Additions and exterior alterations should match the existing house in exterior materials, color, architectural style and detailing, window proportion and type, and roof form, pitch, and color.

[\(2015-Z-25](#) [1]: §5)



April 25, 2017

Ellen Johnson  
Planner  
**St. Charles Plan Commission**  
2 East Main Street  
St. Charles, Illinois 60174

RE: **Super Bad** – Appeal of Administrative Design Review Decision  
828 S. Third St.  
Permit #: 17.24970  
LGI# 2015-0135

Dear Mrs. Johnson:

I have reviewed your memo for the above property dated April 21, 2017 regarding the design review of the home and detached garage. We would like to clarify the owner's intentions for the design of this property. The use of the containers sets this design apart from the traditional aesthetic of the neighbouring properties. The materials and colors being used are not intended to stand out in a negative way. Rather, they are used to give the home its own identity within the community. The "modern" design aesthetic of the home lends itself to asymmetrical features, textures, patterns and materials while still allowing it to be viewed from all sides. Additionally, we feel that maintaining certain features of the containers, such as the metal siding and container doors, assists in emphasizing the use of the containers. The intention is not to hide the use of the containers; rather, to embrace the containers and allow form to follow function.

We request that this appeal be added to the agenda for the May 2<sup>nd</sup>, 2017 Plan Commission meeting. Our client, Clark Evans, will be in attendance to discuss this review. Thank you in advance for your consideration of this design decision. Please let me know if you have any questions or comments.

Sincerely,  
LINDENGROUP Inc.

**Kaleb W. Yanko, AIA, Associate**

Cc: Clark Evans, Group3 Construction

Community & Economic Development  
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



## Memo

March 15, 2017

TO: Tom Medernach, Building Inspector

FROM: Ellen Johnson, Planner

CC: Rita Tungare, Director of Community & Economic Development  
Russell Colby, Planning Division Manager

RE: Permit No. 17-24970 / 828 S. 3<sup>rd</sup> St. (New house in RT district)

---

Please provide the following comments to the applicant of the proposed new house at 828 S. 3<sup>rd</sup> St.

### 1. Zoning Review Comments

- a. The proposed front setback is 18'11 7/8". The required front setback in the RT-2 zoning district is 25 ft. Per Table 17.12-2, footnote 5, when 50% or more of the street frontage of a block has existing principal building setbacks less than the front yard required by the zoning district, the required front yard may be reduced to the average of the existing front yard setbacks on that street frontage of the block. Staff calculated the average front yard setback for the block on which the subject property is located, extending from Bowman St. to Mosedale St., as approx. 24 ft. This means the minimum front setback required for the proposed house is 24 ft., unless evidence can be provided that the average setback is less than 24 ft. The house will need to be shifted to the east to meet the front setback requirement.
- b. A canopy is shown projecting 3 ft. from the front, rear, and south side walls of the structure. The maximum permitted yard encroachment for a canopy is 30 inches (2.5 ft.). On the south side, an 8 ft. setback is required, meaning the canopy must meet a 5.5 ft. setback; the canopy is currently set back only 5 ft. The house could be shifted north to accommodate the south side setback issue. On the front and rear elevations, the canopy as shown is acceptable because it can be considered a porch-like projection, which is permitted.
- c. The maximum height of accessory structures is 20 ft. The proposed garage is 21'6 1/2". The garage needs to be reduced in height.



2. **Design Review Comments** (Per Chapter 17.06 of the Zoning Ordinance – See Section 17.06.060 for requirements for RT zoning districts.)

*Design Review approval is required for this building permit application. The purpose of Design Review is to ensure that development and redevelopment occur in a manner that promotes the general welfare of the City, is harmonious with surrounding properties, and is consistent with the City's ordinances and Comprehensive Plan.*

*The provisions of the Zoning Ordinance Design Review Chapter 17.06 include “Standards” and “Guidelines”, both of which must be addressed in order to obtain Design Review approval.*

- *“Standards” are specific requirements that must be met. A Standard typically offers little flexibility unless options are provided within the Standard itself. A Standard may establish requirements or refer to a code requirement in another section.*
- *“Guidelines” are descriptions of design characteristics intended to be applied with flexibility. Where a proposed design does not precisely follow the guideline, it may still be acceptable if the applicant can show how it meets the intent for that group of standards and guidelines and the purpose and intent of Section 17.04.230.*

***Standards:***

The following comments are related to the design Standards. Plans must comply with design Standards.

1. “360 degree architecture” is required, meaning that facades must be designed to be viewed from all directions (17.06.060.E.1).
  - a. Materials are not consistent on all elevations. The fiber cement siding used on the side elevations should be incorporated on at least part of the front and rear elevations.
  - b. Window openings and panes should be similarly proportioned throughout and should be placed in a manner that creates a balanced elevation on all sides of the house. As currently drawn, window openings are not balanced; a variety of window types and sizes are proposed and window positioning is inconsistent. This is of particular concern on the front elevation.
  - c. While we understand the shipping container doors are part of the container, we feel they are not appropriate for a residential structure in a Traditional Residential zoning district. Consider removing the container doors and/or handles/hardware.
  - d. Because non-conventional materials are being used, please provide the proposed exterior colors and paint finishes so that we can better assess whether the design will be compatible.

***Guidelines:***

The following are advisory comments related to the design *Guidelines*.

1. Open front porches are recommended to emphasize the front entrance and to break up the appearance of the front façade (17.06.060.F.3). Porches can encroach up to 8 ft. into the

required front yard setback and do not count towards the calculation of building coverage. The proposed canopy could be extended and incorporated into a porch-like structure that extends along the front of the house. The addition of a front porch consistent with the modern architectural style of the house would also soften the appearance of the shipping containers.

Per the comments above, staff does not believe the proposed design meets the intent of the Zoning Ordinance Design Review Standards and Guidelines for the RT Traditional Residential zoning districts. **The elevation drawings should be revised to address the comments above. Otherwise, a written response should be provided addressing how the plans otherwise meet the intent of the Standards and Guidelines.**

Staff is willing to assist you on a revised design and to provide feedback at any time.

Please contact me with any questions at (630)762-6901 or [ejohnson@stcharlesil.gov](mailto:ejohnson@stcharlesil.gov).



LINDEN GROUP

April 12, 2017

Ellen Johnson

Planner

**City of St. Charles – Building Division**

2 East Main Street

St. Charles, Illinois 60174

RE: **Evans Residence (Super Bad)** - Plan Review

828 S. Third St.

Permit #: 17.24970

LGI# 2015-0135

**RESPONSE COMENTS:**

---

Zoning Review Comments:

- Item #1a Will comply. The house has been moved back to 24 feet from the property line.
- Item #1b Will comply. The house has been moved 6 inches to the north.
- Item #1c Will comply. The height of the garage has been reduced to 20'-0".

Standards:

- Item #1a The "modern" design aesthetic of the container home lends itself to asymmetrical features, textures, patterns and materials.
- Item #1b The front elevations has been discussed between the owner and City and determined that no changes are required. The side (north) elevation has been revised with windows that match the rear elevation.
- Item #1c Form follows function and the use of the container doors lends the to the structure's design theme. Make something that is useful – artful.
- Item #1d The colors that will be used are BAADF Limco Supreme Plus #ORSO1 and #BLU096.

