

CityView, the redevelopment of 24 Mosedale Street
Presented by David Weekley Homes
Development and Public Benefit Summary

David Weekley Homes is petitioning to redevelop the vacant 1.05 acres site at 24 Mosedale St., into a seven detached single family home neighborhood. The site is currently zoned RT-1, and most current use was as a doctor's office over fifteen years ago. Since the office building was demolished the site has sat vacant and the turf and trees have deteriorated. St. Charles' Comprehensive Plan calls for this site to be detached single family as it is bordered to the north, south, west by single family homes and apartments to the east. Additionally, the Comp Plan goals are to add residential product diversity to the City as well as increase foot traffic to the Downtown businesses. This property offers the residents great access to the area amenities, such as the Fox River Bike Trail, Mount St. Mary's park, and shopping and dining along First St. David Weekley is proposing homes that range from 1900-2500 square feet on the main living but with five of the seven lots being walkouts, the finished square footage can be pushed over 3300 square feet. The homes will have quality building materials throughout, with exterior finishes including various styles of Hardie plank siding, pleated metal roofing as well as brick and stone features. We have given careful attention to the rear elevations as to add to the flow and lifestyle of the home while adding architectural interest along Route 31. We designed the project as not to impact Route 31 with any curbcuts but to rebuild Keller Place and tie into Mosedale for a safe ingress/egress through the property, while also installing public walk that will tie into Pine Street's public walk, enhancing the safety of passive activities. The site will be a RT-2 PUD as the neighbors to the west have a RT-2 designation and consistent with the City's Comprehensive plan. With the topography of the site dropping 30' from west to east the physical improvement design was a challenge but the net result is an appealing addition to the City of St. Charles residential offerings.

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984

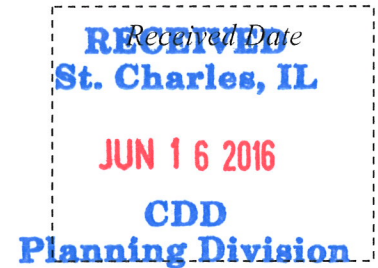


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

ZONING MAP AMENDMENT APPLICATION

CITYVIEW
Project Name: <u>Cityview - 895 Geneva Rd.</u>
Project Number: <u>2016</u> -PR- <u>003</u>
Application Number: <u>2016</u> -AP- <u>017</u>



Instructions:

To request a zoning map amendment (rezoning) for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a Plan Commission public hearing or meeting date.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location:	24 Mosedale Street	
	Parcel Number (s):	09-34-401-015	
	Proposed PUD Name:	Cityview	
2. Applicant Information:	Name	David Weekley Homes	Phone 847-241-4379
	Address	1930 Thoreau Drive N., #160 Schaumburg, IL 60173	Fax
			Email dvenard@dwhomes.com
3. Record Owner Information:	Name	Bel-Air Development Corp.	Phone 847-367-2750 x103
	Address	180 Maymound Way Spring, TX 77382	Fax 847-367-2758
			Email wjbellah@me.com

Zoning and Use Information:

Comprehensive Plan Land Use Designation of the property: Single family-detached

Current zoning of the property: RT-1

Is the property a designated Landmark or in a Historic District? No

Current use of the property: Vacant

Proposed zoning of the property: RT-2 PUD

Proposed use of the property: Single Family Development

If the proposed Map Amendment is approved, what improvements or construction are planned? (An accurate site plan may be required to establish that the proposed improvement can meet the minimum zoning requirements)

Installation of water, storm sewer and sanitary lines, install publicly dedicated road, seven (7) single family homes

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

☒ APPLICATION FEE:

Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

☒ REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

☒ PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

☒ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☒ **SITE PLAN:**

Simple site plan drawn to scale to demonstrate that the property can meet the requirements of the proposed zoning district (parking requirements, setbacks, landscaping, etc.)

☒ **FINDINGS OF FACT:**

Fill out the attached form or submit responses on a separate sheet.

☒ **LIST OF PROPERTY OWNERS WITHIN 250 FT.**

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

☒ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

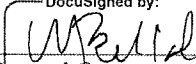
Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

☒ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnrecocat.state.il.us/ecopublic/>

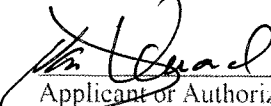
Fill out the online form, print the report and submit with this application.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

DocuSigned by:

Record Owner

6/27/2016

Date


Applicant or Authorized Agent

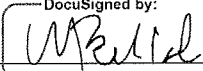
6.15.16

Date

LETTER OF AUTHORIZATION BY OWNER

Bel-Air Development Corporation, an Illinois corporation, the owner ("Owner"), of the real estate legally described as Block 2 of Riverview Additional to St. Charles in the City of St. Charles, Kane County, Illinois ("Property") hereby authorizes Weekly Homes LLC as applicant to file with the City of St. Charles the PUD Preliminary Plan Application, Zoning Map Amendment Application & Special Use Application, provided Owner shall incur no expense related thereto.

Bel-Air Development Corporation,
an Illinois corporation

By: 
Its: President

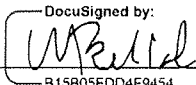
Dated: 6.27, 2016

**OWNERSHIP DISCLOSURE FORM
CORPORATION**

STATE OF ILLINOIS)
) SS.
KANE COUNTY)


I, Bill Bellah, being first duly sworn on oath depose and say that I am the
william j Bellah of Bel Air Development inc, an
(Illinois) () Corporation and that the following persons are all of the shareholders
of 7% or more of the common stock of said Corporation:

_____	_____
_____	_____
_____	_____
_____	_____

BY: 
 DocuSigned by:
 B15B05FDD4F9454...
TITLE: President



Subscribed and Sworn before me this 21st day of
March, 20 16.


Notary Public

24 Mosedale Legal Description

BLOCK 2 OF THE RIVERVIEW ADDITION TO ST. CHARLES, IN THE CITY OF ST CHARLES, KANE
COUNTY, ILLINOIS

FINDINGS OF FACT – MAP AMENDMENT

The St. Charles Zoning Ordinance requires the Plan Commission to consider factors listed below in making a recommendation to the City Council.

As an applicant, the “burden of proof” is on you to show why the proposed zoning is more appropriate than the existing zoning. Therefore, you need to “make your case” by explaining how the following factors support your proposal. If a factor does not apply to the property in question, indicate “not applicable” and explain why it does not apply.



Cityview

Project Name or Address

6-15-16

Date

From the Charles Zoning Ordinance, Section 17.04.320.D:

In making its recommendation to grant or deny an application for a Zoning Map Amendment, including changes to Zoning District and Overlay boundaries, the Plan Commission shall consider:

1. The existing uses and zoning of nearby property. *(Relate the proposed land use and zoning to the land use and zoning of other properties in the area)*

Detached single family resides to the West, North and South. The North and South
residential is zoned RT-1 and the West is zoned RT-2. The apartments contiguous to the
East are zoned RM-3.

2. The extent to which property values are diminished by the existing zoning restrictions. *(Compare the value of the subject property and nearby properties under the current zoning to their potential value under the proposed zoning.)*

The addition of seven new single family homes priced in the \$500,000's will increase the
neighboring property values versus a site that has been vacant for fifteen years.

3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public. *(If the existing zoning decreases the value of the subject realty, does it also produce any perceptible public benefits?)*

Cityview development will re-build Keller Place and tie it into Mosedale along with
adding public walk. With this development the turf and tree will be maintained over it's
current state in which the City electric department has had issues with their overhead
lines, and trees and limbs falling from the property.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification. *(Can the subject property reasonably be used for any of the uses currently permitted? Physical and market conditions may be considered.)*

The physical constraints of the site, (i.e. dramatic 30' of fall) along with the flat market conditions are two strong factors why the current zoning isn't suitable for the property's highest and best use.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located. *(If a property has been vacant longer than other similar properties in the area, it may be an indicator that the existing zoning is inappropriate.)*

While this property has been on the market and vacant, St. Charles has seen development opportunities at the Corporate Reserve site, Lexington Club site, Parkside Reserve and the Heritage Green re-development.

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district. *(Development trends, market forces, and the Comprehensive Plan may be considered.)*

The market since the downturn has refocused on smaller lot opportunities with great access to community and regional amenities. During the downturn, infill opportunities such as this project were the last to decline and the first to ascend.

7. The consistency of the proposed amendment with the City's Comprehensive Plan.

Our proposal is consistent with the City's comprehensive plan which identified this site as detached single family.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

This amendment does not correct an error in the zoning map.

9. The extent to which the proposed amendment creates nonconformities. *(Generally it is not appropriate to rezone a property unless it can comply with the requirements of the new zoning.)*

This application does not create nonconformities. The development presents an increased opportunity for new residential construction.

10. The trend of development, if any, in the general area of the property in question. *(New development, redevelopment, changes in use, or other changes in the area may help to justify a change in zoning.)*

As noted earlier, since the market downturn new residential and commercial development has focused on infill and re-development opportunities. As the market recovers these smaller projects allow for new development without the increased risk in Greenfield development.

Plan Commission recommendation shall be based upon the preponderance of the evidence presented and the Commission shall not be required to find each Finding of Fact in the affirmative to recommend approval of an application for Map Amendment.

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use

Project Name:

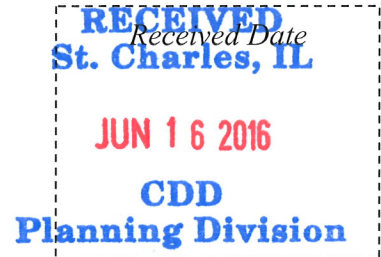
Cityview-895 Geneva Rd.

Project Number:

2016 -PR- 003

Application Number:

2016 -AP- 018



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location:	24 Mosedale Street	
	Parcel Number (s):	09-34-401-015	
	Proposed Name:	Cityview	
2. Applicant Information:	Name	David Weekley Homes	Phone 847-241-4379
	Address	1930 Thoreau Drive N., #160 Schaumburg, IL 60173	Fax
			Email dvenard@dwhomes.com
3. Record Owner Information:	Name	Bel-Air Development Corp.	Phone 847-367-2750 x103
	Address	180 Maymound Way Spring, TX 77382	Fax 847-367-2758
			Email wjbellah@me.com

Please check the type of application:

- ☒ **Special Use for Planned Unit Development - PUD Name:** Cityview
- ☒ New PUD
- ☐ Amendment to existing PUD- Ordinance #: _____
- ☐ PUD Preliminary Plan filed concurrently
- ☐ **Other Special Use (from list in the Zoning Ordinance):** _____
- ☐ Newly established Special Use
- ☐ Amendment to an existing Special Use Ordinance #: _____

Information Regarding Special Use:

Comprehensive Plan designation of the property: Single Family Detached

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? RT-1

What is the property currently used for? Vacant

If the proposed Special Use is approved, what improvements or construction are planned?

Installation of water, sewer and sanitary lines

Publicly dedicated street, seven (7) single family homes

For Special Use Amendments only:

Why is the proposed change necessary?

What are the proposed amendments? (Attach proposed language if necessary)

Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

Attachment Checklist:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

☒ APPLICATION FEE:

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

☒ REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

☒ PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

☒ LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper**☒ PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☐ FINDINGS OF FACT:

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

☒ LIST OF PROPERTY OWNERS WITHIN 250 FT.:

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

☒ SOIL AND WATER CONSERVATION DISTRICT APPLICATION:

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

☒ ENDANGERED SPECIES REPORT:

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

☐ TRAFFIC STUDY: If requested by the Director of Community Development.

Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.

☒ PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☒ SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line


21. Provision of handicapped parking spaces
22. Dimensions of handicapped parking spaces
23. Depressed ramps available to handicapped parking spaces
24. Location, dimensions and elevations of freestanding signs
25. Location and elevations of trash enclosures
26. Provision for required screening, if applicable
27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

DocuSigned by:


Recipient
6/27/2016

Date



Applicant or Authorized Agent
6.15.16

Date

FINDINGS OF FACT – SPECIAL USE

Use this form for all Special Uses, except for PUDs or PUD Amendments

The St. Charles Zoning Ordinance requires the Plan Commission to consider the factors listed below in making a recommendation to the City Council.



As the applicant, the “burden of proof” is on you to show how your proposed Special Use will comply with each of the applicable standards. Therefore, you need to “make your case” by explaining specifically how your project meets each of the following standards.

Cityview

Project Name or Address

6-15-16

Date

From the Charles Zoning Ordinance, Section 17.04.430.C.2:

No Special Use or amendment to Special Use shall be recommended by the Plan Commission unless it finds that the proposed Special Use or amendment to Special Use will conform with each of these standards. The Plan Commission shall submit its written findings together with its recommendations to the City Council after the conclusion of the Public Hearing, and also may recommend such conditions as it may deem necessary to ensure conformance with these standards.

On the basis of the evidence presented at the public hearing, the Plan Commission shall record its reasons for recommending approval or denial of the petition (findings of fact) in accordance with the following standards:

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

Yes-currently the site is vacant and has been for over 15 years. Our project will tie in the residential communities to the North, South and West while bringing new residential opportunities walking distance to downtown businesses.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

We will install infrastructure in accordance with municipal requirements.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The residential development will tie in the single family homes to the North, South and East while eliminating a vacant site that has been vacant since the Doctor's office building was demolished.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

Residential homes surround this property and with only seven single family homes, this development will not adversely affect traffic impact but enhance with the re-development of Keller Place and include public walks.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

This development will have seven new single family homes with maintained lawns and landscaping versus the current condition of overgrown landscape and trees in poor condition.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

This product will conform with all existing Federal, State and Local Legislation.

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

For Special Use for PUD or PUD Amendment applications.

The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.



As the applicant, the “burden of proof” is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.

(You may utilize this form or provide the responses on another sheet.)

Cityview	6-15-16
_____	_____
PUD Name	Date

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

Our development achieves several points when evaluating a P.U.D. opportunity. This is a creative re-development of a vacant site that achieves points noted in items 1, 2, 3, 5, 6 and 7.

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public are, pedestrian and transit facilities.
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
- 3. The PUD will provide superior landscaping, buffering or screening.
- 4. The buildings within the PUD offer high quality architectural design.
- 5. The PUD provides for energy efficient building and site design.
- 6. The PUD provides for the use of innovative stormwater management techniques.
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
- 9. The PUD preserves historic buildings, sites or neighborhoods.

This development provides value as noted in points 3, 4, 5 and 6 with the challenging topography of the site (30' of fall from the West property line to the East). The current zoning is challenging with safe access onto Mosedale Street.

iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):

- A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

This project will provide public walks tying into Pine Street and also tying in Keller Place to Mosedale when we rebuild from Rt 31.

- B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

We have met with the City development staff including public works Director and Engineering Director as well as the fire department to ensure a safe addition to the community.

- C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

Adding seven new single family homes will not diminish the surrounding homes property value.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

This development will not adversely impact the traffic with only seven homes. We will improve safe passive foot traffic with installing public walk tying in Pine Street walks to Rt. 31 walks.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

We will improve the public safety and general welfare with this development. The site is currently vacant. We will improve the roads and public walk to deliver a safer passage.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

We will conform with all Federal, State and Local Legislation and regulations.

- iv. **The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The re-development of this former Doctor's office which has sat vacant for over 15 years will enhance the residential product offering in downtown St. Charles. This location will also lead to increased revenue for the downtown businesses. Additionally, the tax base will increase dramatically with seven single family homes occupying the site.

- v. **The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

It does. The current comprehensive plan calls for detached single family homes for this site, while also achieving a comprehensive plan land use goal of diversified residential product and increased use of downtown St. Charles businesses and amenities.

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984

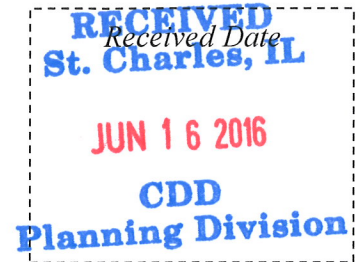


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION

For City Use	
Project Name:	Cityview-895 Geneva Rd.
Project Number:	2016 -PR- 003
Application Number:	2016 -AP- 016



To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: 24 Mosedale Street	
	Parcel Number (s): 09-34-401-015	
	Proposed PUD Name: Cityview	
2. Applicant Information:	Name David Weekley Homes	Phone 847-241-4379
	Address 1930 Thoreau Drive N., #160 Schaumburg, IL 60173	Fax
		Email dvenard@dwhomes.com
3. Record Owner Information:	Name Bel-Air Development Corp.	Phone 847-367-2750 x103
	Address 180 Maymound Way Spring, TX 77382	Fax 847-367-2758
		Email wjbella@me.com

Please check the type of application:

- ☒ **New proposed PUD- Planned Unit Development** (Special Use Application filed concurrently)
☐ **Existing PUD-Planned Unit Development**
☐ PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

Subdivision of land:

- ☐ Proposed lot has already been platted and a new subdivision is not required.
☒ New subdivision of property required:
☐ Final Plat of Subdivision Application filed concurrently
☒ Final Plat of Subdivision Application to be filed later

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.

☒ **APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

☒ **REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

☒ **PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

☒ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☒ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

☒ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

☒ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☒ **SITE/ENGINEERING PLAN:**

PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with

the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermain, and appropriate appurtenant structures
36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting
 - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

❑ **SKETCH PLAN FOR LATER PHASES OF PUD: NA**

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

☒ ARCHITECTURAL PLANS:

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

☒ TREE PRESERVATION PLAN:

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

☒ LANDSCAPE PLAN:

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

☒ STORMWATER MANAGEMENT:

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

☒ SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

☒ **PUBLIC BENEFITS, DEPARTURES FROM CODE:**

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

☒ **SCHEDULE:** Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

☒ **PARK AND SCHOOL LAND/CASH WORKSHEETS**

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

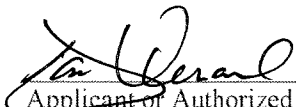
☒ **INCLUSIONARY HOUSING SUMMARY**

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

DocuSigned by:

Representative
6/27/2016
Date


Applicant or Authorized Agent
6.15.16
Date

PARK LAND/CASH WORKSHEET

City of St. Charles, Illinois

Name of Development
 Date Submitted:
 Prepared by:

Cityview

3-15-16

Dan Venard



<i>Type of Dwelling</i>	<i># Dwelling Units (DU)</i>	<i>Population Generation per Unit</i>	<i>Estimated Population</i>
Detached Single Family			
➤ 3 Bedroom	5	DU x 2.899	= 14.495
➤ 4 Bedroom	2	DU x 3.764	= 7.528
➤ 5 Bedroom		DU x 3.770	=
Attached Single Family			
➤ 1 Bedroom		DU x 1.193	=
➤ 2 Bedroom		DU x 1.990	=
➤ 3 Bedroom		DU x 2.392	=
➤ 4 Bedroom		DU x 3.145	=
Apartments			
➤ Efficiency		DU x 1.294	=
➤ 1 Bedroom		DU x 1.758	=
➤ 2 Bedroom		DU x 1.914	=
➤ 3 Bedroom		DU x 3.053	=
Totals	<u>7</u>		<u>22.023</u>
	Total Dwelling Units		Estimated Total Population

Park Site Requirements

Estimated Total Population 22 x .010 Acres per capita = .22 Acres

Cash in lieu of requirements -

Total Site Acres .22 x \$240,500 (Fair Market Value per Improved Land) = \$ \$52,965.31

SCHOOL LAND/CASH WORKSHEET

City of St. Charles, Illinois

Name of Development

Cityview

Date Submitted:

Prepared by:

E. Johnson



ST. CHARLES
SINCE 1834

Estimated Student Yield by Grades

Type of Dwelling	# of dwelling Units (DU)	Elementary (Grades K to 5)		Middle (Grades 6 to 8)		High (Grades 9 to 12)	
Detached Single Family							
➤ 3 Bedroom	5	DU x .369	= 1.845	DU x .173	= .865	DU x .184	= .92
➤ 4 Bedroom	2	DU x .530	= 1.06	DU x .298	= .596	DU x .360	= .72
➤ 5 Bedroom		DU x .345	=	DU x .248	=	DU x .300	=
Attached Single Family							
➤ 1 Bedroom		DU x .000	=	DU x .000	=	DU x .000	=
➤ 2 Bedroom		DU x .088	=	DU x .048	=	DU x .038	=
➤ 3 Bedroom		DU x .234	=	DU x .058	=	DU x .059	=
➤ 4 Bedroom		DU x .322	=	DU x .154	=	DU x .173	=
Apartments							
➤ Efficiency		DU x .000	=	DU x .000	=	DU x .000	=
➤ 1 Bedroom		DU x .002	=	DU x .001	=	DU x .001	=
➤ 2 Bedroom		DU x .086	=	DU x .042	=	DU x .046	=
➤ 3 Bedroom		DU x .234	=	DU x .123	=	DU x .118	=

Totals 7 TDU 2.905 TE 1.461 TM 1.64 TH

School Site Requirements

Type	# of students	Acres per student	Site Acres
Elementary (TE)	2.905	x .025	= .072625
Middle (TM)	1.461	x .0389	= .0568329
High (TH)	1.64	x .072	= .11808

Total Site Acres .2475379

Cash in lieu of requirements -

.2475379 (Total Site Acres) x \$240,500 (Fair Market Value per Improved Land) = \$ 59,532.86

INCLUSIONARY HOUSING SUMMARY

Name of Development	Cityview
Date Submitted:	3-15-16
Prepared by:	Dan Venard



Background:

St. Charles Municipal Code Title 19 "Inclusionary Housing", requires developers of new residential developments to provide a proportionate share of affordable housing units within the development, or to pay a fee in-lieu of providing affordable housing units. Developers may also provide a mix of affordable housing units and fee in-lieu.

Affordable housing is defined as housing that has a sales price or rental amount that is within the means of a household with income at or below 80% Area Median Income (AMI) for for-sale units and at or below 60% AMI for rental units, adjusted for household size. See Title 19 for complete definitions.

The maximum price of affordable for-sale units and affordable rental units required by Title 19 shall be no greater than the affordable purchase price and affordable rent established annually by the Illinois Housing Development Authority (IHDA). Contact the Planning Division for the most recent affordable prices from IHDA.

Submission Requirements:

Submit information describing how the residential development will comply with the requirements of Title 19, "Inclusionary Housing". **Use this worksheet** to calculate the number of required affordable units to be incorporated within the residential development, or the required fee in-lieu payment.

