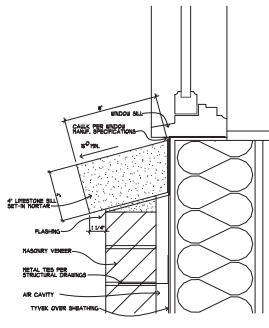
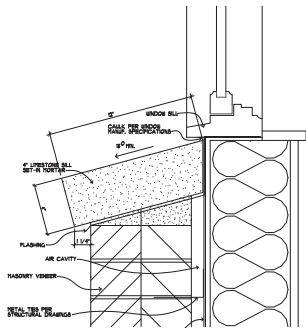
	HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
	Agenda Item Title/Address:	COA: 10 Illinois St. (First Street Building #3)		
	Proposal:	Revisions to southern bank/office portion of building		
	Petitioner:	Maurice McNally and Tom Russe, Sterling Bank		
Please check appropriate box (x)				
PUBLIC HEARING			MEETING 2/1/17	X
AGENDA ITEM CATEGORY:				
X	Certificate of Appropriateness (COA)		Façade Improvement Plan	
	Preliminary Review		Landmark/District Designation	
	Discussion Item		Commission Business	
ATTACHMENTS:				
Building Elevations approved by COA #16-34 on 9/17/16				
Revised Elevations				
EXECUTIVE SUMMARY:				
<p>On 9/17/16, the Commission approved a COA for First Street Building #3. The building is now under construction.</p> <p>Changes are proposed to the southern section of the building, which is the portion of the building that is to contain bank and office uses on the upper floors. The revised portions of the elevations are “bubbled” on the attached plans.</p> <p>This section of the building had been previously planned as 4 floors, with the upper floor having a two-story ceiling height. This area is now planned as 5 floors. The height of the building is unchanged.</p> <p>The east, south and west elevations of this portion of the building have been modified due to changes to the interior configuration.</p>				
RECOMMENDATION / SUGGESTED ACTION:				
Provide feedback and recommendations on approval of the COA.				



1
LIMESTONE SILL
DETAIL AT WINDOW
SCALE: 3" = 1'-0"

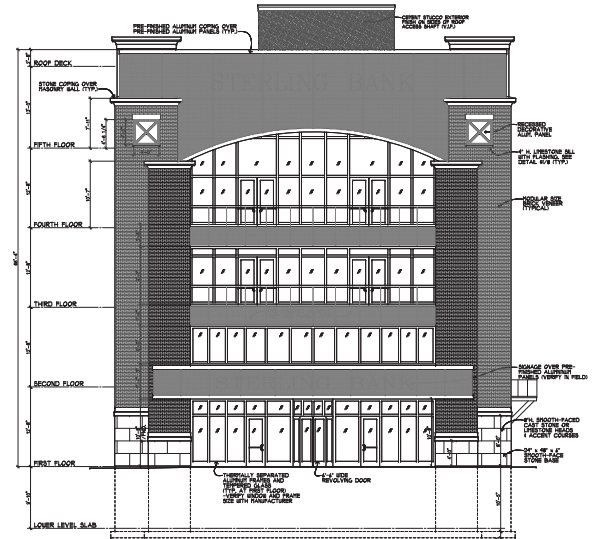


2
DEEP LIMESTONE SILL
DETAIL AT WINDOW
SCALE: 3" = 1'-0"

NOTE:
WINDOWS ARE WEATHER SHIELD WINDOWS (UNO). VERIFY SILL SIZE BY FRAME - UPGRADE AS REQUIRED. VERIFY WINDOW LABEL PATTERN BY OWNER AND INSTALL PER MANUFACTURER'S SPECIFICATION.
CONTRACTOR TO VERIFY ALL WINDOW HEIGHTS
GLAZED PENETRATION TO PROVIDE A MAXIMUM U-FACTOR PER NEW ICC 308
3/8" FIXED PENETRATION
AS OPERABLE PENETRATION
T = FULLY TEMPERED GLASS

NOTE:
INSTALL ALL FLASHING & SEALANT AS REQUIRED FOR WEATHERTIGHT EXTERIOR - ALL FLASHING INSTALLATION TO FOLLOW DETAILS FROM SHEET 'METAL & AIR CONDITIONS CONTRACTORS NATIONAL ASSOCIATION, INC. ARCHITECTURAL SHEET 'METAL PANEL, TOP OF FLASHING' TO BE INSTALLED UNDER TYPIC.

NOTE:
ALL MASONRY DETAILS TO FOLLOW RECOMMENDED PRACTICES BY THE MASONRY ADVISORY COUNCIL OF ILLINOIS, INC. INCLUDING FLASHING, TEST AND EXPANSION CONTROL JOINTS, CHALK AND SEAL, MASONRY HARVEST STONE 1 PRESENT AT BARBAPET SHALL AS REQUIRED FOR WATER-TIGHT FINISH.



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

COA condition-change windows to double-hung

AUG. 8, 2016 - BID/PERMIT SET



STATE OF ILLINOIS
DESIGN PROFESSIONAL REGISTRATION NUMBER
184002481

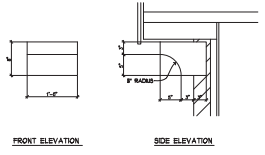
PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS:
FIRST STREET - BLDG. 3
ST. CHARLES, ILLINOIS 60184
FIRST STREET DEVELOPMENT, LLC

BLDG. 3

Revisions:

Commission: 2508
Issue Date: 8-8-2016
Drawn By: COZ
SOUTH AND EAST ELEVATIONS

Sheet:
A8
of 9



SMOOTH LIMESTONE BRACKET DETAIL
SCALE: 1" = 1'-0"

NOTE:
WINDOWS ARE WEATHER SHIELD WINDOWS (UNLO). VERIFY HAZEL GLASS BY MANUF. - UPGRADE AS REQUIRED. VERIFY WINDOW MANUF. LABEL PATTERN BY OWNER AND INSTALL PER MANUFACTURER'S SPECIFICATION.
CONTRACTOR TO VERIFY ALL WINDOW HEIGHTS
GLAZED PENETRATION TO PROVIDE A MAXIMUM U-FACTOR PER 2015 IECC
IF FIXED PENETRATION
IF OPERABLE PENETRATION
T = FULLY TEMPERED GLASS

NOTE:
INSTALL ALL FLASHING & SEALANT AS REQUIRED FOR WEATHERTIGHT EXTERIOR - ALL FLASHING INSTALLATION TO FOLLOW DETAILS FROM SHEET "METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC. ARCHITECTURAL SHEET METAL MANUAL, TOP OF FLASHING TO BE INSTALLED UNDER TYPIC.

NOTE:
ALL MASONRY DETAILS TO FOLLOW RECOMMENDED PRACTICES BY THE MASONRY ADVISORY COUNCIL OF ILLINOIS INCLUDING FLASHING TEST AND EXPANSION CONTROL JOINTS. GROUT AND SEAL MASONRY JOINTS. STONE IS PRESENT AT PARAPET WALLS AS REQUIRED FOR WEATHERTIGHT FINISH.

WINDOW FALL PROTECTION
ALL WINDOWS OR GLAZED OPENINGS ON ROOFS OR BALCONIES SHALL BE PROTECTED BY MEANS OF FALL PROTECTION SYSTEMS. FALL PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF IBC AND IBC 2018 CHAPTER 1803.4.



AUG. 8, 2016 - BID/PERMIT SET



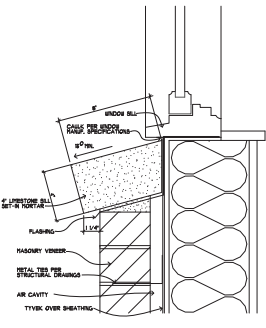
STATE OF ILLINOIS
DESIGN PROFESSIONAL REGISTRATION NUMBER
184002491

PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS:
FIRST STREET - BLDG. 3
ST. CHARLES, ILLINOIS 60184
FIRST STREET DEVELOPMENT, LLC

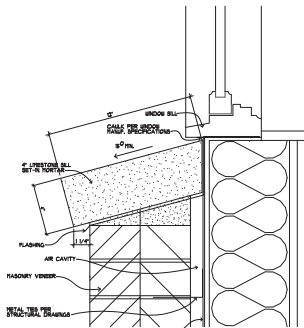
BLDG. 3

Revisions:

