



ST. CHARLES
SINCE 1834

HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY

**Agenda Item
Title/Address:**

COA: 116 W. Main St.

Proposal:

Rear entrance ramp

Petitioner:

Randy Jostes

Please check appropriate box (x)

PUBLIC HEARING

**MEETING
6/1/16**

X

AGENDA ITEM CATEGORY:

X

Certificate of Appropriateness (COA)

X

Façade Improvement Plan

Preliminary Review

Landmark/District Designation

Discussion Item

Commission Business

ATTACHMENTS:

Ramp plans

Floor plan showing layout

Approved elevation drawing

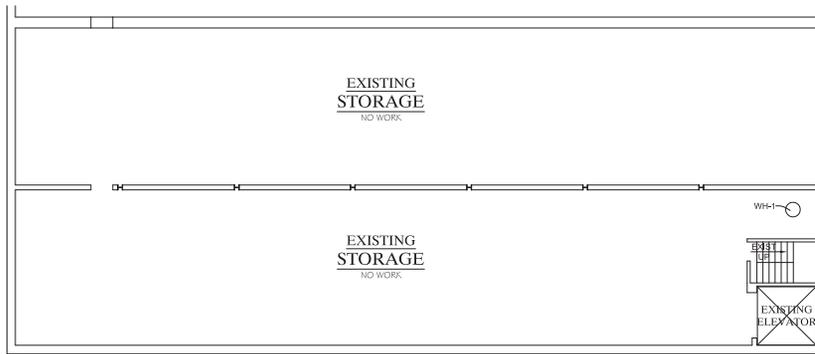
EXECUTIVE SUMMARY:

The Commission approved a COA and a Façade Improvement Grant for storefront renovations for this building at the 5/4/16 meeting.

The applicant is now proposing an ADA ramp for the existing entrance at the rear of the building to provide an accessible access point.

RECOMMENDATION / SUGGESTED ACTION:

Provide feedback and recommendations on approval of the COA and Façade Improvement Grant.



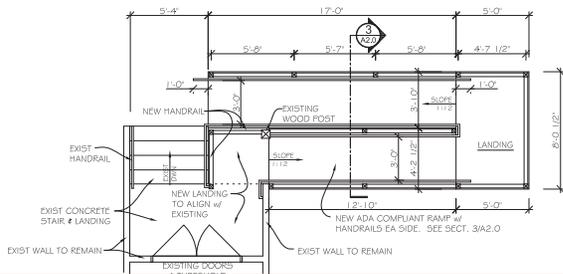
EXISTING BASEMENT PLAN

SCALE: 1/8" = 1'-0"

NOTE:
 1. EXISTING AUTOMATIC SPRINKLER AND FIRE ALARM SYSTEMS SHALL BE MODIFIED BY OTHERS FOR THE CURRENT TENANT LAYOUT.
 2. ALL EXISTING EXIT DOORS SHALL BE EQUIPPED WITH EXIT DOOR HARDWARE ALLOWING EGRESS AT ALL TIMES.

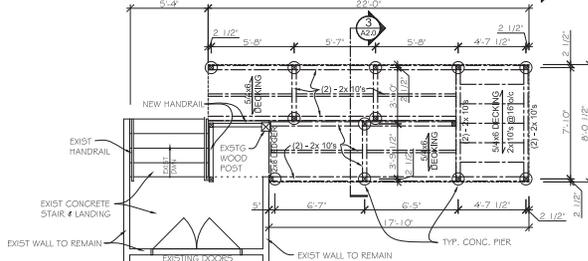
FIRE ALARM SYSTEM NOTES:
 1. Existing fire alarm system to remain. Verify w/ City of St. Charles, I.D. that no changes are required.
 2. Approved manual pull stations shall be installed in approved locations, and tied to an approved monitoring system service per local code.
 3. Approved audio and visual alarm devices shall be installed in approved locations so all occupants may effectively hear them.

NOTE:
 ALL RAMP SPINDLES SHALL BE 2x2s @ 5" O.C., TREATED WOOD, PAINTED TO COMPLEMENT OR MATCH EXISTING W/ WOOD LATTICE BELOW. ALL STRUCTURAL MATERIALS SHALL BE TREATED WOOD.



