

 <p><b>ST. CHARLES</b> SINCE 1834</p>	<b>HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY</b>			
	<b>Agenda Item Title/Address:</b>	COA: 21 S. 4 <sup>th</sup> St.		
	<b>Proposal:</b>	Construction of a new single-family house		
	<b>Petitioner:</b>	Zach Derrico		
<b>Please check appropriate box (x)</b>				
<b>PUBLIC HEARING</b>			<b>MEETING 5/2/18</b>	<b>X</b>
<b>AGENDA ITEM CATEGORY:</b>				
X	Certificate of Appropriateness (COA)		Façade Improvement Plan	
	Preliminary Review		Landmark/District Designation	
	Discussion Item		Commission Business	
<b>ATTACHMENTS:</b>				
Proposed architectural plans				
Approved COA				
<b>EXECUTIVE SUMMARY:</b>				
<p>On 2/21/18, the Commission approved a COA for demolition of the house at 21 S. 4<sup>th</sup> St, and construction of a new house on the lot. The COA approval is attached.</p> <p>Plans were recently submitted for building permit. The plans shows a number of minor revisions:</p> <ul style="list-style-type: none"> <li>• Front porch: Changed from concrete to a raised deck structure, railings added, roof pitch changed</li> <li>• South elevation: entry door changed to double door</li> <li>• East elevation: basement windows added; different garage door style; taller dormer windows</li> <li>• North elevation: entry door to garage removed; taller windows</li> <li>• West elevation: additional window on second floor</li> </ul> <p>Per the builder, the area under the porch will be covered in framed lattice panels. These are not currently shown on the plans.</p>				
<b>RECOMMENDATION / SUGGESTED ACTION:</b>				
Provide feedback and recommendations on approval of the COA.				

## CUTTING AND NOTCHING

ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40 PERCENT OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO GREATER THAN 40 PERCENT OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO CLOSER THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. A STUD MAY BE BORED TO A DIAMETER NOT EXCEEDING 40 PERCENT OF ITS WIDTH. PROVIDED THAT SUCH STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS ARE DOUBLED AND THAT NOT MORE THAN TWO SUCCESSIVE STUDS ARE BORED, BORED OR NOTCHING IN EXCESS OF THAT NOTED SHALL BE REINFORCED WITH METAL SPLICE PLATES.

WHERE PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR WALL, NECESSITATING A CUTTING OF THE TOP PLATE BY MORE THAN 50 PERCENT OF ITS WIDTH, THE PLATE SHALL BE REINFORCED WITH 24 GAUGE STEEL ANGLE OR OTHER EQUIVALENT SUPPORT SPANNING THE DISTANCE BETWEEN THE APPROPRIATE STUDS.

NOTCHES IN THE TOP OR BOTTOM OF SOLID JOISTS SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE JOIST AND SHALL BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. WHERE JOISTS ARE NOTCHED ON THE ENDS, THE NOTCH SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. CANTILEVERED PORTIONS LESS THAN 4 INCHES WIDE SHALL NOT BE NOTCHED UNLESS THE REDUCED SECTION PROPERTIES AND LUMBER DEFLECTIONS ARE CONSIDERED IN THE DESIGN. WHEN IT IS NECESSARY TO PROVIDE A SPACE FOR PIPES, DUCTS OR VENTS, THE DOUBLE JOISTS REQUIRED TO SUPPORT BEARING PARTITIONS WHICH RUN PARALLEL TO THE FLOOR JOISTS SHALL BE SPACED APART TO ACCOMMODATE THE PIPES, DUCTS, VENTS AND BLOCK AT 4 FEET ON CENTER.

## HEADERS

FOR ALL EXTERIOR MASONRY OPENINGS THE FOLLOWING UNITS, SIZES SHALL BE USED UNLESS NOTED OTHERWISE:

- 0'-0" TO 5'-0" OPENINGS: <4"x3-1/2"x5/16" LVL WITH 6" BEARING
- 5'-0" TO 7'-0" OPENINGS: <5"x3-1/2"x5/16" LVL WITH 8" OF BEARING
- 7'-0" AND GREATER: <6"x4"x5/16" LVL WITH 8" OF BEARING AT EACH END

WOOD POSTS, THE FULL WIDTH OF THE BEAM SHALL BE PROVIDED UNDER EACH END OF BEAM BEING SUPPORTED, AND AS SHOWN ON PLANS. MINIMUM 3" BEARING AT EACH END OF BEAM LENGTHWISE. FOR BEAMS UP TO 11'-7/8" DEPTH, MINIMUM OF 4-1/2" BEARING. FOR BEAMS GREATER THAN 12" IN DEPTH.

POSTS ARE TO EXTEND DOWN TO SOLID BEARING ON FOUNDATION WALL, STEEL BEAM, OR MINIMUM OF (3) FLOOR FRAMING MEMBERS, AS NOTED ON PLAN.

(3)2x4'S AND (3)2x6'S ARE SUFFICIENT REPLACEMENTS FOR 4x4 AND 4x6 POSTS AS LONG AS THEY ARE DOUBLED AND Nailed TOGETHER, AND JOINTS ARE STAGGERED ALONG LENGTH OF POST.

WITH (3) 16d NAILS AT 12" OC.

HEADERS AT INTERIOR BEARING WALLS TO BE (2)2x12'S UNLESS NOTED OTHERWISE.

## ROOF FRAMING

COLLAR TIES

MINIMUM SIZE: 1x6 OR 2x4, MAXIMUM SPACING 48" OC.

WHEN CEILING JOISTS DO NOT SERVE AS A TIE AT PLATE LINE OR ARE NOT BELOW THE LOWER THIRD OF RAFTERS, INSTALL CEILING JOISTS (COLLAR BEAMS) SAME SIZE AS RAFTERS ON EACH PAIR OF RAFTERS, AND USE SIMPSON, OR EQUAL, METAL ANGLE BRACKETS TO CONNECT RAFTER TO TOP PLATE.

RAKE RAFTERS

A 5-INCH MEMBER WITH DEPTH NOT LESS THAN THE CUT END OF RAFTER

VALLEY RAFTERS

MINIMUM THICKNESS: 2 INCHES, MINIMUM DEPTH: NOT LESS THAN CUT END OF JACK RAFTERS

MAY BE OMITTED WHEN JACK RAFTERS ON ONE ROOF FRAME ON SOLE PLATE ON TOP OF ROOF SHEATHING OF ADJOINING ROOF

CHIMNEYS OR CHIMNEY SADDLES AT UPPER SIZE OF ALL CHIMNEYS NOT IN CONTACT WITH RIDGE

## LUMBER

STRESS GRADE LUMBER SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (LATEST EDITION)

PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, APPLIANCES AND TUBS, AND SOLID BLOCKING UNDER PERPENDICULAR PARTITIONS

ALL FLOOR TRUSS SYSTEMS TO BE DESIGNED BY MANUFACTURER

## EMERGENCY EGRESS OPENINGS

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OBTAINABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS.

WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.

THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE WIDTH SHALL BE 20". A GRADE FLOOR WINDOW MAY HAVE A NET CLEAR OPENING OF 5 SQ. FT. IF SILL IS 44 INCHES OR LESS ABOVE GRADE.

CORNERS

ALL FRAMED CORNERS SHALL HAVE A MINIMUM OF (3) THREE STUDS

## PENETRATIONS

PENETRATIONS BETWEEN STORIES AND THE ROOF SHALL BE FIRE STOPPED AS WELL AS SOFFITS, DROPPED CEILINGS, ETC. PER 2006 IRC

NOTE!!

EXTERIOR FLASHINGS TO BE CORRECTLY INSTALLED AT ALL CONVERGENCES BETWEEN ROOFS, WALLS, FIREPLACES AND PROJECTIONS, OR AS REQUIRED BY GOOD AND COMMON CONSTRUCTION PRACTICES

GRADE CONDITIONS MAY VARY FROM THAT SHOWN, CONTRACTOR TO VERIFY FOOTING DEPTH PER INDIVIDUAL SITE CONDITIONS.

CONTRACTOR TO VERIFY FOOTING DEPTHS WITH LOCAL FROST AND/OR EXISTING SOIL CONDITIONS, WHICHEVER IS MORE RESTRICTIVE.

BUTTER AND DOWNPOUT LOCATIONS TO BE DETERMINED BY CONTRACTOR PER BUILDING AND SITE CONDITIONS. DO NOT DRAIN DOWN SPOUTS INTO WALKS OR DRIVEWAYS.