Commission: 2505
Issue Date: 8-8-2016
Drawn By: CDZ
NORTH AND WEST ELEVATIONS



1 LIMESTONE SILL
DETAIL AT WINDOW
SCALE: 3" = 1'-0"

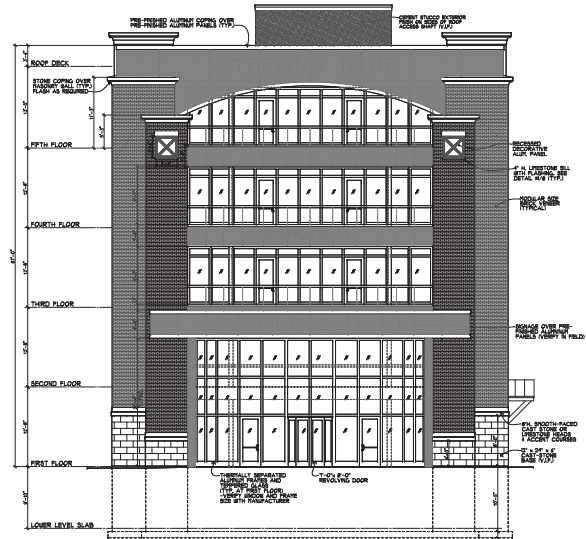


2 DEEP LIMESTONE SILL
DETAIL AT WINDOW
SCALE: 3" = 1'-0"

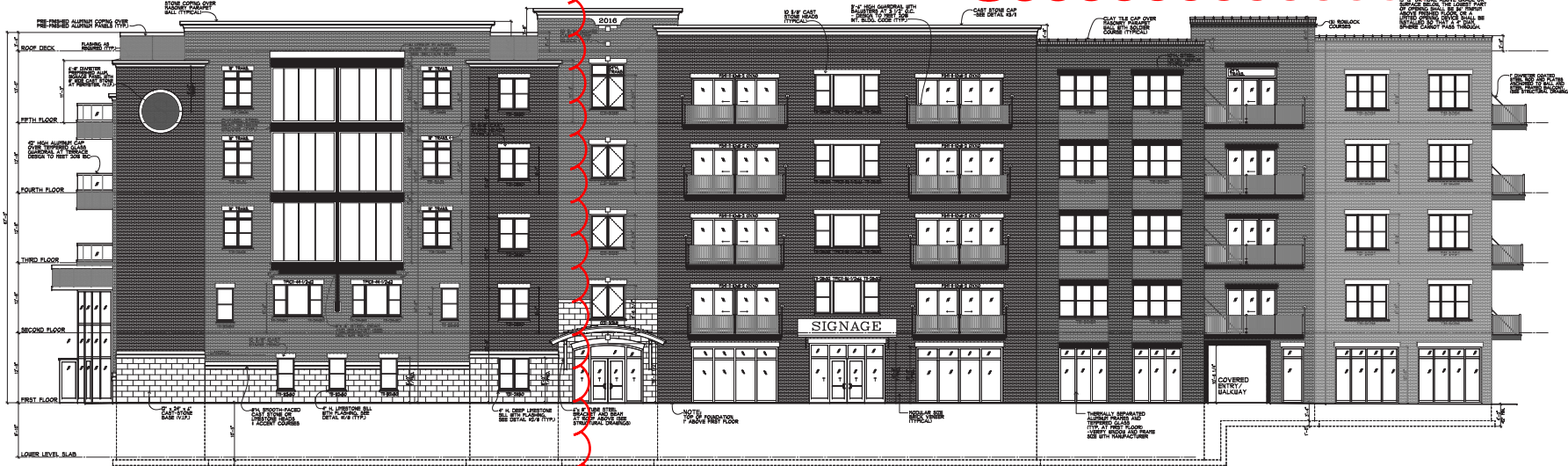
NOTE:
WINDOWS ARE WEATHER SHIELD (W.S.I.)
VERIFY AVAIL. SIZES W/ MANF. - UPGRADE AS REQUIRED.
VERIFY WINDOW MANUF. & GRID PATTERN W/ OWNER AND
INSTALL PER MANUFACTURER'S SPECIFICATIONS.
CONTRACTOR TO VERIFY ALL WINDOW HEIGHTS
GLAZED PENETRATION TO PROVIDE A MAXIMUM
U-FACTOR PER 2015 IECC
SE FIXED PENETRATION
IS OPERABLE PENETRATION
T = FULLY TEMPERED GLASS

NOTE:
INSTALL ALL FLASHING & SEALANT AS REQUIRED FOR
WEATHERTIGHT EXTERIOR - ALL FLASHING INSTALLATION
TO FOLLOW DETAILS FROM SHEET "METAL & AIR
CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.
ARCHITECTURAL SHEET METAL MANUAL TOP OF FLASHING
TO BE INSTALLED UNDER TYPE."

NOTE:
ALL MASONRY DETAILS TO FOLLOW RECOMMENDED
PRACTICES BY THE MASONRY ADVISORY BOARD,
SEMI-ANNUAL CODES INCLUDING FLASHING, JOINT, AND
EXPANSION CONTRACT JOINTS, LAGS, AND SEAL
MASONRY MORTAR, STONE & CEMENT AT PARAPET
DALLS AS REQUIRED FOR WATER-TIGHT FINISH.



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

DEC. 22, 2016 - REVISED FOR CONSTRUCTION



STATE OF ILLINOIS
CIVIL ENGINEER
REGISTRATION NUMBER
044002481

PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS:
FIRST STREET - BLDG. 3
ST. CHARLES, ILLINOIS 40TH
FIRST STREET DEVELOPMENT, LLC

PLOTTED: 12/22/2016

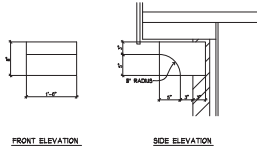
BLDG. 3

Revisions:

1	OWNER/CLIENT	DATE: 02-23-2016

Commission: 2500
Issue Date: 8-8-2016
Drawn By: CDZ
SOUTH AND EAST
ELEVATIONS

Sheet:
A8
of 9



SMOOTH LIMESTONE BRACKET DETAIL
SCALE: 1" = 1'-0"

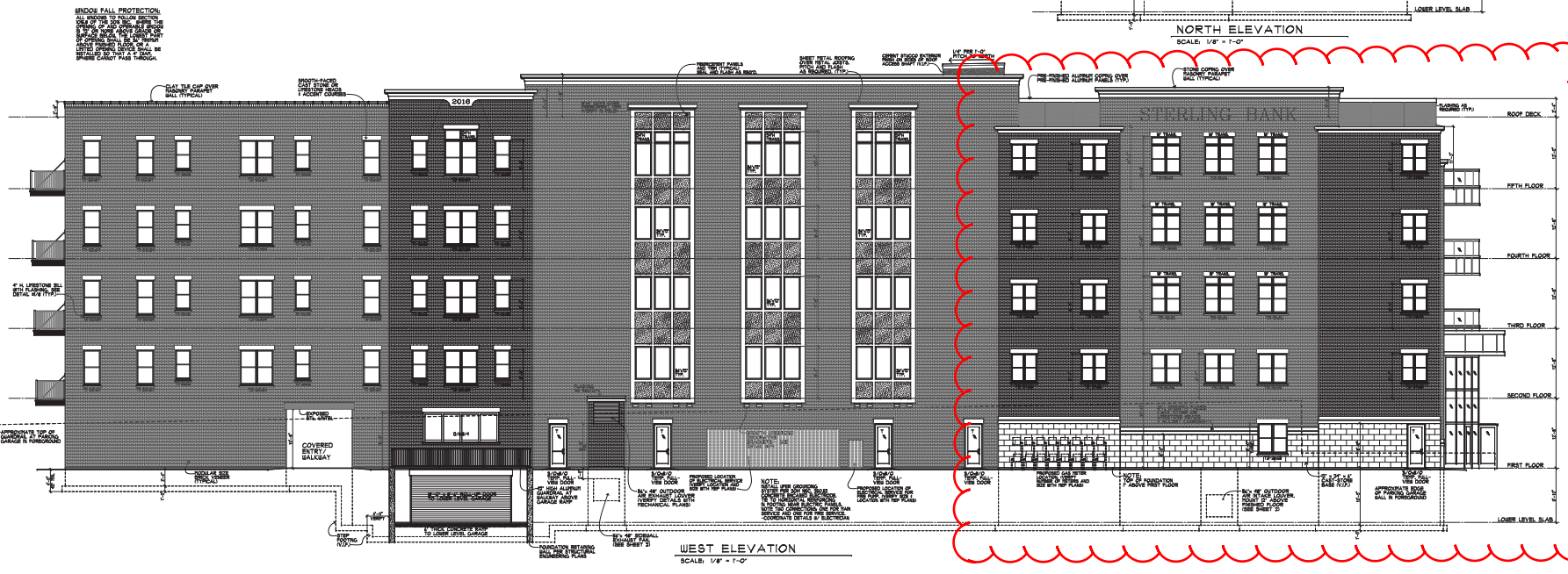
NOTE:
 WINDOWS ARE WEATHER SHIELD (WINDOZ SILKO) VERIFY AVAIL. SIZES BY FABR. - UPGRADS AS REQUIRED. VERIFY WINDOZ MANUF. & GRID PATTERN BY OWNER AND INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 CONTRACTOR TO VERIFY ALL WINDOZ HEIGHTS
 GLAZED PENETRATION TO PROVIDE A MAXIMUM U-FACTOR PER 2015 IECC
 SF - FIXED PENETRATION
 OS - OPERABLE PENETRATION
 T - FULLY TEMPERED GLASS

NOTE:
 INSTALL ALL FLASHING & SEALANT AS REQUIRED FOR WEATHERTIGHT EXTERIOR - ALL FLASHING INSTALLATION TO FOLLOW DETAILS FROM SHEET "METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION INC. ARCHITECTURAL SHEET METAL MANUAL" TOP OF FLASHING TO BE INSTALLED UNDER TYPE.