Guidelines:

- Item #1 This home's design presents a minimalistic lifestyle. The proposed emphasis on the front entrance/expanded front porch is not something the owner desires.

**End of Response Letter**

Community & Economic Development  
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



## Memo

April 21, 2017

TO: Tom Medernach, Building Inspector

FROM: Ellen Johnson, Planner

CC: Rita Tungare, Director of Community & Economic Development  
Russell Colby, Planning Division Manager

RE: Permit No. 17-24970 / 828 S. 3<sup>rd</sup> St. (New house in RT district)

---

Please provide the following comments to the applicant of the proposed new house at 828 S. 3<sup>rd</sup> St.

### 1. Zoning Review Comments

- a. The maximum height of accessory structures is 20 ft. Height is measured from grade. The proposed garage is almost 21 ft. when measured from grade.

### 2. **Design Review Comments** (Per [Chapter 17.06 of the Zoning Ordinance](#) – See Section 17.06.060 for requirements for RT zoning districts.)

- a. Staff is unable to find color information for the Limco color codes provided. Please submit paint chips or photos of the paint colors.
- b. As a reminder, Design Review approval is required for this building permit application. The provisions of the Zoning Ordinance Design Review Chapter 17.06 include “Standards”, which are specific requirements that must be met, and “Guidelines” which are intended to be applied with flexibility.

Staff has received a letter from Kaleb Yanko of Linden Group dated 4/12/17 which responds to the design review comments provided in the memo dated 3/15/17 (see both documents attached). Staff has also reviewed the revised plan submittal for this project.

While we recognize the proposed house is a unique style of architecture, staff does not believe the plans meet the Design Standards and Guidelines of Chapter 17.06, as outlined in the previous memo.

If the applicant is not agreeable to modifying the plans to comply with staff's comments concerning the Design Standards and Guidelines, they have the ability to file an Appeal of Administrative Decision. Section 17.04.300 outlines the Appeal process, accessed at this link: <https://codebook.stcharlesil.gov/1704-%E2%80%93-administration/1704300>. The applicant must submit a letter to the Director of Community & Economic Development specifying the nature of the appeal. The Appeal will then be reviewed by the Plan Commission. The Plan Commission may affirm, reverse, or modify staff's determination regarding compliance with the Design Standards.

Please contact me with any questions at (630)762-6901 or [ejohnson@stcharlesil.gov](mailto:ejohnson@stcharlesil.gov).



FRONT (WEST) ELEVATION



SIDE (NORTH) ELEVATION



SIDE (SOUTH) ELEVATION

**Super Bad**  
**828 S. Third Street**



LINDENGROUP  
ARCHITECTS

10100 ORLAND PARKWAY, SUITE 110  
ORLAND PARK, IL 60467  
P: 708.799.4400 F: 708.799.4434  
WWW.LINDENGROUPINC.COM

DATE	DRAWN	DESCRIPTION
09/22/2016	KWY	FIELD FOR PERMITS & PERMITS
09/22/2016	KWY	OWNER REVIEW
02/08/2017	KWY	OWNER REVIEW
04/22/2017	KWY	FINAL PERMITS REVIEW (SHELL)

DATE: 09.22.2016  
 PROJECT NUMBER: 2015-0135

FILE NUMBER: 09.22.2016  
 DRAWN BY: KGP / KWY  
 DRAWING:

FINAL REVIEW:

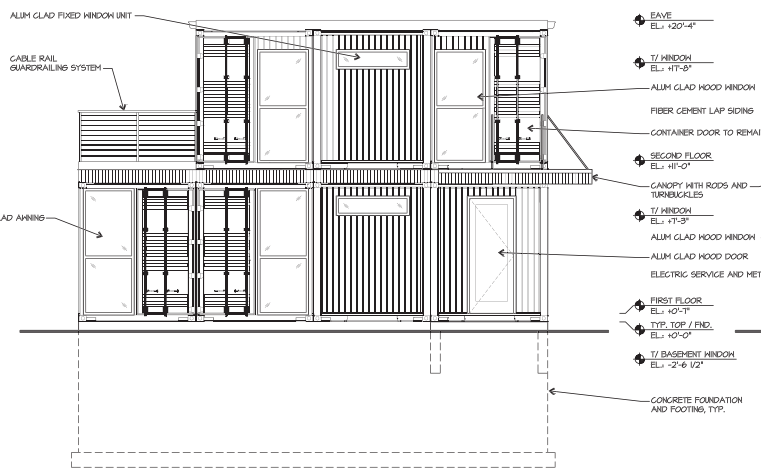
CONTRACTOR: BOLD GROUP INC.  
 ALL RIGHTS RESERVED.  
 ALL INFORMATION AND CONTENTS ARE UNCLASSIFIED AND NOT CONTROLLED.  
 THIS DOCUMENT IS THE PROPERTY OF LINI ENGROUP AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN.  
 ANY REUSE OR DISTRIBUTION OF THIS DOCUMENT IS STRICTLY PROHIBITED.