If the development will include affordable units, submit the following additional information:

- The number of market-rate and affordable for-sale and rental units to be constructed, including type of dwelling, number of bedrooms per unit, proposed pricing, and construction schedule, including anticipated timing of issuance of building permits and occupancy certificates.
- Documentation and plans regarding locations of affordable units and market-rate units, and their exterior appearance, materials, and finishes.

Affordable Unit Requirement Calculation

Unit Count Range	# of Units Proposed in Development		% of Affordable Units Required		# of Affordable Units Required
1 to 15 Units	7	X	5%	=	.35
More than 15 Units		X	10%	=	

Fee In-Lieu Payment Calculation

# of Affordable Units Required	# of Affordable Units Proposed to Pay the Fee-In-Lieu		Fee-In-Lieu Amount Per Unit		Total Fee-In-Lieu Amount
.35	0	X	\$72,819.50	=	25,486.83

A.L.T.A./N.S.P.S. LAND TITLE SURVEY 895 GENEVA RD., ST. CHARLES, IL



VICINITY MAP

NOTES ON SCHEDULE B SURVEY RELATED TITLE EXCEPTIONS

L. RIGHTS OF WAY FOR DRAINAGE TILES, DITCHES, FEEDERS AND LATERALS AND UNDERGROUND PIPES, IF ANY: VISIBLE STORM SEWER APPURTENANCES, IF ANY, SHOWN.

M. RIGHTS OF THE PUBLIC, THE STATE OF ILLINOIS AND MUNICIPALITY IN AND TO THAT PART OF THE LAND, IF ANY TAKEN OR BEFORE FOR ROAD PURPOSES: PROPERTY BOUNDED ON NORTH EAST AND SOUTH BY DEDICATED RIGHTS OF WAY.

J. CONCRETE RETAINING WALL LOCATED ALONG WESTERLY LINE OF THE LAND ENCRACHES OVER AND ONTO ADJOINING PROPERTY AS SHOWN ON SURVEY OF JOHN A. THORNHILL DATED MAY 22, 1980. WALL SHOWN AS LOCATED.

SURVEYOR'S NOTES

- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- COMPARE THE DESCRIPTION ON THIS PLAT WITH YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE, ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND REPORT ANY DIFFERENCE IMMEDIATELY.
- THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND IMPRESSED SEAL.
- EASEMENTS AND SERVITUDES SHOWN HEREON ARE BASED UPON A TITLE COMMITMENT ISSUED BY CHICAGO TITLE INSURANCE COMPANY IDENTIFIED AS NUMBER C0880022 WITH AN EFFECTIVE DATE OF NOVEMBER 10, 2015.
- THE BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF GENEVA ROAD BEING S 33°33'47" E (ASSUMED).
- MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
- DIMENSIONS ENCLOSED IN () INDICATE RECORD OR DEED DATA. ALL OTHER DIMENSIONS ARE MEASURED.
- FIP = FOUND IRON PIPE (# AS SHOWN)
FIR = FOUND IRON ROD
SP = SET IRON PIPE (# AS SHOWN)
- BASED ON REVIEW OF FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP PANEL NO. 17089C0208H WITH AN EFFECTIVE DATE OF AUGUST 3, 2009, IT IS OUR OPINION THAT NO PART OF THE PROPERTY DESCRIBED HEREON FALLS WITHIN A SPECIAL HAZARD ZONE (NO SHADING) AS DESIGNATED AND DEFINED BY F.E.M.A.
- PARCEL CONTAINS 1.055 ACRES, OR 45,937 SQUARE FEET, MORE OR LESS.

PARCEL DESCRIPTION

BLOCK 2 OF RIVERVIEW ADDITION TO ST. CHARLES, IN THE CITY OF ST. CHARLES, ILLINOIS.

SURVEYOR'S CERTIFICATE

TO: CHICAGO TITLE INSURANCE COMPANY
WEEKLY HOMES LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 8 AND 11 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 19, 2016.

DATE OF PLAT OR MAP: FEBRUARY 19, 2016.

PETER A. BLAESER
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3072
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2016
PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002937
EXPIRES APRIL 30, 2017

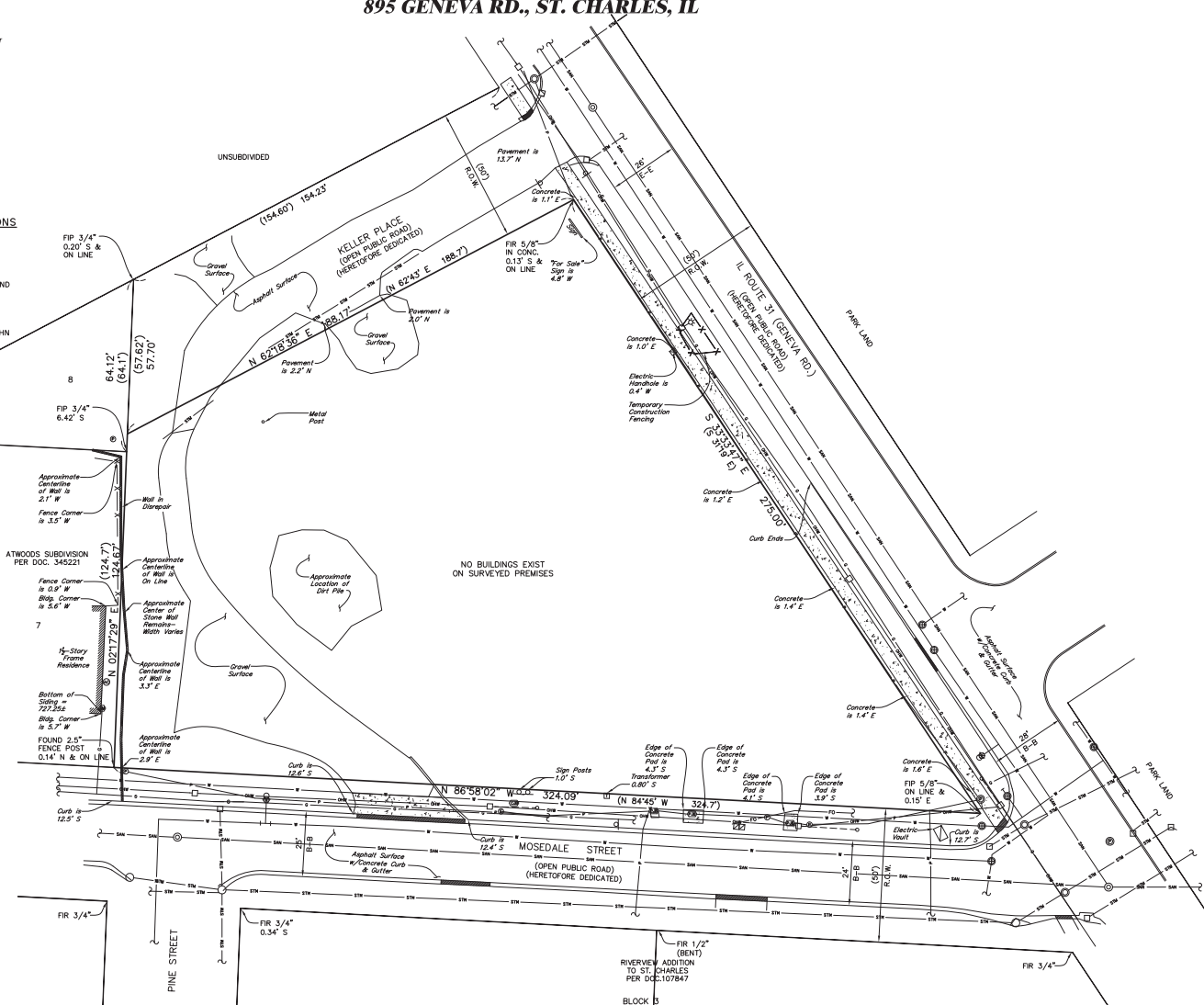


LINE LEGEND

- PROPERTY LINE (Heavy Solid Line)
- ADJACENT PROPERTY LINE OR RIGHT-OF-WAY LINE (Light Solid Line)
- EXISTING STORM LINE
- EXISTING SANITARY LINE
- EXISTING WATER LINE
- EXISTING PHONE LINE
- EXISTING FIBER OPTIC LINE
- EXISTING GAS LINE
- OVERHEAD WIRES
- FENCE LINE

ABBREVIATION/SYMBOL LEGEND

- BUFFALO BOX
- CABLE TV PEDESTAL
- CABLE TV JUNCTION BOX
- CATCH BASIN
- ELECTRIC PEDESTAL
- ELECTRIC HAND HOLD BOX
- ELECTRIC JUNCTION BOX
- FIRE HYDRANT
- INLET
- FIBER OPTIC MANHOLE
- FIBER OPTIC MARKER POST
- GAS METER
- GAS MARKER POST
- GUY WIRE
- INLET
- LIGHT POLE
- MAIL BOX
- MANHOLE
- UTILITY POLE
- UTILITY POLE WITH LIGHT
- WATER VALVE
- VALVE VAULT
- SIGN
- SOIL BORING
- TELEPHONE JUNCTION BOX
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- DEPRESSION CURB
- CONCRETE SURFACE
- B-B BACK-TO-BACK
- E-E EDGE-TO-EDGE



PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9675 Ph: 630.862.2100 Fax: 630.862.2199
E-Mail: ccsd@cemcon.com Website: www.cemcon.com
DISC NO.: 826005 FILE NAME: ALTA
DRAWN BY: AUB FLD. BK. / PG. NO.: D53/57-60
COMPLETION DATE: 2/29/16 JOB NO.: 826.005
PROJECT REFERENCE:

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CITYVIEW

A 7 LOT SUBDIVISION
PRELIMINARY PLANS
CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS

PROJECT CONTACTS

DEVELOPER / APPLICANT

DAVID WEEKLEY HOMES
1930 THOREAU DRIVE NORTH
SUITE 160
SCHAUMBURG, ILLINOIS
CONTACT: DAN VERNARD
PHONE: (847) 241-4379

ENGINEER / SURVEYOR (PLAT)

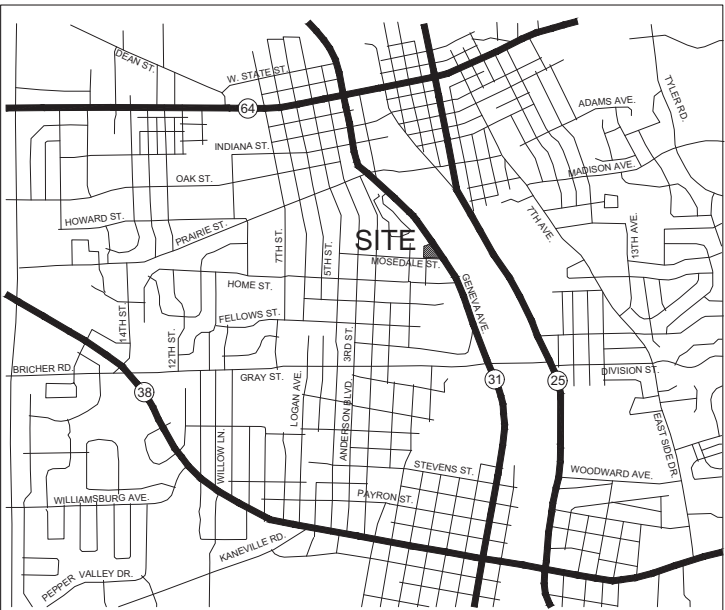
ATWELL, LLC
1245 EAST DIEHL RD, SUITE 100
NAPERVILLE, IL 60563
CONTACT: ROBERT SCHMUDE
PHONE: (630) 577-0800
FAX: (630) 577-0900

LANDSCAPE ARCHITECT

BSB DESIGN
1540 E. DUNDEE ROAD, SUITE 310
PALATINE, IL 60074
PHONE: (847) 705-2200

SURVEYOR (TOPOGRAPHIC MAP)

CEMCON LTD.
2280 WHITE OAK CIRCLE, SUITE 100
AURORA, IL 60502
CONTACT: PETE BLAESER
PHONE: (630) 862-2100



SITE LOCATION MAP

1" = 1200' (APPROX.)

