

 ST. CHARLES <small>SINCE 1834</small>	HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
	Agenda Item Title/Address:	COA: 101 S. 2 nd St. (Baker Community Center)		
	Proposal:	Renovations to structure		
	Petitioner:	Kluber Architects & Engineers		
Please check appropriate box (x)				
	PUBLIC HEARING		MEETING 5/4/16	X
AGENDA ITEM CATEGORY:				
<input checked="" type="checkbox"/>	Certificate of Appropriateness (COA)		Façade Improvement Plan	
	Preliminary Review		Landmark/District Designation	
	Discussion Item		Commission Business	
ATTACHMENTS:				
Architectural plans				
Renderings				
Minutes from 2/17/16 and 3/16/16				
EXECUTIVE SUMMARY:				
<p>Proposed are alterations to the Baker Community Center. The Commission conducted a Preliminary Review for this project on 2/17/16 and 3/16/16.</p> <p>The proposed alterations are in line with the renderings reviewed at the 3/16/16 meeting.</p>				
RECOMMENDATION / SUGGESTED ACTION:				
Provide feedback and recommendations on approval of the COA.				



EAST ELEVATION
SCALE: 1/4" = 1'-0" ①

KEYNOTES
1.000 KEYNOTES TYPICALLY ARE NOT DUPLICATED WITHIN A GIVEN DETAIL. CONTRACTOR IS TO ASSUME THAT AN UN-HEADED ITEM IS TO BE THE SAME AS THE KEYNOTED ITEM WITHIN THE SAME DETAIL.
2.437 DEMOLISH EXISTING EXTERIOR WINDOW SASH. EXISTING WINDOW FRAME, STORM WINDOW, AND TRIM TO REMAIN.
2.670 SALVAGE EXISTING WINDOW AIR CONDITIONER. TURN OVER TO OWNER.
4.199 BRICK MASONRY: REFER TO ARCHITECTURAL ELEVATION DRAWINGS FOR COURSEING AND TYPE.
4.721 CAST STONE COPING; PROFILE TO MATCH EXISTING.
6.012 PLYWOOD: REFER TO SECTIONS AND DETAILS FOR THICKNESS AND TYPE; PAINTED.
6.067 WOOD TRIM: 1 1/2" PAINTED.
7.325 SALVAGED SLATE TILE SHINGLES; INSTALL ON WALL; REFER TO SPECIFICATIONS.
7.326 SALVAGED SLATE TILE SHINGLES; INSTALL ON ROOF; REFER TO SPECIFICATIONS.
7.560 COPPER STANDING SEAM ROOF SYSTEM.
8.144 CLAD WOOD DOOR: REFER TO DOOR, FRAME, AND BORROWED LIGHT SCHEDULE.
8.152 WOOD CLAD WINDOW INFILL: CASSETT PICTURE WINDOW STYLE. SEE WINDOW TYPE "A" ON SHEET A803. REFER TO DETAIL 8.140 FOR JAMB AND HEAD (S&L) AND DETAIL 8.141 FOR SILL. PROVIDE SECOND, ARTISAN-FABRICATED SINGLE-GLAZED INSERT ON INTERIOR SIDE OF NEW WINDOW TO MIMIC LEADED WAIN PATTERNS OF ORIGINAL WINDOW.

GENERAL NOTES
1. REFER TO DRAWING 0100 FOR PROJECT GENERAL NOTES.
2. COORDINATE LOCATIONS OF WALL-MOUNTED MECHANICAL, PLUMBING AND ELECTRICAL ITEMS TO ENSURE NO OVERLAP.
3. COORDINATE WITH DEMOLITION DRAWINGS FOR SALVAGED MATERIALS/COMPONENTS.

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WEST ELEVATION
SCALE: 1/4" = 1'-0" ①

KEYNOTES

- 1.000 KEYNOTES TYPICALLY ARE NOT DUPLICATED WITHIN A GIVEN DETAIL. CONTRACTOR IS TO ASSUME THAT AN UN-MEET ITEM IS TO BE THE SAME AS THE KEYNOTED ITEM WITHIN THE SAME DETAIL.
- 2.497 DEMOLISH EXISTING EXTERIOR WINDOW SASH. EXISTING WINDOW FRAME, STORM WINDOW, AND TRIM TO REMAIN.
- 2.491 DEMOLISH EXISTING MECHANICAL SYSTEM COMPONENT. AS INDICATED, REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 2.670 SALVAGE EXISTING WINDOW AIR CONDITIONER. TURN OVER TO OWNER.
- 8.152 WOOD CLAD WINDOW INFILL: CASSETTE PICTURE WINDOW STYLE. SEE WINDOW TYPE "A" ON SHEET A810. REFER TO DETAIL 6/A1001 FOR JAMBS AND HEAD (SMA), AND DETAIL 15/A1002 FOR SILL. PROVIDE SECOND, ANTI-IMPACT-FABRICATED SINGLE-GLAZED INSERT ON INTERIOR SIDE OF NEW WINDOW TO MATCH LEADED MANTH PATTERN OF ORIGINAL WINDOW.

GENERAL NOTES

- 1. REFER TO DRAWING 0100 FOR PROJECT GENERAL NOTES.
- 2. COORDINATE LOCATIONS OF WALL-MOUNTED MECHANICAL, PLUMBING AND ELECTRICAL ITEMS TO ENSURE NO OVERLAP.
- 3. COORDINATE WITH DEMOLITION DRAWINGS FOR SALVAGED MATERIALS/COMPONENTS.

