 <p>CITY OF ST. CHARLES ILLINOIS • 1834</p>	HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
	Agenda Item Title/Address:	COA: 303 N 3 rd Ave.		
	Significance:	Contributing		
	Petitioner:	Matt Sweeney		
	Project Type:	Additions		
	PUBLIC HEARING		MEETING 4/19/23	X
Agenda Item Category:				
	Preliminary Review		Grant	
X	Certificate of Appropriateness (COA)		Other Commission Business	
	Landmark/District Designation		Commission Business	
Attached Documents:		Additional Requested Documents:		
Application, Building Designs, Architectural survey,				
Project Description:				
<ul style="list-style-type: none"> Proposed is to remove the current detached garage and front addition and construct a new addition and new detached garage. The original structure will remain as part of the project. A modification has been made to enclose the breezeway. The applicant would like approval of the revised plans. 				
Staff Comments:				
Recommendation / Suggested Action:				
<ul style="list-style-type: none"> Provide feedback and recommendation on approval of the COA 				

ADDITION & REMODEL 303 N THIRD AVENUE, ST CHARLES

GENERAL NOTES

1. SITE DIMENSIONS, EXISTING GRADE ELEVATIONS, ETC. ARE FROM A SURVEY MADE BY H. HARRINGTON LAND SURVEYOR.
2. BUILDING ELEVATIONS ON THE DRAWINGS ARE REFERRED TO THE FINISHED FIRST FLOOR ELEVATION 100.00'.
3. ALL WORK SHALL CONFORM TO IRC 2008 EDITION, ALL LOCAL CODES AND ORDINANCES AND ALL APPLICABLE STATE AND FEDERAL CODES AND ORDINANCES.
4. ALL PERMIT FEES SHALL BE BY THE BUILDER.
5. ALL CONTRACTORS AND THEIR SUBCONTRACTORS SHALL INSPECT THE SITE AND VERIFY ALL CONDITIONS AND DATA PERTAINING TO THE NEW STRUCTURES, AND THEIR RELATIONSHIP TO THE WORK.
6. ALL UTILITIES LOCATIONS SHALL BE VERIFIED BY THE TRACER OR TRACERS, DOING THE WORK WITH THEM OR AROUND THEM.
7. ALL DIMENSIONS, DETAILS AND CONDITIONS SHALL BE VERIFIED IN THE FIELD. DO NOT SCALE THE DRAWINGS.
8. ANY DISCREPANCIES, CONFLICTS, OR AMBIGUITIES BETWEEN THE VARIOUS DRAWINGS, OR BETWEEN THE VARIOUS DRAWINGS AND ACTUAL CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, OR OWNER. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE SUCH INSTALLATIONS. ANY DISCREPANCY OR CONFLICT BETWEEN THE ARCHITECTURAL DRAWINGS AND THE DRAWINGS OF THE CONSULTING ENGINEERS DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT HIS OWN EXPENSE, AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
9. ABBREVIATIONS USED THROUGHOUT THE DRAWINGS ARE THOSE IN COMMON USE. THE ARCHITECT SHALL DEFINE THE MEANING OF ANY ABBREVIATION.
10. THE BUILDER/OOWNER SHALL SELECT AND APPROVE UPON SUBMISSION FINAL COLOR AND MATERIAL AS REQUIRED DURING CONSTRUCTION.
11. FINISHES AND GLASS PARTITIONS AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF THE 2008 IBC EDITION, SECTION 703 AND 703.4 AND THE SAFETY STANDARDS FOR GLASS PARTITIONS. THERE IS A LIMITED EDITION NOTE: THE GLASSING SHALL BE TEMPERED GLASS, ALL GLAZING IN ENTRY DOORS & STORE DOORS, DOOR ENCLOSURES OF HORIZONTAL PARTITIONS & SHOWER ENCLOSURES SHALL BE SAFETY GLASS. THESE COMPONENTS WHERE THE BOTTOM EDGES OF THE GLAZING IS LESS THAN 60" ABOVE ANY STANDING OR WALKING SURFACE, ALL GLAZED PANELS WITHIN 5' OF A DOOR OR 18 SQUARE FEET OR GREATER IN AN AREA OR PORCHES BOTTOM EDGE IS LESS THAN 12" ABOVE THE FINISHED FLOOR.