**EXTERIOR ELEVATIONS**

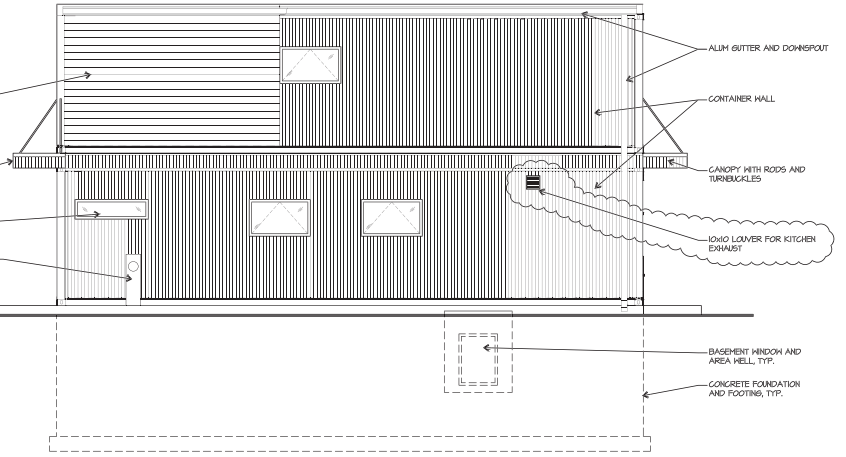
SHEET NAME

**A-4.0**

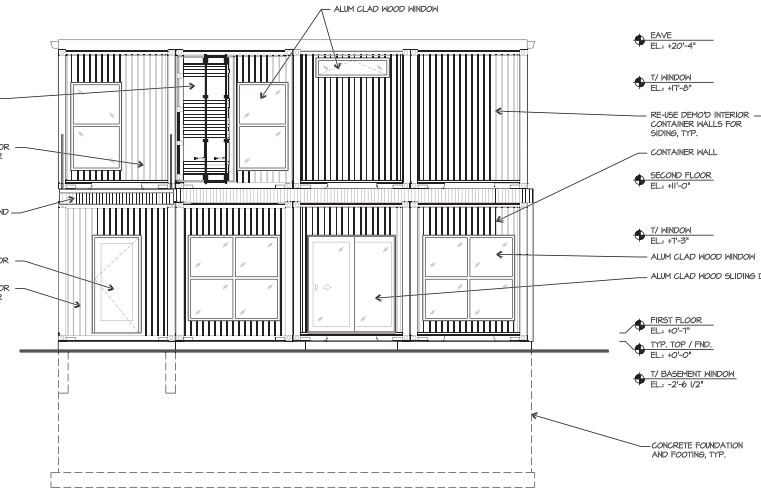
SHEET 9 OF 15



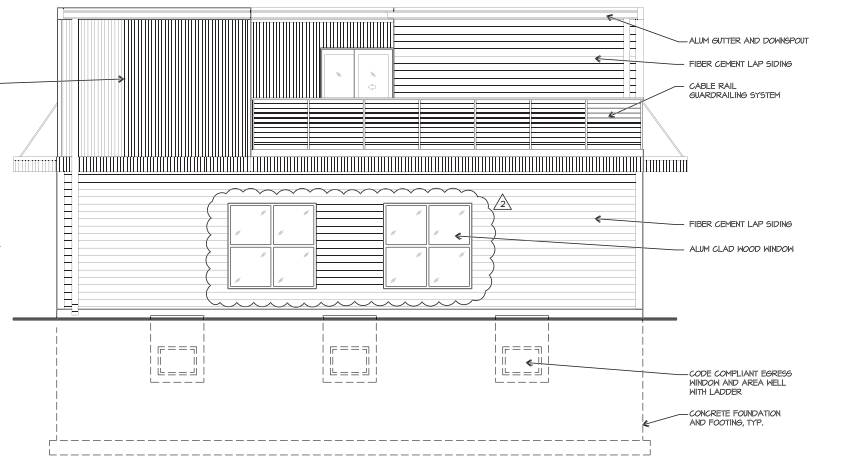
**FRONT (WEST) ELEVATION**  
 SCALE: 1/4" = 1'-0"



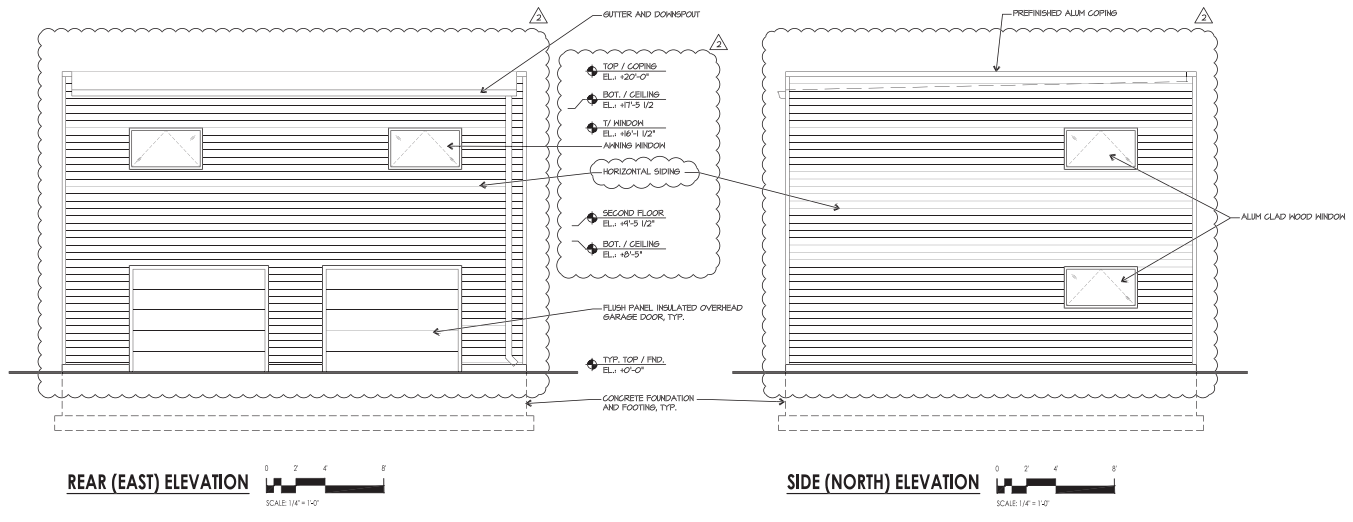
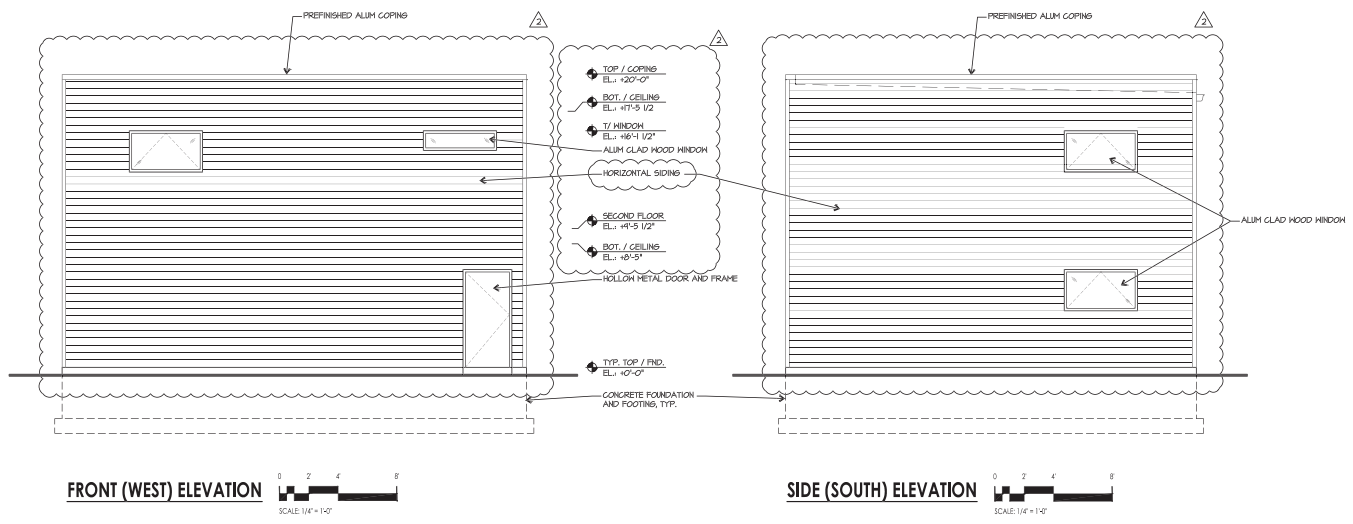
**SIDE (SOUTH) ELEVATION**  
 SCALE: 1/4" = 1'-0"



**REAR (EAST) ELEVATION**  
 SCALE: 1/4" = 1'-0"



**SIDE (NORTH) ELEVATION**  
 SCALE: 1/4" = 1'-0"



DATE	DRAWN	DESCRIPTION
09/22/2016	KWY	FIELD DRAWING & PRINT
09/22/2016	KWY	OWNER REVIEW
09/22/2016	KWY	OWNER REVIEW
09/22/2016	KWY	FINAL REVIEW

PROJECT NUMBER  
**2015-0135**

FILE NUMBER  
**09.22.2016**

DATE  
**KGP / KWY**

FINAL REVIEW

CONTRACTOR: LINI GROUP INC.  
ALL RIGHTS RESERVED.

