

 ST. CHARLES <small>SINCE 1834</small>	HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
	Agenda Item Title/Address:	COA: 402 N 4 th Ave		
	Proposal:	Garage		
	Petitioner:	Jim Dulaney/ Silverthorne Homes		
Please check appropriate box (x)				
	PUBLIC HEARING		MEETING 7/17/19	X
AGENDA ITEM CATEGORY:				
X	Certificate of Appropriateness (COA)		Façade Improvement Plan	
	Preliminary Review		Landmark/District Designation	
	Discussion Item		Commission Business	
ATTACHMENTS:				
COA Application				
4/3/19 Meeting Minutes				
Design Drawings				
EXECUTIVE SUMMARY:				
<p>At the 4/3/19 meeting, the Commission approved a COA for a new single family home located at 402 N 4th Ave. The design style is a single story craftsman.</p> <p>The applicant is now proposing to change the previously approved interior lot facing garage, into a front facing garage. The garage will be setback 5ft from the front of the house, and comply with all setback standards.</p> <p>The applicant will provide a site plan to City Staff before the meeting.</p>				
RECOMMENDATION / SUGGESTED ACTION:				
Provide feedback and recommendations on approval of the COA.				

Mr. Moss shared pictures of the property and said some of the renovation plans include doing masonry work and repainting the brick; replacing the rotting wood on the pillars; restoring some of the windows; removing the vinyl siding; and adding signage.

Dr. Smunt said the main building was most likely done in the Colonial Revival style and the fundamental architecture of the chapel roofline is Greek revival. He suggested focusing on the Greek revival elements. Dr. Smunt said the building to the south is Craftsman. He said the two are not meant to be the same and he shouldn't try to match them.

Mr. Pretz said he is more sensitive to the architecture of the original portion of the structure and not the additions. Although he prefers to see a cohesive architectural look throughout the entire building, Mr. Pretz felt it may be difficult to accomplish that. Ms. Malay said to be careful with the siding styles. They may not want to carry the same elements between the buildings. Mr. Moss clarified that his plans do not include matching the architectural styles. He is just trying to color match the buildings.

6. Landmark Applications

None.

7. Certificate of Appropriateness (COA) applications

a. 402 N. 4th Ave.

The Commission discussed preliminary plans at a previous meeting. The applicant reviewed the adjustments he made based on feedback from that meeting. Dr. Smunt suggested adding another 6 inches of frieze board to give the roof line better definition. He felt the gables were overpowered by shingles. Mr. Kessler shared some pictures showing proportionate corner boards and frieze boards against the gable.

A motion was made by Dr. Smunt and seconded by Mr. Pretz with a unanimous voice vote to approve the COA with the addition of a pediment decoration in the gable of the roof per the picture sent to City Staff.

8. Grant Applications

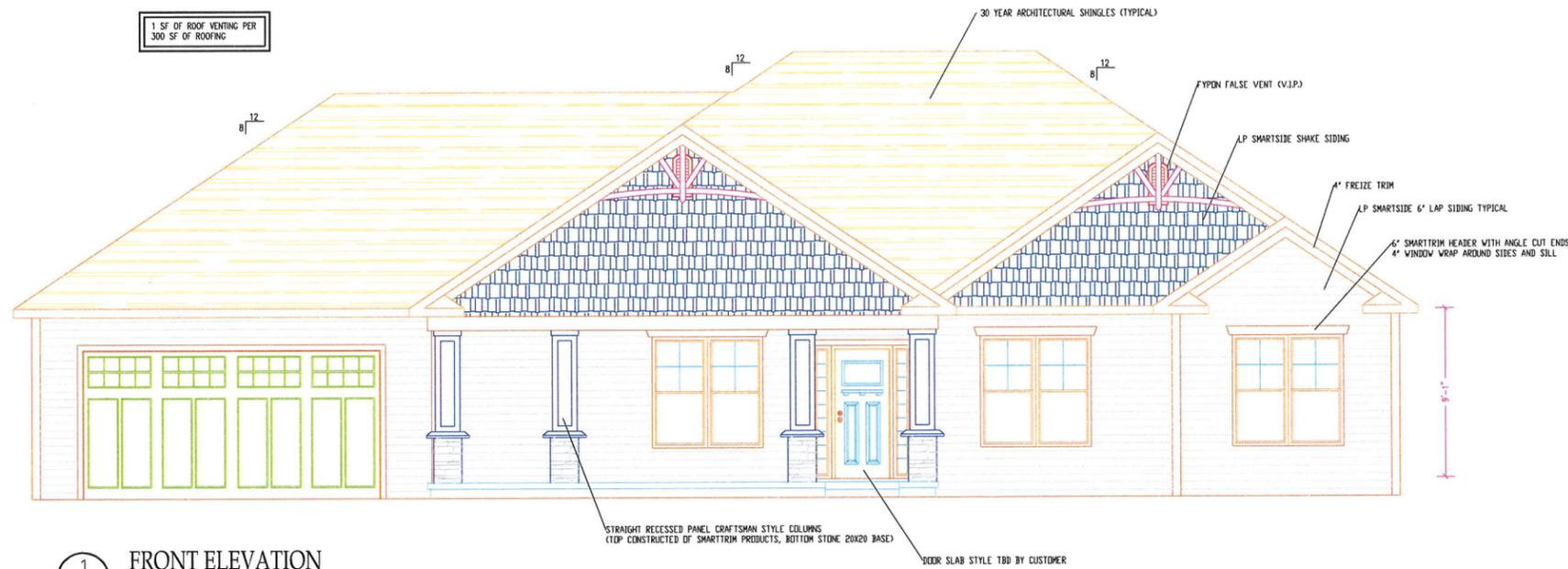
None.

