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|---|---|--|-------------------------------|----------|
|  | HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY | | | |
| | Agenda Item Title/Address: | COA: 21 S. 4 th St. | | |
| | Proposal: | Demolition and construction of a new single-family house | | |
| | Petitioner: | Zach Derrico | | |
| Please check appropriate box (x) | | | | |
| | PUBLIC HEARING | | MEETING 2/28/18 | X |
| AGENDA ITEM CATEGORY: | | | | |
| <input checked="" type="checkbox"/> | Certificate of Appropriateness (COA) | | Façade Improvement Plan | |
| <input type="checkbox"/> | Preliminary Review | | Landmark/District Designation | |
| <input type="checkbox"/> | Discussion Item | | Commission Business | |
| ATTACHMENTS: | | | | |
| Aerial photo | | | | |
| Architectural survey (1994) | | | | |
| Architectural plans | | | | |
| EXECUTIVE SUMMARY: | | | | |
| <p>At the 2/21/18 meeting, the Commission reviewed a COA proposal to demolish the the house at 21 S. 4th Street and construct a new house on the lot.</p> <p>In preliminary discussions regarding this project, the Commission was reviewing the project as an addition to the existing house, and demolition of the building was not anticipated.</p> <p>The item was tabled in order for the Commissioners to visit the house to observe the condition of the existing structure.</p> | | | | |
| RECOMMENDATION / SUGGESTED ACTION: | | | | |
| Provide feedback and recommendations on approval of the COA. | | | | |



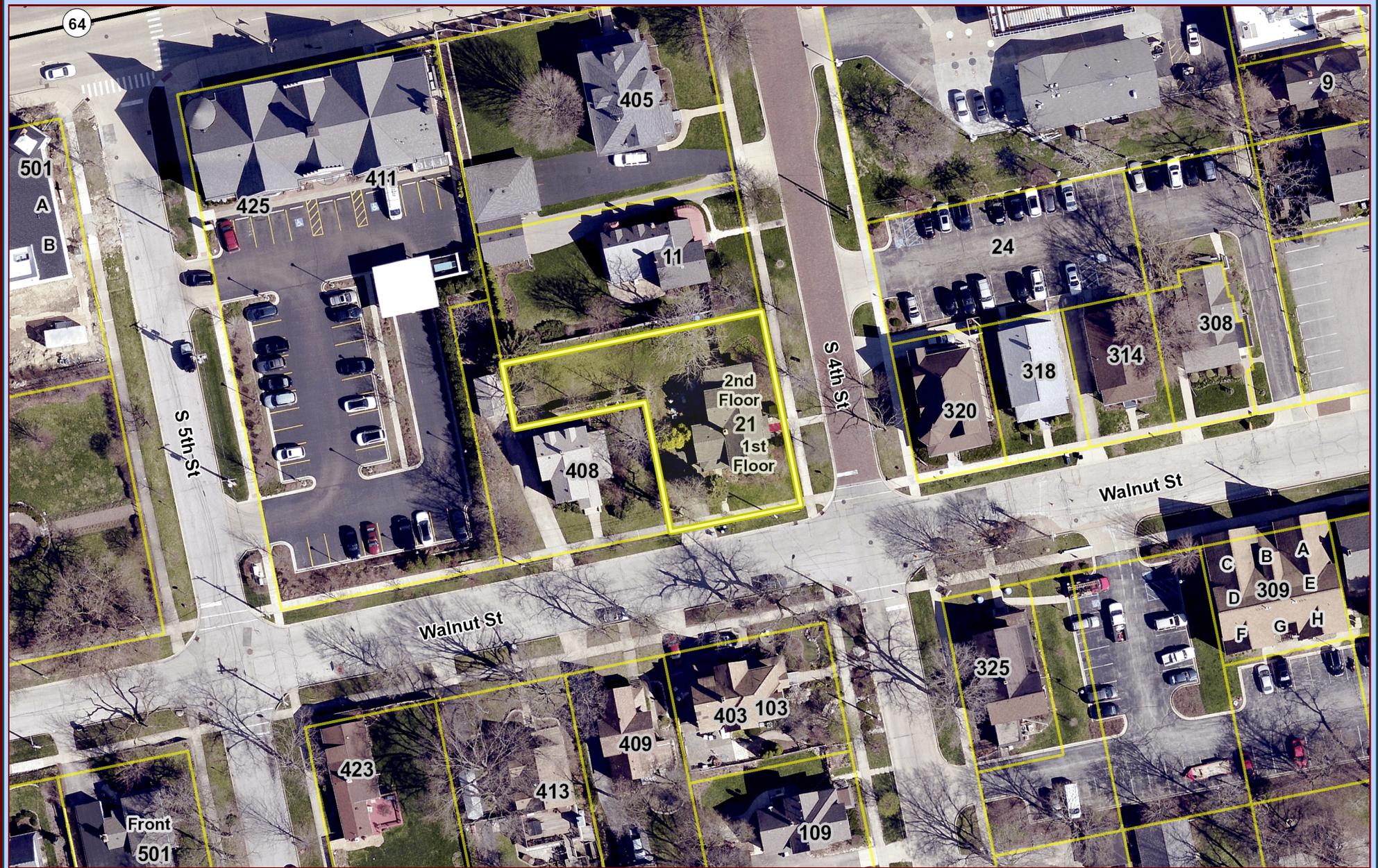
City of St. Charles, Illinois

Two East Main Street St. Charles, IL 60174-1984
Phone: 630-377-4400 Fax: 630-377-4440 - www.stcharlesil.gov

