 <p>CITY OF ST. CHARLES ILLINOIS • 1834</p>	<b>HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY</b>			
	<b>Agenda Item Title/Address:</b>	COA: 303 N 3 <sup>rd</sup> Ave.		
	<b>Significance:</b>	Contributing		
	<b>Petitioner:</b>	Matt Sweeney		
	<b>Project Type:</b>	Additions		
	<b>PUBLIC HEARING</b>		<b>MEETING 3/15/23</b>	<b>X</b>
<b>Agenda Item Category:</b>				
	Preliminary Review		Grant	
X	Certificate of Appropriateness (COA)		Other Commission Business	
	Landmark/District Designation		Commission Business	
<b>Attached Documents:</b>			<b>Additional Requested Documents:</b>	
Application, Building Designs, Architectural survey,				
<b>Project Description:</b>				
<ul style="list-style-type: none"> <li>Proposed is to remove the current detached garage and front addition and construct a new addition and new detached garage.</li> <li>The original structure will remain as part of the project.</li> </ul>				
<b>Staff Comments:</b>				
<p>The Commission has previously reviewed these designs and requested that the breezeway doors be white and the bay on the side elevation be removed.</p> <p>The Building Department may require changes to window sizes and types for safety reasons.</p>				
<b>Recommendation / Suggested Action:</b>				
<ul style="list-style-type: none"> <li>Provide feedback and recommendation on approval of the COA</li> </ul>				