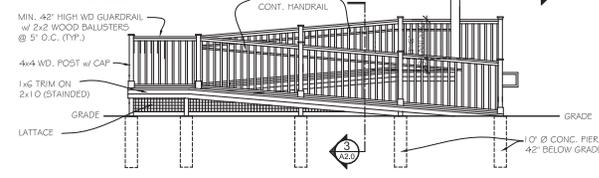
ADA RAMP PLAN

SCALE: 1/4" = 1'-0"



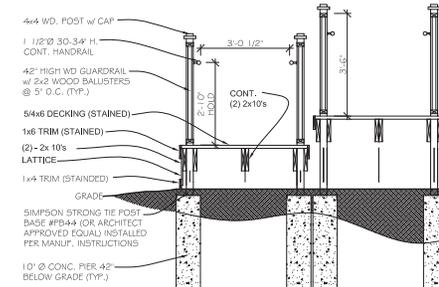
ADA RAMP FRAMING & PIER PLAN

SCALE: 1/4" = 1'-0"



TYP. ELEVATION

SCALE: 1/4" = 1'-0"

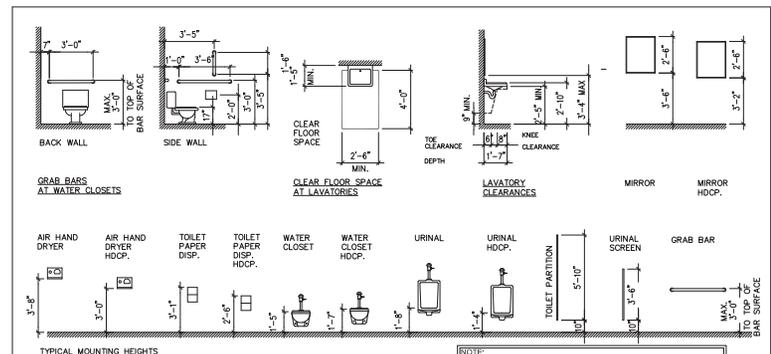


TYP. ADA RAMP SECTION

SCALE: 1/2" = 1'-0"

GENERAL NOTES:

- All work shall conform to all local codes and ordinances and all applicable state and federal codes and ordinances.
- All permit fees shall be included in the base bid. The General Contractor shall be responsible for all permits and fees, whether local or state, not covered by sub-contractors.
- All Contractors and their sub-contractors shall inspect the site and verify all conditions and data pertaining to the new structures, and their relationship to the work.
- All utility locations shall be verified by the trade, or trades, doing the work with them or around them.
- All dimensions, details and conditions shall be verified in the field. Do not scale the drawings.

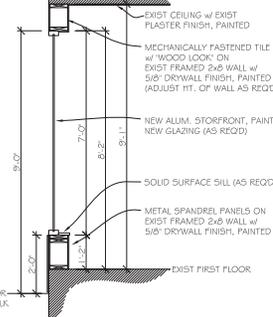


MOUNTING HEIGHTS

NOTE:
 THESE DRAWINGS ARE INTENDED TO PROVIDE INFORMATION ON SPACING AND HEIGHTS OF A.D.A. ACCESSIBLE TOILET FACILITIES. SEE ADDITIONAL PLANS FOR LOCATION AND LAYOUT OF THESE FACILITIES.

