

 <b>ST. CHARLES</b> <small>SINCE 1834</small>	<b>HISTORIC PRESERVATION COMMISSION</b>		
	<b>AGENDA ITEM EXECUTIVE SUMMARY</b>		
	<b>Agenda Item Title/Address:</b>	COA: 322 Illinois St.	
	<b>Proposal:</b>	Demolish existing garage and construct new garage	
<b>Petitioner:</b>	Felix & Diana Garcia		
<b>Please check appropriate box (x)</b>			
	<b>PUBLIC HEARING</b>		<b>MEETING 10/5/16</b>
			<b>X</b>
<b>AGENDA ITEM CATEGORY:</b>			
<input checked="" type="checkbox"/>	Certificate of Appropriateness (COA)		Façade Improvement Plan
	Preliminary Review		Landmark/District Designation
	Discussion Item		Commission Business
<b>ATTACHMENTS:</b>			
Photos of existing garage Plat of Survey Plans Architectural Survey page			
<b>EXECUTIVE SUMMARY:</b>			
<p>Proposed is demolition of the existing detached, two-car garage on the property. The structure is in disrepair.</p> <p>The proposed replacement garage will be located in the same area of the lot (northeast corner). 4” vinyl siding is proposed for the wall material.</p>			
<b>RECOMMENDATION / SUGGESTED ACTION:</b>			
Provide feedback and recommendations on approval of the COA.			

Existing Garage – 322 Illinois St.



# Plat of Survey

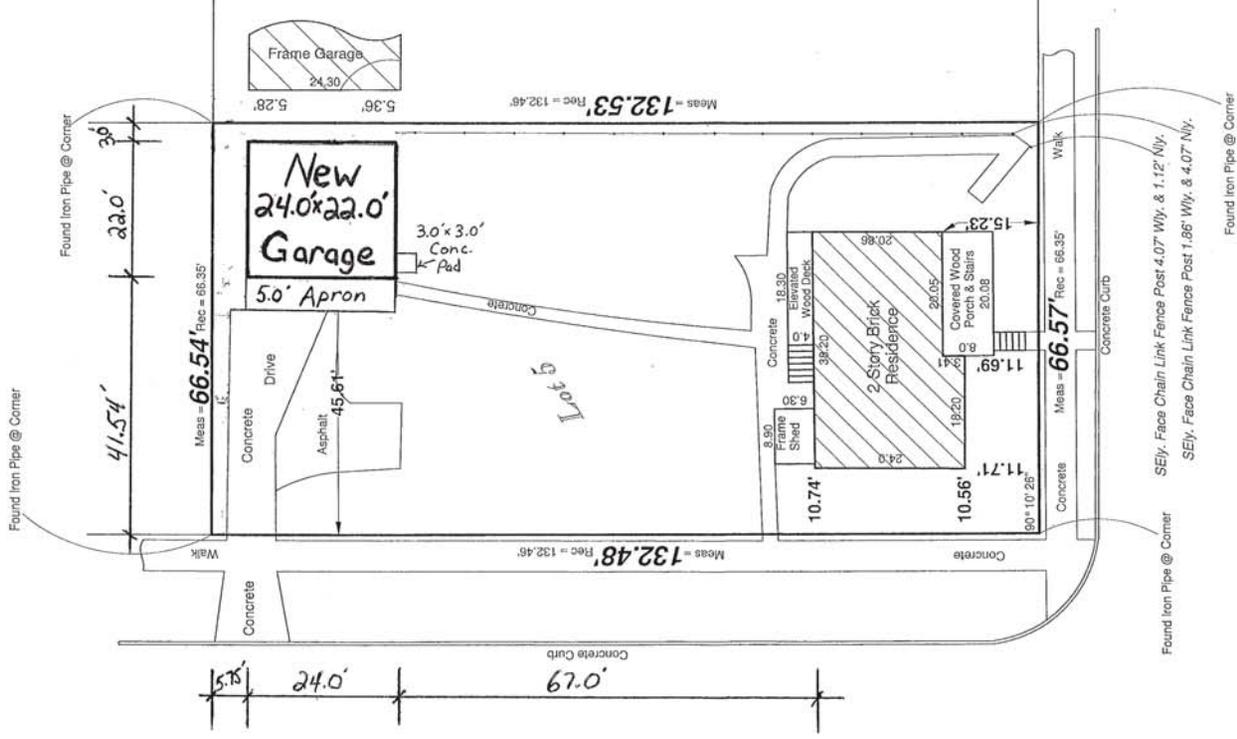
Central Survey, LLC 6415 N. Caldwell Ave., Chicago, Illinois 60646-2713  
 Phone (773) 631-5285 www.Centralsurvey.com Fax (773) 775-2071

## Legal Description

Lot 5 in Block 50 in the Original Town of St. Charles on the West side of Fox River in the City of St. Charles, Kane County, Illinois  
 Commonly Known as: 322 Illinois Street, St. Charles, Illinois  
 Area of Land Described: 8,818 Sq. Ft.



