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|---|---|--------------------|--|----------|
|  <p>CITY OF ST. CHARLES ILLINOIS • 1834</p> | HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY | | | |
| | Agenda Item Title/Address: | COA: 522 Cedar St. | | |
| | Significance: | Landmarked | | |
| | Petitioner: | Craig Bobowiec | | |
| | Project Type: | Deck | | |
| | PUBLIC HEARING | | MEETING 11/1/23 | X |
| Agenda Item Category: | | | | |
| | Preliminary Review | | Grant | |
| X | Certificate of Appropriateness (COA) | | Other Commission Business | |
| | Landmark/District Designation | | Commission Business | |
| Attached Documents: | | | Additional Requested Documents: | |
| Application, Plat of survey, Project Details, | | | | |
| Project Description: | | | | |
| <ul style="list-style-type: none"> Proposed is to remove the current stairs and deck in the rear and rebuild, including new stairs and railings. | | | | |
| Staff Comments: | | | | |
| | | | | |
| Recommendation / Suggested Action: | | | | |
| <ul style="list-style-type: none"> Provide feedback and recommendation on approval of the COA | | | | |

RECEIVED
OCT 23 2023
Building & Economic Development
St. Charles, IL

APPLICATION FOR COA REVIEW HISTORIC PRESERVATION "CERTIFICATE OF APPROPRIATENESS"



COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT / CITY OF ST. CHARLES

(630) 377-4443

To be filled out by City Staff
Permit # 2023-02157 Date Submitted: 10/23/23 COA # _____ - _____ Admin. Approval: _____

APPLICATION INFORMATION

Address of Property: 522 Cedar St St. Charles IL 60174

Use of Property: Commercial, business name: _____
 Residential Other: _____

Project Type:

- Exterior Alteration/Repair
 - Windows
 - Doors
 - Siding - Type: _____
 - Masonry Repair
 - Other Rear Porch Repairs + Decking
 - Awnings/Signs
- New Construction
 - Primary Structure
 - Additions
 - Deck/Porch
 - Garage/Outbuilding
 - Other _____
- Demolition
 - Primary Structure
 - Garage/Outbuilding
 - Other _____
- Relocation of Building

Description:

Remove and rebuild All Rear stair and decking on East End
Replace decking across lower rear porch and new Railings
And new stairs on west end - Using "LumberRock" synthetic decking + Railings
Decking will be tongue + Groove to match wood decking

Applicant Information:

Name (print): Craig Bobowiec
Address: 528 Cedar St St. Charles IL
Phone: 630-664-5766
Email: cbobowiec@sbcglobal.net

Applicant is (check all that apply):

- Property Owner
- Business Tenant
- Project contractor
- Architect/Designer

Property Owner Information (if not the Applicant)

Name (print): Craig Bobowiec
Address: 528 Cedar St St. Charles - IL
Signature: Craig Bobowiec

APPLICANT/AUTHORIZED AGENT SIGNATURE

I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA General Conditions.

