



Staff Report  
Plan Commission Meeting – December 5, 2023

|                            |  |
|----------------------------|--|
| <b>Applicant:</b>          | Stonewood Properties & Development LLC                     |
| <b>Property Owners:</b>    | Stonewood Properties & Development LLC; David & Wendy Park |
| <b>Location:</b>           | NW corner of Geneva Road & Mosedale Street                 |
| <b>Purpose:</b>            | Modify lot lines   |
| <b>Application:</b>        | Final Plat of Subdivision (Minor Subdivision)              |
| <b>Public Hearing:</b>     | N/A  |
| <b>Zoning:</b>             | RT-2 (Traditional Single Family)                           |
| <b>Current Land Use:</b>   | Single-Family  |
| <b>Comprehensive Plan:</b> | Single Family Detached Residential                         |

**Cityview Resubdivison**



*Subject Property*

|   |  |
|---|--|
| <b>Summary of Proposal:</b>             | Stonewood Properties, developer of the Cityview Subdivision, is requesting approval of a Plat of Resubdivision to modify the lot lines of Lot 2, Lot 3 and Outlot A. Outlot A will be reduced in size, and Lots 2 and 3 will each gain additional square footage by shifting the northeast lot lines further east. Lots 2 and 3 are intended for future development of single-family homes.  |
| <b>Info / Procedure on Application:</b> | <p>Final Plat (Minor Subdivision)</p> <ul style="list-style-type: none"> <li>• Final Plat is the actual plat document that will be recorded with the County to formally create new lots, dedicate streets, and provide easements, etc.</li> <li>• Recommendation is based on compliance with all other code requirements (including Zoning &amp; Subdivision Codes). Staff has provided an analysis in the Staff Report.</li> <li>• A public hearing is not required for this type of application.</li> <li>• No findings of fact are applicable to this application.</li> </ul> |
| <b>Suggested Action:</b>                | <p>Review the Final Plat of Subdivision.</p> <p>Staff has found the application materials to be complete and the Final Plat to be in compliance with the Zoning and Subdivision Codes.</p> <p>Staff recommends approval of the Final Plat of Subdivision, subject to resolution of all staff comments prior to City Council action.</p>  |
| <b>Staff Contact:</b>                   | Ellen Johnson, Planner   |

**I. PROPERTY INFORMATION**

**A. History / Context**

Cityview Subdivision is located at the northwest corner of Geneva Road/Rt 31 and Mosedale Street. Cityview contains four buildable single-family lots fronting on Mosedale Street, with an Outlot intended for stormwater management at the northeast corner. A home is currently under construction on Lot 1. Lot 3 recently sold; Lots 2 and 4 are owned by the developer.

Cityview Subdivision was approved under Ord. 2018-Z-4. Subsequent to Final Plat and Final Engineering approval in 2019, City staff approved revised engineering plans which reduced the area needed to accommodate the required stormwater management basin. This was due to a change in the Stormwater Ordinance which allowed for a less intensive stormwater management approach for the subdivision.

The outlot on the property, to be owned and managed by a homeowner’s association, is being reduced on the west, as it currently remains the size it was required to be based on the original stormwater management facility for the subdivision. The proposed resubdivision will reduce the size of the outlot.

Staff is recommending the outlot be increased on the south to encompass the entirety of the stormwater management facility. The previous Plat of Subdivision allowed these areas in easements. Staff believes this change will more clearly define the restrictions over the stormwater management areas. (See Engineering comments section)

**B. Zoning**

The subject property is zoned RT-2 Traditional Single Family Residential. The same zoning designation exists adjacent to the property on all sides. The surrounding properties all contain single-family homes.

|                         | <b>Zoning</b>                              | <b>Land Use</b>        |
|-------------------------|--|------------------------|
| <b>Subject Property</b> | RT-2 Traditional Single Family Residential | SF home/buildable lots |
| <b>North</b>            | RT-1 Traditional Single Family Residential | SF homes               |
| <b>East</b>             | RM-3 General Residential                   | The View Apartments    |
| <b>South</b>            | RT-1 Traditional Single Family Residential | SF homes               |
| <b>West</b>             | RT-2 Traditional Single Family Residential | SF homes               |



**II. PROPOSAL**

Stonewood Properties & Development LLC, developer of the Cityview Subdivision, is requesting approval of a Plat of Resubdivision to modify the lot lines of Lot 2, Lot 3 and Outlot A. Outlot A will be reduced in size by shifting the western lot line east by 11 feet. Lots 2 and 3 will each gain additional square footage by shifting the northeast lot lines further east, providing larger back yards for these lots, however the width of the lots will remain unchanged along Mosedale St.