GENERAL NOTE:

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED MATERIAL.

ALL FASTENERS, HANGERS, AND FLASHING FOR PRESSURE TREATED WOOD SHALL BE COMPATIBLE WITH ACQ TREATED LUMBER.

BEAM POCKETS TO BE MINIMUM 4" WIDE x 9" DEEP, PROVIDE STEEL SHIMS AND GROUT SOLD AFTER BEAM ERECTION VERIFY DEPTH, PROVIDE MINIMUM OF 4" SOLID BEARING AT BEAM

WATER SERVICE AND SEWER LINE CLEAN OUT LOCATIONS TO BE VERIFIED IN THE FIELD

TRENCHES WITH A MINIMUM OF 10'-0" HORIZONTAL SEPARATION. WATER SERVICE LINE TO BE A MINIMUM OF 5'-0" BELOW GRADE.

KNEE WALLS

AT CRIPPLE WALLS AT STEPPED FOUNDATION PROVIDE METAL TIES AT SILL AND TOP PLATES PER SECTION R602.11.3 AND FIGURE R602.11.3

COORDINATE AND VERIFY REBAR PLACEMENT WITH BEAM POCKETS PER R404.4.1 BEAM/POST NOTE:

BEAM/POST CONNECTION TO MEET IRC R502.6 BEARING, THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NO LESS THAN 1-1/2" OF BEARING ON WOOD OR METAL, AND NOT LESS THAN 3" ON MASONRY OR CONCRETE.

MECHANICAL

PROVIDE EXTERIOR DISCONNECT WITHIN THE EXTERIOR ELECTRICAL METER CABINET

PROVIDE OUTSIDE AIR FOR COMBUSTION AT FURNACE, BOILER AND WATER HEATER

MECHANICAL LOCATIONS SHALL BE DETERMINED BY CONTRACTOR, AND MAY VARY FROM LOCATIONS SHOWN ON PLAN

## DESIGN CRITERIA

FLOOR = 40# LL 10# DL ALL AREAS EXCEPT SLEEPING AREAS

FLOOR = 40# LL 10# DL SLEEPING AREAS

WALL = 60# PLF OR ACTUAL LOAD

CEILING = 20# LL 10# DL ROOF SLOPES OVER 3 IN 12

ROOF = 30# LL 10# DL ALL SLOPES

CATHEDRAL = 30# LL 10# DL ALL SLOPES

EXT DECK = 40# LL 10# DL EXTERIOR

BALCONY = 60# LL 10# DL EXTERIOR

## STRUCTURAL FRAMING LUMBER

FLOOR JOISTS, CEILING JOISTS, HEADERS AND RAFTERS

IN-GRADE BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)

GRADE #1/#2 SPECIES SPF HEM/FIR (NORTH) CANADIAN BASE Fb 875 PSI

OR: E= 1.4 x 10<sup>6</sup> PSI REPETITIVE Fb 1006 PSI

GRADE #1/#2 SPECIES HEM/FIR (NORTH) CANADIAN BASE Fb 1000 PSI

E= 1.6 x 10<sup>6</sup> PSI REPETITIVE Fb 1150 PSI

STUDS: All 2x4's and 2x6's

IN-GRADE BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)

GRADE #2 SPECIES SPF (SOUTH) OR BETTER BASE Fb 750 PSI E = 1.1 x 10<sup>6</sup> PSI

SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM PRODUCT WITH THE

CURRENT SIZE, Fb AND E VALUES PER MANUFACTURER

MANUFACTURER TRUS JOIST MACMILLAN PRODUCT PARALLAM

SIZE VARIES Fb 2900 PSI E 2.0 X 10<sup>6</sup> PSI

MANUFACTURER TRUS JOIST MACMILLAN PRODUCT TIMBERSTRAND

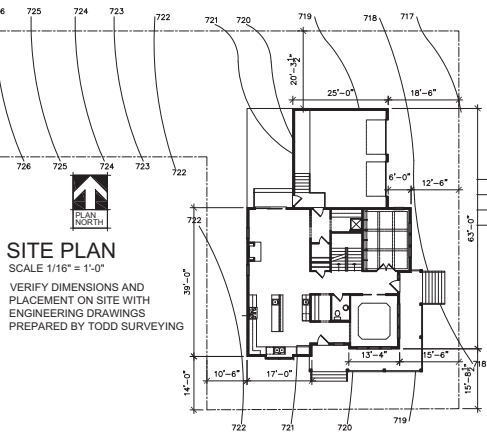
SIZE VARIES Fb 1700 PSI E 1.3 X 10<sup>6</sup> PSI

SPECIFY MANUFACTURER OF SPECIFIC I-JOISTS PRODUCT WITH SERIES NUMBER

AND SIZE OF JOISTS PER MANUFACTURER

MANUFACTURER TRUS JOIST MACMILLAN SERIES VARIES SIZE VARIES

FOLLOW MANUFACTURER'S NAILING SCHEDULE UP TO (3) MICROLANS, BOLTED WITH (4) MEMBERS



## SITE PLAN

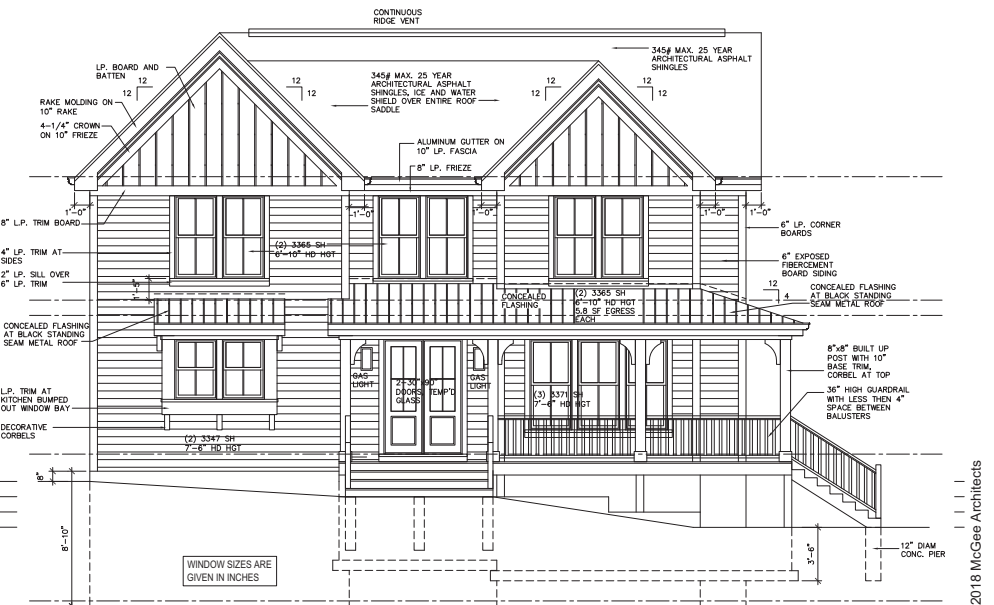
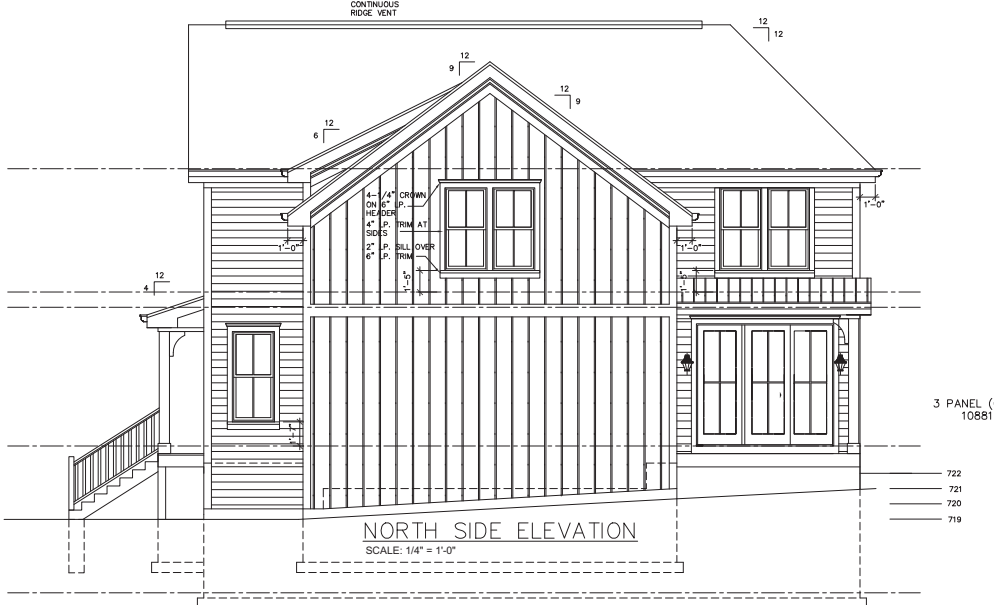
SCALE 1/16" = 1'-0"