Signature: Craig Bobowiec Date: 10-23-23

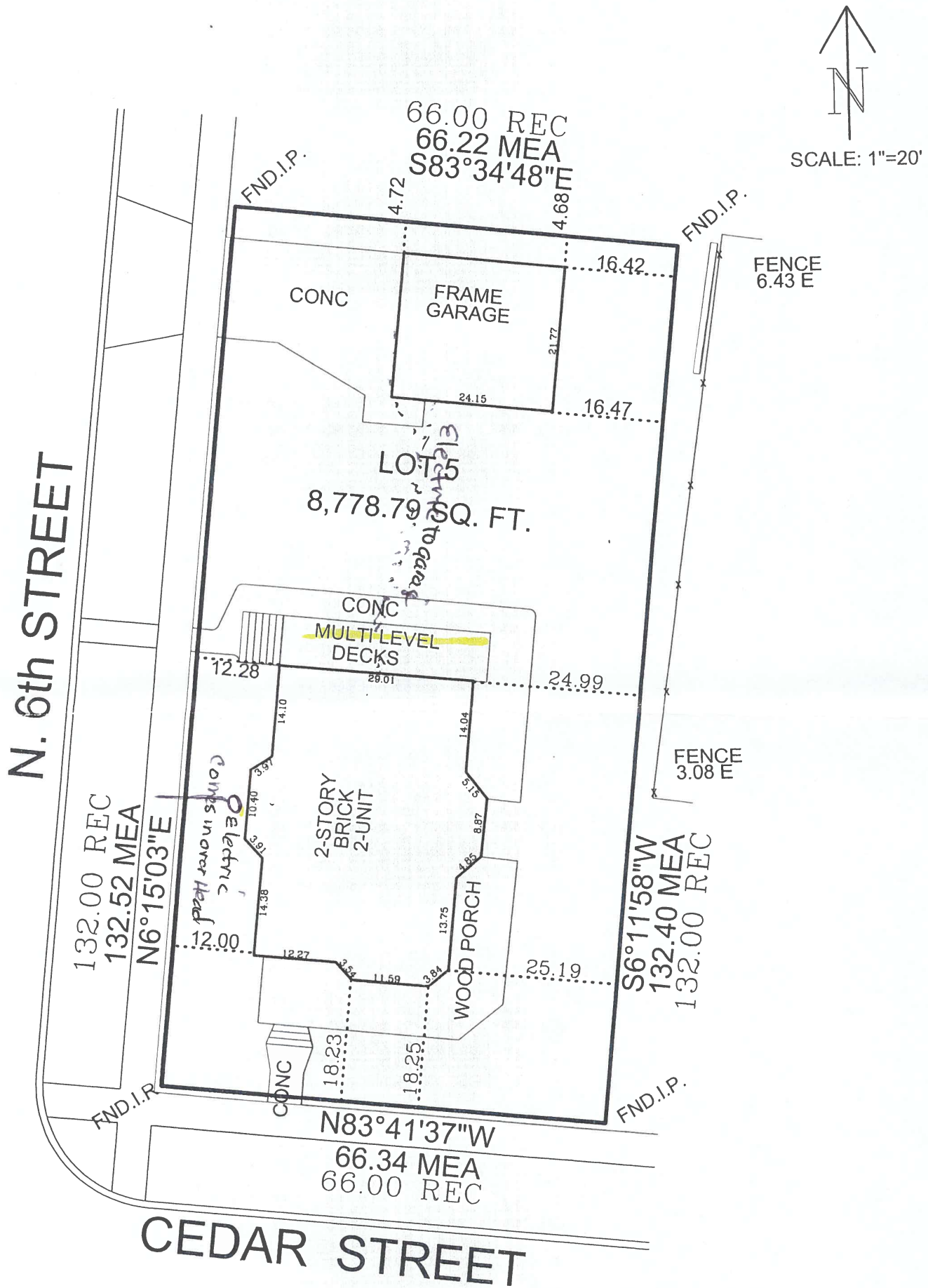




PLAT OF SURVEY

DALE FLOYD LAND SURVEYING L.L.C.
 2600 KESLINGER ROAD SUITE A
 GENEVA, ILLINOIS 60134
 PHONE: 630-232-7705 FAX: 630-232-7725

LOT 5 IN BLOCK 1 OF MILLINGTON'S ADDITION TO ST. CHARLES, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.
 COMMONLY KNOWN AS: 522 CEDAR STREET, ST. CHARLES, ILLINOIS.



NOTE: This professional service conforms to the current Illinois minimum standards for a boundary survey.

Compare all points before building by same and at once report any difference

Structure located and initial survey completed 4-10-2010

Dale A. Floyd

Illinois Professional Land Surveyor No. 035-002876

Job No. 000410-42

License expiration date 11-30-2010



State of Illinois S.S.
 County of Kane

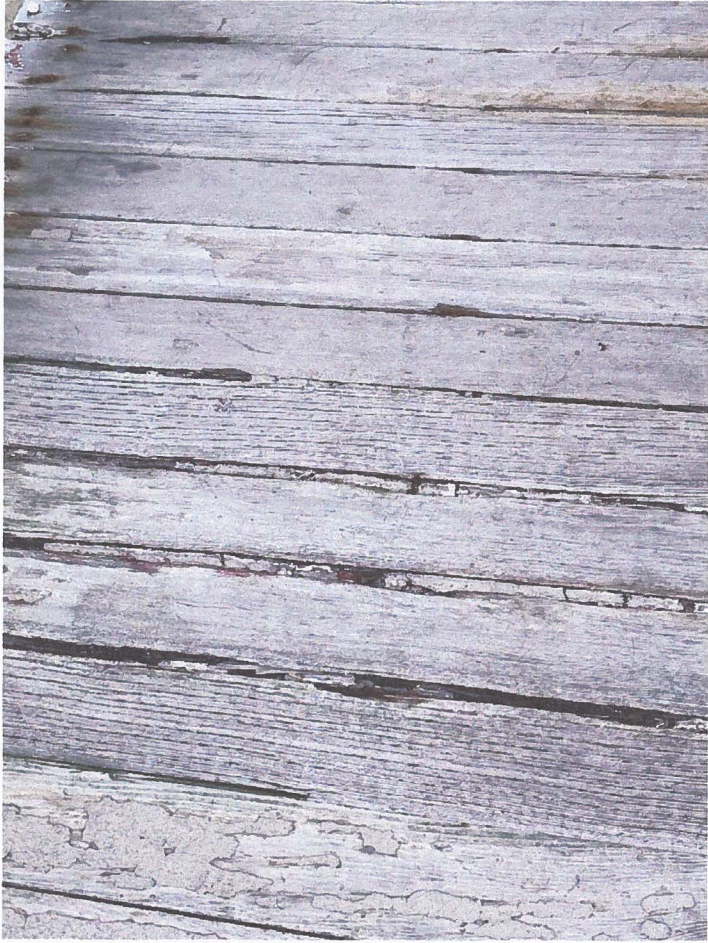
We, Dale Floyd Land Surveying L.L.C., a professional design firm, License No. 184-004129 Do hereby certify that the above described property has been surveyed in the manner represented on the plat hereon drawn.