# ADDITION & REMODEL 303 N THIRD AVENUE, ST CHARLES

## GENERAL NOTES

1. SITE DIMENSIONS, EXISTING GRADE ELEVATIONS, ETC. ARE FROM A SURVEY MADE BY \_\_\_\_\_ REGISTERED LAND SURVEYOR.
2. BUILDING ELEVATIONS ON THE DRAWINGS ARE REFERRED TO THE FINISHED FIRST FLOOR ELEVATION 102.00'.
3. ALL WORK SHALL CONFORM TO THE 2008 EDITION, ALL LOCAL CODES AND ORDINANCES AND ALL APPLICABLE STATE AND FEDERAL CODES AND ORDINANCES.
4. ALL PERMIT FEES SHALL BE THE BURDEN OF THE CONTRACTOR.
5. ALL CONTRACTORS AND THEIR SUB-CONTRACTORS SHALL INSPECT THE SITE AND VERIFY ALL CONDITIONS AND DATA PERTAINING TO THE IMPROVEMENTS, AND THEIR RELATIONSHIP TO THE WORK.
6. ALL UTILITIES SHALL BE VERIFIED BY THE TRADE, OR TRADES, BEFORE THE WORK BEGINS. THEM OR AROUND THEM.
7. ALL DIMENSIONS, DETAILS AND CONDITIONS SHALL BE VERIFIED IN THE FIELD. DO NOT SCALE THE DRAWINGS.
8. ANY DISCREPANCIES, CONFLICTS OR AMBIGUITIES BETWEEN THE VARIOUS DRAWINGS OR BETWEEN THE VARIOUS DRAWINGS AND ACTUAL CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR OR HIS SUB-CONTRACTORS OF ANY ADDITIONAL COSTS THAT MIGHT BE INCURRED AS A RESULT OF DISCREPANCIES, CONFLICTS OR AMBIGUITIES.
9. WHERE DRAWINGS AND SPECIFICATIONS ARE IN CONFLICT, DRAWINGS SHALL TAKE PRECEDENCE OVER SPECIFICATIONS.
10. DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.
11. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACING REQUIRED TO COMPLETE ALL WORK INDICATED ON THE DRAWINGS.
12. STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION OF STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL WORK, AND TO COORDINATE SUCH INSTALLATIONS. ANY DISCREPANCY OR CONFLICT BETWEEN THE ARCHITECTURAL DRAWINGS AND THE MECHANICAL, PLUMBING, ELECTRICAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CONNECTED BY THE GENERAL CONTRACTOR AT HIS OWN EXPENSE, AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
13. ABBREVIATIONS USED THROUGHOUT THE DRAWINGS ARE THOSE IN COMMON USE. THE ARCHITECT SHALL DEFINE THE INTENT OF ANY IN QUESTION.
14. THE BUILDER SHALL BE RESPONSIBLE FOR APPROVAL OF SUBMISSION FINAL COLOR AND MATERIAL AS REQUIRED DURING CONSTRUCTION.
15. WINDOW AND GLASS SHALL CONFORM TO ALL REQUIREMENTS OF THE 2008 EDITION, SECTION R602 AND R603 AND THE SAFETY STANDARD FOR GLAZING MATERIALS, IBC 2003 LATEST EDITION. NOTE THE FOLLOWING MUST BE TEMPERED GLASS: ALL GLAZING IN ENTRY DOORS & STORE DOORS, DOOR ENCLOSURES, BATHROOMS, BATHS & SHOWERS, AND ALL GLAZING IN ANY WALLS ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGES OF THE GLAZING IS LESS THAN 48" ABOVE ANY STANDING OR WALKING SURFACE. ALL GLAZED PARTS WITH 1/2" OF A DOOR OR 18 SQUARE FEET OR GREATER IN AN AREA ON WHICH BOTTOM EDGE IS LESS THAN 18" ABOVE THE FINISHED FLOOR.
16. PROVIDE KICKOUT FALL PROTECTION PER R612.2 OF THE 2008 IRC AS REQUIRED.
17. AT THE TIME OF THE SITE AND BUILDING LAYOUT, TREE REMOVAL, SHALL BE COORDINATED AND APPROVED BY THE OWNER BEFORE BEGINNING ANY SITE WORK.
18. GRADES SHALL BE KEPT A MINIMUM OF 8" BELOW THE TOP OF THE FOUNDATION AND SLOPE AWAY FROM THE STRUCTURE.
19. UNLESS NOTED OTHERWISE, PARTITION DIMENSIONS ARE AS FOLLOWS: EXTERIOR WALLS, EXTERIOR FINISH INTERIOR WALLS, HOUSE WALKS: 2" EXTERIOR FINISH WITH A 1/2" EXTENSION 1/2" EXTERIOR FINISH AT ALL CORNERS AND IN THE CENTER OF ALL WALLS 2" OR MORE LONG. 2" EXTERIOR FINISH 1/2" EXTERIOR FINISH WITH A 1/2" EXTENSION 1/2" EXTERIOR FINISH AT ALL CORNERS AND IN THE CENTER OF ALL WALLS 2" OR MORE LONG. SIDE AND DRINKWALL INTERIOR FINISH INTERIOR PARTITIONS, 3/4" STUCCO AT 18" O.C. WITH 1/2" DRINKWALL ON BOTH SIDES. EXTERIOR WALLS AT ALL BATHS AND SHOWERS.
20. PROVIDE A CONTINUOUS PRESSURE-TREATED 2X4 SILL PLATE SECURED WITH 1/2" DIAMETER ANCHOR BOLTS 8" MIN. TO THE TOP OF THE FOUNDATION WALL AT 4' O.C. AND WITHIN 12" OF EACH CORNER.
21. UNLESS NOTED OTHERWISE, WINDOW INSULATION VALUES SHALL BE AS FOLLOWS: WALLS WITH FLOOR RISERS, CEILING RISERS OR CATHEDRAL CEILING RISERS WITH 1" AIRSPACE ABOVE; CEILING AND BASEMENT WALLS R15.
22. PROVIDE A CONTINUOUS VAPOR BARRIER ON THE WARM SIDE OF ALL EXTERIOR WALLS AND AT THE SECOND FLOOR CEILING. VAPOR BARRIER TO BE COMPLIANT WITH CLIMATE ZONE 9 PER 2015 IRC.
23. UNLESS NOTED OTHERWISE, ALL PLAN DIMENSIONS OF MASONRY WALLS ARE TO ROUGH MASONRY AND ALL MASONRY THICKNESSES ARE NOMINALLY DIMENSIONED.
24. UNLESS NOTED OTHERWISE, ALL INTERIOR PARTITIONS SHALL BE COMPLETELY BRICKED, SEALED TO THE BOTTOM OF THE STRUCTURE ABOVE.
25. DOUBLE FLOOR JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL TO JOISTS AND UNDER ALL BATHS/UBS OR SPAS.
26. PROVIDE SOLID BRIDGING @ 8" O.C. CENTERS (MAX).
27. DOUBLE FRAMING AT ALL STAIR OPENINGS.
28. ALL HEADERS SHALL BE 2X4 DIMENSIONS, UNLESS NOTED OTHERWISE. DOUBLE 2X10 AND 2X12 HEADERS SHALL HAVE A 1/2" V-GROOVE SPACER.
29. ALLOWABLE DIMENSIONS FOR SQUARE ALL OPENINGS 8" O.C. OR GREATER.
30. ALL WINDOWS SHALL BE IDENTIFIED UNLESS OTHERWISE APPROVED EQUAL.
31. TOP OF WINDOWS SHALL BE 4" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
32. ALL SPANWALLS SHALL BE 8" O.C. RARE.
33. UNLESS NOTED OTHERWISE ALL RIDGE, HIP AND VALLEY SHEALS SHALL BE ONE SIZE LARGER THAN THE LARGEST ROOF RAFTERS CARRIED BY THE BEAM.
34. ALL GUARD AND STAIR RAILS SHALL BE 34" TO 38" HIGH WITH SPINDLES AT 4" O.C. TO NOT ALLOW A 4" DIAMETER ROUND OBJECT TO PASS THROUGH THEM.
35. ALL WALLS, CEILING AND BEAMS IN THE GARAGE SHALL BE COVERED WITH 5/8" FIRE CODE DRINKWALL, TYPED.
36. FIRESTOP ALL WALLS AT ROOF AND AT HEAD OF ALL MECHANICAL SPACES WITH SOLID BLOCKING.
37. PROVIDE MINIMUM 22x30" ATTIC ACCESS PANEL, WITH AN ATTIC LIGHT SWITCHED FROM THE FLOOR BELOW.
38. ROOF VENTS SHALL BE SIZED PER THE LOCAL BUILDING CODES.
39. ALL EXHAUST FANS SHALL VENT DOWN THROUGH A ROOF UNLESS IMPRACTICAL, IN WHICH CASE THEY SHALL VENT THROUGH A SIDEWALL HOOD OR THROUGH THE ROOF WITH A LOW PROFILE HOOD ON THE BACK OF THE STRUCTURE.
40. BASEMENTS AND CRAWL SPACES SHALL HAVE A 4" DIAMETER DRAIN TIE AROUND THE PERIMETER EXCEPTING INTO A SUMP WITH 1/2" OF 3/4" DIAMETER BALL AND 1/2" WITH 1/2" UNDER THE TILE AND 2" COVER.
41. BASEMENT FLOOR DRAINS SHALL CONNECT TO THE SANITARY SEWER, NOT THE SUMP.
42. SUMP PUMPS AND DOWNSPUTS SHALL DISCHARGE ONTO A CONCRETE SPLASH BLOCK IN THE YARD.
43. IN NEW FULL DEPTH BASEMENTS, PROVIDE A BASEMENT ESCAPE WINDOW WITH 5 1/2" MIN CLEAR OPENING WHEN IN AN OPEN POSITION MIN OF 20" HIGH & 20" WIDE. SILL 8" ABOVE FINISHED FLOOR (MAX). WINDOW WELL SHALL BE A MIN OF 6" SF WITH A PERMANENT LADDER LEADING TO THE WINDOW WELL.
44. DRAIN WALLS SHALL BE 1/2" ABOVE THE FINISHED FLOOR.
45. PROVIDE BLOCKING, SOLID OR DIAGONAL, FOR ALL FLOOR JOISTS AT SPACING LESS THAN IN EQUAL TO 8" O.C.