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:
BLOCK 2 OF RIVERVIEW ADDITION TO ST. CHARLES, IN THE CITY OF ST. CHARLES, ILLINOIS.



SHEET INDEX

C-01	COVER SHEET
C-02	EXISTING CONDITIONS PLAN
C-03	PUD PRELIMINARY PLAN
C-04	PRELIMINARY GRADING PLAN
C-05	PROFILES AND DETAILS
C-06	PRELIMINARY UTILITY PLAN
C-07	FIRE TRUCK TURN EXHIBIT



Know what's below.
Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES, MANY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MUST BE REPAIRED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK OF REPAIRS INCURRED IN THE WORK OF ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY ON THE SITE.

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ATWELL
1245 EAST DIEHL ROAD, SUITE 100
NAPERVILLE, IL 60563
DESIGN FIRM #18-000876

SECTION 34	TOWN 40 NORTH, RANGE 8 EAST	ST. CHARLES	KANE COUNTY, ILLINOIS
------------	-----------------------------	-------------	-----------------------

CLIENT	DAVID WEEKLEY HOMES CITYVIEW SUBDIVISION COVER SHEET
--------	------------------------------------------------------------

DATE	06/09/2016
BY	
CHECKED	
APPROVED	
REVISIONS	

SCALE	IN. GL. CH. RS.
S.M.	---
BOOK	---
JOB	15002336
SHEET NO.	C-01

CAD FILE 15002336-C-01-CLEAN

C:\WORK\15002336-C-03-PRELIM\15002336-C-03-PRELIM.DWG DATE: 06/09/2016 10:40:00 AM

LOT AREAS:

LOT 1 = 4,844 S.F.
LOT 2 = 4,719 S.F.
LOT 3 = 4,719 S.F.
LOT 4 = 5,860 S.F.
LOT 5 = 5,259 S.F.
LOT 6 = 5,351 S.F.
LOT 7 = 7,791 S.F.

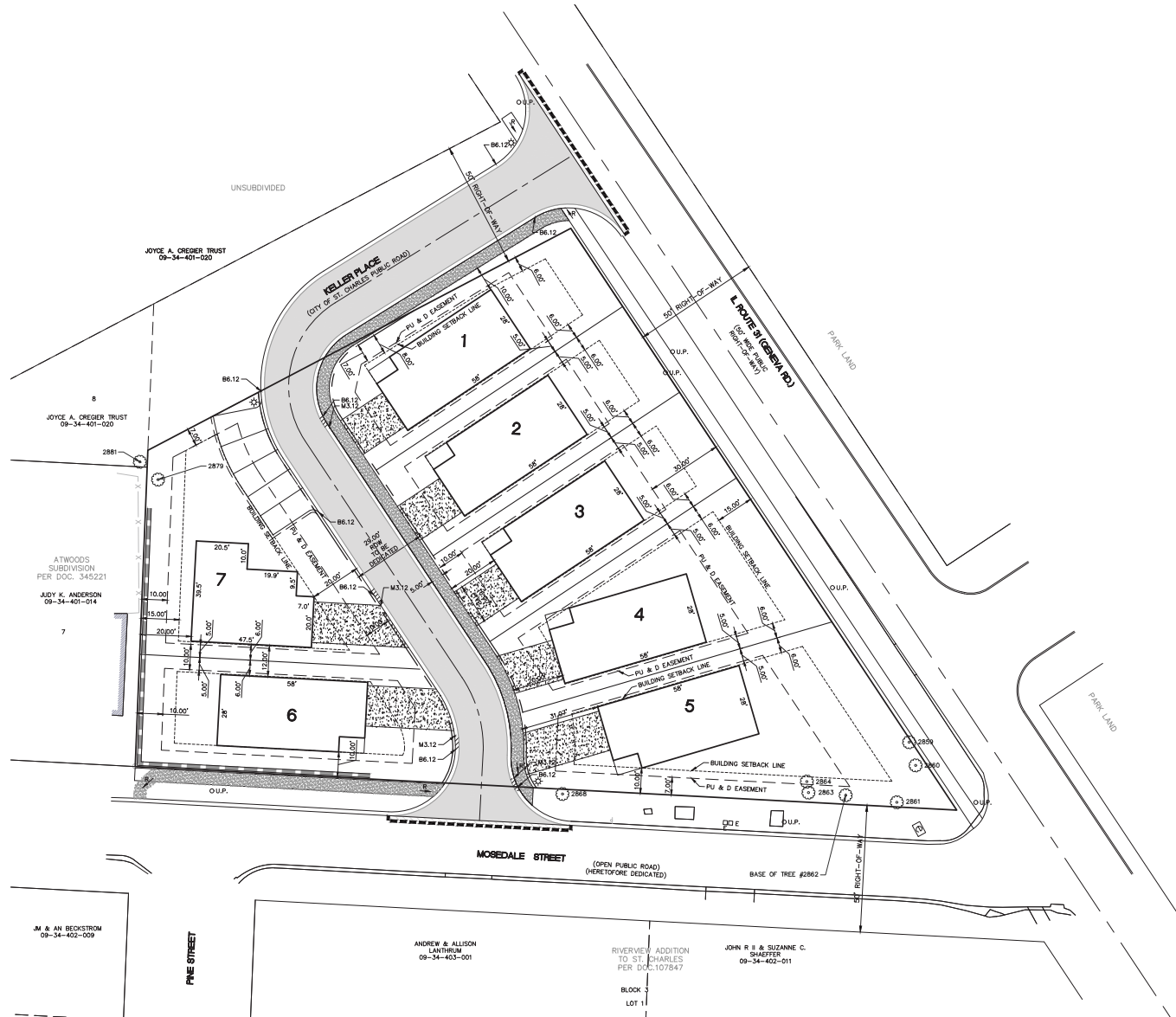
PUD SITE DATA:

BUILDING SETBACKS:

FRONT YARD = 20' MINIMUM FROM BACK OF CURB (WEST SIDE OF KELLER PLACE)
= 20' MINIMUM FROM SIDEWALK (EAST SIDE OF KELLER PLACE)
REAR YARD = 15' MINIMUM FROM REAR PROPERTY LINE
SIDE YARD = 6' MINIMUM FROM SIDE PROPERTY LINE
CORNER YARD /
STREET SIDE YARD = 6' MINIMUM FROM SIDE PROPERTY LINE
= 10' MINIMUM FROM MOSEDALE STREET RIGHT OF WAY
= 10' MINIMUM FROM KELLER STREET RIGHT OF WAY

LEGEND

	BOUNDARY LINE
	EXISTING ROW
	PROPOSED ROW
	EXISTING CURB AND GUTTER
	PROPOSED B6.12 CURB AND GUTTER
	PROPOSED M3.12 CURB AND GUTTER
	PROPOSED CURB TRANSITION
	SAWCUT LIMITS
	PROPOSED FENCE
	PROPOSED PUBLIC UTILITY AND DRAINAGE (PU & D) EASEMENT LINE
	PROPOSED BUILDING SETBACK LINE
	SIDEWALK RAMP
	PROPOSED SIGN
	PROPOSED LIGHT POLE SEE SHEET C-05 FOR CITY OF ST. CHARLES STANDARD DETAIL
	EXISTING LIGHT POLE
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE 5' POC SIDEWALK
	PROPOSED STANDARD DUTY ASPHALT PAVEMENT SEE DETAIL SHEET C-05
	PAVEMENT PATCH



Know what's below.
Call before you dig.
THE LOCATION OF EXISTING UNDERGROUND UTILITIES, WATER, GAS, AND SEWER LINES ARE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE ANY CONSTRUCTION WORK. ANY WORK TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MUST BE INCURRED BY THE CONTRACTOR FOLLOWING THE EXISTING UTILITIES AND PRESENCE AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY IN THE AREA OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC ROADS AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC ROADS AT ALL TIMES.

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ATWELL
1245 EAST BERRY ROAD, SUITE 100
ST. CHARLES, ILLINOIS 62256
DESIGN FIRM #18-000876

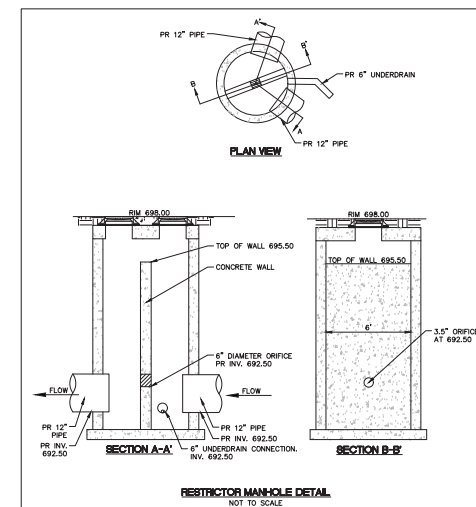
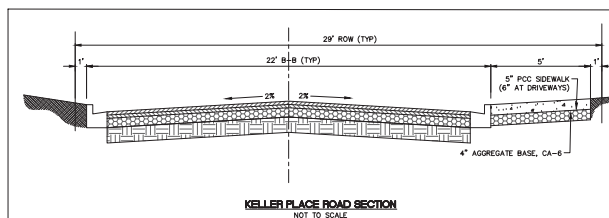
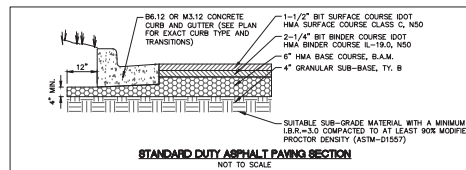
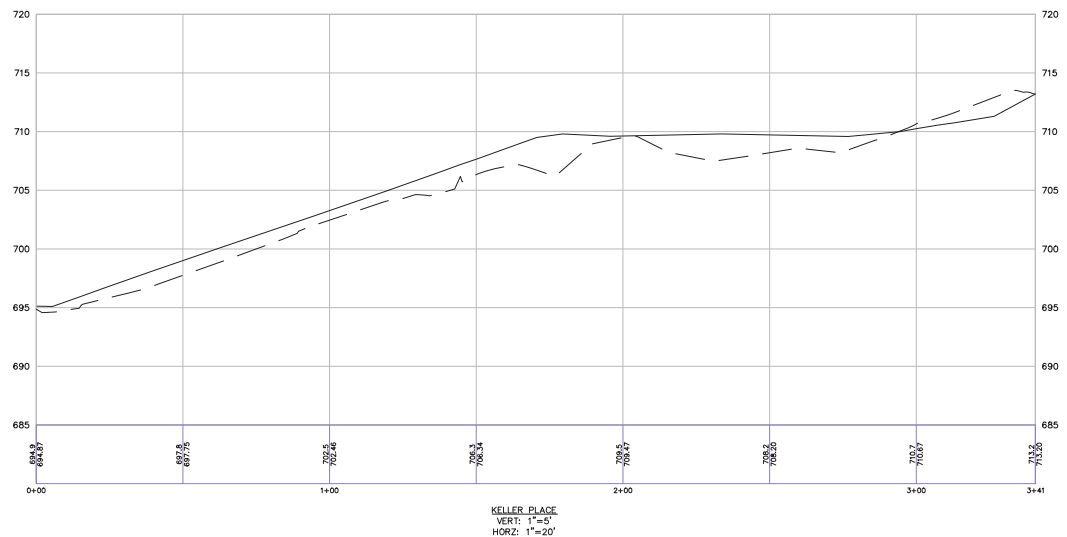
SECTION 34
TOWN 40 NORTH, RANGE 8 EAST
ST. CHARLES
KANE COUNTY, ILLINOIS