DATE:	15-07-2016
SCALE:	1/4" = 1'-0"
PROJECT:	HENRY ROCKWELL BAKER MEMORIAL COMMUNITY CENTER - CAPITAL IMPROVEMENTS
DRAWN:	JAB
CHECKED:	CDH
APPROVED:	CDH

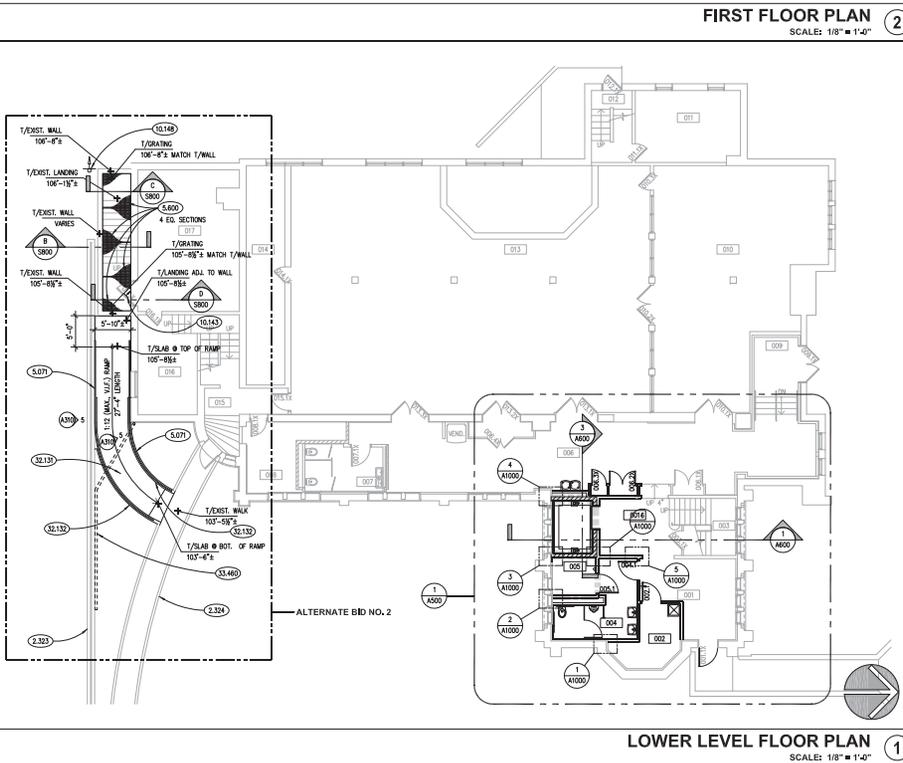
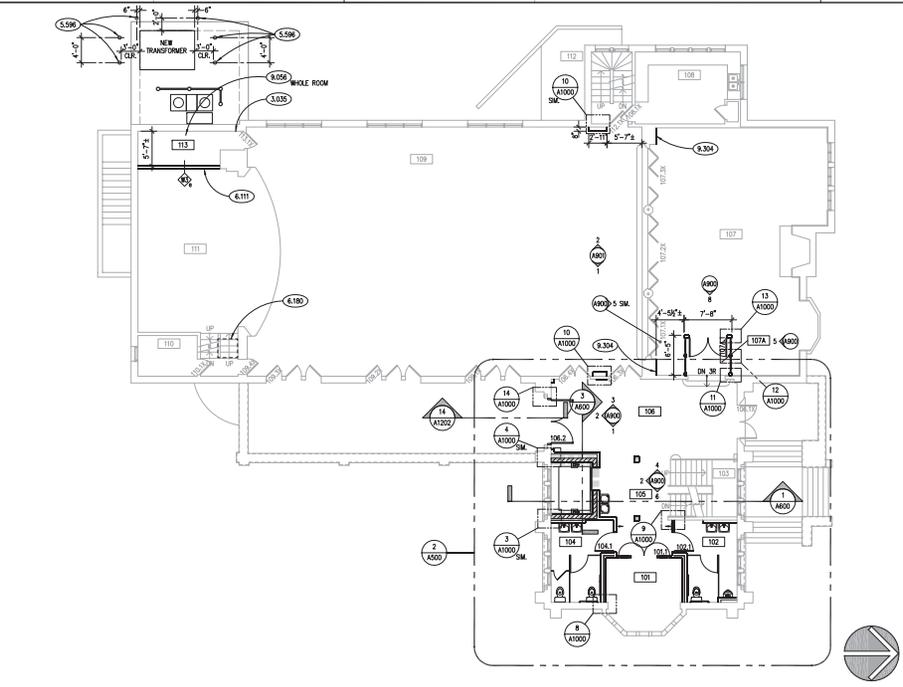
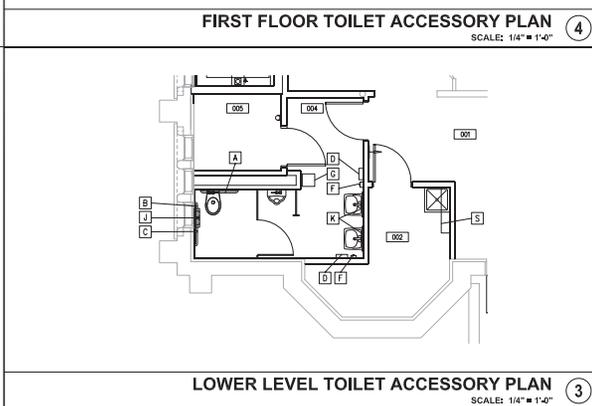
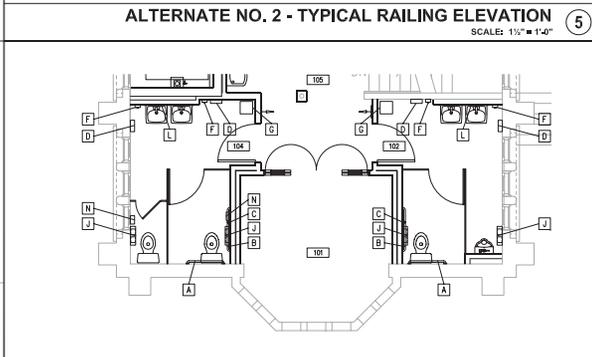
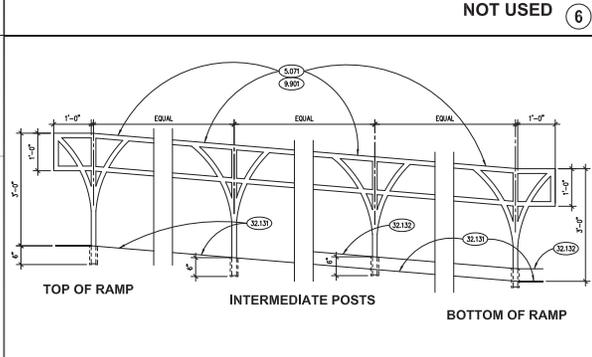
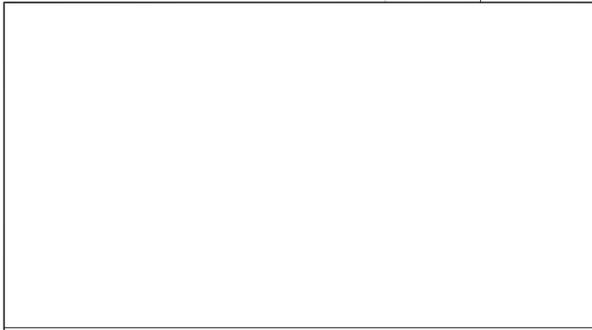
JOB NO. 15-075-1019
DRAWN JAB
CHECKED CDH
APPROVED CDH