## STRUCTURAL DESIGN CRITERIA

ASSUMED SOIL BEARING CAPACITY 7,500 PSF  
 SPECIFIED CONCRETE STRENGTH 3,000 PSI AFTER 28 DAYS  
 2X4, 2X6, 2X8 SPRUCE PINE FIR (DPT) GRADE #2 OR BETTER  
 2X12 HEAVY FIR GRADE #2 OR BETTER  
 2X12 HEAVY FIR GRADE #2 OR BETTER  
 2X12 HEAVY FIR GRADE #2 OR BETTER  
 MANUFACTURED BEAMS SHALL BE INTERNATIONAL BEAMS 2X4 UNLESS NOTED OTHERWISE.  
 MANUFACTURED FLOOR JOISTS SHALL BE TRUSSLOK12 PREYENKELWEG T&A

FLOOR LOADS: 40 PSF, 10R DL, ALL AREAS  
 WALL LOAD: 10R PL, ALL AREAS  
 CEILING LOAD: 10R DL, ALL AREAS  
 ROOF LOAD: 10R DL, ROOF SLOPES OVER 12:12  
 CATHEDRAL ROOF LOAD: 10R DL, ALL SLOPES  
 EXTERIOR SOIL LOAD: 10R DL, ALL AREAS  
 NOTE: ALL EXTERIOR DECK FRAMING MATERIAL SHALL BE 5/8" TRUSS OR BETTER TREATED TO PREVENT ROT.

## PLUMBING NOTES

1. ALL WORK SHALL CONFORM TO THE ILLINOIS STATE PLUMBING CODE, LATEST EDITION (2014).
2. CITY OR VILLAGE WATER SERVICE SHALL HAVE A SHUT OFF AND BE SOON INSTALLED PER GOVERNING REGULATIONS OUTSIDE OF THE BUILDING.
3. DRAIN ROOF THE RELIEF VALVE SERVING HOT WATER HEATER TO BE PERMITTED WITHIN 4' OF THE FLOOR DRAIN.
4. PROVIDE 4" PIPES WITH LOCKING TYPE VALVE AROUND WATER HEATER, BY PASS TO BE THE SAME SIZE AS WATER LINE BUT IN NO CASE LESS THAN 1".
5. PROVIDE 1/2" MINIMUM P.V.C. RIGID DRAIN PIPES PER SUELL AND GILMANNA.
6. ALL VENT PIPES ABOVE GARAGE SHALL BE 2" DIAMETER OR LARGER.
7. ALL HOSE BEBS SHALL BE PROST PROOF TYPE.
8. ALL VENT PIPES SHALL HAVE LOCAL VALVES FOR BOTH HOT AND COLD WATER SUPPLY LINES.
9. ALL POTABLE WATER SERVICE AND DISTRIBUTION PIPING SHALL BE TYPE M COPPER.
10. ALL COLD WATER SERVICE SHALL HAVE AN AUTOMATIC SAFETY WATER SHUT OFF DEVICE AND BE INSTALLED WITHIN 10' OF THE WATER SERVICE ENTRY.
11. THE SAFETY WATER SHUT OFF DEVICE SHALL BE ADJUSTED TO A MINIMUM SETTING OF 10' POUNDS AT THE TIME OF INSTALLATION PER 2014 ILLINOIS PLUMBING CODES.
12. THE DRAINAGE AND VENT SYSTEM SHALL BE TESTED WITH WATER BY CLOSING THE LOWER END OF THE DRAINAGE AND VENT SYSTEM ABOVE THE HIGHEST OPENING WITH A 10' HEAD OF WATER. THE WATER SHALL BE KEPT IN THE SYSTEM FOR AT LEAST 15 MINUTES BEFORE INSPECTION SHEETS AND HOLD TIGHT WITHOUT ANY LEAKS PER 2014 ILLINOIS PLUMBING CODE.