9. Other Commission Business

a. Pottawatomie Tour Discussion

Staff distributed an updated tour booklet and information sheet. The invitation for the tour will be sent out in the upcoming week. An update on the responses will be provided at the next meeting.

1 SF OF ROOF VENTING PER 300 SF OF ROOFING



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
SCALE: 1/8" = 1'-0"

IN THE EVENT OF A PLAN DISCREPANCY, CHECK WITH GENERAL CONTRACTOR BEFORE PROCEEDING WITH WORK. NO EXTRAS WILL BE APPROVED OR PAID WITHOUT WRITTEN APPROVAL.

ASHBURY-MODIFIED

FIRST FLOOR SQUARE FOOTAGE: 2055 SF
BASEMENT SQUARE FOOTAGE: 2045 SF
GARAGE SQUARE FOOTAGE: 719 SF

ALL ANGLED WALLS ARE 45 DEG U.N.O.
DOUBLE UP ALL FLOOR JOISTS AT ALL PARALLEL WALLS ABOVE. NAIL JOISTS TOGETHER AND POSITION SUCH THAT 1-1/2" OF THE WALL ABOVE BEARS DIRECTLY OVER DOUBLED-UP FLOOR JOISTS, LEAVING APPROX. 2" TO RUN CONDUIT OR PLUMBING IF NEEDED.
PROVIDE DRYWALL RETURN WINDOWS WITH WOOD SILL AND APRON ON ALL WINDOWS. ALL BOLD DOORS TO BE DRYWALL RETURN (HEADER HEIGHT 81-1/4")
FOLLOW LOCAL CODES AND AMENDMENTS FOR ALL STAIR CONSTRUCTION
PROVIDE SOLID WOOD BLOCKING IN ALL BATHROOMS. INSTALL BETWEEN 32" TO 36" (MIN) AFF IN ALL WALLS ADJACENT TO TOILET, SHOWER STALL OR TUBS.
ALL WALL DIMENSIONS ARE 3.5" OR 5.5" U.N.O. ROUGH FRAMING
ALL STRUCTURAL BEAMS ARE TO BEAR ON MINIMUM OF (2) 2X4 COLUMNS U.N.O.
TYPICAL MASONRY OPENING (IF ANY) (U.N.O.)
(2) 2X12 w/ 1/2" PLYWOOD
3-1/2" x 5/16" STEEL ANGLE (BOLTED 12" O.C.)
ALL ESCAPE WINDOWS TO MEET OR EXCEED IRC 2006
ALL JOIST/BATTERS NOTED AS T4 ARE ENGINEERED 1-JOIST BY LEVEL WEYERHAEUSER COMPANY AND ALL SIZING SPACING IS BASED ON MANUFACTURER'S RECOMMENDATIONS WITH A DEFLECTION OF L/480. PLEASE NOTE THAT A SERIES DESIGNATION IS ALSO PROVIDED AND THERE MAY BE MORE THAN ONE SERIES SPECIFIED. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. IN NO SERIES IS SPECIFIED, CHECK WITH DESIGNER
PROVIDE 1-1/2" OF BEARING (MIN) AT ALL JOIST ENDS OR PROVIDE APPROVED JOIST HANGERS.
BATHROOM EXHAUSTS SHALL VENT DIRECTLY TO THE EXTERIOR AVOIDING FRONT ELEVATION EXITS AT ALL TIMES
ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYP BOARD
ALL WOOD BEAMS, JOISTS, STUDS, AND OTHER COMBUSTIBLE MATERIAL SHALL HAVE A CLEARANCE OF NOT LESS THAN 2" FROM THE FRONT AND SIDE FACES OF MASONRY FIREPLACES AND NOT LESS THAN 4" FROM THE BRICK FACE.
DOUBLE ALL JOISTS UNDER TUBS AND WHIRLPOOLS
ANY GLASS ADJACENT TO OR WITHIN BATHTUBS OR SHOWERS SHALL BE TEMPERED SAFETY GLASS IF LESS THAN 5' FROM THE STANDING SURFACE FLOOR OF THE FIXTURE
COORDINATE INSTALLATION OF ALL FLOOR JOISTS WITH PLUMBING FIXTURES SUCH THAT WHEN INSTALLED, THERE IS ENOUGH CLEARANCE ALLOWED THAT CUTTING OR NOTCHING OF JOIST WILL NOT BE REQUIRED.

