

Staff Report Plan Commission Meeting – December 5, 2023

Applicant:	Stonewood	Cityview Resubdivison
	Properties &	
	Development LLC	885
Property	Stonewood	200
Owners:	Properties &	Keller PI Gelley
	Development LLC;	
	David & Wendy Park	Keller Pil General Reserved
Location:	NW corner of	
	Geneva Road &	
	Mosedale Street	
Purpose:	Modify lot lines	6 32
Application:	Final Plat of	28 24 20 16
	Subdivision (Minor	
	Subdivision)	Mosedale St
Public Hearing:	N/A	
Zoning:	RT-2 (Traditional	25 0000
	Single Family)	Subject Property
Current Land	Single-Family	
Use:		_
Comprehensive	Single Family	
Plan:	Detached Residential	
Summary of	Stonewood Properties	s, developer of the Cityview Subdivision, is requesting approval of
Proposal:	a Plat of Resubdivision	n to modify the lot lines of Lot 2, Lot 3 and Outlot A. Outlot A will
	be reduced in size, and	d Lots 2 and 3 will each gain additional square footage by shifting
	the northeast lot lines	further east. Lots 2 and 3 are intended for future development of
	single-family homes.	
Info /	Final Plat (Minor Subd	livision)
Procedure on	 Final Plat is the a 	actual plat document that will be recorded with the County to
Application:	formally create	new lots, dedicate streets, and provide easements, etc.
	 Recommendation 	on is based on compliance with all other code requirements
	(including Zonin	g & Subdivision Codes). Staff has provided an analysis in the Staff
	Report.	
	 A public hearing 	is not required for this type of application.
	 No findings of fa 	ct are applicable to this application.
Suggested	Review the Final Plat of	of Subdivision.
Action:	Chaff has for all the	aliantian are testinia to be a complete and the first block of
		plication materials to be complete and the Final Plat to be in
	compliance with the Z	oning and Subdivision Codes.
	Staff recommends app	proval of the Final Plat of Subdivision, subject to resolution of all
	staff comments prior t	
Staff Contact:	Ellen Johnson, Planner	·

I. PROPERTY INFORMATION

A. History / Context

Cityview Subdivision is located at the northwest corner of Geneva Road/Rt 31 and Mosedale Street. Cityview contains four buildable single-family lots fronting on Mosedale Street, with an Outlot intended for stormwater management at the northeast corner. A home is currently under construction on Lot 1. Lot 3 recently sold; Lots 2 and 4 are owned by the developer.

Cityview Subdivision was approved under Ord. 2018-Z-4. Subsequent to Final Plat and Final Engineering approval in 2019, City staff approved revised engineering plans which reduced the area needed to accommodate the required stormwater management basin. This was due to a change in the Stormwater Ordinance which allowed for a less intensive stormwater management approach for the subdivision.

The outlot on the property, to be owned and managed by a homeowner's association, is being reduced on the west, as it currently remains the size it was required to be based on the original stormwater management facility for the subdivision. The proposed resubdivision will reduce the size of the outlot.

Staff is recommending the outlot be increased on the south to encompass the entirety of the stormwater management facility. The previous Plat of Subdivision allowed these areas in easements. Staff believes this change will more clearly define the restrictions over the stormwater management areas. (See Engineering comments section)

B. Zoning

The subject property is zoned RT-2 Traditional Single Family Residential. The same zoning designation exists adjacent to the property on all sides. The surrounding properties all contain single-family homes.

	Zoning	Land Use
Subject Property	RT-2 Traditional Single Family Residential	SF home/buildable lots
North	RT-1 Traditional Single Family Residential	SF homes
East	RM-3 General Residential	The View Apartments
South	RT-1 Traditional Single Family Residential	SF homes
West	RT-2 Traditional Single Family Residential	SF homes



II. PROPOSAL

Stonewood Properties & Development LLC, developer of the Cityview Subdivision, is requesting approval of a Plat of Resubdivision to modify the lot lines of Lot 2, Lot 3 and Outlot A. Outlot A will be reduced in size by shifting the western lot line east by 11 feet. Lots 2 and 3 will each gain additional square footage by shifting the northeast lot lines further east, providing larger back yards for these lots, however the width of the lots will remain unchanged along Mosedale St.

Lots 2 and 3 are intended for future development of single-family homes. Outlot A will continue to be reserved for stormwater management. Engineering plans that incorporate the changes to the lot lines have been submitted. The lot areas are proposed to change as follows:

	Existing	Proposed	Change in Lot Area
Lot 1	8,708 sf	No change	N/A
Lot 2	9,141 sf	9,847 sf	+ 706 sf
Lot 3	9,256 sf	9,390 sf	+ 134 sf
Lot 4	12,839	No change	N/A
Outlot A	5,993 sf	5,152 sf	- 841 sf

III. ANALYSIS

A. Bulk Standards

The table below compares the bulk requirements of the RT-2 District with the two impacted buildable lots: Lots 2 and Lot 3. All bulk standards are met. These standards are not applicable for Outlot A as it is not a buildable lot.

	RT-2 District	Lot 2	Lot 3
Min. Lot Area	6,600 sf	9,847 sf	9,390 sf
Min. Lot Width	50 ft.	60 ft. (no change)	60 ft. (no change)
Max. Building Coverage	30% for structures 1 ½ stories or less 25% for structures over 1½ stories	26%	23%
Max. Building Height	Lesser of 34 ft. or 2 stories	TBD	TBD
Min. Front Yard	25 ft.	25 ft	30 ft
Min. Side Yard	Greater of 6 ft or 10% of lot width for 1 ½ stories or less Greater of 8ft or 10% of lot width for over 1 ½ stories	8 ft	10 ft
Min. Rear Yard	30 ft.	74 ft	43 ft

B. Plat Review

Planning and Engineering staff has reviewed the Plat of Resubdivision and corresponding engineering plans for conformance with the requirements of Title 16 of the City Code, "Subdivisions & Land Improvement".

Staff Comments:

- ✓ Stormwater Detention Easement and PSME over Outlot A reduce the westerly limits of the easement to match the new boundary of Outlot A.
- ✓ PSME & PUDE extend the limits of the easement to the east to match the new boundary of Outlot A.
- ✓ Outlot A move the lot line south and southeasterly such that the entire limits of the High Water Line is located within Outlot A. This will affect rear lot lines for Lots 3 and 4.
- ✓ Add the HWL contour line to the plans. Label the elevation.
- ✓ Revise lot lines and easements per Plat comments.
- ✓ Revise building footprint on Lot 4 to accommodate Plat comment #3. Please note the rear lot line setback is 30-feet.
- ✓ Assuming the rock wall is the responsibility of Lot 3 property owner, it shall be located entirely on Lot 3. Confirm with new lot line configuration.

IV. SUGGESTED ACTION

Staff recommends approval of the Final Plat- Minor Subdivision Application subject to resolution of all staff comments prior to City Council action.

V. ATTACHMENTS

- Application for Minor Subdivision Final Plat; received 11/7/23
- Plat of Resubdivision
- Revised Engineering Plans

City of St. Charles Community Development Division 2 E. Main Street St. Charles, IL 60174



Phone: (630) 377-4443 Email: cd@stcharlesil.gov

MINOR SUBDIVISION - FINAL PLAT APPLICATION

For City Use

Project Name: Cityuiew Resubdivision

Project Number: -PR-

Cityview Project Number: PLM \$2023 60138

Received Date

RECEIVED

NOV 07 2023

- File this application to request approval of a Minor Subdivision Final Plat.
- Per City Code Section 16.04.040, a Minor Subdivision must meet the following criteria:
 - 1) Compliance with subdivision design standards in the City Code; 2) No more than 4 lots; 3) No public utility extensions or new streets are required to serve the subdivision; 4) No stormwater detention is required to serve the subdivision; 5) All lots meet minimum zoning standards.
- Complete the application and submit with all required attachments to the Community Development Division.
- The information you provide must be complete and accurate. If you have any questions please contact the Community Development Division.
- City staff will review the submittal for completeness and for compliance with applicable requirements. Staff will distribute the plans to other City departments for review when the application is complete.
- The Final Plat will be scheduled for Plan Commission review when staff has determined the plat is ready.

1.	Property Information:	Location: Mosedale at Rt 31- North Wes	t Corner
		Parcel Number (s): Lot 2-09-34-401-022 Lot 3-0934-401-023 (Outlot A-09-34-401-024
		Proposed Subdivision Name: City View's First Resubdivi	sion
2.	2. Applicant Information:	Name: Stonewood Properties and Development LLC.	Phone: 630-514-5590
		Address 926 Sunset Rd. Geneva, II. 60134	Email: John@Stonewood LLC. Net
3.	Record Owner Information:	Name: Lot 2 Stonewood Properties and Dev. LLC.	Phone: 630-514-5590
		Address: Lot 2- 926 Sunset Rd. Geneva, II. 60134	Email: John @ Stonewood LLC.net

Lot 3 David C. Park and Wendy M. Park 20 Mosedale St. St. Charles, II. 60174

224-688-7197

City of St. Charles Minor Subdivision - Final Plat Application

4. Required Attachments:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Submit 1 copy of each required item, unless otherwise noted.

APPLICATION FEE: \$300

REIMBURSEMENT OF FEES AGREEMENT: An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT: Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

FEE FOR INSTALLATION OF CITY BENCHMARKS: Payment for installation of City benchmarks in accordance with Appendix F of the Subdivision Code (City Code Title 16). Required payment is based on the size of the subdivision:

N/A

Subdivision Acreage	Number of Benchmarks	Fee at \$2500 per Benchmark
20+	2	\$5000
10 to 20	1	\$2500
5 to 10	0.5	\$1250
1 to 5	0.25	\$625
Less than 1	0.10	\$250

PROOF OF OWNERSHIP: a) A current title policy report; or

b) A deed and a current title search

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

OWNERSHIP DISCLOSURE: Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.

LETTER OF AUTHORIZATION: If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.

PARK AND SCHOOL LAND/CASH WORKSHEETS: For residential developments only. Use the attached worksheet to calculate the estimated population and student yields and resulting land/cash contributions in accordance with Title 16 of the St. Charles Municipal Code.

INCLUSIONARY HOUSING WORKSHEET: For residential developments only. Use the attached worksheet to calculate the affordable unit requirement and indicate how the development will comply with Title 19 of the St. Charles Municipal Code.

PLANS: All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies: Ten (10) full size copies, one (1) 11" by 17", and PDF electronic file emailed to: cd@stcharlesil.gov

1

FINAL PLAT OF SUBDIVISION / DRAWING REQUIREMENTS CHECKLIST: A Final Plat of Subdivision that includes the information listed on the Subdivision Plat Drawing Requirements Checklist. Also submit a completed Checklist (attached).

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

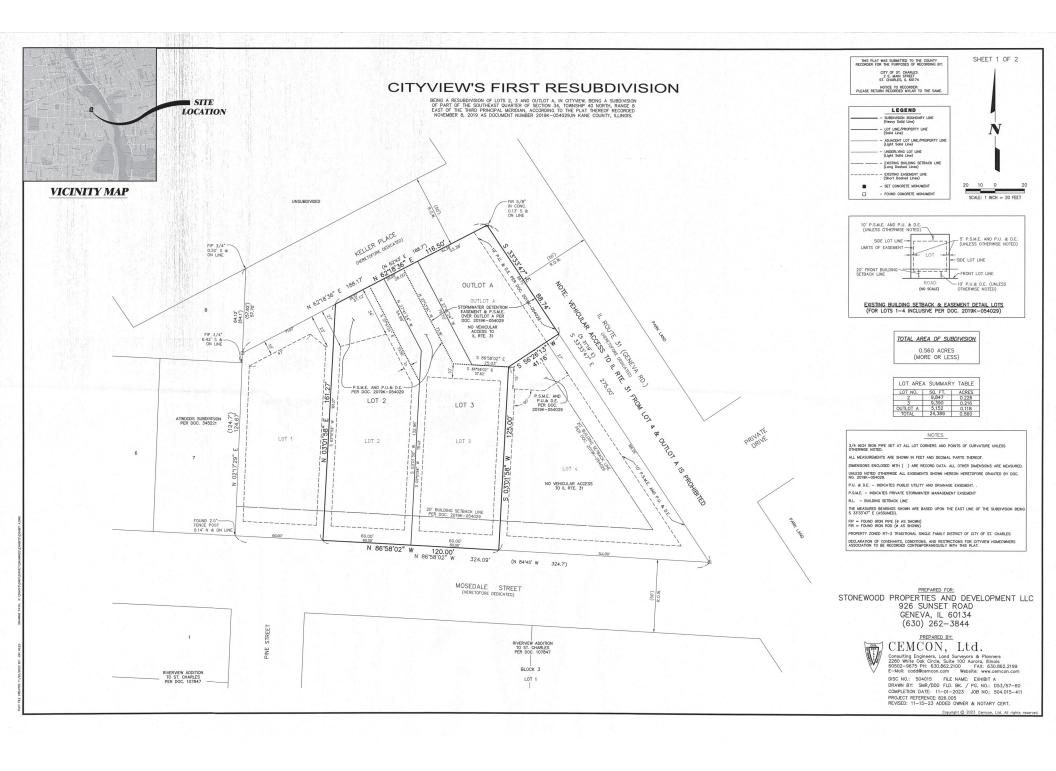
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- Host President Nov.
Date Record Owner

OWNERSHIP DISCLOSURE FORM LIMITED LIABILITY COMPANY (L.L.C.)