## HVAC NOTES

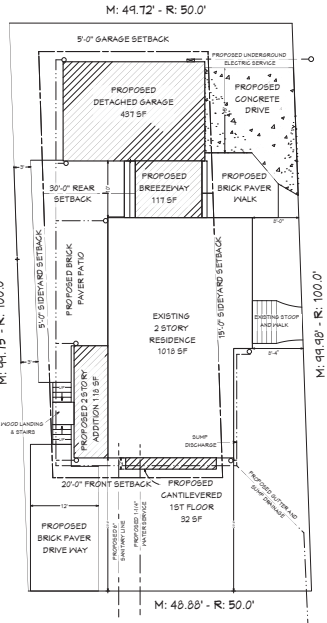
1. SEAL WITH DUCT MASTIC ALL JOINTS IN SUPPLY AND RETURN AIR SYSTEM.
  2. ALL DUCTWORK IN ATTIC SHALL HAVE INSULATION JACKET INSULATED.
  3. SHEET METAL DUCTS SHALL BE 26 GA. METAL.
- ## ELECTRICAL NOTES
1. ALL ELECTRICAL WORK SHALL CONFORM TO THE 2008 EDITION.
  2. ELECTRIC SERVICE 200A/20V/1PH, PANE 3, 800 IN 1 1/2" MIN. HANG.
  3. SIZE OF BRACED VIBES FOR ELECTRIC SERVICE SHALL BE 400 WIRE.
  4. PANEL SHALL BE 42 CIRCUITS OR APPROVED EQUAL.
  5. EVERY FLOOR SHALL HAVE A 110V INTERCONNECTED SMOKE DETECTOR AND THERE SHALL BE A 110V INTERCONNECTED SMOKE DETECTOR IN ALL BEDROOMS.
  6. ELECTRIC OUTLETS SHALL BE 15' ABOVE FINISHED FLOOR.
  7. ELECTRIC SWITCHES SHALL BE MOUNTED 48" ABOVE FINISHED FLOOR.
  8. PROVIDE GROUND FAULT INTERRUPTER (GFI) OUTLETS AND CIRCUITS IN ALL EXTERIOR AND WET LOCATIONS.
  9. FIRE SMOKE WHERE CONDUIT IS REQUIRED, FOR HOME RUNS SHALL BE 3/4" MINIMUM.
  10. ALL WIRE SHALL BE COVERED WITH THIRTYTWO IN INSULATION.
  11. ALL PANEL PROTECTION LACES SHALL BE PROVIDED FOR ALL GENDS SUPPLYING 120V, 15 AMP & 20 AMP OUTLETS PER 2008 NEC, SECTION 404.
  12. A MINIMUM OF 75% OF ALL RECESSED LIGHTS AND PERMANENTLY INSTALLED FIXTURES SHALL HAVE HIGH EFFICIENCY BULBS INSTALLED IN THEM.

## APPLICABLE CODES (BY ST CHARLES AMENDMENTS)

- 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2014 ILLINOIS STATE PLUMBING CODE
- 2014 NFPA NATIONAL ELECTRIC CODE (NEC)
- 2018 ILLINOIS ENERGY CONSERVATION CODE (IECC)

## BUILDING COVERAGE

TOTAL PROPOSED: 1322 SF  
 LOT AREA: 4422 3 SF  
 ALLOWABLE BUILDING COVERAGE: 4422.3x.25=1255.5F+500 SF (DET. GAR.) = 1750 SF