APPLICABLE CODES

- 2012 INTERNATIONAL RESIDENTIAL CODE
- 2011 NATIONAL ELECTRIC CODE (NEC)
- 2014 STATE OF ILLINOIS PLUMBING CODE
- 2015 ILLINOIS ENERGY CONSERVATION CODE
- 2006 INTERNATIONAL MECHANICAL CODE

GENERAL NOTES

ALL TRADE CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING THAT THE SCOPE OF WORK COMPLIES WITH LOCAL REQUIRED CODES.
FOUNDATION CONCRETE SHALL BE A MIN. 3000 PSI @ 28 DAYS. FLATWORK SHALL BE 3000 PSI @ 28 DAYS.
IT IS ASSUMED THAT FOOTINGS BEAR ON UNDISTURBED, INORGANIC SOIL WITH A MINIMUM BEARING OF 2500 PSF.
DESIGN FLOOR LOADS ARE 40 PSF LIVING AREAS, ROOF DESIGN IS 30 PSF AND CEILING LL ARE 15 PSF. SLEEPING ROOMS 30 PSF.
FLASH ALL HEADS OF WINDOWS AND WRAP WITH GRACE VYCOR OR EQUIVALENT FLASHING TAPE.
ALL STRUCTURAL MEMBERS NOT NOTED ON PLAN AS OTHERWISE ARE NO. 2 & 81R SPF.
ALL SMOKE DETECTORS SHALL BE DIRECT WIRED 110V AND SHALL BE LINKED TOGETHER WITH CO2 COMBO DETECTOR IN HALL OF UPSTAIRS AREAS BY BEDROOMS.
FIRE STOP ALL CHASES, HOLES & PENETRATIONS AS REQUIRED BY CODE. SEAL ALL PLATES, CORNERS AND PENETRATIONS IN BUILDING AS NEEDED FOR BLOWER DOOR TEST.
ALL BATH AND DRYER VENTS SHALL BE VENTED DIRECTLY TO THE OUTSIDE.
OWNER IS RESPONSIBLE FOR EXISTING SITE CONDITIONS AND ENGINEERING.
WINDOW AND DOOR SIZES ARE NOMINAL. CHECK WITH SUPPLIER FOR ACTUAL R.O.'S.

HVAC NOTES

HVAC CONTRACTOR SHALL SIZE SYSTEM APPROPRIATELY FOR APPROPRIATE LOAD.
HVAC CONTRACTOR SHALL SUPPLY AT OWNERS REQUEST DRAWINGS & SPECIFICATIONS OF EQUIPMENT & CALCS.
HVAC CONTRACTOR TO LOCATE EQUIPMENT
ALL DUCTS IN UNCONDITIONED SPACE TO BE SEALED, INSULATED AND TESTED PER IECC.

PLUMBING NOTES

- PROVIDE ONE METER FOR EACH UNIT IN BUILDING.
- ALL PLUMBING WORK SHALL COMPLY WITH CURRENT ILLINOIS PLUMBING CODE AND ANY APPLICABLE AMENDMENTS BOTH TO THIS AND LOCAL CODES.
- ALL GAS PIPING SHALL BE TESTED UNDER PRESSURE PRIOR TO CONCEALMENT.
- PROVIDE BACKFLOW PROTECTION FOR POTABLE WATER, TO CONCEALMENT.
- PLUMBING CONTRACTOR TO SUPPLY ANY DIAGRAMS, SPECIFICATIONS AS TO ALL PLUMBING WORK.
- ALL SUPPLY PIPING TO BE CPVC AND HAVE AIR CHAMBERS AT EACH FIXTURE.
- PROVIDE SHUTOFF AT EACH FIXTURE.
- ALL SUPPLY PIPING TO BE PRESSURE TESTED AND SANITIZED PRIOR TO OCCUPANCY.
- INSULATE ALL HOT WATER SUPPLY LINES WITH MIN. R-3 INSULATION.

ELECTRICAL NOTES

- SMOKE ALARMS ARE REQUIRED TO BE INTER-CONNECTED SUCH THAT ACTUATION OF ONE WILL ACTIVATE ALL SMOKE ALARMS.
- OUTLETS ARE REQUIRED TO BE PLACED SO THAT NO POINT ALONG WALLS IS MORE THAN 6 FEET FROM AN OUTLET. E3081.2.1 & E3801.2.2
- OUTLETS ARE REQUIRED ABOVE COUNTER SPACE. SPACE FOR MAXIMUM 24" REACH PER CODE. E3801.4.1
- OUTLETS ARE REQUIRED AT THE FRONT AND REAR OF THE DWELLING.
- FUTURE RADON FAN RECEPTACLE IS REQUIRED IN ATTIC NEARBY RADON VENT STACK.
- ALL WORK INSPECTED PER NEC CODE REFERENCED IN APPLICABLE CODES SECTION.
- USE FAN RATED BOXES FOR ALL CEILING FIXTURES
- CIRCUIT BREAKERS TO FOLLOW NEC CODE FOR AFCI REQUIREMENTS

