

		HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
		Agenda Item Title/Address:		COA: 402 N 4 th Ave	
		Proposal:		Single Family Home	
		Petitioner:		Chris Vieau/ Silverthorne Homes	
		Please check appropriate box (x)			
		PUBLIC HEARING		MEETING 4/3/19	X
AGENDA ITEM CATEGORY:					
<input checked="" type="checkbox"/>	Certificate of Appropriateness (COA)			Façade Improvement Plan	
	Preliminary Review			Landmark/District Designation	
	Discussion Item			Commission Business	
ATTACHMENTS:					
COA Application					
2/6/19 Meeting Minutes					
Site Plan					
Design Drawings					
EXECUTIVE SUMMARY:					
<p>Proposed is a new ranch home designed in the craftsman style on a vacant lot off of N 4th Ave. The lot is located behind 407 N Park Ave.</p> <p>This property was discussed at the 2/6/19 Meeting, and the designs were generally favored by the Commission, with comments mostly centered on adding more craftsman style elements.</p>					
RECOMMENDATION / SUGGESTED ACTION:					
Provide feedback and recommendations on approval of the COA.					

APPLICATION FOR COA REVIEW
HISTORIC PRESERVATION "CERTIFICATE OF APPROPRIATENESS"



COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT / CITY OF ST. CHARLES

(630) 377-4443

To be filled out by City Staff

Permit #: _____ Date Submitted: 3/19/19 COA # _____ Admin. Approval: _____

APPLICATION INFORMATION

Address of Property: 402 NORTH AVENUE, ST CHARLES

Use of Property: ☐ Commercial, business name: _____

☒ Residential ☐ Other: _____

Project Type:

☐ Exterior Alteration/Repair

☐ Windows

☐ Doors

☐ Siding - Type: _____

☐ Masonry Repair

☐ Other: _____

☐ Awnings/Signs

☒ New Construction

☒ Primary Structure

☐ Additions

☐ Deck/Porch

☐ Garage/Outbuilding

☐ Other: _____

☐ Demolition

☐ Primary Structure

☐ Garage/Outbuilding

☐ Other: _____

☐ Relocation of Building

Description:

SINGLE FAMILY / RESIDENTIAL, ATTACHED
GARAGE

Applicant Information:

Name (print): SILVERTHORNE HOMES

Address: 1827 E. LINCOLN HWY

Phone: 331-223-2499

Email: CVIEAU@SILVERTHORNEGROUP.COM

Applicant is (check all that apply):

☐ Property Owner

☐ Business Tenant

☐ Project contractor

☐ Architect/Designer

Property Owner Information (if not the Applicant)

Name (print): WALT DULANEY

Address: 26 W. 240 DUFFEE RD, WHEATON IL, 60189

Signature: _____

APPLICANT/AUTHORIZED AGENT SIGNATURE

I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA General Conditions.

Signature: [Signature] Date: 3/19/19

**MINUTES
CITY OF ST. CHARLES
HISTORIC PRESERVATION COMMISSION
WEDNESDAY, FEBRUARY 6, 2019
COMMITTEE ROOM**

Members Present: Norris, Mann, Smunt, Pretz, Kessler, Krahenbuhl

Members Absent: Malay

Also Present: Russell Colby, Community Development Division Manager
Rachel Hitzemann, Planner

1. Call to order

Chairman Norris called the meeting to order at 7:00 p.m.

2. Roll call

Ms. Hitzemann called roll with six members present. There was a quorum.

3. Approval of Agenda

The following item was added to the agenda.

10c. Articles

4. Presentation of minutes of the January 16, 2019 meeting

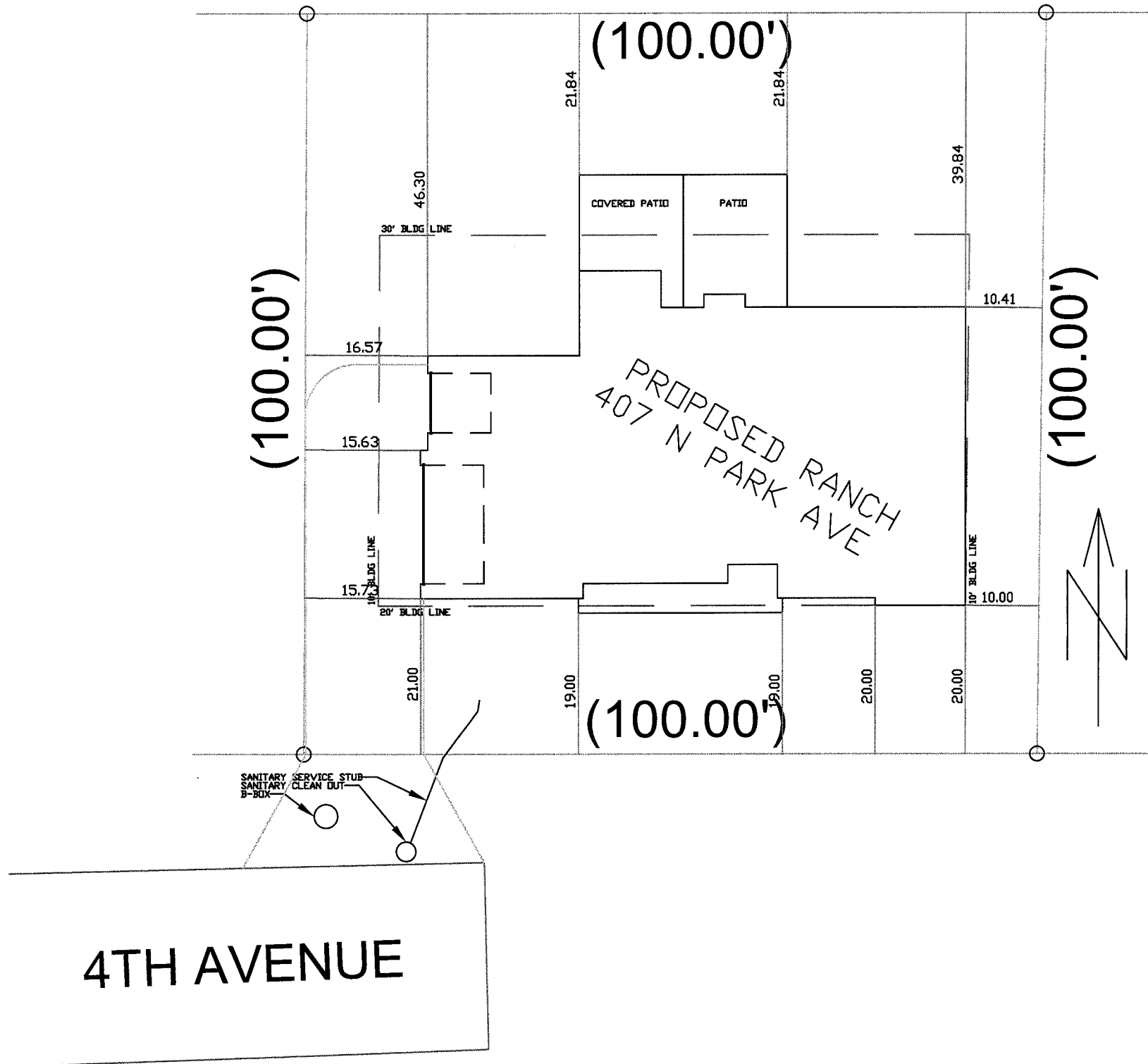
A motion was made by Mr. Krahenbuhl and seconded by Dr. Smunt with a 4-0 voice vote to approve the minutes of the January 16, 2019 meeting. Mr. Kessler abstained.

