


|   |                                      |   |   |          |  |
|---|--------------------------------------|---|---|----------|--|
|    |                                      | <b>HISTORIC PRESERVATION COMMISSION<br/>AGENDA ITEM EXECUTIVE SUMMARY</b> |   |          |  |
|   |                                      | <b>Agenda Item Title/Address:</b>   | COA: 1 Illinois St. (Eden on the River) |          |  |
|   |                                      | <b>Proposal:</b>  | Covered Porch                           |          |  |
|   |                                      | <b>Petitioner:</b>  | Quentin Bull/ Eden on the River         |          |  |
| <b>Please check appropriate box (x)</b>   |                                      |   |   |          |  |
|   | <b>PUBLIC HEARING</b>                |   | <b>MEETING<br/>12/18/19</b>             | <b>X</b> |  |
| <b>AGENDA ITEM CATEGORY:</b>  |                                      |   |   |          |  |
| X   | Certificate of Appropriateness (COA) |   | Façade Improvement Plan                 |          |  |
|   | Preliminary Review                   |   | Landmark/District Designation           |          |  |
|   | Discussion Item                      |   | Commission Business                     |          |  |
| <b>ATTACHMENTS:</b>   |                                      |   |   |          |  |
| Application   |                                      |   |   |          |  |
| Architectural Survey  |                                      |   |   |          |  |
| Design Drawings   |                                      |   |   |          |  |
| Photo of Current Conditions   |                                      |   |   |          |  |
| <b>EXECUTIVE SUMMARY:</b>   |                                      |   |   |          |  |
| <p>Proposed is to construct a new covered porch at Eden on the River. As part of the construction, portions of the current porch will be removed and reconstructed. In addition to the porch, three garage style windows will be installed on the building. The new structure will have composite siding columns, tile floor and a rubber membrane roof.</p> <p>The new structure will be located within the floodplain, so additional engineering plans may be required before moving forward with the project. Additionally, the structure may be located within an Easement.</p> <p>At this point, we recommend the Commission comment on the structure's size and appearance to determine if it would be acceptable for a COA, before Staff commits time following up on these additional issues.</p> |                                      |   |   |          |  |
| <b>RECOMMENDATION / SUGGESTED ACTION:</b>   |                                      |   |   |          |  |
| Provide feedback and recommendations on approval of the COA.  |                                      |   |   |          |  |

**APPLICATION FOR COA REVIEW**  
**HISTORIC PRESERVATION "CERTIFICATE OF APPROPRIATENESS"**



COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT / CITY OF ST. CHARLES

(630) 377-4443

To be filled out by City Staff

Permit #: 2019 -- 01852 Date Submitted: 12/12/19 COA #        --        Admin. Approval:       

**APPLICATION INFORMATION**

Address of Property: 1 ILLINOIS ST.

Use of Property: ☒ Commercial, business name: EDEN ON THE RIVER

☐ Residential ☐ Other:       

**Project Type:**

☐ Exterior Alteration/Repair

☐ Windows

☐ Doors

☐ Siding - Type:       

☐ Masonry Repair

☐ Other       

☐ Awnings/Signs

☒ New Construction

☐ Primary Structure

☐ Additions

☒ Deck/Porch

☐ Garage/Outbuilding

☐ Other       

☐ Demolition

☐ Primary Structure

☐ Garage/Outbuilding

☐ Other       

☐ Relocation of Building

**Description:**

REMOVAL OF EXISTING WOOD DECK AND  
RECONSTRUCTION OF NEW COVERED DECK

**Applicant Information:**

Name (print): QUENTIN BULL/LANDSHAPERS, INC.

Address: 306 E 3<sup>RD</sup> ST., EAST DUNDEE

Phone: (847) 514 4482 60118

Email: quentin@thelandshapersinc.com

Applicant is (check all that apply):

☐ Property Owner

☐ Business Tenant

☒ Project contractor

☐ Architect/Designer

**Property Owner Information (if not the Applicant)**

Name (print): JUSTIN HEINZ

Address: 77 N. FIRST ST., GENEVA, 60134

Signature: Justin Heinz, President

**APPLICANT/AUTHORIZED AGENT SIGNATURE**

I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA General Conditions.