SHEET TITLE
WEST EXTERIOR BUILDING ELEVATION

SHEET NUMBER

A703

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- ### KEYNOTES
- KEYNOTES TYPICALLY ARE NOT DUPLICATED WITHIN A GIVEN DETAIL. CONTRACTOR IS TO ASSUME THAT AN UN-KEYED ITEM IS TO BE THE SAME AS THE KEYNOTED ITEM FROM THE SAME DETAIL.
 - EXISTING CONCRETE GARDEN WALL W/ METAL RAILING.
 - EXISTING CONCRETE WALK BETWEEN 4" HIGH CONCRETE CURBS.
 - PATCH EXISTING CONCRETE SLAB FROM REMOVED PIPING.
 - METAL FABRICATION: STEEL HANDRAIL ASSEMBLY: GALVANNEZED, 1-1/2" X 1 1/2" GA. SQUARE TUBE SECTIONS, CONFIGURATION AS INDICATED; TOTAL OF 9 POSTS REQUIRED, EVENLY SPACED; CORE DRILL AND SET POSTS IN NON-SHRINK GROUT.
 - METAL FABRICATION: STEEL ROLLARS: 4" DIAMETER, GALVANNEZED CONCRETE FIELLED.
 - METAL GRATING: 4008 - 1 1/2" STAINLESS STEEL GRATING AS MANUFACTURED BY KADE INDUSTRIES, INC. OR EQUAL. WWW.KADEMETALS.COM. GRATING TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. DO NOT CONNECT TO SUPPORT ANGLES.
 - WOOD FRAMING: PROVIDE 2x6 CONT. LEDGER ALONG EAST FACE OF WALL, CONNECTED TO EACH STUD, TO SUPPORT EXISTING STAGE FLOOR JOISTS.
 - WOOD PLATFORM: PROVIDE 3/4" 2x6 OVERHEAD PLATFORM, CONSTRUCT FROM 2x6 FRAMING AND 1/4" PLYWOOD. RECONSTRUCT NEW PLATFORM AT AN ELEVATION 12" ABOVE EXISTING UNDEVELOPED PLATFORM ELEVATION.
 - LATEX FLOOR LEVELING REFER TO SPECIFICATIONS.
 - PATCH EXISTING PLASTER WALL: INFILL W/ DRYWALL AND SHIM COAT WITH PLASTER, TEXTURED FINISH TO MATCH EXISTING. NEW FINISHED SURFACE FLUSH WITH EXISTING ADJACENT SURFACES; RE-INSTALL EXISTING WOOD BASE, CROWN, AND TRIM AS REQ.
 - PAINT HANDRAIL ASSEMBLY.
 - SPONGE PANEL-TYPE GRAPHICS: "NOT AN EXIT".
 - SPONGE EXTERIOR CORNER WOOD POST-AND-RAIL TYPE: 6X4 POST AND 2" 5/8" GRAPHICS: INTERNATIONAL SYMBOL OF ACCESSIBILITY CAPTIONED "ACCESS TO TERRACE LAWN AREA".
 - CONCRETE FINING: PEDESTRIAN RAMP: REFER TO SPECIFICATIONS.
 - CONCRETE FINING: 4" WIDE X 12" DEEP WIDE BARRIER CURB.
 - SUBDRAINAGE PIPING: 4" SCHEDULE 80 NON-PERFORATED PVC, SLOPE 1/8" PER FOOT AWAY FROM BUILDING; CONFIGURATION/ROUTING AS SHOWN, EXTEND TO DRAINAGE.

TOILET ACCESSORY SCHEDULE

MARK	DESCRIPTION	CAT. NO.	REMARKS	MOUNTING HEIGHTS
A	S.S. GRAB BAR - 36"	3200-36	CONCEALED MOUNTING	36" TO CENTERLINE
B	S.S. GRAB BAR - 42"	3200-42	CONCEALED MOUNTING	36" TO CENTERLINE
C	S.S. GRAB BAR - 18"	3200-18	CONCEALED MOUNTING	SEE SHEET 0201 (MOUNTED VERT.)
D	PAPER TOWEL DISPENSER	10-2-4-42	SURFACE MTD, 1	TOP OF UNIT 54" A.F.F.
F	SOAP DISPENSER - WALL MOUNTED	0-16AP	SURFACE MTD, 1	TOP OF UNIT 44" A.F.F.
G	WASTE RECEPTACLE	WR-11	FREE STANDING MTD, 1	
J	DUAL TOILET ROLL DISPENSER	6697-GAL	SURFACE MOUNTED, WITH SHELF	28" TO TOP OF SHELF
K	CHANNEL FRAME MIRROR	0620	24" X 30"	40" TO BOTTOM
L	WOOD FRAME MIRROR	SEE SPECS. PROFILE 301 SEE 3/AB10	48" X 30"	40" TO BOTTOM
N	SANITARY NAPKIN DISPOSAL	0852	SURFACE MOUNTED	44" TO TOP
S	S.S. SHELF W/ WSP & BROOK HOLDER	1338-4		72" TO SHELF

- ### TOILET ACCESSORY GENERAL NOTES
- CMCO AND AS3 CATALOG NUMBERS ABOVE ARE USED FOR REFERENCE ONLY, UNLESS OTHERWISE NOTED.
 - MOUNTING HEIGHTS PER ADA-AG (AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES). VERIFY MOUNTING HEIGHTS SHOWN IN TOILET ACCESSORY SCHEDULE.
 - MOUNTING HEIGHTS ARE FROM FINISHED FLOOR TO HEIGHT INDICATED.

- ### TOILET ACCESSORY REMARKS
- CMCO COMMERCIAL RESTROOM ACCESSORIES CATALOG NUMBERS.
 - ROBOROX CATALOG NUMBERS, USED FOR REFERENCE ONLY.
 - DURIGOLLA MODEL NUMBERS, USED FOR REFERENCE ONLY.

