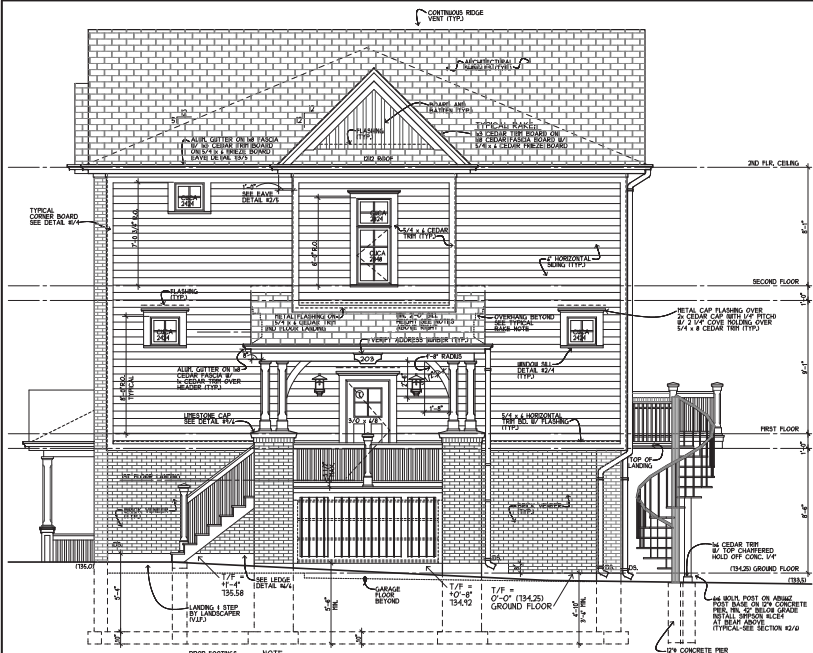
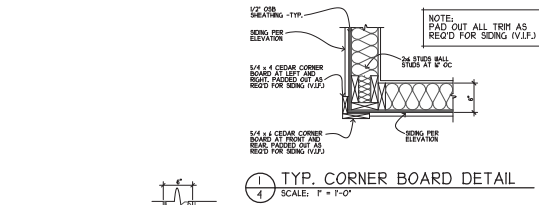
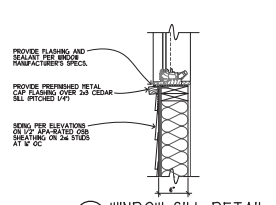
 <p>ST. CHARLES SINCE 1834</p>	HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
	Agenda Item Title/Address:	COA: 510-530 Ohio Ave.		
	Proposal:	New townhome building		
	Petitioner:	Midwest Custom Homes, Inc.		
Please check appropriate box (x)				
	PUBLIC HEARING		MEETING 4/20/16	X
AGENDA ITEM CATEGORY:				
X	Certificate of Appropriateness (COA)		Façade Improvement Plan	
	Preliminary Review		Landmark/District Designation	
	Discussion Item		Commission Business	
ATTACHMENTS:				
Building elevations				
Rendering of approved elevations				
Elevations approved for Building #2				
Heritage Green approved site plan				
EXECUTIVE SUMMARY:				
<p>Proposed is a new three-unit townhome building to be constructed at the northeast corner of Ohio and 5th Avenues. This is the second of three townhome buildings to be constructed around the Judd Mansion as part of the Heritage Green development.</p> <p>The Commission reviewed and recommended approval of the PUD Preliminary Plan for Heritage Green in January 2015. The plan was subsequently approved by City Council in February 2015.</p> <p>Building 1 at the southeast corner of Indiana and 5th Avenues has been constructed. The proposed building elevations are similar to Building 1 and those approved under the PUD Preliminary Plan. Like for Building 1, a bump-out portion has been added on the front elevation of the center unit and brick has been extended up the bump-out portion on the end units. The window style and some of the window openings are different from Building 1. Also, the wood paneling running along the roofline has been eliminated.</p> <p>A COA will be required for the remaining townhome building at the time of building permit.</p>				
RECOMMENDATION / SUGGESTED ACTION:				
Provide feedback and recommendations on approval of the COA.				



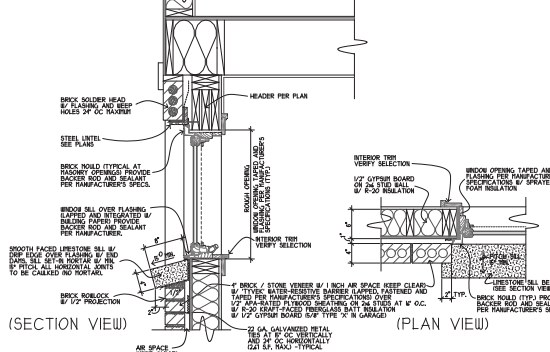
RIGHT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



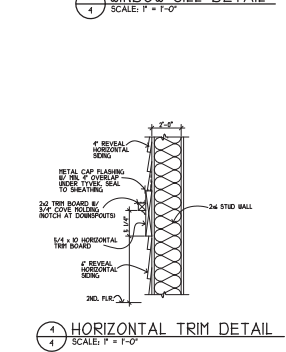
1 TYP. CORNER BOARD DETAIL
SCALE: 1" = 1'-0"