STATE OF ILLINOIS)) SS.			
KANE COUNTY)			
John H. Ce	brzynski	, being first duly swo	orn on oath d	epose and say that I am
Manager of	Stonewood Prop	perties and Dev. LLC.	, an	Illinois Limited Liability
Company (L.L.	C.), and that the fo	llowing persons are al	of the mem	bers of the said L.L.C.:
Patrio ———	cia M. Cebrzynski	Sole Owner		····
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			***************************************	***

sv: John	. f. aln	-∴Manager		
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Novembel	r, 20 <u>23</u>	<u>.</u> .	1	
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	Not	ary Public		Proceeding 1990 (Auto-



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LARRY C. PICAS ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3246 MY REGISTRATION EXPIRES ON NOVEMBER 30, 2024 PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002937 EXPIRES APRIL 30, 2025

7	
	OWNER'S & SCHOOL DISTRICT CE
OWNER'S & SCHOOL DISTRICT CERTIFICATE	STATE OF ILLINOIS) S.S.
STATE OF ILLINOIS)	COUNTY OF KANE)
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ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303	ADDRESS: 20 MOSEDALE STREET, ST. CHAR
BY: STONEWOOD PROPERTIES AND DEVELOPMENT TLC	DATED THIS DAY OF A.
ADDRESS: 926 SUNSET ROAD, GENEVA, IL 60134	
DATED THIS DAY OF A.D. 20	
	(SIGNATURE)
(SIGNATURE)	(TITLE)
MANAGER (TITLE)	
(IIILE)	NOTARY CERTIFICATE
	STATE OF ILLINOIS)
	S.S. COUNTY OF KANE)
NOTARY CERTIFICATE	
STATE OF ILLINOIS)	AND FOR SAID COUNTY, IN THE STATE AFC
COUNTY OF KANE)	CERTIFY THAT
I,	PERSONALLY KNOWN TO ME TO BE THE 58 NAMES ARE SUBSCRIBED TO THE FOREGOIN OWNERS, APPEARED BEFORE ME THIS DAY ACKNOWLEDGED THAT THEY SIGNED AND DI PLAT AS THEIR OWN FREE AND VOLUNTARY.
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THIS IS TO CERTIFY THAT I, LARRY C. PICAS, ILLINOIS LAND SURVEYOR NO. 3246, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:	ALSO, THIS IS TO CERTIFY THAT PROPERTY AFORESAID, AND TO THE BEST OF THE OW BELIEF, SAID SUBDIVISION LIES ENTIRELY W
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ILLINOIS.	ADDRESS: 926 SUNSET ROAD, GENEVA, IL
FURTHER, THIS PLAT HAS BEEN PREPARED BY AN ILLINOIS PROFESSIONAL LAND SURVEYOR AND THAT THE PLAT HEREON DRAWN IS A REPRESENTATION OF SAID SURVEY AND SUBDIVISION.	DATED THIS DAY OF
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IT IS FURTHER CERTIFIED THAT, TO THE BEST OF OUR KNOWLEDGE, ALL REGULATIONS ENACTED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES	NOTARY CERTIFICATE
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	S.S. COUNTY OF KANE)
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THIS IS TO CERTIFY THAT THE PROPERTY HEREON DESCRIBED IN THE RECORD OF DEED FALLS WITHIN ZONE X IDENTIFIED FOR THE CITY OF ST. CHARLES, ILLINO'S BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE FLOOD INSURANCE RATE MAP, PANEL NO. 17089C0268H DATED AUGUST 3, 2009.	I, AND FOR SAID COUNTY, IN THE STATE AFC CERTIFY THAT
	PERSONALLY KNOWN TO ME TO BE THE SA NAMES ARE SUBSCRIBED TO THE FOREGOIN
GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS, THIS DAY OF, A.D. 2023.	PERSONALLY KNOWN TO ME TO BE THE SA NAMES ARE SUBSCRIBED TO THE FOREGOIN OWNERS, APPEARED BEFORE ME THIS DAY ACKNOWLEDGED THAT THEY SIGNED AND DI PLAT AS THEIR DAYS FEET AND VOLUMENTS.

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   DATED THIS _____ DAY OF _____ A.D. 20___
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(SIGNATURE)

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STATE OF ILLINOIS )
S.S.
 COUNTY OF KANE )
 I, ______DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.
 DIRECTOR OF COMMUNITY & ECONOMIC DEVELOPMENT, CITY OF ST. CHARLES
 DATED AT______, ILLINOIS,
 THIS______ , A.D., 20____
 CERTIFICATE AS TO SPECIAL ASSESSMENTS
STATE OF ILLINOIS )
S.S.
COUNTY OF KANE )
 I DO HERBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.
 COLLECTOR OF SPECIAL ASSESSMENTS
DATED AT______, ILLINOIS,
 THIS______ , A.D., 20____
 PLAN COMMISSION CERTIFICATE
STATE OF ILLINOIS ) S.S.
 COUNTY OF KANE )
 APPROVED THIS _____ DAY OF _____, A.D. 20___
 CITY OF ST. CHARLES PLAN COMMISSION
                    CHAIRMAN
 CITY COUNCIL CERTIFICATE
STATE OF ILLINOIS )
S.S.
 COUNTY OF KANE )
 APPROVED AND ACCEPTED THIS _____ DAY OF _____, A.D. 20___
CITY COUNCIL OF CITY OF ST. CHARLES, ILLINOIS
                        MAYOR
 ATTEST:
COUNTY CLERK CERTIFICATE
STATE OF ILLINOIS ) S.S.
 I,

COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY
CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED
TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE
ANNEXED PLA.
I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.
GIVEN UNDER MY HAND AND SEAL AT _____
 THIS______, A.D., 20____.
COUNTY CLERK
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DIRECTOR OF COMMUNITY DEVELOPMENT CERTIFICATE

CEMCON, Ltd.

Consulting Engineers, Lond Surveyors & Plonners
2200 White Oak Circle, Suite 100 Aurora, Illinois co502-9675 PH. 630.882.2109
E-Mdi. cod6@emcn.com Website www.cemcon.com

DISC NO.: 504015 FILE NAME: SUBPLAT PLD. BK. / PG. NO.: D53/57-60 COMPLETION DATE: JOB NO.: 504.015

REVISED FINAL SITE DEVELOPMENT PLANS

CITYVIEW SUBDIVISION

ST. CHARLES, ILLINOIS

GRADING AND DRAINAGE - SEWER AND WATER SERVICES STORMWATER POLLUTION PROTECTION



MANNOLE CATCH BASIN CLEAMOUT SLOPE INLET BOX HEADWALL END SECTION

FOR UNDERGROUND UTILITY

LOCATIONS, CALL

J.U.L.I.E. TOLL FREE

TEL. 1-800-892-0123 or 811

STORM SEWER

BARLTARY BEWEG WATERMAIN VALVE A BOX WATER VALVE IN VAULT FIRE HYDRANT CONTOURS STREET LIGHT WATERMAIN PROTECTION SILT FEMOR INLET PROTECTOR TEMPORARY STRAW BALE DITCH CHECK BILT PEROE DITOR ORCCE BIP-BAP

OVERPLOW ROUTE

RELEASED FOR PLAN REVIEW AND PERMIT PROCESSING ONLY.

IF USED FOR BIDDING PURPOSES, THOSE PARTIES CONCERNED SHALL BE ADVISED THAT REVISIONS MAY BE REQUIRED PRIOR TO PLAN APPROVAL.

NOT ISSUED FOR CONSTRUCTION UNTIL APPROVED BY THE CITY OF ST. CHARLES AND PERMITTED AS REQUIRED.



BENCHMARKS

STATION STG 07

STATION IS LOCATED 11.7 KM (9.7 MILES) SOUTHWEST OF BATRLETT, 6.1 KM (3.8 MILES) NORTH-NORTHWEST OF BATRAWA, AND 5.50M (7.8 MILES) SOUTH OF ELIMIST, IN SECTION 14, 140A, REE. 2 K INCH DAMETER ALUMINUM DISK IN PLASTIC CYLINDER, APPROXIMATE ALUMINUM COORMATES N. 1907560, E. 984599.

ELEVATION = 790.00 FT. NAVD 88

STATION STC 18
STATION IS LOCATED 11.6 KM (8.9 MILES) SOUTHWEST OF BARTLETT, 4.8 KM (3.4 MILES) NORTHOF OF BATAVA, AND 6.8 KM (6.0 MILES) SOUTH OF ELION COMMUNITY COLLEGE IN THE CITY OF SAINT CHARLES IN SECTION 34, T40N, R8E. 2½ INCH DIAMETER ALLAMINAM DISK IN PLASTIC CYLINDER, APPROXIMATE NAD 83 COORDINATES N. 1906120, E. 991732. ELEVATION — 709.33 FT. NAVE S.

CP104 CROSS IN WALK ON WEST SIDE OF GENEVA ROAD (IL ROUTE 31) ADJACENT TO FIRST UTILITY POLE NORTHWESTERLY OF KELLER PLACE.

ELEVATION = 695.46 FT. NAVD 88

CP109 CROSS IN WALK ON WEST SIDE OF GENEVA ROAD (IL ROUTE 31) ADJACENT TO FIRST UTILITY POLE NORTHWESTERLY OF MOSEDALE STREET. ELEVATION = 693.71.46 FT. NAVD 38

AINDEX OF SHEETS

Sheet Number	Sheet Title
1	TITLE
2-3	CONSTRUCTION SPECIFICATIONS - GENERAL NOTES
4	OVERALL UTILITY PLAN
5	STORMWATER POLLUTION PREVENTION PLAN
6	STORMWATER POLLUTION PREVENTION DETAILS
7	STORMWATER POLLUTION PREVENTION NOTES
8-12	DRAINAGE AND GRADING PLAN
13-15	PLAN & PROFILE: SANITARY SEWER AND WATER SERVICES
16	CONSTRUCTION DETAILS

PROFESSIONAL ENGINEER'S CERTIFICATION

STATE OF ILLINOIS)

COUNTY OF DU PAGE)

I, RANDALL W. BUS., A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HERBEY CERTEY THAT THIS TECHNICAL SUBMISSION WAS PREPARED ON THE PROPERTY OF THE TOTAL THAT THE PROPERTY OF THE TOTAL THAT THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF SCHOOL AND CONTRACT DOUGLEMENTS.

A DATED THIS _____DAY OF _____

ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 062-032381 MY LICENSE EXPIRES ON NOVEMBER 30, 2023

PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002937

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STONEWOOD PROPERTIES AND DEVELOPMENT, LLC 926 SUNSET ROAD GENEVA, ILLINOIS 60134 (630) 262-3844



PREPARED BY: CEMCON, Ltd. Consulting Engineers, Land Surveyors & Planners 2280 White Ook Circle, Sulte 100 Aurora, Illinois 60504–967 530.862.2199 Ph: 630.862.2100 Fox: 630.862.2199 E-Mail: cadd@cemeon.com Website: www.cemcon.com REVISIONS NO. DATE

Deciding 1, 4-5, 7-12

Deciding 2, 7-12

Deciding 3, 7-12

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Deciding 4, 5, 8-12

JOB NO. 504.015 COMPLETION DATE : 04-25-18 SHEET 1 OF 16

CONSTRUCTION SPECIFICATIONS - GENERAL NOTES

GENERAL

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ST. CHARLES STANDARDS AND WITH THE CURRENT EDITION OF THE LUNGING DEPARTMENT OF TRANSPORTATIONS "STANDARD SPECIFICATIONS FOR ROAD AND BRDDE CONSTRUCTION", APPLICABLE WHEN REFERENCED.
- IN THE EVENT OF A CONFLICT BETWEEN THE CONSTRUCTION SPECIFICATIONS AND THE CITY OF ST. CHARLES, IL SPECIFICATIONS AND DETAILS, THE CITY OF ST. CHARLES SPECIFICATIONS AND DETAILS (SEE BELOW) SHOULD BE FOLLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND HEALTHFUL WORKING CONDITIONS THROUGHOUT THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING EACH OF THE UTILITY COMPANIES BEFORE ANY WORK IS STARTED. ALL UTILITIES MUST BE STAKED PRIOR TO CONSTRUCTION.
- IF THE ENGNEER IS RETAINED FOR CONSTRUCTION STAKING SERVICES, THE DISCHESS AND WILL BE GIVEN SEVENTY-THO (72) SERVICES, THE DISCHESS AND WILL BE GIVEN SEVENTY-THO (72) SERVICES, THE SERVICES, THE SERVICES SERVICES, EACH OF THE VARIOUS TITUS OF THE SERVICES SERVICES, EACH OF THE VARIOUS TITUS ONOTIONAL STAKING REQUIRED LOT DO CONTRACTOR HEQUIENCE SHALL BE PAID FOR BY THE CONTRACTOR AT THE CURRENT HOURST PAIR.
- THE CONTRACTOR SHALL INFORM THE MUNICIPAL BEFORE WORK COMMENCES ON EACH CATEGORY OF CONSTRUCTION, I.E. AT A FORTY SIGNAL (48) HOUR NOTICE SHALL BE GIVEN FOR HAIT AFFORM SIGNAL (48) HOUR STALL BE GIVEN FOR HAIT INFORMATION OF SHALL AND INSPECTION SUCH AS WATERMAINS OF SANITARY SWERS.
- THE CONTRACTOR RESPONSIBLE FOR WATERMAIN CONSTRUCTION, SANTIARY SEMER CONSTRUCTION AND DRAINAGE MIRROYMENTS NATIONAL CONTRACTOR OF THE STATE AND DRAINAGE MIRROYMENTS OF THE STATE AND THE STATE AND SAID WORK SHALL BE INDICIONAL COMPENSATION MILL BE PAID AND SAID WORK SHALL BE INDICIONAL.
- AFTER CONSTRUCTION STAKING IS PERFORMED, BUT PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CALL THE ATTENTION OF THE COMERS SERVEDSALVATIVE TO ANY TERRORS OR WHICH ARE ESTABLISHED BY THE CHNER, AND SHALL NOT PROCEED WITH THE WORK LUTIL ANY LINES AND CRASS WHICH ARE SETABLISHED BY THE CHNER, AND SHALL NOT ARE SETABLISHED BY THE CHNER, AND SHALL NOT CORRECTED BY THE OWNERS AND THE SHAP OF THE CORRECTED BY THE COMERS'S REPRESENTATIVE.
- THE UNDERGROUND CONTRACTOR SHALL BE RESPONSIBLE TO PLACE ON GRADE AND COORDINATE WITH OTHER CONTRACTORS ALL UNDERGROUND STRUCTURE FRAMES SUCH AS CATCH BASINS, INLETS, MANHOLES, HYDRANTS, BUFFALD BOXES, VALVES, ETC. NO ADDITIONAL COMPENSATION WILL BE PAID AND SAID ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO OTHER TEMS OF CONSTRUCTION.
- CONTRACTORS SHALL KEEP PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, CLEAN PAVEMENTS ON A DALLY BASIS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS (INCLUDING UTILITY LOCATIONS) PRIOR TO THE INSTALLATION OR FABRICATION OF ANY MATERIALS. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER

EARTHWORK, GRADING AND PAVING

- WORK UNDER THIS SECTION SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - SOIL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS.
- B. CLEARING AND REMOVAL OF ALL UNDESIRABLE TREES AND OTHER VEGETATIVE GROWTH WITHIN THE CONSTRUCTION AREA. TREE REMOVAL SHALL BE DESIGNATED BY THE OWNER AND SHALL BE KEPT TO A MINIMUM.
- C. STRIPPING OF TOPSOIL FROM ALL STREET, DRIVEWAY, PARKING LOT, RIGHT-OF-WAY, BUILDING PAD AND OTHER DESIGNATED STRUCTURAL AREAS.
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 STOCKPURO OF TOPSOIL AT LOCATIONS AS DIRECTED BY THE OWNER. TOPSOIL OF TOPSOIL AT LOCATIONS AS DIRECTED BY THE OWNER. TOPSOIL OF TOPSOIL OF TOPSOIL OF THE STANDING PRODUCTS THAN ONE OF TOPSOIL OF THE STANDING PRODUCTS INCLUDING EXTRAGEOUS MATERIALS NOT COMPUTE TO PART GROWTH. THE STANDING OF DOUBLE OWNERS AS TOPSOIL OF TOPS
- E. REMOVAL OF UNSUITABLE MATERIALS AS SPECIFIED FROM ROADWAY, DRIVEWAY/PARKING, BUILDING PAD AND OTHER DESIGNATED AREAS.
- F. STRUCTURAL CUT AND STRUCTURAL FILL WITH COMPACTION WITHIN ROADWAY, DRIVEWAY/PARKING, BUILDING PAD AND OTHER DESIGNATED AREAS.
- G. EXCAVATION AND GRADING OF THE OPEN SPACE, AND/OR YARD AREAS PER PLAN INCLUDING CONSTRUCTION OF BERMS, ETC.
- H. PLACEMENT AND COMPACTION OF STRUCTURAL MATERIAL TO THE DESIGN SUBGRADE LEVATIONS AS REQUIRED BY THE STANDARDS AND DETAILS SUBGRADE LEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS AND THAT PAVEMENT AND/OR TOPSOUL REPLACEMENT THRONESS MUST BE SUBFRACE TO TO DETERMINE SUBGRADE ELEVATIONS.
- IF REQUIRED, BORROW PIT EXCAVATION OF STRUCTURAL MATERIAL AND REFILL OF PIT WITH NON-STRUCTURAL MATERIAL.
- J. PLACEMENT AND COMPACTION OF NON-STRUCTURAL FILLS.
- K. MOVEMENT AND COMPACTION OF SPOIL MATERIAL FROM THE CONSTRUCTION OF UNDERGROUND UTILITIES.
- BACKFILLING OF CURBS AND/OR PAVEMENT AND SIDEWALK AFTER INSTALLATION OF SAME BY THE PAVING CONTRACTOR.
- M. FINAL SHAPING AND TRIMMING TO THE LINES, GRADES, AND CROSS-SECTIONS SHOWN IN THESE PLANS; AND TOPSOIL PLACEMENT TO DESIGN FINISHED GRADE ELEVATIONS.
- THE CONTRACTOR SHALL FABILIARZE HHISSLE WITH THE FLAMS AND SHALL MOTIFY THE DEMORES AT CHOSE OF ANY DISCREPANCES. THE CONTRACTOR SHALL EXAMINE THE DRAMAGE PATTERNS SHOWN ON THE PLANS AND MAKE CERTAIN THAT ALL GUTTER FLAGS AND PAYMENTS ARE PITCHED PROPERLY TO ACHIEVE THIS DRAMAGE PATTERN.
- MATERIALS TESTING, IF REQUIRED BY THE MUNICIPALITY, SHALL BE PROVIDED BY THE CONTRACTOR, THIS ITEM WILL NOT BE PAID FOR SEPARATELY BUT INCLUDED IN THE VARIOUS ITEMS OF WORK.
- DIRRIO CONSTRUCTION OPERATIONS THE CONTRACTOR SHALL INSURE PROBLEMS STEEP CONTRACTOR SHALL INSURE POSSIBLE STEEP CONTRACTOR SHALL INSURE POSSIBLE STEEP CONTRACTOR'S FALLURE TO PROPUBE THE ACCEPTABLE METHOD. THE CONTRACTOR'S FALLURE TO PROPUBE THE ABOVE MILL PRECLUDE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIAL CREATED AS A RESULT THEREOF.

EARTHWORK, GRADING AND PAVING (CONT'D)

- IT SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- LIFTCRE 10 THE CHINES.

 THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECEDE, PARTICULARLY DURING THE ERBOVAL OF INSUITABLE MATERIAL SOLIS DINCESTED, PARTICULARLY DURING THE ERBOVAL AND INSUITABLE REPORT OF THE STREET STATEMENT OF THE STATEMENT OF THE STATEMENT OF THE SOLIS DINCESTED REPLACEMENT OF THE SOLIS DINCESTED REPUBLICATION SHALL BE ENTRIENT THE REPORSIBILITY OF THE SOLIS DINCESTED TO MODERNICATION SHALL BE ENTRIENT THE THE PROPROSIBILITY OF THE SOLIS DINCESTED TO MODERNICATION SHALL BE ENTRIED THE OTHER OF THE STATEMENT OF THE SOLIS DINCESTED THE OTHER OF THE STATEMENT OF THE SOLIS DINCESTED THE OTHER OTHER
- THE GRADING AND CONSTRUCTION OF THE SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.
- THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF SIX INCHES (6") OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED UNLESS OTHERWISE NOTED.
- THE SELECTED STRUCTURAL FILL MATERIAL SHALL BE PLACED IN LEVEL UNIFORM LAYERS SO THAT THE COMPACTED THICKNESS IS APPROXIMATELY TO COMPACT DE CREATER THICKNESS, IT WAS A GREATER THICKNESS MAY BE SPECIFIED. EACH LAYER SHALL BE THOROUGHLY MIXED DURING SPREADING TO INSURE UNFORMITY.
- DEMONDER LINEARING WITHIN ROADWAY, DRIVEWAY PARRING LOT AND OTHER DEMONDRATE HERE. WITHIN ROADWAY, DRIVEWAY PARRING LOT AND OTHER DEMONDRATE HERE PERCENT (2013) OF MANUAU BENSITY IN ACCREDACE WHI ASTALL SECRETARION OF 150 YOUNGED PROFFOR HER TO THE SOLIS FROMEEN OTHER DESIGNATION OF 150 YOUNGED PROFFOR HER TO THE SOLIS FROMEEN OF INSETT AND MAY BE DETERMINED APPROPRIATE BY THE SOLIS FROMEEN OF INSETT AND ACCREDANCE WITH ASTALL DESIGNATION OF 150 YOUNGED PROFFOR METHOD) OR TO SUICH OTHER DENSITY ASK MAY BE DETERMINED APPROPRIATE BY THE SOLIS FROME OTHER DENSITY ASK MAY BE DETERMINED APPROPRIATE BY THE SOLIS FROME OTHER DENSITY ASK MAY BE DETERMINED APPROPRIATE BY THE SOLIS FROME.
- AS MAIN SO CLEANING ATTENDED TO THE SOUR CONSISTENCY OF THE SUPPLIES EXCEPTION. TO SOURCE AND ANY CONSISTENCY OF THE SUPPLIES EXCEPTION OF THE SUPPL
- COMPLETED GRADING (FINISHED FINE GRADE) FOR PROPOSED PAVEMENT SUBGRADE AREAS, BUILDING PADS, AND YARD/OPEN SPACE AREAS SHALL BE WITHIN A TOLERANCE OF PLUS OR MINUS ONE—TENTH OF A FOOT (0.1') OF DESIGN SUBGRADE ELEVATIONS.
- 13. THE SUBGRADE FOR PROPOSED STREET AND PAREAUNT AREA SHALL BE PROOF-ROLLD BY THE COMPACTOR IN THE PRESENCE OF THE COMBET'S REPRESENTANCE AND ANY UNSTABLE REALS INCOLNTERED SHALL BE REMOVED AND REPLACES AS PROFECTED BY THE GOINGER AND SOLIS ENGINEER. ANY UNCERCUIT AND REPLACE NECESSARY WILL BE MEASURED FOR PAVEMENT AT THE CONTRACT UNIT PRICE.
- THE CONTRACTOR SHALL PROVIDE STABLE SUB GRADE FOR ALL STREET PANEMENT IN ACCORDANCE WITH 100T SECTIONS 204, 205 AND 207 OF THE STANDARD SPECIFICATIONS, WHERE RECOMMENDED BY OWNER/DEVELOPERS CECTICHNICAL CONSULTANT, CONTRACTOR SHALL UNDERCUT AND BACKFILL OR LINE STABLEZ SUB GRADE SOLLS IN ACCORDANCE WITH SECTION 1012.

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3-19/JOC REWISED CLIENT INFORMATION DESCRIPTION

FILE NAME: GENNOTES DSGN. BY: RWB JOB NO.: 504.015
DIR: 504015 DRN. BY: JGC DATE: 04-25-18

CITYVIEW SUBDIVISION FLD. BK./PG.; ---SCALE: 1" = ---

CONSTRUCTION SPECIFICATIONS - GENERAL NOTES

SHEET NO. 2 of 16

THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY THE CITY OF ST. CHARLES, ILLINOIS.

△3. SANITARY MANHOLE FRAMES SHALL BE NEENAH R-1712 IN PAVED AREAS, AND IN NON PAVED AREAS (OR APPROVED EQUAL).

 ALL JOINTS BETWEEN PRE-CAST ELEMENTS, ADJUSTING RINGS AND MANHOLE FRAMES ON ALL UNDERGROUND STRUCTURES, SHALL BE SET IN PLACE WITH ONE OF THE FOLLOWING RILTML. RIBRIFE JOINT SEALANTS: CONCRETE PRODUCTS SUPPLY CO. - EZ STIKS HAMILTON-KENT GASKET CO. - KENT SEAL

OR EQUAL, AS APPROVED BY THE ENGINEER, AND ALL JOINTS TO BE TUCKPOINTED WITH HYDRAULIC CEMENT OR MORTAR WITH A BRUSH FINISH.

ALL SANTARY SEWER MANHOLES SHALL BE CONSTRUCTED WITH FLEXELE MANHOLE COUPLING, AS MANUFACTURED BY INTERPACE CORPORATION (LOCK-CONT FLEXIBLE MANHOLE SLEVEL) PRESS-SEL GASHEC CORPORATION (PRESS BRODGE II), OR EQUAL AS APPROVED BY THE ENGELEM. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL COMPLY WITH HOSE SPECTIFE BY THE MANUFACTURER.

A WATER-TIGHT MASONRY BUGHEAD SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNICTION PROPE TO COMMENONG ANY SEWER CONSTRUCTION. THE BULGHEAD SHALL REMAIN IN PLACE UNTIL AFTER THE SANITARY SEWERS HAVE BEEN TESTED AND ACCEPTED.

THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY UNPOLLUTED WATER SUCH AS GROUND AND SURFACE WATER FROM ENTERING THE EXISTING SANITARY SEWERS.

8. THE CONTRACTOR SHALL BE PROHIBITED FROM DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OR FLOATING LINES FOR THE DEFLECTION TEST WITHOUT PROK APPROVA

ALL NEW SANITARY SEWERS SHALL BE PRESSURE TESTED AND TELEVISED IN ACCORDANCE WITH THE PROCEDURE CUTLINED IN THE CURRENT EDITION OF "THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN LILINOS".

SANITARY SEWER MANHOLES WITH INTERNAL DROPS TWO FEET OR LESS SHALL HAVE A PRECAST CONCRETE TROUGH BUILT IN THE STRUCTURE TO COETAIN A SMOOTH FLOW TRANSITION FROM THE LIPSTREAM PIPE INVERT TO THE DOWNSTREAM PIPE INVERT.

11. ALL MANHOLES AND STRUCTURES SHALL BE CLEANED OF ANY ACCUMULATION OF SLT, DEBRIS, OR FOREION MATTER OF ANY KIND, AND SHALL BE FREE FROM SUCH ACCUMULATIONS AT THE TIME OF FINAL INSPECTION.

SANITARY MANHOLE LID MUST HAVE CONCEALED PICK HOLES. AND HAVE THE WORDS "SANITARY" AND STAMPED IN THE COVER WITH AN INTACT RUBBER GASKET SEAL.