NOTE:
 ALL MASONRY DETAILS TO FOLLOW RECOMMENDED PRACTICES BY THE MASONRY ADVISORY BOARD'S (MASONRY) CODE INCLUDING FLASHING, TIE, AND EXPANSION CONTROL JOINTS. LIME AND SEAL MASONRY MORTAR, STONE 1 COURSE AT PARAPET WALLS AS REQUIRED FOR WEATHERTIGHT FINISH.



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

DEC. 22, 2016 - REVISED FOR CONSTRUCTION



STATE OF ILLINOIS
 DESIGN PROFESSIONAL REGISTRATION NUMBER
 044002481

PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS:
FIRST STREET - BLDG. 3
 ST. CHARLES, ILLINOIS 60611
 FIRST STREET DEVELOPMENT, LLC

BLDG. 3

Reasons:
 A OWNER/CLIENT
 1/21/2016
 2/2/2016

Commission: 2500
 Issue Date: 8-8-2016
 Drawn By: CDZ
 NORTH AND WEST ELEVATIONS

Sheet:

 of 9

GENERAL NOTES

1. ALL CONTRACTORS SHALL VISIT THE SITE AND THOROUGHLY FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.
2. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, BONDS, LICENSES, ETC. AND SATISFY CODES AND REGULATIONS LATEST VERSIONS.
3. ALL CHANGES TO THE CONTRACT SHALL BE MADE BY A WRITTEN CHANGE ORDER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.
4. MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.
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17. MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.

MECHANICAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS THAT THE HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.
2. MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.
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17. MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.

SPECIAL SAFETY NOTE:

IT IS THE INTENT OF THESE DRAWINGS THAT THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.

SPRINKLER NOTE:

ALL SPRINKLER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CHICAGO BUILDING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.

DOOR HARDWARE NOTE:

ALL DOOR HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE CHICAGO BUILDING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.

NOTE:

T/FND: 0'-0" = \$40.00
(IF ABOVE FINISHED FLOOR)
T/LDG: -1'-0" = \$89.00
T/FTG: = \$19.58 (-10'-5")
(VERIFY BEARING DEPTH IN FIELD)

FOUNDATION WATERPROOFING NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.

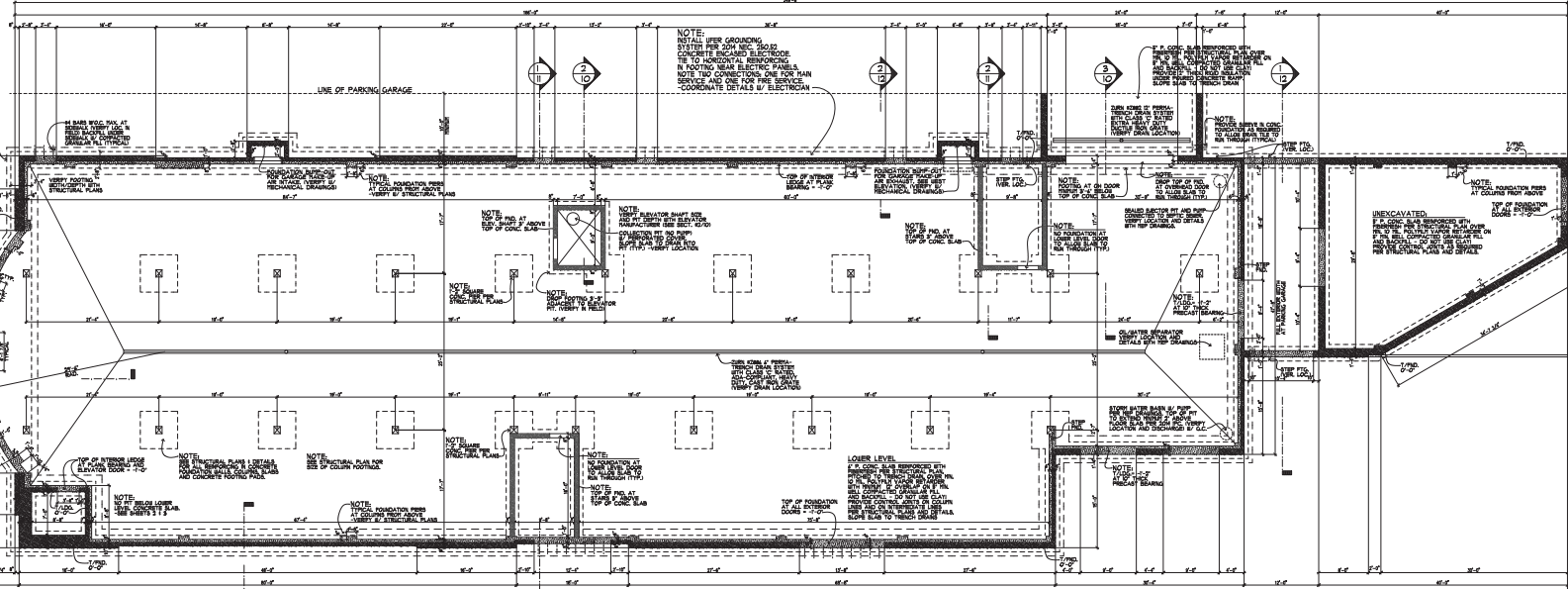
NOTE:

NOTE: TOP OF FOUNDATION SHALL BE IN ACCORDANCE WITH CIVIL ENGINEERING DRAWINGS.

BUILDING THREE

SITE CRITERIA	
FOOTPRINT:	13,716 S.F.
TOTAL GROSS BUILDING AREA:	41,251 S.F.
LOWER LEVEL: GARAGE:	18,043 S.F.
GROSS FIRST FLOOR AREA:	14,043 S.F.
GROSS SECOND FLOOR AREA:	8,345 S.F.
GROSS FIFTH FLOOR AREA:	21 SPACES
LOWER LEVEL PARKING:	

BUILDING CRITERIA	
USE GROUP:	B-2 (PARKING)
BASEMENT:	YES (SEE SHEET 11/15/A)
CONSTRUCTION TYPE:	2B (TYPE IS AT BASEMENT PARKING GARAGE)
FIRE SPRINKLER:	YES



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

DRAWING SHEET INDEX

NO.	DESCRIPTION
1	FOUNDATION PLAN 1 GENERAL NOTES
2	LOWER LEVEL PARKING PLAN
3	FIRST FLOOR PLAN
4	SECOND FLOOR PLAN
5	THIRD FLOOR PLAN
6	FOURTH FLOOR PLAN
7	FIFTH FLOOR AND ROOF PLANS
8	NORTH AND WEST ELEVATIONS
9	EAST AND SOUTH ELEVATIONS
10	SECTION A
11	SECTION B
12	SECTION C

NOTE: SHEETS 12-15 LISTED ABOVE WERE PREPARED UNDER ARCHITECT'S SUPERVISION.