2 WINDOW SILL DETAIL
SCALE: 1" = 1'-0"



3 LIMESTONE SILL DETAIL
SCALE: 1" = 1'-0"

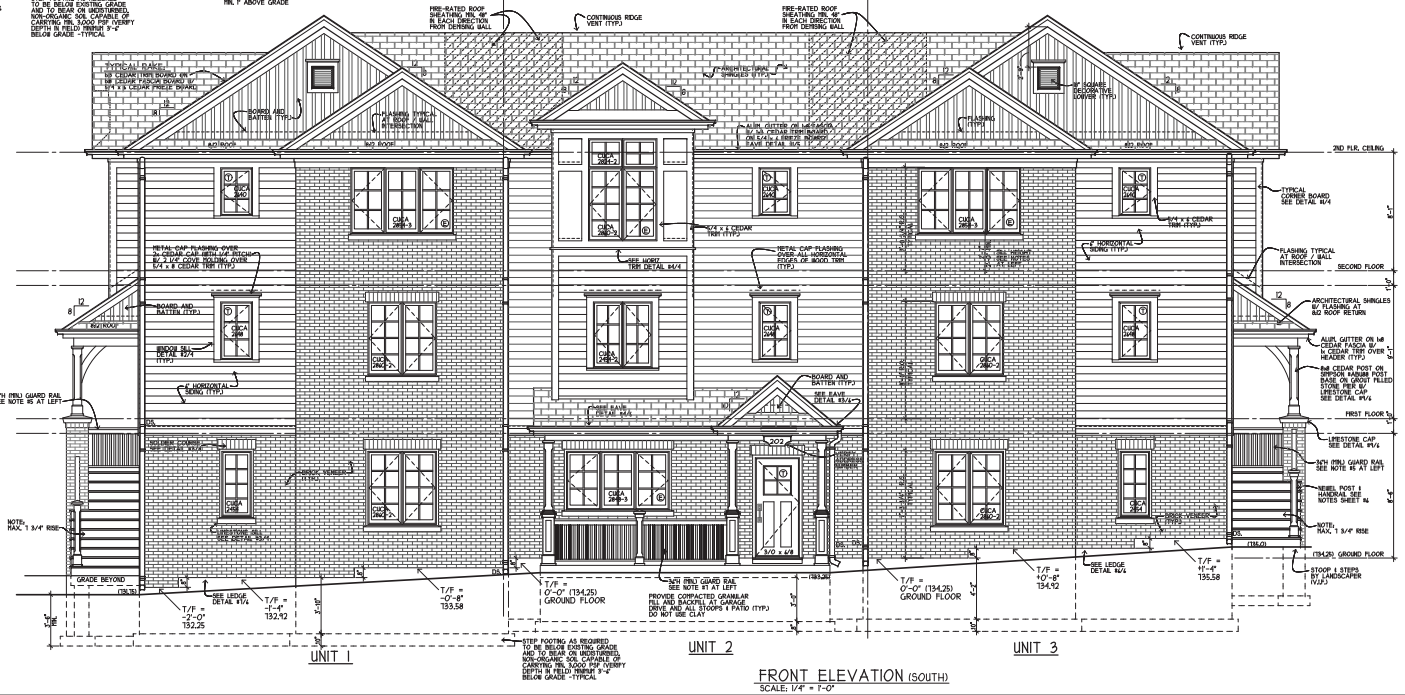


4 HORIZONTAL TRIM DETAIL
SCALE: 1" = 1'-0"

- WINDOW SILL HEIGHT NOTE:**
PER RC SECTION #223 WINDOW SILLS
- WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 1'-0" ABOVE THE FINISHED GRADE OR FINISHED FLOOR, THE WINDOW SILL SHALL BE FINISHED TO THE FINISHED GRADE OR FINISHED FLOOR BY THE FINISH TRADES.
 - IF THE WINDOW SILL IS LOCATED MORE THAN 2'-0" ABOVE THE FINISHED GRADE OR FINISHED FLOOR, THE WINDOW SILL SHALL BE FINISHED TO THE FINISHED GRADE OR FINISHED FLOOR BY THE FINISH TRADES THROUGH THE WINDOW SILL.
 - IF THE WINDOW SILL IS LOCATED MORE THAN 2'-0" ABOVE THE FINISHED GRADE OR FINISHED FLOOR, THE WINDOW SILL SHALL BE FINISHED TO THE FINISHED GRADE OR FINISHED FLOOR BY THE FINISH TRADES THROUGH THE WINDOW SILL.
 - IF THE WINDOW SILL IS LOCATED MORE THAN 2'-0" ABOVE THE FINISHED GRADE OR FINISHED FLOOR, THE WINDOW SILL SHALL BE FINISHED TO THE FINISHED GRADE OR FINISHED FLOOR BY THE FINISH TRADES THROUGH THE WINDOW SILL.
 - IF THE WINDOW SILL IS LOCATED MORE THAN 2'-0" ABOVE THE FINISHED GRADE OR FINISHED FLOOR, THE WINDOW SILL SHALL BE FINISHED TO THE FINISHED GRADE OR FINISHED FLOOR BY THE FINISH TRADES THROUGH THE WINDOW SILL.

- WINDOW NOTES:**
- WINDOWS DRAIN AS INTEGRITY WOOD-LINE WINDOWS (ILO) VERIFY WINDOW AND DOOR MANUFACTURER'S WITH OTHER.
 - GLAZING MATERIALS TO PROVIDE A MAJOR IMPACT OF 32 PER CODE REQ. #223.
 - PROVIDE A THICK SMOOTH-FACED LIMESTONE SILL AT RANDOM WINDOW OPENINGS.
 - INSTALL ALL DOORS AND WINDOWS PER RAMP'S SPECIFICATIONS.
 - CONTRACTOR TO VERIFY ALL WINDOW HEIGHTS AND ROUGH OPENINGS - VERIFY CALL PATTERNS SHOWN WITH OTHER.
 - VERIFY TYPED GLASS.
 - REMARKS PER LOCAL CODES.
 - REMARKS PER EXISTING OPENING OF 1/2" SQUARE FEET.

- TYPICAL ELEVATION GENERAL NOTES:**
- ALL FOOTINGS TO BEAR ON UNDISTURBED, UNCOMPRESSED, NON-ORGANIC SOIL. EXPOSED CORNER REINFORCING SHALL BE LOCATED WITHIN 4" OF BEYOND GRADE.
 - ALL CONCRETE EXPOSED TO WEATHER IS TO BE 3000 PSI AND A MINIMUM 3" AND A MAXIMUM 18" AIR ENTRAINMENT PER LOCAL BUILDING CODE REQUIREMENTS.
 - CORNER BRACING 1/2" APARTED RIBBED SEATING BY LOAD-BLOCKED HORIZONTAL JOINTS FOR THE ENTIRE LENGTH OF WALL PER CODE REQUIREMENTS.
 - ALL MASONRY INCLUDING LIMESTONE SILL CAPS / COPIES TO BE CONTROLLED JOINTS PER LOCAL BUILDING CODES AND PER RAMP'S SPECIFICATIONS.
 - PROVIDE ADDITIONAL FLASHING AND REEF AS REQUIRED AT ALL INTERIORS ABOVE WINDOWS AND AT SILLS.
 - ALL FLASHING AND REEF AS REQUIRED FOR WEATHERING EXTERIOR WALLS, FLASHING TO LAP OVER THE OTHER BY 2" THE OVERLAP FLASHING MATERIALS TO COMPLY WITH DETAIL #1 AND ALL CONDITIONAL SHEET METAL FLASHING.
 - ALL GARAGES TO BE 36" HIGH PER LOCAL BUILDING CODES AND PER RAMP'S SPECIFICATIONS. ALL GARAGES TO BE 36" HIGH PER LOCAL BUILDING CODES AND PER RAMP'S SPECIFICATIONS. ALL GARAGES TO BE 36" HIGH PER LOCAL BUILDING CODES AND PER RAMP'S SPECIFICATIONS.
 - ALL HANDRAILS TO BE 36" HIGH PER LOCAL BUILDING CODES AND PER RAMP'S SPECIFICATIONS. ALL HANDRAILS TO BE 36" HIGH PER LOCAL BUILDING CODES AND PER RAMP'S SPECIFICATIONS.



FRONT ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"