ROOM SCHEDULE

RII, NO.	ROOM NAME	RII, NO.	RECEPTION ROOM NAME
001	EXISTING LOBBY & ELEVATOR LOBBY	101	RECEPTION
002	STORAGE	102	MEN'S RESTROOM
003	EXISTING STAIR	103	EXISTING STAIR
004	MEN'S RESTROOM	104	WOMEN'S RESTROOM
005	ELEVATOR EQUIPMENT ROOM	105	CORRIDOR
006	CORRIDOR	106	EXISTING LOBBY
007	WOMEN'S RESTROOM	107	EXISTING PETERSON LOUNGE
008	UTILITY ROOM	107A	ALCOVE
009	ENTRANCE	108	EXISTING KITCHEN
010	EXISTING CRAFTS ROOM	109	EXISTING RESTROOM
011	STORAGE	110	SPRINGING ROOM
012	STAIR	111	EXISTING STAGE
013	EXISTING ACTIVITY ROOM	112	EXISTING
014	EXISTING STORAGE	113	STORAGE
015	EXISTING STAIR CORRIDOR		
016	EXISTING FILTER AND PUMP ROOM		
017	EXISTING BOILER ROOM		

- ### GENERAL NOTES
- REFER TO DRAWING 0100 FOR PROJECT GENERAL NOTES.
 - COORDINATE FIRE RATED ASSEMBLIES INFORMATION CONTAINED ON DRAWING 0300 WITH THE WORK OF ALL CONTRACTORS.
 - IN WOOD/METAL STUD AND DRYWALL BOARD PARTITIONS AND WALLS, PROVIDE 2x4 FIRE RETARDANT TREATED WOOD BLOCKING FOR WALL-MOUNTED ITEMS REQUIRING MECHANICAL ANCHORAGE.
 - ADDITIONAL WALL AND CEILING PATCHING IS REQUIRED. COORDINATE WITH DEMOLITION DRAWINGS. PATCH ALL EXISTING WALL AND CEILING SURFACES TO MATCH EXISTING. FOR PLASTER SURFACES, PATCH OUT WITH DRYWALL, BAKER AND A PLASTER SHIM COAT FLUSH WITH ADJACENT EXISTING SURFACES. FOR DRYWALL SURFACES, PATCH DRYWALL FLUSH.

REVISION	DATE	BY	DESCRIPTION

JOB NO. 16-375-1019
 DRAWN JAB
 CHECKED CDH
 APPROVED CDH

SHEET TITLE
 SECOND FLOOR PLAN
 &
 THIRD FLOOR PLAN
 SHEET NUMBER

A320

KEYNOTES

- 1.000 KEYNOTES TYPICALLY ARE NOT DUPLICATED WITHIN A GIVEN DETAIL. CONTRACTOR IS TO ASSUME THAT AN UN-KEYNOTED ITEM IS TO BE THE SAME AS THE KEYNOTED ITEM WITHIN THE SAME DETAIL.
- 1.100 OWNER-PROVIDED ITEM (N.L.C.): OFFICE EQUIPMENT; LARGE PHOTOCOPY MACHINE.
- 1.130 OWNER-PROVIDED ITEM (N.L.C.): OFFICE FURNITURE, AS INDICATED.
- 2.350 RE-INSTALL SALVAGED PANEL MOLDING, BASE, AND TRIM FROM DEMOLITION.
- 6.055 WOOD TRIM: PANEL MOLDING: ADD VERTICAL PANEL MOLDING MEMBER TO EXISTING PANEL MOLDING FRAME; MATCH EXISTING SPACING FROM WALLS; PATCH EXISTING REMAINING PANEL MOLDING AS REQ.
- 9.306 PATCH EXISTING PLASTER WALL; INFILL W/ DRYWALL AND SNOW COAT WITH PLASTER; NEW FINISHED SURFACE FLUSH WITH EXISTING ADJACENT SURFACES; RE-INSTALL EXISTING WOOD BASE, CROWN, AND TRIM AS REQ.

TOILET ACCESSORY SCHEDULE

MARK	DESCRIPTION	CAT. NO.	REMARKS	MOUNTING HEIGHTS
A	S.S. GRAB BAR - 36"	3200-36	CONCEALED MOUNTING	36" TO CENTERLINE
B	S.S. GRAB BAR - 42"	3200-42	CONCEALED MOUNTING	36" TO CENTERLINE
C	S.S. GRAB BAR - 18"	3200-18	CONCEALED MOUNTING	SEE SHEET G201 (MOUNTED VERT.)
D	PAPER TOWEL DISPENSER	10-2-B-4Z	SURFACE MOUNTING	TOP OF UNIT 54" A.F.F.
F	SOAP DISPENSER - WALL MOUNTED	G-16AP	SURFACE MOUNTING	TOP OF UNIT 44" A.F.F.
G	WASTE RECEPTACLE	WR-11	FREE STANDING	W.D. 1
J	DUAL TOILET ROLL DISPENSER	0697-GAL	SURFACE MOUNTED, WITH SHELF	36" TO TOP OF SHELF
K	CHANNEL FRAME MIRROR	0620	24" X 30"	40" TO BOTTOM
L	WOOD FRAME MIRROR	SEE SPECS PROFILE TR (SEE 3/AM05)	48" X 30"	40" TO BOTTOM
N	SANITARY NAPKIN DISPOSAL	0852	SURFACE MOUNTED	44" TO TOP
S	S.S. SHELF W/ MOP & BROOM HOLDER	1308-4		72" TO SHELF

TOILET ACCESSORY GENERAL NOTES

1. CAMCO AND ASB CATALOG NUMBERS ABOVE ARE USED FOR REFERENCE ONLY, UNLESS OTHERWISE NOTED.
2. MOUNTING HEIGHTS FOR ADA-AG (AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES). VERIFY MOUNTING HEIGHTS SHOWN IN TOILET ACCESSORY SCHEDULE.
3. MOUNTING HEIGHTS ARE FROM FINISHED FLOOR TO HEIGHT INDICATED.