VERIFY DIMENSIONS AND

PLACEMENT ON SITE WITH

ENGINEERING DRAWINGS

PREPARED BY TODD SURVEYING



## WINDOW NOTES

ALL GLAZING REQUIREMENTS TO FOLLOW IRC R-308 AND MANUFACTURER'S SPECIFICATIONS

WINDOW FALL PROTECTION TOSHALL BE PROVIDED IN ACCORDANCE WITH IRC SECTIONS R312.2.1 AND R312.2.2

EXTERIOR WINDOWS AND DOORS TO BE LABELED AS CONFORMING TO AAMA/ NWDA 101/1.5.2 OR 101/1.5.2/NAFS

LABEL SHALL STATE MANUFACTURER, APPROVED LABELING AGENCY AND THE PRODUCT DESIGNATION

## SOUTH SIDE ELEVATION

SCALE: 1/4" = 1'-0"

PLANS BASED ON DESIGN  
BY NORRIS ARCHITECTS, INC.

2018-720

MJM	4-11-18
MJM	4-14-18

DATE: 4-4-18

cell: 847.204.3971  
mgsearch@gmail.com

P.O. Box 460  
Batavia, IL 60510

McGee Architects

Kuschel Residence  
921 S. 4th Street  
St. Charles, IL

630) 675-4017

Builders  
P.O. BOX 4133  
ST. CHARLES, ILLINOIS

4-14-18  
EXP: 11-30-18

SHEET NUMBER:

A1

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HVAC NOTE!

- ALL DUCTWORK LOCATED IN UNCONDITIONED ATTICS MUST BE PROVIDED WITH MINIMUM R-8 INSULATION. ALL OTHER DUCTS IN UNCONDITIONED SPACES SHALL HAVE A MINIMUM R-8 INSULATION.
- ALL DUCTS, AIRHANDLERS FILTER BOXES SHALL BE SEALED
- BUILDING FRAMING CANNOT BE USED AS AIR SUPPLY OR RETURN DUCTS
- WOOD BURNING PREPLACES MUST HAVE GASKETED DOORS AND BE SUPPLIED WITH OUTSIDE COMBUSTION AIR
- PROVIDE EXTERIOR DISCONNECT WITHIN THE EXTERIOR ELECTRICAL METER CABINET
- PROVIDE OUTSIDE AIR FOR COMBUSTION AT FURNACE, BOILER AND WATER HEATER
- MECHANICAL LOCATIONS TO BE DETERMINED BY CONTRACTOR, AND MAY VARY FROM LOCATIONS SHOWN ON PLAN
- BLUHER DOOR TEST REQUIRED PER SECTION R402.4.3.2
- MINIMUM OF ONE (1) THERMOSTAT CONTROLLING HVAC SHALL BE PROGRAMMABLE, CAPABLE OF CONTROLLING SYSTEM ON A DAILY BASIS PER 2012 IECC R403.1.1
- BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS IRC OR IBC, OUTDOOR AIR INTAKES AND EXHAUST SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN SYSTEM IS NOT OPERATING PER 2012 IECC R403.5

#### ELECTRICAL NOTES

- PROVIDE ARC FLASH WARNING PER NEC 110.16, IDENTIFY DEGREE OR LEVEL OF POTENTIAL FLASH HAZARD PRESENT IN THE INSTALLATION SO THAT THE APPROPRIATE FLASH PROTECTION CLOTHING WILL BE WORN
- PROVIDE (2) 20 AMP CIRCUITS FOR KITCHEN COUNTER OUTLETS
- PROVIDE DEDICATED CIRCUITS FOR DISHWASHER, DISPOSAL AND BUILT IN MICROWAVE
- ALL RECESSED LIGHTING FIXTURES IN THE BUILDING THERMAL ENVELOPE MUST BE IC RATED AND SEALED
- WITH FORCED AIR HVAC SYSTEM, PROVIDE MINIMUM OF ONE PROGRAMMED THERMOSTAT
- MINIMUM OF 75% OF ALL LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICIENCY, IC RATED AND HAVE GASKETS AT THE CEILING
- WORKING CLEARANCE AROUND ELECTRICAL EQUIPMENT, 600 VOLTS OR LESS, SHALL BE 30" WIDE IN FRONT OF ELECTRICAL EQUIPMENT AND 3'-0" DEEP FROM THE ELECTRICAL EQUIPMENT
- GROUNDING FOR SERVICE DISTRIBUTION PANELS TO GO TO STREET SIDE OF WATER METER AND BE SO IDENTIFIED
- LOCATION OF 1/2" CONDUIT FOR REMOTE WATER METER TO BE COORDINATED WITH CITY WATER DEPARTMENT
- ALL WIRING 25 VOLTS OR GREATER IN NEW CONSTRUCTION SHALL BE CONVEYED THROUGH RIGID METAL CONDUIT. FIVE IS NOT ALLOWED
- VENT ALL BATH EXHAUST FANS TO THE EXTERIOR
- CEILING FAN J-BOXES MUST BE RATED AND APPROVED FOR FAN SUPPORT
- PROVIDE TAMPER RESISTANT WALL RECEPTACLE OUTLETS IN ALL BEDROOMS
- PROVIDE AN NEUTRAL WIRE AT EACH SWITCH BOX LOCATION
- ALL RECEPTACLES REQUIRE A FUGITAL GROUNDING WIRE TO THE BOX
- PROVIDE A GROUNDING WIRE IN ALL RACEWAYS

#### PLUMBING NOTES

- WATER SERVICE AND BUILDING DRAIN OR SEWER TO BE INSTALLED IN SEPARATE TRENCHES WITH A MINIMUM OF 10" HORIZONTAL SEPARATION. WATER SERVICE LINE SHALL BE A MINIMUM OF 5'-0" IN DEPTH BELOW GRADE

#### CONCRETE NOTE

- PORCHES, STEPS EXPOSED TO WEATHER AND GARAGE FLOOR SLAB SHALL HAVE CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AND SHALL BE AIR ENTRAINMENT NOT LESS THAN 5% OR MORE THEN 7%
- ALL CRACKS, JOINTS, CAPS, OPENINGS LIDS AND PENETRATIONS IN FOUNDATION WALLS AND FLOORS MUST BE SEALED
- FOUNDATION WATERPROOFING SYSTEM SHALL BE IN PLACE BEFORE ANY FINISHED BASEMENT WORK IS STARTED. ALL FRAMING IN CONTACT WITH CONCRETE SHALL BE OF TREATED LUMBER

#### GENERAL NOTE:

- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED MATERIAL
- ALL FASTENERS, HANDLERS, AND FLASHING FOR PRESSURE TREATED WOOD SHALL BE COMPATIBLE WITH ACO TREATED LUMBER
- BEAM POCKETS TO BE MINIMUM 4" WIDE x 9" DEEP, PROVIDE STEEL SHIMS AND GROUT SOLID AFTER BEAM ERECTION VERIFY DEPTH, PROVIDE MINIMUM OF 4" SOLID BEARING AT BEAM
- WATER SERVICE AND SEWER LINE CLEAN OUT LOCATIONS TO BE VERIFIED IN THE FIELD
- WATER SERVICE AND BUILDING DRAIN, OR BUILDING SEWER, TO BE INSTALLED IN SEPARATE TRENCHES WITH A MINIMUM OF 10'-0" HORIZONTAL SEPARATION. WATER SERVICE LINE TO BE A MINIMUM OF 5'-0" BELOW GRADE

#### RADON VENT NOTE:

ELECTRICIAN SHALL PROVIDE 2" PIPE/ ELECTRICAL BOX IN ATTIC FOR FUTURE IN-LINE FAN. PLUMBER TO INSTALL PASSIVE PIPE SYSTEM TO VENT BASEMENT SUB-SLAB RADON THROUGH ROOF PER LOCAL CODE. MARK/ IDENTIFY PIPING ON EACH LEVEL. PROVIDE MIN. 3" PIPE LABELED "RADON REDUCTION SYSTEM". SUMP PIT TO BE SEALED. ALL CRACKS AND PENETRATIONS TO BE SEALED. LAP V.B. UNDER SLAB 12" MIN. AT ALL SEAMS.