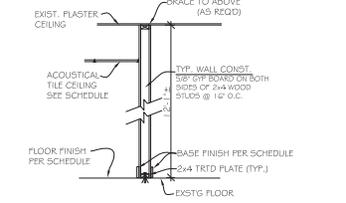
A.D.A. ACCESSIBILITY NOTES

- All exit doors shall be 3'-0" x 6'-8" x 1 3/4" FPM door and frame, providing a minimum of 32" clear opening width, with Lever type exit hardware allowing free egress (egress) at all times.
- Change in level at door, including all or threshold, shall not exceed 1/2". Changes in level between 1/4" and 1/2" shall be beveled.
- There shall be no change in level between the outside paving or stoop and the exterior discharge path to travel, i.e. paving.
- There shall be a minimum of 18" x 60" clear and level space to the side of the latch on the pull side of all doors.
- All stoops shall extend 90" min. perpendicular to the door.
- There will be no change in elevation between stoop and exterior discharge path of travel (walk).
- There shall be a 6' x 5' x 4" concrete stoop at all exits.
- All doors shall have lever type hardware that is A.D.A. compliant and does not require a force greater than 8.5 lbs to open them.
- All lavatory faucets shall be self-closing type with lever handles and a minimum of 15 seconds flow time. Faucets shall also have a one-half G.P. flow restrictor. Moen 8810 or equal.
- Electrical outlets shall be mounted 15" above finished floor.
- Electric switches, light, etc., shall be mounted 46" finished floor.
- All toilet rooms required to meet the Illinois Accessibility Standards and the ADA shall conform to the plan and details indicated on the drawings.
- The Emergency Warning System shall comply with all requirements listed in the Illinois Accessibility Code section 400.310(5).
- The unlatching or unlatching of doors shall not require a twisting motion.



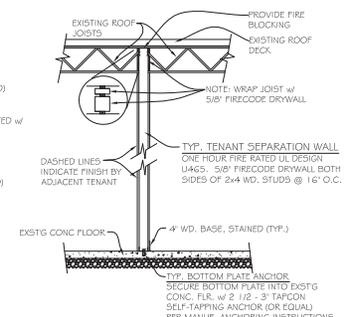
SOUTH FACADE WALL SECT.

SCALE: 1/2" = 1'-0"



TYP. INT. WALL SECT.

SCALE: 1/2" = 1'-0"



TENANT SEPARATION WALL

SCALE: NOT TO SCALE

- Any discrepancies, conflicts, or ambiguities between the various drawings, or between the various drawings and actual conditions, shall be brought to the attention of the Architect, or Owner. Failure to do so will not relieve the Contractor or his subcontractors of any additional costs that might be incurred as a result of discrepancies, conflicts or ambiguities.
- Structural, mechanical, plumbing and electrical drawings are supplementary to the architectural drawings. It shall be the responsibility of the General Contractor to check with the architectural drawings prior to installation of structural, mechanical, plumbing or electrical work and to coordinate such installations with the architectural work. Any discrepancy or conflict between the architectural drawings and the drawings of the consulting engineers) drawings shall be brought to the attention of the architect for clarification. Any work installed in conflict with the architectural drawings shall be corrected by the General Contractor at his own expense, and at no expense to the Owner or Architect.
- Abbreviations used throughout the drawings are those in common use. The Architect will define the intent of any in those.
- The Owner will select and approve upon submission final color and materials as required during construction.
- Glass supplier and installer shall conform to all requirements for the safety standard for glazing materials, 16 CFR 1201 latest edition.
- Unless noted otherwise, interior partition dimensions are as follows: 5/8" drywall both sides 2x4 metal studs, 24-gauge @ 16" O.C.
- Unless noted otherwise, all plan dimensions of wood or steel stud partitions are dimensioned to rough stud face.
- All exit doors shall be equipped with either keyless turn piece or panic type hardware.
- All door hardware shall be lever type meeting the 1997 Illinois Accessibility Code and the ADA, latest editions, unless noted otherwise.

ARCHITECTURAL RESOURCES
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 Robert M. Akers - Architect
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REVISIONS

01	
02	
03	
04	
05	

RAMP DETAILS, TYP. WALL SECT., DET & NOTES
 Blended for:
MIXOLOGO AVEDA SALON SPA
 116 W. Main Street
 St. Charles, Illinois 60174

Date: 05/19/16
 Scale: AS NOTED
 Drawn: R.M.A.
 Job #: 16-2508
 Sheet
A2.0
 Of 4 Sheets