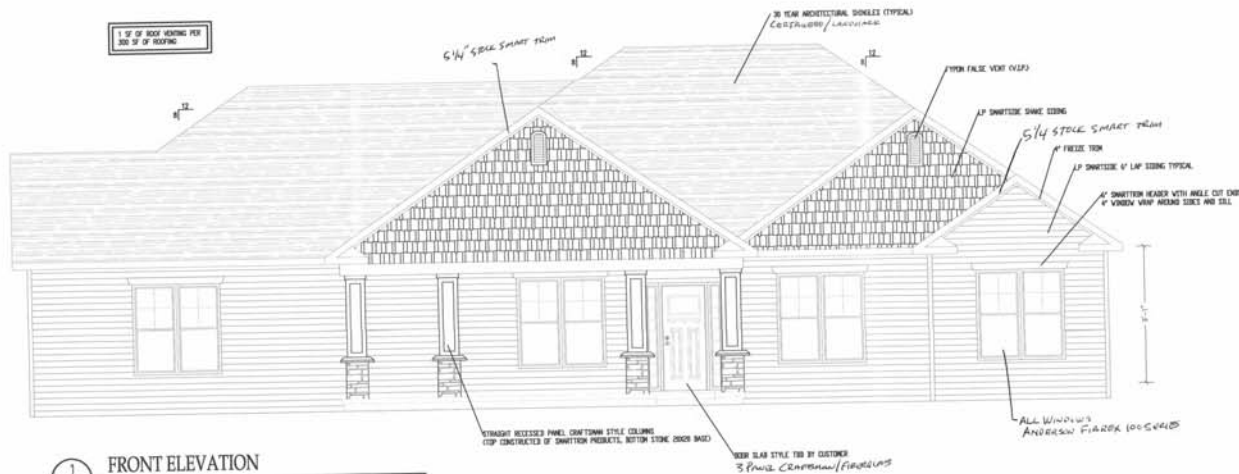
5. Preliminary Reviews – Open forum for questions or presentation of preliminary concepts to the Commission for feedback

a. 402 N. 4th Ave.

James Dulaney and Chris Vieau, the builders, were present to discuss their plans for new construction of a ranch home on a vacant lot. Dr. Smunt suggested enhancing the craftsman elements featured in the design to be more sympathetic to the historical craftsman era.

Mr. Dulaney asked for clarification on the code requirements for covered patios. Mr. Colby advised an unenclosed porch/covered patio can encroach 8 feet into either the front or rear yards. In this case, he suggested sliding the house one foot closer to the street so only the porch extends over the lot line. This would allow them to gain one foot in the rear.





1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
SCALE: 1/8" = 1'-0"

IN THE EVENT OF A PLAN DISCREPANCY, CHECK WITH GENERAL CONTRACTOR BEFORE PROCEEDING WITH WORK. NO CHANGES WILL BE APPROVED OF THIS WITHOUT WRITTEN APPROVAL.