THE FRAME LIP SHALL BE CLEANED OF ALL MUD AND DEBRIS TO PROVIDE A WATERTIGHT SEAL BETWEEN THE FRAME AND THE MANHOLE COVER GASKET.

THE BARREL SECTION JOINTS MUST BE TUCKPOINTED WITH HYDRAULIC CEMENT OR MORTAR WITH A BRUSH FINISH.

16. ALL PINHOLES MUST BE MORTARED WITH A BRUSH FINISH TO PROVIDE A WATERTIGHT SEAL.

THE UPSTREAM AND DOWNSTREAM PIPE CAVITIES MUST BE FILLED WITH MORTAR AND SMCOTHED WITH A BRUSH FINISH.

THE UPSTREAM AND DOWNSTREAM FLOW LINES (INVERTS) SHALL HAVE A SMOOTH TRANSITION FROM THE PIPE TO THE MANHOLE INVERT.

ALL MANHOLE STRUCTURES SHALL BE FREE OF ANY TYPE OF INFILTRATION (WATER LEAKING INTO THE STRUCTURE).

20. IF THERE IS AN INTERNAL DROP IN THE STRUCTURE THERE MUST BE A SMOOTH TRANSTION FROM THE PIPE TO THE INVERT (I.E. CHANNEL THE FLOW FROM THE PIPE TO THE MANNIOLE INVERT).

21. ALL SANITARY MANHOLE CHIMNEYS SEAL SHALL BE INTERIOR CRETEX OR APPROVED EQUAL. ▲ 22 CUTER SUPFACES OF PRECAST AND CAST—IN-PLACE BANNICLES SHALL BE GIVEN TWO (2) COATS OF BITUMINOUS DAMPPROOFING AT THE RATE OF 30 — 40 SQ. FT, FER CALLON AS DIRECTED BY THE MOMERS AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

SANITARY SEWER, STORM SEWER, WATERMAIN

- THE CONTRACTOR SHALL NOTIFY THE MUNICIPAL ENGINEERING DEPARTMENT 48 HOURS PRIOR TO START OF THE CONSTRUCTION OF PUBLIC IMPROVEMENTS TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION. THE PUBLIC IMPROVEMENTS INCLUDE THE WATERMAIN AND ANY MORK WITHIN PUBLIC R.O.W.
- THE WATER DIVISION SHALL BE CONTACTED AT LEAST TWO (2) BUSINESS DAYS PRIOR TO PLANNED CONNECTIONS TO EXISTING WATERWAINS.
- THE CITY OF ST. CHARLES COLLECTS ALL BIOLOGICAL TESTING FOR NEW WATER MAIN CONSTRUCTION. CHLORINATION OF NEW WATER MAIN IS THE RESPONSIBILITY OF THE CONTRACTOR. PLASE CONTACT THE WATER DIVISION TWO BUSINESS DAYS PRIOR TO FLUSHING, PRESSURE TESTING AND CHLORINATION OF NEW WATER MAINS.
- THE CITY OF ST. CHARLES, ILLINOIS SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE AND REJECT THE CONSTRUCTION OF PUBLIC IMPROVEMENTS.

ALL SANITARY SEWER, STORM SEWER AND WATERMAIN WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN LILLINIS, CURRENT EDITION.

SANITARY SEWERS AND WATERMAIN SERVICES SHALL HAVE A MINIMUM OF 5.0 FEET OF COVER AND SHALL BE RUN IN STRAIGHT ALIGNMENT UNLESS SPECIFICALLY SHOWN ON THE

ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.

10. ALL STORM MANHOLE, CATCH BASIN, AND INLET FRAME ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS SET IN A FULL BED OF BUTYL ROPE JOINT SEALANT. NO MORE THAN 8° OF ADJUSTING RINGS WILL BE PERMITED.

11. ALL DRAINAGE STRUCTURES TO HAVE POURED INVERTS CONFORMING TO THE SHAPE OF THE PIPE.

STAINLESS STEEL "NON-SHEAR" OR SIMILAR COUPLINGS SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR MATERIALS.

15. ALL EXISTING FIELD DRAINAGE TILE ENCOUNTERED OR DAMAGED DURING CONSTRUCTION / TO BE RESTORED TO THEIR CRIGINAL CONDITION, PROPERLY REROUTED AND/OR CONNECT TO THE STORM SEMER SYSTEM. ALL LOCATIONS OF ENCOUNTERED FIELD DRAINAGE TILE SHALL BE PROPERLY REFERENCED AND DOCUMENTED FOR INCORPORATION INTO THE RECORD DRAINING.

16. AT THE COMPLETION OF THIS PROJECT, ONE SET OF PLANS (INCLUDING A MYLAR) WITH RECORD MEASUREMENTS IS TO BE SUBMITTED TO THE ENGINEER SHOWING THE LOCATION OF ALL OF THE SERVICES, PIPES, STRUCTURES, GRADING AND UTILITIES.

27. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED UP TO 8" TOTAL ADJUSTMENT) OR RECONSTRUCTED BY THE CONTRACTOR. ADJUSTMENTS OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.

A 19. ALL WATERWARD SHALL BE COMENT WITE DUCTLE BON PIPE CLASS 52 CONFORMING TO MEDIC AT LOCAL SOURCE FROM THE CLASS 52 CONFORMING TO WITE CLASS 52 CONFORMING TO SHEET OF COPE MO A MANAGEM OF SOURCE FROM THE CLASS AND SHALL BE CHASSED IN CHARGE AN EXAMPLE OF SOURCE FROM THE CHARGE MANAGEM OF SOURCE FROM THE CHARGE AND CHARGE THE CHARGE THE

ALL MAIN LINE VALVES UP TO 12" SHALL BE RESILENT SEAT EPOXY COATED WEDGE GATE VALVE TYPE (MUELLER). CA-6 CRUSHED COMPACTED LIMESTONE SHALL BE UTILIZED TO BACKFILL AROUND ALL VALVES AND VALVE BOXES.

20 WATER SERVICES SHALL INCLUDE THE INCESSARY LENGTH OF THE "X" COPPER WATER STORM (INCLUDED THE INCLUDED THE

21. SANITARY SEWER STRUCTURES SHALL BE ASSEMBLED AND ADJUSTED USING BUTYL ROPE
JOINT SEALANT SHOWN ON THE PLANS AND MEETING THE APPROVAL OF THE MUNICIPALITY.

22. SEE DETAIL ON SHEET 16 FOR FIRE HYDRANT SPECIFICATIONS.

ALL WATERWAINS SHALL BE PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH STANDARDS AND PROCEDURES MEETING THE APPROVAL OF THE MUNICIPALITY

∆ 24. GRAHULAR TRENCH BACKFILL SHALL BE USED IN ALL LOCATIONS WHERE THE PROPOSED IN AUGUSTACOMO UTILITY IS TO BE CONSTRUCTED MODER PERMANENT TYPE PARABURISTS SUCH PASS. OR 3.0 PROCEED IN the PROMISER TRENCH BACKFILL SHALL BE CETABLISED IN 100 (2) FEET ON EACH SINGLE OF THE PERMANENT TYPE SURFACE, AS MILASURED AT THE LOWEST PRONT OF THE PAVALENT.

1. POINT OF THE PA

SANITARY SEWER, STORM SEWER, WATERMAIN (CON'T.)

- 28. METS SHOPN IN THE PLANS OF DRECTED BY THE DIMENEE, DOCTION DEMANDED.

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 TO ASSURE INTEGRATOR THE STRUCTURE. THIS WORK MILL BE PAUD FOR AT THE
 OTHER CHARLES AND CONTRACTURE HAS THE CHARLES AND CONTRACTURE AND PROBLEMENT AND THE PAUD FOR AT THE
 OTHER CHARLES AND CONTRACTURE AND CONTRACTOR AT THE PAUD FOR THE
- 26. WHERE DUCTILE IRON PIPE IS INDICATED ON THE PLANS FOR WATERMAIN AND/OR SANITARY SEWER, IT SHALL BE ENCASED IN POLYETHYLENE FILM IN ACCORDANCE WITH AWMA C-105-82.
- 28. ALL PURIO SANTANY SEMBIS TRELVE NONES (12") OR LESS IN DOMETER WILL SE AN TISSED BY THE DOCULOPER, AT HIS DEPOSE, UNder THE SPERMSON OF THE WHINDERS OF HIS AUTHORIZED REPOSENTATION. OR COPY OF HIS EPOST SHAULD BE FORWARDD TO THE MINISTRANDAL DIAMESET, AN INFILIPATION TEST WILL SE AUTHORIZED FROM THE POST ALL TESTS WILL SE DOCUMENT OF THE POST ALL TESTS WILL SE DOCUMENT OF THE POST ALL TESTS WILL SE DOCUMENT OF THE STROMAND SECONDATIONS FOR WATER AND SEMEN MAIN CONSTRUCTION IN LLINOS' CURRENT DITTON.
- CONNECTION TO EXISTING STORM SEWER STRUCTURES SHALL BE DONE BY CORING THE CONCRETE BARREL SECTION.

- 32. ALL SANITARY SEWER SHALL BE TESTED IN ACCORDANCE WITH SECTION 31-1.11 OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS". IN ADDITION ALL MANNOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH ASTM-1244-93.

PROTECTION OF WATERMAIN AND WATER SERVICE LINES

WATERMAINS AND WATER SERVICE LINES SHALL BE PROTECTED FROM SANITARY SEWERS, STORM SEWERS, COMBINED SEWERS, HOUSE SEWER SERVICE CONNECTIONS AND DRAINS AS FOLLOWS:

HORIZONTAL SEPARATION:

- WATERMAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER OR SEWER SERVICE CONNECTION.
- b. WATERMAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN:
- I. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET;
- II. WATERMAIN INVERT IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND
- III. ATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
- . BOTH THE WATERMAN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SUP-ON OR MECHANICAL JOINT DUCTLE IRON PIPE, PRESTRESSED CONCRETE PIPE OR PVC PIPE WEETING WATERMAN STANDAGES WHEN IT IS IN PROSSBEET ON MEET (A) OR (B) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXMUM EXPECTED SURFOUNDER DECEMBER DATE ON THE MAXMUM STREET OF THE MAXMUM STREET OF THE WATER OF THE MAXMUM STREET OF THE MAXMUM STREET OF THE WATER OF THE WA

2. VERTICAL SEPARATION:

- O. ANTIGOMAN SHALL BE LAU SO THAT ITS AVERT S. 19 MERG MOVIE THE CONTROL OF THE WORLD OF SERVEN WHICH THE MATERIANS CROSS STORM SIGNER, SANITARY SEMES OR SERVE SERVICE COMMECTIONS. THE VERTICAL SEPARATION SHALL BE MAYINDED FOR THAT POPOTRO OF THE METERIANS LOCATION WHITH TEXT SHALL BE CONTROL OF THE SEWER TO BE CONTROL OF THE TEXT FIFT SHALL BE CONTROL OVER THE SEWER TO BE CROSSED WITH JOINT COURSTANT FROM THE SEWER OR PRAIN.
- EDUCIÓN INTERMINENTE SEREN DE LIGIDAD.

 THE DRAIN DE SEREN SHALL ES CONSTRUCTED OF SUP-ON OR MECHANICA, JOHN TO MAN THE SEREN SHALL SECRETARIA DE LIGIDAD. AND THE SERVEN SHALL ES ELECTRO WIN STELL PRES DE COSSERE ELSTED, ON THE DRAIN OR MAN THE SERVEN SHALL ES ELECTRO WIN STELL EN PER DE COSSERE ELSTED, ON THE DRAIN OR MAN THE SERVEN SHALL ES ELECTRO WIN STELL PRES DE COSTO DE CONSTRUCTION DE SERVEN SHALL SERVEN SHALL PRES DE CONTROL DE L'ANDICATION DE L'AND
- I. IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (A) AROVE: OR II. WATERMAIN PASSES UNDER A SEWER, SEWER SERVICE OR DRAIN.

DESCRIPTION

SANITARY SEWER, STORM SEWER, WATERMAIN (CON'T.)

- A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEMER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MANITAINED WERE A WATERMAIN OROSSES UNDER A SEMER, SEMER SERVICE OR DRAIN. SUPPORT THE SEMER OR DRAIN LINES TO PREVENT SETTLING AND BEACHING THE WATERMAIN.
- d. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.
- e. WHENEVER WATERMAIN QUALITY PVC SDR 26 PIPE IS REQUIRED, THE PIPE SHALL CONFORM TO ASTM D-2241 WITH JOINTS CONFORMING TO ASTM D-1139 FOR A MINIMUM OF 10 FEET EITHER SIDE OF THE CROSSING.