Dimensions are shown in feet and decimal parts thereof.

Geneva, Illinois 5-11 A.D. 2010

Dale A. Floyd

Illinois Professional Land Surveyor No. 035-002876



Condition of decking



new rear railings designed to be similar to front porch using Lumberock products

A DECK REMODELING FOR: CRAIG BOBOWIEC 522 CEDAR STREET ST. CHARLES, ILLINOIS 60174

GENERAL NOTES:

- THIS CONSTRUCTION DOCUMENT HAS BEEN PREPARED BASED ON A SOIL BEARING CAPACITY OF 3000 PSF. IT IS THE RESPONSIBILITY OF THE HOMEOWNER/CONTRACTOR TO ORDER A SOIL CAPACITY REPORT PRIOR TO THE START OF CONSTRUCTION AND INFORM ARCHITECT IF THE SOIL CAPACITY DIFFERS.
- ALL CONCRETE USED SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:
FOOTINGS - 3000 P.S.I.
USING A MINIMUM 6 BAG MIX PER CUBIC YARD.
KEEP ALL AREAS MOIST DURING CURING AND PROTECT FROM COLD.

DESIGN LOAD CRITERIA

| | |
|------------------|--------------------------|
| FLOOR | • 40' LL 10' DL |
| WALL | • 60' PLF OR ACTUAL LOAD |
| CEILING | • 10' LL 10' DL |
| CEILING w/ ATTIC | • 20' LL 10' DL |
| ROOF | • 30' LL 10' DL |
| CATHEDRAL | • 30' LL 10' DL |

- ALL FRAMING LUMBER SHALL BE AMERICAN HEY-FIR #2 WITH A MINIMUM MODULUS OF ELASTICITY OF 1300/000 P.S.I. AND 10-15% OR EQUAL.
- PROVIDE 1/2" WOOD BRIDGINGS FOR ALL FLOOR JOISTS AT MID-SPAN.
- ALL GUARD RAILINGS TO BE 36" HIGH WITH LESS THAN 4" SPACE IN BETWEEN SPINDLES. ALL HANDRAILS TO BE 34" TO 38" HIGH ABOVE TREAD NOSE. CONFORM ALL SIZES AND CONFIGURATIONS WITH THE BUILDING DEPARTMENT PRIOR TO ORDERING.
- INSTALL FIRE STOPPING AT ALL PLATE PENETRATIONS, SORFITS, FURRED SPACES, CONCEALED SPACES, ETC. DO NOT USE FOAM AS A FIRE STOP UNLESS THE PRODUCT IS LABELED AS A FIRE STOP.
- INSTALL JOIST HANGERS IN ALL LOCATIONS WHERE FRAMING MEMBERS BUTT INTO THE SIDES OF GIRDERS, BEAMS, HEADERS, LEDGERS, ETC. ALL HANGERS SHALL BE INSTALLED WITH NAILS PER MANUFACTURER'S SPECIFICATIONS. ALL HOLES SHALL BE FILLED. DO NOT USE GALVANIZED ROOFING OR BOX NAILS.
- MINIMUM 3'-0" x 3'-0" LANDING IS REQUIRED AT ALL EXTERIOR DOORS.
- ALL CONTRACTORS SHALL PROVIDE ANY ADDITIONAL DRAINAGE AND INFORMATION THAT MAY BE REQUIRED IN ORDER TO OBTAIN A PERMIT TO PERFORM THEIR WORK.
- EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE OF CONCRETE. CONFORM TO ALL DIMENSIONS INDICATED IN PREFERENCE TO SCALED DIMENSIONS FROM THE BLUEPRINT.