**EXTERIOR ELEVATIONS**

SHEET NAME  
**A-4.1**

SHEET 10 OF 15



**ARCHITECT**

INDEN GROUP, INC.  
10100 ORLAND PARKWAY, SUITE 110  
ORLAND PARK, ILLINOIS 60467  
PH: 708-799-4400  
FX: 708-799-4434  
www.indengroupinc.com

INDEN GROUP INC. PROFESSIONAL  
SEVEN NEW RESIDENCE  
13400011 (000001) (000001)  
DWG# 15-0107

**ST. CHARLES ADOPTED CODES**

- 2015 International Residential Code
- 2014 Illinois State Plumbing Codes
- 2015 International Mechanical Code
- 2015 International Energy Conservation Code
- 2015 International Fire Code
- 2012 International Property Maintenance Code
- 2014 National Electrical Code
- 2015 Fuel Gas Code
- 1997 Illinois Accessibility Code

**ZONING DATA**

PER ST. CHARLES ZONING MAP  
RT-2 RESIDENTIAL TRADITIONAL SINGLE FAMILY WITH DETACHED GARAGE  
SETBACKS (PER MUNICIPAL CODE ZONING TABLE ITJ-2-2)  
RT-2 FRONT YARD = 25'  
RT-2 INT. SIDE YARD = 5'  
RT-2 REAR YARD = 30'  
LOT AREA = 7,061 SF  
MAX BUILDING COVERAGE = 25% x LOT AREA (1-500M PER TABLE ITJ-2-2 NOTE 4) = 0.25 x 7,061 = 5,009 SF = 2,261 SF  
BUILDING FOOT PRINT:  
RESIDENCE = 1,300 SF  
DETACHED GARAGE = 886.76 SF  
TOTAL = 2,186.76 SF  
BUILDING AREA:  
RESIDENCE = 2,375 SF  
DETACHED GARAGE = 1,173.62 SF  
TOTAL = 4,448 SF

NEW RESIDENCE FOR  
**group3 Construction**  
828 S. 3RD STREET  
ST. CHARLES, ILLINOIS

**SHEET INDEX**

- T-1.0 TITLE SHEET, ARCHITECTURAL SITE PLAN
- A-1.0 BASEMENT FLOOR PLANS
- A-1.1 FIRST FLOOR PLANS
- A-1.2 SECOND FLOOR PLANS
- A-1.3 ROOF PLANS
- A-3.0 BASEMENT CEILING & ELECTRICAL PLANS
- A-3.1 FIRST FLOOR CEILING & ELECTRICAL PLANS
- A-3.2 SECOND FLOOR CEILING & ELECTRICAL PLANS
- A-4.0 EXTERIOR ELEVATIONS
- A-4.1 EXTERIOR ELEVATIONS
- A-5.0 BUILDING SECTIONS
- A-5.1 BUILDING SECTIONS
- A-6.0 SECTIONS and DETAILS
- A-8.0 INTERIOR ELEVATIONS & SCHEDULES
- A-9.0 SPECIFICATIONS



ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
10100 ORLAND PARKWAY, SUITE 110  
ORLAND PARK, ILLINOIS 60467  
P: 708.799.4400 F: 708.799.4434  
WWW.INDENGROUPINC.COM

**SUPER BAD**  
**group3 Construction**  
828 S. 3RD STREET  
ST. CHARLES, IL

DATE	DRAWN	DESCRIPTION
09/22/2016	KWY	FIELD FOR PERM & PERM
09/22/2016	KWY	OWNER REVIEW
09/22/2016	KWY	OWNER REVIEW
09/22/2016	KWY	OWNER REVIEW
09/22/2016	KWY	OWNER REVIEW

2015-0135  
PROJECT NUMBER

09.22.2016  
DATE

KGP / KWY  
DRAWN BY

FINAL REVIEW

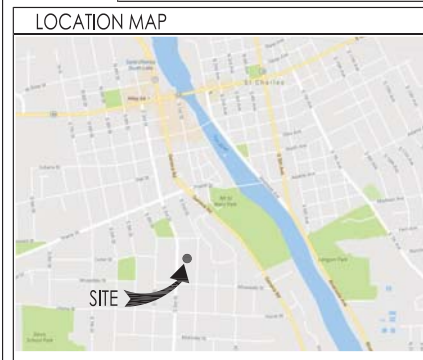
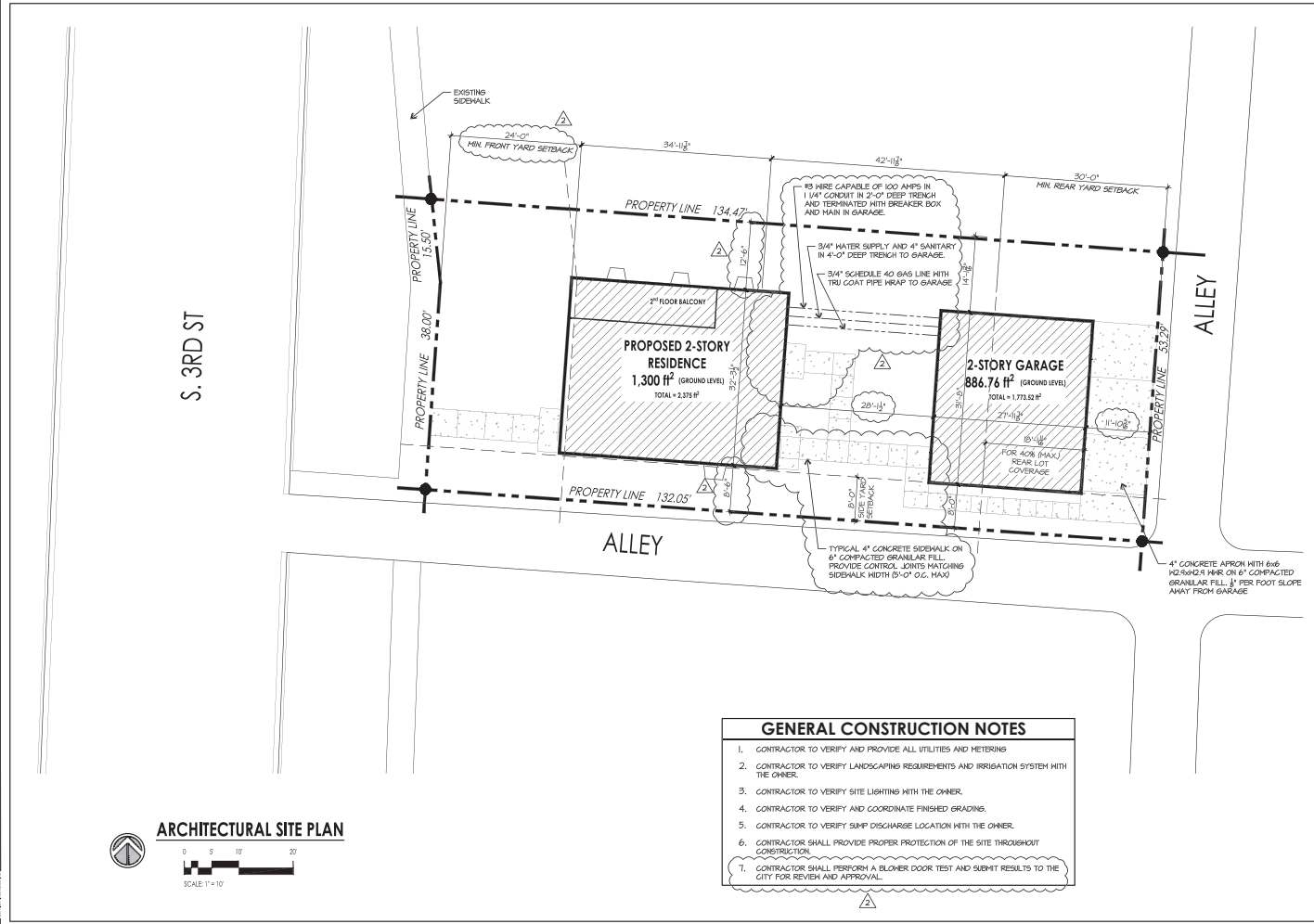
COPYRIGHT © 2016 GROUP3 INC.  
ALL RIGHTS RESERVED.