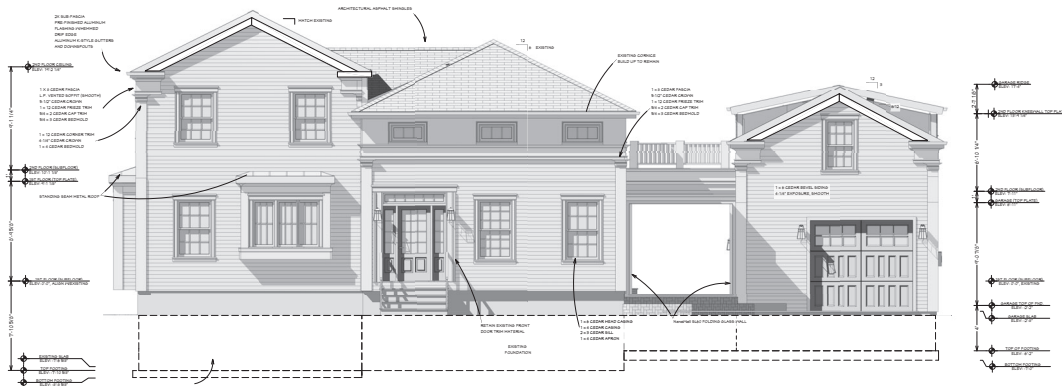


CHESTNUT STREET

## SITE PLAN

SCALE: 1/8" = 1'-0"

<p><b>SHEET TITLE:</b> SITE PLAN</p> <p><b>PROJECT DESCRIPTION:</b> REMODEL &amp; ADDITION SWEENEY RESIDENCE 303 N. THIRD AVE., ST. CHARLES, IL</p> <p><b>DRAWINGS PROVIDED BY:</b> MATT SWEENEY 411947 BETH RD CAMPTON HILLS, IL</p>	<p><b>DATE:</b> 1/15/23</p> <p><b>SCALE:</b> 1/4" = 1'-0"</p> <p><b>SHEET:</b> 1</p>
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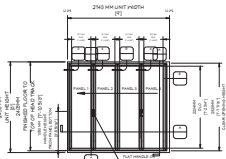


FRONT ELEVATION

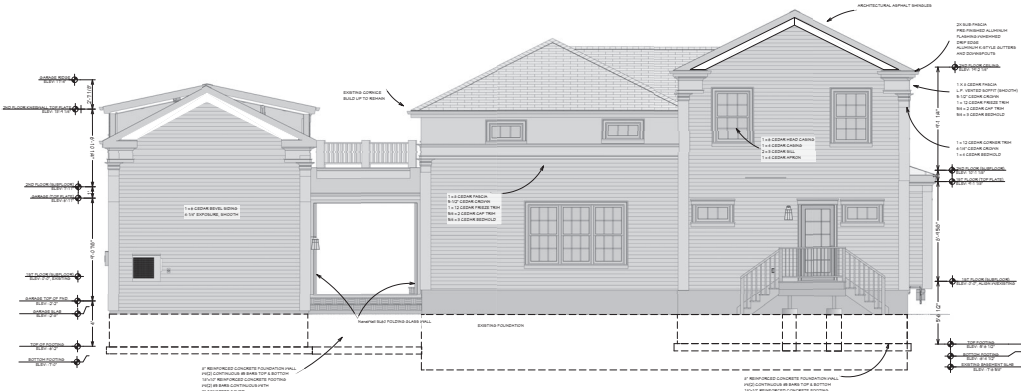
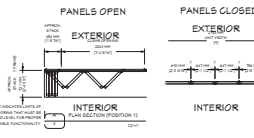
SCALE: 1/4" = 1'-0"

WINDOWS & DOORS: PROVIDE MARVIN ALUMINUM GLAZED WINDOWS AND DOORS, INSULATED GLASS UNITS, LOW-E COATINGS & ARGON GAS. UNITS 7' HAVE MINIMUM U-FACTOR VALUE OF 30. MUNTINS TO BE SIMULATED DIVIDED LIGHT.

NanaWall SL60  
FOLDING GLASS WALL



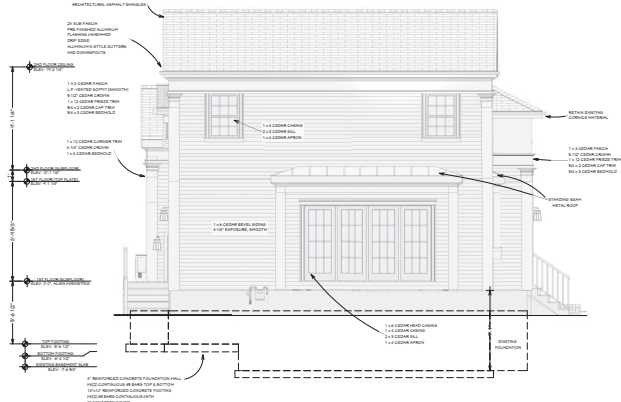
ELEVATION POSITION 1



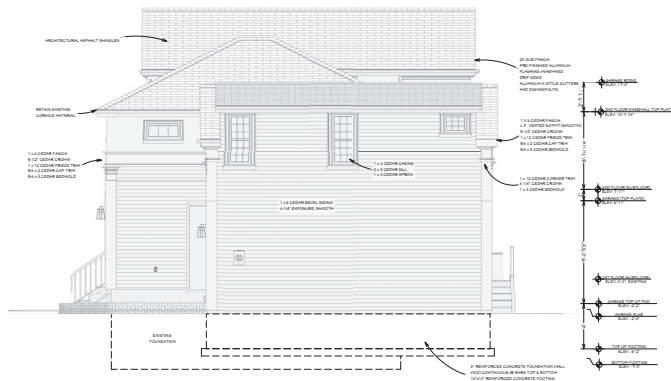
REAR ELEVATION

SCALE: 1/4" = 1'-0"