INTERIOR DOOR & WINDOW SCHEDULE

NO.	TYPE	DOOR SIZE	MAT.	LABEL	FIN.	HDW.	FRAME JAMB/HEAD	LOUVER UNDERCUT	REMARKS
01	A	1'-6 1/2" x 3'-4"	WOOD	---	TBO	TBO	---	---	2 PANEL, BIRCH/POPULAR
02	B	4'-0" x 8'-0" x 2"	BARNWOOD	---	TBO	TBO	---	---	BARNWOOD STYLE DOOR ON WALL MOUNTED TRACK
03	B	4'-0" x 8'-0" x 2"	BARNWOOD	---	TBO	TBO	---	---	BARNWOOD STYLE DOOR ON WALL MOUNTED TRACK
04	A	3'-0" x 6'-1" x 3'-4"	WOOD	---	TBO	TBO	---	---	2 PANEL, BIRCH/POPULAR
05	C	EXISTING DOORS	EXISTING	---	TBO	EXIST	EXIST	---	w/ CRASH BAR + PANIC HARDWARE
06	D	3'-0" x 6'-1" x 3'-4"	WOODGLS	---	TBO	TBO	---	---	NEW FROSTED FULL GLASS DOOR
07	D	3'-0" x 6'-1" x 3'-4"	WOODGLS	---	TBO	TBO	---	---	NEW FROSTED FULL GLASS DOOR
08	A	3'-0" x 6'-1" x 3'-4"	WOOD	---	TBO	TBO	---	---	2 PANEL, BIRCH/POPULAR w/ GLEZE
09	G	EXISTING DOOR	HOLLOW MTL	---	PAINT	TBO	---	---	RE-PAINT EXIST DOOR (AS REQD)
10	A	3'-0" x 6'-1" x 3'-4"	WOOD	---	TBO	TBO	---	---	2 PANEL, BIRCH/POPULAR
11	D	3'-0" x 6'-1" x 3'-4"	WOODGLS	---	TBO	TBO	---	---	NEW FROSTED FULL GLASS DOOR
12	A	3'-0" x 6'-1" x 3'-4"	WOOD	---	TBO	TBO	---	---	2 PANEL, BIRCH/POPULAR
13	A	3'-0" x 6'-1" x 3'-4"	WOOD	---	TBO	TBO	---	---	2 PANEL, BIRCH/POPULAR
14	D	3'-0" x 6'-1" x 3'-4"	WOODGLS	---	TBO	TBO	---	---	NEW FROSTED FULL GLASS DOOR
15	B	4'-0" x 8'-0" x 2"	BARNWOOD	---	TBO	TBO	---	---	BARNWOOD STYLE DOOR ON WALL MOUNTED TRACK
16	E	4'-0" x 2'-0"	ALUM.GLSS	---	PAINT	---	---	---	w/ TRANSOM + SIDELIGHT
17	E	4'-0" x 2'-0"	ALUM.GLSS	---	PAINT	---	---	---	w/ TRANSOM + SIDELIGHT
18	E	4'-0" x 2'-0"	ALUM.GLSS	---	PAINT	---	---	---	w/ TRANSOM + SIDELIGHT
19	G	6'-4" x 4'-0"	WOODGLS	---	---	---	---	---	w/ TRANSOM + SIDELIGHT
20	F	3'-0" x 6'-1" x 3'-4"	WOODGLS	---	---	---	---	---	---