TITLE SHEET, ARCHITECTURAL SITE PLAN

SHEET NAME

**T-1.0**

SHEET 1 OF 15

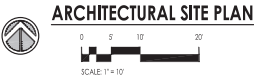


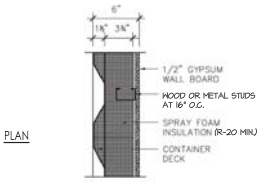
I hereby certify, to the best of my knowledge and belief, that these plans have been drawn under my supervision and comply with all applicable building and zoning ordinances and codes of ST. CHARLES, IL.

Professional Design Firm: 184-00069  
Expiration Date: 4/30/17

Date: 9-12-2016

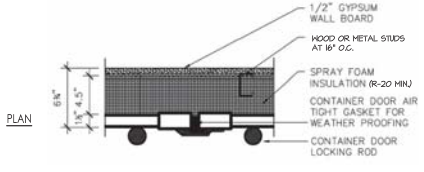
© COPYRIGHT LINEN GROUP INC. ALL RIGHTS RESERVED.





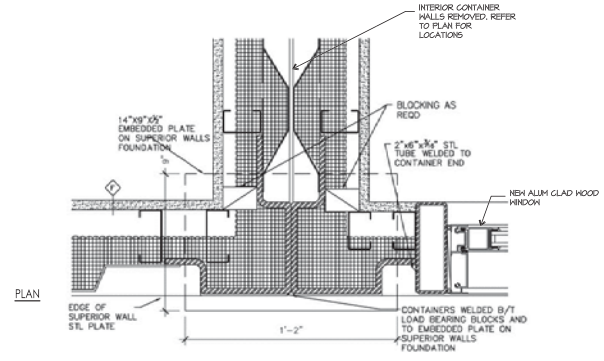
**1**  
A-1.0  
**TYPICAL EXTERIOR CONTAINER WALL**  
SCALE: N.T.S.

NOTE: DETAIL SHOWN FOR GENERAL INTENT, CLOSED CELL INSULATION SPECS BY BUILDER



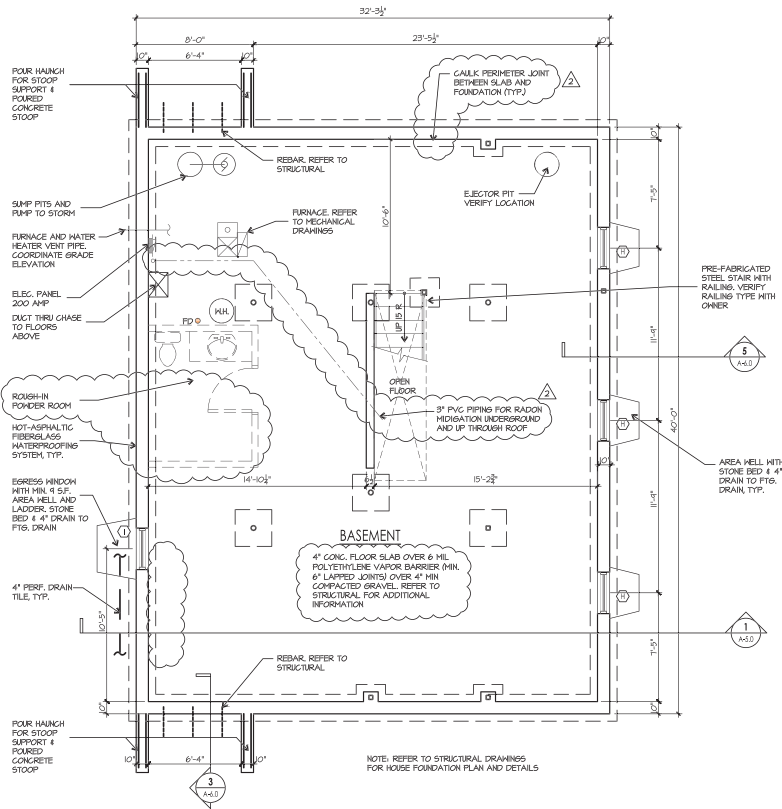
**2**  
A-1.0  
**DETAIL AT EXTERIOR CONTAINER DOORS**  
SCALE: N.T.S.