12. PROVIDE WINDOW FALL PROTECTION PER R312.2 OF THE 2008 IRC AS REQUIRED AT THE TIME OF THE SITE AND BUILDING LAYOUT. FREE REMOVAL SHALL BE COORDINATED AND APPROVED BY THE OWNER BEFORE BEGINNING ANY SITE WORK.
13. GRADES SHALL BE KEPT A MINIMUM OF 3" BELOW THE TOP OF THE FOUNDATION AND SLOPE AWAY FROM THE STRUCTURE.
14. UNLESS NOTED OTHERWISE PARTITION DIMENSIONS ARE AS FOLLOWS: EXTERIOR WALLS, EXTERIOR FRESH MATERIAL, HOUSE WRAAP, 1/2" EXTERIOR SHEATHING WITH APA EXTERIOR FLYWOOD BRACING AT ALL CORNERS AND IN THE CENTER OF ALL WALLS 3/4" OR MORE LONG. 3/4" STUDS AT 16" O.C. WITH RAFT INSULATION WITH VAPOR BARRIER ON THE WARM SIDE AND BRUSHBACK INTERIOR FINISH. INTERIOR PARTITIONS 3/4" STUDS AT 16" O.C. WITH 1/2" DRYWALL ON BOTH SIDES. SOUND INSULATION AT ALL BATH OR POWDER ROOMS.
15. PROVIDE A CONTINUOUS PRESSURE TREATED 2X4 SILL PLATE SECURED WITH 1/2" DIAMETER ANCHOR BOLTS SET 8" MIN. INTO THE TOP OF THE FOUNDATION WALL AT 8" O.C. AND WITHIN 12" OF EACH CORNER.
16. UNLESS NOTED OTHERWISE, MINIMUM INSULATION VALUES SHALL BE AS FOLLOWS: WALLS WITH TYPICAL ROOF CEILING OR CATHEDRAL CEILING ROOF WITH 1" AIRSPACE ABOVE; CRAWL AND BASEMENT WALLS R15.
17. PROVIDE A CONTINUOUS VAPOR BARRIER ON THE WARM SIDE OF ALL EXTERIOR WALLS AND AT THE SECOND FLOOR CEILING, VAPOR BARRIER TO BE COMPLIANT WITH CLIMATE ZONE 5 PER 2018 IECC.
18. UNLESS NOTED OTHERWISE, ALL PLAN DIMENSIONS OF MASONRY WALLS ARE TO EXTERIOR FINISHES AND ALL INTERIOR PARTITIONS SHALL BE COMPLETELY BROUGHT TO THE STRUCTURE ABOVE.
19. DOUBLE FLOOR JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL TO JOISTS AND UNDER ALL BATHS OR SPAS.
20. FLOOR JOISTS BRACING @ 8' ON CENTER (N/A).
21. DOUBLE FRAMING AT ALL STAIR OPENINGS.
22. ALL HEADERS SHALL BE 2X4 WITH 2X6 CHANGES. UNLESS NOTED OTHERWISE, DOUBLE 2X10 AND DOUBLE 2X4 CAPPED FOR BEAMS AT ALL OPENINGS 10" WIDE OR GREATER.
23. ALL STAIRWAYS SHALL HAVE A 4" FLOOR CLEARANCE.
24. UNLESS NOTED OTHERWISE ALL ROOF AND VALLEY BEAMS SHALL BE ONE SIZE LARGER THAN THE LARGEST ROOF RAFTERS CARRIED BY THE BEAM.
25. ALL SOUND AND STAIR WALLS SHALL BE 8" TO 10" HIGH WITH SPINDLES AT 8" O.C. TO NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THEM.
26. ALL WALLS, CEILING AND BEAMS IN THE GARAGE SHALL BE COVERED WITH 5/8" FIRE CODE DRYWALL, TAPE.
27. FIRESTOP ALL WALLS AT SLOTTED AND AT HEAD OF ALL MECHANICAL SPACES WITH SOLID BLOCKING.
28. PROVIDE MINIMUM 22"x30" ATTIC ACCESS PANEL, WITH AN ATTIC LIGHT SLOTTED FROM THE FLOOR BELOW.
29. ALL EXHAUST FANS SHALL BE SIZED PER THE LOCAL BUILDING CODE.
30. ALL EXHAUST FANS SHALL BE SIZED PER THE LOCAL BUILDING CODE. IN HIGH CASE THEY SHALL VENT THROUGH A SCHEDULED WOOD OR THROUGH THE ROOF WITH A LOW PROFILE HOOD ON THE BACK OF THE STRUCTURE.
31. BASEMENTS AND CRAWL SPACES SHALL HAVE A 4" DIAMETER DRAIN TILE AROUND THE PERIMETER BRUSHING INTO A SUMP WITH 12" OF SHALLOW FILL AROUND THE TILE WITH 10" UNDER THE TILE AND 2" COVER.
32. BASEMENT FLOOR FINISH SHALL COMPLY WITH THE SANITARY SEWER STOP THE SUMP.
33. SUMP PUMPS AND DOWNSPUTS SHALL DISCHARGE ONTO A CONCRETE SPASH BLOCK IN THE YARD.
34. IN NEW FULL DEPTH BASEMENTS, PROVIDE A BASEMENT ESCAPE WINDOW WITH 5.7 OHM CLEAR OPENING WHEN IN AN OPEN POSITION WITH 20" HIGH 20" DEEP SILL 3/4" ABOVE FINISHED FLOOR FINISH. WINDOW SHALL BE A MIN. OF 4' 8" WITH A PERMANENT LASKER BOLT TO THE WINDOW SILL.
35. DRAIN ALL WELL AREAS TO THE FOOTING TIE.
36. PROVIDE BLOCKING, SOLID OR DIAGONAL, FOR ALL FLOOR JOISTS AT SPACING LESS THAN OR EQUAL TO 8' 0".