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Civil Engineer:

MEP Engineer:

ASHBURY MOD.
DULANEY PLAN

Project Number:

Date: 05/17/19

Drawn By: JS

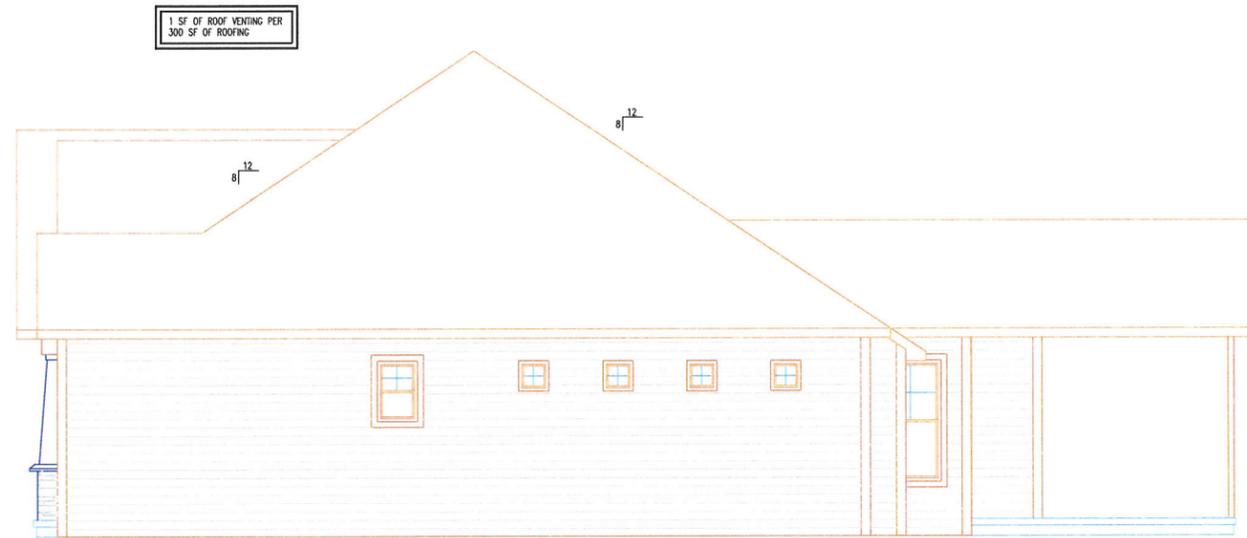
Checked By: J.W.

DATE

REVISION DESCRIPTION

REVISION NO.

A1

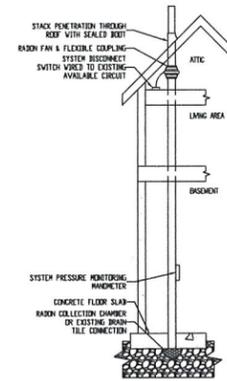


1 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

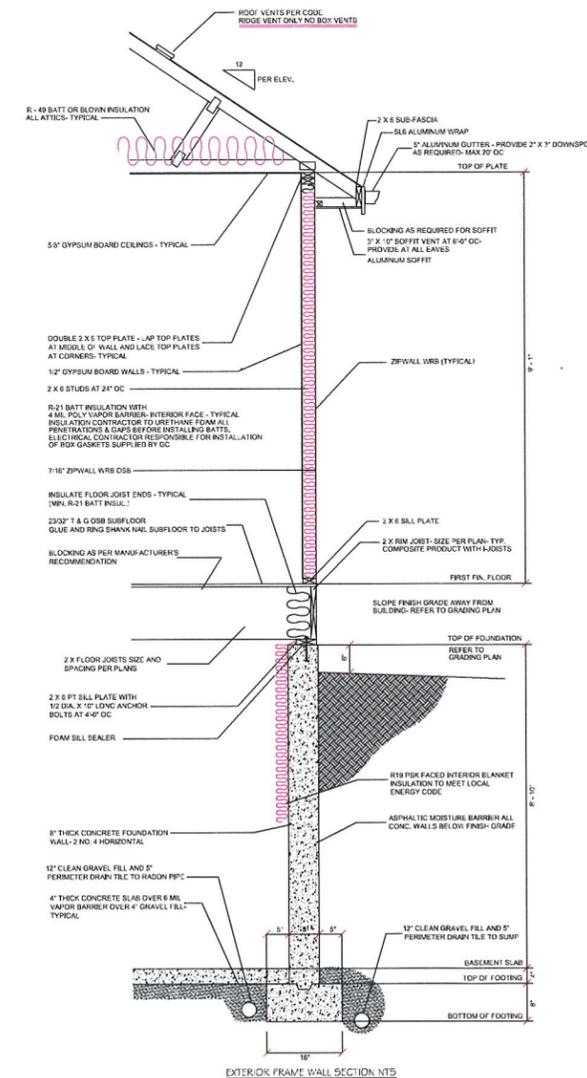


2 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

IN THE EVENT OF A PLAN DISCREPANCY, CHECK WITH GENERAL CONTRACTOR BEFORE PROCEEDING WITH WORK. NO EXTRAS WILL BE APPROVED OR PAID WITHOUT WRITTEN APPROVAL.