DEC. 22, 2016 - REVISED FOR CONSTRUCTION



STATE OF ILLINOIS
DESIGN PROFESSIONAL REGISTRATION NUMBER
184,002,581

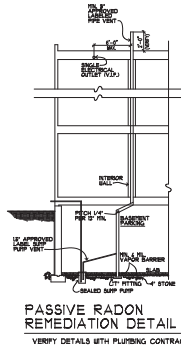
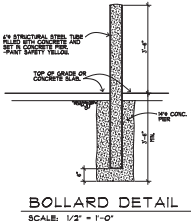
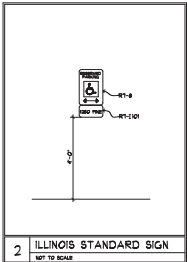
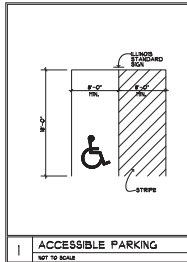
PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUM:
FIRST STREET - BLDG. 3
ST. CHARLES, ILLINOIS 60614
FIRST STREET DEVELOPMENT, LLC

BLDG. 3

Revisions:
1. REVISED FOR CONSTRUCTION
2. REVISED FOR CONSTRUCTION
3. REVISED FOR CONSTRUCTION
4. REVISED FOR CONSTRUCTION

Commission: 2808
Issue Date: 8-8-2014
Drawn By: GDS
FOUNDATION PLAN AND GEN. NOTES

Sheet:
1
of 12

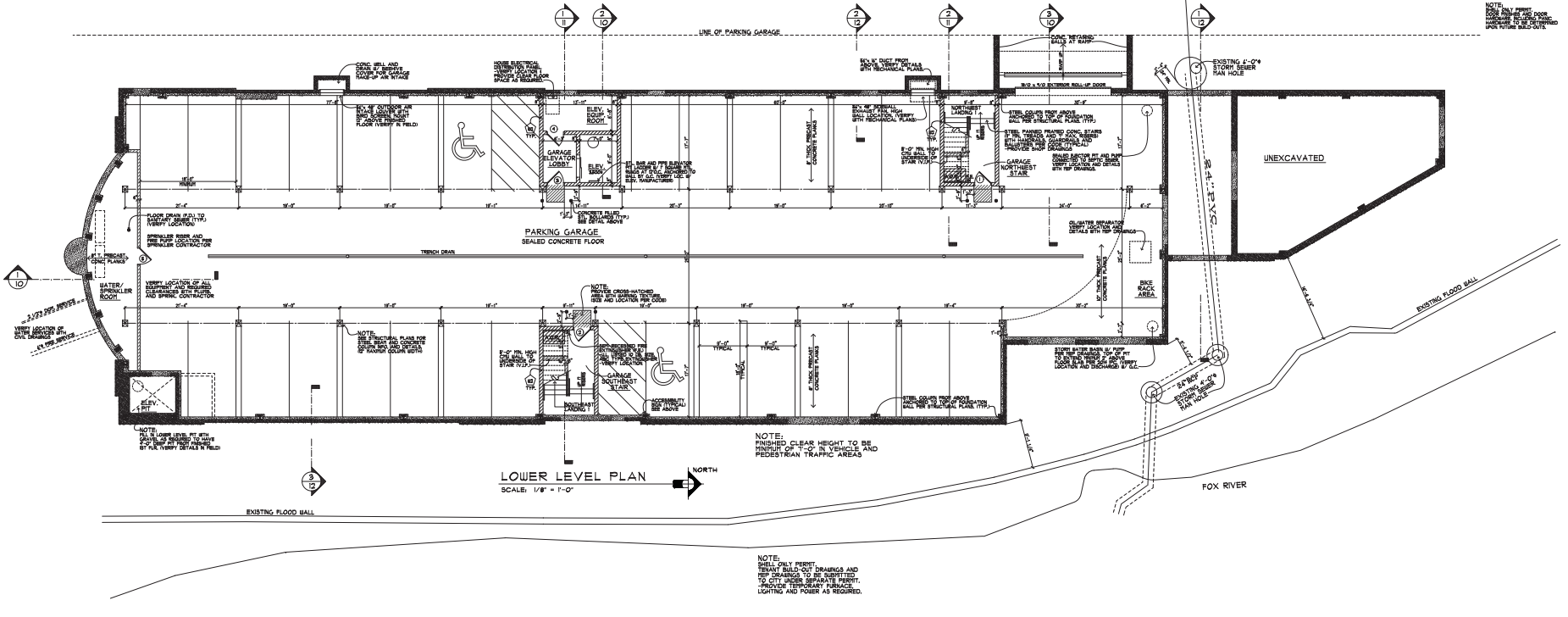


WALL TYPE KEY

- (A) ELEVATOR: 6" OF CONC. BLK. W/ REINFORCED PER SPEC. WITH 1" MIN. THICKNESS. 1/2" AIR SPACE. 1/2" GYPSUM BOARD. 1/2" GYPSUM BOARD. 1/2" GYPSUM BOARD. 1/2" GYPSUM BOARD.
- (B) GARAGE LEVEL: 6" OF CONC. BLK. W/ REINFORCED PER SPEC. WITH 1" MIN. THICKNESS. 1/2" AIR SPACE. 1/2" GYPSUM BOARD. 1/2" GYPSUM BOARD. 1/2" GYPSUM BOARD. 1/2" GYPSUM BOARD.
- (C) INTERIOR WALL: 6" OF CONC. BLK. W/ REINFORCED PER SPEC. WITH 1" MIN. THICKNESS. 1/2" AIR SPACE. 1/2" GYPSUM BOARD. 1/2" GYPSUM BOARD. 1/2" GYPSUM BOARD. 1/2" GYPSUM BOARD.
- (D) EXTERIOR WALL: 6" OF CONC. BLK. W/ REINFORCED PER SPEC. WITH 1" MIN. THICKNESS. 1/2" AIR SPACE. 1/2" GYPSUM BOARD. 1/2" GYPSUM BOARD. 1/2" GYPSUM BOARD. 1/2" GYPSUM BOARD.

LOWER LEVEL & FIRST FLOOR DOOR SCHEDULE

MARK	DOOR SIZE	SHT.	THK.	DOOR TYPE	MATL.	FINISH TYPE	FRAME MATL.	FINISH	HOW SET	REMARKS
(1)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(2)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(3)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(4)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(5)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(6)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(7)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(8)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(9)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(10)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(11)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(12)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(13)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(14)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(15)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(16)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(17)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(18)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(19)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(20)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(21)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(22)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(23)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(24)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(25)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(26)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(27)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(28)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(29)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(30)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(31)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(32)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(33)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(34)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(35)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(36)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(37)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(38)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(39)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(40)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(41)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(42)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(43)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(44)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(45)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(46)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(47)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(48)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(49)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER
(50)	3'-0" x 7'-4"	A5								1/2 HR/CLOSER



DEC. 22, 2016 - REVISED FOR CONSTRUCTION



STATE OF ILLINOIS
DESIGN PROFESSIONAL REGISTRATION NUMBER
184-002547

PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS:
FIRST STREET - BLDG. 3
ST. CHARLES, ILLINOIS 60184
FIRST STREET DEVELOPMENT, LLC

BLDG. 3

Revisions:
NO REVISIONS TO BE MADE TO THIS DRAWING.
OWNER/CLIENT: GCD
REV. 0-25-2016

Commission: 2808
Issue Date: 8-8-2014
Drawn By: GCD
LOWER LEVEL PARKING PLAN

Sheet:
A2
of 12

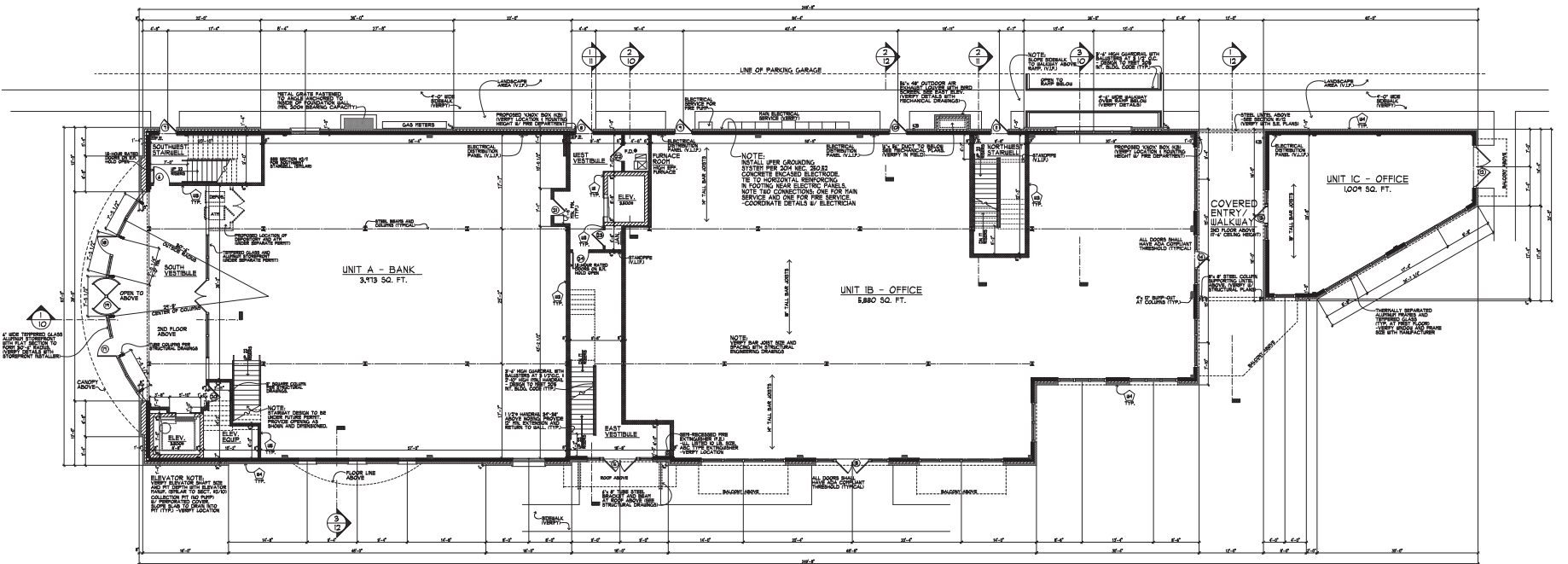
2015 INTERNATIONAL ENERGY CONSERVATION CODE:

1. THE EXTERIOR ENVELOPE OF THE BUILDING SHALL FOLLOW THE PREScriptive METHOD OF THE IBC. THE EXTERIOR ENVELOPE SHALL BE CONSIDERED TO BE THE EXTERIOR SURFACE OF THE EXTERIOR WALLS, ROOF AND FLOOR/CEILING SYSTEMS. THE EXTERIOR ENVELOPE SHALL BE CONSIDERED TO BE THE EXTERIOR SURFACE OF THE EXTERIOR WALLS, ROOF AND FLOOR/CEILING SYSTEMS. THE EXTERIOR ENVELOPE SHALL BE CONSIDERED TO BE THE EXTERIOR SURFACE OF THE EXTERIOR WALLS, ROOF AND FLOOR/CEILING SYSTEMS.
2. ROOFING SHALL BE INSTALLED OVER INSULATION AT EXTERIOR WALLS. THE ROOFING SHALL BE INSTALLED OVER INSULATION AT EXTERIOR WALLS. THE ROOFING SHALL BE INSTALLED OVER INSULATION AT EXTERIOR WALLS.
3. ROOFING SHALL BE INSTALLED OVER INSULATION AT EXTERIOR WALLS. THE ROOFING SHALL BE INSTALLED OVER INSULATION AT EXTERIOR WALLS. THE ROOFING SHALL BE INSTALLED OVER INSULATION AT EXTERIOR WALLS.
4. ROOFING SHALL BE INSTALLED OVER INSULATION AT EXTERIOR WALLS. THE ROOFING SHALL BE INSTALLED OVER INSULATION AT EXTERIOR WALLS. THE ROOFING SHALL BE INSTALLED OVER INSULATION AT EXTERIOR WALLS.
5. PROVIDE PROGRAMMABLE THERMOSTATS AS REQUIRED.
6. ROOFING SHALL BE INSTALLED OVER INSULATION AT EXTERIOR WALLS. THE ROOFING SHALL BE INSTALLED OVER INSULATION AT EXTERIOR WALLS. THE ROOFING SHALL BE INSTALLED OVER INSULATION AT EXTERIOR WALLS.
7. A PERMANENT WARNING SIGN SHALL BE POSTED ON OR IN THE ELECTRICAL ENCLOSURE.
8. ROOFING SHALL BE INSTALLED OVER INSULATION AT EXTERIOR WALLS. THE ROOFING SHALL BE INSTALLED OVER INSULATION AT EXTERIOR WALLS. THE ROOFING SHALL BE INSTALLED OVER INSULATION AT EXTERIOR WALLS.

FIRST FLOOR SQUARE FOOTAGE	
GROSS SQUARE FOOTAGE:	119,042 S.F.
UNIT A - BANK:	19,179 S.F.
UNIT IB - OFFICE:	18,860 S.F.
UNIT IC - OFFICE:	11,004 S.F.
NORTHWEST VESTIBULE:	1,244 S.F.
WEST VESTIBULE:	1,340 S.F.
EAST VESTIBULE:	1,471 S.F.
SOUTH VESTIBULE:	1,176 S.F.

NOTE:
SQUARE FOOTAGE IS CALCULATED FROM OUTSIDE OF EXTERIOR WALLS AND CENTER OF DOORING WALLS.

WALL TYPE KEY	
	ELEVATOR
	GARAGE LEVEL
	INTERIOR WALL
	EXTERIOR WALL



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE:
OWNER SHALL VERIFY ALL PERMITS, BUILD-OUT DRAWINGS AND CITY ORDINANCES TO BE OBTAINED TO CITY UNDER SEPARATE PERMIT. PROVIDE TYPICAL PRODUCTS, LIGHTING AND POWER AS REQUIRED.

DEC. 22, 2016 - REVISED FOR CONSTRUCTION



STATE OF ILLINOIS
DESIGN PROFESSIONAL REGISTRATION NUMBER
184,002,874

PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS:
FIRST STREET - BLDG. 3
ST. CHARLES, ILLINOIS 401M
FIRST STREET DEVELOPMENT, LLC

PLOTTED: 11/22/2016

BLDG. 3

Revisions:

 OWNER/CLIENT REV. 0-20-2016
 ARCHITECT/DESIGNER REV. 0-20-2016

Commission: 2808
Issue Date: 8-8-2014
Drawn By: CDZ
FIRST FLOOR PLAN

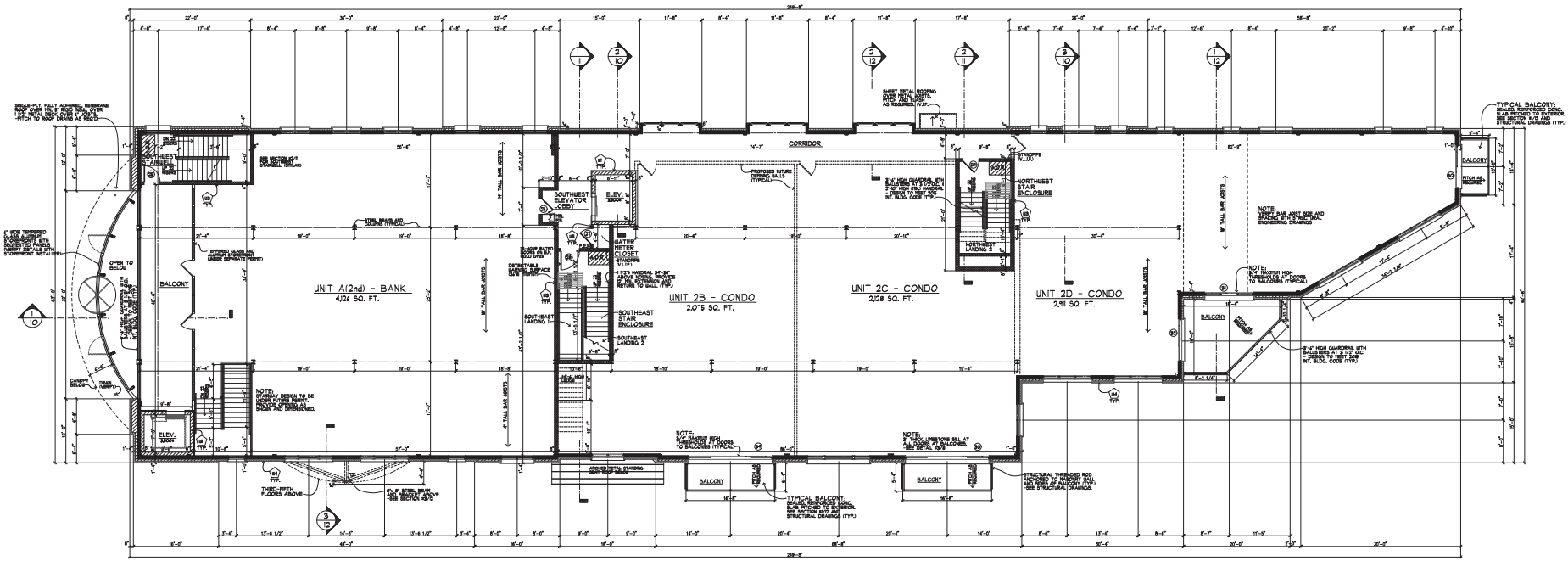
Sheet:
AC3
of 12

THIRD FLOOR SQUARE FOOTAGE	
GROSS SQUARE FOOTAGE:	12542 S.F.
UNIT A - BANK:	15148 S.F.
UNIT 2B - CONDO:	12015 S.F.
UNIT 3C - CONDO:	12228 S.F.
UNIT 3D - CONDO:	12711 S.F.
NORTHWEST STAIR:	121 S.F.
ELEVATOR CORRIDOR:	188 S.F.
SOUTHEAST STAIR:	1220 S.F.