TOILET ACCESSORY REMARKS

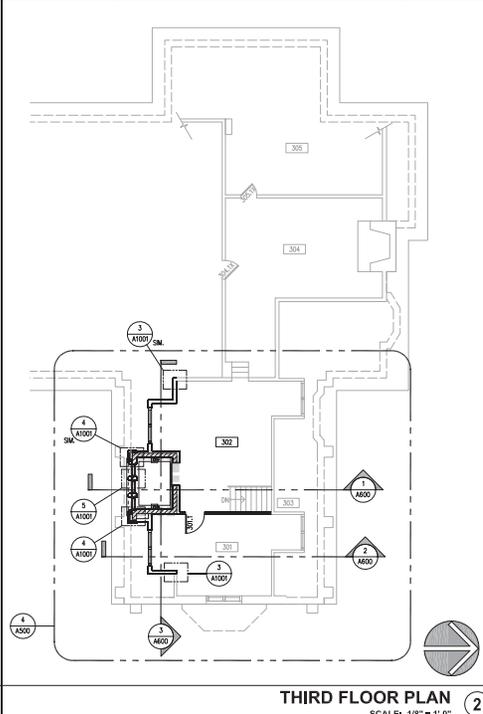
1. CAMCO COMMERCIAL RESTROOM ACCESSORIES CATALOG NUMBERS.
2. BUDROCK CATALOG NUMBERS, USED FOR REFERENCE ONLY.
3. DUROLLA MODEL NUMBERS, USED FOR REFERENCE ONLY.

ROOM SCHEDULE

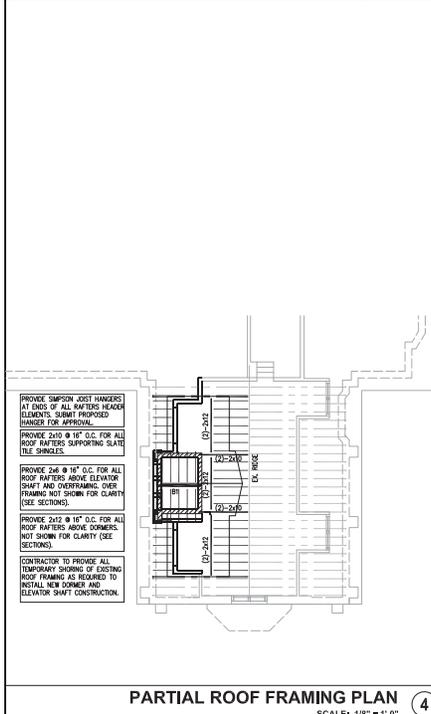
R.M. NO.	ROOM NAME	R.M. NO.	ROOM NAME
201	EXISTING OFFICE	301	OFFICE
203	EXISTING STAIR	302	OPEN OFFICE
204	STORAGE	304	EXISTING STAIR
205	EXISTING LOBBY	305	EXISTING OFFICE
206	RESTROOM		EXISTING STORAGE
207	OPEN OFFICE		
208	OFFICE		
209	OFFICE		
210	EXISTING BREAK ROOM		
211	EXISTING STAGE STORAGE		
212	EXISTING STAIR		

GENERAL NOTES

1. REFER TO DRAWING G100 FOR PROJECT GENERAL NOTES.
2. COORDINATE FIRE RATED ASSEMBLIES INFORMATION CONTAINED ON DRAWING G300 WITH THE WORK OF ALL CONTRACTORS.
3. IN WOOD METAL STUD AND OPSIUM BOARD PARTITIONS AND WALLS, PROVIDE 2X FIRE RETARDANT TRIMMED WOOD BLOCKING FOR WALL-MOUNTED ITEMS REQUIRING MECHANICAL ANCHORAGE.
4. ADDITIONAL WALL AND CEILING PATCHING IS REQUIRED. COORDINATE WITH DEMOLITION DRAWINGS. PATCH ALL EXISTING WALL AND CEILING SURFACES TO MATCH EXISTING. FOR PLASTER SURFACES, PATCH OUT WITH DRYWALL BACKER AND A PLASTER SNOW COAT FLUSH WITH ADJACENT EXISTING SURFACES. FOR DRYWALL SURFACES, PATCH DRYWALL FLUSH.



THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"



PARTIAL ROOF FRAMING PLAN
 SCALE: 1/8" = 1'-0"

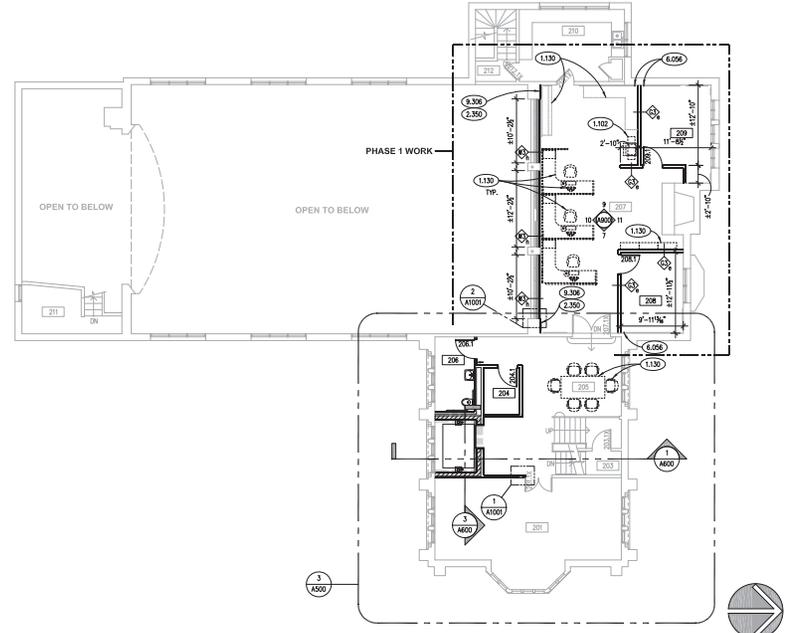
PROVIDE SIMPSON JOIST HANGERS AT END OF ALL RAFTERS BEARING ELEMENTS. SUBMIT PROPOSED HANGERS FOR APPROVAL.

PROVIDE 2X10 @ 16" O.C. FOR ALL ROOF RAFTERS SUPPORTING SLATE TILE SHEETS.

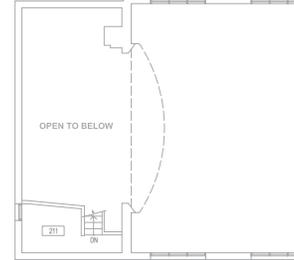
PROVIDE 2X6 @ 16" O.C. FOR ALL ROOF RAFTERS ABOVE ELEVATOR SHAFT AND OVERFRAMING. CLEAR FRAMING NOT SHOWN FOR CLARITY (SEE SECTIONS).