ASHBURY-MODIFIED

FIRST FLOOR SQUARE FOOTAGE: 2000 SF
SECOND FLOOR SQUARE FOOTAGE: 2045 SF
GARAGE SQUARE FOOTAGE: 860 SF

ALL BRICK WALLS ARE TO BE 8 IN. THICK.
GRADE OF ALL FLOOR JOISTS AT ALL PERIMETER WALLS ABOVE: WALL JOISTS TOGETHER AND POSITION SUCH THAT 1-1/2" OF THE WALL ABOVE HEADS DIRECTLY OVER COULDED-UP FLOOR JOISTS, LEAVING APPROX. 2" TO HEAD JOIST OR PLUMBING & NOTES.
PROVIDE INTERNAL RETURN WINDOWS WITH WEED BELL AND AFRON ON ALL WINDOWS. ALL WEED BELL TO BE INTERNAL RETURN (CHECKER HEIGHT 8'-11/4").
FOLLOW LOCAL CODES AND REQUIREMENTS FOR ALL STAIR CONSTRUCTION.
PROVIDE SOLID WOOD FLOORING IN ALL INTERIOR SPACES BETWEEN 3/4" TO 5/8" AND 4" IN ALL WALLS ADJACENT TO TOILET, SHOWER, TUB OR BATHTUB.
ALL WALL DIMENSIONS ARE 3/4" OR 5/8" UNLESS INDICATED OTHERWISE.
ALL STRUCTURAL BEAMS ARE TO BEAT ON MINIMUM OF (2) 2X4 CEILING BARS.
TYPICAL WINDOW OPENING BY (4) 2X4 BARS.
(2) 2X4 AT 1/2" PLYWOOD
3-1/2" x 1/4" STEEL ANGLE (BUILT UP 1/2" x 1/2")
ALL EXTERIOR WINDOWS TO MEET OR EXCEED IRC 2006.
ALL JOIST/SUPPORTS NOTED AS TO BE ENGINEERED - JUST BY LOCAL METROPOLITAN COUNTY AND ALL JOIST SPACING IS BASED ON MANUFACTURER'S RECOMMENDATIONS WITH A DEFLECTION OF 1/400 IN PLACE WITH THAT A CHECK RECOMMENDATION IS ALSO PROVIDED AND THERE ARE MORE THAN ONE SERIES SPECIFIED, INSTALL PER MANUFACTURER'S RECOMMENDATIONS IN NO SERIES IS SPECIFIED, CHECK WITH ENGINEER.
PROVIDE 1-1/2" OF BEARING (AND) AT ALL JOIST ENDS OR PROVIDE APPROVED JOIST BRACKETS.
BATHROOM EXHAUSTS SHALL VENT DIRECTLY TO THE EXTERIOR AVOIDING FRONT ELEVATION CUTS AT ALL TIMES.
ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALL AND DOOR/DOORWAY PROTECTED ON THE EXCLUDED SIDE WITH 1/2" CUP BOARD.
ALL WOOD BEAMS, JOISTS, STUDS AND OTHER COMBUSTIBLE MATERIALS SHALL HAVE A CLEARANCE OF NOT LESS THAN 2" FROM THE FRONT AND REAR FACES OF WOODEN PROFILES AND NOT LESS THAN 4" FROM THE BRICK FACE.
SEAL ALL JOIST UNDER TUBS AND WHOLEHOLES.
ANY GLASS ADJACENT TO OR WITH SHROUDS OR SHROUDS SHALL BE TREATED SAFETY GLASS IF LESS THAN 4" FROM THE EXTERIOR SURFACE FLOOR OF THE FLOOR.
COORDINATE INSTALLATION OF ALL FLOOR JOISTS WITH PLUMBING FEATURES BUT THAT WHEN INSTALLED, THERE IS ENOUGH CLEARANCE ALLOWED THAT FLOORING OR FLOORING OF JOIST WILL NOT BE REQUIRED.

APPLICABLE CODES

2012 INTERNATIONAL RESIDENTIAL CODE
2011 NATIONAL ELECTRIC CODE (NEC)
2014 STATE OF ILLINOIS PLUMBING CODE
2015 ILLINOIS ENERGY CONSERVATION CODE
2006 INTERNATIONAL MECHANICAL CODE

GENERAL NOTES

ALL TRADE CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING THAT THE SCOPE OF WORK COMPLETES WITH LOCAL REQUIREMENTS. FOUNDATION CONCRETE SHALL BE A MIN. 3000 PSI @ 28 DAYS. PLASTER SHALL BE 3000 PSI @ 28 DAYS.
IT IS ASSUMED THAT FOOTINGS BEAT ON UNSETTLED, NONCOMPRESSIVE SOIL WITH A MINIMUM BEARING OF 2000 PSF.
SECOND FLOOR JOISTS ARE 40 PSF UNLESS INDICATED. ROOF DESIGN IS 30 PSF AND CEILING IS 10 PSF. EXTERIOR FINISH 30 PSF.
PLUMB ALL HEADS OF WINDOWS AND WEAP WITH GRADE VISION OR EQUIVALENT FLASHING TAPE.
ALL STRUCTURAL MEMBERS NOT NOTED ON PLAN AS CHANGING ARE NO. 2 & 8 UNLESS NOTED.
ALL SHOCK DETECTORS SHALL BE DIRECT WIRE TIE AND SHALL BE LAMINATED TOGETHER WITH CSD CORING DETECTOR IN HALL OF UPSTAIRS HEAD BY BEDROOMS.
USE TOP ALL CHANGES MUST BE PRE-APPROVED AS REQUIRED BY CODE. ALL PLASTER, CONCRETE AND PENETRATIONS IN WALLS AS NOTED FOR BLUNDER DOOR TEST.
ALL BATH AND OTHER WOODS SHALL BE NOTED DIRECTLY TO THE OUTSIDE.
OWNER IS RESPONSIBLE FOR CREATING SITE CONDITIONS AND ENGINEERING.
WINDOW AND DOOR SIZES ARE NOMINAL. CHECK WITH SUPPLIER FOR ACTUAL SIZES.
HVAC NOTES

HVAC NOTES

HVAC CONTRACTOR SHALL SIZE SYSTEM APPROPRIATELY FOR APPLICABLE LOCALS. HVAC CONTRACTOR SHALL SUPPLY AT OWNERS REQUEST PLUMBING & SPECIFICATIONS TO EQUIPMENT & DUCTS. HVAC CONTRACTOR TO LOCATE EQUIPMENT. ALL DUCTS IN UNOCCUPIED SPACES TO BE SEALED, INSULATED AND TESTED PER EEC.