STRUCTURAL DESIGN CRITERIA

- ASSUME SOIL BEARING CAPACITY 3,000 PSF
SPECCED CONCRETE STRENGTH 4,000 PSI AFTER 28 DAYS
SPECCED LUMBER
2X4, 2X6, 2X10 SPRUCE-PINE-FIR (SDF) GRADE OR BETTER
LONDON, WITH AN EXTREME FIBER STRESS 795' OF 19 PSI MIN.
2X12 WITH GRADE OR BETTER.
SHEATHING SHEET WITH AN EXTREME FIBER STRESS 795' OF 19 PSI MIN.
MANUFACTURED BEAMS SHALL BE INTERNATIONAL BEAMS 2.0 LVL UNLESS NOTED OTHERWISE.
MANUFACTURED FLOOR JOISTS SHALL BE TRUSSJOIST HYPERDECKER T24
- FLOOR LOADS +40 LL, 100 DL, ALL AREAS
FLOOR FINISH +8 FF, 100 DL, OR ACTUAL
CEILING LOAD +20 CL, 100 DL, ROOF SLOPES OVER 12
CATHEDRAL ROOF LOAD +30 RL, 100 DL, ALL SLOPES
EXTERIOR DECK LOAD +40 DL, 100 DL, ALL SLOPES
NOTE: ALL EXTERIOR DECK FRAMING MATERIAL SHALL BE SPF
FRAMING OR BETTER TREATED TO PREVENT ROT

PLUMBING NOTES

1. ALL WORK SHALL CONFORM TO THE ILLINOIS STATE PLUMBING CODE, LATEST EDITION (2014)
2. GFI OR VILLAGE WATER SERVICE SHALL HAVE A SHUT OFF AND 8-BOON INSTALLED PER THE LOCAL CODE.
3. DRAIN FROM THE NEELBY VALVE SERVING HOT WATER HEATER TO BE PIPED TO WITHIN 8' OF THE WORK AREA.
4. PROVIDE A 1/2" PRESSURE TIGHT GROUND TYPE VALVE AROUND WATER HEATER BY PASS TO BE THE SAME SIZE AS WATER LINE BUT IN NO CASE LESS THAN 1".
5. ALL WASTE LINES BELOW CONCRETE FLOORS TO BE 2" DIAMETER.
6. ALL VENT PIPES ABOVE GRADE SHALL BE 2" DIAMETER OR LARGER.
7. ALL HOSE BIBBS SHALL BE ROOF PROOF TYPE.
8. ALL FIXTURES SHALL HAVE LOCAL VALVES FOR BOTH HOT AND COLD WATER SUPPLY LINES.
9. ALL PORTABLE WATER SERVICE AND DISTRIBUTION PIPING SHALL BE TYPE M COPPER.
10. ALL SHOWER BATH TUBS SHALL HAVE AN AUTOMATIC SAFETY WATER HEATING DEVICE AND SHALL COMPLY WITH ANSIS Z111-114 AND BE DESIGNED WITH A MAXIMUM HANDLE ROTATION TOP TO TOP OF CURB WITH AN ANGLE OF 101.118 DEGREES. THE SAFETY WATER HEATING DEVICE SHALL BE ADJUSTED TO A MAXIMUM SETTING OF 119° FAHRENHEIT AT THE TIME OF INSTALLATION PER 2014 ILLINOIS PLUMBING CODE.
11. THE DRAINAGE AND VENT SYSTEM SHALL BE TESTED WITH WATER BY CLOSING THE LOWER END OF THE VERTICAL PIPES AND FILLING THE ENTIRE SYSTEM ABOVE THE HIGHEST OPENING WITH A 10" HEAD OF WATER. THE WATER SHALL BE KEPT IN THE SYSTEM FOR AT LEAST 15 MINUTES BEFORE INSPECTION STARTS AND HOLD TIGHT WITHOUT ANY LEAKS PER 2014 ILLINOIS PLUMBING CODE.

HVAC NOTES

1. SEAL WITH DUCT TAPE ALL JOINTS IN SUPPLY AND RETURN AIR SYSTEM.
2. ALL DUCTWORK IN ATTIC SHALL HAVE R8 INSULATION JACKET INSTALLED.
3. SHEET METAL DUCTS SHALL BE 26 GA. METAL.