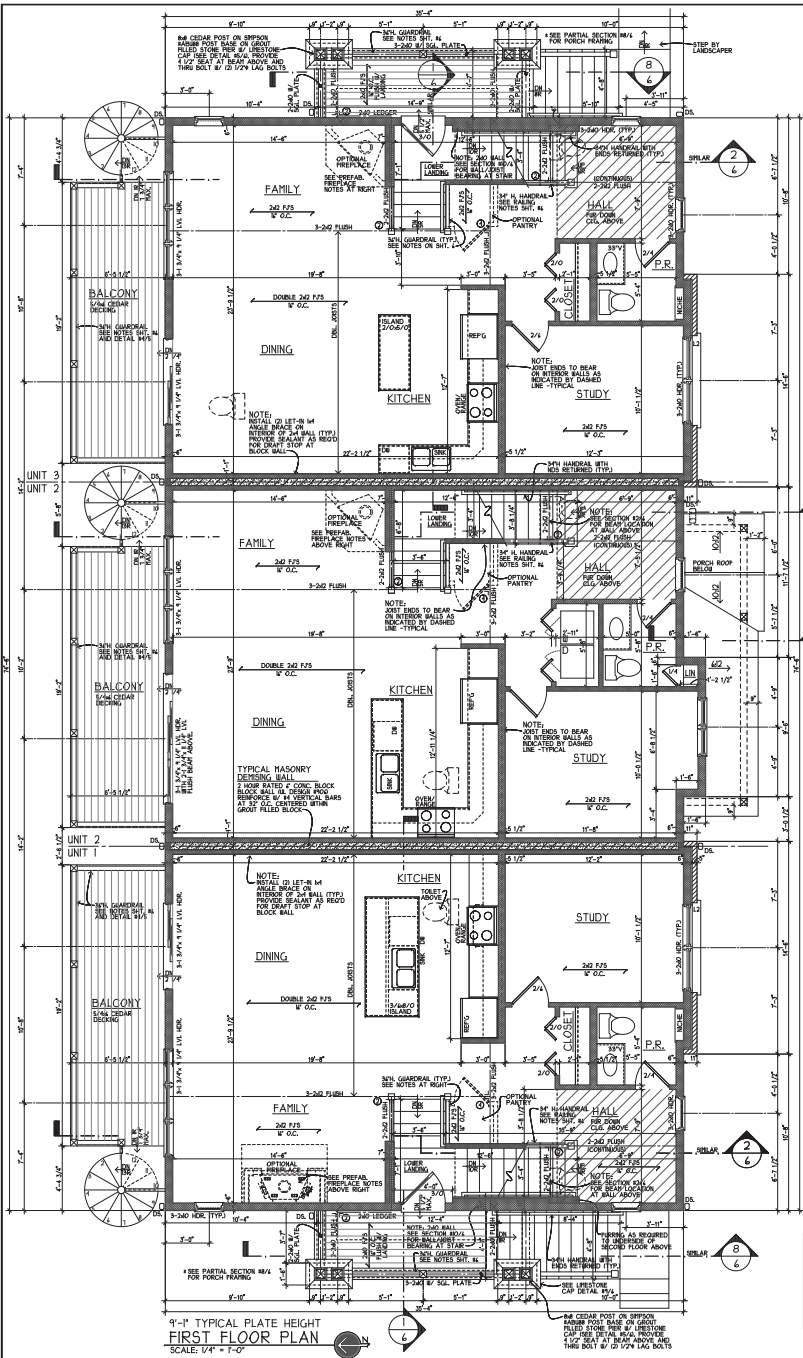


STATE OF ILLINOIS
DESIGN PROFESSIONAL REGISTRATION NUMBER
084002491

PROPOSED TOWNHOUSES FOR:
HERITAGE GREEN (BLDG. TWO)
ST. CHARLES, ILLINOIS 60187
JRD, INC. - BOB RASMUSSEN 630-443-9393

Revisions:

Commission: 42501
Issue Date: 3-30-2018
Drawn By: CDZ
FRONT & RIGHT ELEVATIONS



PREFAB. FIREPLACE NOTES:
 1. FIREPLACE SHALL BE AS MANUFACTURED BY THE MANUFACTURER.
 2. VERIFY FRAMING CONDITIONS FROM THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 3. PROVIDE EXTERIOR CONNECTIONS AS SHOWN IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 4. VERIFY MATERIALS AND FINISHES WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 5. VERIFY MATERIALS AND FINISHES WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 6. VERIFY MATERIALS AND FINISHES WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

TYPICAL GARAGE NOTES:
 1. FINISH CEILING AS REQUIRED FOR SMOKE EXHAUST BELOW PULPING.
 2. PROVIDE OPERABLE IN U/S & LOW-CENTRE OPERABLE WINDOW FOR VENTILATION.
 3. PROVIDE OPERABLE IN U/S & LOW-CENTRE OPERABLE WINDOW FOR VENTILATION.
 4. PROVIDE OPERABLE IN U/S & LOW-CENTRE OPERABLE WINDOW FOR VENTILATION.

TYPICAL EXTERIOR WALL BY MASONRY VENEER:
 1. CONCRETE FORM VENEER BY 1/2" MIN. SPACING KEEP CLEAR.
 2. PROVIDE 2" GA. GALV. METAL TEES AT 4" VERTICALLY AND 12" HORIZONTALLY.
 3. PROVIDE 1/2" WATER-RESISTANT BARRIER LAPPED, FASTENED AND OVERLAPPED AS SHOWN IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 4. PROVIDE 1/2" WATER-RESISTANT BARRIER LAPPED, FASTENED AND OVERLAPPED AS SHOWN IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

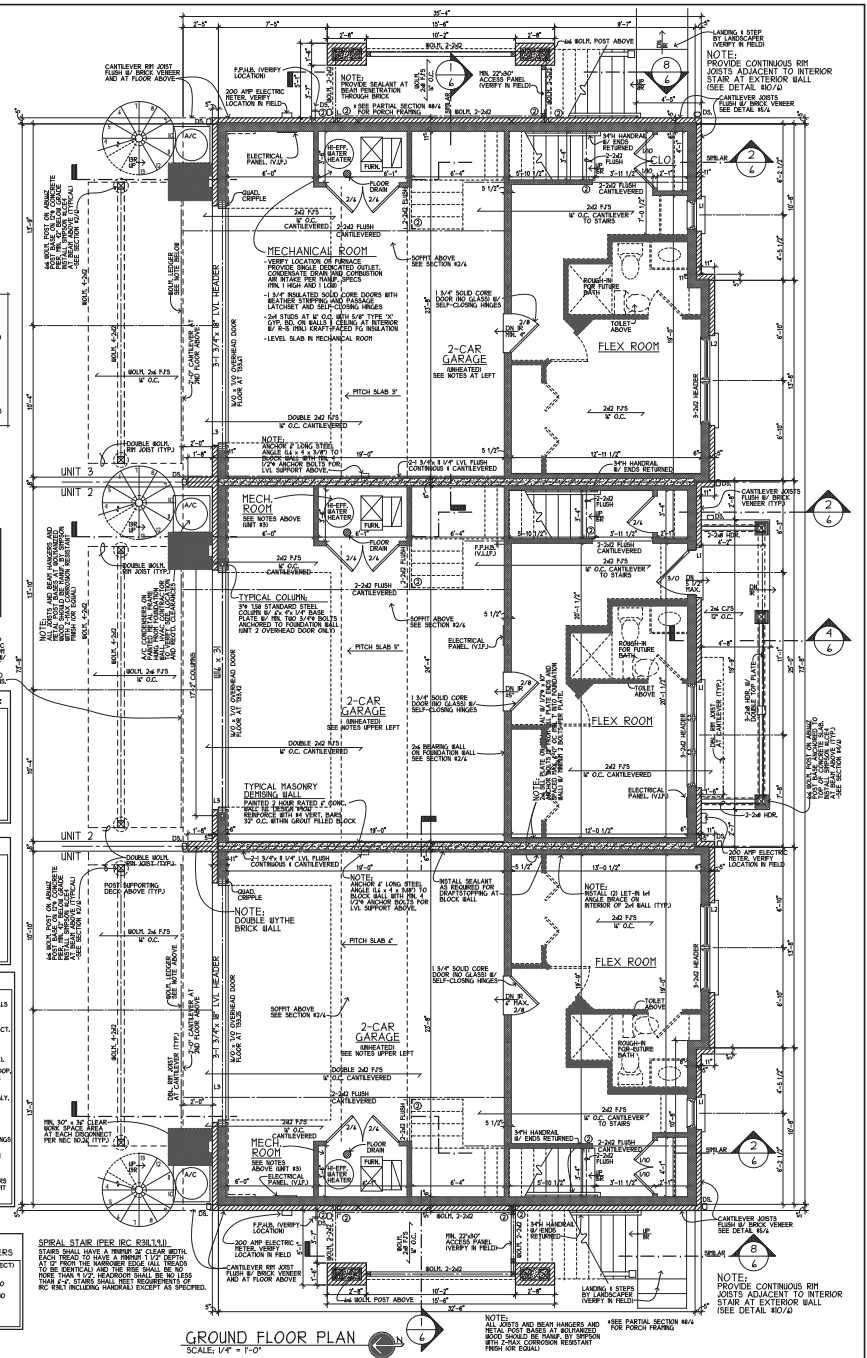
INTEL SCHEDULE:
 L1 1 1/2" X 3 1/2" X 1/4" 4" BEARING
 L2 1 1/2" X 3 1/2" X 1/4" 4" BEARING
 L3 1 1/2" X 3 1/2" X 1/4" 4" BEARING

STRUCTURAL MODIFICATION NOTES:
 1. CHECK NOTICES AND/OR HOLE BORED IN INSIDE LAMINATED GLASS UNITS. UNLESS NOTED OTHERWISE, ADDRESS BY THE DESIGN PROFESSIONAL (BROUHAU).
 2. EXTERIOR ANCHOR LOAD BEARING INTERIOR WALLS WITH FACE TO FACE SPACING OF 12" OR MORE.
 3. EXTERIOR ANCHOR LOAD BEARING INTERIOR WALLS WITH FACE TO FACE SPACING OF 12" OR MORE.