#### BACKFILLING NOTE:

CONTRACTOR SHALL NOT BACKFILL UNTIL THE SLAB HAS BEEN POURED, ALL CONCRETE HAS REACHED SUFFICIENT STRENGTH AND FLOOR DECK IS FRAMED WITH SUBFLOOR INSTALLED. SILL PLATES BOLTED TO THE FOUNDATION WALL AND JOISTS NAILED TO THE SILL PLATE. ALTERNATIVELY, BACKFILLING MAY BE COMPLETED AFTER ALL FOUNDATION WALLS HAVE BEEN ADEQUATELY BRACED PER SITE AND SOIL CONDITIONS.

#### KNEE WALLS

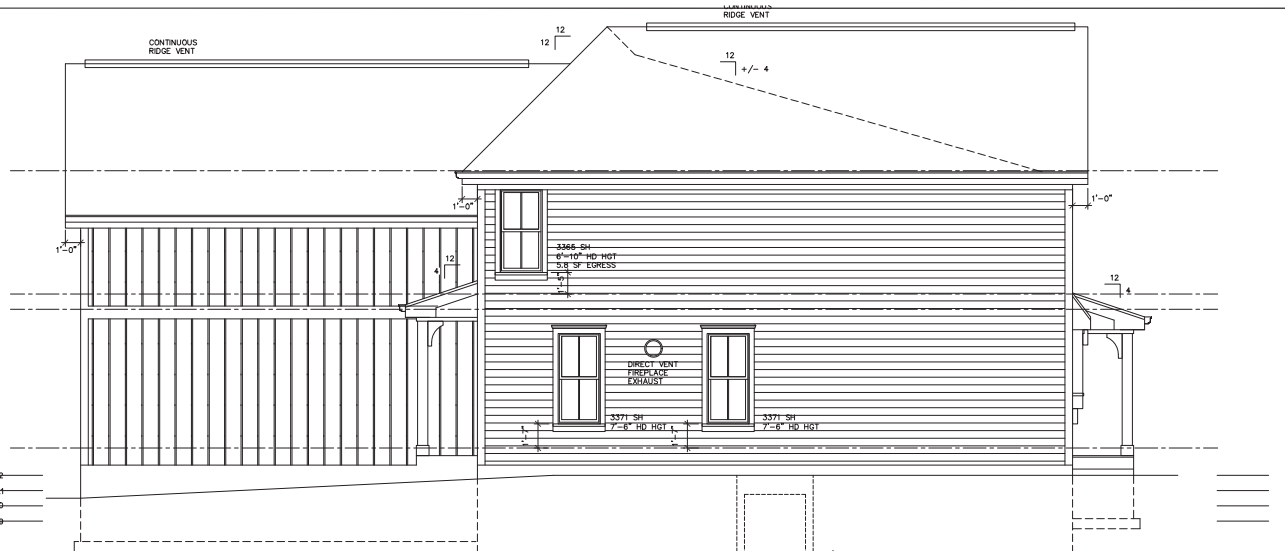
- AT ORIPPLE WALLS AT STEPPED FOUNDATION PROVIDE METAL TIES AT SILL AND TOP PLATES PER SECTION R602.11.3 AND FIGURE R602.11.3
- COORDINATE AND VERIFY REBAR PLACEMENT WITH BEAM POCKETS PER R404.4.6.1

#### BEAM POST NOTE:

BEAM/ POST CONNECTION TO MEET IRC R502.6 BEARING. THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NO LESS THEN 1-1/2" OF BEARING ON WOOD JOIST OR METAL AND NOT LESS THEN 3" ON MASONRY OR CONCRETE.

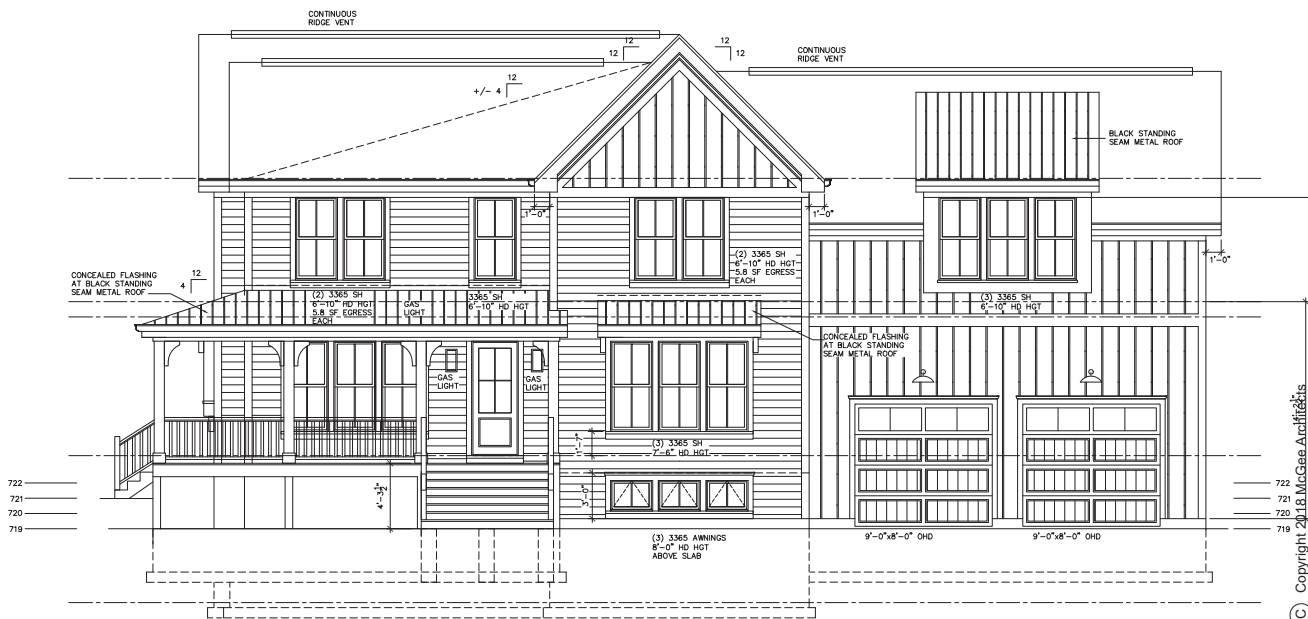
#### AC NOTES:

- A/C UNIT W/ DISCONNECT 40 AMP RATING 120/240V 1PH.
- A/C RATED TO 4 TON / 13 SEER VERIFY W/ HVAC
- HANG FROM FEN WALL BY STL. ANGLE-IRON BRACKETS BOLTED TO FOUNDATION WALL.
- PROVIDE WEATHERPROOF FUSED DISCONNECT FOR A/C CONDENSING UNIT, PER MFR.
- PRECIS. MIN. 10" WIDE CLEAR ACCESS IN FRONT OF THE DISCONNECT
- A/C DISCONNECT CANNOT BE ON THE COMPRESSOR ACCESS PANEL PER NEC 440.14
- DIRECT VENT FURNACE AND WATER HEATER TO BE INSTALLED AND VENTED PER MFR SPECIFICATIONS



### WEST SIDE ELEVATION

SCALE: 1/4" = 1'-0"



### EAST SIDE ELEVATION

SCALE: 1/4" = 1'-0"

PLANS BASED ON DESIGN BY NORRIS ARCHITECTS, INC.

1018-720

MJM	4-11-18
MJM	4-14-18

DATE: 4-4-18

cell: 847.204.3971  
mgsearch@gmail.com

P.O. Box 460  
Balaia, IL 60510

**McGee Architects**

Kuschel Residence  
921 S. 4th Street  
St. Charles, IL

**Derisco**

BUILDERS

P.O. BOX 4133 ST. CHARLES, ILLINOIS (630) 675-4017



SHEET NUMBER:  
**A2**

# APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)



COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT/CITY OF ST. CHARLES

(630) 377-4443

## APPLICATION INFORMATION

Permit #: 18 27509 - Demo  
18 -- 27510 - House Date Submitted: 2 / 19 / 18 COA # 18 -- 10

Address of Property: 21 S. 4th St.