21 S 4th St

RAYMOND ROGINA *Mayor*

MARK KOENEN *City Administrator*



Data Source:
City of St. Charles, Illinois
Kane County, Illinois
DuPage County, Illinois
Projection: Transverse Mercator
Coordinate System: Illinois State Plane East
North American Datum 1983
Printed on: February 19, 2018 02:00 PM



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ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
ST. CHARLES CENTRAL DISTRICT
ST. CHARLES, ILLINOIS

DIXON ASSOCIATES / ARCHITECTS

ARCHITECTURAL INTEGRITY

| | 1 | 2 | 3 |
|---|-------------------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> Unaltered | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Minor Alteration | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Major Alteration | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Additions | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Sensitive to original | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Insensitive to original | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

1: first floor; 2: upper floors; 3: roof/cornice

ARCHITECTURAL SIGNIFICANCE

Significant

Contributing

Non-Contributing

BUILDING CONDITION

Excellent: Well-maintained

Good: Minor maintenance needed

Fair: Major repairs needed

Poor: Deteriorated

ARCHITECTURAL DESCRIPTION

Style: Queen Anne

Date of Construction: 1890's

Source: A Field Guide to American Houses

Features:

Cross gabled roofs. Entry at east side has lower pitched gable roof. Single story porch added to north side. Picture windows with transoms on east and south sides.



Address:

21 South 4th Street

Representation in Existing Surveys:

Federal

State

County

Local

Block No. 8

Building No. 4

SURVEY DATE:

MAY 1994

ROLL NO. 2

NEGATIVE NO. 3



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
ST. CHARLES CENTRAL DISTRICT
ST. CHARLES, ILLINOIS

DIXON ASSOCIATES / ARCHITECTS

CONTINUATION SHEET NO: 1



ROLL NO. 2

NEGATIVE NO. 2

Address:

21 South 4th Street

Remarks:

South Elevation

Block No. 8

Building No. 4

Address:

Remarks:

Block No.

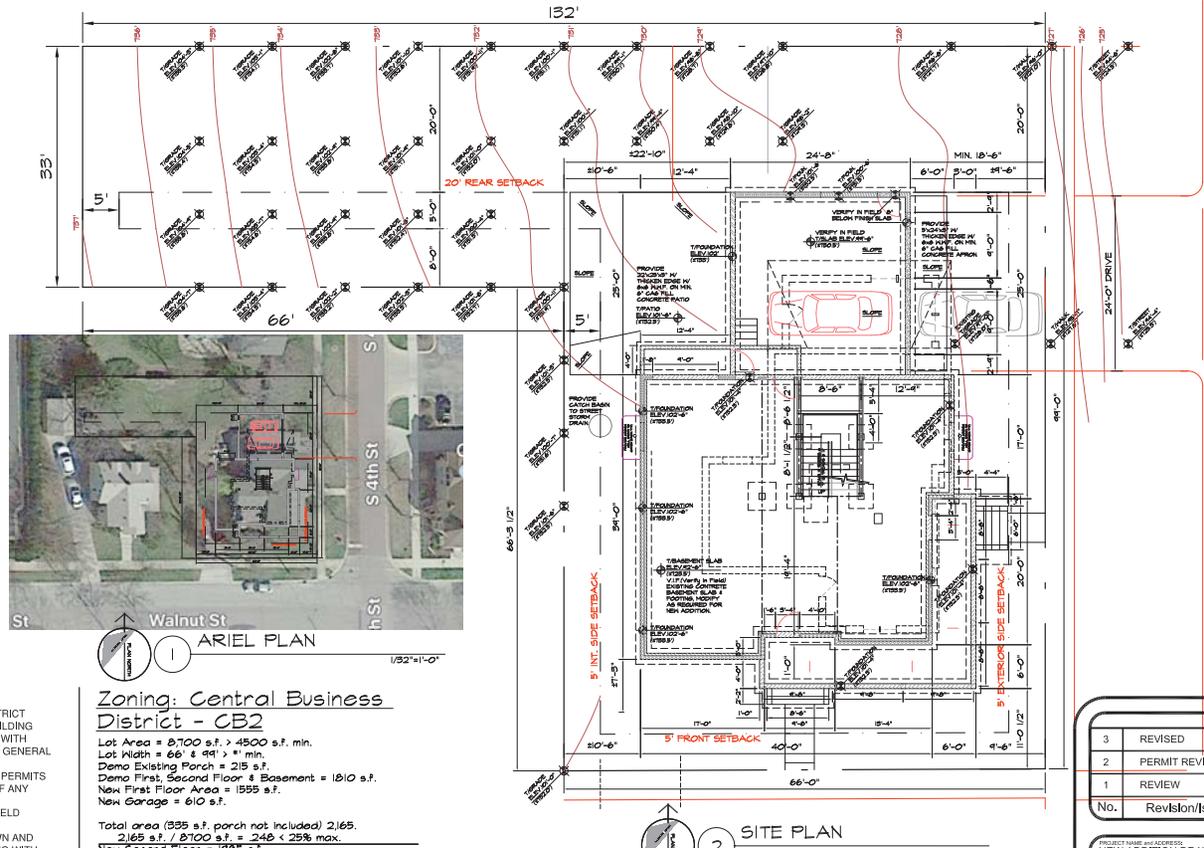
Building No.