Signature: Quentin Bull Date: 12/10/19



ST. CHARLES HISTORIC PRESERVATION COMMISSION

# ARCHITECTURAL SURVEY ST. CHARLES CENTRAL DISTRICT ST. CHARLES, ILLINOIS

DIXON ASSOCIATES / ARCHITECTS

## ARCHITECTURAL INTEGRITY

|  | 1                                   | 2                                   | 3                        |
|--|-------------------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> Unaltered                   | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |
| <input type="checkbox"/> Minor Alteration            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Major Alteration | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Additions                   | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |
| Sensitive to original                                | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |
| Insensitive to original                              | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |

1: first floor; 2: upper floors; 3: roof/cornice

## ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing

## BUILDING CONDITION

- ☐ Excellent: Well-maintained
- ☒ Good: Minor maintenance needed
- ☐ Fair: Major repairs needed
- ☐ Poor: Deteriorated

## ARCHITECTURAL DESCRIPTION

**Style:** Utilitarian

**Date of Construction:** 1910

**Source:** A Field Guide to American Architecture

### Features:

Common brick utilitarian factory structure built for the Crown Electric Company. Typical of factories with tall chimneys clustered along river fronts and rail lines. Original windows replaced.



### Address:

1 West Illinois Street

### Representation in Existing Surveys:

- ☐ Federal
- ☐ State
- ☐ County
- ☐ Local

**Block No.** 21

**Building No.** 1

**SURVEY DATE:**  
MAY 1994

ROLL NO. 13

NEGATIVE NO. 18





ST. CHARLES HISTORIC PRESERVATION COMMISSION

# ARCHITECTURAL SURVEY ST. CHARLES CENTRAL DISTRICT ST. CHARLES, ILLINOIS

DIXON ASSOCIATES / ARCHITECTS

CONTINUATION SHEET NO: 1



**Address:**

1 West Illinois Street

**Remarks:**

West Elevation

**Block No. 21**

**Building No. 1**

**ROLL NO. 13**

**NEGATIVE NO. 19**



**Address:**

1 West Illinois Street

**Remarks:**

South/East Elevation

**Block No. 21**

**Building No. 1**

**ROLL NO. 3**

**NEGATIVE NO. 13**



ST. CHARLES HISTORIC PRESERVATION COMMISSION

**ARCHITECTURAL SURVEY**  
**ST. CHARLES CENTRAL DISTRICT**  
**ST. CHARLES, ILLINOIS**

DIXON ASSOCIATES / ARCHITECTS

CONTINUATION SHEET NO: 2



ROLL NO. 10

NEGATIVE NO. 28

**Address:**

1 West Illinois Street

**Remarks:**

East Elevation

**Block No. 21**

**Building No. 1**

**Address:**

**Remarks:**

**Block No.**

**Building No.**

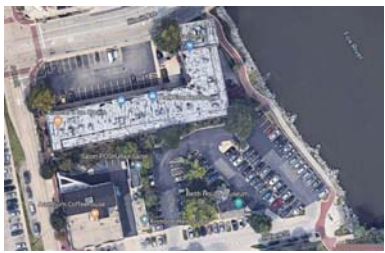
ROLL NO.

NEGATIVE NO.



COVERED PATIO FOR:

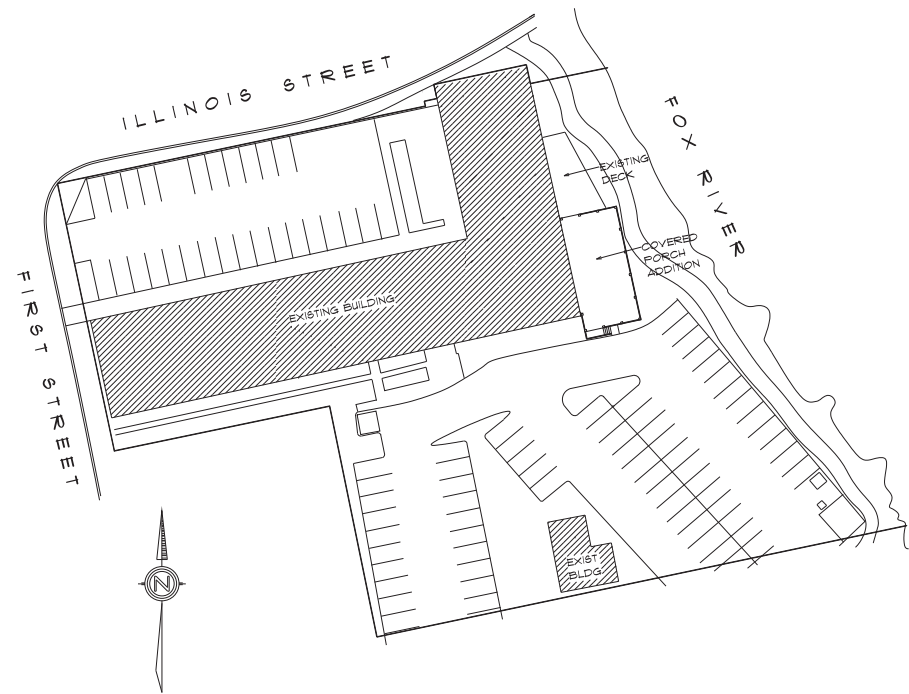
# EDEN ON THE RIVER



AERIAL IMAGE



LOCATION MAP



SITE PLAN SCALE 1" = 30' - 0"