B. WATER SERVICE LINES:

- THE HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATER SERVICE LINES AND ALL STORM SEWERS, SANITARY SEWER, COMBINED SEWERS OR ANY DRAIN OR SEWER SERVICE CONNECTION SHALL BE THE SAME AS WATER MAIN SEPARATION DESCRIBED IN
- WATER PIPE DESCRIBED IN (A) ABOVE SHALL BE USED FOR SEWER SERVICE LINES WHEN MINIMUM HORIZONTAL AND VERTICAL SEPARATION CANNOT BE MAINTAINED.
- C. SPECIAL, CONDITIONS ALTERNATE SOLUTIONS SHALL BE PRESENTED TO THE AGENCY WHE EXTREME TOPOGRAPICAL, GIOLOGICAL OR EXSTRACT SHOULDER, CONDITIONS MAKE STRICT COMPUNE WITH (A PAGE) MODIT TERRORIZATION CONDITIONS MAKE STRICT COMPUNE WITH (A) AND (S) MODIT TERRORIZATION CONDITIONS MAKE STRICT COMPUNE WITH (A) AND CONSTRUCTION STRUCTURALLY EQUIVALENT TO APPROVED WATERMAN MATERIAL IS PROCVISED.
- D. WATERMAINS SHALL BE SEPARATED FROM SEPTIC TANKS, DISPOSAL FIELDS AND SEEPAGE BEDS BY A MINIMUM OF 25 FEET.
- E. WATERMAINS AND WATER SERVICE LINES SHALL BE PROTECTED AGAINST ENTRANCE OF HYDROCARBONS THROUGH DIFFUSION THROUGH ANY MATERIAL USED IN CONSTRUCTION OF THE LINE.
- AT A CHRISTIT CLOR VICCO RECORD AND THE WRITTEN TRANSCRIPTION OF THE INTERMAL OF SHEAR AND ADMINISTRATION OF THE WEST CONSTRUCTED CRIME TO THE WAS A SHAPE OF THE WORLD COMMENT. AND ADMINISTRATION OF THE WEST CONTRACTOR WHAT FOR THE WORLD CHRISTIAN AND ADMINISTRATION OF THE WORLD COMMENT ON ADMINISTRATION WHEN THE PROPOSED SANITARY SHEET SYSTEM AS TO CONNECT ON AD DESTROS SANITARY SHEET SYSTEM AS TO CONNECT ON ADDISTROS SANITARY SHEET SYSTEM AS TO CONNECT ON ADDISTRUCTURE SHEET SHEET

SANITARY SEWER PIPE SPECIFICATIONS

A. WATER AND SEWER REGULATIONS

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PREPARED FOR: STONEWOOD PROPERTIES AND DEVELOPMENT, LLC 926 SUNSET ROAD GENEVA, ILLINOIS 60134 (630) 262-3844



PREPARED BY CEMCON, Ltd Consulting Engineers, Land Surveyors & 2280 White Oak Circle, Suite 100 Aurora, Illinois 60502-9675 Ph: 630.862.2100 Fax: 630.862.2199 -Mail: cadd@cemcon.com Website: www.cemcon.com

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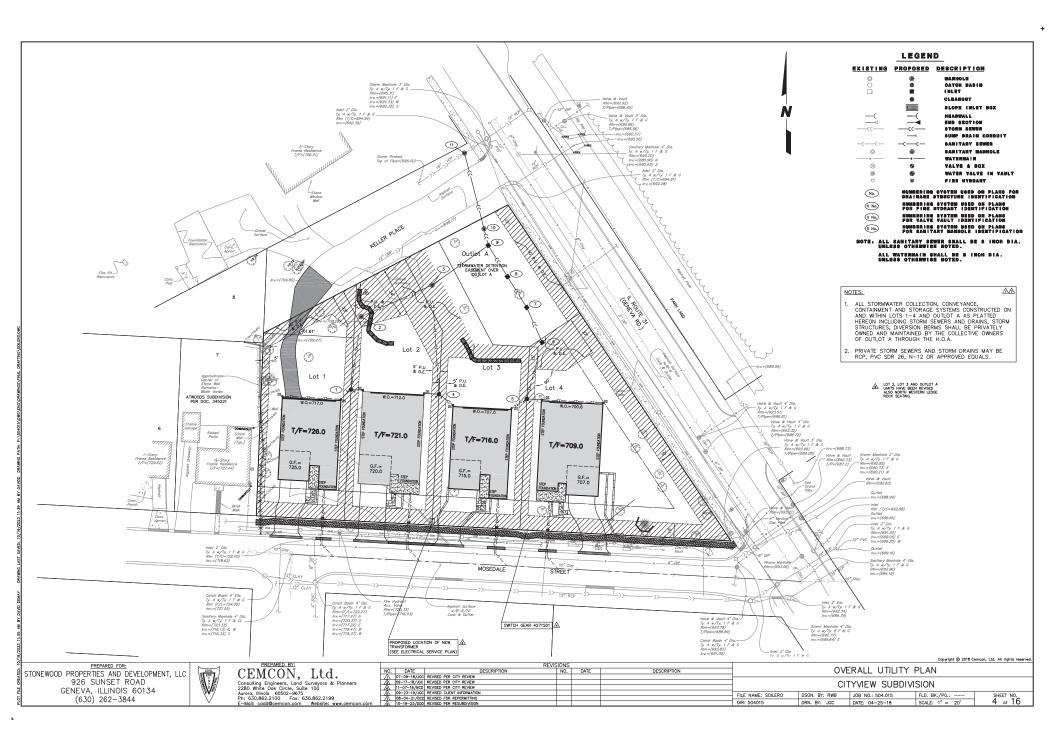
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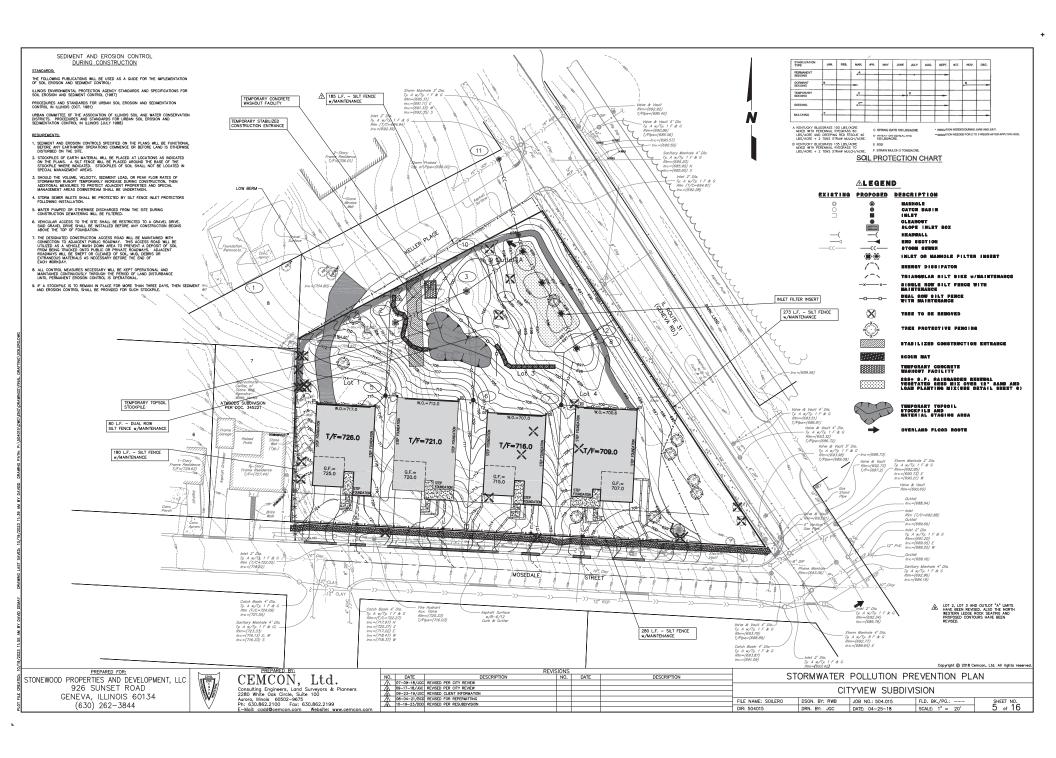
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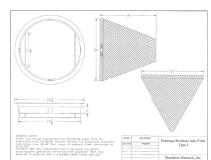
CONSTRUCTION SPECIFICATIONS - GENERAL NOTES

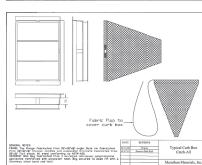
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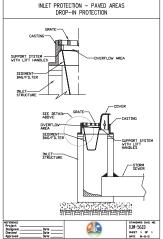


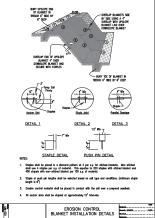


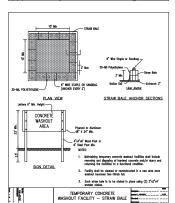


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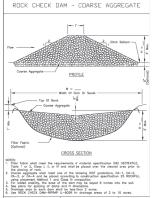
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PLAN SILT FENCE-10' MIN. A P ELEVATION TO EXTEND FULL WIDTH OF ENTRANCE SECTION A-A NOTES:

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STABILIZED CONSTRUCTION ENTRANCE DETAIL



♦ NRCS

Suggested Maintenance Catch-All Inlet Protector

GUIDELINES FOR CONSTRUCTION SITES

- Replace the bag if it has a hole in it
 Replace the bag if it appears clean but won't pass water

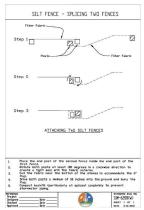
- GUIDELINES FOR PARKING IOTS & MAINTENANCE YARDS



FABRIC ANCHOR DETAIL

6.





PREPARED FOR: STONEWOOD PROPERTIES AND DEVELOPMENT, LLC 926 SUNSET ROAD GENEVA, ILLINOIS 60134 (630) 262-3844



PREPARED BY: CEMCON, Ltd. Consulting Engineers, Land Surveyors & Planners 2280 White Oak Circle, Suite 100 Aurora, Illinois 60502–9675 Ph: 630.862.2100 Fax: 630.862.2199 -Mail: cadd@cemcon.com Website: www.cemcon.co

REVISIONS NO. DATE NO. DATE

\[\lambda \quad 07-09-18/JOC \quad revised per city review \]

\[\lambda \quad 08-13-18/JOC \quad revised per city review \]
\[\lambda \quad 09-23-19/JOC \quad revised client information \] DESCRIPTION

Copyright @ 2018 Cemcon, Ltd. All rights reserve STORMWATER POLLUTION PREVENTION DETAILS CITYVIEW SUBDIVISION DSGN. BY: RWB JOB NO.: 504.015
DRN. BY: JGC DATE: 04-25-18 FILE NAME: SOILERO FLD. BK./PG. SHEET NO. 6 of 16 SCALE: 1" =

THE PERMITE MUST COMPLY WITH ALL CONDITIONS OF THE GENERAL PERMIT ANY PERMIT AND COMPULANCE CONSTITUTES A VOCATION OF THE ILLINOSS OFFICIAL PROPERTY OF THE PERMIT PERMIT

ALL EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY WORK COMMENCING.

NO STOCKPILES ARE ALLOWED WITHIN THE LIMITS OF FLOODPLAIN, WETLANDS AND BUFFER AREAS.

A. THE FOLLOWING IS A DESCRIPTION OF THE CONSTRUCTION ACTIVITY WHICH IS THE SUBJECT OF THIS PLAN:

THE CONSTRUCTION OF SITE INFRASTRUCTURE IMPROVEMENTS TO SERVE AS A RESIDENTIAL SUBDIVISION, INCLUDING GRADING OF THE STEET, STORM SEWERS AND SERVICES, SWATERY TEXTED SERVED SERVED AND SERVED SERVED

B. THE FOLLOWING IS A DESCRIPTION OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTIONS OF THE CONSTRUCTION SITE:

- (1.) EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SUCH AS SILT FENCE, TRANGULAR SILT DIKES, INLET FILTER INSERTS. (2.) STORM SEVER INSTALLATIONS AND APPUITENANCES. (3.) EXCAVATION AND REMOVAL OF EXCESS TRENCH SPOIL. (4.) TOPSIOL PLACEMENT, FINE GRAZIONS AND VECETATIVE RESTORATION.

C. THE TOTAL AREA OF THE PROJECT IS ESTIMATED TO BE APPROXIMATELY 1.05± ACRES. THE TOTAL AREA OF THE PROJECT ESTIMATED TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES IS APPROXIMATELY 1.0± ACRES.

D. THE ESTIMATED RUNOFF CURVE NUMBER OF THE PROJECT SITE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED IS 83.0. INFORMATION DESCRIBING THE SOILS AT THE SITE IS CONTAINED IN THE SOILS REPORTS FOR THE PROJECT ON FILE WITH THE OWNER/DEVELOPER

E. THESE PLAN DOCUMENTS CONTAIN SITE MAP(S) INDICATING DRAIMAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES, AREAS OF MAJOR SOIL DISTURBANCE, THE LOCATION OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLAND), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER.

A.F. THE IMMEDIATE RECEIVING WATER IS THE FOX RIVER.

2 CONTROLS

THIS SECTION OF THE PLAN ADDRESSES THE VARIOUS CONTROLS THAT WILL BE IMPLEMENTED FOR EACH OF THE MAJOR CONSTRUCTION ACTIVITIES CONTRACTORS AND SUB-CONTRACTORS AND SUB-CONTRACTOR WILL BE RESPONSIBLE FOR ITS IMPLEMENTATION AS INDICATED. EACH SUCH CONTRACTOR OR SUB-CONTRACTOR MUST SIGN THE REQUIRED CERTIFICATION ON THIS PLAN.

A. EROSION AND SEDIMENT CONTROLS.

THE PERMITTEE SHALL DESIGN, INSTALL AND MAINTAIN EFFECTIVE EROSION CONTROLS AND SEDIMENT CONTROLS TO MINIMIZE THE DISCHARGE OF POLLUTIANTS. AT A MINIMUM, SUCH CONTROLS MUST BE DESIGNED, INSTALLED AND MAINTAINED TO:

(i) CONTROL STORMWATER VOLUME AND VELOCITY WITHIN THE SITE TO MINIMIZE SOIL EROSION:

(II) CONTROL STORMWATER DISCHARGES, INCLUDING BOTH PEAK FLOWRATES AND TOTAL STORM WATER VOLUME, TO MINIMIZE EROSION AT OUTLETS AND TO MINIMIZE DEPOSION AT OUTLETS AND TO MINIMIZE DEPOSITATION CHANNEL AND STREAMBANK EROSION.