NOTE:
SQUARE FOOTAGE IS CALCULATED FROM OUTSIDE OF EXTERIOR WALLS AND CENTER OF PARTING WALLS.

SECOND & THIRD FLOOR DOOR SCHEDULE											
MARK	DOOR SIZE	SHT.	THK.	DOOR TYPE	MATL.	FINISH	FRAME TYPE	MATL.	FINISH	HOW SET	REMARKS
①	3'-0" x 8'-0"	A4								PANIC	1/2 HR/CLOSER
②	3'-0" x 8'-0"	A4								PANIC	3/4 HR/CLOSER
③	3'-0" x 7'-0"	A4								PANIC	1/2 HR/CLOSER
④	3'-0" x 7'-0"	A4								PANIC	3/4 HR/CLOSER
⑤	8'-0" x 8'-0"	A4									SLIDING PATIO
⑥	8'-0" x 8'-0"	A4									SLIDING PATIO
⑦	8'-0" x 8'-0"	A4									SLIDING PATIO
⑧	8'-0" x 8'-0"	A4									SLIDING PATIO
⑨	8'-0" x 8'-0"	A4									SLIDING PATIO
⑩	8'-0" x 8'-0"	A4									SLIDING PATIO
⑪	8'-0" x 8'-0"	A4									SLIDING PATIO
⑫	8'-0" x 8'-0"	A4									SLIDING PATIO
⑬	8'-0" x 8'-0"	A4									SLIDING PATIO
⑭	8'-0" x 8'-0"	A4									SLIDING PATIO
⑮	8'-0" x 8'-0"	A4									SLIDING PATIO
⑯	8'-0" x 8'-0"	A4									SLIDING PATIO
⑰	8'-0" x 8'-0"	A4									SLIDING PATIO
⑱	8'-0" x 8'-0"	A4									SLIDING PATIO
⑲	8'-0" x 8'-0"	A4									SLIDING PATIO
⑳	8'-0" x 8'-0"	A4									SLIDING PATIO
㉑	8'-0" x 8'-0"	A4									SLIDING PATIO
㉒	8'-0" x 8'-0"	A4									SLIDING PATIO
㉓	8'-0" x 8'-0"	A4									SLIDING PATIO
㉔	8'-0" x 8'-0"	A4									SLIDING PATIO
㉕	8'-0" x 8'-0"	A4									SLIDING PATIO
㉖	8'-0" x 8'-0"	A4									SLIDING PATIO
㉗	8'-0" x 8'-0"	A4									SLIDING PATIO
㉘	8'-0" x 8'-0"	A4									SLIDING PATIO
㉙	8'-0" x 8'-0"	A4									SLIDING PATIO
㉚	8'-0" x 8'-0"	A4									SLIDING PATIO
㉛	8'-0" x 8'-0"	A4									SLIDING PATIO
㉜	8'-0" x 8'-0"	A4									SLIDING PATIO
㉝	8'-0" x 8'-0"	A4									SLIDING PATIO
㉞	8'-0" x 8'-0"	A4									SLIDING PATIO
㉟	8'-0" x 8'-0"	A4									SLIDING PATIO
㊱	8'-0" x 8'-0"	A4									SLIDING PATIO
㊲	8'-0" x 8'-0"	A4									SLIDING PATIO
㊳	8'-0" x 8'-0"	A4									SLIDING PATIO
㊴	8'-0" x 8'-0"	A4									SLIDING PATIO
㊵	8'-0" x 8'-0"	A4									SLIDING PATIO
㊶	8'-0" x 8'-0"	A4									SLIDING PATIO
㊷	8'-0" x 8'-0"	A4									SLIDING PATIO
㊸	8'-0" x 8'-0"	A4									SLIDING PATIO
㊹	8'-0" x 8'-0"	A4									SLIDING PATIO
㊺	8'-0" x 8'-0"	A4									SLIDING PATIO
㊻	8'-0" x 8'-0"	A4									SLIDING PATIO
㊼	8'-0" x 8'-0"	A4									SLIDING PATIO
㊽	8'-0" x 8'-0"	A4									SLIDING PATIO
㊾	8'-0" x 8'-0"	A4									SLIDING PATIO
㊿	8'-0" x 8'-0"	A4									SLIDING PATIO
1	3'-0" x 8'-0"	A5									CLOSER
2	3'-0" x 8'-0"	A5									CLOSER

WALL TYPE KEY	
	ELEVATOR
	GARAGE DRIVE
	INTERIOR WALL
	EXTERIOR WALL
	FIRE-RATED WALL
	ACOUSTIC WALL
	SOUND BARRIER WALL
	GLASS WALL
	METAL WALL
	CONCRETE WALL
	BLOCK WALL
	BRICK WALL
	STONE WALL
	OTHER WALL



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE:
INSTALL ONLY PERMIT
TRUNK BUILD-OUT DRAININGS AND
TRAP DRAININGS TO BE SUBMITTED
TO CITY UNDER SEPARATE PERMIT.
INCLUDE TYPICAL SYMBOLS,
LIGHTING AND POWER AS REQUIRED.

DEC. 22, 2016 - REVISED FOR CONSTRUCTION



STATE OF ILLINOIS
ARCHITECTURAL REGISTRATION NUMBER
184002874

PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS:
FIRST STREET - BLDG. 3
ST. CHARLES, ILLINOIS 401M
FIRST STREET DEVELOPMENT, LLC

BLDG. 3

Revisions:

OWNER/CLIENT
REV. 0-25-2016

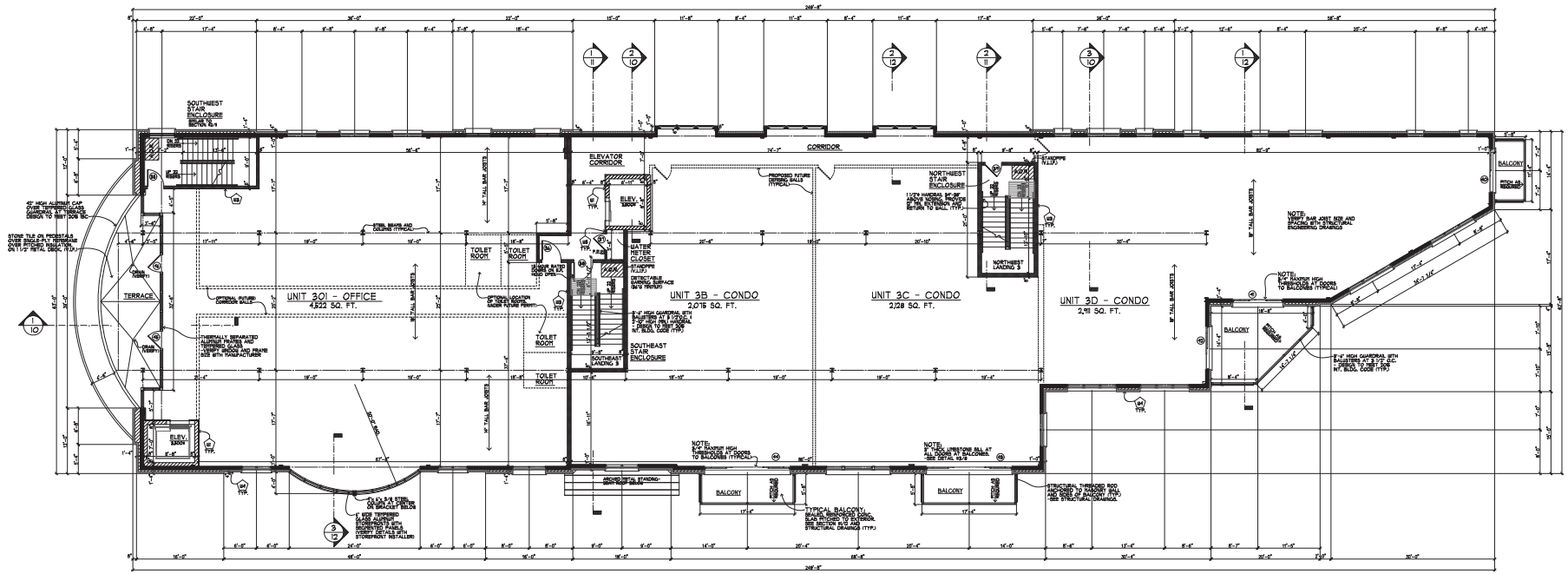
Commission: 2808
Issue Date: 8-8-2014
Drawn By: GDS
SECOND FLOOR PLAN

Sheet:
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of 12

THIRD FLOOR SQUARE FOOTAGE	
GROSS SQUARE FOOTAGE:	198,874 S.F.
UNIT 301 - OFFICE:	54,822 S.F.
UNIT 301 - TERRACE:	1,391 S.F.
UNIT 3B - CONDO:	12,018 S.F.
UNIT 3C - CONDO:	12,028 S.F.
UNIT 3D - CONDO:	12,411 S.F.
NORTHWEST STAIR:	121 S.F.
ELEVATOR CORRIDOR:	1840 S.F.
SOUTHEAST STAIR:	1201 S.F.
SOUTHWEST STAIR + SOUTH ELEVATOR:	1361 S.F.