| SHEET INDEX  |                      |             |
|--------------|----------------------|-------------|
| SHEET NUMBER | SHEET                | DESCRIPTION |
| CA           | INDEX / LOCATION MAP |             |
| A1           | PATIO FLOOR PLAN     |             |
| A2           | ROOF PLAN            |             |
| A3           | BUILDING ELEVATIONS  |             |
| A4           | CROSS SECTION        |             |
| B1           | FOUNDATION PLAN      |             |
| B2           | ROOF FRAMING PLAN    |             |
| B3           | ELECTRIC PLAN        |             |

| BUILDING CODES  |  |
|---|--|
| • 2015 International Residential Code for One- and Two-Family Dwellings |  |
| • 16. Charles Amendments to 2015 International Residential Code         |  |
| • 2015 International Building Code                                      |  |
| • 16. Charles Amendments to 2015 International Building Code            |  |
| • 2015 International Mechanical Code                                    |  |
| • 16. Charles Amendments to 2015 International Mechanical Code          |  |
| • 2015 International Fuel Gas Code                                      |  |
| • 16. Charles Amendments to 2015 International Fuel Gas Code            |  |
| • National Electric Code, NFPA 70, 2014 Edition                         |  |
| • 16. Charles Amendments to 2014 National Electric Code                 |  |
| • Illinois State Plumbing Code, 2014                                    |  |
| • 16. Charles Amendments to State Plumbing Code, 2014                   |  |
| • 2015 International Fire Code  |  |
| • 16. Charles Amendments to 2015 International Fire Code                |  |
| • 2018 International Energy Conservation Code                           |  |
| • Illinois Accessibility Code   |  |
| • NFPA Life Safety Code 101   |  |

| DESIGN LOADS        |                    |
|---------------------|--------------------|
| FLOOR               | ROOF LOAD          |
| LIVE LOAD: 100 PSF  | LIVE LOAD: 30 PSF  |
| DEAD LOAD: 10 PSF   | DEAD LOAD: 10 PSF  |
| TOTAL LOAD: 110 PSF | TOTAL LOAD: 40 PSF |
| WIND                |                    |
| LIVE LOAD: 20.1 PSF |                    |

| BUILDING DATA                                |  |
|--|--|
| EXISTING BUILDING CONSTRUCTION TYPE I-2B     | EXISTING BUILDING SPRINKLER & ALARM SYSTEM |
| PROPOSED COVERED DECK CONSTRUCTION TYPE II-A | PROPOSED CONSTRUCTION NON SPRINKLED        |
| USE GROUP A-2                                |  |

**SPECIAL SAFETY NOTE**

ALL CONTRACTORS, SUBCONTRACTORS AND THEIR REPRESENTATIVES ON THE PROJECT SHALL AT ALL TIMES PRIOR AND DURING THE COURSE OF HIS ACTIVITY BE RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES AS WELL AS OTHERS AND IN THE CARE OF THE PROPERTY. EACH AS REPRESENTATIVES OR THEIR EMPLOYEES SHALL ASCERTAIN THAT THE CONDITIONS UNDER WHICH THEY WILL BE REQUESTED TO ACCOMPLISH THEIR WORK ARE SAFE AND MEET ALL REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OR OTHER GOVERNING REGULATIONS. THE BEGINNING OF WORK BY A CONTRACTOR OR SUBCONTRACTOR SHALL INDICATE SATISFACTION CONCERNING SAFETY AND FULL RESPONSIBILITY FOR ACCIDENTS AND/OR DAMAGE. IF UNSATISFIED, THE CONTRACTOR OR SUBCONTRACTOR SHALL INDICATE THE ACTIONS AND/OR DEVICES NECESSARY TO RENDER THE JOB-SITE SAFE. IF THE WORK OF OTHER PARTIES IS, UPON INSPECTION, FOUND AT ANY TIME TO BE UNSAFE, THE CONTRACTOR OR SUBCONTRACTOR SHALL IMMEDIATELY STOP ALL WORK AND NOTIFY THE GENERAL CONTRACTOR, ARCHITECT AND OWNER. THE BEGINNING OF WORK SHALL INDICATE ACKNOWLEDGEMENT AND ACCEPTANCE OF THESE REQUIREMENTS.