ROOM FINISH SCHEDULE

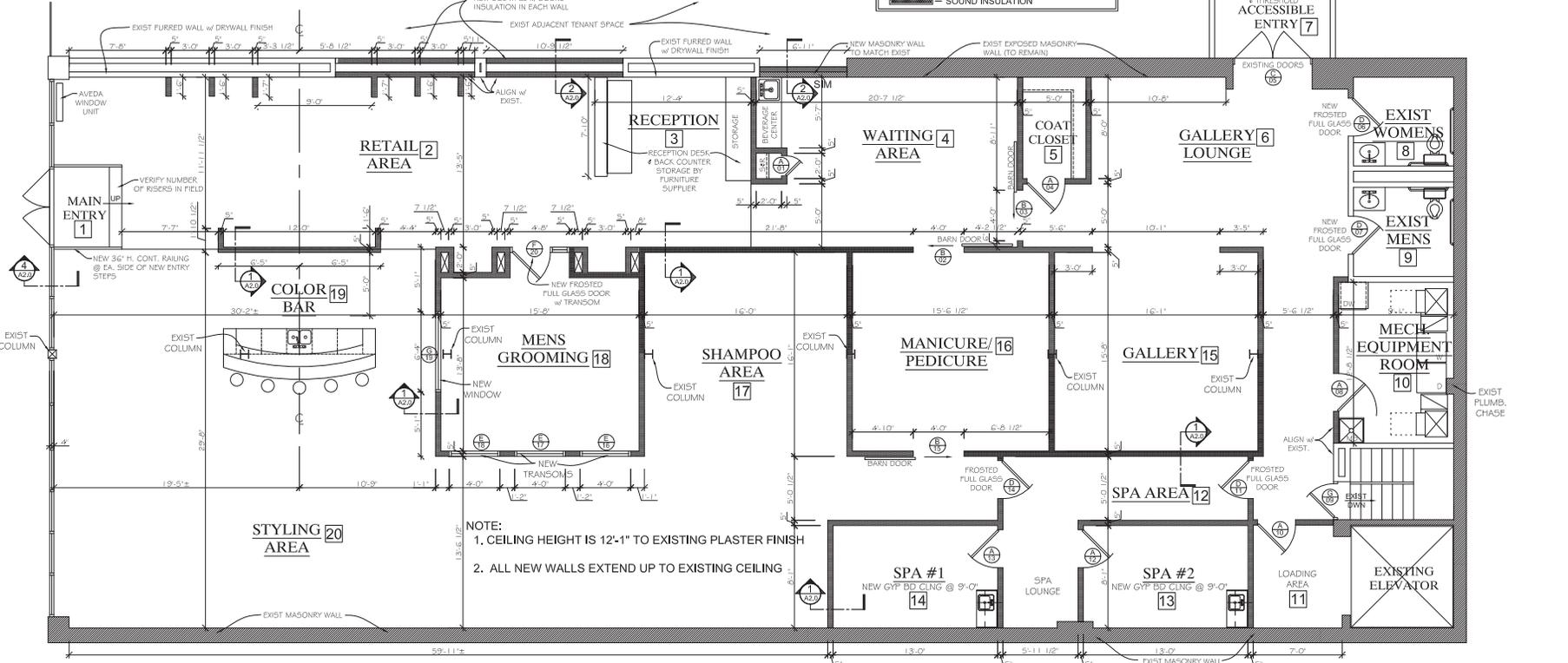
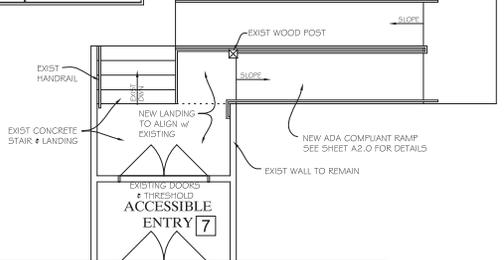
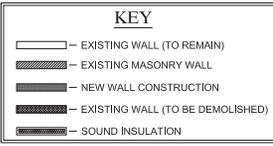
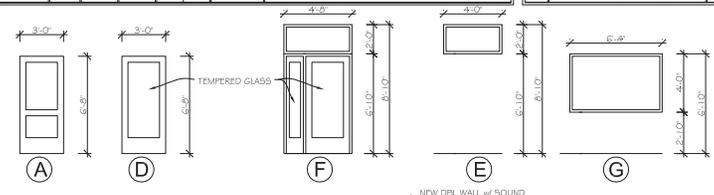
NO.	NAME	SQ.FT.	FLOOR		BASE	NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING		REMARKS
			MAT.	NO.FIN.		MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.			
1	MAIN ENTRY	34 sq.ft.	TILE	004	---	---	---	---	---	---	---	---	---	---	---	---
2	RETAIL AREA	243 sq.ft.	TILE	004	---	---	---	---	---	---	---	---	---	---	---	---
3	RECEPTION	172 sq.ft.	TILE	004	---	---	---	---	---	---	---	---	---	---	---	---
4	WAITING AREA	279 sq.ft.	TILE	004	---	---	---	---	---	---	---	---	---	---	---	---
5	COAT CLOSET	40 sq.ft.	TILE	01	---	---	---	---	---	---	---	---	---	---	---	---
6	GALLERY LOUNGE	44 sq.ft.	TILE	01	---	---	---	---	---	---	---	---	---	---	---	---
7	ACCESSIBLE ENTRY	32 sq.ft.	---	---	---	---	---	---	---	---	---	---	---	---	---	---
8	EXIST. WOMENS ROOM	58 sq.ft.	TILE	01	---	---	---	---	---	---	---	---	---	---	---	---
9	EXIST. MENS ROOM	58 sq.ft.	TILE	01	---	---	---	---	---	---	---	---	---	---	---	---
10	MECH. EQUIPMENT ROOM	100 sq.ft.	VCT	01	---	---	---	---	---	---	---	---	---	---	---	---
11	LOADING AREA	21 sq.ft.	VCT	01	---	---	---	---	---	---	---	---	---	---	---	---
12	SPA AREA	147 sq.ft.	TILE	01	---	---	---	---	---	---	---	---	---	---	---	---
13	SPA #2	105 sq.ft.	TILE	01	---	---	---	---	---	---	---	---	---	---	---	---
14	SPA #1	105 sq.ft.	TILE	01	---	---	---	---	---	---	---	---	---	---	---	---
15	GALLERY	253 sq.ft.	TILE	01	---	---	---	---	---	---	---	---	---	---	---	---
16	MANICURE/PEDICURE	244 sq.ft.	TILE	01	---	---	---	---	---	---	---	---	---	---	---	---
17	SHAMPOO AREA	258 sq.ft.	TILE	01	---	---	---	---	---	---	---	---	---	---	---	---
18	MENS GROOMING	224 sq.ft.	TILE	01	---	---	---	---	---	---	---	---	---	---	---	---
19	COLOR BAR	275 sq.ft.	TILE	01	---	---	---	---	---	---	---	---	---	---	---	---
20	STYLING AREA	107 sq.ft.	TILE	01	---	---	---	---	---	---	---	---	---	---	---	---
21	UNFINISHED BASEMENT STORAGE	2575 sq.ft.	---	---	---	---	---	---	---	---	---	---	---	---	---	---