STRUCTURAL NOTES:
 1. DOUBLE CRIPPLES AT 12" LONG IN BEARING WALLS.
 2. ALL HEADERS WITH POINT LOADS (SHOWN AS AN 'X') UNLESS NOTED OTHERWISE.
 3. 2x40 HEADER AT EXTERIOR WALLS (TYPICAL UNLESS NOTED OTHERWISE).
 4. DOUBLE TOP PLATE LAPPED AT ALL CORNERS AND INTERIOR INTERSECTIONS (TYP. UNLESS NOTED OTHERWISE).
 5. PROVIDE SOLID BLOCKING UNDER ALL CRIPPLES AT HEADERS IN BEARING WALLS.

GENERAL NOTES:
 1. EXTERIOR WALL DIMENSIONS ARE OUTSIDE OF SHEATHING.
 2. EXTERIOR WALL DIMENSIONS ARE OUTSIDE OF SHEATHING.
 3. EXTERIOR WALL DIMENSIONS ARE OUTSIDE OF SHEATHING.
 4. EXTERIOR WALL DIMENSIONS ARE OUTSIDE OF SHEATHING.
 5. EXTERIOR WALL DIMENSIONS ARE OUTSIDE OF SHEATHING.

HANGER SCHEDULE
 SIMPSON STRONG-TIE GALVANIZED METAL HANGERS
 1. UNLESS NOTED OTHERWISE, VERIFY WITH ARCHITECT.
 2. UNLESS NOTED OTHERWISE, VERIFY WITH ARCHITECT.
 3. UNLESS NOTED OTHERWISE, VERIFY WITH ARCHITECT.
 4. UNLESS NOTED OTHERWISE, VERIFY WITH ARCHITECT.
 5. UNLESS NOTED OTHERWISE, VERIFY WITH ARCHITECT.



STATE OF ILLINOIS
 DESIGN PROFESSIONAL REGISTRATION NUMBER
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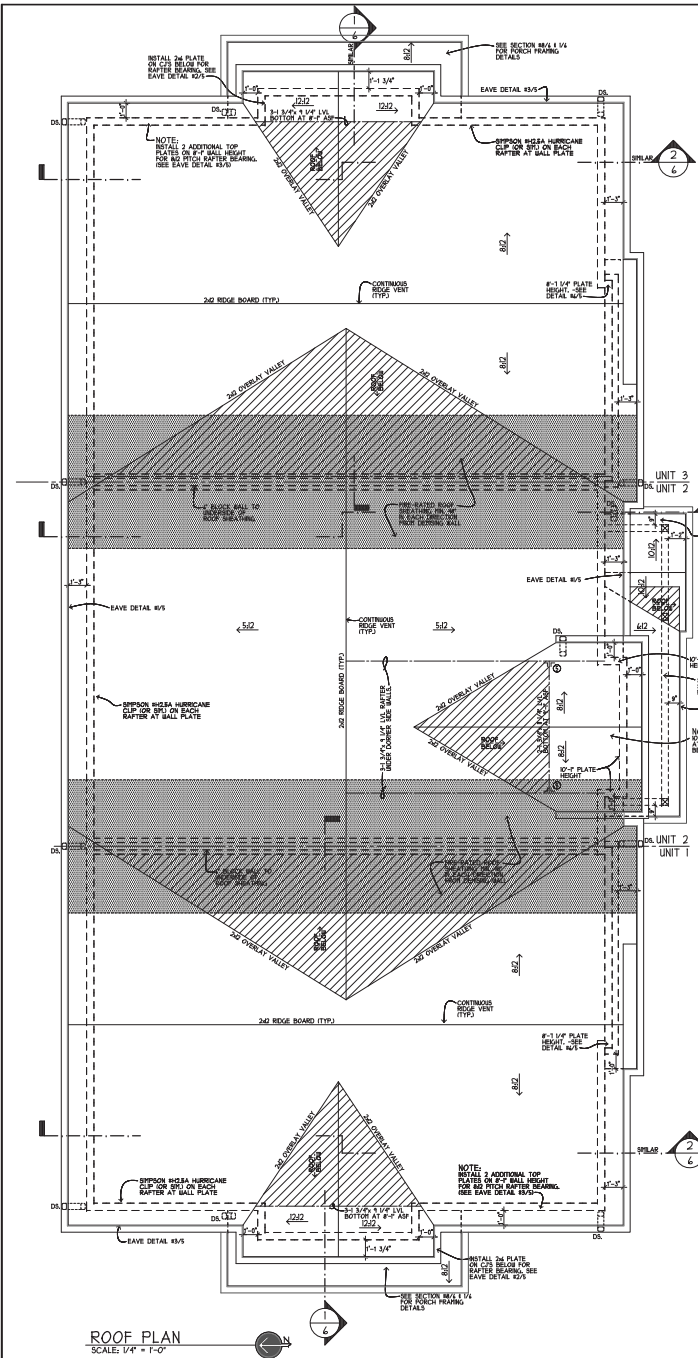
PROPOSED TOWNHOMES FOR:
HERITAGE GREEN (BLDG. TWO)
 ST. CHARLES, ILLINOIS 60184
 JRD, INC. - BOB RASMUSSEN 630-443-9393

Revisions:

Commission: 42501
 Issue Date: 3-30-2014
 Drawn By: CDZ
 GROUND FLOOR (FIRST FLOOR PLAN)

Sheet:

 PLOTTED: 3/30/2014
 of 8



GENERAL ROOF NOTES:

- ROOFING CONSTRUCTION:**
 - THREE (3) INSULATION LAYERS ON 2x6 RAFTERS.
 - VALLEY TO BE APPROPRIATE CLOSEST VALLEY.
 - PROVIDE 2x6 RAFTERS AT 24\"/>
- ROOF FRAMING:**
 - ROOF FRAMING TO BE 2x6 RAFTERS AT 24\"/>
- ROOF VENTILATION:**
 - PROVIDE CONTINUOUS VENTS AT ALL RIDGES FOR PROPER AIR FLOW.
 - PROVIDE CONTINUOUS VENTS AT ALL EAVES FOR PROPER AIR FLOW.
 - PROVIDE GREEN HOUSE HEATING AND INSULATION THROUGH ROOF.
 - ROOF OPENING IN ROOF SHEATHING AT ALL OVERLAP AREAS TO BE MADE TO PROVIDE VENTILATION.