**SPECIAL NOTE**

THE ARCHITECT IS NOT SUPERVISING THE CONSTRUCTION OF THE BUILDING.

THEREFORE, THE USE OF THESE DRAWINGS BY THE OWNER OR ANY CONTRACTORS, SUBCONTRACTORS, BUILDER, TRADESMAN OR WORKMAN SHALL CONSTITUTE A HOLD HARMLESS AGREEMENT BETWEEN THE DRAWING USER AND THE ARCHITECT. THE USER SHALL IN FACT AGREE TO HOLD THE ARCHITECT HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES AND FOR ANY SAFETY PRECAUTIONS OR PROGRAMS IN CONNECTION WITH THE WORK. FURTHER, THE ARCHITECT SHALL BE HELD HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO ANY COSTS OR PROBLEMS ARISING FROM THE NEGLIGENCE OR THE CONTRACTOR, SUBCONTRACTOR, BUILDER, TRADESMAN OR WORKMAN OR FOR THEIR FAILURE TO COMPLY WITH AND ADHERE TO THESE PLANS AND SPECIFICATIONS.

THE USE OF THESE PLANS TO OBTAIN A BUILDING PERMIT SHALL CONSTITUTE THE ACCEPTANCE AND APPROVAL OF ALL REQUIREMENTS CONTAINED THEREIN.

SIGNED:



STRUCTURAL ENGINEER LICENSE NO. 081-002641

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE VILLAGE OF ST. CHARLES ILLINOIS BUILDING & ZONING CODES

EXPIRES 11/ 30/ 2020

JOSEPH A. MEYER  
STRUCTURAL & PROFESSIONAL ENGINEER  
135 PARK AVE. BARRINGTON, IL 60010 847-383-0200

COVERED PATIO FOR:  
EDEN ON THE RIVER  
1 ILLINOIS STREET ST. CHARLES ILLINOIS 60114

DATE  
NOV 26, 2018  
REVISION

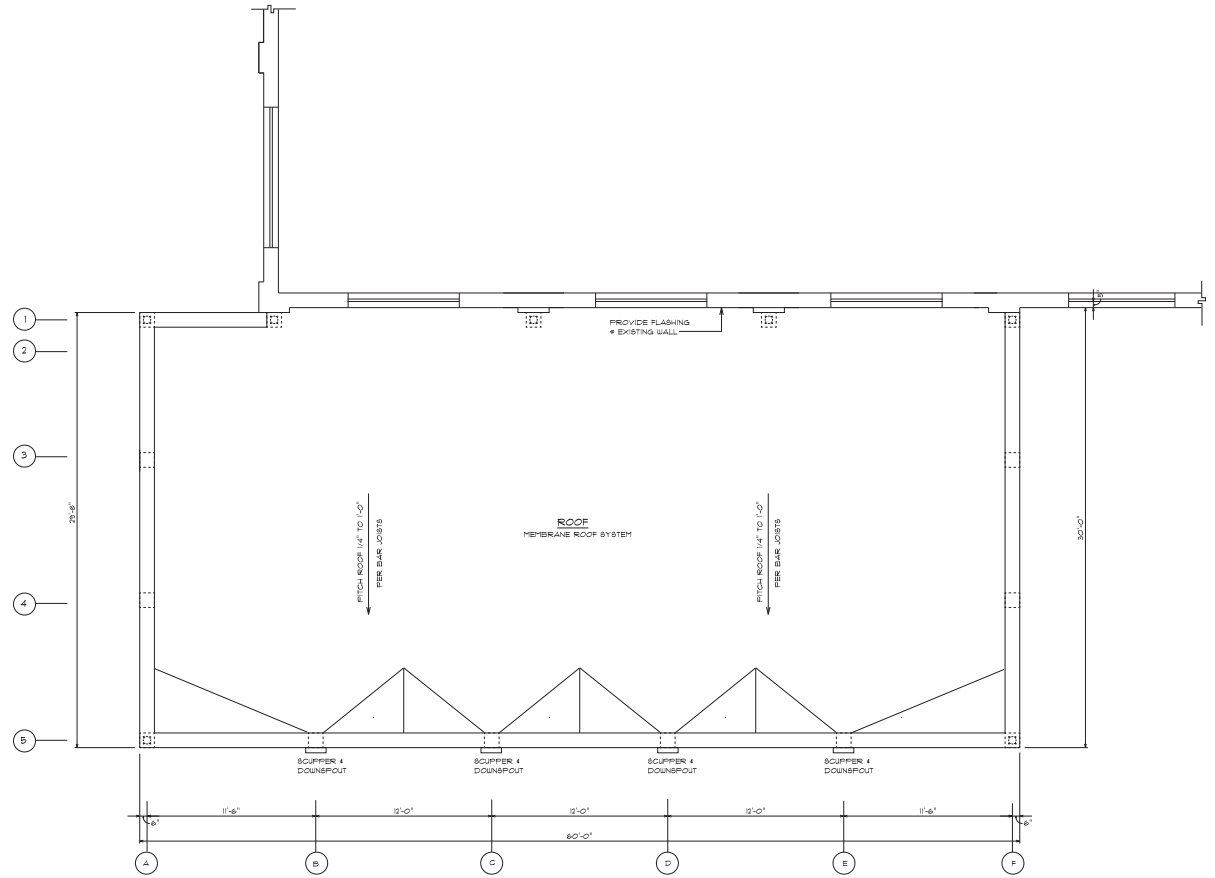
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JOB #

