

	HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
	Agenda Item Title/Address:	COA: 225 W. Main St.		
	Proposal:	Review of south elevation		
	Petitioner:	Brad Colby, BC Carpentry and Ed Seaman		
Please check appropriate box (x)				
	PUBLIC HEARING		MEETING 1/17/18	X
AGENDA ITEM CATEGORY:				
<input checked="" type="checkbox"/>	Certificate of Appropriateness (COA)	<input checked="" type="checkbox"/>	Façade Improvement Plan	
	Preliminary Review		Landmark/District Designation	
	Discussion Item		Commission Business	
ATTACHMENTS:				
Approved west elevation, with two options for south elevation; original elevation plans for project				
EXECUTIVE SUMMARY:				
<p>The Commission previously approved a Façade Improvement Grant and COAs for the project to repair the 3rd Street elevation of the building at 225 W. Main St. (Homebrew Shop).</p> <p>Last November, the Commission approved modifications to the storefront design and siding materials. Use of horizontal fiber cement siding was approved.</p> <p>The Commission noted at the meeting that the south elevation was not correctly drawn and asked the applicant to return with a corrected drawing. The Commission needed to make a determination on whether to continue the horizontal band across the south elevation.</p>				
RECOMMENDATION / SUGGESTED ACTION:				
Provide feedback and recommendations on approval of the COA.				

Ms. Malay noted there was once a building in the rear and asked if the shed could be placed in that same location. Mr. Seaman said the area is too small for the size of the shed they are considering.

Mr. Gibson was concerned with it being perceived as a small garage when viewed from the street. He suggested painting or staining the shed to match the house, and putting a brown steel roof on it. He thought this would help make it less visible.

A motion was made by Ms. Malay and seconded by Mr. Gibson with a unanimous voice vote to approve the COA contingent upon staining the shed to compliment the house and a brown roof.

10. COA: 225 W. Main St. (façade project)

Brad Colby, from BCB Carpentry, and Ed Seaman, the building owner, were present.

Mr. B. Colby reviewed the proposed work based on the conditions outlined in their last approval. He said the stone kneewall is still going through and wrapping into the recesses of the new storefront. The biggest item they are working on is eliminating the EIFS. They are running out of time getting the project going and they would now like to use a different product due to the approaching temperature changes. All the same waterproofing will still be done, but they would like to put in sleepers to create a rain screen on two sides of the building, then side it or use a Hardie product.

Mr. B. Colby explained his plan for completing the project. The entire building will have a rain screen. He said cladding/siding is not watertight so the rain screen is a screen to stop the wind driven rain from getting behind it. The screen provides the opportunity for air to flow and dry the actual structure of the building. He said it is good for the structure. He explained this changes what they get to clad the building with. A Hardie fiber cement product is perfect for this. He intends to create recessed panels on the storefronts. The aluminum trim will be the darker color and the Hardie trim will be the lighter color. There will be panel, trim, and dimension added.

Chairman Norris asked if they considered signage, lighting or awnings. Mr. Seaman said he has not looked into any of that yet. Chairman Norris suggested planning ahead for electrical needs. Mr. Gibson said the prime location for new signage would be right above where the existing sign is now.

Dr. Smunt asked if they could center the single door with the side window. Mr. B. Colby said for ADA purposes, they do not have the room to change the design.

The Commission suggested they return with a scaled elevation of the south side with elements drawn in. The decision on continuing the freeze board on this elevation will be determined at the next meeting.

Mr. Pretz felt the change in the material and style will help the street immensely. Mr. Krahenbuhl liked the changes presented. Mr. Kessler was also in favor of the doors and trim, but said he preferred a product like versetta stone over the Hardie board. Mr. B. Colby said he would only use that on a small project.

A motion was made by Ms. Malay and seconded by Mr. Pretz with a unanimous voice vote to approve the COA using Hardie board as the main siding contingent upon seeing a scaled drawing of the south elevation.

a. 218 S. 3rd Avenue

Mr. Colby was approached by an architect who is working with the homeowner. The home is in the historic district, but they do not what style it is. The survey lists it as a ranch and the only architectural element they noticed were the frieze returns. The homeowner would like to add a porch and modify the exterior of the building in the Craftsman style. The garage will also be modified to match. They would like to know if this style would be acceptable given its existing architecture. Dr. Smunt said it is basically nondescript and liked what the homeowner is planning to do. The Commissioners were in favor of the changes and suggested the homeowner come in and present their plan.