ROLL NO.

NEGATIVE NO.

New Addition for : Kuschel Residence

21 South 4th Street,
St. Charles, Illinois 60174



Zoning: Central Business
District - CB2

Lot Area = 8,700 s.f. > 4500 s.f. min.
Lot Width = 66' & 99' > 41' min.
Demo Existing Porch = 215 s.f.
Demo First, Second Floor & Basement = 1810 s.f.
New First Floor Area = 1555 s.f.
New Garage = 610 s.f.
Total area (335 s.f. porch not included) 2,165
2,165 s.f. / 8,700 s.f. = 24% < 25% max.
New Second Floor = 1,835 s.f.
Total New Floor Area = 9540 s.f.
Grand Total Floor Area 4,485 s.f. w/ Garage 610 s.f. & Porch 335 s.f.
Yards = Front Yard 15'
Side yard adjoining a street 15'
Two side yards having a combined width of 5'.
Rear Yard 120'
Driveway not to exceed 24' = (8' Exist South to be removed) + 24' New East Drive
Allowable Building Height = 40 ft. to Ridge > New Project Ridge 121'-6"

BUILDING DATA

NEW:
Use Group: R3
Construction Type: Type 5B Unprotected Residential
Occupancy: Residential
Floor = 40# LL / 20# DL - All Areas Except Sleeping Area
Floor = 30# LL / 20# DL - Sleeping Area
Wall = 60# PLF OR ACTUAL LOAD
Ceiling = 20# LL / 15# DL - Roof Slopes over 3 in 12
Ceiling = 20# LL / 15# DL - Roof Slopes in 3 in 12 or less
Roof = 30# LL / 25# DL - All Slopes
Cathedral = 60# LL / 25# DL - All Slopes
Decks Exterior = 40# LL / 15# DL
Balcony Exterior = 60# LL / 15# DL

GENERAL REQUIREMENTS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS.

THE CONTRACTOR, AT HIS EXPENSE, SHALL FURNISH, INSTALL, MAINTAIN, RELOCATE AND REMOVE ALL SIGNS, SIGNALS, PAVEMENT MARKINGS, TRAFFIC CONES, BARRICADES, AND WARNING LIGHTS NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND WORKERS.

BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK, THE CONTRACTOR AND/OR EACH SUBCONTRACTOR SHALL VERIFY DIMENSIONS AND ELEVATIONS AT THE SITE AND BE RESPONSIBLE FOR THE CORRECTNESS OF SAME RELATING TO EXISTING UTILITIES, STORM SEWERS, WATER MAINS, FIELD TILES, ROADWAYS, CURB AND GUTTER, ETC. IF ANY DEVIATIONS ARE NOTED, THEY SHALL BE REPORTED TO OWNER'S ENGINEER PRIOR TO PROCEEDING WITH THE WORK.

BEFORE ACCEPTANCE, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER OR THEIR REPRESENTATIVE AND THE COUNTY OF KANE.

THE CONTRACTOR MUST ASSUME ALL RISKS AS TO THE NATURE AND QUALITY OF THE SOIL FOR EXCAVATIONS, TRENCHING, AND TUNNELING, INCLUDING ITS CONDITIONS AS TO THE PRESENCE OR ABSENCE OF WATER. THE CONTRACTOR SHALL DO ALL SHORING, BRACING, PUMPING AND BAILING, BUILDING UP DAMS AND DRAINS, AND DO ALL WORK TO KEEP EXCAVATIONS, TRENCHES, ETC. CLEAR OF GROUNDWATER, STORM WATER, OR SEWER DURING THE PROGRESS OF WORK.

ALL EXISTING SIGNS, MONUMENTS, ETC., WHICH INTERFERE WITH CONSTRUCTION SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR. THIS WORK SHALL BE CONSIDERED INCIDENTAL.

CONTRACTORS ARE CAUTIONED AGAINST INSTITUTING ANY CHANGES OR SUBSTITUTIONS TO THE PROJECT AS REPRESENTED BY THESE DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL BY THE OWNER. DEVIATION TO THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR CONSENT MAY BE CAUSE FOR THE WORK TO BE DEEMED UNACCEPTABLE. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

GENERAL NOTES

1. ALL DESIGN AND WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH FEDERAL, STATE, AND LOCAL BUILDING CODE REQUIREMENTS. EXECUTED IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO INSURE THE PROCUREMENT OF ALL REQUIRED AND NECESSARY PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY WORK.
CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE WORK IS FEASIBLE AS SHOWN AND MEETS ALL APPLICABLE CODES BEFORE PRECEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR ANY COORDINATION ISSUES, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM OWNER AND ARCHITECT.
OWNER TO PROVIDE AND INSTALL FIRE EXTINGUISHERS AS REQUIRED BY THE LOCAL FIRE CODES.

THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING EXISTING CONDITIONS AT THE JOB SITE BEFORE SUBMITTING PROPOSALS. SUBMISSION OF PROPOSALS SHALL BE TAKEN AS EVIDENCE THAT SUCH INSPECTIONS HAS BEEN MADE.

5. APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDUM AND CHANGE ORDERS IN GOOD CONDITION ON THE PREMISES AT ALL TIMES.