DAVID WEEKLEY HOMES
CITYVIEW SUBDIVISION
PUD PRELIMINARY PLAN

DATE: 06/09/2016
BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

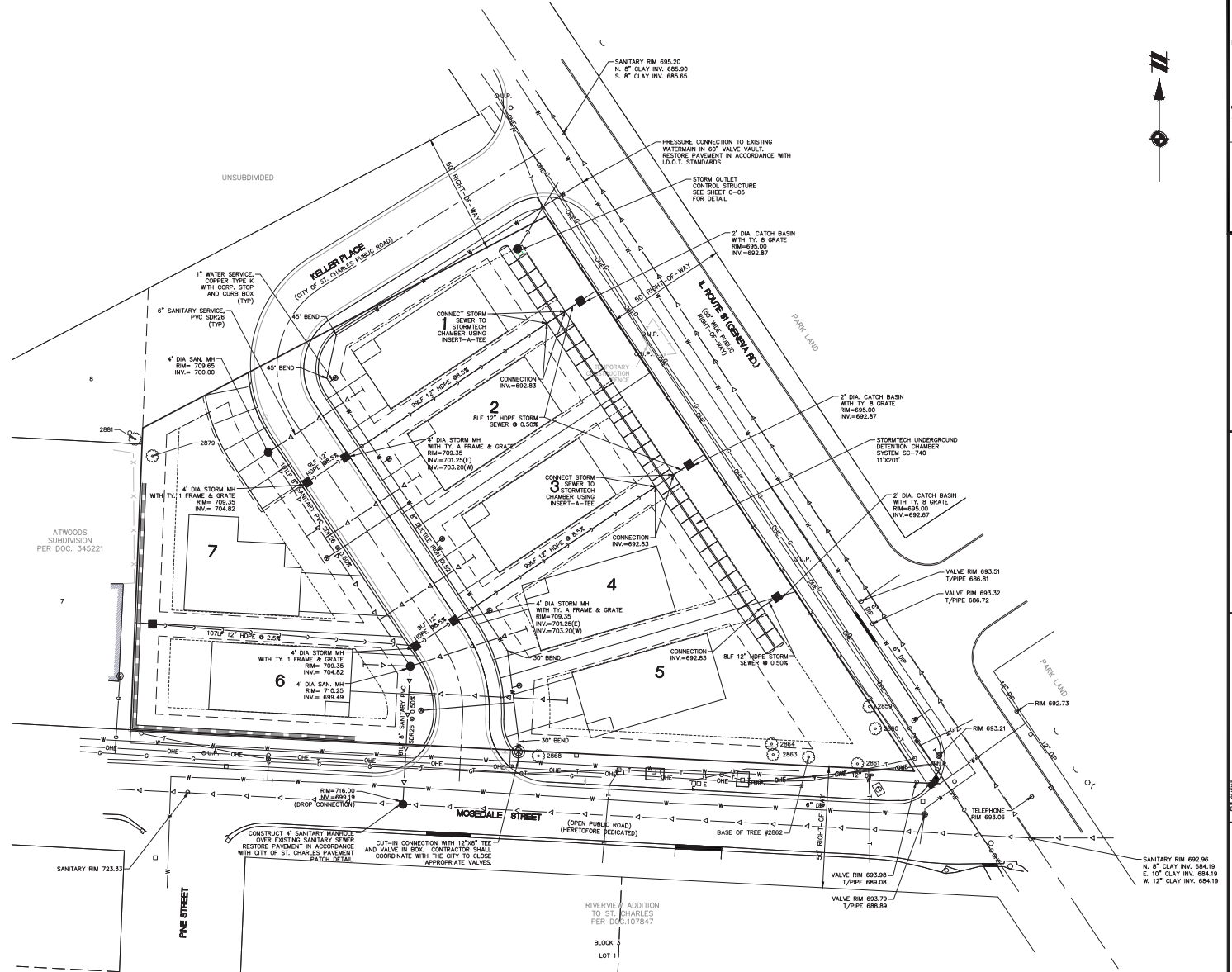
REVISIONS
SCALE 0 20 40
1" = 20 FEET
JOB 15002336
SHEET NO. C-03

CAD FILE 15002336-C-03-PRELIM



15002335-C-06-UTL-001

LEGEND	
---	BOUNDARY LINE
---	EXISTING ROW
---	EXISTING EASEMENT LINE
---	PROPOSED EASEMENT LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING UNDERGROUND GAS
---	PROPOSED UNDERGROUND GAS
---	EXISTING OVERHEAD TELEPHONE
---	PROPOSED OVERHEAD TELEPHONE
---	EXISTING UNDERGROUND ELECTRIC
---	PROPOSED UNDERGROUND ELECTRIC
---	EXISTING OVERHEAD CABLE
---	PROPOSED OVERHEAD CABLE
---	EXISTING LIGHT POLE
---	PROPOSED LIGHT POLE/WALL PACK LIGHT
---	EXISTING MANHOLE/CATCH BASIN
---	PROPOSED MANHOLE/CATCH BASIN/INLET
---	EXISTING CLEANOUT
---	PROPOSED CLEANOUT
---	PROPOSED DOWNSPOUT
---	EXISTING END SECTION
---	PROPOSED END SECTION
---	EXISTING WATER VALVE
---	PROPOSED WATER VALVE
---	EXISTING FIRE HYDRANT
---	PROPOSED FIRE HYDRANT
---	PROPOSED WATER METER
---	PROPOSED REDUCER
---	PROPOSED UTILITY POLE
---	PROPOSED UTILITY CROSSING, SEE UTILITY CROSSING CHART THIS SHEET



Know what's below.
Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES MAY ONLY AND HAVE NOT BEEN INDICATED BY THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR IN THE WORK OF EXPOSING UTILITIES IN THE WORK OF ANY OTHER STRUCTURES, OR OF ANY OTHER PERSONS.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY IN THE WORK OF EXPOSING UTILITIES IN THE WORK OF ANY OTHER STRUCTURES, OR OF ANY OTHER PERSONS.

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ATWELL
1245 EAST BERT ROAD, SUITE 100
DESIGN #18-000876

SECTION 34
TOWN 40 NORTH, RANGE 8 EAST
ST. CHARLES
KANE COUNTY, ILLINOIS

CLIENT
DAVID WEEKLEY HOMES
CITYVIEW SUBDIVISION
PRELIMINARY UTILITY PLAN

DATE
06/09/2016

SCALE
1" = 40' FEET

REVISIONS
1. 06/09/2016
2. 06/09/2016
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100. 06/09/2016

JOB
15002335

SHEET NO.
C-06

CAD FILE 15002335-C-06-UTL-001

FINAL PLAT OF CITYVIEW SUBDIVISION

BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 34, TOWNSHIP 40 NORTH,
RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS

PROPERTY INDEX NUMBER
08-34-401-015



Know what's below.

Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES, WHEN ONLY AND HAVE NOT BEEN INDICATED BY THE CITY OF SAINT CHARLES, IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES BY THE USE OF THE CITY OF SAINT CHARLES' RECORDS AND ALL UTILITIES WHICH MUST BE RELOCATED BY THE CONTRACTOR SHALL BE RELOCATED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL UTILITIES AND STRUCTURES OF ANY OTHER PERSONS.

NOTICE: CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL UTILITIES AND STRUCTURES OF ANY OTHER PERSONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL UTILITIES AND STRUCTURES OF ANY OTHER PERSONS.

ATWELL
1245 EAST DEER ROAD, SUITE 100
ST. CHARLES, IL 60174
DESIGN FIRM #18-000576



SECTION 34
TOWNSHIP 40 NORTH, RANGE 8 EAST
CITY OF ST. CHARLES
KANE COUNTY, ILLINOIS

DAVID WEEKLEY HOMES
FINAL PLAT
OF SUBDIVISION

CLIENT

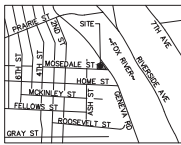
DATE: 06/09/2016

REVISIONS

SCALE: 0 10 20
1" = 20 FEET

DR. JER. CH. MF.
C.M. E. BRAND
BOOK NA
JOB 15002336
SHEET NO.

1 OF 2



AREA TABLE	
LOT 1	4,844 SQ. FT. / 0.11 ACRE(S)
LOT 2	4,720 SQ. FT. / 0.11 ACRE(S)
LOT 3	4,720 SQ. FT. / 0.11 ACRE(S)
LOT 4	5,861 SQ. FT. / 0.14 ACRE(S)
LOT 5	7,859 SQ. FT. / 0.18 ACRE(S)
LOT 6	5,351 SQ. FT. / 0.12 ACRE(S)
LOT 7	7,151 SQ. FT. / 0.16 ACRE(S)
ROAD	5,431 SQ. FT. / 0.13 ACRE(S)
TOTAL	45,937 SQ. FT. / 1.06 ACRES

EASEMENT AREA TABLE	
LOT 1 EASEMENTS	2,416 SQ. FT. / 0.05 ACRE(S)
LOT 2 EASEMENTS	2,074 SQ. FT. / 0.05 ACRE(S)
LOT 3 EASEMENTS	2,074 SQ. FT. / 0.05 ACRE(S)
LOT 4 EASEMENTS	2,787 SQ. FT. / 0.07 ACRE(S)
LOT 5 EASEMENTS	4,151 SQ. FT. / 0.09 ACRE(S)
LOT 6 EASEMENTS	2,488 SQ. FT. / 0.06 ACRE(S)
LOT 7 EASEMENTS	2,787 SQ. FT. / 0.06 ACRE(S)
TOTAL	18,757 SQ. FT. / 0.43 ACRES

LEGEND	
	SET CONCRETE MONUMENT
	FOUND IRON PIPE
	FOUND IRON ROD
	EXISTING BOUNDARY LINE
	EXISTING BOUNDARY ADJACENT RIGHT OF WAY LINE
	EXISTING CENTERLINE OF ROAD
	APPROXIMATE LOCATION OF SECTION LINE
	PROPOSED EASEMENT LINE
	PROPOSED BUILDING SETBACK LINE