- OWNER AND ARCHITECT SHALL NOT BE HELD LIABLE FOR INJURY INCURRED BY CONTRACTOR OR CREW AND SHALL REMAIN HARMLESS THROUGHOUT THE COURSE OF WORK.
- WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS AND MUST BE RESPONSIBLE FOR SAME. ANY DISCREPANCY IN DRAWINGS OR DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
- ALL CONTRACTORS MUST CARRY PUBLIC LIABILITY AND WORKSMAN'S COMPENSATION INSURANCE TO THE SATISFACTION OF THE OWNER.
- ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES AND MUST BE COMPLETED IN A WORKMANLIKE MANNER ACCORDING TO STANDARDS AND TO THE SATISFACTION OF THE OWNER AND ARCHITECT. ANY AND ALL SUBSTITUTIONS EQUAL OR BETTER SHALL BE APPROVED BY THE ARCHITECT/OWNER.
- ALL MATERIALS SHALL BE SAFELY ORGANIZED IN SUCH A WAY AS TO INFLECT MINIMUM DAMAGE, OVERTIGHT AND WEEKENDS ESPECIALLY. EACH TRADE SHALL BE RESPONSIBLE FOR REMOVING THEIR OWN DEBRIS FROM THE SITE TO MAINTAIN A NEAT, ORDERLY CONSTRUCTION AREA.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- ALL SMOKE DETECTORS SHALL BE 10' VOLTS WIRED IN SERIES WITH BATTERY BACKUP. INSTALL ONE SMOKE DETECTOR AT EACH LEVEL AND ONE IN EACH SLEEPING ROOM AND WITHIN 5'-0" OUTSIDE EACH SLEEPING ROOM.
- PROVIDE ONE CARBON MONOXIDE DETECTOR WITHIN 5'-0" OUTSIDE EACH SLEEPING ROOM.
- WHEN CONSTRUCTION HAS COMMENCED AND A CONDITION IS FOUND TO EXIST WHICH WAS UNKNOWN OR UNFORESEEN IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER AND THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
- WITH REMODELING PROJECTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO SHORE UP THE EXISTING CONSTRUCTION AND PROTECT THE EXISTING CONSTRUCTION FROM POSSIBLE DAMAGE.
- FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROUS OF STUDS OR STAGGERED STUDS AS FOLLOWS:
1.1 VERTICALLY AT THE CEILING AND FLOOR LEVELS.
1.2 HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SORFITS, DROP CEILING AND COVE CEILING.
3. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
- AIR EXHAUST AND INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION RESISTANT SCREENS, LOUVERS, OR GRILLES. OPENINGS IN SCREENS, LOUVERS, AND GRILLES SHALL BE NOT LESS THAN 1/8" INCH AND NOT GREATER THAN 1/2" INCH MEASURED IN ANY DIRECTION.

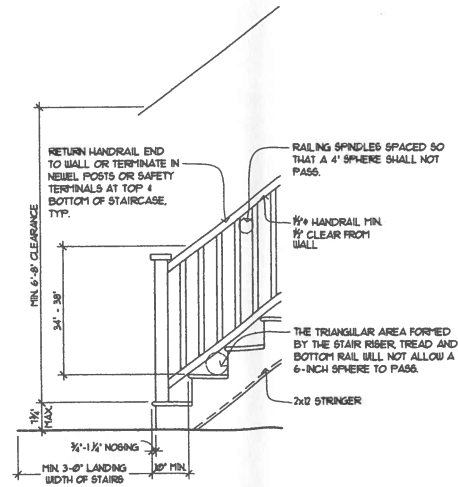
ABBREVIATIONS

| | | | |
|--------|-----------------------------------|--------|------------------------|
| AFF. | ABOVE FINISH FLOOR | GALV. | GALVANIZED |
| ADJ. | ADJACENT | GYP. | GYPHUM WALL BOARD |
| ALT. | ALTERNATE | HDR. | HEADER |
| ALPH. | ALUMINUM | HLM. | HOLLOW METAL |
| AWING. | AWNING WINDOW | HORZ. | HORIZONTAL |
| BLDG. | BUILDING | INSUL. | INSULATION |
| CJ. | CONTROL JOINT | MATL. | MATERIAL |
| CL. | CENTER LINE | MAX. | MAXIMUM |
| CLG. | CEILING | MECH. | MECHANICAL |
| CLR. | CLEAR | MFR. | MANUFACTURER |
| CMU. | CONCRETE MASONRY UNIT | MNL. | MINIMUM |
| CONC. | CONCRETE | MTL. | METAL |
| CONT. | CONTINUOUS | M/O. | MASONRY OPENING |
| CPT. | CARPET | ME. | MATCH EXISTING |
| CT. | CERAMIC TILE | N/C. | NOT IN CONTRACT |
| C/O. | CASED OPENING | N.T.S. | NOT TO SCALE |
| C.J. | CEILING JOIST | O.C. | ON CENTER |
| C.O. | CLEAN OUT | O.H.D. | OVER HEAD DOOR |
| CSHT. | CASEMENT WINDOW | OPP. | OPPOSITE |
| D. | DRAINAGE DISPOSAL | OPT. | OPTIONAL |
| DBL. | DOUBLE | PL. | POINT LOAD |
| DET. | DETAIL | PT. | PRESSURE TREATED |
| DH. | DOUBLE HUNG WINDOW | R.O. | ROUGH OPENING |
| DIA. | DIAMETER | RR. | ROOF RAFTER |
| DN. | DOWN | S.F. | SQUARE FEET / FOOT |
| E. | EXISTING | SPL. | SPILLER |
| E. | EACH | SL. | SLIGHT |
| EFS. | EXTERIOR INSULATION FINISH SYSTEM | STR. | STRUCTURAL |
| ELEC. | ELECTRICAL | SA. | STAINLESS STEEL |
| EQ. | EQUAL | T. | TOP OF |
| EXT. | EXTERIOR | T.H.E. | TO MATCH EXISTING |
| FD. | FOUNDATION | TYP. | TYPICAL |
| F.D. | FLOOR DRAIN | UNO. | UNLESS NOTED OTHERWISE |
| FIN. | FINISH | V.B. | VAPOR BARRIER |
| F.J. | FLOOR JOIST | VERT. | VERTICAL |
| F.O. | FACE OF | V.I.F. | VERIFY IN FIELD |
| F.R. | FIRE-RATED | WD. | WOOD |
| GA. | GAUGE | W/D. | WASHER / DRYER |