4 RADON MITIGATION DETAIL TYP.
SCALE: NTS



3 TYPICAL WALL SECTION
SCALE: NTS

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ASHBURY MOD.
DULANEY
PLAN

Project Number:
Date: 02/17/19
Drawn By: ZS
Checked By: J.W.

REVISION NO.	REVISION DESCRIPTION	DATE

A2

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 Civil Engineer:

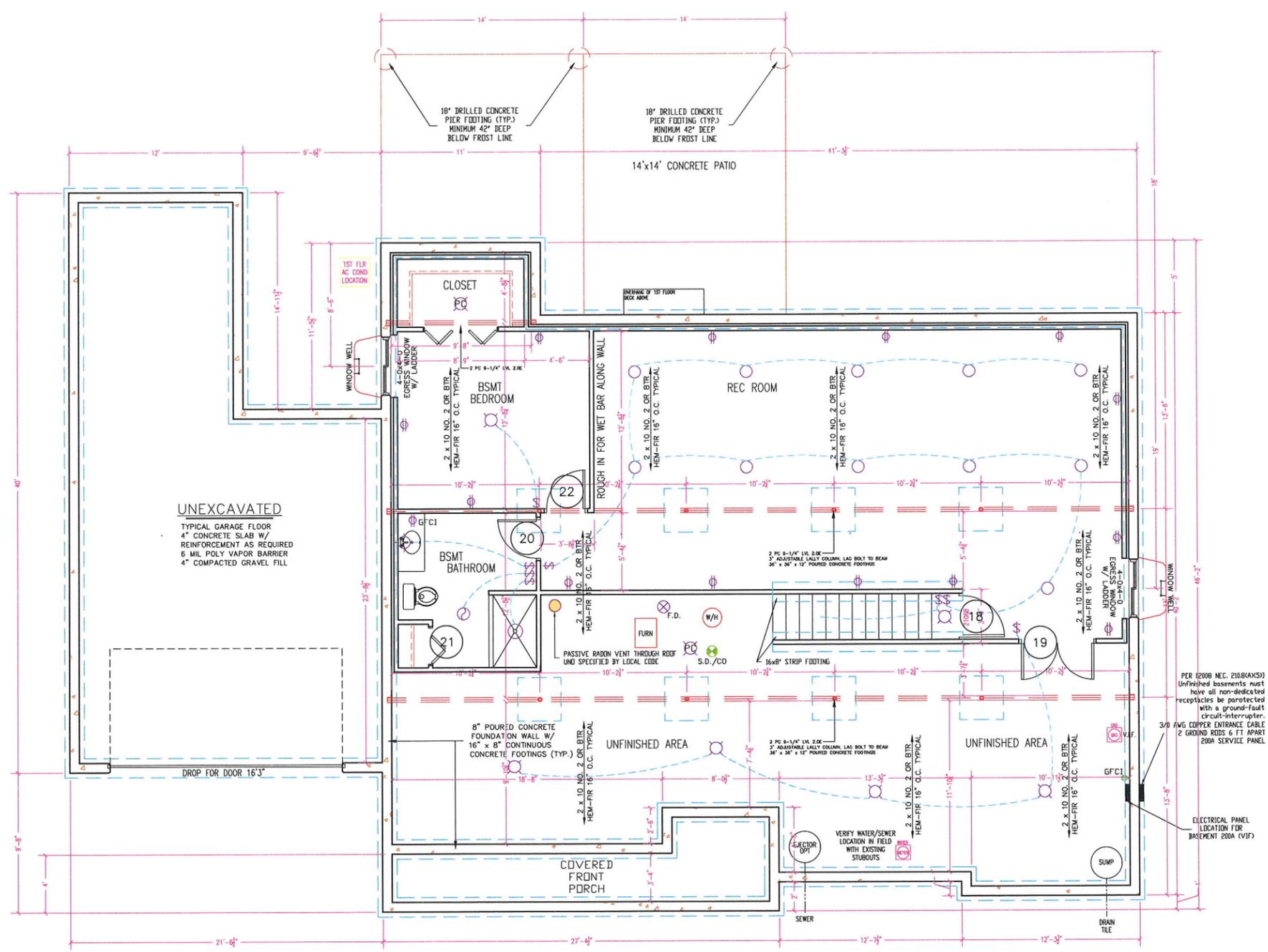
MEP Engineer

**ASHBURY MOD.
 DULANEY PLAN**

Project Number
 Date: 01/17/19
 Drawn By: JS
 Checked By: J.W.