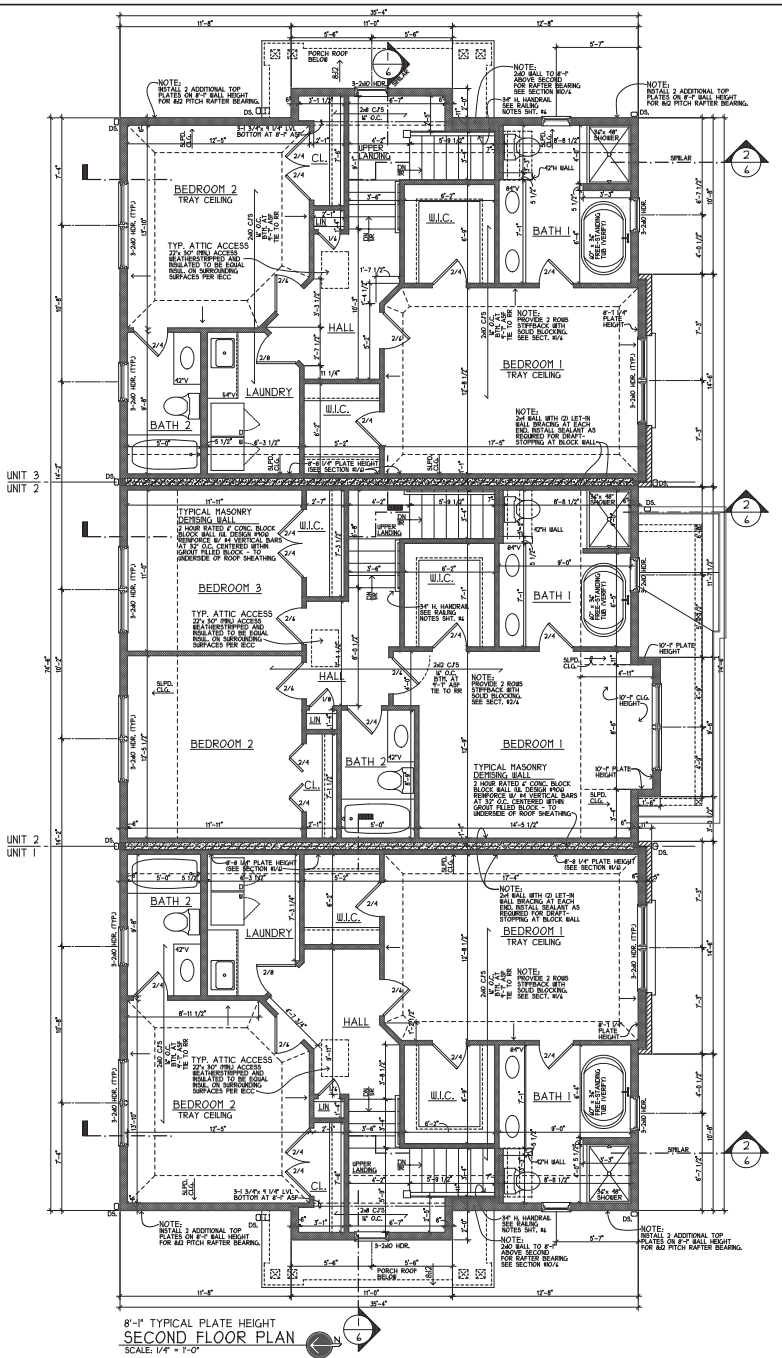
SECOND FLOOR GENERAL NOTES:

- EXTERIOR WALL DRIVERS ARE TO OUTSIDE OF SHEATHING.
- ALL GABLE ENDS TO BE 2x6 RAFTERS AT 24\"/>

NATURAL LIGHT AND VENTILATION SCHEDULE

UNITS 1 & 3	ROOM NAME	AREA	VENT (48%)		LIGHT (85%)	
			REQ'D	ACTUAL	REQ'D	ACTUAL
SECOND FLOOR (FIRST FLOOR)	FLEX ROOM	253	10.1	14.0	20.2	25.3
	KITCHEN/ DINING	212	10.9	18.4	21.8	32.8
	FAMILY ROOM	149	4.8	11.4	13.5	34.3
	STUDY	121	5.2	8.1	10.3	21.2
	PR	30	1.2	MECH.	2.4	ART.
	BEDROOM 1	200	8.0	8.4	14.0	21.2
	BEDROOM 2	145	5.8	8.4	11.4	21.2
	BEDROOM 3	121	4.8	8.4	9.1	21.2
	BATHROOM 1	43	3.1	4.4	1.4	4.1 + ART.
	BATHROOM 2	44	1.8	MECH.	3.5	ART.
UNIT 2	FLEX ROOM	250	10.0	8.4	20.0	21.2
	KITCHEN/ DINING	212	10.9	18.4	21.8	32.8
	FAMILY ROOM	149	4.8	13.8	13.5	25.5
	STUDY	121	5.1	4.1	10.2	11.3
	PR	31	1.2	MECH.	2.5	ART.
	BEDROOM 1	204	8.2	8.4	14.3	21.2
	BEDROOM 2	145	5.8	8.4	11.4	21.2
	BEDROOM 3	121	4.8	8.4	9.1	21.2
	BATHROOM 1	43	3.1	4.4	1.4	4.1 + ART.
	BATHROOM 2	44	1.8	MECH.	3.5	ART.

- GENERAL NOTES:**
- ALL HALLWAYS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA BEING VENTILATED PER IBC 903.2.2.
 - BATHROOMS SHALL BE PROVIDED WITH AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% SQUARE FEET OVERLAP OF WHICH THAT IS OPERABLE EXCEPT BATHS WITH MECHANICAL VENTILATION SYSTEMS AND SHALL BE PROVIDED WITH 10% OF THE FLOOR AREA PER IBC 903.2.2.2.
 - ALL GLAZED AREAS MUST BE OPERABLE UNLESS THE OPENING IS NOT REQUIRED BY IBC 903.2.2.2 AND THE ROOM IS INSTALLED OR BUILT AS A MECHANICAL VENTILATION SYSTEM OR INSTALLED OR BUILT AS A MECHANICAL VENTILATION SYSTEM.
 - PROVIDE ARTIFICIAL LIGHTING CAPABLE OF PROVIDING AN AVERAGE ILLUMINATION OF 20 FOOT-CANDELES AT 30 INCHES ABOVE THE FINISHED FLOOR IN ROOMS WITHOUT GLAZED AREAS PER IBC 903.2.2.2.
 - MECHANICAL VENTILATION SYSTEMS SHALL BE PROVIDED FOR ALL ROOMS WITH MECHANICAL VENTILATION SYSTEMS AND SHALL BE PROVIDED WITH 10% OF THE FLOOR AREA PER IBC 903.2.2.2.
 - A MECHANICAL VENTILATION SYSTEM IS REQUIRED AND SHALL CONSIST OF ONE OR MORE MECHANICAL VENTILATION SYSTEMS AND SHALL BE PROVIDED WITH 10% OF THE FLOOR AREA PER IBC 903.2.2.2.
 - A MECHANICAL VENTILATION SYSTEM IS REQUIRED AND SHALL CONSIST OF ONE OR MORE MECHANICAL VENTILATION SYSTEMS AND SHALL BE PROVIDED WITH 10% OF THE FLOOR AREA PER IBC 903.2.2.2.



STATE OF ILLINOIS
DESIGN FIRM
REGISTRATION NUMBER
84002491

PROPOSED TOWNHOMES FOR:
HERITAGE GREEN (BLDG. TWO)
ST. CHARLES, ILLINOIS 60184
JRD, INC. - BOB RASMUSSEN 630-443-9393

Revisions:

 Approved by:
 All notes included.