## PROPOSED SITE PLAN



### Legend

N.	=	North
S.	=	South
E.	=	East
W.	=	West
(TYP)	=	Typical
Rec	=	Record
Meas	=	Measure
St.	=	Street
Ave.	=	Avenue

Decimal/Inch Conversions	Feet	
0.01' = 1/8"	0.08' = 1"	0.58' = 7"
0.02' = 1/4"	0.17' = 2"	0.67' = 8"
0.03' = 3/8"	0.25' = 3"	0.75' = 9"
0.04' = 1/2"	0.33' = 4"	0.83' = 10"
0.05' = 5/8"	0.42' = 5"	0.92' = 11"
0.06' = 3/4"	0.42' = 5"	0.92' = 11"
0.07' = 7/8"	0.50' = 6"	1.00' = 12"

NOTE: Property corners were NOT staked per customer.  
 Scale: 1 inch equals 20 Feet  
 Ordered By: MACH 1  
 Order Number: 322E

State of Illinois )  
 County of Cook ) S.S.

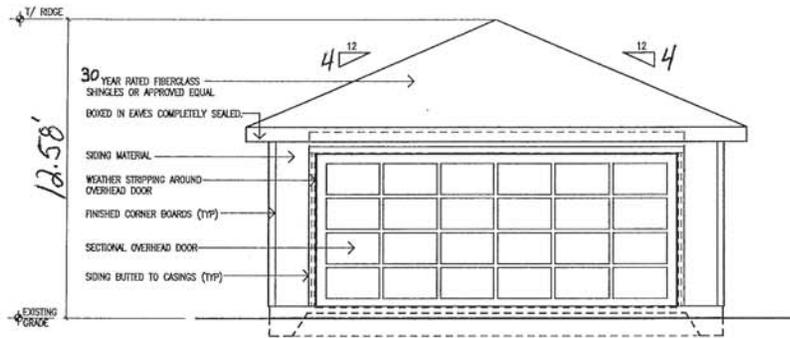
Central Survey LLC does hereby certify that an on the ground survey per record description of the land shown hereon was performed on September 9, 2016 and that the map or plat hereon drawn is a correct representation of said survey. When bearings are shown the bearing base is assumed. Dimensions are shown in feet and hundredths and are correct at a temperature of 68° Fahrenheit.

Dated this 9th day of September 2016  
 William R. Webb P.L.S. #2190 (exp.11/30/2016) Professional Design Firm Land Surveying LLC. (#184-004113)

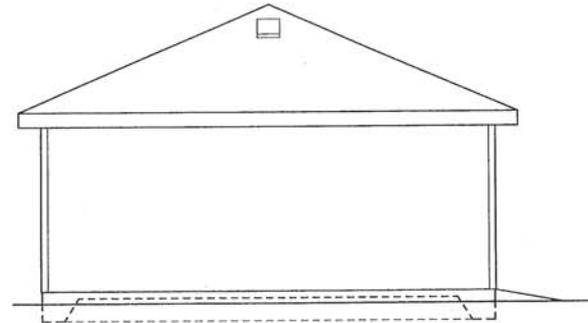


This professional service conforms to current Illinois minimum standards for a boundary survey.

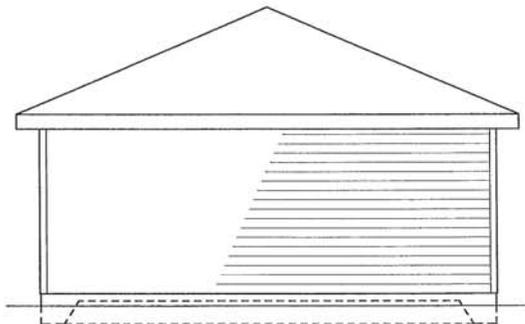
*William R. Webb*



West ELEVATION



North ELEVATION



East ELEVATION



South ELEVATION

- WINDOW TYPE:
- FIXED PICTURE JALOUSIE  
5'-4" X 2'-0"
  - SLIDING WINDOW WITH SCREEN  
5'-4" X 2'-0"
- DOOR TYPE:
- STEEL DOOR PRIMED  
3'-0" X 6'-8"