REVISION NO. REVISION DESCRIPTION DATE

A3



1
A3 **BASEMENT PLAN**
 SCALE: 1/4" = 1'-0"

TYPICAL PORCH SLAB CONSTRUCTION:
 4" CONCRETE SLAB W/ FIBERMESH
 OVER 12" FROST-FREE RESISTANT FILL
 PORCH LOCATION & SIZE IS CONSTANT FOR ALL ELEVATIONS

OTHER CONSTRUCTION NOTES:
 PROVIDE MINIMUM 3" CONCRETE COVER AT BELOW SLAB
 UTILITY LOCATIONS. WHEN CONCRETE INCASEMENT OF
 UTILITIES IS REQUIRED, THICKEN SLAB ACCORDINGLY.
 UTILITIES SHALL BE PLACED SUFFICIENTLY BELOW SLAB
 TO MAINTAIN PROPER COVERAGE.
 PROVIDE ANCHOR BOLTS W/ MAX SPACING OF 4' O.C.
 CARPENTRY CONTRACTOR TO PROVIDE "REDHEAD" ANCHORS
 WITHIN 12" OF PLATE BREAKS WITH NO ANCHOR BOLTS
 FOR FOUNDATION WALL RE-ENFORCEMENT PER BLDG DEPT.
 #4 REBAR AT TOP-MIDDLE-BOTTOM AND #6 VERTICAL EVERY 3'

IN THE EVENT OF A PLAN DISCREPANCY, CHECK WITH GENERAL
 CONTRACTOR BEFORE PROCEEDING WITH WORK. NO EXTRAS WILL
 BE APPROVED OR PAID WITHOUT WRITTEN APPROVAL.

(C) GAS METER LOCATION (V.I.F.) (W) WATER METER LOCATION (V.I.F.)

DOOR SCHEDULE

MARK	DOOR	SIZE	FIRE RATING	NOTES
1	---	---	---	---
2	---	---	---	---
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22	---	---	---	---

WINDOW SCHEDULE

MARK	TYPE	MATERIAL	CLEAR OPENING	EGRESS	LOCATION	NOTES
1	---	---	---	---	---	---
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19	---	---	---	---	---	---
20	---	---	---	---	---	---

Old Elevation Design



1
A1
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2
A1
REAR ELEVATION
SCALE: 1/8" = 1'-0"

IN THE EVENT OF A PLAN DISCREPANCY, CHECK WITH GENERAL CONTRACTOR BEFORE PROCEEDING WITH WORK. NO WORK WILL BE APPROVED OF THIS WITHOUT WRITTEN APPROVAL.

ASHBURY-MODIFIED
FIRST FLOOR SQUARE FOOTAGE: 2000 SF
BROWNSIDE SQUARE FOOTAGE: 2545 SF
GARAGE SQUARE FOOTAGE: 860 SF

ALL BRICK WALLS ARE TO BE 1/2" DIA.
GRADE OF ALL FLOOR JOISTS AT ALL PERMITTED WALLS ABOVE: WALL JOISTS TOGETHER AND FLOORING BELOW SHALL BE 1/2" OF THE WALL ABOVE BEARS DIRECTLY OVER COURSE-UP FLOOR JOISTS, LEAVING APPROX. 2" TO HEAD COURSE OF PLUMBING & WETWORK.
PROVIDE INTERNAL RETURN WINDOWS WITH WOOD SILL AND APRON ON ALL WINDOWS. ALL BRICK DOORS TO BE INTERNAL RETURN (DECKER HEIGHT 81-147).
FOLLOW LOCAL CODES AND AMENDMENTS FOR ALL STAIR CONSTRUCTION.
PROVIDE SOLID WOOD FLOORING IN ALL INTERIOR AREAS BETWEEN 1/2" TO 3/4" AND AT 1/2" IN ALL WALLS ADJACENT TO STREET, PARKER DIAL OR TOWN.
ALL WALL DIMENSIONS ARE 1/2" OR 1/4" UNLESS HOODY FRAMING.
ALL STRUCTURAL BEAMS ARE TO BEAT ON MINIMUM OF (2) 2X4 CEILING BRACK.
TYPICAL WINDOW OPENING OF (MIN) (2) 2X4 (3) (2) 2X4 1/2" PLYWOOD (3) 1/2" x 1/4" STEEL ANGLE (SLOTTED 1/2" x 1/2").
ALL DOOR WINDOWS TO MEET OR EXCEED IRC 2006.
ALL JOIST/SUPPORTS WOODS AS TO ARE ENGINEERED - JUST BY LOCAL METROPOLITAN COUNTY AND ALL TONGUE SPACING IS BASED ON MANUFACTURER'S RECOMMENDATIONS WITH A DEFLECTION OF 1/400. PLEASE NOTE THAT A SERIES RECOMMENDATION IS ALSO PROVIDED AND THERE MAY BE MORE THAN ONE SERIES SPECIFIED. MODEL PER MANUFACTURER'S RECOMMENDATIONS IN NO SERIES IS SPECIFIED, CHECK WITH MANUFACTURER.
PROVIDE 1-1/2" OF BEARING (SILL) AT ALL JOIST ENDS OR PHASE APPROVED JOIST BRACKS.
BATHROOM EXHAUSTS SHALL VENT DIRECTLY TO THE EXTERIOR WORKING FRONT ELEVATION EXITS AT ALL TIMES.
ENCLINED ACCESSORY SPACE UNDER STAIRS SHALL HAVE WALLS AND FLOORS PROVIDED ON THE ENCLINED SIDE WITH 1/2" OSB BOARD.
ALL WOOD BEAMS, JOISTS, STUDS, AND OTHER COMBUSTIBLE MATERIAL SHALL HAVE A CLEARANCE OF NOT LESS THAN 2" FROM THE FRONT AND REAR FACES OF WOODEN PRODUCTS AND NOT LESS THAN 4" FROM THE BRICK FACE.
SEAL ALL JOIST UNDER TUBS AND WAREHOUSES.
ANY GLASS ADJACENT TO OR WITHIN BATHROOM OR SHOWERS SHALL BE TEMPORARY SAFETY GLASS IF LESS THAN 6" FROM THE STAIRING SURFACE FLOOR OF THE FLOOR.
CORONAIRE INSTALLATION OF ALL FLOOR JOISTS WITH PLUMBING FITTINGS SUCH THAT WHEN INSTALLED THERE IS CLEARANCE ALLOWED THAT SETTING OR MOVING OF JOIST WILL NOT BE REQUIRED.