6. CONTRACTOR SHALL CLARIFY ANY DISCREPANCIES WITH ARCHITECT AND OWNER PRIOR TO COMMENCING WORK.
7. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES (WHETHER SHOWN HERE OR NOT) AND PROTECT THEM FROM DAMAGE.

8. SUBMIT INSTALLATION, OPERATION AND WARRANTY MANUALS FOR ALL EQUIPMENT FURNISHED WHICH REQUIRES PERIODIC ADJUSTMENT OR MAINTENANCE.

9. ANY PRODUCT OR MATERIAL NOT SPECIFIED, BUT REQUIRED, MUST BE SUBMITTED TO AND APPROVED BY ARCHITECT.

SITE PLAN

DRAWING INDEX:

CS Cover Sheet
D1.0 Demolition Plan & Elevation
S1.0 Basement Plan
A1.0 First Floor Plan
A1.1 Second Floor Plan
A1.2 Roof Plan
A2.0 Elevations

"HEREBY CERTIFY" THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE ATTACHED APPLICATION AND ANY PORTION OF THE PLANS PREPARED BY ME ARE COMPLETE AND IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE LOCAL CODE AND ANY APPLICABLE STATE OR FEDERAL LAWS, AS OF THIS DATE.

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| No. | Revision/Issue | Date |
|-----|----------------|----------|
| 3 | REVISED | * |
| 2 | PERMIT REVIEW | 2/20/18 |
| 1 | REVIEW | 12/14/16 |

PROJECT NAME AND ADDRESS:
NEW ADDITION DRAWINGS FOR:
Pam & Mike Kuschel
21 South 4th Street
St. Charles, Illinois 60174

PREPARED BY:
NORRIS ARCHITECTS INC.
209 Auburn Court
St. Charles, Illinois 60174
Ph. # 630/476-0044

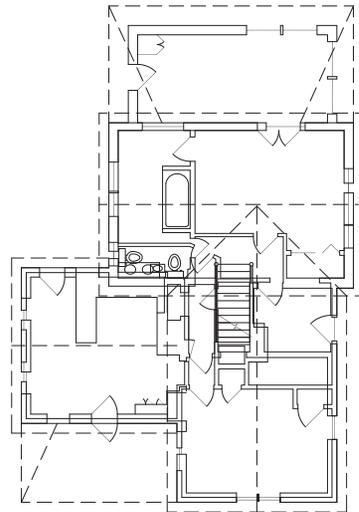
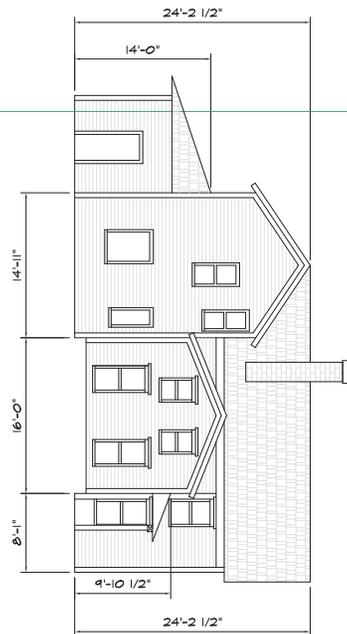
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& Details

PLOT DATE:
2/20/18

SHEET NUMBER:
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REMOVE EXISTING STRUCTURE INCLUDING FOUNDATION,
PREP EXISTING UTILITIES FOR NEW STRUCTURE.



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21 South 4th Street
St. Charles, Illinois 60174

PREPARED BY:
Norris Architects Inc.
209 Auburn Court
St. Charles, Illinois 60174
Ph. # 630/ 476-0044

SHEET TITLE:
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2 SOUTH ELEVATION

3/16"=1'-0"



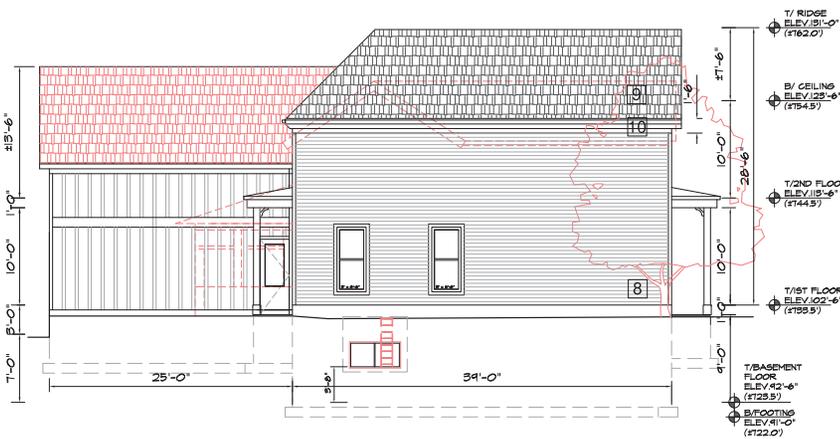
1 EAST ELEVATION

3/16"=1'-0"



3 NORTH ELEVATION

3/16"=1'-0"



4 WEST ELEVATION

3/16"=1'-0"