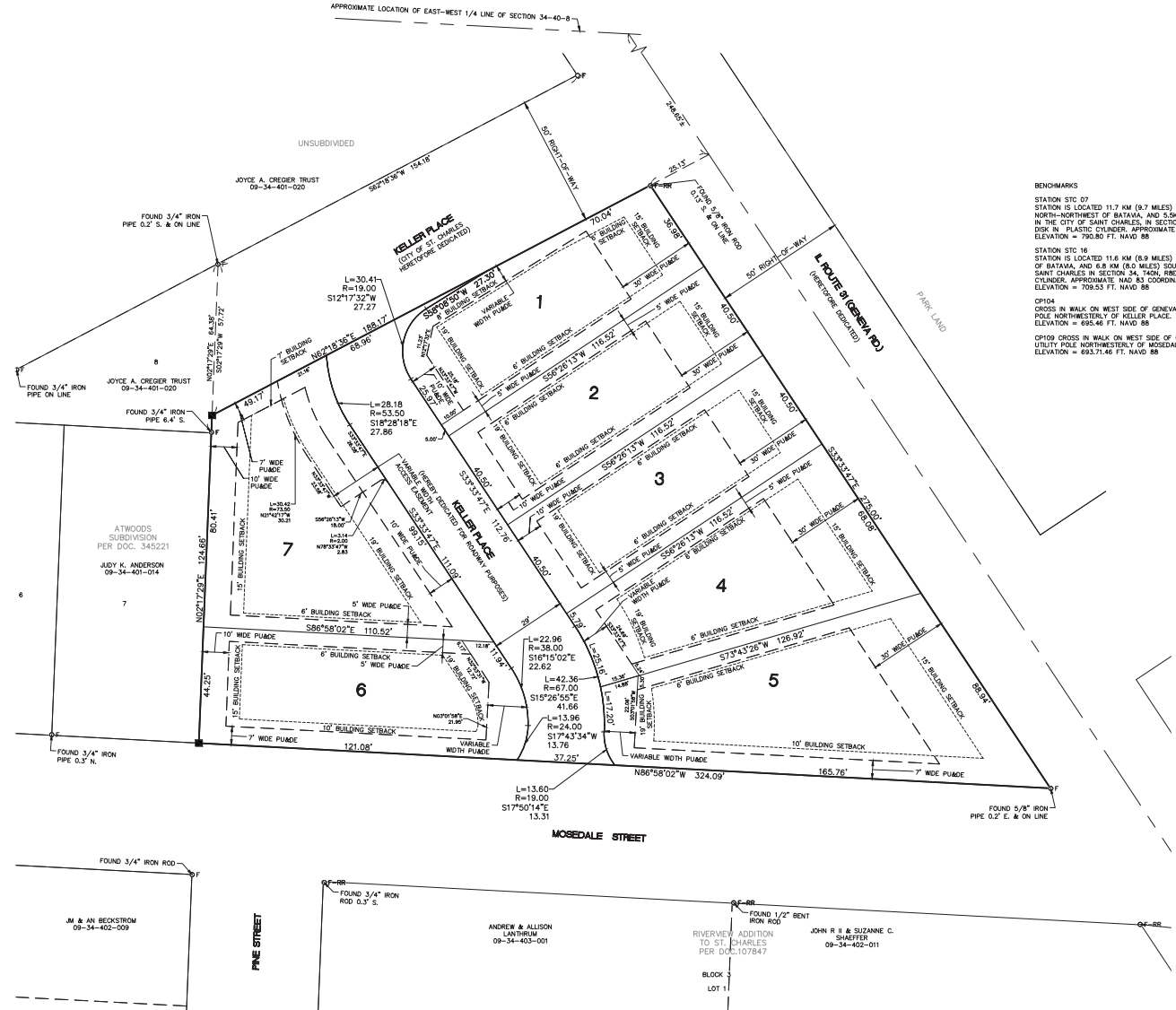
- NOTES:
- 5/8" IRON IRON RODS OR OTHER PERMANENT MARKERS SET AT ALL LOT CORNERS AND POINTS OF CURVATURE, UNLESS OTHERWISE NOTED.
 - ALL OTHER MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
 - DIMENSIONS SHOWN ALONG CURVED LINES ARE ARC DISTANCES.
 - ALL EASEMENTS ARE HEREBY GRANTED UNLESS OTHERWISE NOTED.
 - THE BASIS OF BEARINGS AS SHOWN HEREON IS BASED UPON THE SOUTHWESTERLY LINE OF ILLINOIS ROUTE 31 (GENEVA ROAD) BEING S33°34'47"E (ASSUMED).

DEVELOPER / APPLICANT
DAVID WEEKLEY HOMES
1830 MOREAU DRIVE NORTH
SUITE 100
ST. CHARLES, ILLINOIS 60174
CONTACT: DAN VERNARD
PHONE: (847) 341-4379

LANDSCAPE ARCHITECT
BBB DESIGN
1540 E. DUNDEE ROAD, SUITE 310
PALATINE, IL 60067
PHONE: (847) 705-2200

ENGINEER / SURVEYOR (PLAT)
ATWELL, LLC
1245 EAST DEER RD, SUITE 100
NAPERVILLE, IL 60563
CONTACT: ROBERT SCHWABE
PHONE: (630) 577-0800
FAX: (630) 577-0900

SURVEYOR (TOPOGRAPHIC MAP)
CEMCON LTD.
2280 WHITE OAK CIRCLE, SUITE 100
AUBURN, IL 60202
CONTACT: PETE BLANSHET
PHONE: (630) 862-2100



BENCHMARKS
STATION STC 07
STATION IS LOCATED 11.7 KM (8.7 MILES) SOUTHWEST OF BARTLETT, 6.1 KM (3.8 MILES) NORTH-NORTHWEST OF BATAVIA, AND 5.5 KM (7.8 MILES) SOUTH OF ELGIN COMMUNITY COLLEGE, IN THE CITY OF SAINT CHARLES, IN SECTION 34, T40N, R8E, 2" INCH DIAMETER ALUMINUM DISK IN PLASTIC CYLINDER, APPROXIMATE NAD 83 COORDINATES N. 1906750, E. 984599, ELEVATION = 790.80 FT. NAVD 88
STATION STC 18
STATION IS LOCATED 11.6 KM (8.9 MILES) SOUTHWEST OF BARTLETT, 4.8 KM (3.4 MILES) NORTH OF BATAVIA, AND 6.8 KM (8.0 MILES) SOUTH OF ELGIN COMMUNITY COLLEGE IN THE CITY OF SAINT CHARLES IN SECTION 34, T40N, R8E, 2" INCH DIAMETER ALUMINUM DISK IN PLASTIC CYLINDER, APPROXIMATE NAD 83 COORDINATES N. 1906120, E. 991732, ELEVATION = 708.53 FT. NAVD 88
OP104
CROSS IN WALK ON WEST SIDE OF GENEVA ROAD (IL ROUTE 31) ADJACENT TO FIRST UTILITY POLE NORTHWESTERLY OF KELLER PLACE.
ELEVATION = 695.46 FT. NAVD 88
OP109
CROSS IN WALK ON WEST SIDE OF GENEVA ROAD (IL ROUTE 31) ADJACENT TO FIRST UTILITY POLE NORTHWESTERLY OF MOSEDALE STREET.
ELEVATION = 693.7146 FT. NAVD 88

PLEASE RETURN THE RECORDED MYLAR TO:
CITY OF ST. CHARLES
2 E. MAIN STREET
ST. CHARLES, IL 60174

NOTE: LOTS 1-7, INCLUSIVE, ARE ALL TO BE USED FOR RESIDENTIAL PURPOSES ONLY.

FINAL PLAT OF CITYVIEW SUBDIVISION

BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 34, TOWNSHIP 40 NORTH,
RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS

OWNER'S CERTIFICATE

STATE OF _____ }
COUNTY OF _____ } SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO VERIFY THAT PROPERTY BEING SUBDIVIDED AFORESAID, AND TO THE BEST OF THE OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303.

BY: _____

BY: _____

DATED AT _____ THIS _____ DAY OF _____
A.D. 2016

NOTARY'S CERTIFICATE

STATE OF _____ }
COUNTY OF _____ } SS

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT

PERSONS WHOSE NAMES ARE SUBSCRIBED TO BE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____

A.D. 2016 AT _____, ILLINOIS.

BY: NOTARY PUBLIC _____

MORTGAGEE'S CERTIFICATE

ACCEPTED AND APPROVED BY _____ AS MORTGAGEE, DATED AT _____ THIS _____ DAY OF _____, A.D. 2016

BY: _____ ATTEST

NOTARY'S CERTIFICATE

STATE OF _____ }
COUNTY OF _____ } SS

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT

PERSONS WHOSE NAMES ARE SUBSCRIBED TO BE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____

A.D. 2016 AT _____, ILLINOIS.

BY: NOTARY PUBLIC _____

COUNTY CLERK CERTIFICATE

STATE OF _____ }
COUNTY OF _____ } SS

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THIS ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL AT _____

ILLINOIS, THIS _____ DAY OF _____, A.D. 2016

COUNTY CLERK _____

PLAN COMMISSION CERTIFICATE

STATE OF _____ }
COUNTY OF _____ } SS

APPROVED THIS _____ DAY OF _____, A.D. 2016
CITY OF ST. CHARLES PLAN COMMISSION

CHAIRMAN _____

COUNTY ENGINEER'S CERTIFICATE

THIS PLAT HAS BEEN APPROVED BY THE KANE COUNTY ENGINEER WITH RESPECT TO ROADWAY ACCESS

TO _____ PURSUANT TO I.L.C.S. CHAPTER 765 PARAGRAPH 205/2.

DATED THIS _____ DAY OF _____, A.D. 2016

COUNTY ENGINEER _____

DIRECTOR OF COMMUNITY DEVELOPMENT (OR DESIGNER) CERTIFICATE

STATE OF _____ }
COUNTY OF _____ } SS

I, _____, DO HEREBY CLARIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY DEVELOPMENT _____

DATED AT _____, THIS _____ DAY OF _____

A.D. 2016

CITY COUNCIL CERTIFICATE

APPROVED AND ACCEPTED THIS _____ DAY OF _____, A.D. 2016
CITY COUNCIL OF CITY OF ST. CHARLES, ILLINOIS.

MAYOR _____

ATTEST: CITY CLERK _____

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF _____ }
COUNTY OF _____ } SS

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS _____

DATED AT _____, ILLINOIS, THIS _____ DAY OF _____, A.D. 2016

SPECIAL FLOOD HAZARD AREA CERTIFICATE

THIS IS TO CERTIFY THAT THE PARCELS INCLUDED IN THIS RECORD OF DEED [ARE/ARE NOT] LOCATED IN THE SPECIAL FLOOD HAZARD AREA IDENTIFIED FOR THE COUNTY OF KANE, ILLINOIS BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE FLOOD INSURANCE RATE MAP, PANEL NO. 17089C0208H, DATED AUGUST 3, 2009.