ELECTRICAL NOTES

1. ALL ELECTRICAL WORK SHALL CONFORM TO NEC 2008 EDITION
2. ELECTRIC SERVICE 200A (3W/1P), PANE 3, 3, 480 V, 112.7 MVAHZ.
3. SIZE OF GROUND WIRE FOR ELECTRIC SERVICE SHALL BE 400 KCMIL.
4. PANE 3 SHALL BE 42 CONCRETE TIE OR APPROVED EQUAL.
5. EVERY FLOOR SHALL HAVE A 110V INTERCONNECTED SHOCK DETECTOR AND THERE SHALL BE A 110V INTERCONNECTED SHOCK DETECTOR IN ALL BEDROOMS.
6. ELECTRIC OUTLETS SHALL BE MOUNTED BY ABOVE FINISHED FLOOR.
7. ELECTRIC OUTLETS SHALL BE MOUNTED BY ABOVE FINISHED FLOOR.
8. PROVIDE GROUND FAULT INTERRUPTER (GFI) OUTLETS AND CIRCUITS IN ALL EXTERIOR AND PENT LOCATIONS.
9. PIRE BELL WHERE LOCATED IS REQUIRED. FOR HOME BUNS SHALL BE 5FT MINIMUM.
10. ALL WIRE SHALL BE COPPER WITH THIRTYTHREE INSULATION.
11. ALL FAULT PROTECTION DEVICES TO BE PROVIDED FOR ALL CIRCUITS SUPPLYING 120V, 15 AMP & 20 AMP OUTLETS PER 2008 NEC, SECTION 410.2. A MINIMUM OF 75% OF ALL DISCONNECTS AND PERMANENTLY INSTALLED FIXTURES SHALL HAVE HIGH EFFICIENCY BULBS INSTALLED IN THEM.

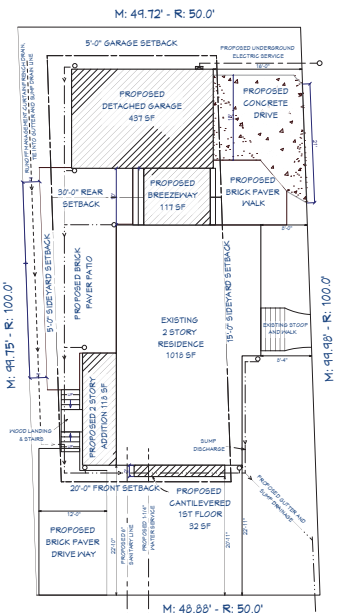
ENGINEERING NOTES:

1. PROPOSED DOWNSPUTS SHALL DISCHARGE ONTO THE GROUND, AND DAY LIGHT, MINIMUM OF 10' FROM ANY PUBLIC RIGHT OF WAY, MINIMUM 9' FROM ANY PROPERTY LINE, OR HALF THE DISTANCE OF THE SIDE YARD SETBACK, WHICHEVER IS GREATER. DISCHARGE SHALL NOT BE LOCATED IN A FRONT YARD SETBACK.
2. EXISTING WATER SERVICE TO BE DISCONNECTED AT THE MAIN BY REMOVING COPORATION STOP AND INSTALLATION OF STAINLESS STEEL BAND CLAMP

APPLICABLE CODES, (W/ ST CHARLES AMENDMENTS)

- 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2014 ILLINOIS STATE PLUMBING CODE
- 2014 NFPA NATIONAL ELECTRIC CODE (NEC)
- 2015 ILLINOIS ENERGY CONSERVATION CODE (IECC)

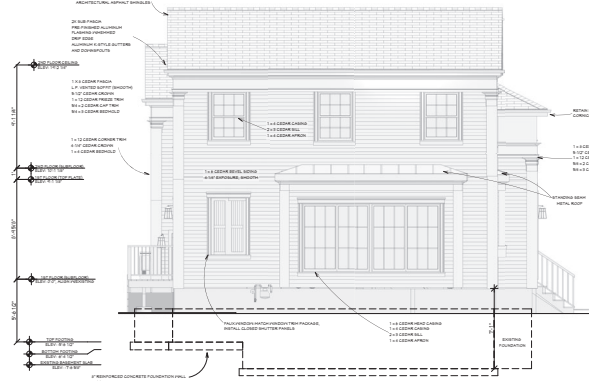
BUILDING COVERAGE
TOTAL PROPOSED: 1722 SF
LOT AREA: 4922.5 SF
ALLOWABLE BUILDING COVERAGE: 4922.5x.25=1230.6 SF (DET. GAR.)
=1730 SF



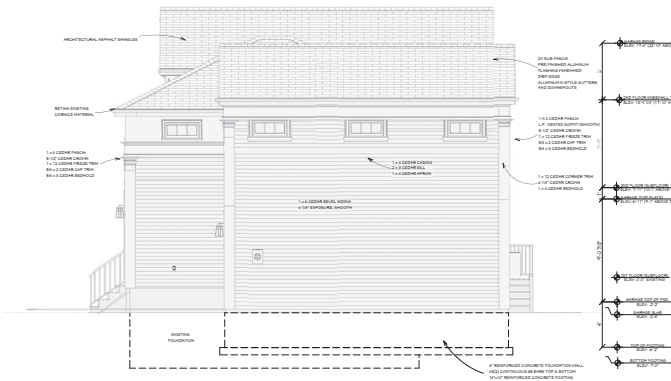
CHESTNUT STREET
SITE PLAN
SCALE: 1/8" = 1'-0"