- KEY NOTES:**
- 1 TYPICAL FOUNDATION WALL CONST. CONTRACTOR TO VERIFY EXISTING FOUNDATION WALL IS 8000 P.S.I. OR GREATER AT ACTUAL FOOTING LOCATION. CONTACT ARCHITECT FOR CORRECTION. FOUNDATION WALL BY ANCHOR BOLTS (SEE NOTE #6 BELOW) WITH CONTINUOUS REBAR TO RESISTOR ADDITIONAL (1) CONTINUOUS REBAR IN HORIZONTAL REBAR @ 24" O.C. - OPTIONAL. REINFORCEMENT IN FOOTING @ 8" O.C. IF DEEPER AS NOTED AND THE BEARING SOIL IS (3) CONTINUOUS REBAR. FOUNDATION WALL @ 1/4" OVER FINISH GRADE. V.I.P. EXISTING PERMITTER DRAIN / SUMP PUMP & MODIFY AS REQUIRED.
 - 2 CONCRETE SIDING 8" MIN. HALL OF REINFORCED CONCRETE STAIR BY 14" BARS @ 12" O.C. MIN. ON 4" MIN. POLY VAPOR BARRIER OVER 4" COMPACTED GRANULAR FILL. PROVIDE 4" DRAIN AT EXTERIOR DOOR STOOP.
 - 3 PROVIDE NEW SERVICES V.I.P.
 - 4 VERIFY IN FIELD EXISTING GAS AND ELECT. UTILITY SERVICE. MODIFY AS REQUIRED FOR NEW STRUCTURE. PROVIDE NEW HELL AND BEING SYSTEM.
 - 5 TYPICAL FOUNDATION FLOOR CONST. 4" CONC. SLAB AND W/P ON 4" GRAVELLED STONE (CAN/ CAT) WITH 8" H.L. POLY VAPOR BARRIER. RELOCATE EXISTING EXTERIOR DOOR.
 - 6 TYPICAL DAMPROOFING EXTERIOR FOUNDATION WALL SHALL BE DAMPROOFED BY APPLYING A COAT OF BITUMINOUS MATERIAL APPLIED PER MANUFACTURER'S RECOMMENDATION OR 1/4" H.L. PERFORATED FOAM INSULATION OR APPROVED EQUAL. 4" GRAVEL TIE & BASEMENT FOOTING IN 12" GRAVEL BURNARD-CONCRETE TO BE FIN.
 - 7 WASHED STONE BACKFILL 6" OVER TILE AND 2" MIN. UNDER TILE.
 - 8 TYPICAL GILL PLATE & ANCHOR BOLT CONST. 2X6 TREATED GILL PLATE IN TYPICAL PROTECTION. TREATMENT OF FOUNDATION (WELLS) OR BILL BEARER 1/2" @ ANCHOR BOLTS. 2X6 TREATED GILL PLATE NOT MORE THAN 12" FROM CORNER AND 2" @ OFF SIDES. 1/2" O.C. PROVIDE HALL BRACING AT ALL CORNERS IN H.L. THERMAL RESISTANCE R-2 INSULATION IN VAPOR BARRIER @ 1/2" MIN. STIP. BOARD AND BASE.
 - 9 TYPICAL ROOF CONSTRUCTION ROOFING SHEATHING - 1/2" OSB. 1/2" SQUARE ASPHALT SHINGLE INSTALL PER MANUFACTURER REQUIREMENTS WITH 50 YEAR WARRANTY ON 1/2" INSULATION. ROOFING ON 2X6 RAFTERS (2" REMAINING IN TYPICAL BUILDING PAPER. INSTALLED PER MFG. REQUIREMENTS. ON 2" @ OFF SIDES. 1/2" O.C. PROVIDE HALL BRACING AT ALL CORNERS IN H.L. THERMAL RESISTANCE R-2 INSULATION IN VAPOR BARRIER @ 1/2" MIN. STIP. BOARD AND BASE.
 - 10 TYPICAL FLOOR CONSTRUCTION FINISH FLOOR OR AREA RATED SHALL BE 1/2" PLYWOOD (GLUED AND SCREWED) TO FLOOR JOISTS SEE PLAN FOR TYPE. INSTALLED PER MFG. SPECIFICATIONS AND REQUIREMENTS.
 - 11 TYPICAL HALL CONSTRUCTION CONTINUOUS BONDING PER OTHER SECTION IN 1/2" AIRSPACE OVER 1/2" AT ALL CORNERS & 2" FROM WALLS - 1/2" O.C. REMAINING IN TYPICAL BUILDING PAPER. INSTALLED PER MFG. REQUIREMENTS. ON 2" @ OFF SIDES. 1/2" O.C. PROVIDE HALL BRACING AT ALL CORNERS IN H.L. THERMAL RESISTANCE R-2 INSULATION IN VAPOR BARRIER @ 1/2" MIN. STIP. BOARD AND BASE.
 - 12 TYPICAL FACIA CONSTRUCTION TO MATCH EXISTING ON 1/4" CEDAR FACIA IN 1/2" ROUGHTEXT PLY WITH CONTINUOUS STIPPS SCREWED IN 80MM VENTS.
 - 13 TYPICAL FLASHING CONSTRUCTION GALVANIZED FLASHING 30 G. 1/4" REQUIRED. ICE AND WATER SHEET INSTALL PER MANUFACTURER REQUIREMENTS.
 - 14 HVAC SYSTEM AND INSTALL PER MANUFACTURER REQUIREMENTS AND PER LOCAL CODES. VERIFY FINAL LOCATION IN OWNER.