Applicant: Zach Derrico

Use of Property: ☐ Commercial, business name: \_\_\_\_\_

☒ Residential ☐ Other: \_\_\_\_\_

Type of Work (Check All That Apply):

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> Exterior Alteration/Repair | <input checked="" type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Demolition        |
| <input type="checkbox"/> Windows                    | <input type="checkbox"/> Primary Structure           | <input checked="" type="checkbox"/> Primary Structure |
| <input type="checkbox"/> Doors                      | <input type="checkbox"/> Additions                   | <input type="checkbox"/> Garage/Outbuilding           |
| <input type="checkbox"/> Siding - Type: _____       | <input type="checkbox"/> Deck/Porch                  | <input type="checkbox"/> Other: _____                 |
| <input type="checkbox"/> Masonry Repair             | <input type="checkbox"/> Garage/Outbuilding          | <input type="checkbox"/> Relocation of Building       |
| <input type="checkbox"/> Other: _____               | <input type="checkbox"/> Other: _____                |   |
| <input type="checkbox"/> Awnings/Signs              |  |   |

Description:

Demo existing home + construct new single-family home.

## HISTORIC COMMISSION APPROVAL

The Historic Preservation Commission hereby issues a Certificate of Appropriateness (COA) authorizing the issuance of a building permit for the proposed work in accordance with the attached plans and any approval conditions, if attached hereto.

SEOS  
Chairman Signature

2/28/18  
Date

### Approved:

- ☒ As presented  
☐ Subject to conditions  
☒ Complete project scope only  
(all elements must be included)

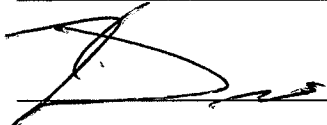
**CONDITIONS OF COA APPROVAL**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_
5. \_\_\_\_\_
6. \_\_\_\_\_
7. \_\_\_\_\_
8. \_\_\_\_\_
9. \_\_\_\_\_
10. \_\_\_\_\_

**APPLICANT/AUTHORIZED AGENT SIGNATURE**

I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA Terms and Conditions.

Print Name: Zach Derrico

Signature: 

Date: 2/28/18

Company: Derrico Builders

Applicant/Agent is (check all that apply):

- ☐ Permit Applicant
- ☐ Property Owner
- ☐ Business Tenant
- ☒ Project contractor
- ☐ Architect/Designer

# **Historic Preservation Certificate of Appropriateness (COA) Terms and Conditions**

***If you have any questions on the information listed below, contact the City of St. Charles Planning Division at 630-377-4443.***

## **General Conditions:**

1. The person signing the COA form is responsible for communicating the Terms and Conditions listed herein to all contractors for the project.
2. Design, materials and construction methods shall be as shown on the Certificate of Appropriateness, either in the conditions or on the attached plans.
3. The COA approval is limited to the scope of work documented in the plans.
4. No visible or concealed structural elements or historic features may be modified or removed unless identified in the COA approval.
5. Any historic materials that are inadvertently lost or damaged during construction without COA approval must be replaced to the preconstruction condition at the expense of the owner.

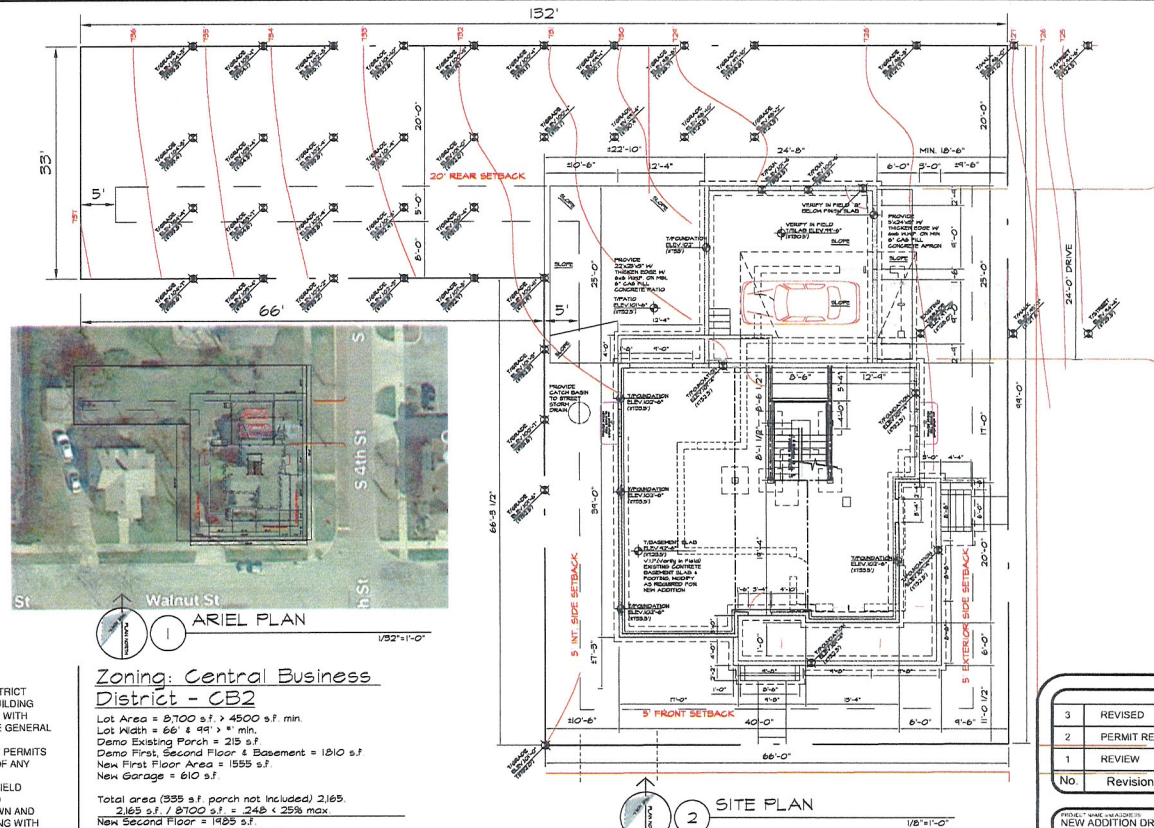
## **What to do if you encounter unforeseen issues during construction, or if a change to the project is being considered:**

1. Stop work until a revised COA approval is received. Do not discard any materials- All materials must be stored on site until a new COA review is conducted.
2. Contact the City of St. Charles Planning Division immediately- 630-377-4443. City staff can contact the Historic Preservation Commission Chairman to seek direction. If the issue is of an urgent nature, a special commission meeting can be scheduled at the discretion of the Chairman. The Historic Commission can meet with a minimum of 48 hour notice.
3. Removal of structural elements or historic features without a COA approval is only permitted where the City has determined there is an imminent safety risk. This determination must be made by the City's Building and Code Enforcement Division- 630-377-4406.
4. In the event that any structural elements or historic features must be, or have been removed or dismantled for safety reasons:
  - a. Any deterioration of structural elements or historic features shall be documented by physical or photographic evidence.
  - b. All materials shall be stored on site until a COA review is conducted – do not discard any materials.



# New Addition for : Kuschel Residence

21 South 4th Street,  
St. Charles, Illinois 60174



## GENERAL REQUIREMENTS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS.

THE CONTRACTOR, AT HIS EXPENSE, SHALL FURNISH, INSTALL, MAINTAIN, RELOCATE AND REMOVE ALL SIGNS, SIGNALS, PAVEMENT MARKINGS, TRAFFIC CONES, BARRICADES, AND WARNING LIGHTS NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND WORKERS.

BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK, THE CONTRACTOR AND/OR EACH SUBCONTRACTOR SHALL VERIFY DIMENSIONS AND ELEVATIONS AT THE SITE AND BE RESPONSIBLE FOR THE CORRECTNESS OF SAME RELATING TO EXISTING UTILITIES, STORM SEWERS, WATER MAINS, FIELD TILES, ROADWAYS, CURBS AND GUTTER, ETC. IF ANY DEVIATIONS ARE NOTED, THEY SHALL BE REPORTED TO OWNER'S ENGINEER PRIOR TO PROCEEDING WITH THE WORK.

BEFORE ACCEPTANCE, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER OR THEIR REPRESENTATIVE AND THE COUNTY OF KANE.

THE CONTRACTOR MUST ASSUME ALL RISKS AS TO THE NATURE AND QUALITY OF THE SOIL FOR EXCAVATIONS, TRENCHING, AND TUNNELING, INCLUDING ITS CONDITIONS AS TO THE PRESENCE OR ABSENCE OF WATER. THE CONTRACTOR SHALL DO ALL SHORING, BRACING, PUMPING AND BAILING, BUILDING UP DAMS AND DRAINS, AND DO ALL WORK TO KEEP EXCAVATIONS, TRENCHES, ETC. CLEAR OF GROUNDWATER, STORM WATER, OR SEWER DURING THE PROGRESS OF WORK.