(III) MINIMIZE THE AMOUNT OF SOIL EXPOSED DURING CONSTRUCTION ACTIVITY:

(iv) MINIMIZE THE DISTURBANCE OF STEEP SLOPES; (v) MINIMIZE SEDMENT DISCHARGES FROM THE SITE. THE DESIGN, INSTALLATION AND MAINTENANCE OF EROSON AND SEDMENT CONTROLS MIST ADDRESS PROPERTY OF THE STATE OF THE

(vi) PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS, DIRECT STORM WATER TO MEGTATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILITATION, UNLESS INFEASIBLE; AND

(vII) MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.

B. STABILIZATION PRACTICES.

THE STORMINED POLITION PROPERTIES IN SHALL NICLIDE A DESCRIPTION OF BITTEM AND PERMANENT STABILIZATION PRACTICES, INCLUDING PROPERTIES AND PERMANENT STABILIZATION PRACTICES, SINCLUDING THE PRACTICES SITE PRACTICES AND PROPERTIES AND PROPERTIES SITE PRACTICES AND PROPERTIES AND PROPERTIES AND PROPERTIES SITE PRACTICES AND PROPERTIES AND PROPERTIES AND STABILIZATION, VICE TAINER BUFFER SEEDING, BEHAVIOR, GOLDETILES, SOD STABILIZATION, VICE TAINER BUFFER SEEDING, BUFFER SEEDI

(1) WHERE THE INITIATION OF STABILIZATION MEASURES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.

(II) ON AREAS WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED AND WILL RESUME AFTER 14 DAYS, A TEMPORARY STABILIZATION METHOD CAN BE USED. TEMPORARY STABILIZATION TECHNIQUES AND MATERIALS SHALL BE DESCRIBED IN THE SWIPPP.

THE FOLLOWING INTERIM AND PERMANENT STABILIZATION PRACTICES, AS A MINIMUM, WILL BE IMPLEMENTED TO STABILIZE THE DISTURBED AREA OF THE SITE:*

RIP-RAP EROSION CONTROL BLANKET VMAX SC-250 TURF REINFORCEMENT MAT

(1). STRUCTURAL PRACTICES. PROVIDED BELOW IS A DESCRIPTION OF STRUCTURAL PRACTICES THAT WILL BE WHILEMSTED, TO THE DECREE OTHERWISE LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE. THE INSTALLATION OF THESE DEWICES MAY BE SUBJECT TO SECTION 409 OF THE CLEAN WATER ACT. *

INLET PROTECTORS

SILT FENCE STABILIZED CONSTRUCTION ENTRANCE

(2.) BEST MANAGEMENT PRACTICES. PROVIDED BELOW IS A DESCRIPTION OF THE BEST MANAGEMENT PRACTICES THAT WILL BE IMPLEMENTED, TO THE DEGREE ATTANABLE, TO REDUCE SUSPENDED SOLIDS, TURBBITY, SUTATION, AND POLLUTION IN STORWANTER RUNGEF. THE INSTALLATION OF THESE DEVICES MAY DE SUBJECT TO SECTION 404 OF THE CLEAN WANTER ACT. *

STORNWAITER MANAGEMENT FACILITIES WITH PERMANENT POOL AND VICETATED WETLAND PLANTINGS VICETATED WETLAND PLANTINGS VICETATED SWARDS WEST PRAIRE UPPER SLOPE PLANTINGS WET PRAIRE LOWER SLOPE PLANTINGS SHALLOW MARSH BASIN BOTTOM PLANTINGS LANDSCAPED BUFFERS

C. STORMWATER MANAGEMENT

PROVIDED BELOW IS A DESCRIPTION OF MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORMWATER DISCHARGE THAT WILL OCCUR AFER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT.

(1.) THE PRACTICES SELECTED FOR IMPLEMENTATION WERE DETERMINED ON THE BASIS OF THE TECHNICAL QUIDANCE IN SECTION 10-300 (DESIGN CONSIDERATIONS) IN CHAPTER 10 (EROSION AND SEDIMENTATION CONTROL) OF THE ILLINO'S DEPARTMENT OF TRANSPORTATION DEARNAGE MANUAL AND THE NRCS LILINO'S URBAN MANUAL (ANUARY 2002 VERSION).

(2.) VELOCITY DISSPATION DEVICES MIL. BE PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL AS STRICKINE TO A WHITE COLUMN STRICKINE AND SHICKING AS MAINTAINCE AND HOT A STRICKING AND HOT AND HOT

STORMWATER MANAGEMENT CONTROL INCLUDES: *

STORM WATER DETENTION STRUCTURES WITH PERMANENT WET BASINS STORM WATER RETENTION STRUCTURES AND NATURAL DEPRESSIONS OF STRUCTURES AND NATURAL DEPRESSIONS OF STRUCTURE AND ASSESSED OF SEQUENTAL STORMWATER TREATMENT OF PROPEN VEHICLETED SWALES

(i) MASTE IDEADA. THE SOLID WASTE MATERIALS INCLUDING TRACH, CONSTRUCTION DEBRIS EXCESS CONSTRUCTION MATERIALS, MACHINERY, CONSTRUCTION MATERIALS, MACHINERY, DICES AND OTHER TIESM WILL BE COLLEGED AND DESPOSED OFF-SITE BY DIE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE TO ACQUIRE MATERIALS, MACHINERY DEPORTUNITION OF MATERIALS, MACHINERY DEPORTUNITION, SOLID MATERIALS, SHALL NOT BE DISCLARED NTO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERIAL SHALL NOT BE DISCLARED INTO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 400 PETROL TO MATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION AS

(2.) THE PROVISIONS OF THIS PLAN SHALL ENSURE AND DEMONSTRATE COMPLIANCE WITH APPLICABLE STATE AND/OR LOCAL WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS.

E. APPROVED STATE OR LOCAL PLANS

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THE MANAGEMENT PRACTICES, CONTROLS AND PROVISIONS CONTAINED IN
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*REFER TO LISTED PLAN SHEETS FOR SPECIFIC MATERIALS AND CONSTRUCTION DETAILS

PLAN SHEET NAMES:
COMSTRUCTION SPECIFICATIONS
CONSTRUCTION SPECIFICATIONS
OVERALL SOIL (EROSION, SEDIMENTATION PLAN
OVERALL SOIL (EROSION, SEDIMENTATION CONTROL PLAN AND DETAILS
DRANMAGE AND GRADING PLANS
PRANMAGE STRUCTURE DETAILS

THE FOLLOWING IS A DESCRIPTION OF PROCEDURES THAT WILL BE USED TO MAINTAIN IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS FLAN.

A. STABILIZED CONSTRUCTION ENTRANCE: THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OF SEDMENT ONTO PUBLIC STREETS. THIS WILL BE DONE BY WASHION THE ASPHALT ENTRANCE. THE SEDMENT WASHED ONTO THE PUBLIC RIGHT—OF—WAY SHALL BE REMOVED IMMEDIATELY.

B. VEGETATIVE EROSION CONTROL MEASURES: THE VEGETATIVE GROWTH OF TEMPORARY AND PERMANENT SEEDING, SODDING, VEGETATIVE CHANNELS, VEGETATIVE (THER, ETC. SHALL BE MAINTAIND PERIODICALLY AND SUPPLY ADEQUATE WATERING AND FERTILIZER. THE VEGETATIVE COVER SHALL BE REMOVED AND RESECTED AS NECESSARY.

C. SILT FILTER FENCE: THE DAMAGED SILT FILTER FENCE SHALL BE INSTALLED, MAINTAINED, RESTORED, OR REPLACED TO MEET THE STANDARDS INCLUDED HEREIN.

D. INLET OR MANHOLE PROTECTORS: THE INLET PROTECTORS OR COIR LOG SILT BARRIERS AT HIGH CAPACITY GRATES SHALL BE INSPECTED FREQUENTLY AND SHALL BE REPAIRED OR REMOVED AND REPLACED AS NEEDED.

THE OWNER OR ITS DESIGNATED REPRESENTATIVE SMALL PROVIDE QUALIFIED PRISONAL. TO INSPECT INSTRUMED AREAS OF THE CONSTRUCTIVE STEP VIOLENCE OF THE CONSTRUCTIVE STEP VIOLENCE OF THE CONSTRUCTIVE STEP VIOLENCE OWNERS OF THE STEP VIOLENCE OWNERS OF THE STEP SUCH INSPECTIONS SMALL BE CONDUCTED AT LEAST DIOCE EVERY SVENT (7) CALIDIAND DAYS AND WITHOUT AND HOT THE OWNERS OF THE DID OF A STORM THAT IS ON SMORTS OF REALTH OF THE OWNERS OF THE DID OF A STORM THAT IS

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E BISSO ON THE RESULTS OF THE WISPCTION, THE DESCRIPTION OF POTENTIAL POWERTH SOURCES INSTITUTED IN SECTION 2 ABOVE SHALL BE POLITION PREVENTION MEASURES DENTIFIED IN SECTION 2 ABOVE SHALL BE ENWEST DAS AFFORMERS AS SON AS PRACTICABLE AFTER SUIN INSECTION. ANY CHANGES TO THIS FAME RESULTING FROM THE REQUIRED THE POWER SOURCES OF THE POWER SOURCES OF THE POWER SOURCES OF THE RESULTING THE INSECTION. LEE MAYELIBRITE WHITH 7 FALIENCE DAYS FOLLOWING.

C. A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OSSERVATIONS RELATION TO THE IMPEDIENTATION OF THIS STORMWATER POLLUTION PREVENTION PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH SECTION 14.8 SHALL BE MADE AND RETAINED AS PART OF ACCORDANCE WITH SECTION 4.6 STALL BE MADE AND RETAINED AS PART OF THE PLAN FOR AT LEAST THREE (3) YEARS AFTER THE DATE OF THE INSPECTION. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART VI. G. OF THE GENERAL PERMIT

D. F. ANY WIGATION OF THE PROVISIONS OF THIS PLAN IS IDENTIFIED DURING PROVISION OF THIS PLAN IS IDENTIFIED DURING PROVISION TO THIS PROVISION OF THIS PLAN IS IDENTIFIED TO THE PROPERTY OF THE DESTRUCTION OF THE AN INCORPORATION OF THE PROVISION OF THE THINGS ENVIRONMENTAL PROTECTION ACCOUNTY AND ANAL INCLUDE STORTION FOR THE PROVISION OF THE P

ILLINOIS ENVIRONMENTAL PROTECTION AGENCY DIVISION OF WATER POLLUTION CONTROL ATTN: COMPLIANCE ASSURANCE SECTION 1021 NORTH GRAND EAST POST OFFICE BOX 19276 SPRINGFIELD, LLINOIS 62794—9276

5. NON-STORMWATER DISCHARGES

EXCEPT FOR FLOWS FROM FIRE FIGHTING ACTIVITIES, SOURCES OF NON-STORMWATER THAT MAY BE COMBINED WITH STORMWATER DISCHARGES ASSOCIATED WITH THE INDUSTRIAL ACTIVITY ADDRESSED IN THIS PLAN, ARE DESCRIBED BELOW:

- WATERMAIN FLUSHING
 FIRE HYDRANT FLUSHING
 WATERMA FOR PUST CONTROL
 WATERMA FOR PUST CONTROL
 WATERMA FOR PUST CONTROL
 WATERMAN FOR PUSCHATIVE GROWTH FOR SEEDING, ETC.

THE POLLUTION PREVENTION MEASURES AS DESCRIBED BELOW, WILL BE IMPLEMENTED FOR NON-STORMWATER COMPONENTS OF THE DISCHARGE:

THE FIRE HYDRANT AND WATERMAIN SHALL NOT BE FLUSHED DIRECTLY ON THE EXPOSED AREA OR SUBGRADE OF THE PAVEMENT. HOSES SHALL BE USED TO DIRECT THE FLOW INTO THE STORM SEWER SYSTEM, IF AVAILABLE.

THE EROSION DUE TO IRRIGATION OF SEEDING AND DUST CONTROL, SHALL BE COLLECTED AND RE-SPREAD CNSTE. TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE IMPLEMENTED AS NECESSARY TO CONTROL FUTURE EROSION FROM AREAS PREVIOUSLY ERODED DUE TO IRRIGATION OF SEEDING AND DUST CONTROL.

ALL SITE DE-WATERING, INCLUDING PUMP DISCHARGE, MUST PASS THROUGH THE PROPER STRUCTURAL PRE-SEDIMENTATION BASINS OR EQUAL STRUCTURAL CONTROLS BEFORE LEAVING THE SITE.