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| 3 | REVISED | * |
| 2 | PERMIT REVIEW | 2/20/18 |
| 1 | REVIEW | 12/14/16 |

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NEW ADDITION DRAWINGS FOR:
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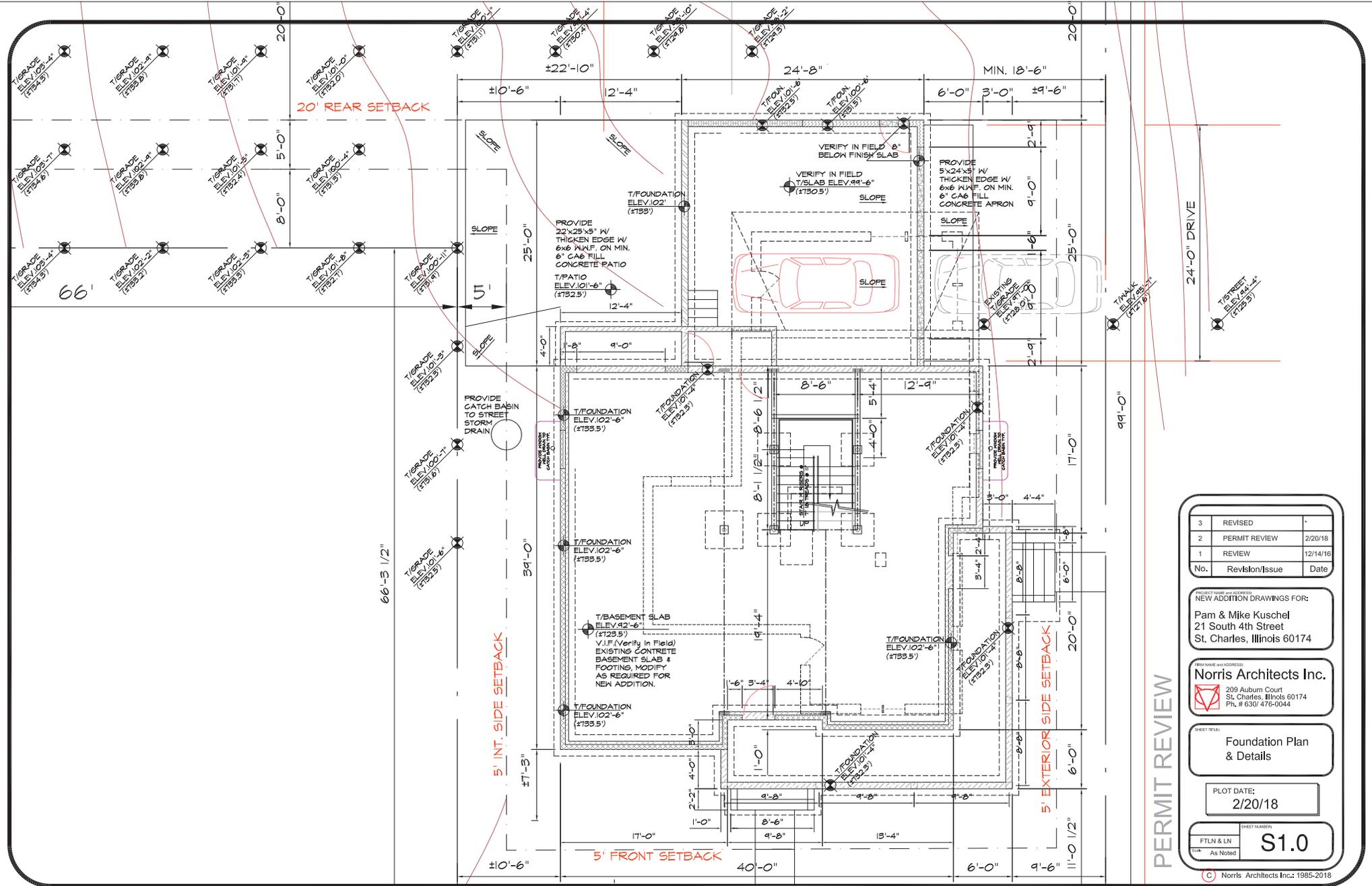
PREPARED BY AND ADDRESS:
Norris Architects Inc.
 209 Auburn Court
 St. Charles, Illinois 60174
 Ph. # 630/476-0044