ALL EXISTING SIGNS, MONUMENTS, ETC. WHICH INTERFERE WITH CONSTRUCTION SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR. THIS WORK SHALL BE CONSIDERED INCIDENTAL.

CONTRACTORS ARE CAUTIONED AGAINST INSTITUTING ANY CHANGES OR SUBSTITUTIONS TO THE PROJECT AS REPRESENTED BY THESE DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL BY THE OWNER. DEVIATION TO THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR CONSENT MAY BE CAUSE FOR THE WORK TO BE DEEMED UNACCEPTABLE. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

## GENERAL NOTES

1. ALL DESIGN AND WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH FEDERAL, STATE, AND LOCAL BUILDING CODE REQUIREMENTS, EXECUTED IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO INSURE THE PROCUREMENT OF ALL REQUIRED AND NECESSARY PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY WORK.

CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE WORK IS FEASIBLE AS SHOWN AND MEETS ALL APPLICABLE CODES BEFORE PRECEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR ANY COORDINATION ISSUES, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM OWNER AND ARCHITECT.

OWNER TO PROVIDE AND INSTALL FIRE EXTINGUISHERS AS REQUIRED BY THE LOCAL FIRE CODES.

THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING EXISTING CONDITIONS AT THE JOB SITE BEFORE SUBMITTING PROPOSALS. SUBMISSION OF PROPOSALS SHALL BE TAKEN AS EVIDENCE THAT SUCH INSPECTIONS HAS BEEN MADE.

5. APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDUM AND CHANGE ORDERS IN GOOD CONDITION ON THE PREMISES AT ALL TIMES.

6. CONTRACTOR SHALL CLARIFY ANY DISCREPANCIES WITH ARCHITECT AND OWNER PRIOR TO COMMENCING WORK.

7. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HERE OR NOT) AND PROTECT THEM FROM DAMAGE.

8. SUBMIT INSTALLATION, OPERATION AND WARRANTY MANUALS FOR ALL EQUIPMENT FURNISHED WHICH REQUIRES PERIODIC ADJUSTMENT OR MAINTENANCE.

9. ANY PRODUCT OR MATERIAL NOT SPECIFIED, BUT REQUIRED, MUST BE SUBMITTED TO AND APPROVED BY ARCHITECT.

Zoning: Central Business  
District - CB2

Lot Area = 8,700 s.f. > 4500 s.f. min.  
Lot Width = 66' & 44' > 4' min.  
Demo Existing Porch = 215 s.f.  
Demo First, Second Floor & Basement = 1810 s.f.  
New First Floor Area = 1555 s.f.  
New Garage = 610 s.f.

Total area (335 s.f. porch not included) 2,165.  
2,165 s.f. / 8700 s.f. = .248 < 25% max.  
New Second Floor = 1835 s.f.  
Total New Floor Area = 3340 s.f.  
Grand Total Floor Area 4,485 s.f. w/ Garage 610 s.f. & Porch 335 s.f.  
Yards = Front Yard 15'  
Side yard adjoining a street 15'  
Rear Yard 20'  
Two side yards having a combined width of 5'.  
Driveways not to exceed 24' = (8' Exist South to be removed) + 24' New East Drive  
Allowable Building Height = 40 ft. to Ridge > New Project Ridge 42'-6"

## BUILDING DATA

### NEW:

Use Group: R3  
Construction Type: Type 5B Unprotected  
Occupancy: Residential  
Floor = 40# LL / 20# DL - All Areas Except Sleeping Area  
Floor = 30# LL / 20# DL - Sleeping Area  
Wall = 60# PLF OR ACTUAL LOAD  
Ceiling = 20# LL / 15# DL - Roof Slopes over 3 in 12  
Ceiling = 20# LL / 15# DL - Roof Slopes in 3 in 12 or less  
Roof = 30# LL / 25# DL - All Slopes  
Cathedral = 60# LL / 25# DL - All Slopes  
Decks Exterior = 40# LL / 15# DL  
Balcony Exterior = 60# LL / 15# DL

## DRAWING INDEX:

CS Cover Sheet  
D1.0 Demolition Plan & Elevation  
S1.0 Basement Plan  
A1.0 First Floor Plan  
A1.1 Second Floor Plan  
A1.2 Roof Plan  
A2.0 Elevations

"HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE ATTACHED APPLICATION AND ANY PORTION OF THE PLANS PREPARED BY ME ARE COMPLETE AND IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE LOCAL CODE ANY APPLICABLE STATE OR FEDERAL LAWS, AS OF THE DATE."

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3	REVISED	*
2	PERMIT REVIEW	2/20/18
1	REVIEW	12/14/16
No.	Revision/Issue	Date

PROJECT NAME: NEW ADDITION

NEW ADDITION DRAWINGS FOR:

Pam & Mike Kuschel  
21 South 4th Street  
St. Charles, Illinois 60174

NOI NAME: NORRIS ARCHITECTS

Norris Architects Inc.  
209 Auburn Court  
St. Charles, Illinois 60174  
Ph. # 630/476-0044

PROJECT NO.

Cover Sheet  
& Details

PLOT DATE:

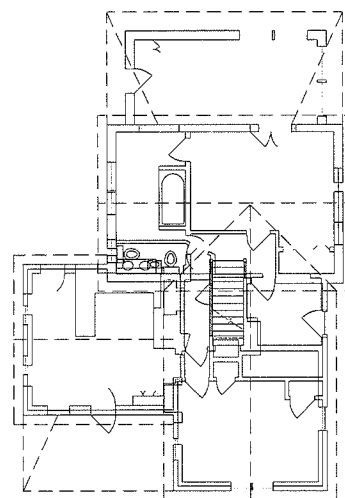
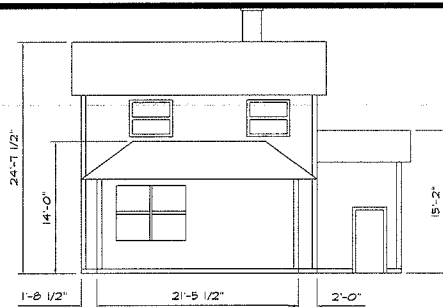
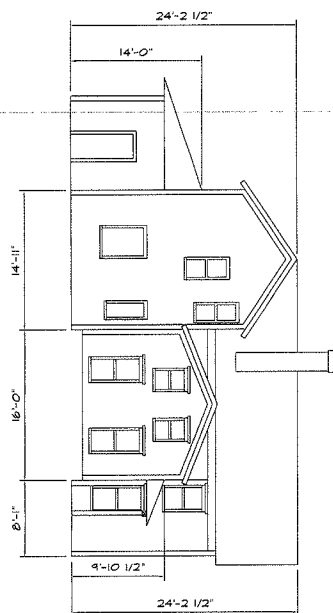
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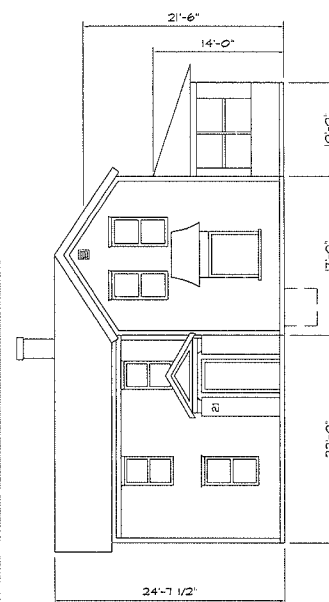
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REMOVE EXISTING STRUCTURE INCLUDING FOUNDATION,  
PREP EXISTING UTILITIES FOR NEW STRUCTURE.