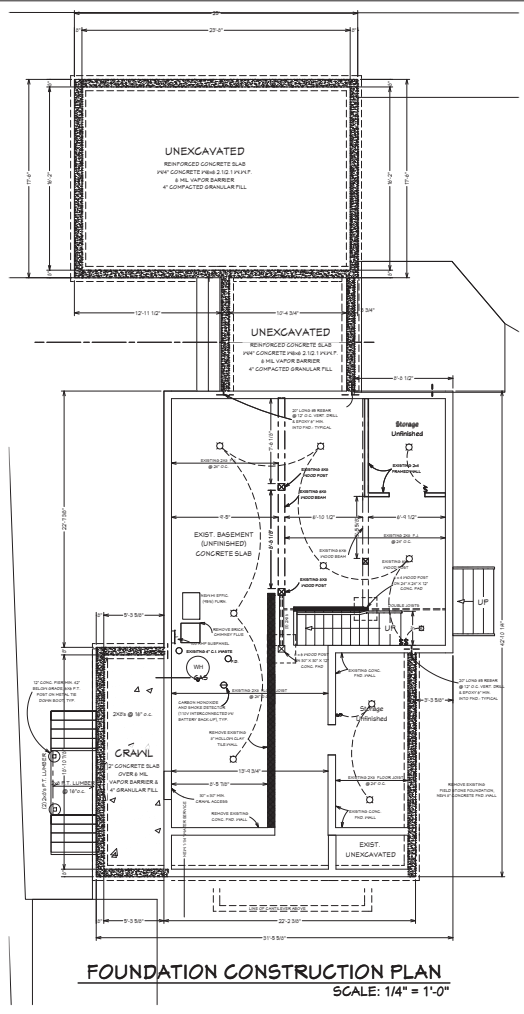
NO. 5	DATE	11/11/2024
NO. 4	DATE	11/11/2024
NO. 3	DATE	11/11/2024
NO. 2	DATE	11/11/2024
NO. 1	DATE	11/11/2024
SITE PLAN		
WBS: W03000000 RS: LDDP, RDDP, RA NJ: SSAORS, NPSACS 5' SIXTY FIVE (25.91) METER SQUARE		
DRAWN BY: W03000000 E: WU, SSA, SO CW: 2025, HRP CE: W, LAH, H, NRP		
DE S:		
MEM: 5		
NCEI:		
MR24 M 3		
NHSS:		
2		