SHEET TITLE:
Elevations & Details

PLOT DATE:
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SHEET NUMBER:
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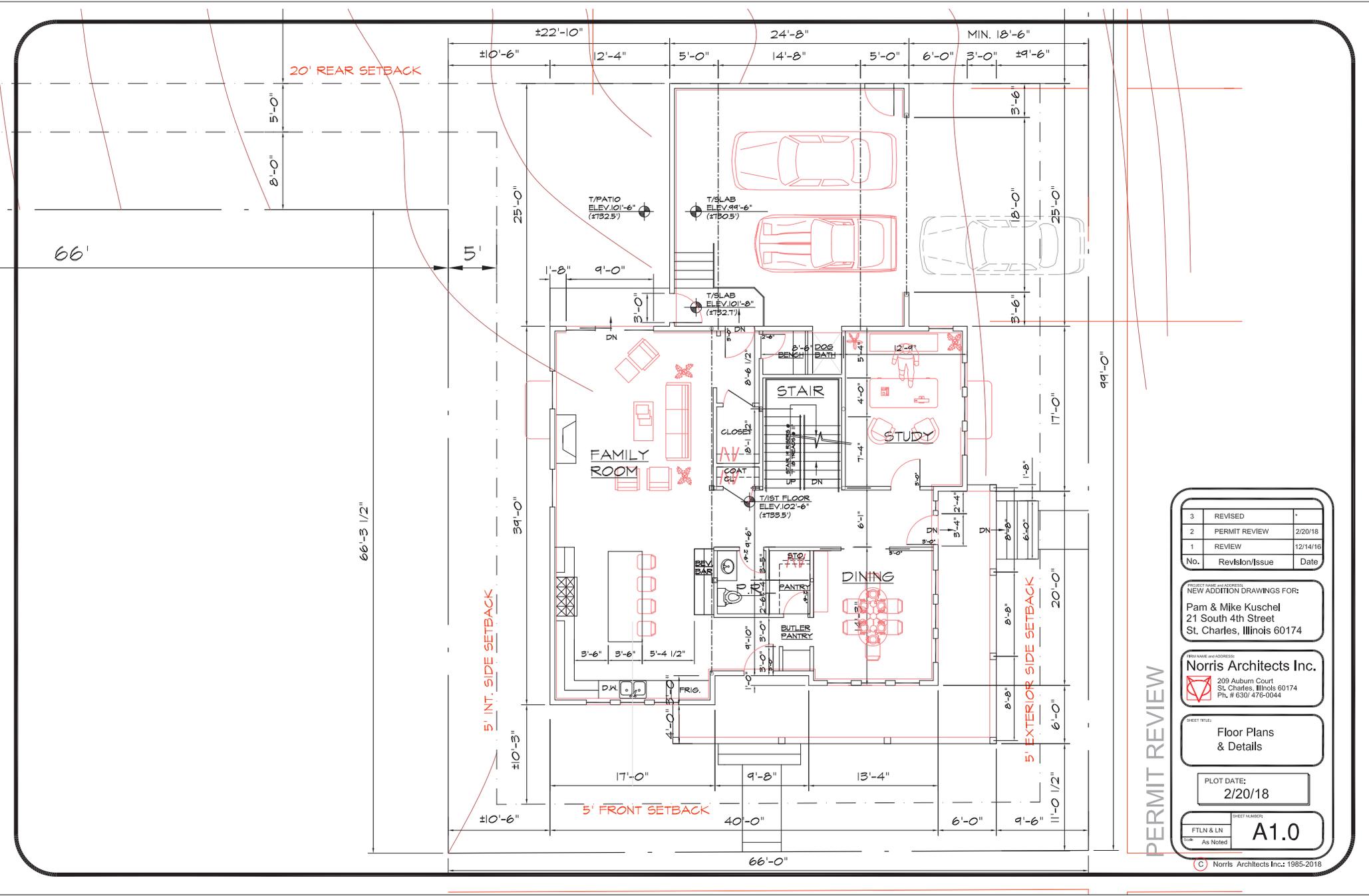
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 209 Auburn Court
 St. Charles, Illinois 60174
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SHEET TITLE:
 Foundation Plan
 & Details

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 21 South 4th Street
 St. Charles, Illinois 60174

OWNER NAME AND ADDRESS:
 Norris Architects Inc.
 209 Auburn Court
 St. Charles, Illinois 60174
 Ph. # 630/ 476-0044