BUILDING INFORMATION

CITY OF ST. CHARLES CODES:

- 2015 INTERNATIONAL BUILDING CODE w/ AMENDMENTS
- 2015 INTERNATIONAL RESIDENTIAL CODE w/ AMENDMENTS
- 2015 INTERNATIONAL MECHANICAL CODE w/ AMENDMENTS
- 2015 INTERNATIONAL FUEL GAS CODE w/ AMENDMENTS
- 2014 NATIONAL ELECTRIC CODE NFPA NO. 70 w/ AMENDMENTS
- 2014 ILLINOIS STATE PLUMBING CODE w/ AMENDMENTS
- 2015 INTERNATIONAL FIRE CODE w/ AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 1997 ILLINOIS ACCESSIBILITY CODE
- NFPA LIFE SAFETY CODE 101



STAIRWAY NOTES:

- RISER HEIGHT - 1 1/2" MAX
TREAD DEPTH - 10" MIN
- ALL STAIRWAYS SHALL HAVE MIN 36" HIGH GUARDRAIL w/ SPINDLES SPACED LESS THAN 4" APART & A SEPARATE HANDRAIL 34"-38" HIGH CONTINUOUS WITHOUT INTERRUPTION BY NEEL POSTS OR OTHER STRUCTURAL ELEMENTS OR OBSTRUCTIONS.
- HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEEL POSTS OR SAFETY TERMINAL.
- HANDGRIPS SHALL HAVE A CIRCULAR CROSS SECTION OF 1 1/2" INCHES MIN. TO 2 1/8" INCHES MAX. OTHER HANDRAIL SHAPES THAT PROVIDE AN EQUIVALENT GRASPING SURFACE ARE PERMISSIBLE. EDGES SHALL HAVE A MIN RADIUS OF 1/8" INCH.

SHEET INDEX

| | |
|---|------------------------------------|
| 1 | GENERAL NOTES & SCHEDULES |
| 2 | DEMO., FOUND., BSMT., & FLR. PLANS |
| 3 | ELEVATIONS & SECTIONS |

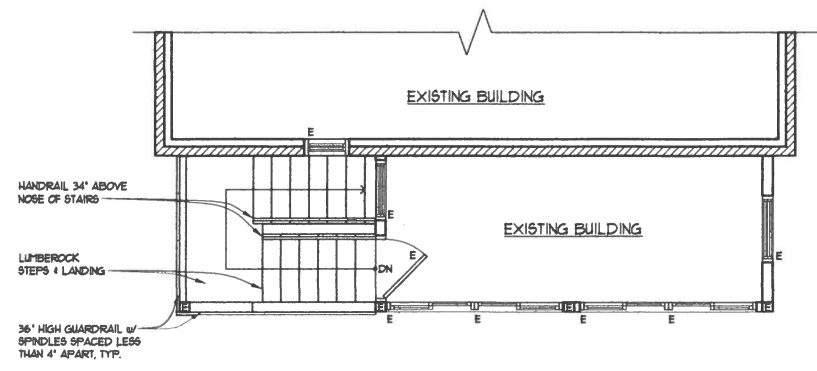
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|-------------------|----------|
| Project No. | 23053 |
| Drawn By | TH |
| Design | 8/24/23 |
| Client Revisions | |
| Construction | 10/16/23 |
| Village Revisions | |

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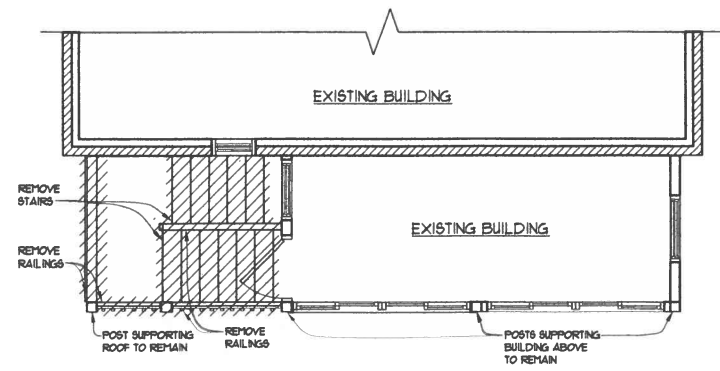
A DECK REMODELING FOR:
CRAIG BOBOWIEC
522 CEDAR STREET
ST. CHARLES, IL 60174