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

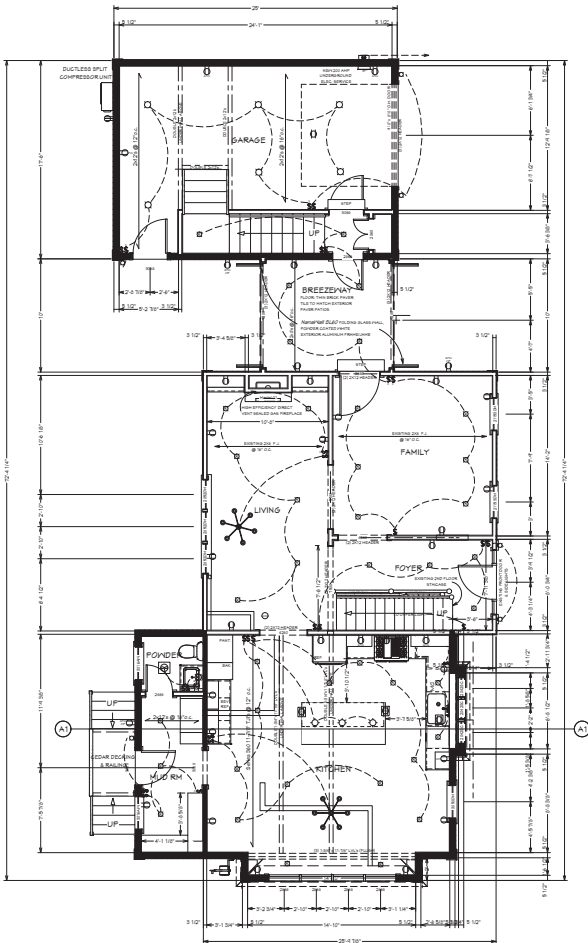


**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

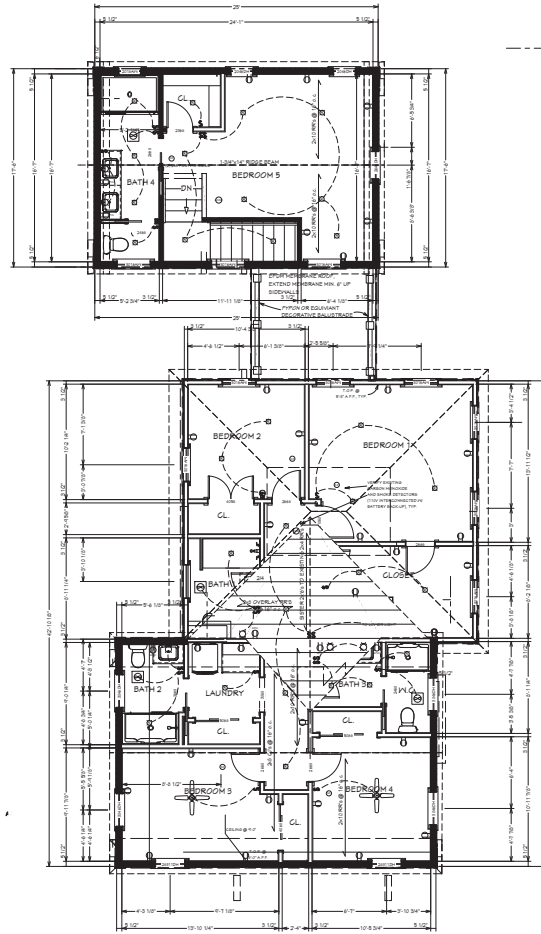


**FOUNDATION CONSTRUCTION PLAN**  
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE
SHEET TITLE: <b>ELEVATION &amp; ADDITION FOUNDATION CONSTRUCTION PLAN</b>		
PRODUCT DESCRIPTION: <b>REMODEL &amp; ADDITION SWEENEY RESIDENCE 303 N THIRD AVE, ST CHARLES, IL</b>		
DRAWINGS PROVIDED BY: <b>MATT SWEENEY 411847 BETH RD CAMPTON HILLS, IL</b>		
DATE: 1/15/23		
SCALE: 1/4" = 1'-0"		
SHEET: <b>3</b>		



FIRST FLOOR CONSTRUCTION PLAN  
SCALE: 1/4" = 1'-0"



SECOND FLOOR CONSTRUCTION PLAN  
SCALE: 1/4" = 1'-0"

DATE: 11/10/2010	NOV
LH: WAW	
EL V A O N A S F U A	
DF O L U C D V S F O A R S P O	
REF: 1: DOWNLLOADER.DWG	
U: 1 F N: S A T # N N S / F O	
L G : : O: J A U: L S N: O D:	
2: 2: 00 H S U M A R Y: 7 A: V A D H P U S: L 7 S S	
NPV: W	
E/5/12	
LDP&: W	
E/34" E6-4	
LH: : W	
4	