SHEET TITLE:
 Floor Plans
 & Details

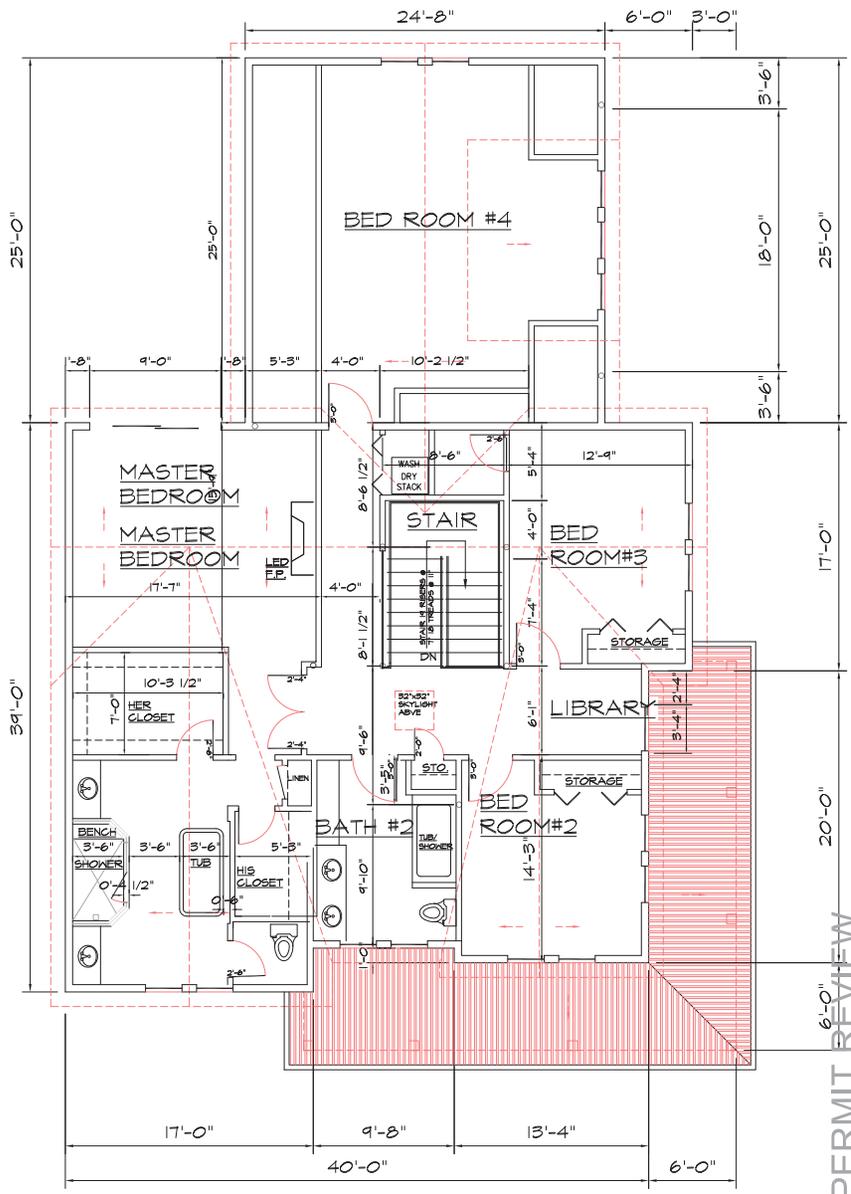
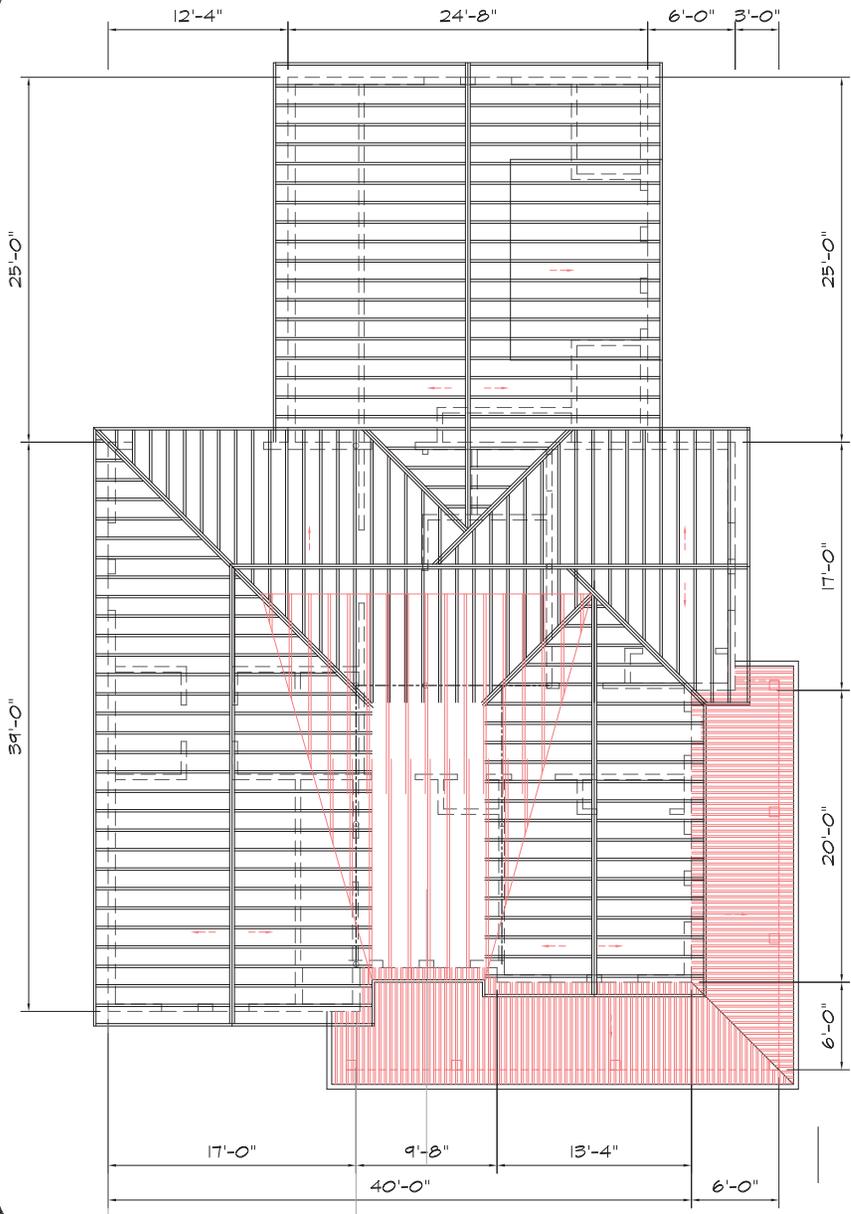
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 St. Charles, Illinois 60174

OWNER NAME AND ADDRESS:
Norris Architects Inc.
 209 Auburn Court
 St. Charles, Illinois 60174
 Ph. # 630/476-0044

SHEET TITLE:
Second Floor Plan

PLOT DATE:
2/20/18

SCALE:
 FT/IN & LN
 As Noted

SHEET NUMBER:
A1.1

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