GENERAL NOTES
& SCHEDULES

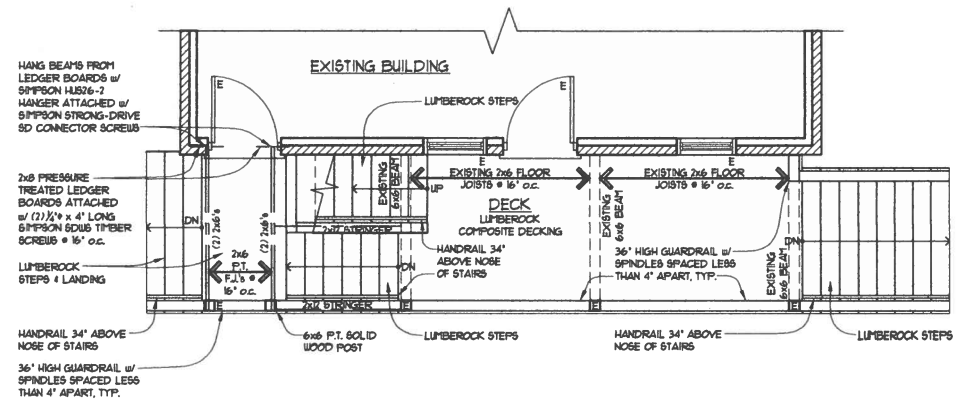
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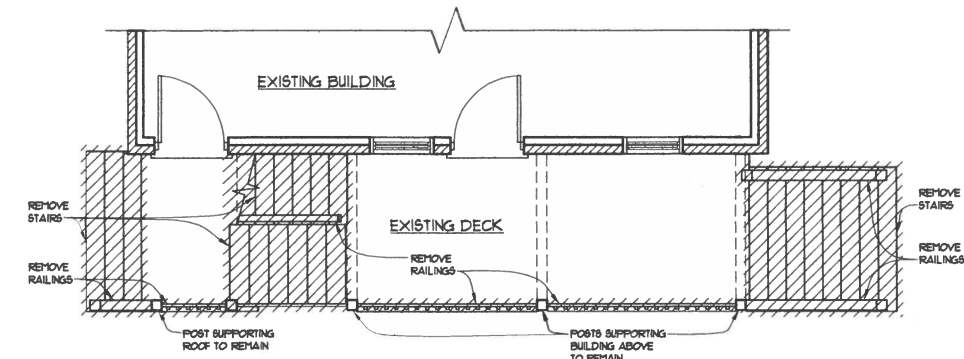
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SCALE: 1/4" = 1'-0"



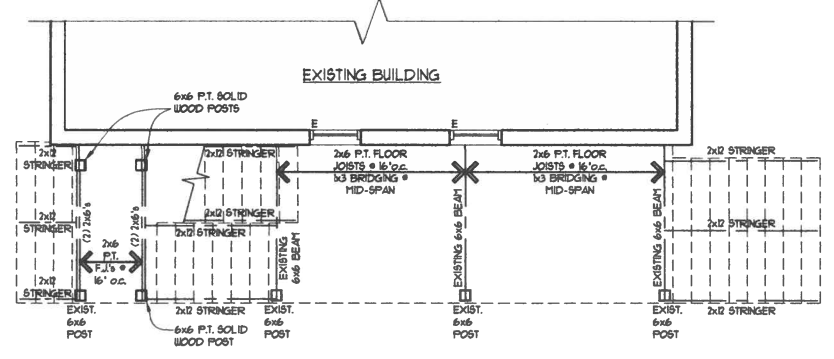
SECOND FLOOR DEMOLITION PLAN
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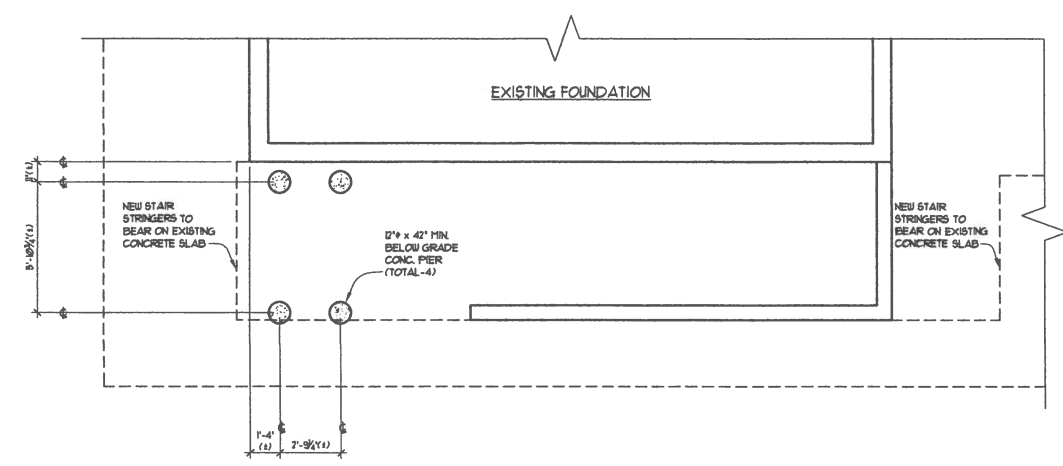
FIRST FLOOR PLAN E = EXISTING
SCALE: 1/4" = 1'-0"



FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



BASEMENT PLAN E = EXISTING
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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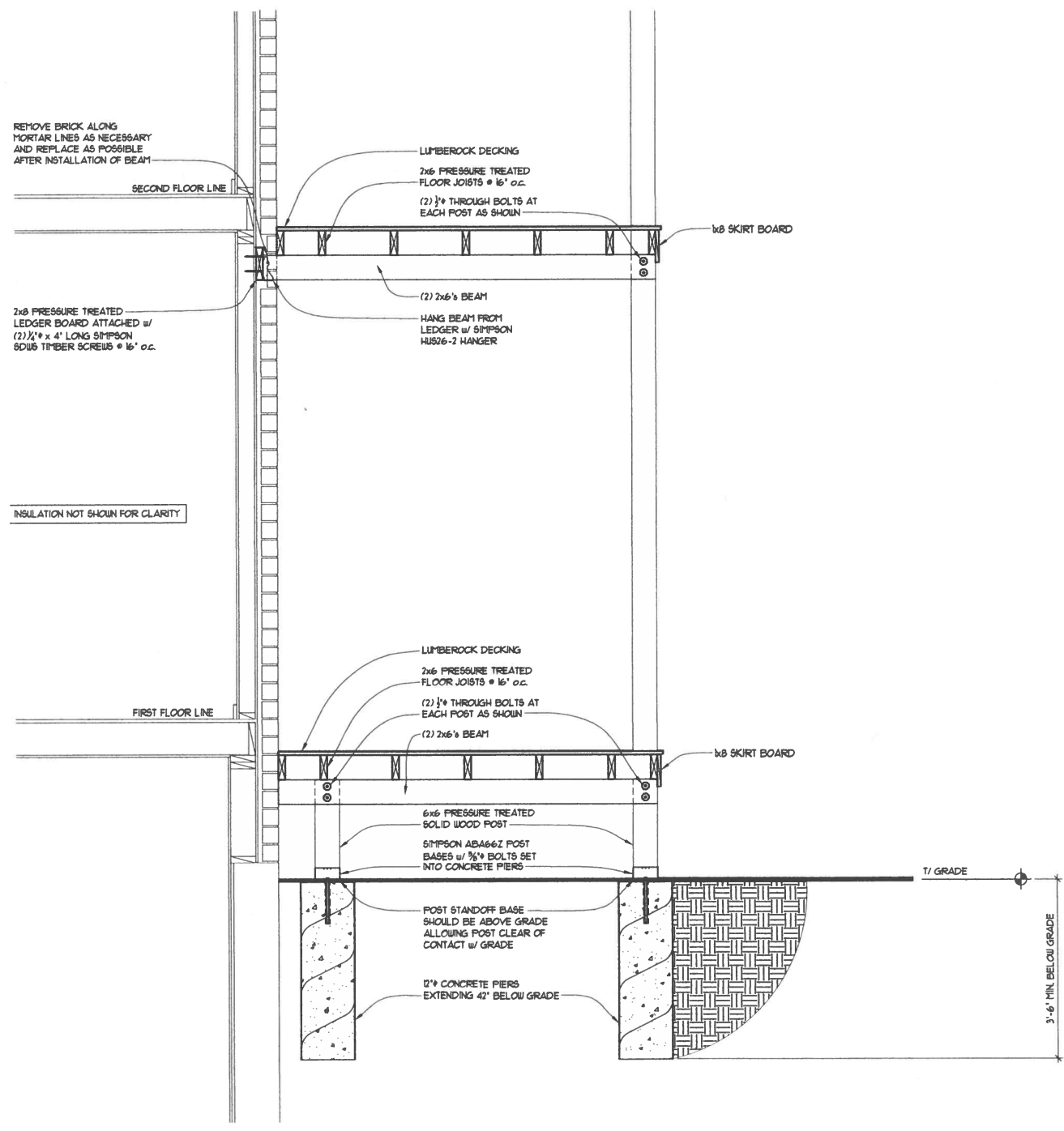
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 ST. CHARLES, IL 60174