NOTE: DRAWINGS ARE NOT TO SCALE



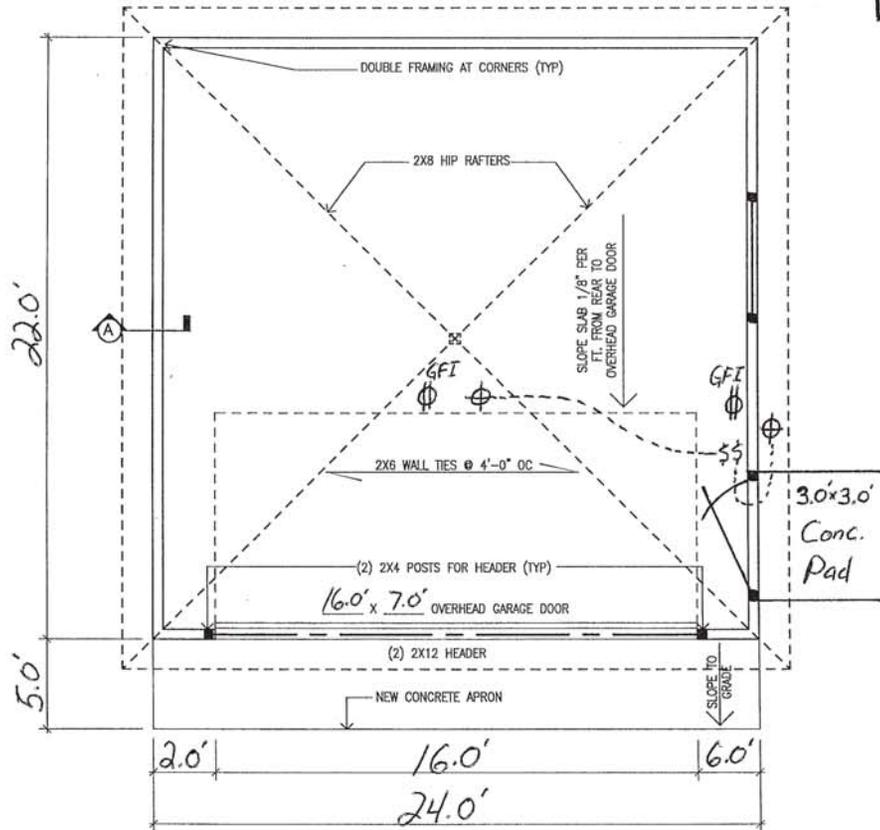
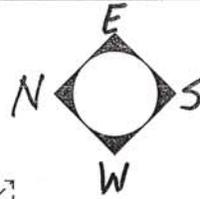
**DETACHED GARAGE - HIP ROOF**  
 322 Illinois St., St. Charles; Garcia

CONTRACTOR:  
**DANLEY'S GARAGE WORLD**  
 612 ACADEMY DRIVE  
 NORTHBROOK, IL 60062  
 PHONE: 847 562 9390  
 FAX: 847 562 1939