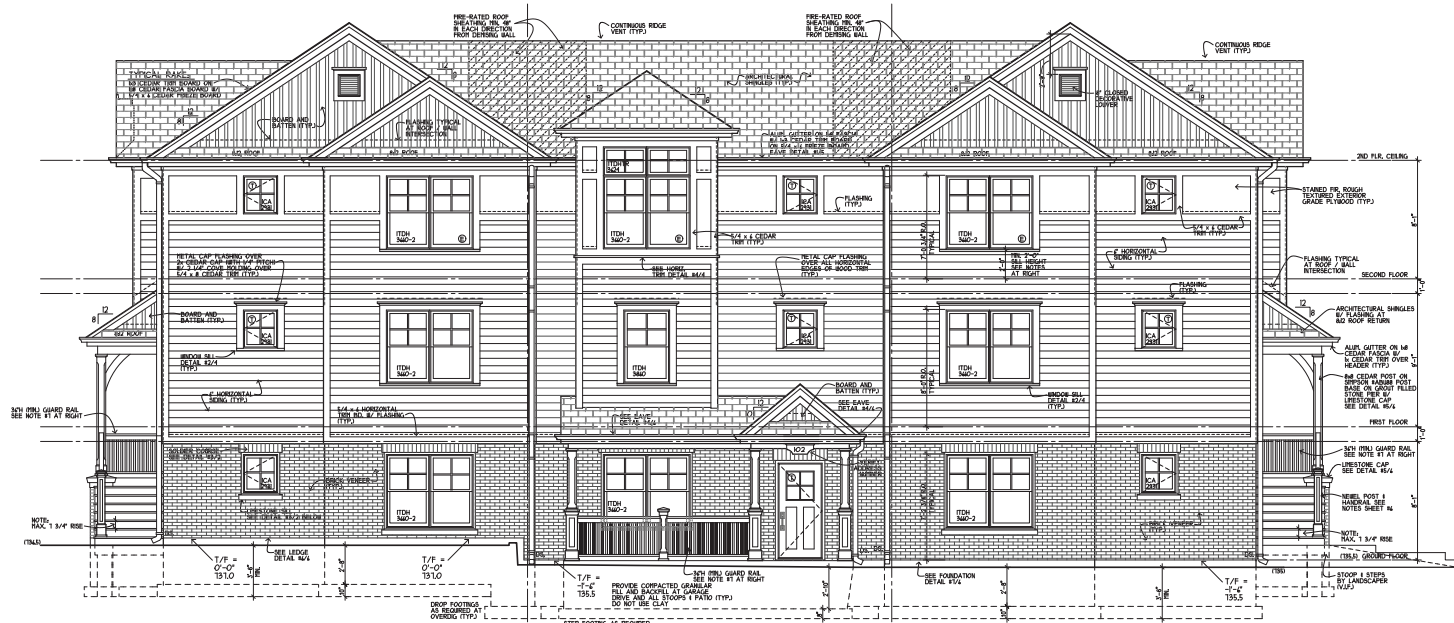
Commission: 42501
Issue Date: 3-30-2014
Drawn By: CDZ
SECOND FLOOR
1 FLOOR PLAN

Sheet:
3
of 8

Rendering of approved elevation



Building 1 Elevations



WINDOW SILL HEIGHT NOTE:
FOR RC SECTION ONLY WINDOW SILLS

- WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED ABOVE THE FINISH FLOOR OF THE SECOND FLOOR OR ABOVE DESIGN, THE TOP EDGE OF THE WINDOW SHALL BE LOCATED AT THE FINISH FLOOR OF THE SECOND FLOOR OF THE BUILDING UNLESS OTHERWISE NOTED.
- WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED BELOW THE FINISH FLOOR OF THE SECOND FLOOR OF THE BUILDING UNLESS OTHERWISE NOTED, THE WINDOW SHALL BE LOCATED AT THE FINISH FLOOR OF THE SECOND FLOOR OF THE BUILDING UNLESS OTHERWISE NOTED.
- WHERE THE WINDOW IS THE HEAD OF EXTERIOR, THE WINDOW SHALL BE LOCATED AT THE FINISH FLOOR OF THE SECOND FLOOR OF THE BUILDING UNLESS OTHERWISE NOTED.
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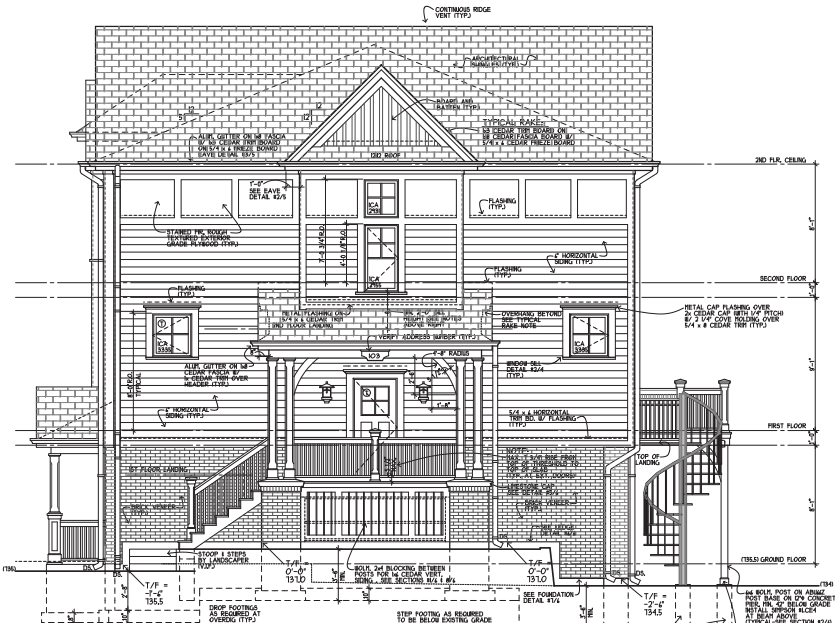
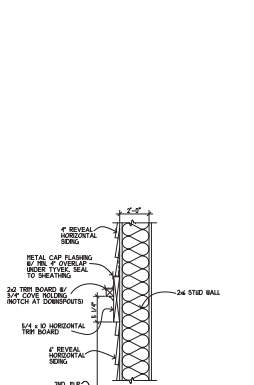
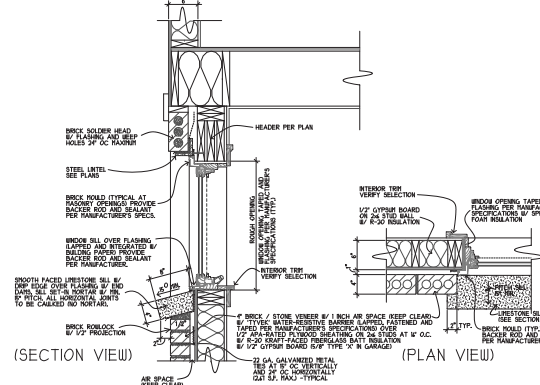
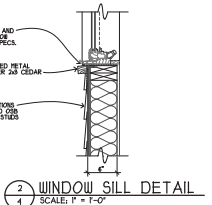
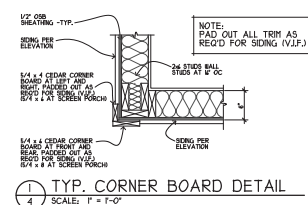
WINDOW NOTES:

WINDOWS DRAWN AS INTEGRITY WOOD-TIMBER WINDOWS UNLESS NOTED OTHERWISE.

- GLAZED FABRICATION TO PROVIDE A MAXIMUM U-FACTOR OF 0.32 PER 2009 IECC.
- GLAZED FABRICATION TO PROVIDE A MAXIMUM U-FACTOR OF 0.32 PER 2009 IECC.
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TYPICAL ELEVATION GENERAL NOTES:

- ALL FOOTINGS TO BE ON UNBROKEN, UNBURNED, UNCONTAMINATED, AND UNSETTLED NATURAL OR ARTIFICIAL FOUNDATION. ALL CONCRETE TO BE 3000 PSI AND ALL REINFORCING TO BE #4 BARS.
- CONCRETE FINISH TO BE AS SHOWN ON THE DRAWINGS. ALL CONCRETE TO BE FINISHED WITH A BRUSHED FINISH.
- ALL MASONRY INCLUDING LESTERONE SILLS, CAPS, & COPING TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MASONRY CONTRACTORS ASSOCIATION OF AMERICA, INC. (MCA).
- ALL MASONRY TO BE FINISHED WITH A BRUSHED FINISH.
- ALL MASONRY TO BE FINISHED WITH A BRUSHED FINISH.
- ALL MASONRY TO BE FINISHED WITH A BRUSHED FINISH.
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- ALL MASONRY TO BE FINISHED WITH A BRUSHED FINISH.