PROVIDE 2X12 @ 16" O.C. FOR ALL ROOF RAFTERS ABOVE DOMERS. NOT SHOWN FOR CLARITY (SEE SECTIONS).

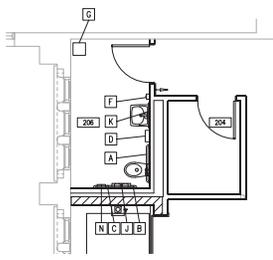
CONTRACTOR TO PROVIDE ALL TEMPORARY SHORING OF EXISTING ROOF FRAMING AS REQUIRED TO INSTALL NEW DOMER AND ELEVATOR SHAFT CONSTRUCTION.



SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



NOT USED



SECOND FLOOR TOILET ACCESSORY PLAN
 SCALE: 1/4" = 1'-0"



Baker Community Center Capital Improvements Project Presentation of Proposed Exterior Modifications March 16, 2016



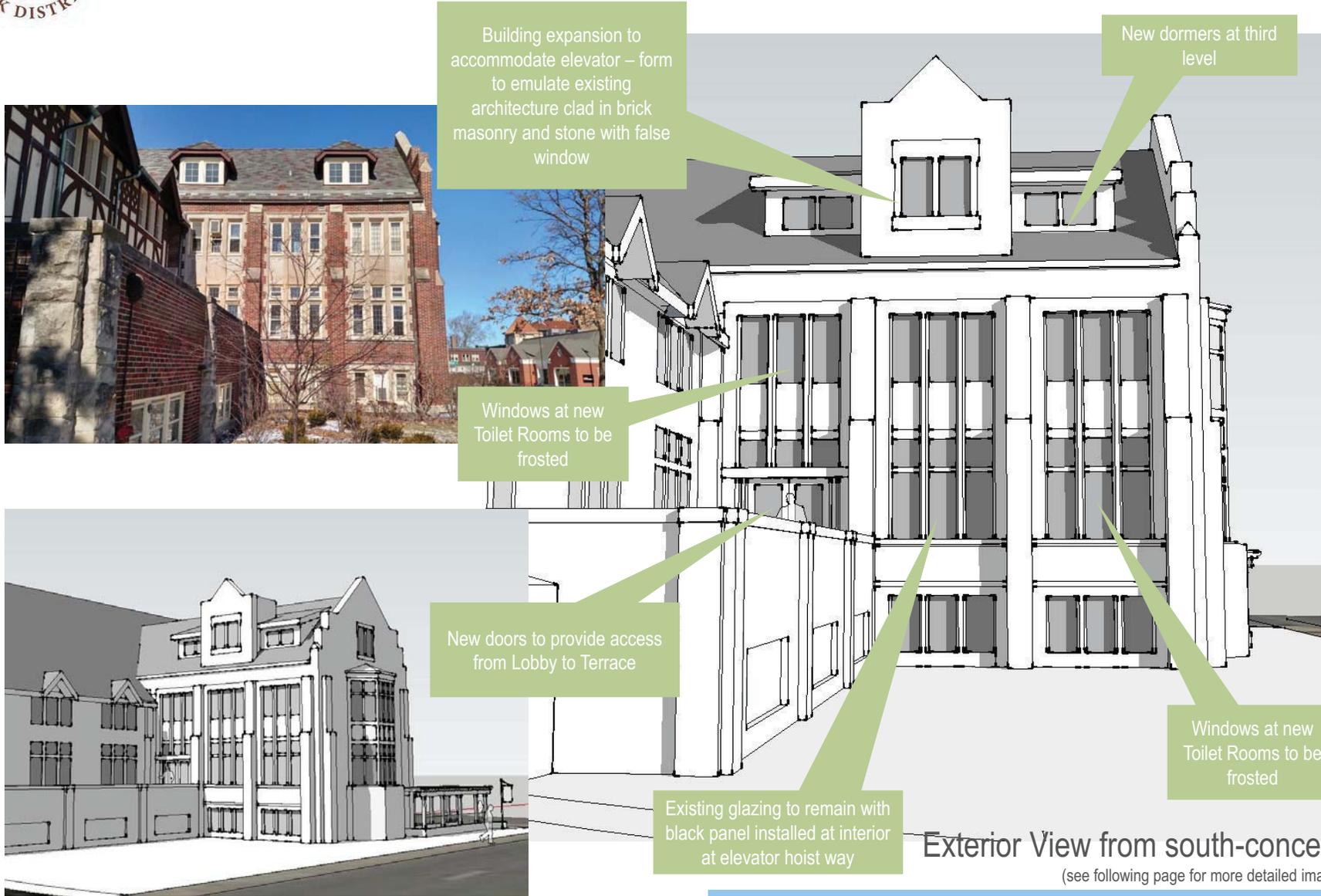
Overall Project Scope

- ✓ Develop & Design of an Elevator System
- ✓ Reconfigure Park District staff offices on both the second and third floors
- ✓ Enhance overall toilet room accommodations and ADA toilet room locations at each level of the building
- ✓ Enhance basement level entry from the existing ramp
- ✓ Air conditioning system upgrades to improve performance and quality of environment
- ✓ New strategy for storing tables and chairs in the auditorium
- ✓ New doors to achieve sound isolation between the second floor Lobby and the new Park District office space in the existing Zeigler Room.
- ✓ A vestibule for sound isolation between the first floor Lobby and the Lounge.





Henry Rockwell Baker
Memorial Community Center



Building expansion to accommodate elevator – form to emulate existing architecture clad in brick masonry and stone with false window

New dormers at third level



Windows at new Toilet Rooms to be frosted



New doors to provide access from Lobby to Terrace

Windows at new Toilet Rooms to be frosted

Existing glazing to remain with black panel installed at interior at elevator hoist way

Exterior View from south-concept
(see following page for more detailed image)



Henry Rockwell Baker
Memorial Community Center



Standing seam copper roof at new shed dormers

Wood trim with stucco infill panels to match existing details

Brick and stone trim to match existing finishes

New false window to match existing

Profile of dormer to be removed

Windows at new Toilet Rooms to be frosted

New doors to provide access from Lobby to Terrace

Existing glazing to remain with black panel installed at interior at elevator hoist way

Windows at new Toilet Rooms to be frosted



Exterior View from south-detailed image



New wood framed canopy structure
Color, finish, and detailing to be based on existing wood timber and trim of the "Tudor-style" elements of the building.