PLUMBING NOTES

- PROVIDE ONE METER FOR EACH UNIT IN BUILDING.
- ALL PLUMBING WORK SHALL COMPLY WITH CURRENT ILLINOIS PLUMBING CODE AND ANY APPLICABLE AMENDMENTS BOTH TO THIS AND LOCAL CODES.
- ALL GAS PIPING SHALL BE TESTED UNDER PRESSURE PRIOR TO CONNECTION.
- PROVIDE BACKFLOW PROTECTION FOR POTABLE WATER, TO CONNECTION.
- PLUMBING CONTRACTOR TO SUPPLY ANY DIAGRAMS, SPECIFICATIONS AS TO ALL PLUMBING WORK.
- ALL SUPPLY PIPING TO BE CPVC AND HAVE ALL CHANGES AT EACH FLOOR.
- PROVIDE SHOWER AT EACH FLOOR.
- ALL SUPPLY PIPING TO BE PRESSURE TESTED AND SHOWERED PRIOR TO OCCUPANCY.
- INSULATE ALL HOT WATER SUPPLY LINES WITH MIN. R-3 INSULATION.

ELECTRICAL NOTES

- SMOKE ALARMS ARE REQUIRED TO BE INTER-CONNECTED SUCH THAT ACTIVATION OF ONE WILL ACTIVATE ALL SMOKE ALARMS.
- OUTLETS ARE REQUIRED TO BE PLACED SO THAT NO POINT PLUMBING WALLS TO MORE THAN 6 FEET FROM AN OUTLET. EXCEPT 3.1 & 3.2.
- OUTLETS ARE REQUIRED AROUND CORNER SPACES. SPACE FOR MAXIMUM OF REACH FOR CODE. EXCEPT 4.1.
- OUTLETS ARE REQUIRED AT THE FRONT AND REAR OF THE BUILDING.
- EXTERIOR BATH FAN RESPONSE IS REQUIRED IN ATIC READY BATH VENT STACK.
- ALL WORK INSPECTED PER ILLINOIS CODE REFERENCED IN APPLICABLE CODES SECTION.
- USE FAN RATED BOXES FOR ALL CEILING FEATURES. DIRECT DRIVERS TO FOLLOW ILLINOIS CODE FOR AFD REQUIREMENTS.

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Civil Engineer:

MEP Engineer:

402 N 4TH AVE
ST. CHARLES

ASHBURY MOD.
DULANEY
PLAN

Project Number:

Date: 01/11/19

Drawn By: JS

Checked By: JLV

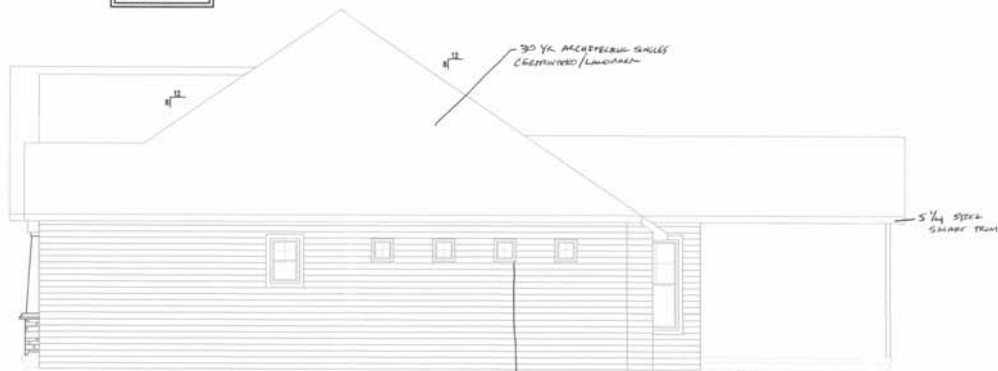
DATE:

REVISION DESCRIPTION:

REVISION NO:

A1

1" OF ROOF RISING PER
300" OF ROOFING

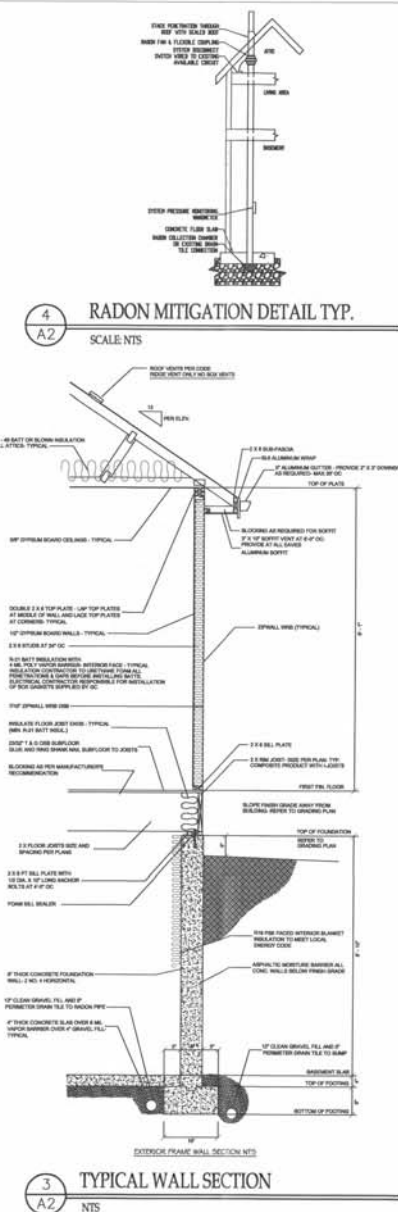


1
A2 RIGHT ELEVATION
SCALE 1/8" = 1'-0"



2
A2 LEFT ELEVATION
SCALE 1/8" = 1'-0"

IN THE EVENT OF A PLAN DISCREPANCY, CHECK WITH GENERAL CONTRACTOR BEFORE PROCEEDING WITH WORK. NO LISTING WILL BE APPROVED OR PAID WITHOUT WRITTEN APPROVAL.