EXISTING FRONT ELEVATION



EXISTING LEFT & REAR ELEVATIONS



NanaWall 5L60  
FOLDING GLASS WALL



EXISTING FRONT ENTRY



EXISTING ENTRY AND CORNICE DETAIL

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
SUPPORTING MATERIAL

PROJECT DESCRIPTION:  
REMODEL & ADDITION  
SWEENEY RESIDENCE  
303 N THIRD AVE, ST CHARLES, IL

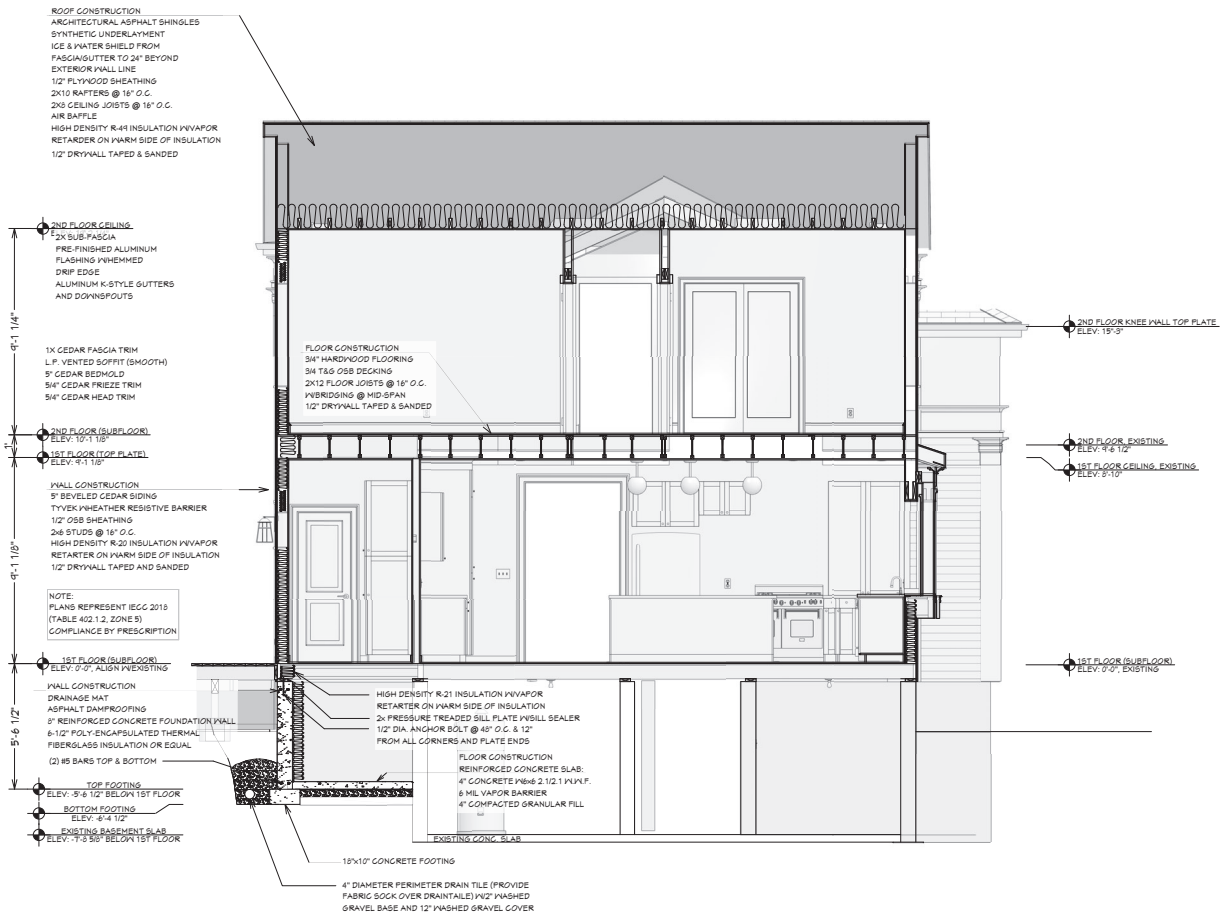
DRAWINGS PROVIDED BY:  
MATT SWEENEY  
4118/847 BETH RD  
CAMPTON HILLS, IL

DATE:  
1/15/23

SCALE:  
1/4" = 1'-0"

SHEET:  
7





A  
1

# BUILDING SECTION

SCALE: 1/2" = 1'-0"

REV.	BY	DATE
SITE PLAN: L		
SCALE: 1/2" = 1'-0"		
WATERMARK: P.L.D. WJ PRIHARR EPL SGIILYMS RLTTI		
5' SCALE: MRA VI BEB/CC: HESBH		
RW: G. L. CAMPBELL J: EEASG ILLI 2MG-3081 ECAH T: J. NEPLAC HESBH		
R: EID		
MEM: 1/5		
ST: HD		
MR: 34 M: 3		
SC: IED		
1		



ST. CHARLES HISTORIC PRESERVATION COMMISSION

# ARCHITECTURAL SURVEY ST. CHARLES CENTRAL DISTRICT ST. CHARLES, ILLINOIS

DIXON ASSOCIATES / ARCHITECTS

## ARCHITECTURAL INTEGRITY

	1	2	3
<input type="checkbox"/> Unaltered	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Minor Alteration	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/> Major Alteration	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Additions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sensitive to original	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Insensitive to original	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

1: first floor; 2: upper floors; 3: roof/cornice

## BUILDING CONDITION

- Excellent: Well-maintained
- Good: Minor maintenance needed
- Fair: Major repairs needed
- Poor: Deteriorated

## ARCHITECTURAL DESCRIPTION

**Style:** Greek Revival

**Date of Construction:** 1870-1880

**Source:** A Field Guide to American Houses

**Features:**

Low pitched hip roof. Frieze-band windows. Classical details at end. Side and transom lights at front door. Some details have been removed or altered.

## ARCHITECTURAL SIGNIFICANCE

- Significant
- Contributing
- Non-Contributing



**Address:**

303 North 3rd Avenue

**Representation in Existing Surveys:**

- Federal
- State
- County
- Local

**Block No. 24**

**Building No. 5**

**SURVEY DATE:**

**MAY 1994**

**ROLL NO. 4**

**NEGATIVE NO. 26**





ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY  
ST. CHARLES CENTRAL DISTRICT  
ST. CHARLES, ILLINOIS

DIXON ASSOCIATES / ARCHITECTS

CONTINUATION SHEET NO: 1



**Address:**

303 North 3rd Avenue

**Remarks:**

South Elevation.

**Block No. 24**

**Building No. 5**

**ROLL NO. 4**

**NEGATIVE NO. 25**

**Address:**

**Remarks:**

**Block No.**

**Building No.**

**ROLL NO.**

**NEGATIVE NO.**