<p>NO. DESCRIPTION</p> <p>BY: DATE</p> <p>REVISION: 02/17/23</p> <p>REVISION: 03/17/23</p>	<p style="text-align: center;">SITE PLAN</p> <p style="text-align: center;">SHEET TITLE:</p> <p style="text-align: center;">REMODEL & ADDITION</p> <p style="text-align: center;">SWEENEY RESIDENCE</p> <p style="text-align: center;">303 N THIRD AVE, ST CHARLES, IL</p> <p style="text-align: center;">DRAWINGS PROVIDED BY:</p> <p style="text-align: center;">MATT SWEENEY</p> <p style="text-align: center;">411847 BETH RD</p> <p style="text-align: center;">CAMPTON HILLS, IL</p> <p>DATE: 3/13/23</p> <p>SCALE: 1/4" = 1'-0"</p> <p>SHEET: 1</p>
---	--

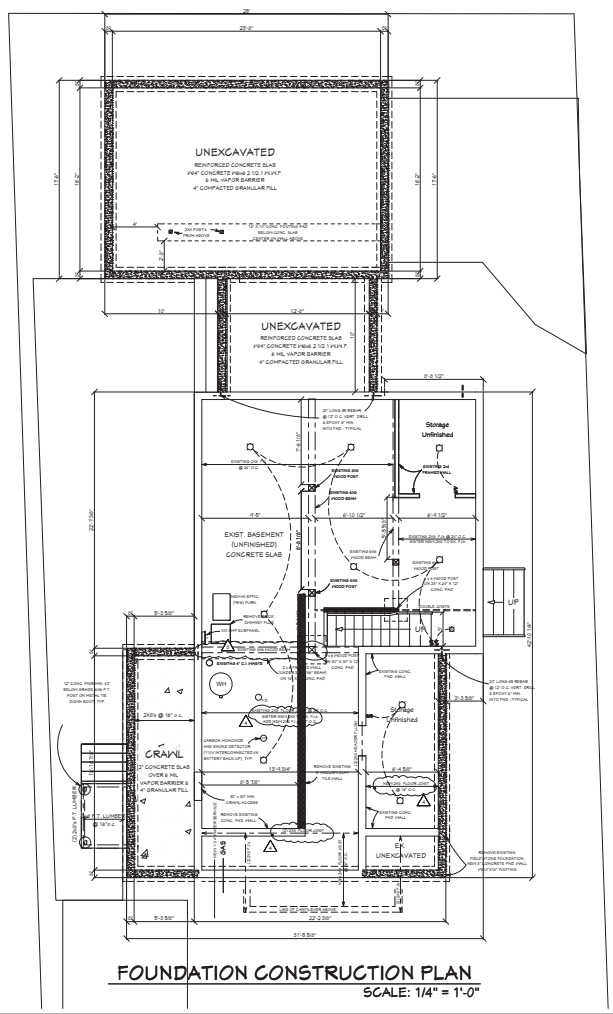
Option 1



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



FOUNDATION CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

NO. DESCRIPTION		DATE
1	PERMIT	02/15/23
2	REVISIONS	03/03/23
3	POST-NO. CORRECTIONS	03/03/23
4	VARIANCE OPTION	04/17/23

SHEET TITLE:
ELEVATIONS & FND. CONSTRUCTION PLAN VARIANCE OPTION

PROJECT DESCRIPTION:
REMODEL & ADDITION SWEENEY RESIDENCE 303 N THIRD AVE, ST CHARLES, IL

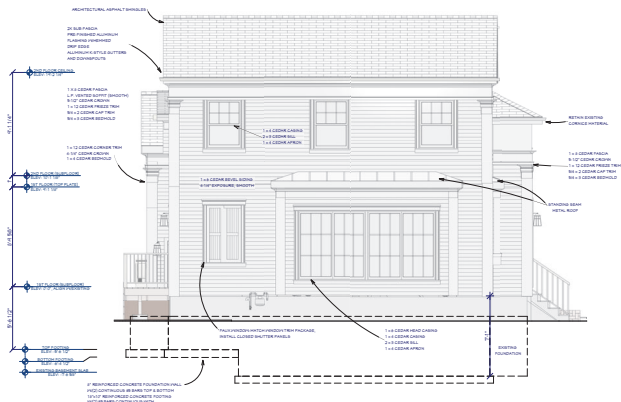
DRAWINGS PROVIDED BY:
MATT SWEENEY 411847 BETH RD CAMPTON HILLS, IL