SHEET #

**A1**



ROOF PLAN

SCALE 1/4" = 1'-0"



**JOSEPH A. MEYER**  
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COVERED PATIO FOR  
**EDEN ON THE RIVER**  
1 ILLINOIS STREET ST. CHARLES ILLINOIS 60174

DATE  
NOV 26, 2019

REVISION

JOB #

SHEET #

**A2**

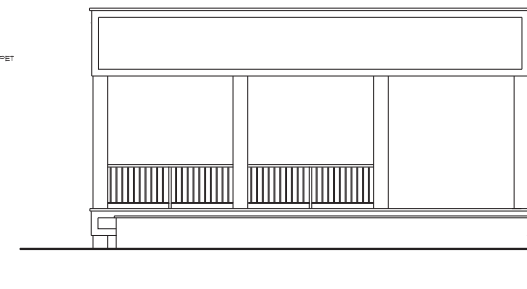
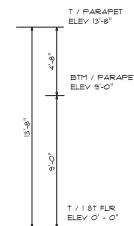




EAST ELEVATION SCALE 1/4" = 1'-0"



SOUTH ELEVATION SCALE 1/4" = 1'-0"



NORTH ELEVATION SCALE 1/4" = 1'-0"



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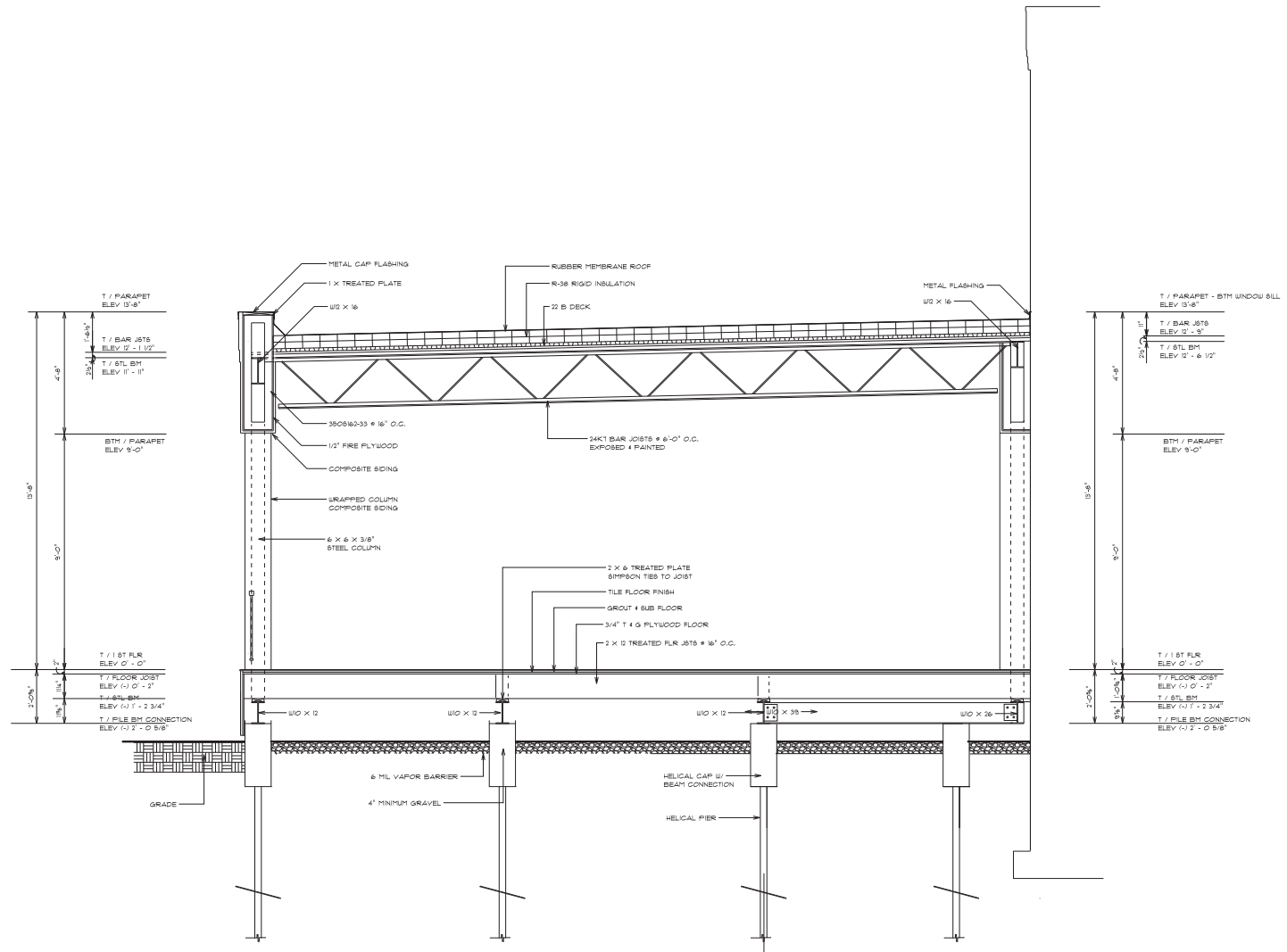
DATE  
NOV 26, 2018