ATTEST
ERIC W. BRAND



RECORDER CERTIFICATE

THIS INSTRUMENT NO. _____ WAS FILED FOR RECORD IN THE

RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS ON THE _____ DAY OF _____, 2013 AT _____ O'CLOCK _____ M., AND

(COUNTY RECORDER)

ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE

STATE OF _____ }
CITY OF _____ } SS

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO SECTION 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED. A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT.

DATED AT THIS _____ DAY OF _____, A.D. 2016

BY: _____

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER EASEMENT RIGHTS GRANTED BY THE CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERTECH AND NUCOR AND TO THEIR SUCCESSORS AND ASSIGNS (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY AND DRAINAGE EASEMENT" ON THE PLAT OF SUBDIVISION HEREIN DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, REPAIRING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL, CABLE, TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE SHOWN FOR THE ABOVE PURPOSES. THE NECESSARY PERSONNEL AND EQUIPMENT TO MAINTAIN ANY OF ALL OF THE ABOVE WORK, THE PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES AND THE RESPECTIVE SUCCESSORS AND ASSIGNS FOR MAINTAINING THE UNINTERRUPTED AND UNIMPEDED CONVEYANCE, FLOW AND RUNOFF OF SURFACE STORM WATER ACROSS AND UPON THE AREAS DEPICTED ON THIS PLAT AS DRAINAGE EASEMENT. THE RIGHT IS HEREBY GRANTED TO SAID GRANTEE TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS THAT INTERFERE WITH THE DRAINAGE WAYS AND OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER, OR THROUGH SAID EASEMENTS.

NO PERMANENT BUILDINGS, TREES, GARDENS, SHRUBS, OR HERBING SHALL BE PLACED ON OR IN SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR PAVING, FENCES, SIDEWALKS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS, WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS. UTILITY INSTALLATIONS OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES.

FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEE IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREIN, THE GRANTEE SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEE SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION.

PUBLIC ACCESS

PERMANENT NON-EXCLUSIVE EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES, IN, UPON, ACROSS, OVER, UNDER AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC ACCESS EASEMENT" ON THE PLAT OF SUBDIVISION HEREIN DRAWN, FOR THE PURPOSE OF ACCESS TO CITY OWNED UTILITIES AND OTHER GRANTED EASEMENTS, AS DEEMED NECESSARY BY THE CITY OF ST. CHARLES. THE RIGHT IS ALSO HEREBY GRANTED TO SAID CITY TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SAID UTILITY OR EASEMENT. NO PERMANENT BUILDINGS SHALL BE PLACED IN SAID EASEMENT, BUT SAME MAY BE USED FOR SHRUBS, LANDSCAPING, AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES AND RIGHTS.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE } SS

THIS IS TO CERTIFY THAT I, ERIC W. BRAND, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3706, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING PROPERTY:

BLOCK 2 OF RIVERVIEW ADDITION TO ST. CHARLES, IN THE CITY OF ST. CHARLES, ILLINOIS.

GIVEN UNDER MY HAND AND SEAL THIS 9TH DAY OF JUNE, 2016

ERIC W. BRAND
ILLINOIS PROFESSIONAL
LAND SURVEYOR NO. 035-3706
ATWELL, LLC
MY LICENSE EXPIRES 11/30/2016
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS
MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



811

Know what's below.
Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES, WHEN ONLY AND HAVE NOT BEEN INDICATED BY THE CONTRACTOR SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MUST BE REPAIRED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY UTILITIES, OR OF ANY OTHER PERSONS.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY UTILITIES, OR OF ANY OTHER PERSONS.

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ATWELL

1245 EAST BIRCH AVE., SUITE 100
DESIGN: 781-84-0058

SECTION 34

TOWNSHIP 40 NORTH, RANGE 8 EAST

CITY OF ST. CHARLES

KANE COUNTY, ILLINOIS

DAVID WEEKLEY HONES

FINAL PLAT

OF SUBDIVISION

DATE

06/09/2016

SCALE

0 10 20

1" = 20 FEET

REVISIONS

NO. JER. CH. MF.

P.M.E. BRAND

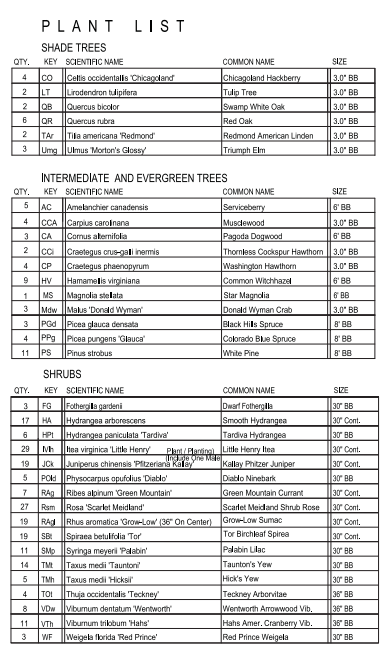
BOOK NA

JOB 15002336


SHEET NO.

2 OF 2

CAD FILE 15002336-001 PRELIMINARY FINAL PLAT.DWG



June 10, 2016
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REVISIONS			
SCALE			
DR.	GL	CH.	R
P.M. --			
BOOK --			
JOB 15002336			
SHEET NO.		1	

0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000 1001 1002 1003 1004 1005 1006 1007 1008 1009 1010 1011 1012 1013 1014 1015 1016 1017 1018 1019 1020 1021 1022 1023 1024 1025 1026 1027 1028 1029 1030 1031 1032 1033 1034 1035 1036 1037 1038 1039 1040



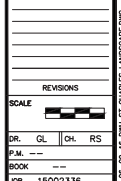
PERENNIALS AND GROUNDCOVER				
QTY	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
AF	Asi	<i>Asiella "Fanal Red"</i>	Fanal Red Asiella	1.6ft. 24" on Center
AF	Asi	<i>Asiella incarnate</i>	Sianna Milkweed	1.6ft. 24" on Center
BA	Ba	<i>Basilisa asteris</i>	Blue Bells	1.6ft. 24" on Center
BA	Ba	<i>Basilisa asteris "Aurilla Shiva"</i>	Aurilla Red Grass	1.6ft. 24" on Center
CB	CB	<i>Clara morio "Ice Dance"</i>	Ice Dance Stella	1.07' on Center
CB	CB	<i>Clara morio</i>	Primula-like Stella	1.07' on Center
CG	CG	<i>Gomopsis straminea "Silence"</i>	Silence Tobacco	1.07' on Center
CG	CG	<i>Gomopsis straminea "Zia Rosa"</i>	Zia Rosa Stella	1.07' on Center
CG	CG	<i>Elephantia purpurea</i>	Purple Cone Flower	1.07' on Center
CG	CG	<i>Elephantia purpurea "Max Red"</i>	Max Red Stella	1.07' on Center
CG	CG	<i>Germium canadense "Kermis"</i>	Kermis Geranium	1.07' on Center
CH	CH	<i>Hedera "Hedon Blue"</i>	Hedon Blue Hosta	1.6ft. 24" on Center
CH	CH	<i>Hedera "Hedon Silver"</i>	Silver D'Ors Daily	1.07' on Center
HD	HD	<i>Hemerocallis "Palace Purple"</i>	Palace Purple Cone Bells	1.6ft. 24" on Center
MF	MF	<i>Moroneja foliosa</i>	Moroneja Colum	1.07' on Center
MF	MF	<i>Repsia lissos "Walker Low"</i>	Walker Low Colum	1.07' on Center
PA	PA	<i>Perovskia atrorubra</i>	Russian Sage	1.6ft. 24" on Center
PA	PA	<i>Perovskia atrorubra "Shenandoah"</i>	Shenandoah Satch Grass	1.6ft. 24" on Center
PA	PA	<i>Pennisetum distachyon</i>	Feountain Grass	1.6ft. 24" on Center
PA	PA	<i>Setaria autumnalis</i>	Autumn Maze Grass	1.6ft. 24" on Center
SN	SN	<i>Rubia nemora "Summer Bloom"</i>	Summer Bl. Mchayday Stella	1.6ft. 24" on Center
SN	SN	<i>Sibbaldia nemora "Night Light"</i>	Night Light Stella	1.6ft. 24" on Center
SN	SN	<i>Sibbaldia nemora</i>	Summer Crowned	1.6ft. 24" on Center
SN	SN	<i>Setum canadense "Talesford"</i>	Talesford Stella	1.01' on Center
SC	SC	<i>Silene laciniata "Carusel"</i>	Carusel Little Blue Stem	1.6ft. 24" on Center



June 10, 2016
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L-3

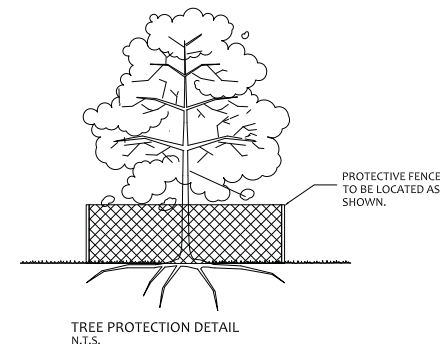




-
- The profile view shows a cross-section of the roadbed. The horizontal axis is marked with elevations: 0, 20', 40', and 80'. The roadbed starts at 0, rises to 20', dips to 40', and then rises to 80'. A north arrow is shown to the right of the profile, pointing upwards.

TREE PRESERVATION NOTES:

1. ALL GRADING AND CONSTRUCTION EQUIPMENT SHALL BE RESTRICTED WITHIN THE PROTECTION FENCE OF A TREE. NO EXCESS SOIL, ADDITIONAL FILL, LIQUIDS OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE ROOT ZONE OF ANY TREE THAT IS REQUIRED TO BE PRESERVED.
2. DURING THE CONSTRUCTION OF HYDROLOGIC AND OTHER MATERIALS DETRIMENTAL TO TREES SHALL NOT BE DUMPED WITHIN THE ROOT ZONE OF ANY TREE NOR AT ANY OTHER LOCATION WHERE DRAINAGE TOWARD THE TREE COULD CONCEIVABLY EFFECT THE HEALTH OF THE TREE.
3. APPROPRIATE PROTECTIVE FENCING SHALL BE TEMPORARILY INSTALLED FOR PROTECTION OF PRESERVED TREES AS SHOWN.
4. ALL REQUIRED PROTECTIVE FENCING MUST BE IN PLACE BEFORE A BUILDING PERMIT WILL BE ISSUED. THE FENCING MUST REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PERIOD. ALL FENCING MUST BE SECURED TO METAL POSTS DRIVEN INTO THE GROUND SPACING NO FURTHER THAN 6 FEET APART.
5. NO ATTACHMENTS, FENCES OR WIRES, OTHER THAN APPROVED MATERIALS FOR BRACING, GUYING OR WRAPPING SHALL BE ATTACHED TO ANY VEGETATION DURING THE CONSTRUCTION PERIOD.
6. DURING CONSTRUCTION ALL REASONABLE STEPS NECESSARY TO PREVENT THE DESTRUCTION OR DAMAGING OF TREES (OTHER THAN THOSE SPECIFIED TO BE REMOVED) SHALL BE TAKEN.
7. NO SOIL IS TO BE REMOVED FROM WITHIN THE PROTECTION FENCE OF ANY TREE THAT IS TO REMAIN.