APPLICABLE CODES
2012 INTERNATIONAL RESIDENTIAL CODE
2011 NATIONAL ELECTRIC CODE (NEC)
2014 STATE OF ILLINOIS PLUMBING CODE
2015 ILLINOIS ENERGY CONSERVATION CODE
2006 INTERNATIONAL MECHANICAL CODE

GENERAL NOTES
ALL TRADE CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING THAT THE SCOPE OF WORK COMPLETS WITH LOCAL REGULATORY CODES. FOUNDATION CONCRETE SHALL BE A MIN. 3000 PSI @ 28 DAYS. FLOORING SHALL BE 3000 PSI @ 28 DAYS.
IT IS ASSUMED THAT FOOTINGS BEAR ON UNDESIGNED, UNDESIGNED SOIL WITH A MINIMUM BEARING OF 2000 PSF.
SECOND FLOOR LOADS ARE 40 PSF UNIFORM WEAR, ROOF BEACH 20 PSF AND CEILING 10 ARE 15 PSF. EXTERIOR FLOORING 30 PSF.
PLUMB ALL HEADS OF WINDOWS AND WEAP WITH GRADE VENTOR OR EQUIVALENT FLASHING TAPE.
ALL STRUCTURAL MEMBERS NOT NOTED ON PLAN AS CHANGING ARE AS 2 x 8 BIR. SPE.
ALL SHAKE DETECTORS SHALL BE DIRECT WIREED TYPED AND SHALL BE LINKED TOGETHER WITH CO2 SMOKE DETECTOR IN HALL OF UPSTAIRS AREAS BY BEDROOMS.
THE TOP OF ALL CHIMNEY BRICKS & FIREBRICKS ARE REQUIRED BY CODE TO ALL PLATES, CORNERS AND PENETRATIONS IN WALLS AS NECESS FOR SLIPPER DOOR TEST.
ALL BATH AND TOILET HEADS SHALL BE VENTED DIRECTLY TO THE OUTSIDE.
OWNER IS RESPONSIBLE FOR CREATING SITE CONDITIONS AND ENGINEERING.
WINDOW AND DOOR SIZES ARE NOMINAL. CHECK WITH SUPPLIER FOR ACTUAL SIZES.
HVAC NOTES
HVAC CONTRACTOR SHALL SIZE SYSTEM APPROPRIATELY FOR APPLICABLE LOCAL. HVAC CONTRACTOR SHALL SUPPLY AT OWNERS REQUESTS FRAMING & SPECIFICATIONS OF EQUIPMENT & CALLS. HVAC CONTRACTOR TO LOCATE EQUIPMENT.
ALL DUCTS IN UNOCCUPIED SPACES TO BE SEALED, INSULATED AND TESTED PER ICC.