REVISION

JOB #

SHEET #

**A3**

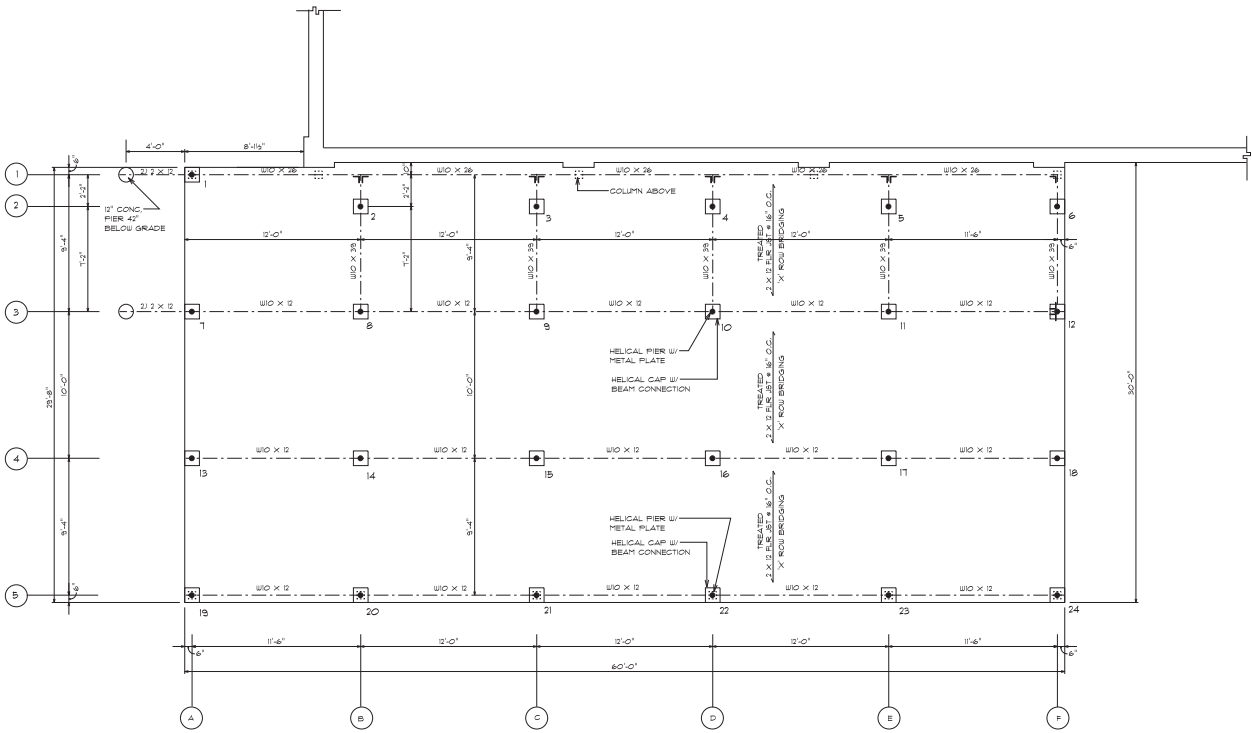


CROSS SECTION SCALE 1/4" = 1'-0"