DATE:
3/13/23

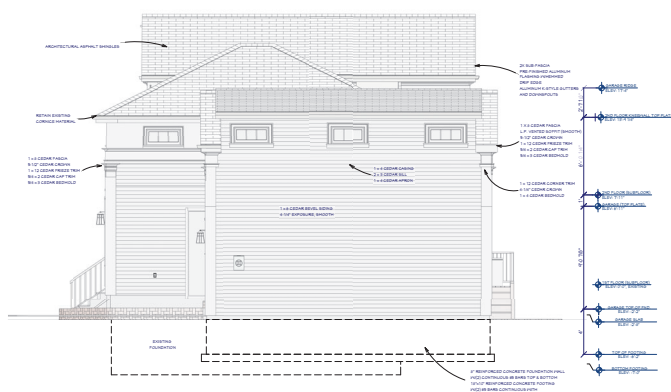
SCALE:
1/4" = 1'-0"

SHEET:
3

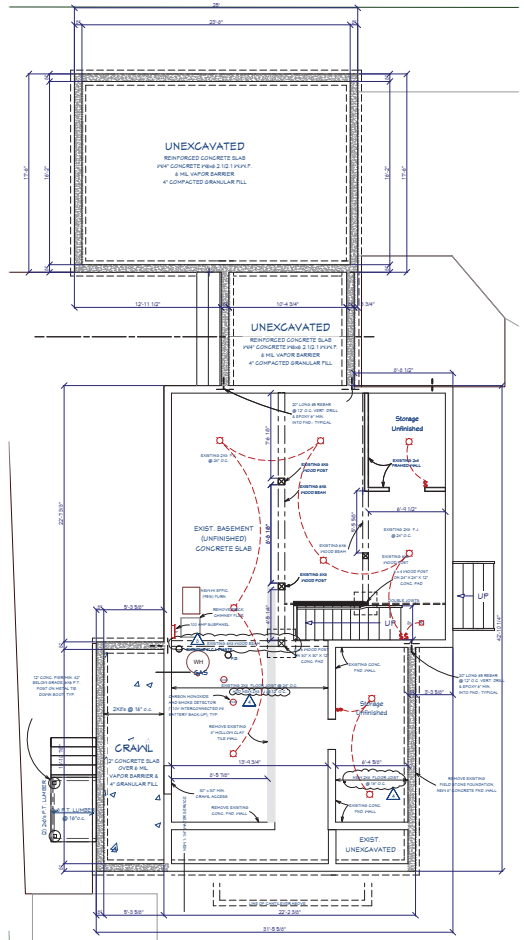
Option 2



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



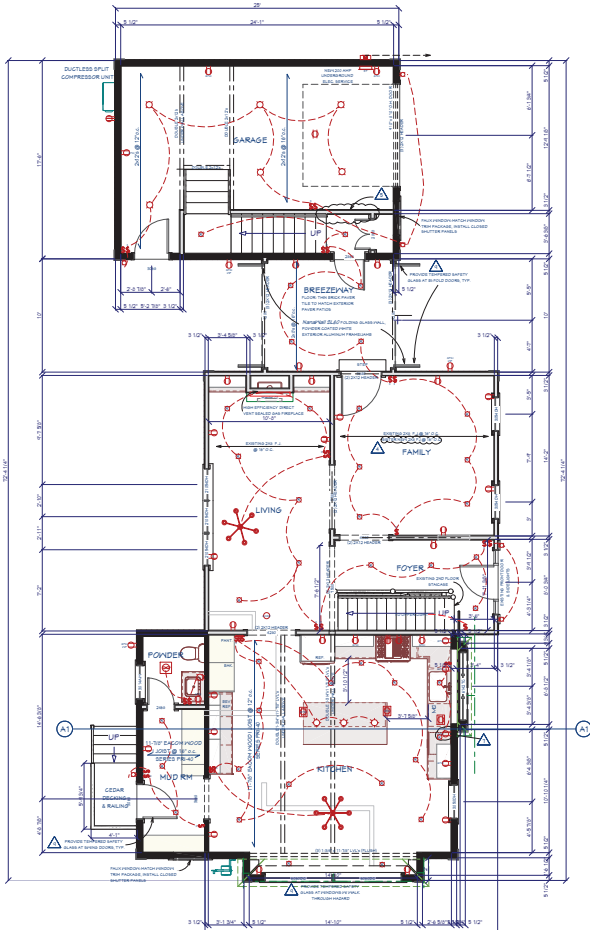
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