Lots 2 and 3 are intended for future development of single-family homes. Outlot A will continue to be reserved for stormwater management. Engineering plans that incorporate the changes to the lot lines have been submitted. The lot areas are proposed to change as follows:

|                 | Existing | Proposed  | Change in Lot Area |
|-----------------|----------|-----------|--------------------|
| <b>Lot 1</b>    | 8,708 sf | No change | N/A                |
| <b>Lot 2</b>    | 9,141 sf | 9,847 sf  | + 706 sf           |
| <b>Lot 3</b>    | 9,256 sf | 9,390 sf  | + 134 sf           |
| <b>Lot 4</b>    | 12,839   | No change | N/A                |
| <b>Outlot A</b> | 5,993 sf | 5,152 sf  | - 841 sf           |

**III. ANALYSIS**

**A. Bulk Standards**

The table below compares the bulk requirements of the RT-2 District with the two impacted buildable lots: Lots 2 and Lot 3. All bulk standards are met. These standards are not applicable for Outlot A as it is not a buildable lot.

|                               | RT-2 District  | Lot 2              | Lot 3              |
|-------------------------------|--|--------------------|--------------------|
| <b>Min. Lot Area</b>          | 6,600 sf   | 9,847 sf           | 9,390 sf           |
| <b>Min. Lot Width</b>         | 50 ft.   | 60 ft. (no change) | 60 ft. (no change) |
| <b>Max. Building Coverage</b> | 30% for structures 1 ½ stories or less<br>25% for structures over 1 ½ stories  | 26%                | 23%                |
| <b>Max. Building Height</b>   | Lesser of 34 ft. or 2 stories  | TBD                | TBD                |
| <b>Min. Front Yard</b>        | 25 ft.   | 25 ft              | 30 ft              |
| <b>Min. Side Yard</b>         | Greater of 6 ft or 10% of lot width for 1 ½ stories or less<br>Greater of 8ft or 10% of lot width for over 1 ½ stories | 8 ft               | 10 ft              |
| <b>Min. Rear Yard</b>         | 30 ft.   | 74 ft              | 43 ft              |

**B. Plat Review**

Planning and Engineering staff has reviewed the Plat of Resubdivision and corresponding engineering plans for conformance with the requirements of Title 16 of the City Code, “Subdivisions & Land Improvement”.

**Staff Comments:**

- ✓ Stormwater Detention Easement and PSME over Outlot A - reduce the westerly limits of the easement to match the new boundary of Outlot A.
- ✓ PSME & PUDE – extend the limits of the easement to the east to match the new boundary of Outlot A.
- ✓ Outlot A – move the lot line south and southeasterly such that the entire limits of the High Water Line is located within Outlot A. This will affect rear lot lines for Lots 3 and 4.
- ✓ Add the HWL contour line to the plans. Label the elevation.
- ✓ Revise lot lines and easements per Plat comments.
- ✓ Revise building footprint on Lot 4 to accommodate Plat comment #3. Please note the rear lot line setback is 30-feet.
- ✓ Assuming the rock wall is the responsibility of Lot 3 property owner, it shall be located entirely on Lot 3. Confirm with new lot line configuration.

**IV. SUGGESTED ACTION**

Staff recommends approval of the Final Plat- Minor Subdivision Application subject to resolution of all staff comments prior to City Council action.

**V. ATTACHMENTS**

- Application for Minor Subdivision – Final Plat; received 11/7/23
- Plat of Resubdivision
- Revised Engineering Plans

City of St. Charles  
Community Development Division  
2 E. Main Street  
St. Charles, IL 60174



Phone: (630) 377-4443  
Email: [cd@stcharlesil.gov](mailto:cd@stcharlesil.gov)

## MINOR SUBDIVISION – FINAL PLAT APPLICATION

|                          |                               |
|--------------------------|-------------------------------|
| <b>For City Use</b>      |                               |
| Project Name:            | <u>Cityview Resubdivision</u> |
| Project Number:          | _____ -PR- _____              |
| Cityview Project Number: | <u>PLMS202300138</u>          |

Received Date  
**RECEIVED**  
**NOV 07 2023**  
City of St. Charles  
Community Development