| HELICAL PILE<br>SCHEDULE |                       |                               |
|--------------------------|-----------------------|-------------------------------|
| PILE<br>NUMBER           | DESIGN LOAD<br>(KIPS) | BEAM CONNECTION<br>ELEV. (FT) |
| 1                        | 30.0 K                | (-) 5.05'                     |
| 2                        | 30.0 K                | (-) 5.05'                     |
| 3                        | 30.0 K                | (-) 5.05'                     |
| 4                        | 30.0 K                | (-) 5.05'                     |
| 5                        | 30.0 K                | (-) 5.05'                     |
| 6                        | 30.0 K                | (-) 5.05'                     |
| 7                        | 10.0 K                | (-) 5.05'                     |
| 8                        | 30.0 K                | (-) 5.05'                     |
| 9                        | 30.0 K                | (-) 5.05'                     |
| 10                       | 30.0 K                | (-) 5.05'                     |
| 11                       | 30.0 K                | (-) 5.05'                     |
| 12                       | 10.0 K                | (-) 5.05'                     |
| 13                       | 10.0 K                | (-) 5.05'                     |
| 14                       | 30.0 K                | (-) 5.05'                     |
| 15                       | 30.0 K                | (-) 5.05'                     |
| 16                       | 30.0 K                | (-) 5.05'                     |
| 17                       | 30.0 K                | (-) 5.05'                     |
| 18                       | 10.0 K                | (-) 5.05'                     |
| 19                       | 30.0 K                | (-) 5.05'                     |
| 20                       | 30.0 K                | (-) 5.05'                     |
| 21                       | 30.0 K                | (-) 5.05'                     |
| 22                       | 30.0 K                | (-) 5.05'                     |
| 23                       | 30.0 K                | (-) 5.05'                     |
| 24                       | 30.0 K                | (-) 5.05'                     |

NOTES:  
 ALL LOADS LISTED ARE DESIGN LOADS. ULTIMATE LOADS  
 ARE TO BE DETERMINED BY MANUFACTURERS SPECIFICATIONS  
 VERIFY ALL PLATE HEIGHTS IN THE FIELD. CONTACT  
 ENGINEER WITH ANY DISCREPANCIES.  
 1/ EXISTING FLOOR ELEV 0.0'



FOUNDATION PLAN SCALE 1/4" = 1'-0"



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**EDEN ON THE RIVER**  
 1 ILLINOIS STREET ST. CHARLES ILLINOIS 60174

DATE  
 NOV 26, 2019

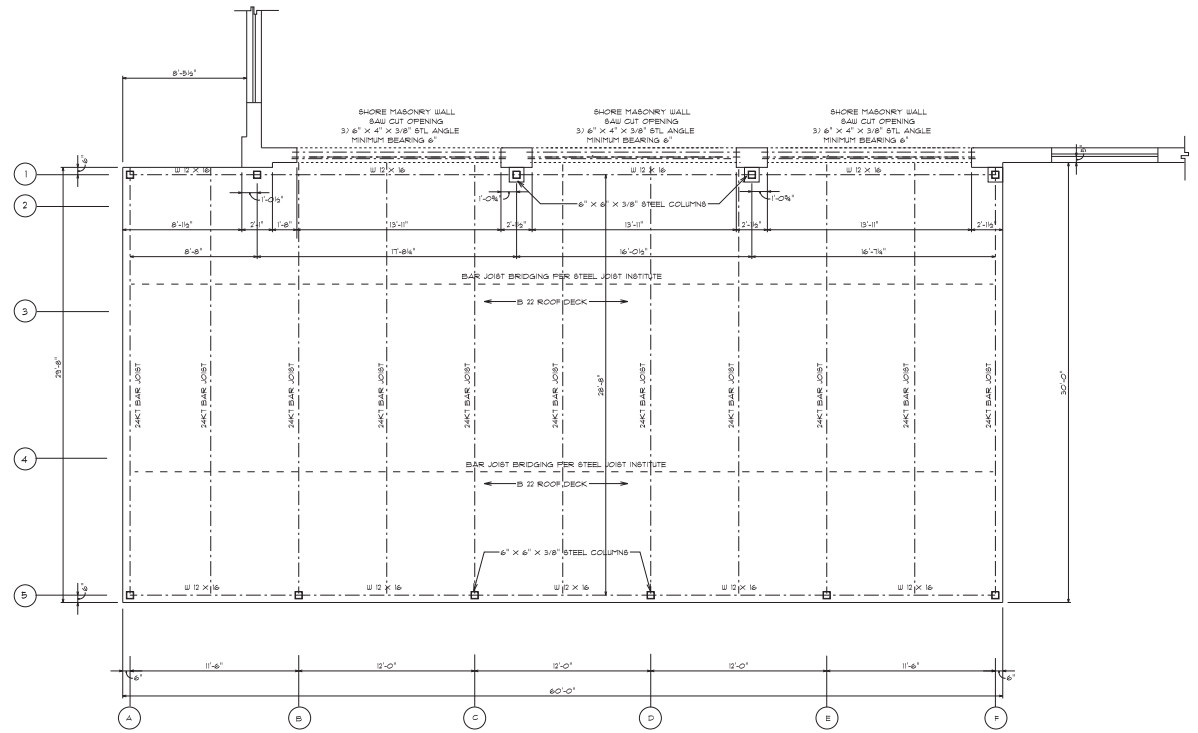
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**S1**