PLUMBING NOTES
1. PROVIDE ONE METER FOR EACH UNIT IN BUILDING.
2. ALL PLUMBING WORK SHALL COMPLY WITH CURRENT PLUMBING CODE AND ANY APPLICABLE AMENDMENTS BOTH TO THIS AND LOCAL CODES.
3. ALL GAS PIPING SHALL BE TESTED UNDER PRESSURE PRIOR TO CONNECTION.
4. PROVIDE BACKFLOW PROTECTION FOR POTABLE WATER, TO CONNECTION.
5. PLUMBING CONTRACTOR TO SUPPLY ANY STANDARD SPECIFICATIONS AS TO ALL PLUMBING WORK.
6. ALL SUPPLY PIPING TO BE CPVC AND HAVE AN CHANGING AT EACH FLOORING.
7. PROVIDE SHOWER AT EACH FLOORING.
8. ALL SUPPLY PIPING TO BE PRESSURE TESTED AND SHOWN FROM TO OCCUPANCY.
9. INSULATE ALL HOT WATER SUPPLY LINES WITH MIN. R-3 INSULATION.
ELECTRICAL NOTES
1. SMOKE ALARMS ARE REQUIRED TO BE INTER-CONNECTED SUCH THAT ACTIVATION OF ONE WILL ACTIVATE ALL SMOKE ALARMS.
2. OUTLETS ARE REQUIRED TO BE PLACED SO THAT NO POINT ALONG WALLS TO HAVE MORE THAN 4 FEET FROM AN OUTLET. EXEMPT 2.1 & EXEMPT 2.2.
3. OUTLETS ARE REQUIRED UNDER CLOSETTS OR SPACES FOR NUMBER OF REACH PER CODE. EXEMPT 4.1.
4. OUTLETS ARE REQUIRED AT THE FRONT AND REAR OF THE BUILDING.
5. FUTURE BROWN FAN RESPONSE IS REQUIRED IN ATTIC NEARBY RADON VENT STACK.
6. ALL WORK PROTECTED PER REC CODE REFERENCED IN APPLICABLE CODES SECTION.
7. USE FAN RATED BOXES FOR ALL CEILING FIXTURES.
8. CHECK DIMENSIONS TO FOLLOW REC CODE FOR AFD REQUIREMENTS.

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**ASHBURY MOD.
DULANEY
PLAN**

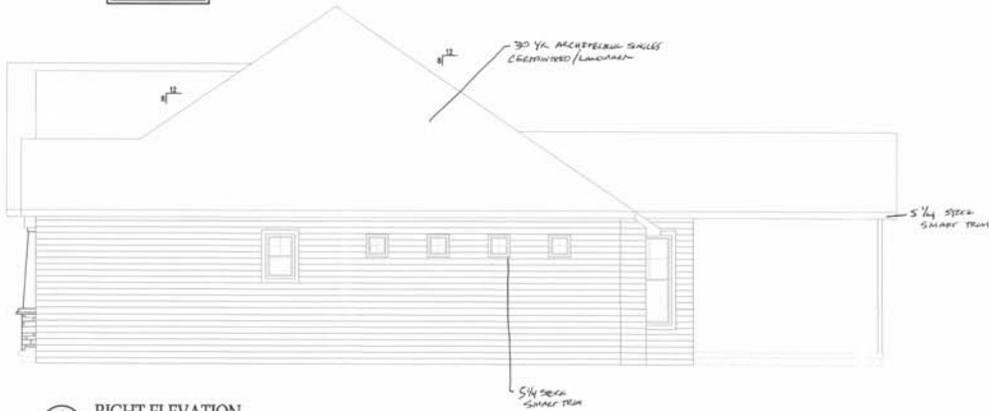
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Checked By: JLV

DATE:
REVISION DESCRIPTION:
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A1

Old Elevation Design

1/8" OF ROOF RISING PER
300" OF ROOFING

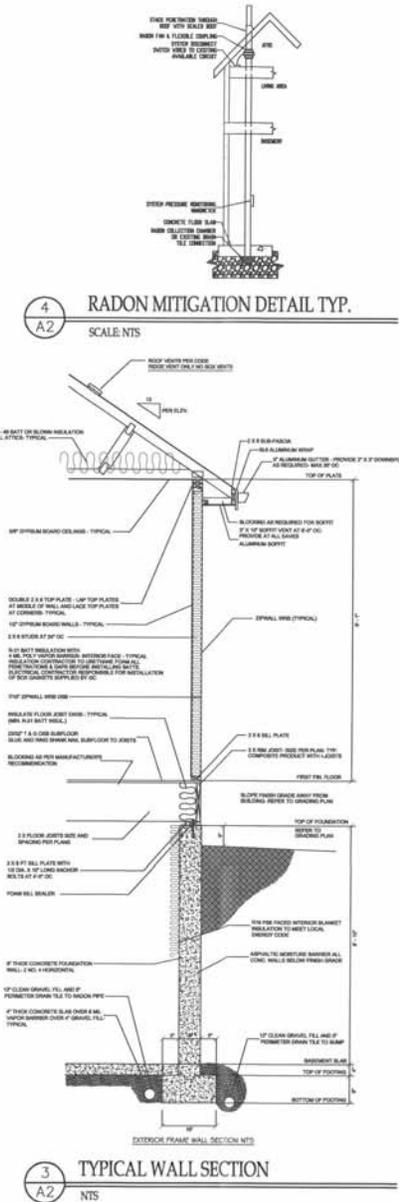


1 RIGHT ELEVATION
SCALE 1/8" = 1'-0"



2 LEFT ELEVATION
SCALE 1/8" = 1'-0"

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4 RADON MITIGATION DETAIL TYP.
SCALE: NTS

3 TYPICAL WALL SECTION
SCALE: NTS

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A2