FIRST FLOOR DEMOLITION PLAN,
 SECOND FLOOR DEMOLITION PLAN,
 FOUNDATION PLAN,
 BASEMENT PLAN, &
 SECOND FLOOR PLAN

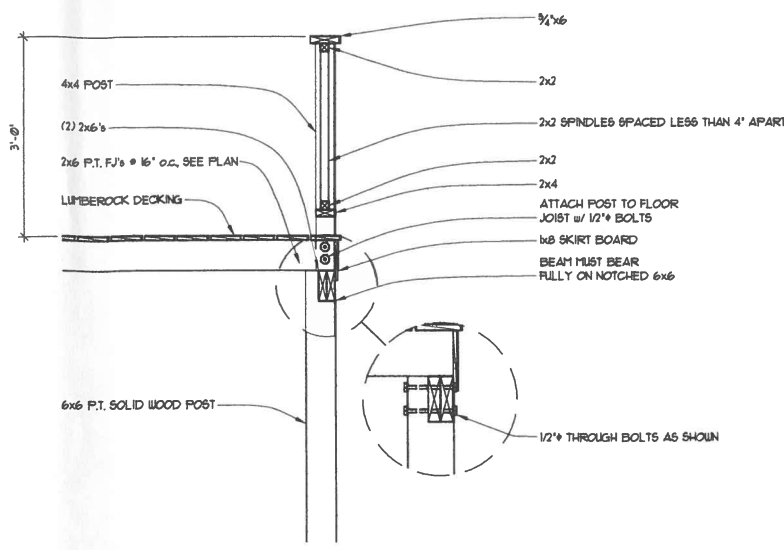
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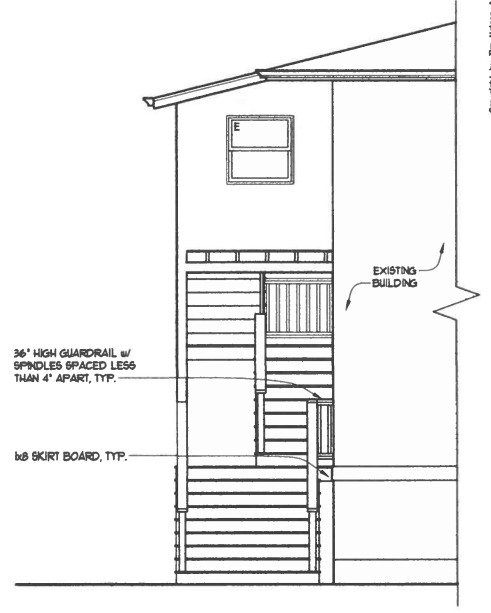
**ELEVATIONS,
 DECK SECTION, &
 STAIR LANDING SECTION**



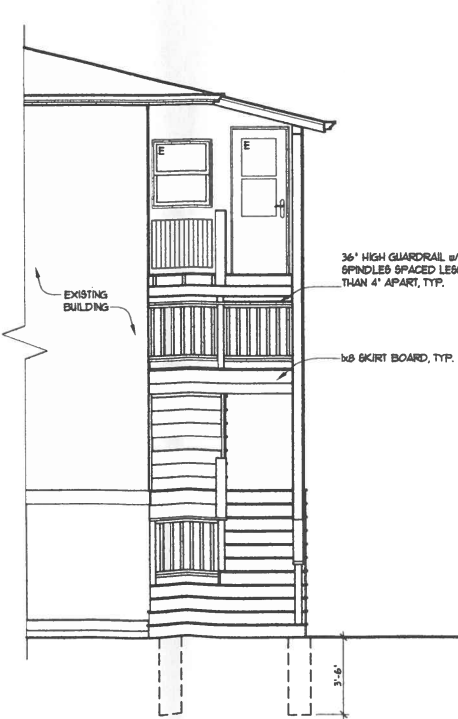
STAIR LANDING SECTION
 SCALE: 3/4" = 1'-0"



TYPICAL DECK SECTION
 SCALE: 3/4" = 1'-0"



WEST ELEVATION E • EXISTING
 SCALE: 1/4" = 1'-0"

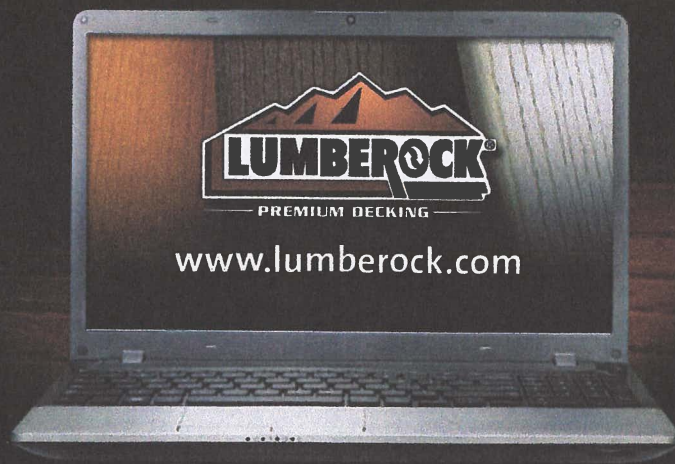


EAST ELEVATION E • EXISTING
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION E • EXISTING
 SCALE: 1/4" = 1'-0"

ONLINE RESOURCES



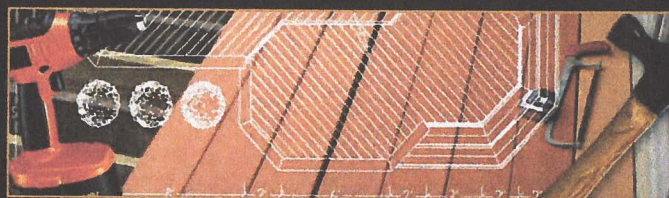
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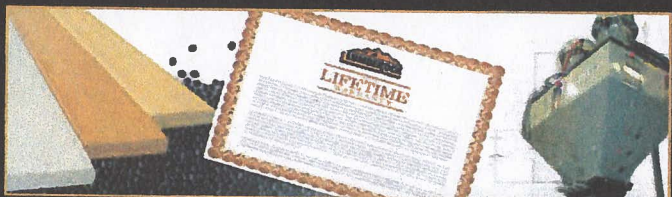
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