ROOF FRAMING PLAN SCALE 1/4" = 1'-0"



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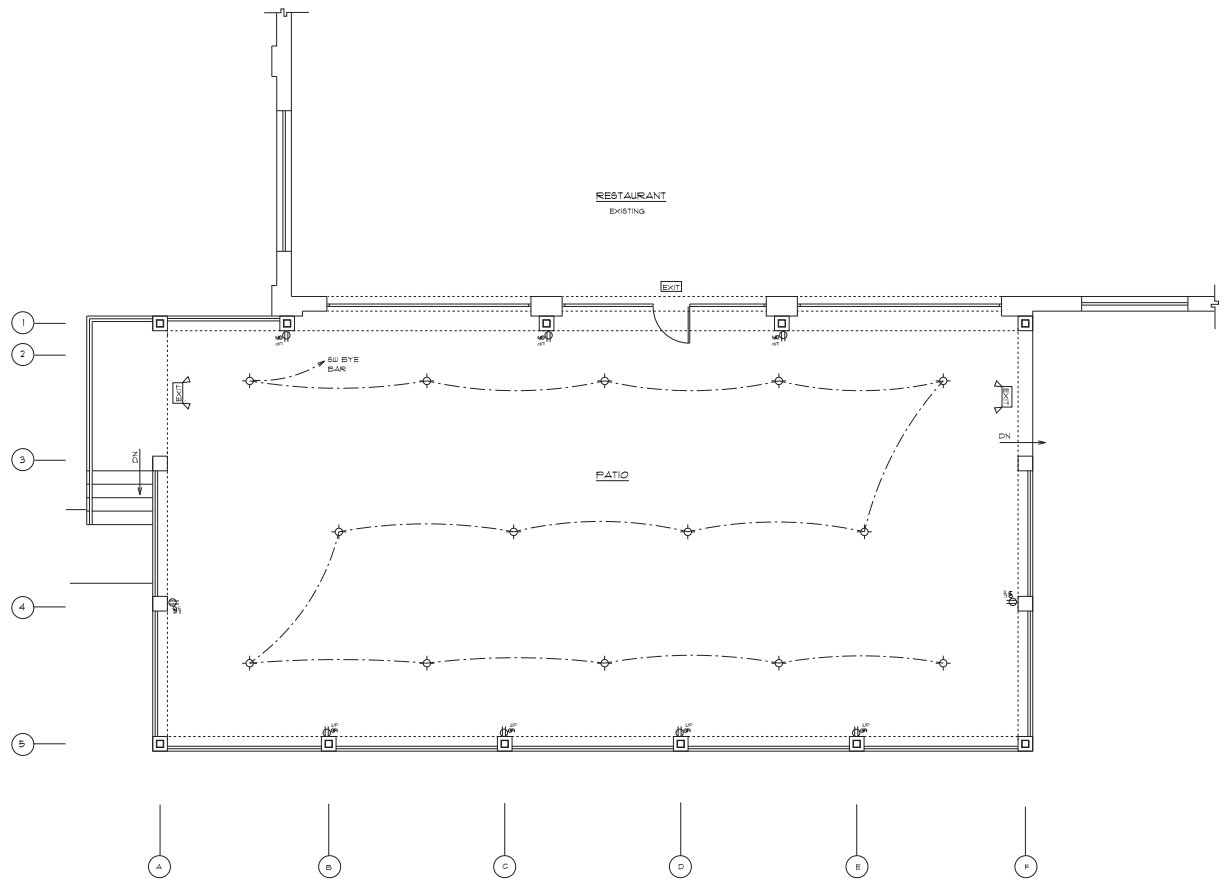
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**S2**



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**E1**