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Civil Engineer:

MEP Engineer:

ASHBURY MOD.
DULANEY
PLAN

Project Number:

Date: 01/17/19

Drawn By: JS

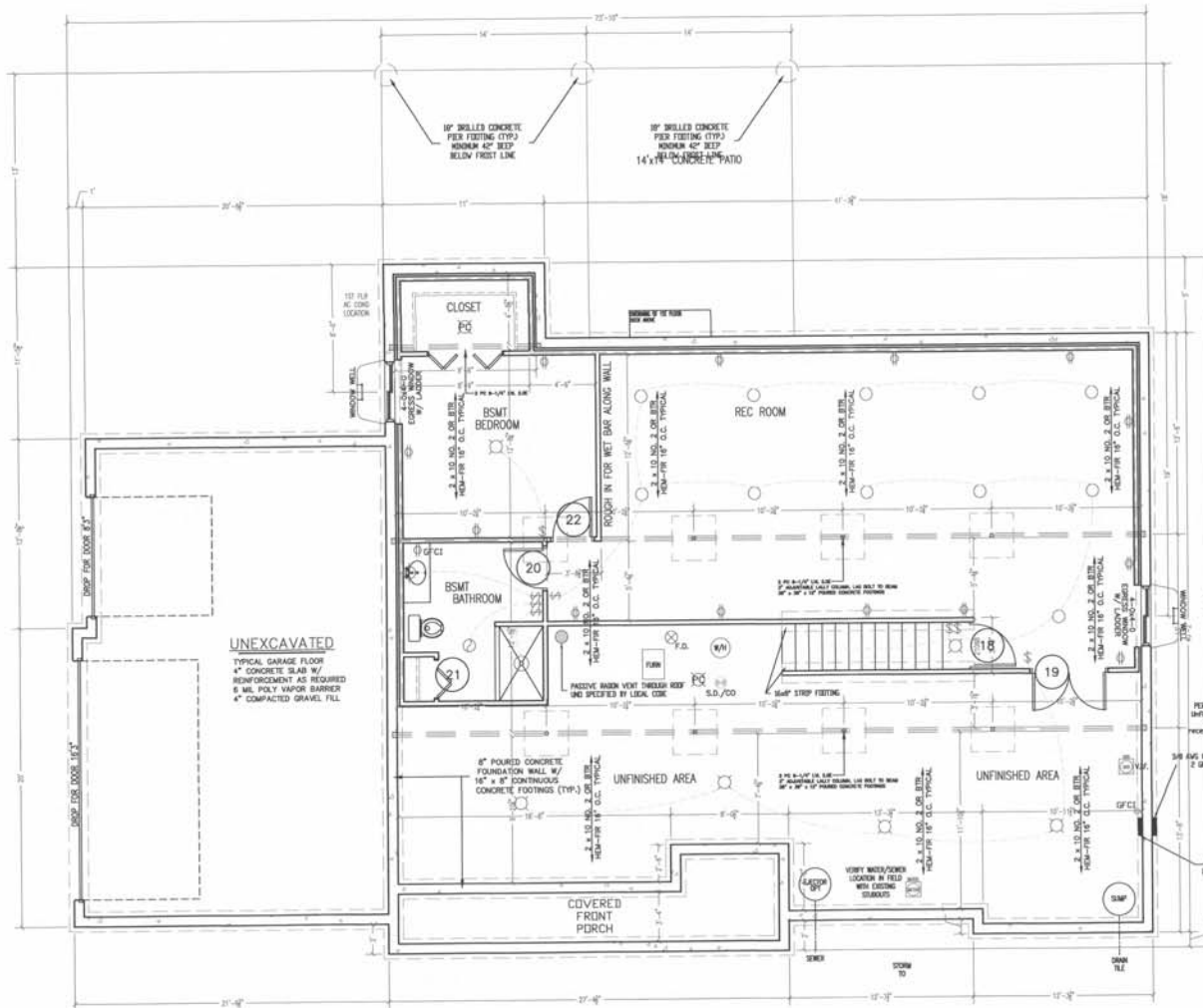
Checked By: JAW

DATE:

REVISION DESCRIPTION

REVISION NO.

A2



DOOR SCHEDULE			
MARK	NO.	LOCATION	NOTES
19	1	REC ROOM	2'-0" x 6'-0" SWING OUT
20	1	BSMT BEDROOM	2'-0" x 6'-0" SWING OUT
21	1	BSMT BEDROOM	2'-0" x 6'-0" SWING OUT
22	1	BSMT BEDROOM	2'-0" x 6'-0" SWING OUT

WINDOW SCHEDULE			
MARK	NO.	LOCATION	NOTES
19	1	REC ROOM	2'-0" x 6'-0" SWING OUT
20	1	BSMT BEDROOM	2'-0" x 6'-0" SWING OUT
21	1	BSMT BEDROOM	2'-0" x 6'-0" SWING OUT
22	1	BSMT BEDROOM	2'-0" x 6'-0" SWING OUT

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DEXTER, MI 48015
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Fax: 815-962-4825
info@shelburnegroup.com
Civil Engineer:

MCF Engineer:

ASHBURY MOD. DULANEY PLAN

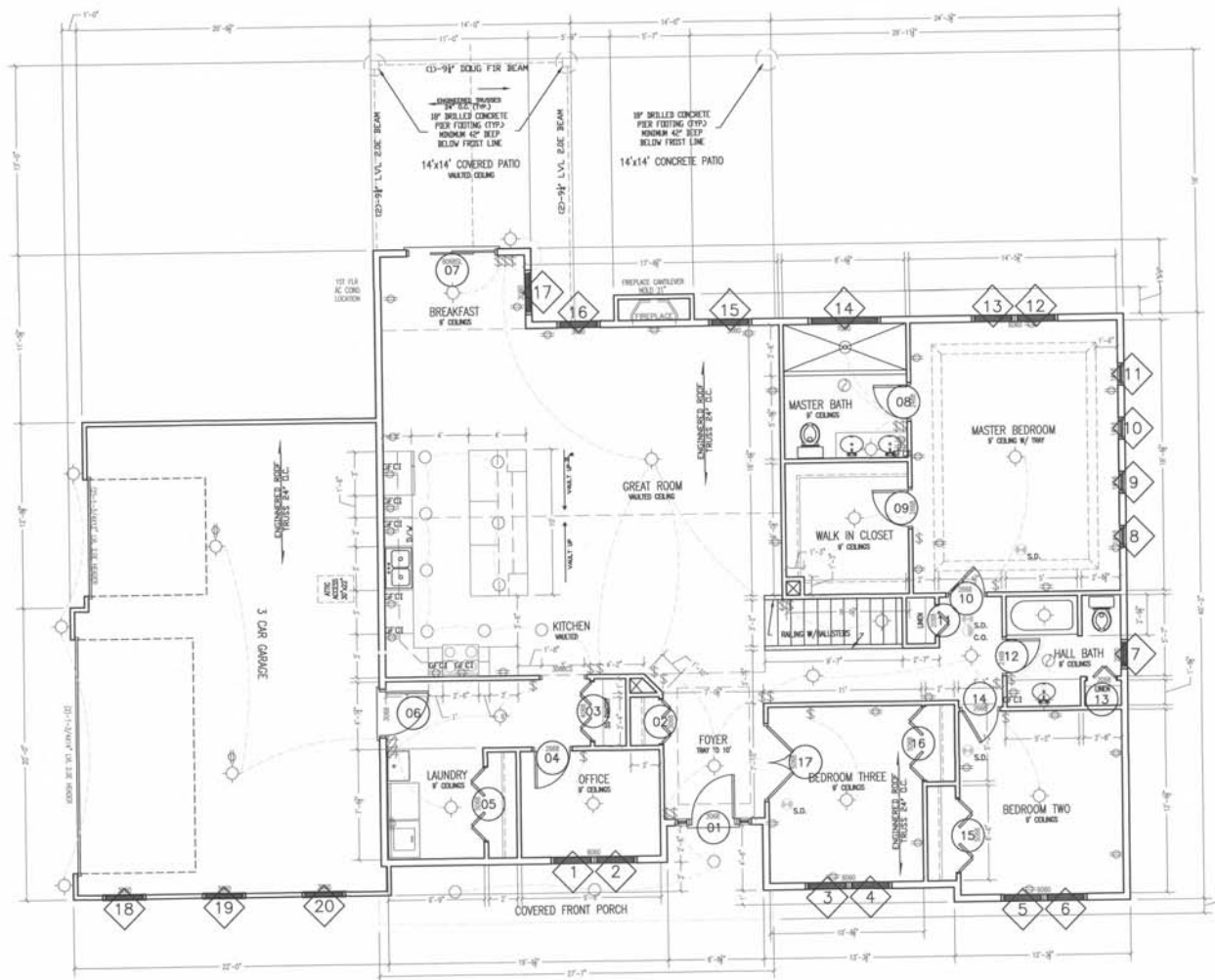
Project Number:
Date: 01/17/19
Drawn By: JS
Checked By: JLV

DATE:

REVISION DESCRIPTION:

REVISION NO.:

A3



1
A4
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

IN THE EVENT OF A PLAN DISCREPANCY, CHECK WITH GENERAL CONTRACTOR BEFORE PROCEEDING WITH WORK. NO EXITS WILL BE APPROVED OR THE WORKSHOP APPROVAL.

1827 E LINCOLN HWY SUITE 1
DEALERS, S. 96215
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info@diverthumgroup.com
Civil Engineer:

MEP Engineer:

ASHBURY MOD. DULANEY PLAN

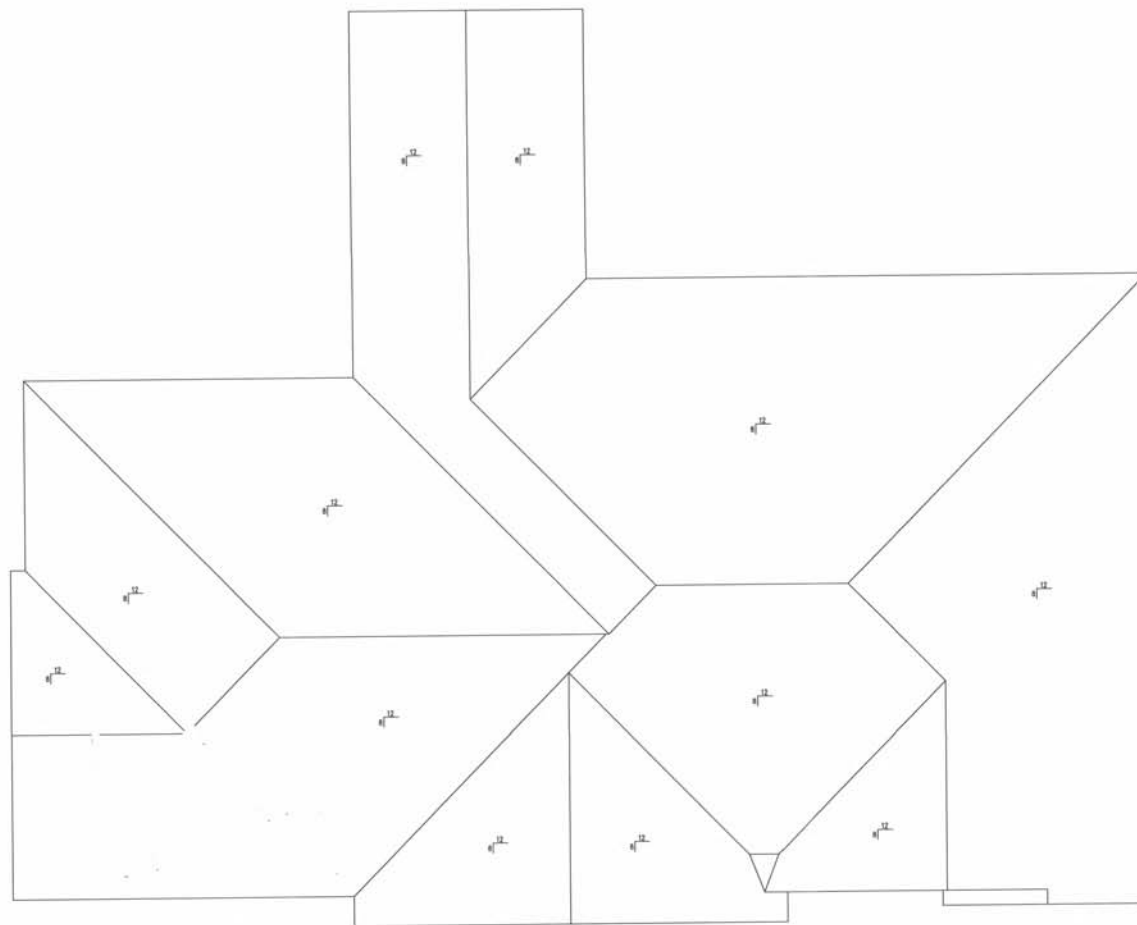
Project Number
Date: 01/12/23
Drawn By: JS
Checked By: AJW

DATE:

REVISION DESCRIPTION:

REVISION NO.

A4



1 ROOF LAYOUT
A5
SCALE: $\frac{1}{4}" = 1'-0"$

IN THE EVENT OF A PLAN DISCREPANCY, CHECK WITH GENERAL CONTRACTOR BEFORE PROCEEDING WITH WORK. NO CHANGES WILL BE APPROVED OR PAID WITHOUT WRITTEN APPROVAL.

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Civil Engineer:

MEP Engineer:

ASHBURY MOD. DULANEY PLAN

Project Number

Date 04/11/20

Drawn By JS

Checked By JLV

DATE

REVISION DESCRIPTION

REVISION NO.

A5

- A. PROVIDE HANDRAIL - MINIMUM ONE SIDE
- B. HEIGHT OF RAILING ABOVE TREADS - 32" OR MIN - 34" MAX
- C. EXTEND HANDRAILS 18" MISSING OF TOP TREADS AND 18" PLUS TREAD WIDTH BEYOND THE BOTTOM MISSING.
- D. RETURN AND TERMINATE ENDS OF HANDRAILS TO WALL OR POST.
- E. PROVIDE 1 1/2" CLEAR BETWEEN HANDRAILS AND WALL.
- F. CROSS-SECTIONAL DIMENSION HAND GRIP

- A. ALL THREADS SURFACES ARE TO BE SLIP RESISTANT
- B. ALL EXPOSED EDGES OF THREADS ARE TO BE SMOOTH/ROUNDED OR CHAMFERED. NO ABRUPT EDGES AT LOWER FRONT EDGE OF NUTTING

- A. NOSING PROJECTION PAST FACE OF RISER
BELOW TO BE 1 1/2" MAXIMUM

- A SUFFICIENTLY SOLID TO PREVENT PASSAGE OF OBJECTS LARGER THAN 1/4"

UNLESS NOTED OTHERWISE

- A. RISERS: 7 1/2" MAX. VERT., 4" MIN.
B. TREADS: 10" MINIMUM HORIZONTAL.

- B. PROVIDE HANDRAIL AT STAIRS AND 36" HIGH GUARD RAIL, 42" HIGH MINIMUM IF OCCUPANCY LOAD IS HIGHER THAN USAT STAIR LANDING WITH CLEAR SPACE BETWEEN BALUSTERS AND HORIZONTAL TOP RAIL AT 4" MIN. CLR. TYPICAL.

- DETAILS AT PLANS FOR STAIR FINISHES.

6. MARK WITH A 25 MM STRIKE OF CONTRAS

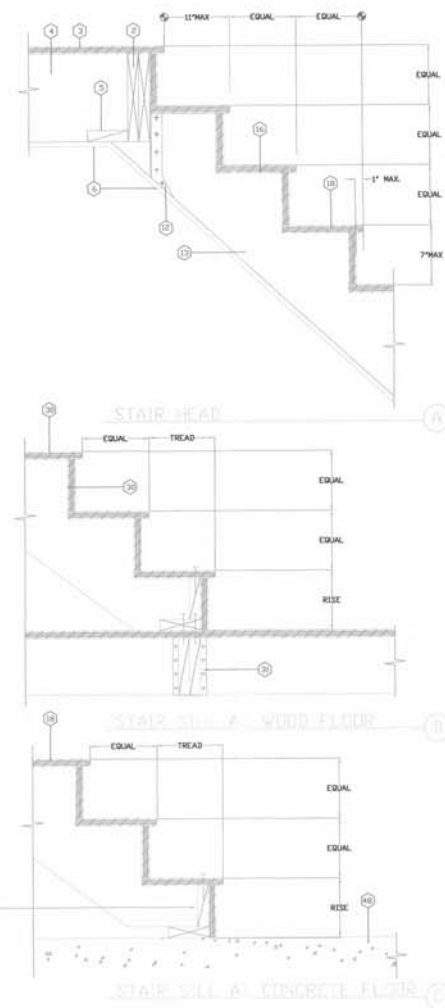
- PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING. THE UPPER APPROACH AND LOWER TREAD OF EACH STAIRSHALL A SLIP RESISTANT MATERIAL FOR THE STRIP AT EACH NOSSING AND LANDING.