THE PERMITEE SHALL MAKE PLANS AVAILABLE UPON REQUEST FROM THE

THE IEPA MAY NOTIFY THE PERMITEE AT ANY TIME THAT THE PLAN DOES NOT MEET ONE OR MORE OF THE MINIMUM REQUIREMENTS OF PART IN CORNER OF THE MINIMUM REQUIREMENTS OF PART IN CORNER OF THE PERMIT WHICH ARE NOT BEING MET BY THE PLAN, AND IEDNITY WHICH PROVISIONS OF THE PLAN REQUIRES MODIFICATIONS IN ORDET OR MET THE MINIMUM REQUIREMENTS OF PART IN, OF THE CENERAL PERMIT. TO MEET THE WINNIUM REQUIREMENTS OF PART IV. OF THE GENERAL PERMIT. WITHIN SEVEN TO') DAY'S FROM THE RECEIPT OF THE NOTIFICATION FROM THE IEPA, THE PERMITEE SHALL MAKE THE REQUIRED CHANGES TO THE PLAN AND SHALL SUBMIT TO THE IEPA A WRITTEN CERTIFICATION THAT THE REQUIRED CHANGES HAVE BEEN MADE. FAILURE TO COMPLY SHALL TERMINATE CHANGES HAVE BEEN MADE. FAILURE TO COMPLY SHALL TERMINATE

7. AMENDMENTS

7. AMERICANISTS
17. AMERICANISTS
18. THE FERMITE SHALL AMEND THE PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WIGHT HAS SOMEWART PETER OF THE DESIGNATION OF CONTROL OF THE PETER OF THE DESIGNATION OF COULTIANTS SOMEWART PETER OF THE PLAN PROVISE TO BE INSTFECTIVE IN ELIMINATION OF SOMEWARTH OF MOST PLAN PROVISE TO BE INSTFECTIVE IN ELIMINATION OF SOMEWARTH HAS DESIGNATED HAD SOMEWARTH AND PLAN PROVIDED THE SOURCES OBSTREED UNDER Z. (CONTROLS) AMENDE OF CLUST AND THE SOURCES OBSTREED UNDER Z. (CONTROLS) AMENDE OF CLUST PLAN PROVIDENT AND ADMINISTRATION OF THE PLAN PROVIDENT OF THE PLAN PROVIDE

8. RECORDS

THE PERMITE SHALL RETAIN COPIES OF THE PLAN AND ALL REPORTS AND NOTICES REQUIRED BY THE GONEPAL PERMIT, AND RECORDS OF ALL DATA CONTRACT OF THE CONTRACT OF THE CONTRACT OF THE CONTRACT OF THE TEACH OF A THE CONTRACT OF THE CONTRACT OF THE TEACH STORM THE DATE OF THE STRINGLY STABILIZED. THE PERIOD MAY BE EXTENDED BY THE REQUEST OF THE LEPA AT NAY THE.

THE PERMITEE SHALL RETAIN A COPY OF THE PLAN REQUIRED BY THE GENERAL PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF THE PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

THIS PLAN REQUIRES IDENTIFICATION FOR EACH MEASURE IN THE PLAN, THE CONTRACTOR(S) OR SUBCONTRACTOR(S) THAT WILL IMPLEMENT THE IDENTIFIED MEASURE:

PHONE: ____ MEASURES IMPLEMENTED: ____ SUB-CONTRACTOR(S): ___ PHONE: ___ MEASURES IMPLEMENTED: PHONE: MEASURES IMPLEMENTED: ___

ALL CONTRACTORS AND SUB-CONTRACTORS IDENTIFIED ABOVE SHALL SIGN THE FOLLOWING CERTIFICATION STATEMENT BEFORE CONDUCTING ANY PROFESSIONAL SERVICE AT THE IDENTIFIES SITE. SIGNATURES SHALL BE PROVIDED BY A RESPONSIBLE CORPORATE OFFICER:

CERTIFICATION STATEMENT: I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLUTIANT DISCHARGE SHAWARDS ASSESSION THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH MOUSTRIAL, ACTIVITY FROM THE CONSTRUCTION STEE IDENTIFIED AS PART OF

THIS CERTIFICATION.	
CONTRACTOR:	TE:
SIGNATURE: DA	TE:
SUB-CONTRACTOR: DA'	TE:
SUB-CONTRACTOR: DA'	TE:
SUB-CONTRACTOR: DA'	TE:

MAINTENANCE SCHEDULE

ALL SEDIMENT BASINS TO BE INSPECTED REGULARLY AND SEDIMENT PLUMES TO BE REMOVED ON AN AS NEEDED BASIS AND AT PROJECT CLOSE OUT.

SIDE SLOPES OF THE BASINS TO BE INSPECTED REGULARLY AND ANY GULLY OR OTHER EROSION TO BE REPAIRED ON AN AS NEEDED BASIS. SCOUR PROTECTION AT THE FLARED END SECTIONS SHALL BE INSPECTED REGULARLY AND REPAIRED AS NECESSARY.

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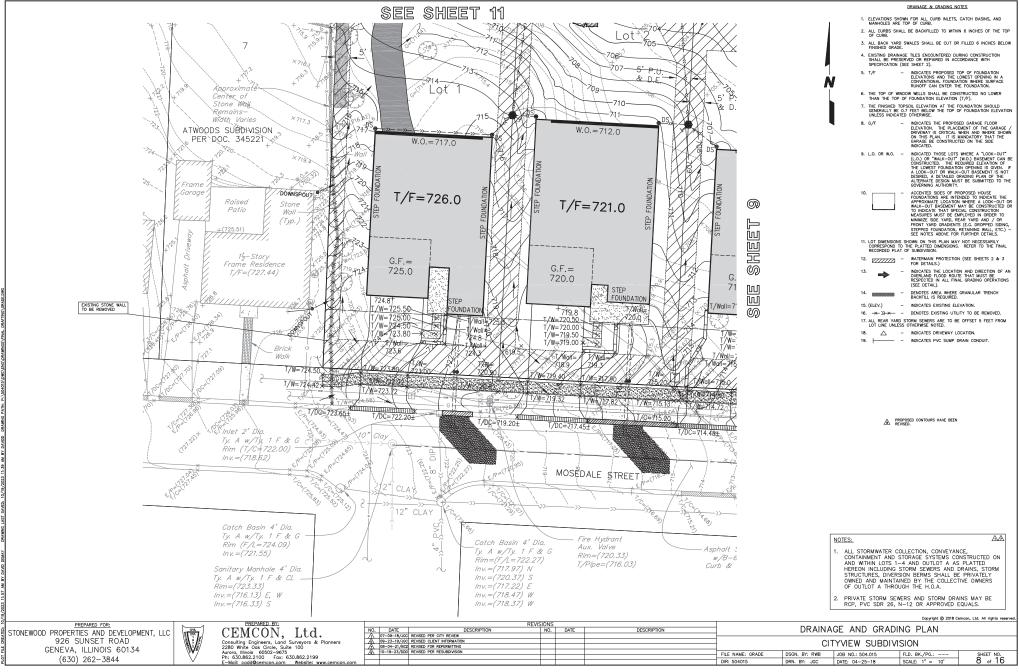
STONEWOOD PROPERTIES AND DEVELOPMENT, LLC 926 SUNSET ROAD GENEVA, ILLINOIS 60134 (630) 262-3844

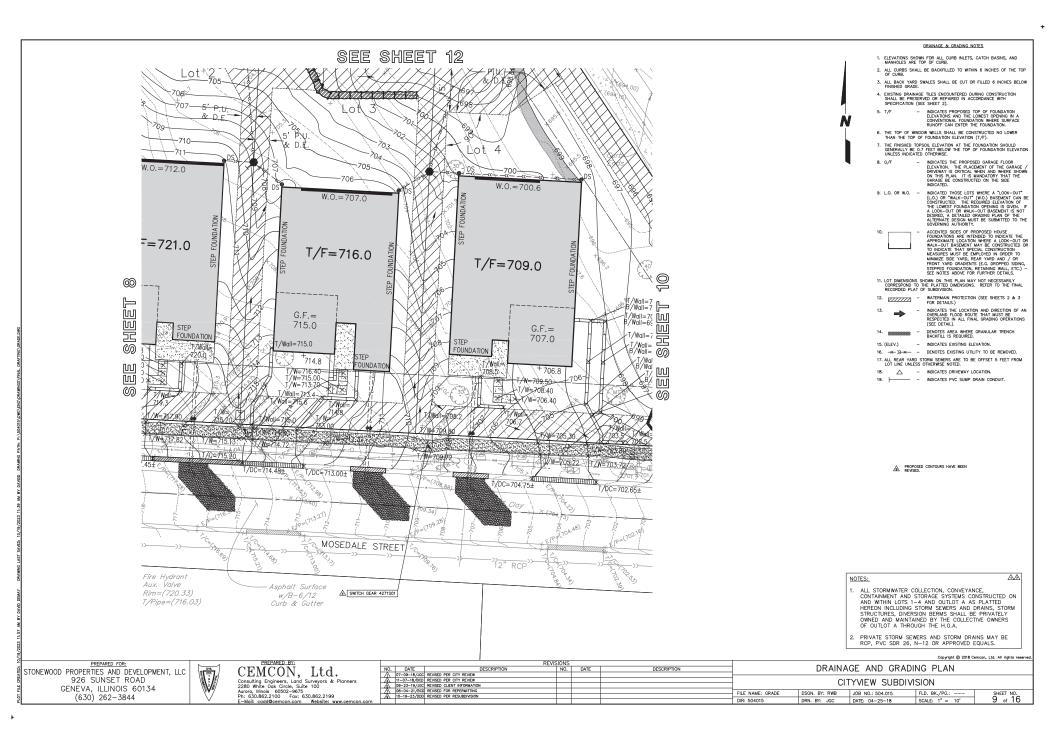


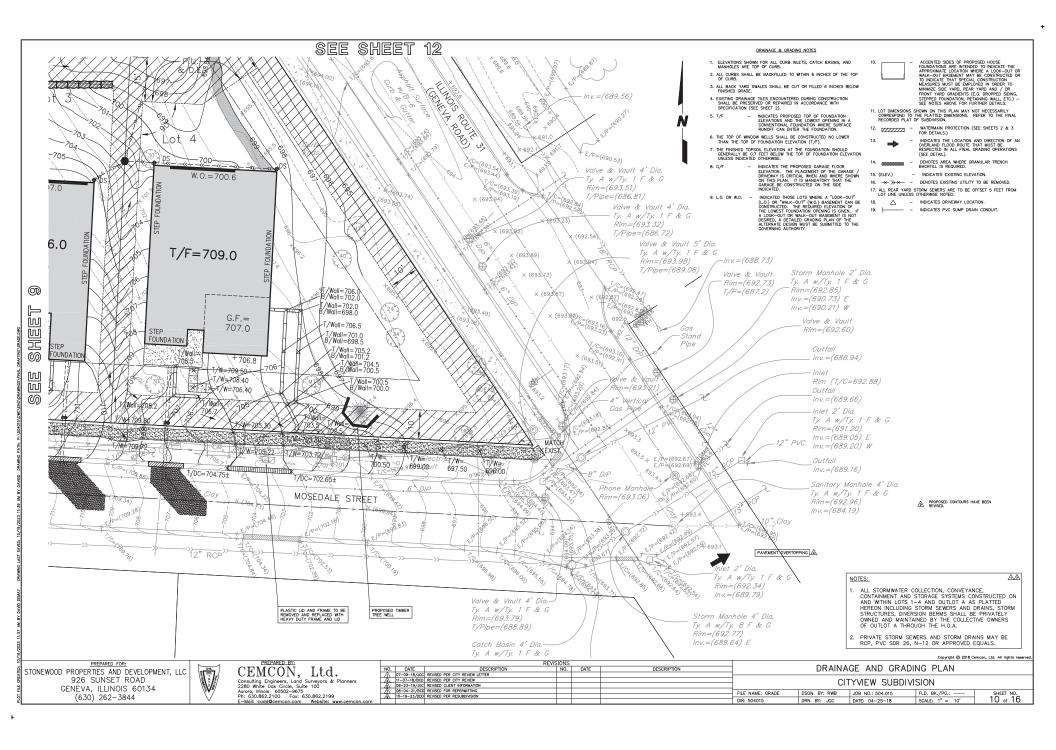
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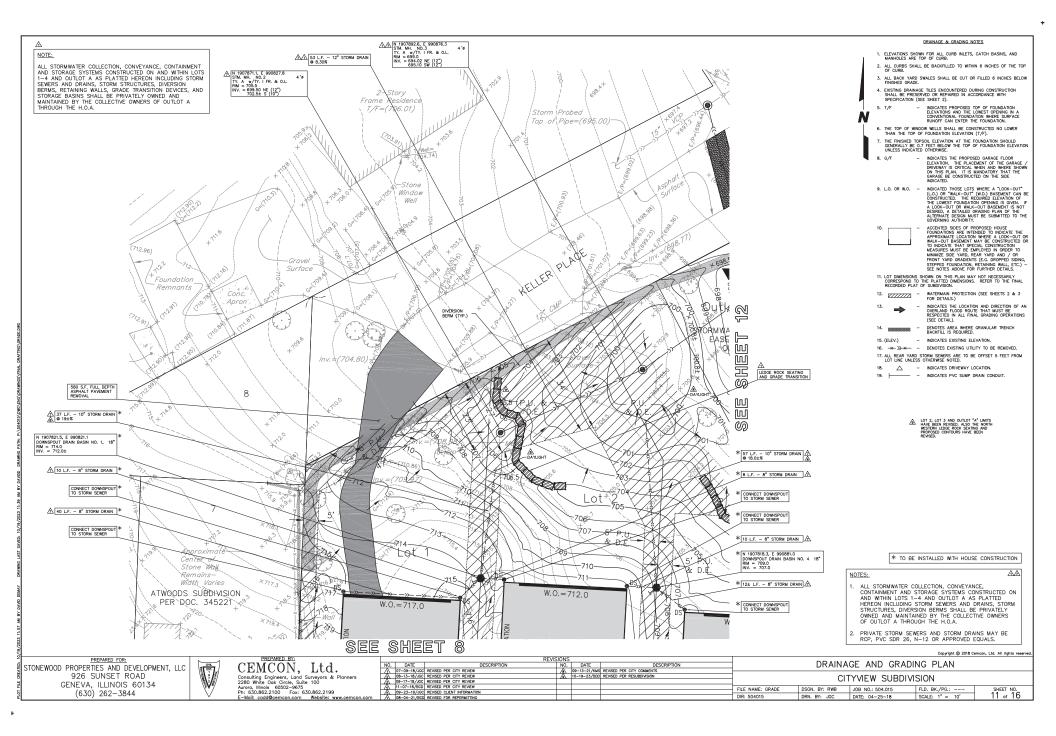
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners 2280 White Oak Circle, Suite 100
Aurora, Illinois 60502-9675
Ph: 630.862.2100 Fax: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com