NOTE: DETAIL SHOWN FOR GENERAL INTENT, CLOSED CELL INSULATION SPECS BY BUILDER

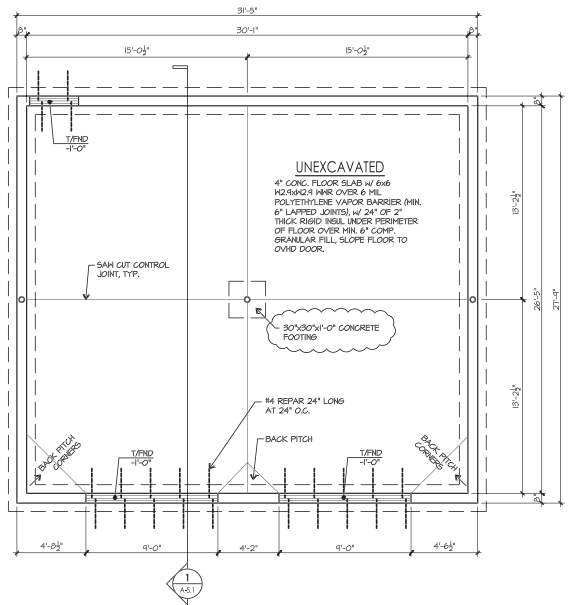


**3**  
A-1.0  
**TYPICAL CONTAINER CONNECTION DETAIL**  
SCALE: N.T.S.

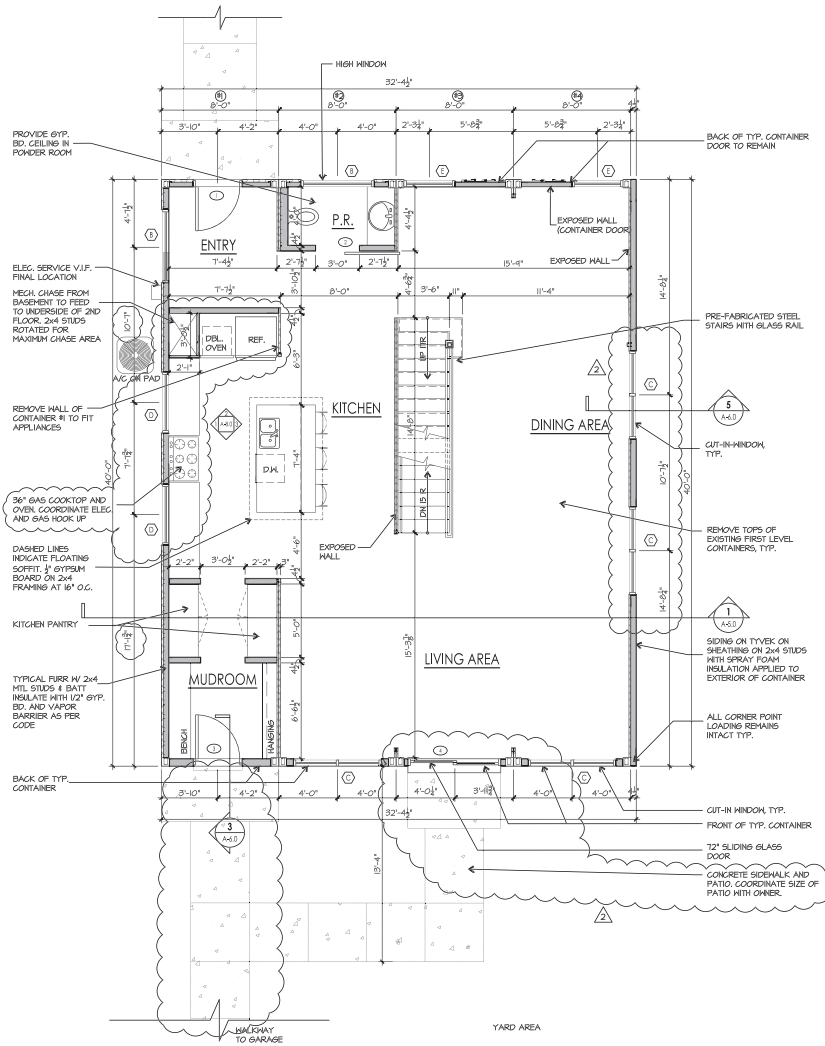
NOTE: DETAIL SHOWN FOR GENERAL INTENT, REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC INFORMATION



**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



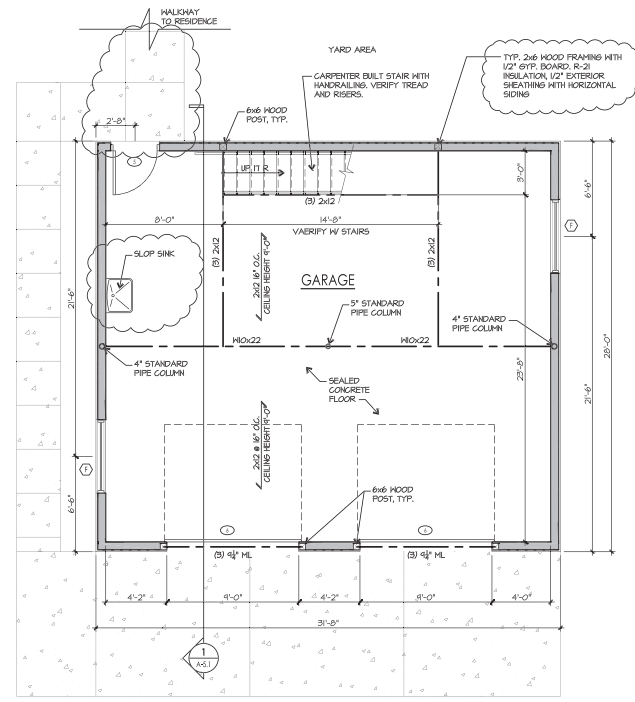
**GARAGE FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**FIRST FLOOR PLAN**  
1300 SQ. FT.  
SCALE: 1/4" = 1'-0"

- NOTES:**
- \* ISO CERTIFIED WATERWEATHER TIGHT
  - \* WINDOW LOCATIONS TO BE VERIFIED WITH ELEVATION DESIGN
  - \* MECH. ROOM LOCATED IN 2ND FLOOR
  - \* ALL MECHANICAL DUCT RINGS WILL BE EXPOSED
  - \* TYPICAL CONTAINER IS 40' LONG x 8'-0" WIDE x 9'-6" TALL
  - \* COORDINATE WITH STRUCTURAL ENGINEERING DRAWINGS

- FLOOR PLAN GENERAL NOTES**
- HATCHED WALLS INDICATE STUD FRAMED WALLS. TYPICAL INTERIOR HALL IS 2x4 STUDS WITH 1/2" GYPSUM BOARD ON EACH SIDE.
  - ALL CABINET / MILLWORK DESIGN BY OTHERS AND COORDINATED WITH POWER / LIGHTING BY E.G.C.
  - VERIFY ALL FLOOR FINISHES & FLOORING TRANSITIONS.
  - ALL HVAC / DUCTWORK LAYOUT AND DESIGN IS "DESIGN-BUILD" AND TO BE COORDINATED WITH CONTRACT DOCUMENTS BY CONTRACTOR.
  - ALL PLUMBING LAYOUT AND DESIGN IS "DESIGN-BUILD" AND TO BE COORDINATED WITH CONTRACT DOCUMENTS BY CONTRACTOR.
  - VERIFY TRIM PACKAGE, TRIM TO BE STAINED UNLESS NOTED OTHERWISE.
  - ALL KITCHEN & LAUNDRY APPLIANCES INSTALLED BY E.G.C.
  - WRAP ALL SANITARY DRAIN LINES IN HALL CAVITIES OR FLOORS WITH SOUND INSULATION.
  - ALL EXHAUST FANS SHALL BE VENTED TO OUTSIDE AIR AND SHALL BE CONSTRUCTED OF NON-FLEXIBLE GALVANIZED IRON OR STAINLESS STEEL.
  - MAINTAIN ALL DUCT OPENINGS, KEEP COVERED DURING CONSTRUCTION & CLEAN OF DEBRIS.
  - AREAS THAT DO NOT MEET THE MINIMUM NATURAL LIGHT & VENT REQUIREMENTS ARE TO BE MADE UP BY ARTIFICIAL AND MECHANICAL MEANS.
  - ALL SELECTIONS BELOW BY OWNER. HALL, FLOOR AND CEILING FINISHES, MILLWORK, DOOR FINISHES AND HARDWARE, PLUMBING FIXTURES, LIGHT FIXTURES, AND BUILT-INS.