FLOOR FINISHES

- TILE 01 - RETAIL/PATTERNED TILE FLOOR
- TILE 02 - WOOD TILE FLOOR
- TILE 03 - COLOR MATCH TILE FLOOR
- TILE 04 - WOOD PLANK TILING
- VCT 01 - VCT

HOLD HARMLESS STATEMENT

The Architect is not overseeing the construction of this building. The use of these drawings by any Contractor, Subcontractor, Builders, Mechanic, Tradesman or Worker shall constitute a Hold Harmless Agreement between the drawing User and the Architect. The User shall in fact agree to hold the Architect harmless for any responsibility in regard to construction means, methods, techniques, sequences or procedures and for any safety precautions and programs in connection with the work and further shall hold the Architect harmless for costs and problems arising from the negligence of Contractor, Subcontractor, Builders, Mechanic, Tradesman or Workers. The use of these Drawings also implies that the Architect shall take no responsibility for the plan User's failure to carry out the work in accordance with the Drawing or Contract Documents.



- NOTE:
 1. CEILING HEIGHT IS 12'-1" TO EXISTING PLASTER FINISH
 2. ALL NEW WALLS EXTEND UP TO EXISTING CEILING

FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS

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I hereby certify that these plans were prepared under my supervision and to the best of my knowledge they comply with all applicable building codes and regulations of the Illinois Accessibility Code and ANSI A117.1-1986.
 Expires: 11/2016

FLOOR PLAN & SCHEDULES
 Built-out for:
MIXOLOGY AVEDA SALON SPA
 116 W. Main Street
 St. Charles, Illinois 60174

Date: 05/18/16
 Scale: AS NOTED
 Drawn: R.M.A.
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A1.0
 Of 4 Sheets

Approved Elevations



EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS BY:

NO.	DESCRIPTION	DATE	BY



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 wattepel2@gmail.com / robertakers@siglab.net

I hereby certify that these plans were prepared under my supervision and to the best of my knowledge they comply with all applicable codes, including the provisions of the Illinois Accessibility Code and ANSI A117.1-1986.
 Expires: 11/20/16

EXISTING & PROPOSED SOUTH FACADE
 Build-out for:
MIXOLOGY AVEDA SALON SPA
 116 W. Main Street
 St. Charles, Illinois 60174

Date: 04/25/16

Scale: AS NOTED

Drawn: R.M.A.

Job: 16-24

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ASK2

Of 2 Sheets