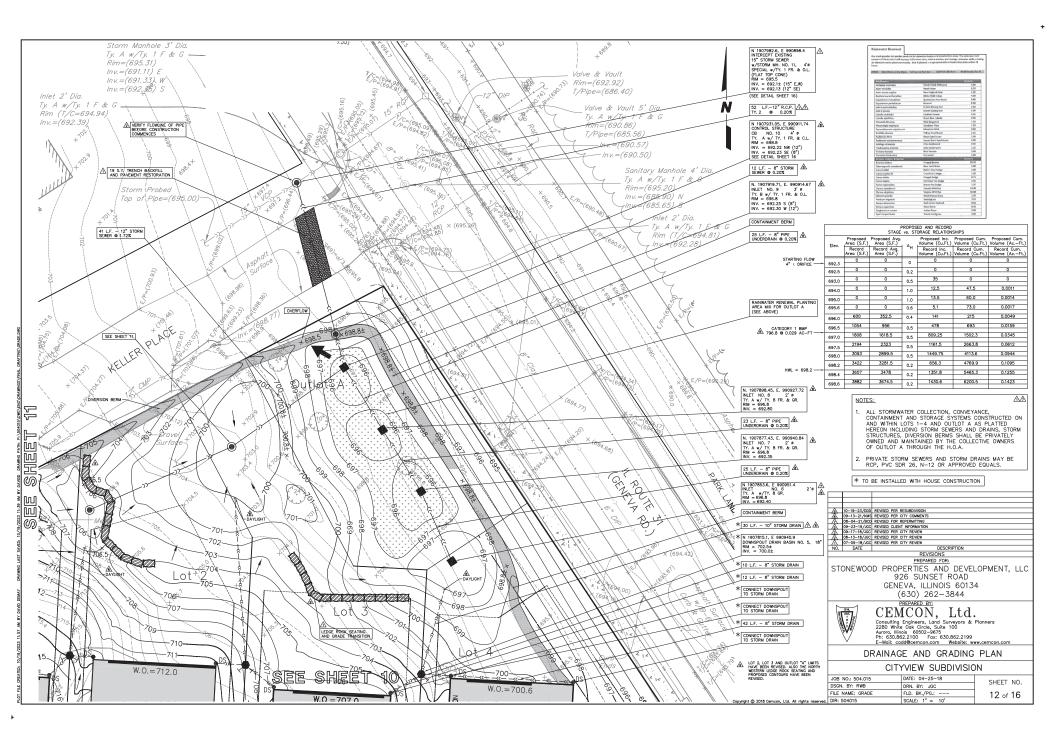
REVISIONS					CTODAWATED DOLLATION DDESCRIPTION NOTES					
[NO. DATE	DESCRIPTION	NO.	DATE	DESCRIPTION	STORMWATER POLLUTION PREVENTION NOTES				
	6 09-23-19	JGC REVISED CLIENT INFORMATION								
- [A 08-04-21	BCD REVISED FOR REPERMITTING				CITYVIEW SUBDIVISION				
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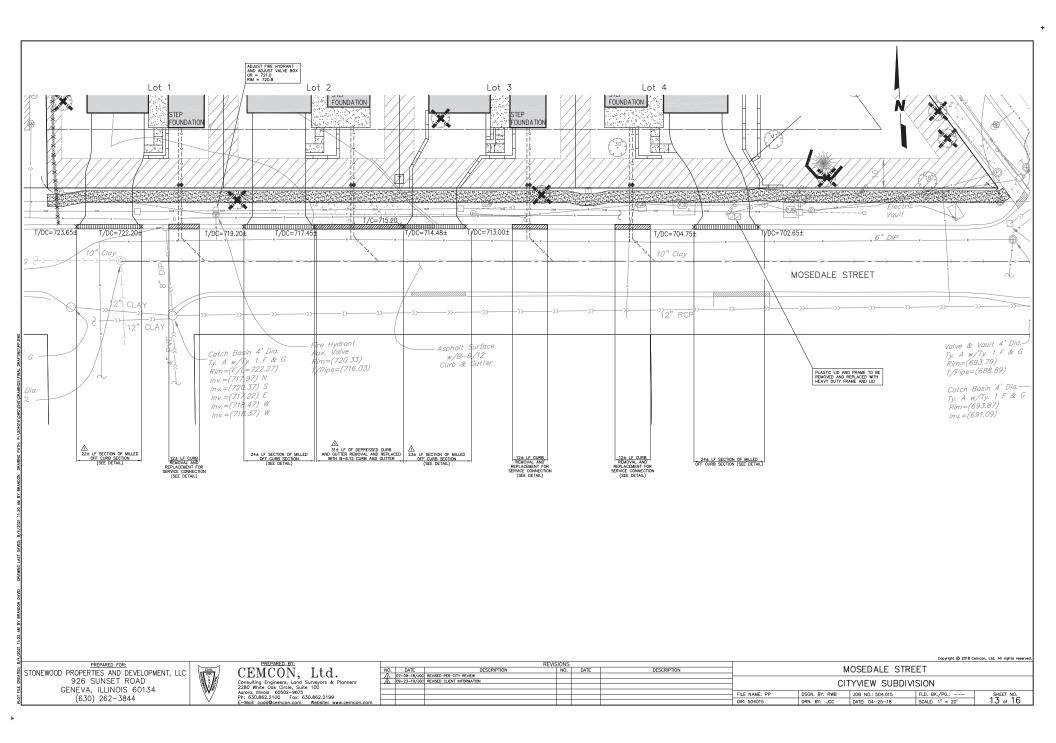


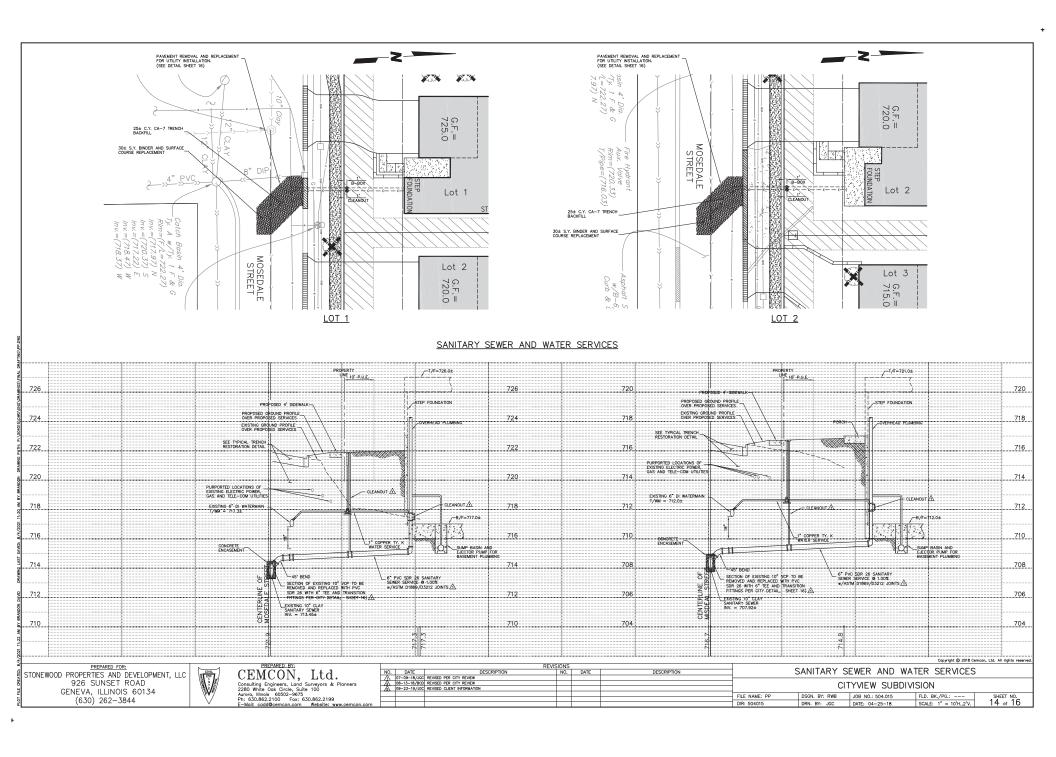


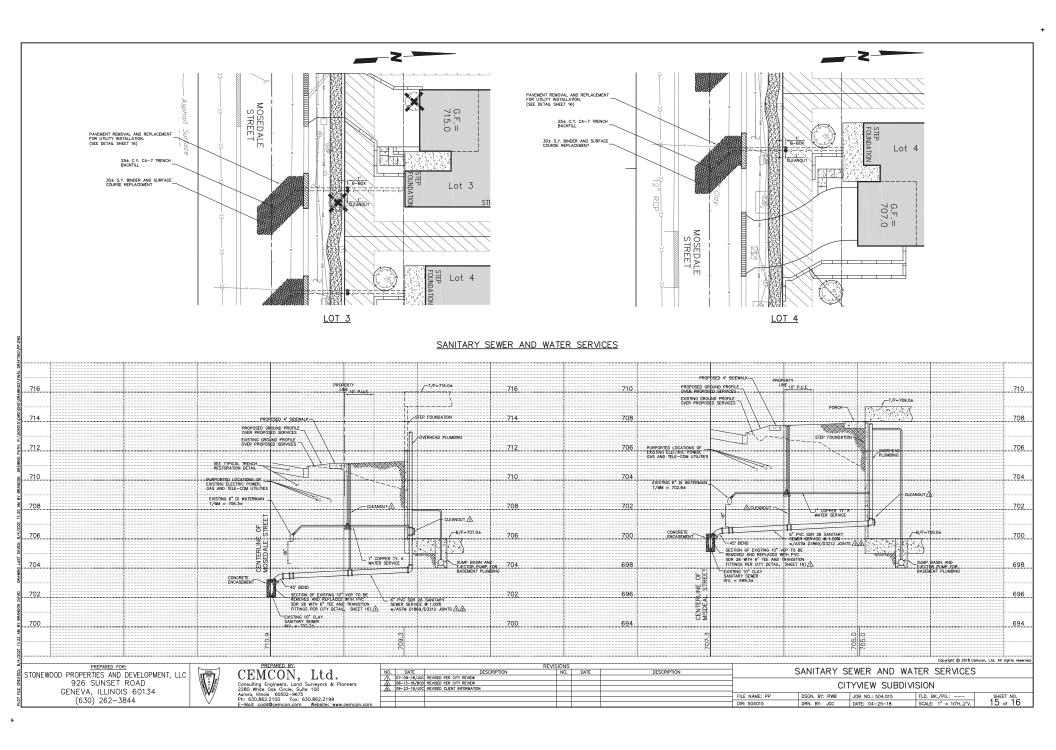


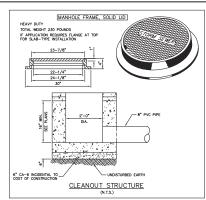




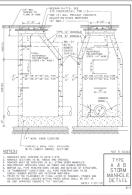


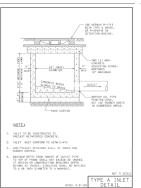


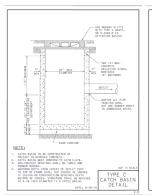


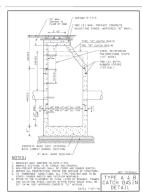


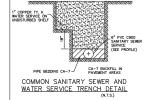


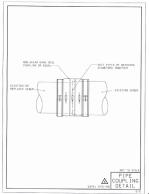


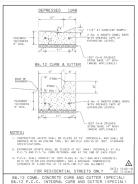


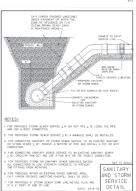


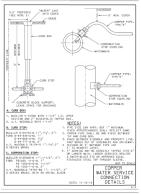


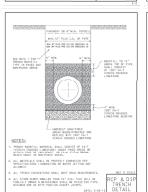


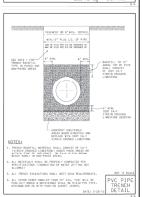


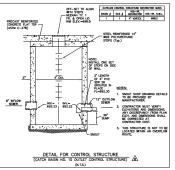


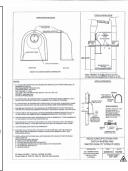


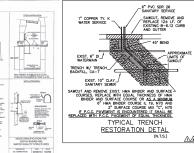


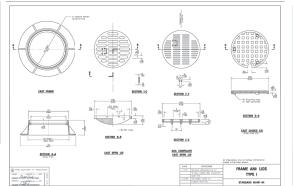


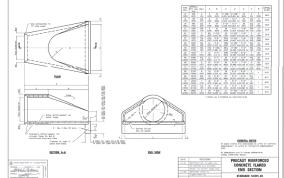












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PREPARED BY.

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	NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION	CONSTRUCTION DETAILS				CONSTRUCTION DETAILS						
	Λ	07-09-18/JGC	REVISED PER CITY REVIEW														
	A	11-07-18/BCD	REVISED PER CITY REVIEW				CITYVIEW SUBDIVISION										
	/s\	09-23-19/JGC	REVISED CLIENT INFORMATION														
	78	09-13-21/KMS	REVISED PER CITY COMMENTS				FILE NAME: DETAILS	DSGN. BY: RWB	JOB NO.: 504.015	FLD. BK./PG.:	SHEET NO.						
							FILE NAME: DETAILS	DOGN. DI; KWD	JUB NU.: 304.015	FLD. BK./FG.:							
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