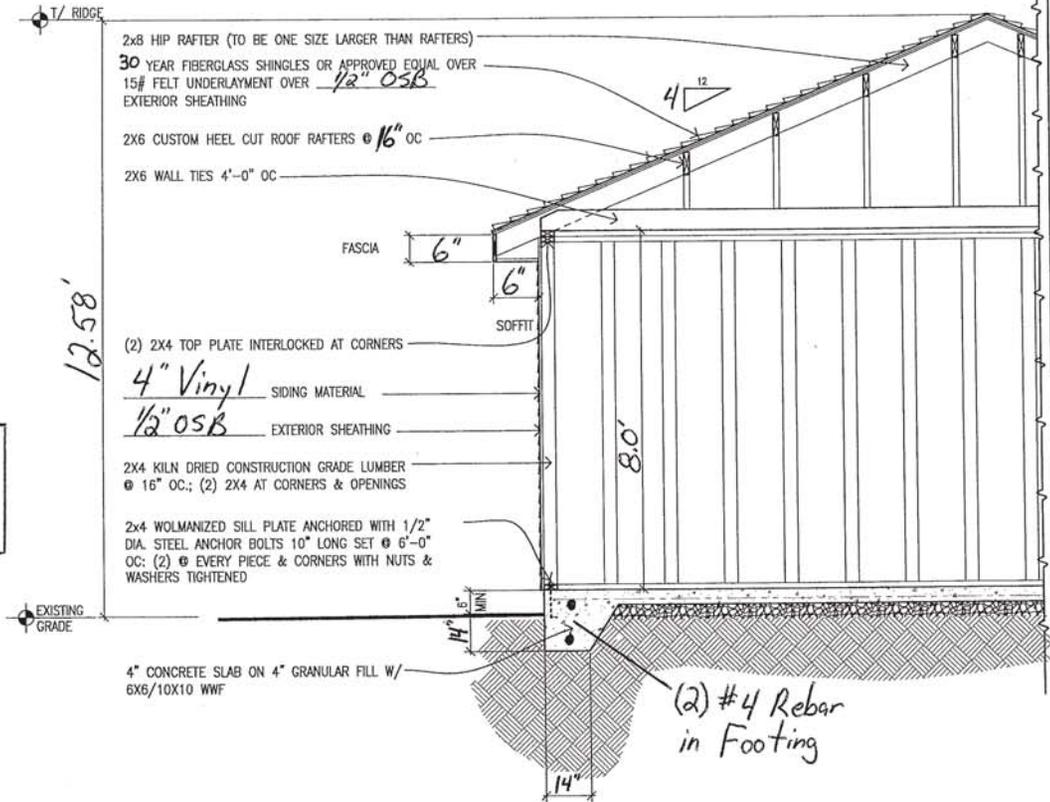
SHEET NAME:  
**ELEVATIONS**  
 SHEET NUMBER:  
**2 OF 2**

ELECTRICAL WORK SHALL COMPLY WITH ALL LOCAL & GOVERNING CODES

- MINIMUM ELECTRICAL REQUIREMENTS FOR GARAGES:  
 - 1 EACH SWITCHED ENTRY LIGHT AT SERVICE DOOR  
 - 1 EACH SWITCHED INTERIOR LIGHT  
 - 1 EACH GFI DUPLEX RECEPTACLE



**FLOOR PLAN**



**BUILDING SECTION**

NOTE: DRAWINGS ARE NOT TO SCALE



**DETACHED GARAGE - HIP ROOF**  
 322 Illinois St., St. Charles, Garcia

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 NORTHBROOK, IL 60062  
 PHONE: 847 562 9390  
 FAX: 847 562 1939

SHEET NAME:  
**FLOOR PLAN & BUILDING SECTION**  
 SHEET NUMBER:  
 1 OF 2



ST. CHARLES HISTORIC PRESERVATION COMMISSION

**ARCHITECTURAL SURVEY**  
**ST. CHARLES CENTRAL DISTRICT**  
**ST. CHARLES, ILLINOIS**

DIXON ASSOCIATES / ARCHITECTS

**ARCHITECTURAL INTEGRITY**

	1	2	3
<input type="checkbox"/> Unaltered	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Minor Alteration	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Major Alteration	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Additions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sensitive to original	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Insensitive to original	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

1: first floor; 2: upper floors; 3: roof/cornice

**ARCHITECTURAL SIGNIFICANCE**

Significant

Contributing

Non-Contributing

**BUILDING CONDITION**

Excellent: Well-maintained

Good: Minor maintenance needed

Fair: Major repairs needed

Poor: Deteriorated

**ARCHITECTURAL DESCRIPTION**

**Style:** Greek Revival

**Date of Construction:** 1825-1860

**Source:** A Field Guide to American Houses

**Features:**

Large stone arched header over windows at first floor.  
 Two story house with one story addition. Painted brick.



**Address:**

322 West Illinois Street

**Representation in Existing Surveys:**

Federal

State

County

Local

**Block No. 14**

**Building No. 6**

**SURVEY DATE:**  
**MAY 1994**

**ROLL NO. 2**

**NEGATIVE NO. 28**



ST. CHARLES HISTORIC PRESERVATION COMMISSION

**ARCHITECTURAL SURVEY**  
ST. CHARLES CENTRAL DISTRICT  
ST. CHARLES, ILLINOIS

DIXON ASSOCIATES / ARCHITECTS

CONTINUATION SHEET NO: 1



**Address:**

322 West Illinois Street

**Remarks:**

West Elevation

**Block No. 14**

**Building No. 6**

**ROLL NO. 11**

**NEGATIVE NO. 30**

**Address:**

**Remarks:**

**Block No.**

**Building No.**

**ROLL NO.**

**NEGATIVE NO.**