New signage monument
directing people to
accessible entrance



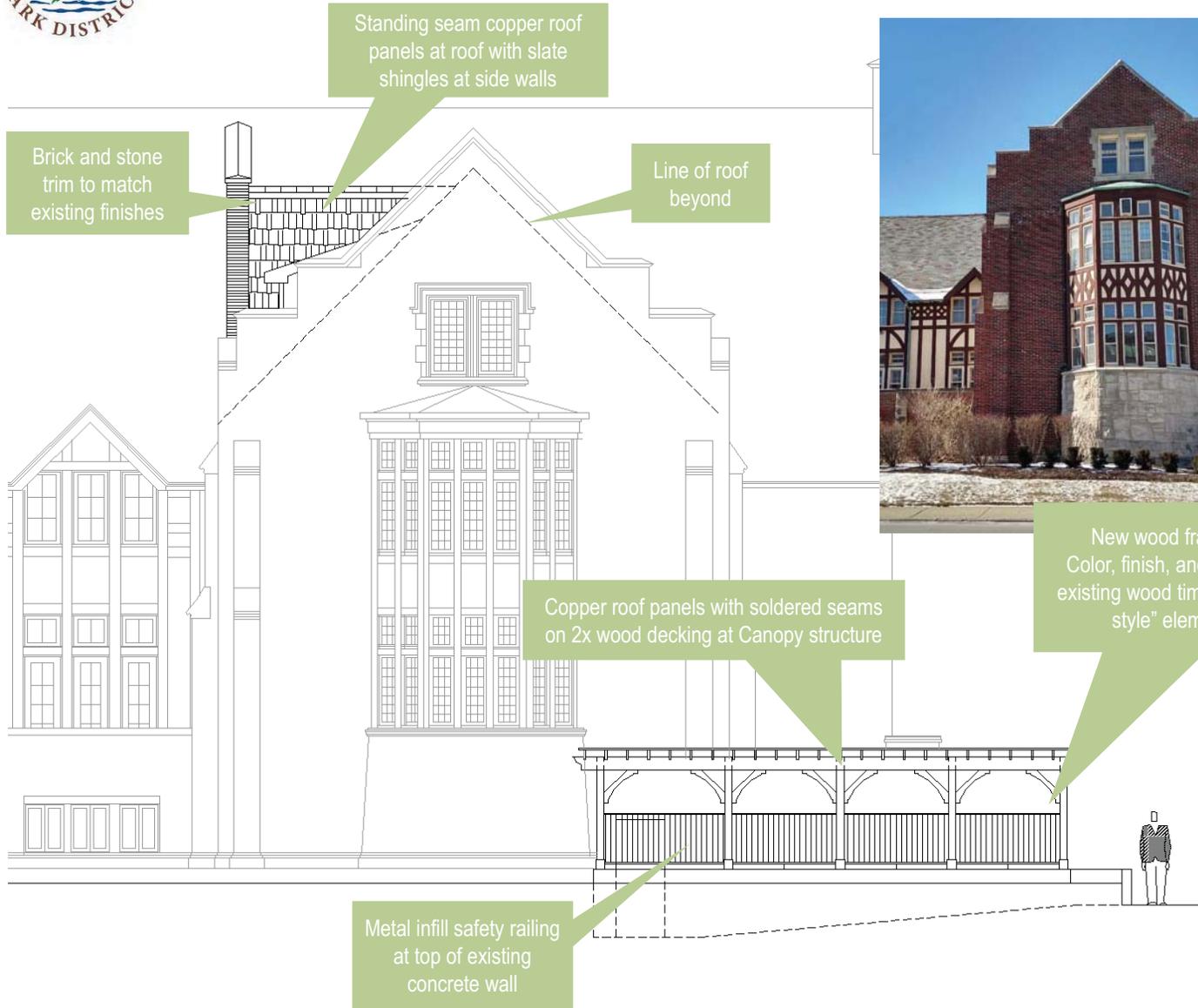
Photo examples of arbor
entry structures



Framed Canopy option at Ramp
(see detailed drawing on following page)



Henry Rockwell Baker
Memorial Community Center



Exterior View from east

Chairman Smunt asked if they will be removing the current trim. Mr. Rosati clarified they will be keeping the original trim and adding new trim on the addition. Chairman Smunt asked if they thought the existing wood trim was original to the building. Mr. Rosati felt it was.

Several Commissioners commended Mr. Rosati and Mr. Stockman for doing a great job on the plans.

A motion was made by Ms. Malay and seconded by Mr. Pretz with a unanimous voice vote to approve the COA as presented.

After the vote, the Mr. Stockman asked for clarification on the wording on the COA form that mentions “historic features and concealed structural elements”. Chairman Smunt said the intent of that statement is to save historical features on a structure. He said they would like applicants to communicate with the Commission if they uncover original features so they can evaluate the integrity of the feature.

6. Preliminary Review: Baker Community Center, 101 S. 2nd St.

Jeff Bruns and Mike Elliot from Kluber Architects & Engineers, and Dan Marshall, a member of the Baker Board and a local architect, were present.

Mr. Elliot spoke about their plans. He said they would like to install an elevator in the building in order to provide greater access throughout the building. He stated their plan is to keep the interior structure of the elevator from impacting the outside, but noted they do need to push through the roof in order to get to the third floor.

Mr. Elliot said they would also like to remove some of the rear existing windows and install a new set of doors on the rear to make the existing terrace more accessible. They are also planning on improving the safety of that terrace by removing the ladder style stairway and replacing it with a new full stairway.

Mr. Pretz asked if they intended on keeping the new design complimentary to the existing structure. Mr. Elliot confirmed that is their intent.

Mr. Norris asked if the dormer on top on the building will be made of brick, and if it would be load-bearing. Mr. Elliot said it will be concrete block and steel and will rest on the hoist weight going up in the elevator. Mr. Norris also asked about the stairway off the rear. He was concerned with them trying to put an exit where there wasn't one before. He asked if they could keep it from having too much of a presence. Mr. Norris suggested they consider adding a better stairway if it was going to be a grander exit.

Mr. Norris also suggested they consider using a canvas cover for the front accessible entrance, rather than the proposed wood pergola. Mr. Elliot was open to looking into that as an alternate cover. He said their initial idea was to provide some kind of weather cover for the existing ramp that goes into the accessible entrance. They intended to go with a garden structure to pull the tudor garden piece together. Chairman Smunt asked how much use this ramp gets. Mr. Marshall stated it gets used quite a bit, especially with the elderly population.