DEP/PLT REVIEW

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PROJECT NAME: NEW ADDITION DRAWINGS FOR:  
Pam & Mike Kuschel  
21 South 4th Street  
St. Charles, Illinois 60174

PROJECT NO.: 18-001  
Norris Architects Inc.  
209 Auburn Court  
St. Charles, Illinois 60174  
Ph. # 630/476-0044

PROJECT: Demopition Plan & Details

PLOT DATE: 2/20/18

FTLN & LN: D1.0  
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2 SOUTH ELEVATION

3/16"=1'-0"



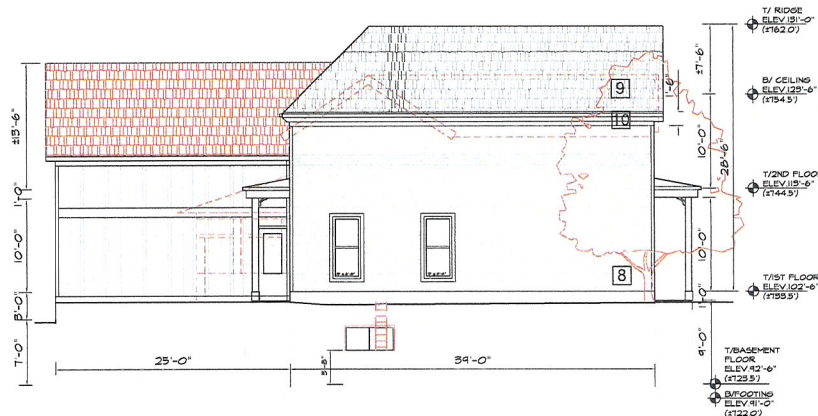
1 EAST ELEVATION

3/16"=1'-0"



3 NORTH ELEVATION

3/16"=1'-0"



4 WEST ELEVATION

3/16"=1'-0"

# KEY NOTES:

1. TYPICAL FOUNDATION SHALL CONSIST OF CONCRETE TO BE VERIFIED THAT SOIL CAP IS 2000 P.S.I. OR GREATER AT ACTUAL FOOTING LOCATION. CONTACT ARCHITECT WITH DIFFERENT RESULTS. 1" OF FOUNDATION SHALL BE ANCHOR BOLTS TO BE NOTED IN FIELD AND CONTINUOUS 18 BARS TO BE REQUIRED ADDITIONAL 1" CONTINUOUS 18 BARS IN FIELD. LONGITUDINAL 18 BARS @ 24" O.C. - OPTIONAL. REINFORCEMENT IN FOOTING IS 30" x 8" STEEL BARS KEPT INTO THE BEARING SOIL. 18" (2) CONTINUOUS 18 BARS. FOUNDATION SHALL BE MIN. OVER 1" OF EXISTING PERIMETER DRAIN / SUMP PUMP & MODIFY AS REQUIRED.
2. CONCRETE SLABS SHALL BE 12" MIN. THICK. PROVIDE 1" OF POLY VAPOR BARRIER OVER 4" COMPACTED GRANULAR FILL. PROVIDE 1" DRAIN AT OUTSIDE DOOR STOP.
3. PROVIDE NEW SERVICES V.I.F.
4. TYPICAL FOUNDATION FLOOR CONSIST OF 4" CONC. SLAB AND 1" OF POLY VAPOR BARRIER OVER 4" COMPACTED GRANULAR FILL. PROVIDE 1" DRAIN AT OUTSIDE DOOR STOP.
5. TYPICAL DRAINAGE: EXTERIOR FOUNDATION WALL SHALL BE DRAINPROOFED BY APPLYING A COAT OF DRAINAGE MATERIAL APPLIED PER MANUFACTURER'S RECOMMENDATIONS. 1" MIN. NO. PERIMETER FLOOR INSULATION OR APPROVED EQUAL.
6. TYPICAL SILL SLATE & ANCHOR BOLT CONSIST OF 2" x 4" TREATED SILL PLATE IN TIGHT PROTECTION FROM TREATMENT OF FOUNDATION (SILLER) OR SILL SEALER IN 1/2" @ ANCHOR BOLTS @ 6'-0" O.C. 1" INTO CONCRETE NOT MORE THAN 12" FROM CORNER MIN. 2 BARS PER SECTION.
7. TYPICAL FLOOR CONSTRUCTION: FINISH FLOOR ON APA RATED 24" T&G PLYWOOD (GRADE AND SERVED) TO FLOOR JOISTS SEE PLAN FOR TYPE. INSTALLED PER P.F.O. SPECIFICATIONS AND REQUIREMENTS.
8. TYPICAL WALL CONSTRUCTION: GEMENTED ROOFING PER OTHER SELECTION IN 1/2" AIRSPACE OVER 1/2" T&G ALL CORNERS & 2-STORY WALLS 1/2" OSB REINFORCED BY 1" TYPICAL. EXTERIOR WALLS 1/2" OSB REINFORCED BY 1" TYPICAL. PROVIDE WALL BREAKER AT ALL CORNERS OF MIN. THERMAL RESISTANCE IN 1/2" INSULATION. VAPOR BARRIER 1/2" MIN. OVER CORNER AND DRAIN.
9. TYPICAL ROOF CONSTRUCTION: ROOFING SHINGLES - MIN. 30 LBS PER SQUARE ASPHALT/SHINGLE INSTALL PER MANUFACTURE REQUIREMENTS WITH 30 YEAR WARRANTY OR 50 LB FELT UNDERLAYMENT ON APA RATED 1/2" OSB. FOR THE ROOF SHINGLES BY METAL, SHIP ON HANGERS SEE PLAN FOR TYP. / BRACING AS REQUIRED BY MIN. THERMAL RESISTANCE IN 1/2" INSULATION. HANGERS, T&G OSB. ALUMINUM 1/2" TYP. HANGERS 1" CONTINUOUS "SHIMBLEVENT" RIDGE VENT PROVIDE VALLEY FLASHING.
10. TYPICAL FACIA CONSTRUCTION: TO MATCH EXISTING OR TRY CORNER FACIA 1/2" THICK PLY WITH CONTIGUOUS OUTERS SCAINED IN SOFFIT VENTS.
11. TYPICAL FLASHING CONSTRUCTION: DRAINAGE FLASHING 22.5 LBS REQUIRED 1/2" ICE AND WATER SHIELD INSTALL PER MANUFACTURE REQUIREMENTS.
12. HVAC SYSTEM AND INSTALL PER MANUFACTURE REQUIREMENTS AND PER LOCAL CODES. VERIFY FINAL LOCATION IN OVER.

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PROJECT NAME - NEW ADDITION DRAWINGS FOR:  
Pam & Mike Kuschel  
21 South 4th Street  
St. Charles, Illinois 60174

PROJECT NAME - NORRIS ARCHITECTS  
Norris Architects Inc.  
209 Auburn Court  
St. Charles, Illinois 60174  
Ph. 630/478-0044

Elevations  
& Details

PLOT DATE:  
2/20/18

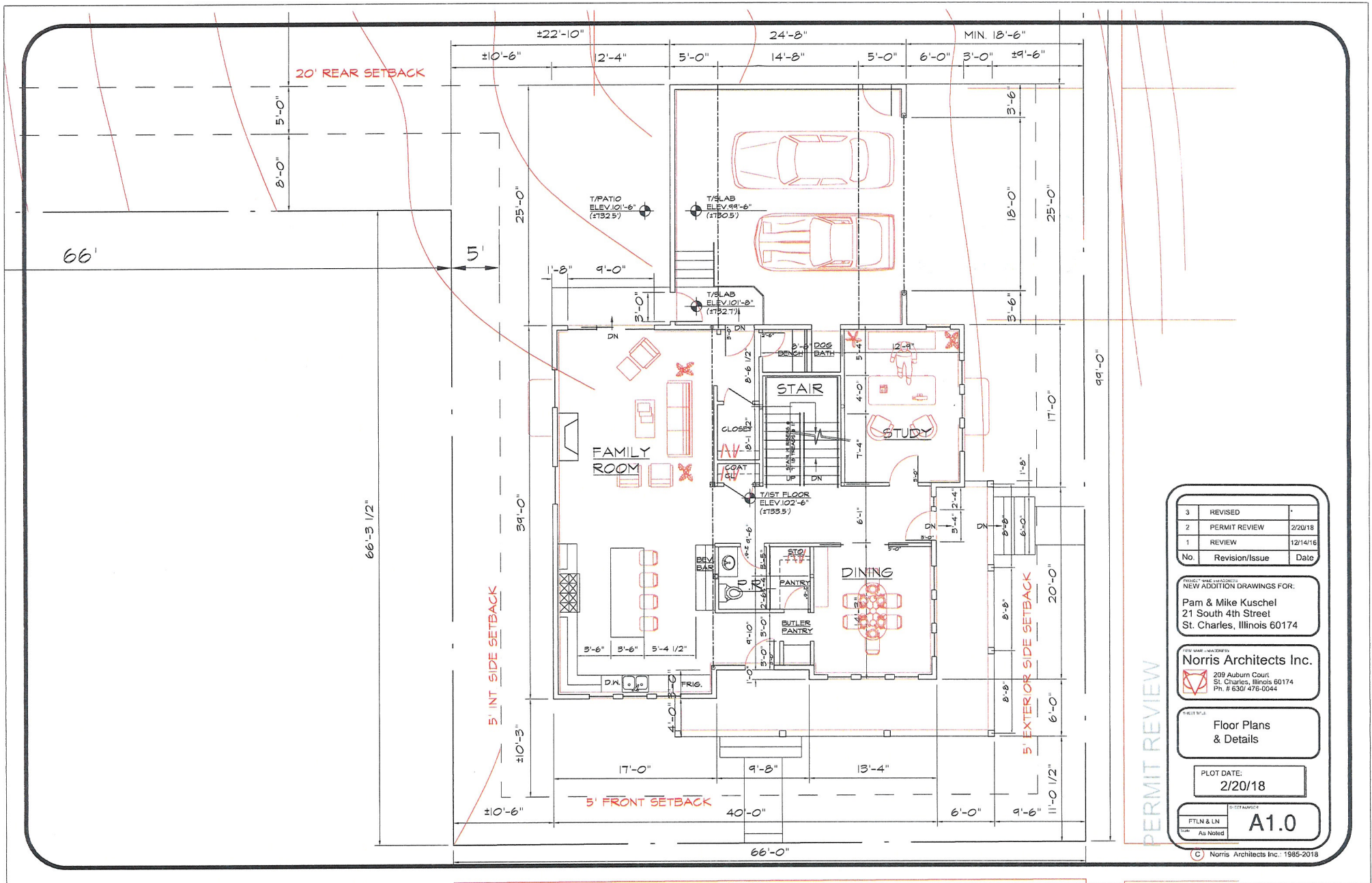
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PERMIT REVIEW