NOTE:
SQUARE FOOTAGE IS CALCULATED FROM OUTSIDE OF EXTERIOR WALLS AND CENTER OF DOORING WALLS.

WALL TYPE KEY	
	ELEVATOR 1" OF 1/2" CONC. SLAB W/ REINFORCED PER STRUCTURAL DRAWING 1" MIN. RIGID INSULATION WITH 1" MIN. AIR SPACE OVER SLAB.
	GARAGE LEVEL 1" OF 1/2" CONC. SLAB W/ REINFORCED PER STRUCTURAL DRAWING 1" MIN. RIGID INSULATION WITH 1" MIN. AIR SPACE OVER SLAB.
	INTERIOR WALL 5/8" OF 1/2" CONC. BLOCK W/ REINFORCED PER STRUCTURAL DRAWING 1" MIN. RIGID INSULATION WITH 1" MIN. AIR SPACE OVER BLOCK.
	EXTERIOR WALL 12" OF 1/2" CONC. BLOCK W/ REINFORCED PER STRUCTURAL DRAWING 1" MIN. RIGID INSULATION WITH 1" MIN. AIR SPACE OVER BLOCK.
	HYDROX WALL HYDROX WALL SYSTEM AS SHOWN ON STRUCTURAL DRAWING 1" MIN. RIGID INSULATION WITH 1" MIN. AIR SPACE OVER WALLS IN VERTICAL HEAD-ON VIEW.



THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE:
INSTALL ONLY PERMIT
TRUCKY BUILD-OUT DRAWINGS AND
TRUCKY CHANGES TO BE SUBMITTED
TO CITY UNDER SEPARATE PERMIT.
PROVIDE TYPICAL DETAILS.
LIGHTING AND POWER AS REQUIRED.

DEC. 22, 2016 - REVISED FOR CONSTRUCTION



STATE OF ILLINOIS
DESIGN PROFESSIONAL REGISTRATION NUMBER
184002847

PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS:
FIRST STREET - BLDG. 3
ST. CHARLES, ILLINOIS 401M
FIRST STREET DEVELOPMENT, LLC

PLOTTED: 12/22/2016

BLDG. 3

Revisions:

	OWNER/CLIENT REV. 0-20-2016

Commission: 2808
Issue Date: 8-8-2014
Drawn By: CDD
THIRD FLOOR PLAN

Sheet:



of 12

FOURTH FLOOR SQUARE FOOTAGE

GROSS SQUARE FOOTAGE:	19,874 S.F.
UNIT 401 - OFFICE:	4,822 S.F.
UNIT 401 - TERRACE:	1381 S.F.
UNIT 4B - CONDO:	12,078 S.F.
UNIT 4C - CONDO:	12,028 S.F.
UNIT 4D - CONDO:	12,141 S.F.
NORTHWEST STAIR:	121 S.F.
ELEVATOR CORRIDOR:	1840 S.F.
SOUTHEAST STAIR:	1201 S.F.
SOUTHWEST STAIR & SOUTH ELEVATOR:	1381 S.F.

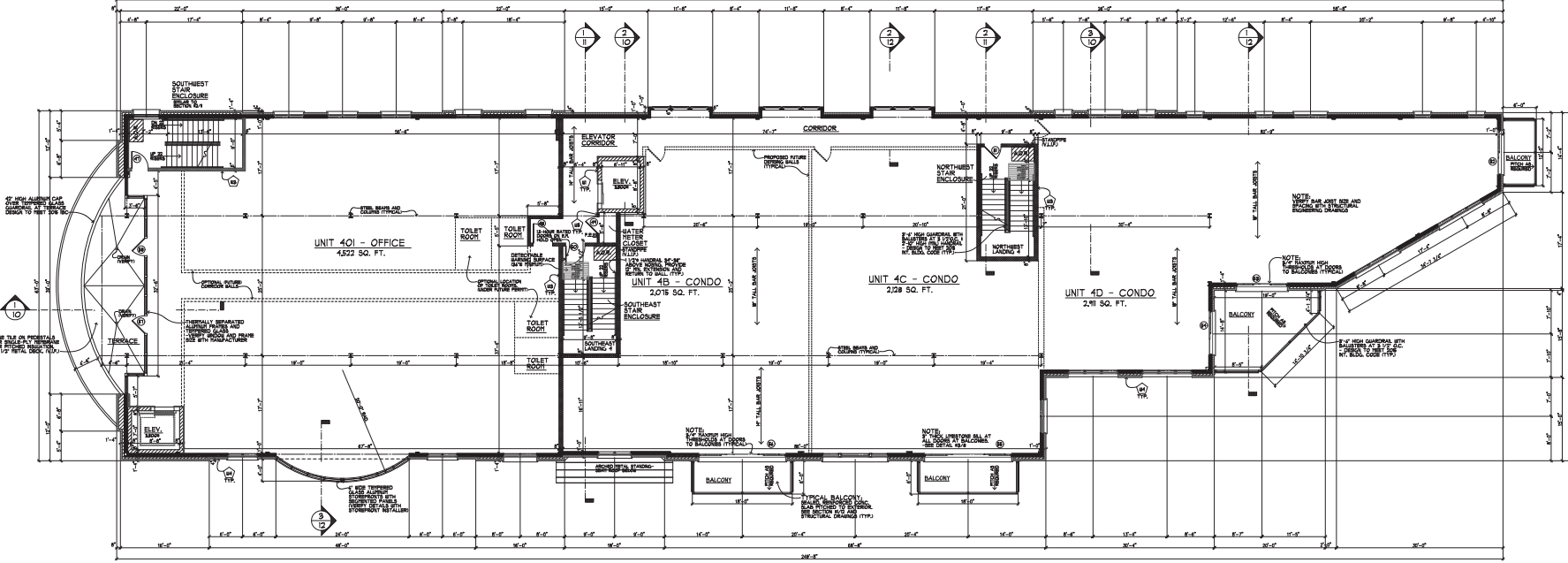
NOTE:
SQUARE FOOTAGE IS CALCULATED FROM OUTSIDE OF EXTERIOR WALLS AND CENTER OF DEMISING WALLS.

FOURTH & FIFTH FLOOR DOOR SCHEDULE

MARK	DOOR SIZE	SHT.	THK.	DOOR		FRAME		HDL SET	REMARKS
				TYPE	MATL. FINISH	TYPE	MATL. FINISH		
①	3'-0" x 8'-0"	A6						PANC	1/2 HR/CLOSER
②	3'-0" x 8'-0"	A6							3/4 HR/CLOSER
③	3'-0" x 7'-0"	A6							3/4 HR/CLOSER
④	3'-0" x 7'-0"	A6						PANC	1/2 HR/CLOSER
⑤	3'-0" x 7'-0"	A6						PANC	1/2 HR/CLOSER
⑥	8'-0" x 8'-0"	A6							SLIDING PATIO
⑦	4'-0" x 8'-0"	A6							SLIDING PATIO
⑧	8'-0" x 8'-0"	A6							SLIDING PATIO
⑨	4'-0" x 8'-0"	A6							SLIDING PATIO
⑩	4'-0" x 8'-0"	A6							SLIDING PATIO
⑪	3'-0" x 8'-0"	A6							CLOSER
⑫	3'-0" x 8'-0"	A6							CLOSER
⑬	3'-0" x 7'-0"	A1							3/4 HR/CLOSER
⑭	3'-0" x 7'-0"	A1						PANC	1/2 HR/CLOSER
⑮	8'-0" x 8'-0"	A1							SLIDING PATIO
⑯	4'-0" x 8'-0"	A1							SLIDING PATIO
⑰	4'-0" x 8'-0"	A1							SLIDING PATIO
⑱	4'-0" x 8'-0"	A1							SLIDING PATIO
⑲	3'-0" x 8'-0"	A1							3/4 HR/CLOSER
⑳	3'-0" x 8'-0"	A1							CLOSER
㉑	3'-0" x 8'-0"	A1							CLOSER
㉒	3'-0" x 7'-0"	A1						PANC	1/2 HR/CLOSER
㉓	3'-0" x 7'-0"	A1							3/4 HR/CLOSER

WALL TYPE KEY

	ELEVATOR	AS SHOWN ON THE DRAWING FOR THE ELEVATOR, THE WALL SHALL BE CONCRETE WITH A MINIMUM OF 4" THICKNESS AND SHALL BE FINISHED WITH A TYPE 'C' OR 'D' FINISH.
	GARAGE LEVEL	AS SHOWN ON THE DRAWING, THE WALL SHALL BE CONCRETE WITH A MINIMUM OF 4" THICKNESS AND SHALL BE FINISHED WITH A TYPE 'C' OR 'D' FINISH.
	EXTERIOR WALL	AS SHOWN ON THE DRAWING, THE WALL SHALL BE CONCRETE WITH A MINIMUM OF 4" THICKNESS AND SHALL BE FINISHED WITH A TYPE 'C' OR 'D' FINISH.
	INTERIOR WALL	AS SHOWN ON THE DRAWING, THE WALL SHALL BE CONCRETE WITH A MINIMUM OF 4" THICKNESS AND SHALL BE FINISHED WITH A TYPE 'C' OR 'D' FINISH.



FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE:
MILL ONLY REPAIR
TENANT BUILD-OUT DRAWINGS AND
REV. DRAWINGS TO BE SUBMITTED
TO CITY UNDER SEPARATE PERMIT.
INCLUDE TYPICAL BRANCS,
LIGHTING AND POWER AS REQUIRED.

DEC. 22, 2016 - REVISED FOR CONSTRUCTION



STATE OF ILLINOIS
DESIGN PROFESSIONAL REGISTRATION NUMBER
184,002,854

PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS:
FIRST STREET - BLDG. 3
ST. CHARLES, ILLINOIS 60184
FIRST STREET DEVELOPMENT, LLC

BLDG. 3

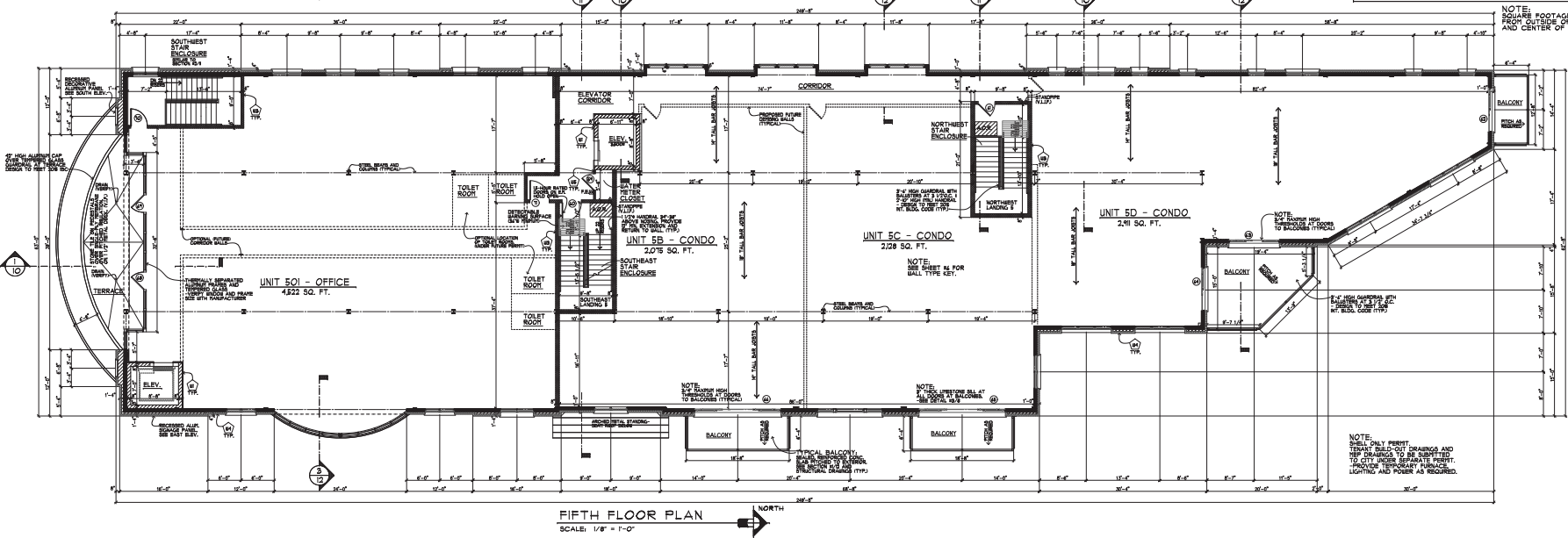
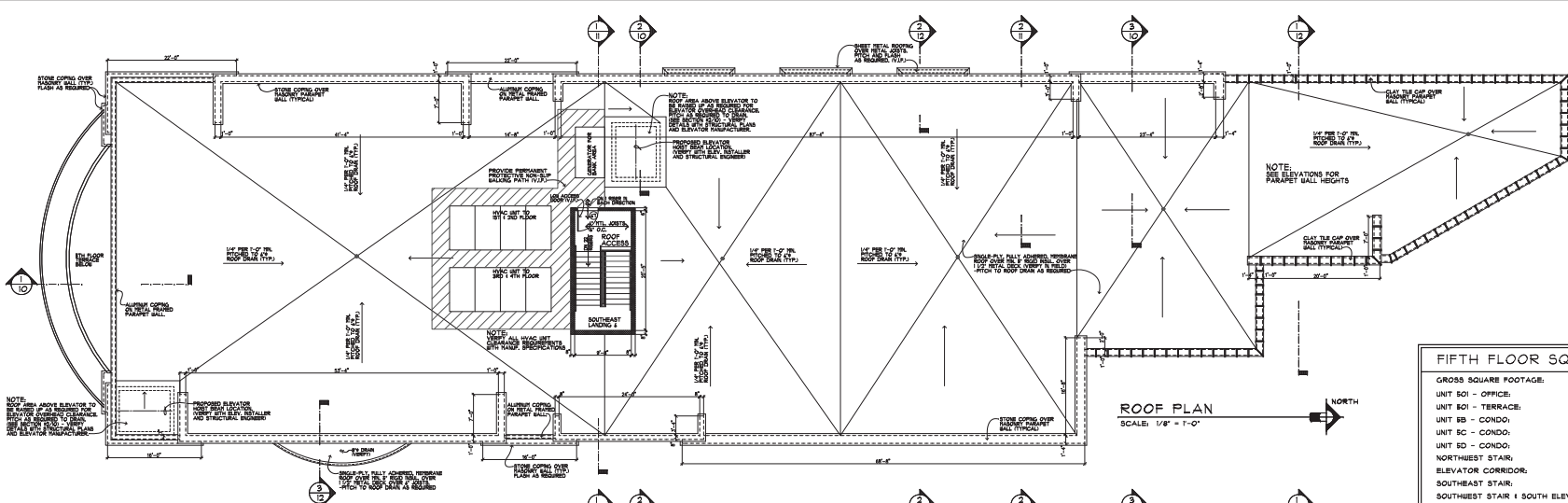
Revisors:

OWNER/CLIENT
REV. 0-29-2016

Commission: 2808
Issue Date: 8-8-2014
Drawn By: CDJ
FOURTH FLOOR PLAN

Sheet:





DEC. 22, 2016 - REVISED FOR CONSTRUCTION
 PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS:
FIRST STREET - BLDG. 3
 ST. CHARLES, ILLINOIS 401M
 FIRST STREET DEVELOPMENT, LLC



STATE OF ILLINOIS
 DESIGN PROFESSIONAL REGISTRATION NUMBER
 1212/2016

PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS:
FIRST STREET - BLDG. 3
 ST. CHARLES, ILLINOIS 401M
 FIRST STREET DEVELOPMENT, LLC

PLOTTED: 12/22/2016

BLDG. 3

Revisions:

NO.	DESCRIPTION
1	GENERAL CLIENT REV. 9-29-2016
2	GENERAL CLIENT REV. 9-29-2016
3	GENERAL CLIENT REV. 9-29-2016

Commission: 2808
 Issue Date: 8-8-2014
 Drawn By: CDZ
 FIFTH FLOOR
 1 ROOF PLAN

Sheet:
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NOTE:
 THESE DRAWINGS AND
 SPECIFICATIONS TO BE ADHERED
 TO BY THE CONTRACTOR.
 ALL WORK SHALL BE DONE
 IN ACCORDANCE WITH THE
 IBC AND ALL APPLICABLE
 CODES AND REGULATIONS.