Mr. Pretz stated he was fine with the overall plan.

Chairman Smunt noted the only concern was with the entrance cover.

7. Additional Business from Commissioners or Staff

a. 214 S. 2nd Ave.

Mr. Stevenson explained the property is rented out as a three flat, but is now run-down and an eye-sore. He said they are looking for feedback as to what can be done with the property, and also what architectural elements the Commission was looking for.

Ms. Malay asked if they had any idea as to what they wanted to use the property for. Mr. Stevenson said they would like to rebuild another multi-family unit on that property. He mentioned doing some brownstones like already exists in the downtown area. Chairman Smunt noted existing townhomes are not brownstones. He felt they would not be able to take a three story building and recreate a brownstone look.

Mr. Stevenson asked if the porches or gable were elements the Commission would want them to maintain on the new unit. Ms. Malay asked Mr. Colby if there was any ability to add to this property. Mr. Colby noted the property is on a double lot and there is room in the rear to add square footage to the existing structure. Ms. Malay mentioned the owner may have an issue if they try and remove the porch and add livable space to the front of the property.

Ms. Malay suggested they try and keep intact what they already have and consider adding to the back of the structure if they want to add another unit. Chairman Smunt said he would prefer they add one or two units and stay within the gable style of the structure.

Ms. Malay asked if they want the addition to enlarge some of the current space. She noted it might be better to try for three units versus four, and reconfigure the interior space. Mr. Norris stated it might be challenging to do that because the space is so tight. He said the ceiling height makes it difficult to have any type of grand space inside what they have. He said the Commission needs to decide if they want to help with developing a new structure, or do they think it's worth saving what is already there. He was concerned that a new addition may be too big for the neighborhood.

Mr. Colby stated the existing zoning only permits two units, but it is sized as a double lot. The current three unit structure is grandfathered in. Mr. Pretz clarified they would not be able to add additional units unless the zoning gets changed.

Chairman Smunt explained the building is considered architecturally “contributing” to the Central Historic District. He said the structure contains elements of the 19th Century style of architecture, which is the main era of construction of the Central Historic District. Therefore, he would be opposed to demolishing the building.

6. COA & Façade Improvement Grant: 102 E. Main St. (windows)

Steven Nilles, applicant representing Riverside Pizza and Pub, was present.

Mr. Nilles described the condition of the current windows. He said they are rotted, drafty, wood framed windows. He said they are planning to use the existing frames, but will remove the sashes and replace the sill, and then put in double pane, insulated glass. He plans on painting all the new wood to match the current look.

Chairman Smunt asked if these will be wood sashes with double pane thermal glass. Mr. Nilles said it will be a single, fixed window.

Chairman Smunt understood the need for replacement, but noted the window is an architectural component of the building. He said he would support using new sash units to duplicate the existing architecture of the full column, including the curve. He said the business can choose to have them operable or not. Chairman Smunt indicated the divided light is a significant component of the architecture of the building.

Mr. Norris noted the building was the first medical college in Illinois. He said this is the only thing remaining from that original building and he would not be able to agree to anything being taken out.

Chairman Smunt provided an example as to how churches protect their irreplaceable art glass windows that leak air. He said in most cases they add an exterior storm window which helps preserve the original window.

Mr. Nilles expressed concerned over condensation build-up from a storm window. Mr. Norris said the Baker Church has their windows vented at the bottom to prevent that build-up. He suggested Mr. Nilles take a look at how that was done.

Ms. Malay suggested restoring the sashes if they are salvageable, replacing the sill, and then putting on the storm window.

Chairman Smunt indicated he would support using bronze aluminum storm channels with thermal pane glass.

Mr. Nilles said he would get some ideas and estimates, and then return for further assistance.

A motion was made by Ms. Malay and seconded by Mr. Bobowiec with a unanimous voice vote to table the COA and Façade Improvement Grant.

7. Preliminary Review: Baker Community Center, 101 S. 2nd St.

Mike Elliot from Kluber Architects & Engineers was present.

Mr. Elliot reviewed some slides pointing out the building improvement items that were discussed at the previous meeting. He said they are adding toilets so the windows in the new restrooms will be frosted. The windows in the center of the building will have blacked out panels inserted

from behind in order maintain the existing window. He pointed out the expansion projecting out of the roof. He said this is being added to the building to accommodate the new elevator.

Mr. Elliot said they are replicating the window divisions and those aspects of the building to push out the back. He noted the brick and stone trim will match what is on the building. He said the dormers will also be detailed to match. The roofs will be clad in copper. He said they are trying to use all the existing building elements in any adjustments they are making.

Mr. Elliot mentioned they are changing the set of doors that go from the lobby to the back terrace. He noted there currently is no way to access the terrace. Mr. Norris asked if the doors are going to be wood. He was informed they will be. Mr. Elliot said they removed the stairs from the terrace based on feedback from the previous meeting, but they may be added back at another time.

Mr. Elliot discussed the new wood framed canopy structure. He said they decided to go with an arbor trellis covering over the exterior ramp. The canopy roof will consist of copper panels with soldered seams. Mr. Norris asked if there will be any lighting on the structure. Mr. Elliot said there are existing side lights on the ramps. He said the previous rounded awning design resembled a bus shelter and they prefer the arbor idea.

Mr. Elliot mentioned they will also be adding some signage to one of the wing walls.

Chairman Smunt asked if the Commissioners had any concerns with the items presented. Commissioners expressed support for the project as presented.

8. Additional Business from Commissioners or Staff

a. Landmarks research

No updates.

b. St. Charles History Museum Education Committee

Mr. Gibson said he spoke to Alison from the St. Charles History Museum in regards to him joining their education committee. He said he is awaiting a phone call from the committee's leader. He noted he would provide input on the app that they are working on.

c. Downtown Partnership App

Chairman Smunt said he attended the Downtown Partnership's Board meeting. He said the Board mentioned they were going to meet with an app designer to develop a downtown app. He felt this could be a multi-faceted app that could benefit various local organizations. Chairman Smunt and Mr. Gibson noted they have a meeting scheduled for Wednesday, March 23, 2016 with the Downtown Partnership's Executive Director and the app developer, to investigate how historic preservation could be incorporated into the downtown app.