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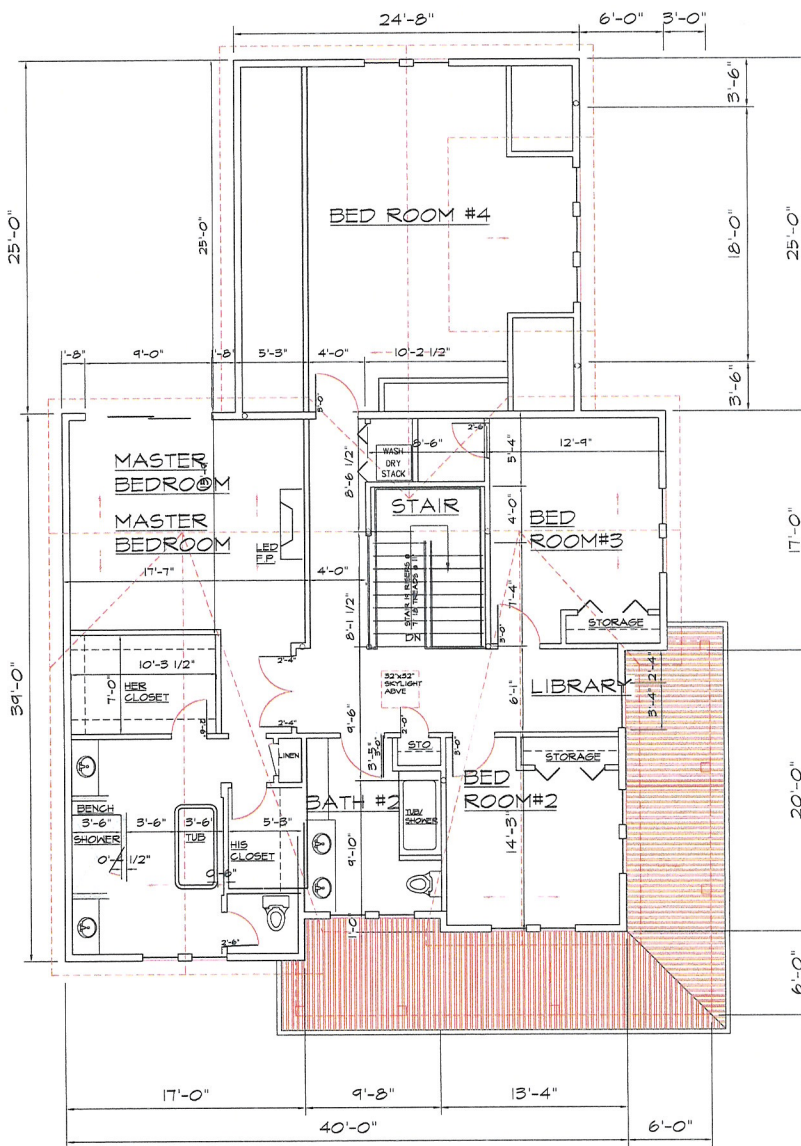
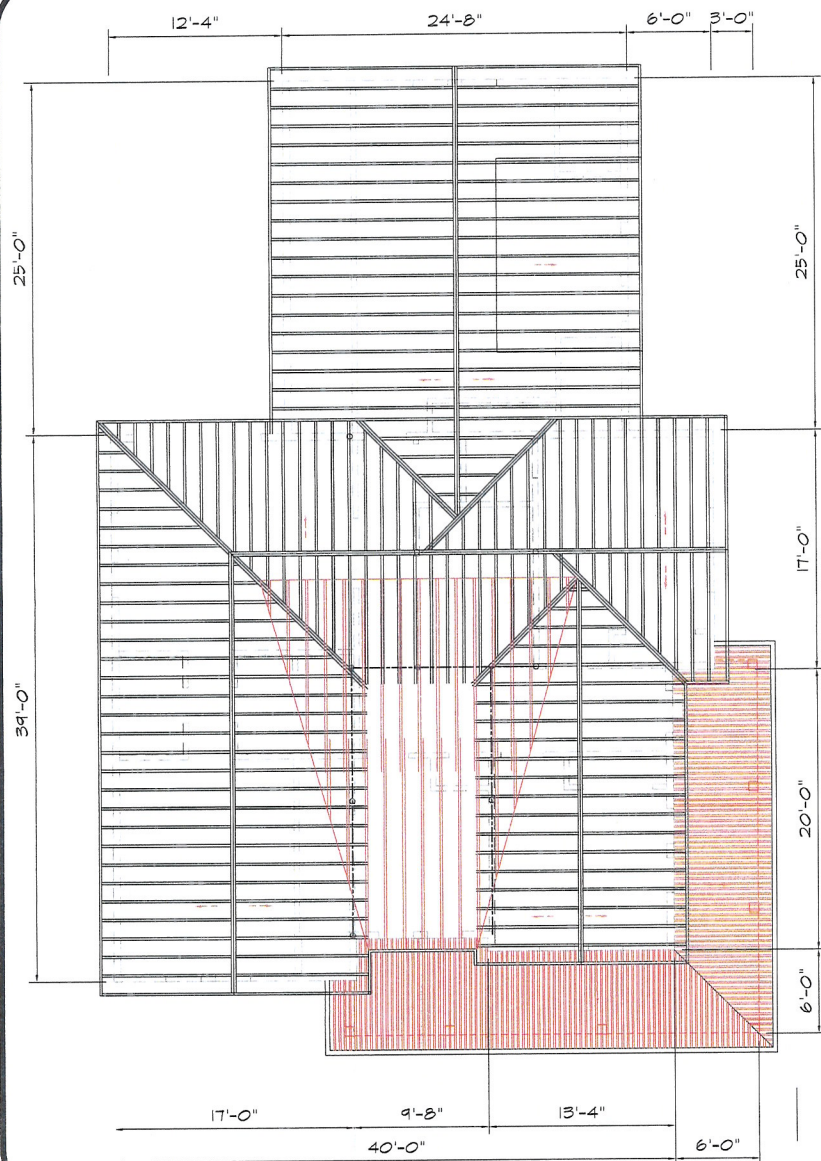
DESIGNER: Norris Architects Inc.  
209 Auburn Court  
St. Charles, Illinois 60174  
Ph. # 630/476-0044

Floor Plans & Details

PLOT DATE: 2/20/18

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As Noted  
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 St. Charles, Illinois 60174

DESIGNER: NORRIS ARCHITECTS INC.  
 209 Auburn Court  
 St. Charles, Illinois 60174  
 Ph. # 630/ 476-0044

SHEET TITLE:  
 Second Floor  
 Plan

PLOT DATE:  
 2/20/18

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