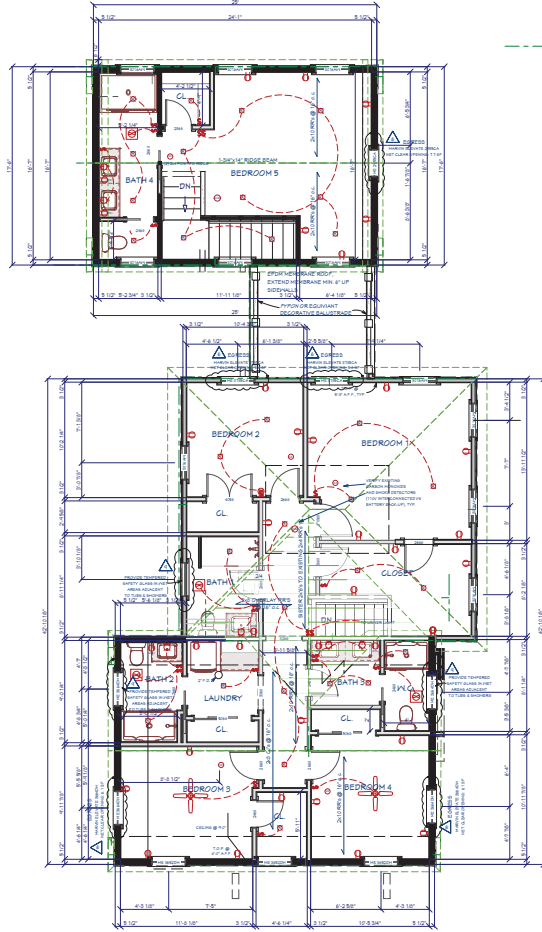
FOUNDATION CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE
SHEET TITLE: ELEVATION & ADDITION FOUNDATION CONSTRUCTION PLAN			
PROJECT DESCRIPTION: REMODEL & ADDITION SWEENEY RESIDENCE 303 N THIRD AVE, ST CHARLES, IL			
DRAWINGS PROVIDED BY: MATT SWEENEY 411867 BETH RD CAMPTON HILLS, IL			
DATE:	3/13/23		
SCALE:	1/4" = 1'-0"		
SHEET:	3		