11. Additional Business and Observations from Commissioners or Staff

a. Downtown Partnership Update

Mr. Gibson said the Downtown Partnership is re-doing the signs that were mentioned at a previous meeting. They will follow-up with the Commission when they have something new to present.

b. Residential Façade Improvement Grant

Mr. Colby advised the Commissioners to email him any feedback they have regarding the instruction sheet he created that explains how to apply for a grant. Mr. Krahenbuhl suggested including verbiage concerning timing issues to indicate how long the applicant has to complete a project in order to receive funding. Mr. Kessler said it should state “exterior only”. The Commissioners discussed whether or not to allow interior structural issues that impact the exterior. Mr. Colby advised they would have to consider this on a case-by-case basis. Since the program does not clearly allow for interior issues, the homeowner would need to prove the connection between the two. Ms. Malay did not want to rule it out altogether because the intent of the program is to preserve the longevity of these homes.

c. Historical Footprint

The item was tabled.

d. 217 Cedar Ave.

225 W. Main St.
Structural and Exterior remodel



James Hardie Lap siding and trim option







21'

24'



24'

BUILDING REPAIR AND ALTERATIONS FOR
225 W MAIN STREET ST CHARLES, IL
CONTRACTOR:
BCB CARPENTRY AND CONSULTING
816 PARK ST BATAVIA, IL 60510
331-588-3536

ISSUED FOR BIDDING

These plans were drawn by me or under my direct supervision, and to the best of my knowledge comply with all applicable building codes listed (seal must be affixed for permit)

signed
 license expires 11/30/2018
 drawings: **ALM, A1, A3**
 dated: **7/25/2017**
 Illinois Design Firm #181,006916

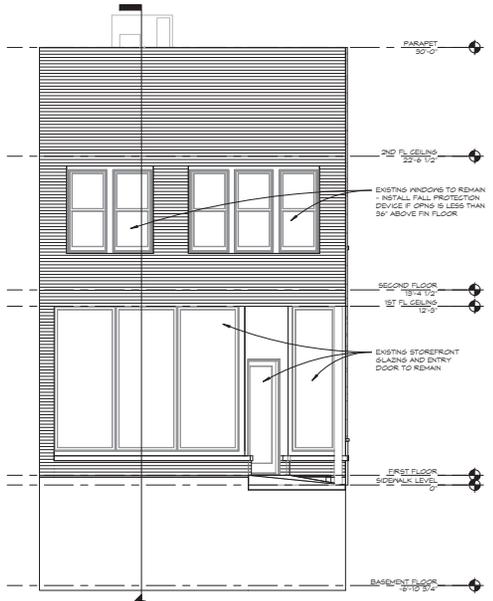
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REVISION SCHEDULE		
ID	DATE	DESCRIPTION

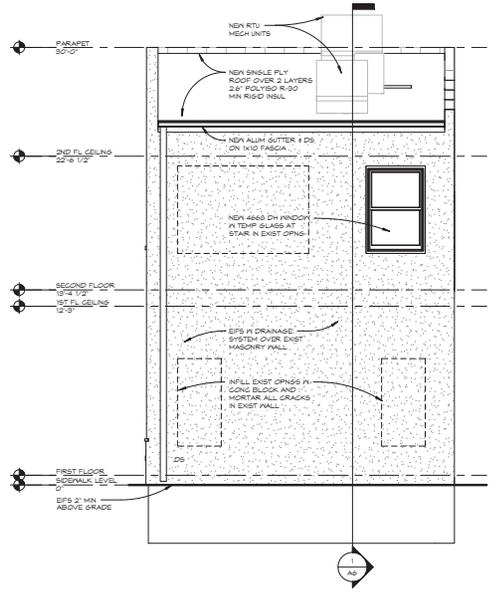
ISSUE DATE: 7/11/2017
 DRAWN BY: PRL
 CHECKED BY: PRL
 PROJECT NUMBER: 17006

EXTERIOR ELEVATIONS

A3



1 NORTH ELEVATION
 1/4" = 1'-0"



2 SOUTH ELEVATION
 1/4" = 1'-0"



3 WEST ELEVATION
 1/4" = 1'-0"