**GARAGE FIRST FLOOR PLAN**  
201 SQ. FT.  
SCALE: 1/4" = 1'-0"



ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
1010 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60467  
P: 708.799.4400 F: 708.799.4434  
WWW.LINIGROUP.COM

**SUPER BAD**  
**group3 Construction**  
828 S. 3RD STREET  
ST. CHARLES, IL

DATE: 09/22/2016  
DRAWN: KGP / KWW  
CHECKED: KGP / KWW  
DATE: 09/22/2016  
PROJECT NUMBER: 2015-0135

REVISION NUMBER: 09.22.2016  
DRAWN BY: KGP / KWW  
DATE: 09/22/2016

FINAL REVIEW  
CONTRACTOR: [blank]  
ALL RIGHTS RESERVED

FIRST FLOOR PLANS

SHEET NAME: **A-1.1**  
SHEET 3 OF 15



ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
10100 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60462  
P. 708.799.4400 F. 708.799.4434  
WWW.LINIGROUP.COM

**SUPER BAD**  
**group3 Construction**  
828 S. 3RD STREET  
ST. CHARLES, IL

DATE: 09/22/2016  
DRAWN: KGP / K/WY  
CHECKED: KGP / K/WY  
DATE: 09/22/2016  
PROJECT NUMBER: 2015-0135

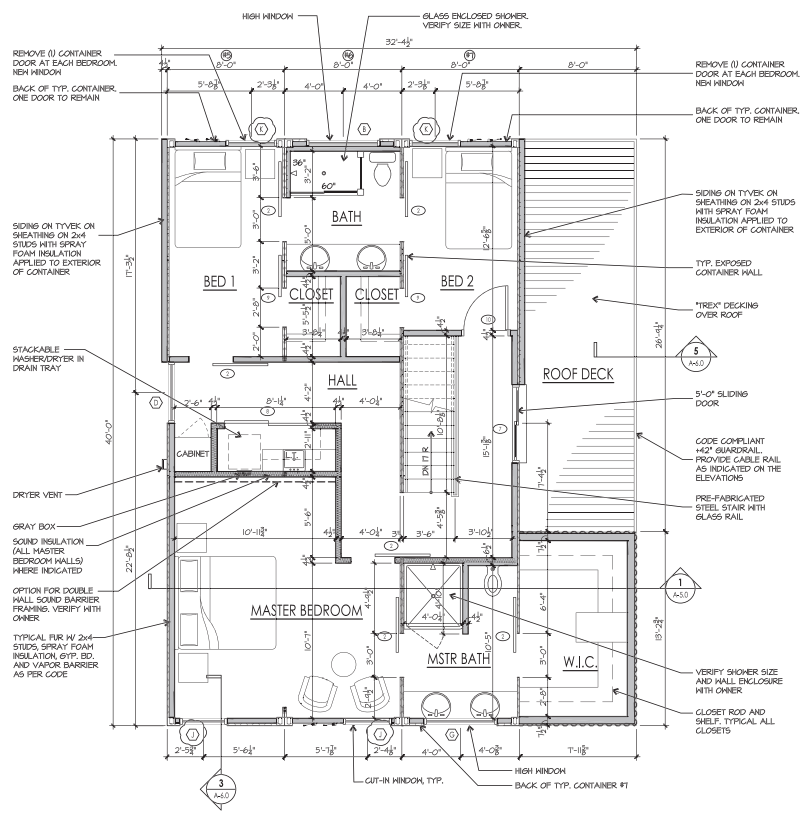
DATE: 09/22/2016  
DRAWN: KGP / K/WY  
CHECKED: KGP / K/WY

FINAL REVIEW  
CORRECTIONS: 0  
ALL RIGHTS RESERVED

SECOND FLOOR PLANS

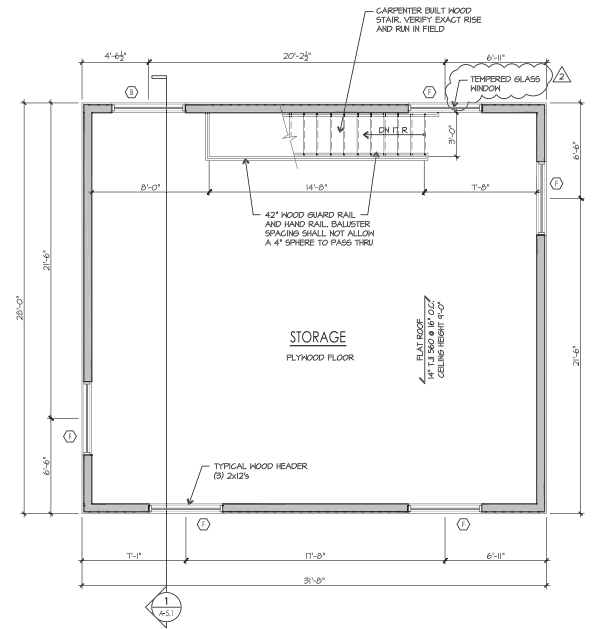
SHEET NAME  
**A-1.2**  
SHEET 4 OF 15

- ### FLOOR PLAN GENERAL NOTES
- HATCHED WALLS INDICATE STUD FRAMED WALLS. TYPICAL INTERIOR HALL IS 2x4 STUDS WITH 1/2" GYPSUM BOARD ON EACH SIDE.
  - ALL CABINET / MILLWORK DESIGN BY OTHERS AND COORDINATED WITH POWER / LIGHTING BY G.C.
  - VERIFY ALL FLOOR FINISHES & FLOORING TRANSITIONS.
  - ALL HVAC / DUCTWORK LAYOUT AND DESIGN IS "DESIGN-BUILD" AND TO BE COORDINATED WITH CONTRACT DOCUMENTS BY CONTRACTOR.
  - ALL PLUMBING LAYOUT AND DESIGN IS "DESIGN-BUILD" AND TO BE COORDINATED WITH CONTRACT DOCUMENTS BY CONTRACTOR.
  - VERIFY TRIM PACKAGE, TRIM TO BE STAINED UNLESS NOTED OTHERWISE.
  - ALL KITCHEN & LAUNDRY APPLIANCES INSTALLED BY G.C.
  - WRAP ALL SANITARY DRAIN LINES IN WALL CAVITIES OR FLOORS WITH SOUND INSULATION.
  - ALL EXHAUST FANS SHALL BE VENTED TO OUTSIDE AIR AND SHALL BE CONSTRUCTED OF NON-FLEXIBLE GALVANIZED IRON OR STAINLESS STEEL.
  - MAINTAIN ALL DUCT OPENINGS, KEEP COVERED DURING CONSTRUCTION & CLEAN OF DEBRIS.
  - AREAS THAT DO NOT MEET THE MINIMUM NATURAL LIGHT & VENT REQUIREMENTS ARE TO BE MADE UP BY ARTIFICIAL AND MECHANICAL MEANS.
  - ALL SELECTIONS BELONG BY OWNER: WALL, FLOOR AND CEILING FINISHES, APPLIANCES, MILLWORK, DOOR FINISHES AND HARDWARE, PLUMBING FIXTURES, LIGHT FIXTURES, AND BUILT-INS.