Aveda Elevations



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



BACK ELEVATION 'A'

Brisson Elevations



FRONT ELEVATION 'A'



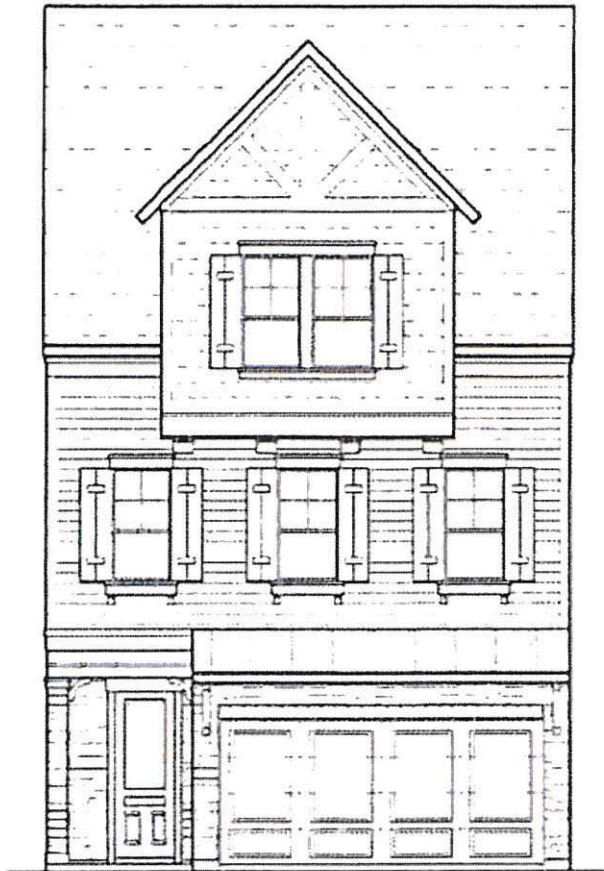
FRONT ELEVATION 'B'



FRONT ELEVATION 'C'

CityView Exterior Elevations

Conroy Elevations



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



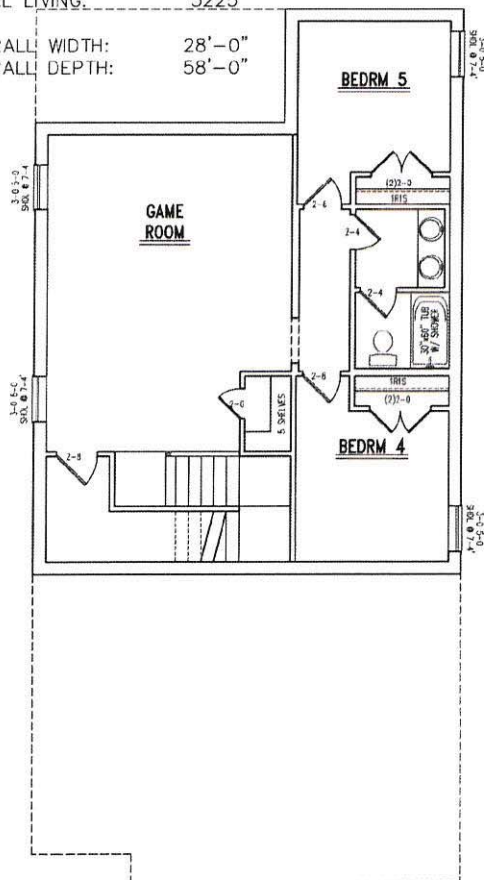
FRONT ELEVATION 'C'

plan
TYPE "A"
28' x 58'

LEVEL ONE: 1026
LEVEL TWO: 1403
TOTAL LIVING: 2429

OPT. BASEMENT: 796
TOTAL LIVING: 3225

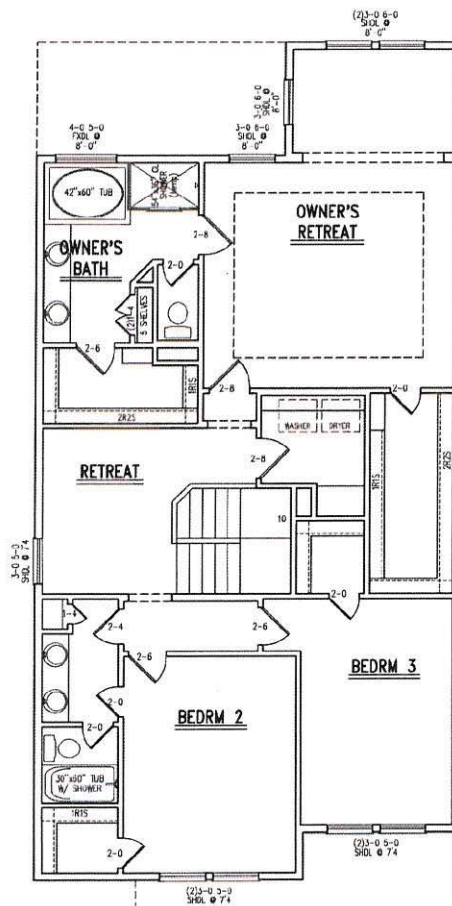
OVERALL WIDTH: 28'-0"
OVERALL DEPTH: 58'-0"



OPT. BASEMENT

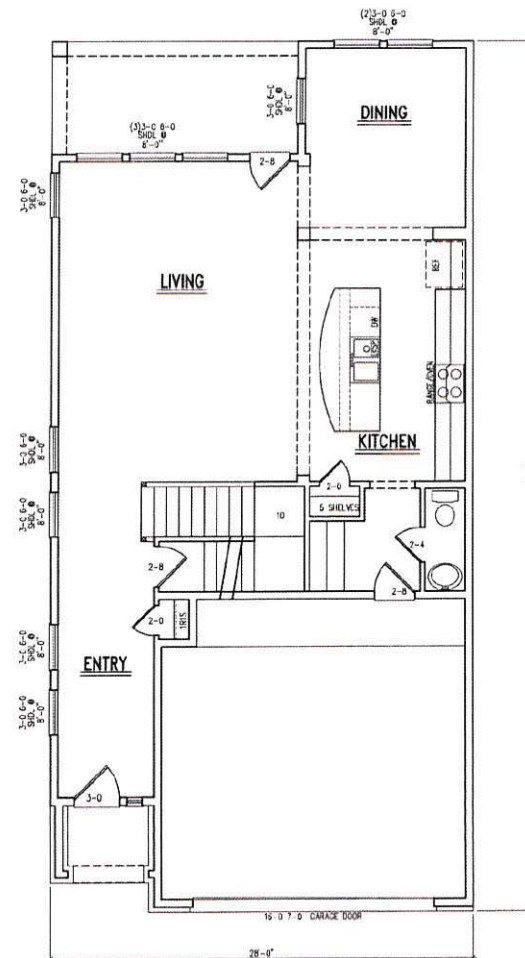
RED "A" Plans - LOTS 1-557

- MAX WINDOWS ON WALKOUTS TO NICE VIEW ON RIVER
- GREAT WALKING
- INCORPORATE MUD ROOMS
- NO MASTER DOWN!



SECOND FLOOR

ARCHITECTURAL STYLE:
TRADITIONAL



FIRST FLOOR

plan
TYPE "B-2"
30' x 45'

LEVEL ONE: 902
LEVEL TWO: 1301
TOTAL LIVING: 2203

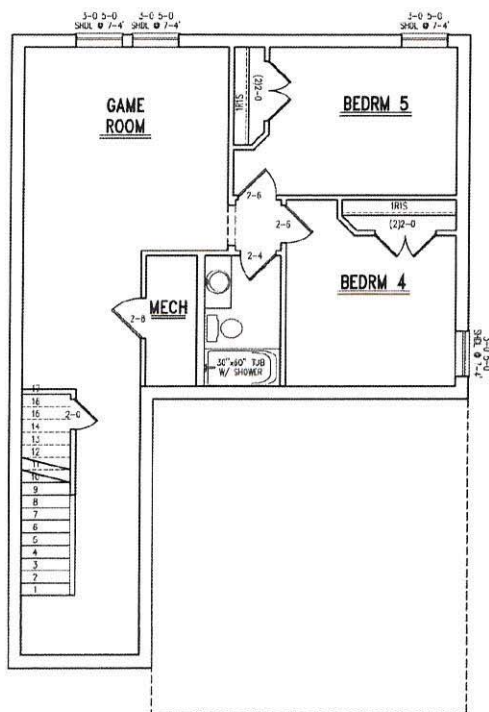
OPT. BASEMENT: 860
TOTAL LIVING: 3063

OVERALL WIDTH: 30'-0"
OVERALL DEPTH: 45'-0"

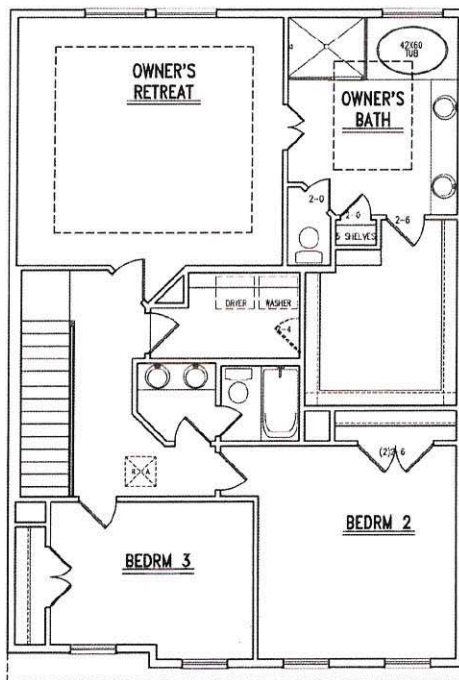
GOLD "B" Plans - LOT 6

- MAX WINDOWS ON WALKOUTS TO NICE VIEW ON RIVER
- GREAT WALKING
- INCORPORATE MUD ROOMS
- NO MASTER DOWN

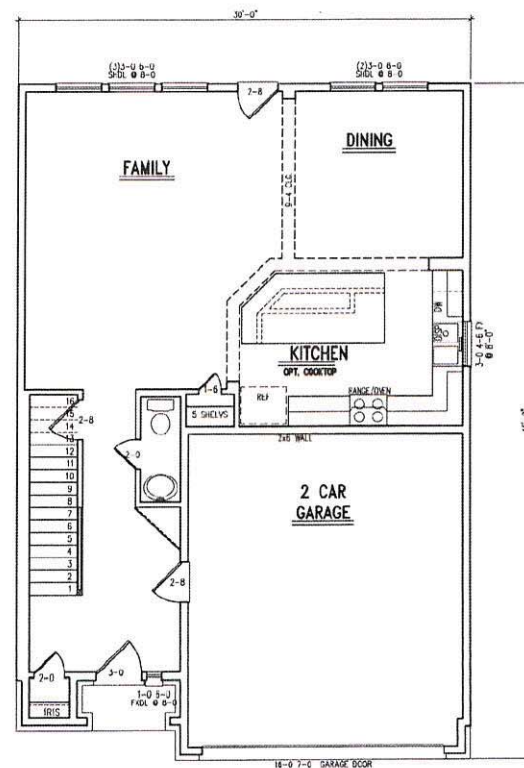
ARCHITECTURAL STYLE:
TRADITIONAL



OPT. BASEMENT



SECOND FLOOR



FIRST FLOOR