AUGUST 13, 2015 - BID/PERMIT SET



STATE OF ILLINOIS
DESIGN PROFESSIONAL REGISTRATION NUMBER
084002461

PROPOSED TOWNHOMES FOR:
HERITAGE GREEN (BLDG. ONE)
 ST. CHARLES, ILLINOIS 60187
 JRD, INC. - BOB RASMUSSEN 630-443-9393

Revisions:

Commission: 4244
Issue Date: 8-13-2015
Drawn By: AJC
FRONT & RIGHT ELEVATIONS

Sheet:

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of 8

Building 1 Elevations

AUGUST 13, 2015 - BID/PERMIT SET



STATE OF ILLINOIS
DESIGN PROFESSION REGISTRATION NUMBER
084002461

PROPOSED TOWNHOMES FOR:
HERITAGE GREEN (BLDG. ONE)
ST. CHARLES, ILLINOIS 60184
JRD, INC. - BOB RASMUSSEN 630-443-9393

Revisions:

Approved for Construction:
All Rights Reserved

Commission: 42424
Issue Date: 8-13-2015
Drawn By: AJC
REAR & LEFT ELEVATIONS

Sheet:
5
of 8

WINDOW SILL HEIGHT NOTE:
FOR THIS SECTION 2 1/2" WINDOW SILLS

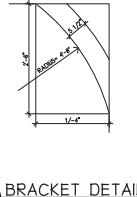
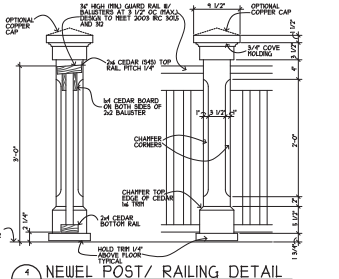
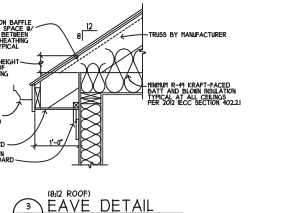
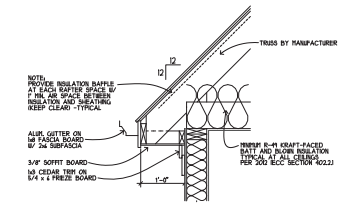
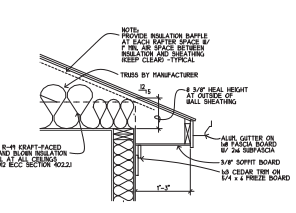
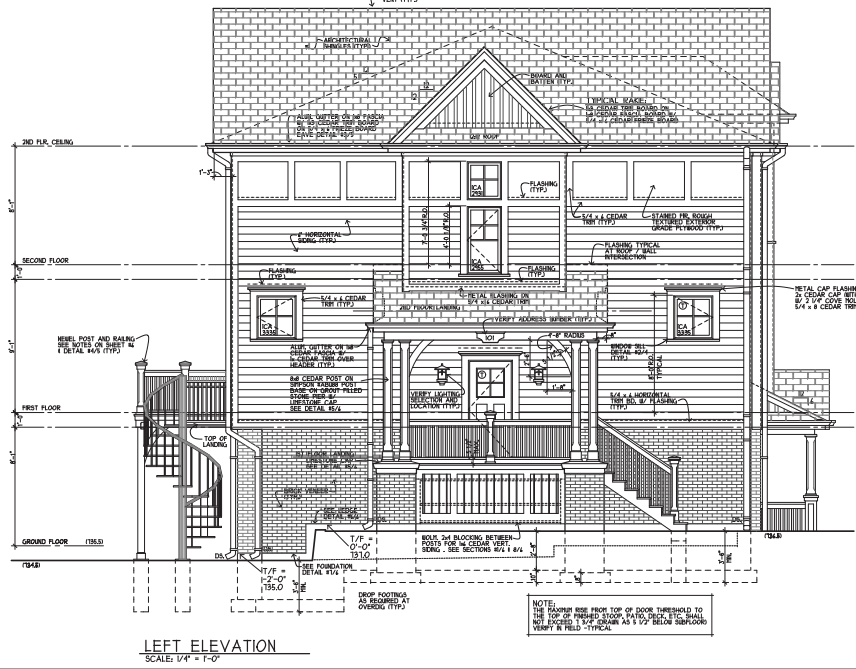
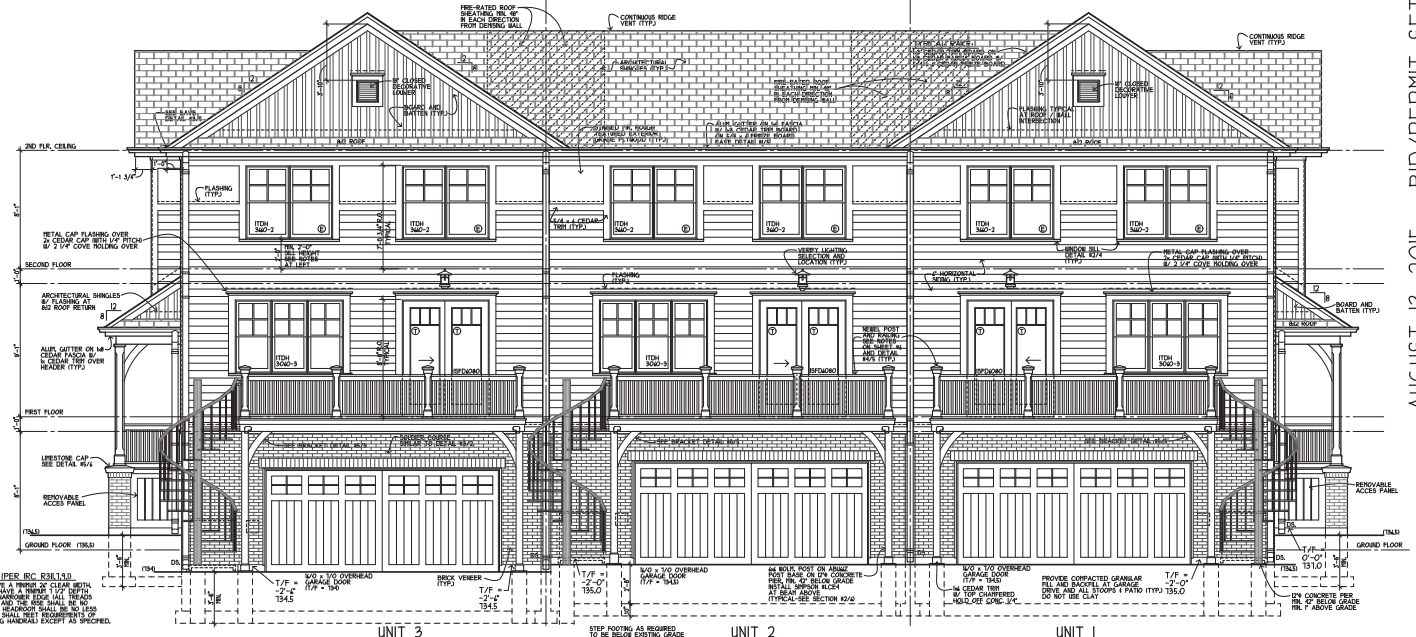
- WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 1/2" ABOVE THE FINISHED GRADE OR FINISH FLOOR, THE COEFFICIENT OF THE SILL FLOOR OF THE ROOM IS MINUS THE FINISHED GRADE OR FINISH FLOOR OF THE ROOM.
- WHERE SUCH OPENINGS ARE LOCATED WITHIN 2' 0" OF THE FINISHED GRADE OR FINISH FLOOR OF THE ROOM, THE SILL SHALL BE THE LARGEST COVERED PORTION OF THE WINDOW.
- WHERE SUCH OPENINGS ARE LOCATED WITHIN 2' 0" OF THE FINISHED GRADE OR FINISH FLOOR OF THE ROOM, THE SILL SHALL BE THE LARGEST COVERED PORTION OF THE WINDOW.
- WHERE SUCH OPENINGS ARE LOCATED WITHIN 2' 0" OF THE FINISHED GRADE OR FINISH FLOOR OF THE ROOM, THE SILL SHALL BE THE LARGEST COVERED PORTION OF THE WINDOW.
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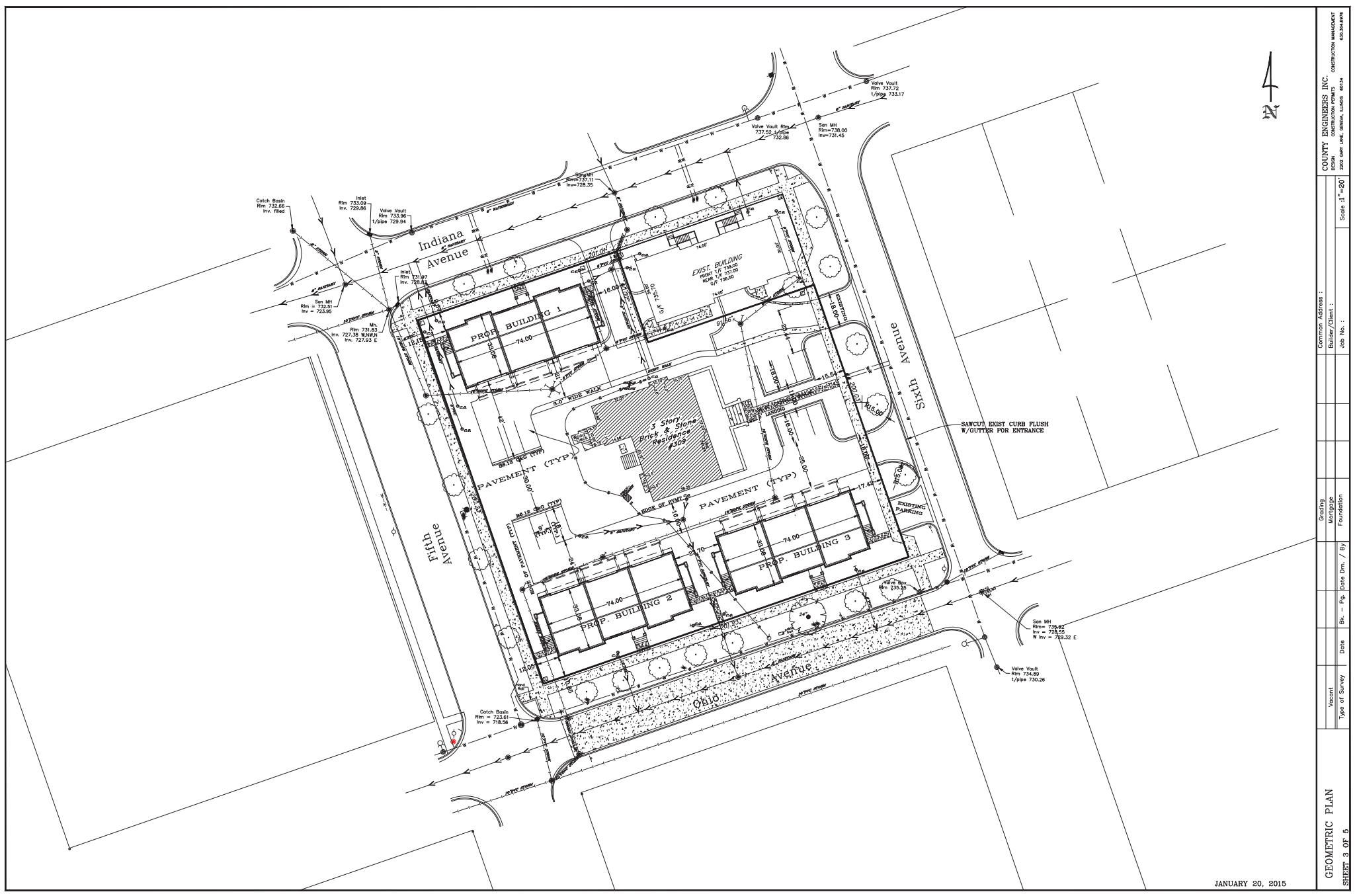
WINDOW NOTES:

- WINDOWS DRAWN AS SHOWN UNLESS OTHERWISE NOTED.
- GLAZED FABRICATION TO PROVIDE A HAZARD FACTOR OF 32 PER IBC SECTION 703.5.1.
- PROVIDE 1/2" MINIMUM SPACED FINISHES AT ROOSTERS.
- VERIFY ALL WINDOW AND DOOR MANUFACTURER SPECIFICATIONS.
- CONTRACTOR TO VERIFY ALL WINDOW HEIGHTS AND ROOM OPENINGS.
- VERIFY GILL PATTERNS SHOWN WITH OTHER.
- INSTALL TEMPERED GLASS.
- TEMPERED GLASS WINDOWS PER LOCAL CODE BY THE MANUFACTURER'S LABEL.

TYPICAL ELEVATION GENERAL NOTES:

- ALL NOTING TO BE IN ACCORDANCE WITH IBC SECTION 703.5.1.
- CONCRETE SHALL BE 3000 PSI AND TO BE A THRESHOLD OF 2" BELOW GRADE.
- ALL CONCRETE EXPOSED TO WEATHER IS TO BE SMOOTH AND FINISHED WITH A FINISH AS DETERMINED BY THE ARCHITECT.
- CONTRACTOR TO VERIFY ALL WINDOW HEIGHTS AND ROOM OPENINGS.
- VERIFY GILL PATTERNS SHOWN WITH OTHER.
- INSTALL ALL FINISHING AS REQUIRED FOR WEATHERPROOFING EXTERIOR WALLS.
- CONTRACTOR TO VERIFY ALL WINDOW HEIGHTS AND ROOM OPENINGS.
- VERIFY GILL PATTERNS SHOWN WITH OTHER.
- INSTALL ALL HANDRAILS TO BE 34" HIGH OF FIN. 2" HAZARD BY BAILETTES AT HANDRAILS PER IBC SECTION 703.5.1.
- INSTALL ALL HANDRAILS TO BE 34" HIGH OF FIN. 2" HAZARD BY BAILETTES AT HANDRAILS PER IBC SECTION 703.5.1.





GEOMETRIC PLAN SHEET 3 OF 5		Common Address : Builder/Client : Job No. :	Grading Mortgage Foundation	Bl. - Pg. Date Dwn. / By	Date Date	Vacant Type of Survey	COUNTY ENGINEERS INC. 202 NEW LANE, CANON, MISSISSIPPI 39014 CONSTRUCTION MANAGEMENT SCALE: 1" = 20' DATE: JANUARY 20, 2015
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JANUARY 20, 2015