**SECOND FLOOR PLAN**  
1075 SQ. FT.  
SCALE: 1/4" = 1'-0"

NOTES:  
\* ISO CERTIFIED WATERWEATHER TIGHT  
\* HINDON LOCATIONS TO BE VERIFIED WITH ELEVATION DESIGN  
\* MECA ROOM LOCATED IN 1<sup>ST</sup> FLOOR FULL BASEMENT  
\* ALL MECHANICAL DUCT RIGS WILL BE EXPOSED  
\* TYPICAL CONTAINER IS 40' LONG x 8'-0" WIDE x 41'-6" TALL  
\* COORDINATE WITH STRUCTURAL ENGINEERING DRAWINGS



**GARAGE SECOND FLOOR PLAN**  
861 SQ. FT.  
SCALE: 1/4" = 1'-0"

DATE PLOTTED: 10/11/2016 10:58:11 AM



ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
10100 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60467  
P: 708.799.4400 F: 708.799.4434  
WWW.LINIGROUP.COM

**SUPER BAD**  
**group3 Construction**  
828 S. 3RD STREET  
ST. CHARLES, IL

DATE: 09/22/2016  
DRAWN: KGP / KWW  
CHECKED: KWW  
DATE: 03/08/2017  
DRAWN: KWW  
CHECKED: KWW  
DATE: 04/12/2017  
DRAWN: KWW  
CHECKED: KWW

2015-0135  
PROJECT NUMBER

09.22.2016  
DATE

KGP / KWW  
DRAWN BY

FINAL REVIEW

CONTRACTOR: BILCO GROUP INC.  
ALL RIGHTS RESERVED.  
NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LINI EN GROUP.

ROOF PLANS

SHEET NAME

**A-1.3**

SHEET 5 OF 15

**GENERAL ROOF PLAN NOTES**

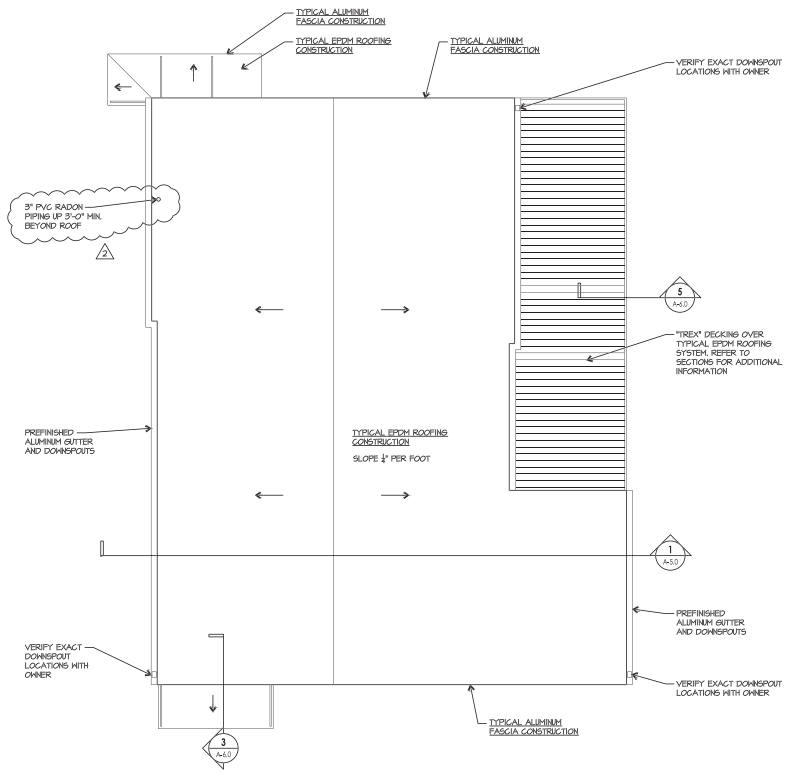
- INDICATES DIRECTION OF ROOF SLOPE BY STRUCTURE OR TAPERED INSULATION.
- ALL ROOF COVERING MATERIALS SHALL BE DELIVERED IN PACKAGES BEARING THE LABEL OF AN APPROVED TESTING AGENCY.
- PROVIDE ALL REQUIRED FLASHING AT PERIMETER OF ROOF TO PROVIDE A WEATHERTIGHT SEAL BETWEEN ROOF AND CONTAINERS.

**TYPICAL ROOF CONSTRUCTION**

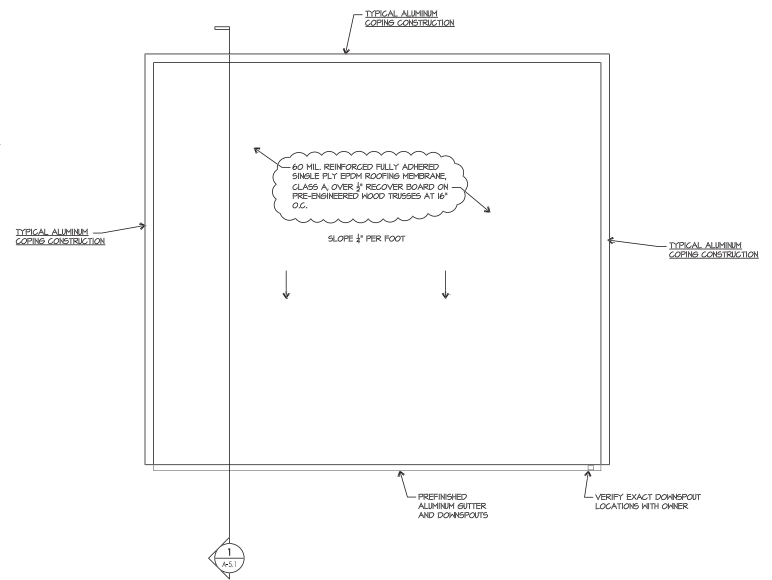
**TYPICAL EPDM ROOFING CONSTRUCTION**  
60 MIL REINFORCED FULLY ADHERED SINGLE PLY EPDM ROOFING MEMBRANE, CLASS A, MEMBRANE OVER MECHANICALLY FASTENED RIGID INSULATION (DEPTH DEPENDS ON MANUF./TYPE) ON 1/2" PRESSURE TREATED #2 LUGWOOD DECK. PROVIDE TAPERED INSULATION TO GUTTERS (3-30 MIN CONTINUOUS INSULATION).

**TYPICAL ALUMINUM FASCIA CONSTRUCTION**  
PRE-FINISHED ALUMINUM FASCIA AT ROOF PERIMETER. COLOR AND PROFILE TO BE SELECTED BY THE OWNER. REFER TO SECTIONS FOR ADDITIONAL INFORMATION.

**TYPICAL ALUMINUM COPING CONSTRUCTION**  
PRE-FINISHED ALUMINUM COPING W/ HOLD-DOWN CLIPS ON 2x BLOCKING. COLOR AND PROFILE TO BE SELECTED BY THE OWNER. REFER TO SECTIONS FOR ADDITIONAL INFORMATION.



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**GARAGE ROOF PLAN**  
SCALE: 1/4" = 1'-0"

15/09/2016 10:58:11 AM C:\Users\kww\OneDrive\Documents\SuperBad\A-1.3.dwg PLOT: 15/09/2016 10:58:11 AM