- A SHALL BE PROTECTED WITH ONE-HOUR FIRE RESISTIVE PROTECTION

 Springer

- 7 NOTE: CARPET STAY AT CENTER OF
FLOOR JOIST. CHECK CORDS, VERIFY
DIMENSION AT SIDES
- 8 DOUBLE 2 X FLOOR JOISTS
- 9 PLYWOOD SUBFLOOR
- 10 FLOOR JOIST
- 11 2 X 4 BLOCKING
- 12 INTERIOR 2" X 4" RAY'S RATED 16
WHERE OCCURRING
- 13 1" X 4" JOIST HOLDING NOT SHOWN FOR
CLARITY. BELIEVE MEASURING SET. #1
- 14 1" LIP MAXIMUM
- 15 HARVESTED FLOORING AND MIXING
- 16 1" X 4" FLOOR JOIST SEE FRAMING PLAN
- 17 EX. STAIR STRINGER SEE PLAN
- 18 TYPICAL 1" X 4" HANGER
- 19 END STAIR STRINGER AT 10'-0" E.W. W/AL
ADJACENT TO WALL. TYPICAL EACH SIDE
- 20 CARPET KICK STAIR TOP AND BOTTOM
TYPICAL
- 21 CARPET COVER PLYWOOD ON HARVESTED
VEGETY IN THE FIELD
- 22 CARPET COVER PLYWOOD W/ UGLASS/FACET
TO EX. STAIR STRINGER ON TREADS AND
INFORMED SIDES
- 23 1" X 4" JOIST HOLDING TYPICAL AT
END OF INSIDE FLOOR OF EACH
STAIR
- 24 NOTE: ALLOW FOR FRESH ON PLYWOOD
- 25 KICKBOARD TILE
- 26 EXPOSED EAK
- 27 MOUNTING BRK 3/4" X 1/2" - 1/4" X 1/4"
SCHEDULE 40
- 28 METAL LATH
- 29 WATERPROOF MEMBRANE
DESIGN REQUIREMENTS
- 30 USE CONC. TILE AT JUNCTION OF WOOD
FLOORING FOR MOUNTING DUNNET
ON PLYWOOD. (CONC. TILE ORIENTED)
OR VERTICAL TO FACILITATE LAYOUT
- 31 ENDING STOP MESSAGES ARE AVAILABLE
FOR ALL TYPES OF DUNNET AND
PAVER TILE SIZES

- USE FULL RADIUS CERAMIC MISC. TRANSFER THE TOP RADIUS
- 3/8" UP RESISTANT TIE REQUIRED ON STAIR TREADS TYPICALLY
- ALTERNATE EXTERIOR GRADE PLAYS / TYPICAL
- "TEMPOR" H/21 JACKS HANGING DOUBLE BENDING TO FLUSH JOINT
- ALTERNATE EXTERIOR GRADE TYPICAL 3/4" COX
- FRESH CONCRETE WITH MEDIUM ROUGH
- HAMMER FINISH FINE OF CRACKS/VAN ON CILLY FLERS AND/OR CLARK CLOSING
- LIGHT BROWN FINISH TYPICAL
- 3/4" RADIUS TOP AND BOTTOM TYP.
- 3/8" DIA. LAS BOLT
- OVER STUD AT 18" O.C. TYPICAL/WALL
- INTERIOR FINISH
- 1 1/4" DIA. STEEL PIPE HANDRAIL/VERIFY W/ OWNER, WEED SINK
- 3/8" DIA. STEEL PIPE 2' ON FL. W/ SCREWS AT 4" O.C. TYPICALLY
- TEXT, SMOOTH GROOVES STOP THICKS UP FROM EACH END OF THRESHOLD GROOVES 3' DOWN ON DET. CALLS FOR OTHERWISE
- CAPPED END, WELD AND GRIND SMOOTH
- MET. BRACKET
- VERIFY WALL THICKNESS SEE PLANS
- INTERIOR FINISH ONE HOUR RATED AT STAIR
- AL. INSULATE UNDER SIDE OF STAIRS
- SEE STRUCTURAL FOR SLAB THICKNESS AND REINFORCING
- 1 1/8"X3 1/2" UP WIDE WALL STRINGER
- 3/4" PLAYS/TREAD
- BALLSTOCK DOVETAILED INTO TREADS
- CEILING MOLDING
- CEILING STRINGERS AT 18" O.C. 1/4"X1-1/2" AT EACH STUD 1/2" UP. USE DRIFTPIN.
- 1 1/8"X3 1/2" SLITER FINISH WOOD STRINGER
- INSULATE STAIR WALLS W/ R-11 SOUND BATT



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Civil Engineer:

MSB/Evaluation

GENERAL
STAIR SECTION

Project Number	
Date	01/27/2011
Drawn By	28
Checked By	28

REVISION NO.	REVISION DESCRIPTION	DATE
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