Option 2

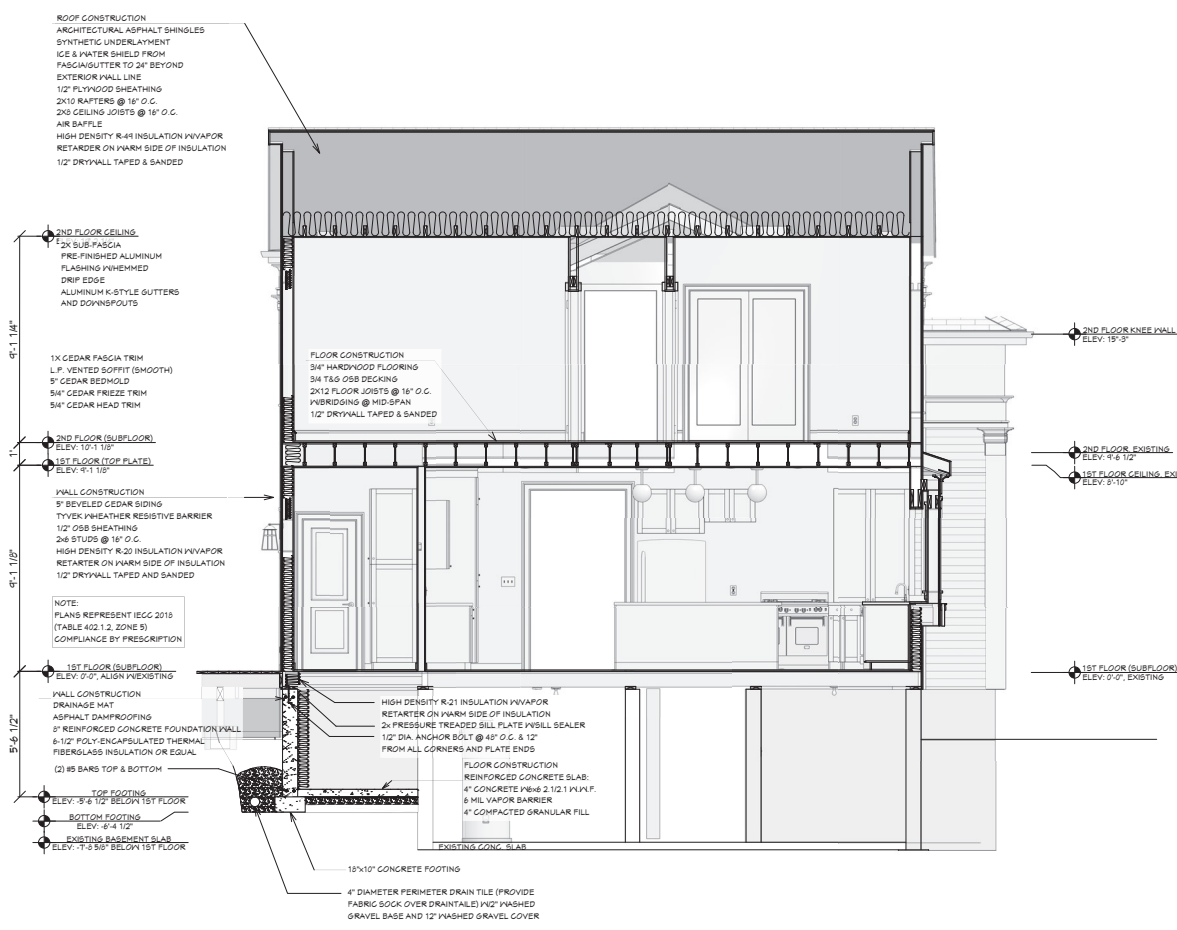


FIRST FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

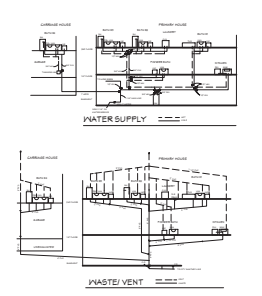
DATE	NO.	DESCRIPTION	BY
	3		
REF: 2014.12.15.001 U: 3 FN: 847 P: NNS/SFO LG: O: JAU: LSN: LOD: / - / ADM: SUNNY: ALV: DHP: USC: L: RB:			
NPV: W / IE/ II / LDP: W E124 E+ 4 LH: VW			
4			



PLUMBING FIXTURE UNIT COUNT

QUANTITY	FIXTURE	UNITS	TOTAL
2	BATHUB	2	0
1	BOWL	1	0
1	CLOTHES WASHER	2	2
1	DISHWASHER	1	1
2	FLOOR DRAIN	0	0
1	KITCHEN SINK	2	2
0	LAUNDRY	3	0
0	LAUNDRY TUB	2	0
0	SHOWER PAN	2	0
0	WATER CLOSET (L.S.B.)	2	0
			15

SUPPLY NEW 1/2" CP WATER SERVICE LINE & 1" METER
 EXISTING WATER SERVICE LINE 3/4" PB



BUILDING SECTION
 SCALE: 1/2" = 1'-0"

NO. DISCREPANCY

BY DATE

SECTION PLAN

SHEET TITLE

PROJECT DESCRIPTION:
REMODEL & ADDITION
SWEENEY RESIDENCE
 302 N. THIRD AVE., ST. CHARLES, IL

DRAWING PROVIDED BY:
MATT SWEENEY
 614 W. 47th BETH RD
 CAMPTON HILLS, IL

DATE:
 3/13/23

SCALE:
 1/4" = 1'-0"

SHEET:
1



EXISTING FRONT ELEVATION



EXISTING LEFT & REAR ELEVATIONS



NanaWall 5L60
FOLDING GLASS WALL



EXISTING FRONT ENTRY



EXISTING ENTRY AND CORNICE DETAIL

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
SSUPPORTING MATERIAL

PROJECT DESCRIPTION:
REMODEL & ADDITION
SWEENEY RESIDENCE
303 N THIRD AVE, ST CHARLES, IL

DRAWINGS PROVIDED BY:
MATT SWEENEY
4118/847 BETH RD
CAMPTON HILLS, IL

DATE:
3/13/23

SCALE:
1/4" = 1'-0"

SHEET:
6



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
ST. CHARLES CENTRAL DISTRICT
ST. CHARLES, ILLINOIS

DIXON ASSOCIATES / ARCHITECTS

ARCHITECTURAL INTEGRITY

	1	2	3
<input type="checkbox"/> Unaltered	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Minor Alteration	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/> Major Alteration	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Additions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sensitive to original	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Insensitive to original	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

1: first floor; 2: upper floors; 3: roof/cornice

ARCHITECTURAL SIGNIFICANCE

- Significant
- Contributing
- Non-Contributing

BUILDING CONDITION

- Excellent: Well-maintained
- Good: Minor maintenance needed
- Fair: Major repairs needed
- Poor: Deteriorated

ARCHITECTURAL DESCRIPTION

Style: Greek Revival

Date of Construction: 1870-1880

Source: A Field Guide to American Houses

Features:

Low pitched hip roof. Frieze-band windows. Classical details at end. Side and transom lights at front door. Some details have been removed or altered.



Address:

303 North 3rd Avenue

Representation in Existing Surveys:

- Federal
- State
- County
- Local

Block No. 24

Building No. 5

SURVEY DATE:

MAY 1994

ROLL NO. 4

NEGATIVE NO. 26



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
ST. CHARLES CENTRAL DISTRICT
ST. CHARLES, ILLINOIS

DIXON ASSOCIATES / ARCHITECTS

CONTINUATION SHEET NO: 1



Address:

303 North 3rd Avenue

Remarks:

South Elevation.

Block No. 24

Building No. 5

ROLL NO. 4

NEGATIVE NO. 25

Address:

Remarks:

Block No.

Building No.

ROLL NO.

NEGATIVE NO.