- *File this application to request approval of a Minor Subdivision – Final Plat.*
- *Per City Code Section 16.04.040, a Minor Subdivision must meet the following criteria:*
  - 1) *Compliance with subdivision design standards in the City Code;*
  - 2) *No more than 4 lots;*
  - 3) *No public utility extensions or new streets are required to serve the subdivision;*
  - 4) *No stormwater detention is required to serve the subdivision;*
  - 5) *All lots meet minimum zoning standards.*
- *Complete the application and submit with all required attachments to the Community Development Division.*
- *The information you provide must be complete and accurate. If you have any questions please contact the Community Development Division.*
- *City staff will review the submittal for completeness and for compliance with applicable requirements. Staff will distribute the plans to other City departments for review when the application is complete.*
- *The Final Plat will be scheduled for Plan Commission review when staff has determined the plat is ready.*

|                                     |                            |   |                                 |
|-------------------------------------|----------------------------|---|---------------------------------|
| <b>1. Property Information:</b>     | Location:                  | Mosedale at Rt 31- North West Corner                              |                                 |
|                                     | Parcel Number (s):         | Lot 2-09-34-401-022   Lot 3-0934-401-023   Outlot A-09-34-401-024 |                                 |
|                                     | Proposed Subdivision Name: | City View's First Resubdivision                                   |                                 |
| <b>2. Applicant Information:</b>    | Name:                      | Stonewood Properties and Development LLC.                         | Phone: 630-514-5590             |
|                                     | Address                    | 926 Sunset Rd. Geneva, Il. 60134                                  | Email: John@Stonewood LLC. Net  |
| <b>3. Record Owner Information:</b> | Name:                      | Lot 2 Stonewood Properties and Dev. LLC.                          | Phone: 630-514-5590             |
|                                     | Address:                   | Lot 2- 926 Sunset Rd. Geneva, Il. 60134                           | Email: John @ Stonewood LLC.net |

Lot 3 David C. Park and Wendy M. Park  
20 Mosedale St. St. Charles, Il. 60174
224-688-7197

Outlot A - City View Homeowners Assoc.  
Outlot A- 926 Sunset Rd. Geneva, Il. 60134
630-514-5590

**4. Required Attachments:**

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**Submit 1 copy of each required item, unless otherwise noted.**

**APPLICATION FEE:** \$300

**REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**REIMBURSEMENT OF FEES INITIAL DEPOSIT:** Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

| Number of Review Items | Under 5 Acres | 5-15 Acres | 16-75 Acres | Over 75 Acres |
|------------------------|---------------|------------|-------------|---------------|
| 1                      | \$1,000       | \$2,000    | \$3,000     | \$4,000       |
| 2 or 3                 | \$2,000       | \$4,000    | \$5,000     | \$7,000       |
| 4 or more              | \$3,000       | \$5,000    | \$7,000     | \$10,000      |

**FEE FOR INSTALLATION OF CITY BENCHMARKS:** Payment for installation of City benchmarks in accordance with Appendix F of the Subdivision Code (City Code Title 16). Required payment is based on the size of the subdivision:

N/A

| Subdivision Acreage | Number of Benchmarks | Fee at \$2500 per Benchmark |
|---------------------|----------------------|-----------------------------|
| 20+                 | 2                    | \$5000                      |
| 10 to 20            | 1                    | \$2500                      |
| 5 to 10             | 0.5                  | \$1250                      |
| 1 to 5              | 0.25                 | \$625                       |
| Less than 1         | 0.10                 | \$250                       |

**PROOF OF OWNERSHIP:** a) A current title policy report; or  
b) A deed and a current title search

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

**OWNERSHIP DISCLOSURE:** Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.

**LETTER OF AUTHORIZATION:** If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.

**PARK AND SCHOOL LAND/CASH WORKSHEETS:** *For residential developments only.* Use the attached worksheet to calculate the estimated population and student yields and resulting land/cash contributions in accordance with Title 16 of the St. Charles Municipal Code.

**INCLUSIONARY HOUSING WORKSHEET:** *For residential developments only.* Use the attached worksheet to calculate the affordable unit requirement and indicate how the development will comply with Title 19 of the St. Charles Municipal Code.

**PLANS:** All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies:** Ten (10) full size copies, one (1) 11" by 17", and PDF electronic file emailed to: [cd@stcharlesil.gov](mailto:cd@stcharlesil.gov)

**FINAL PLAT OF SUBDIVISION / DRAWING REQUIREMENTS CHECKLIST:** A Final Plat of Subdivision that includes the information listed on the Subdivision Plat Drawing Requirements Checklist. Also submit a completed Checklist (attached).

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Lot 2 *John H. Colyer Manager*

Lot 3 *SEE LETTER*

OUTLOT A *John H. Colyer HOA President* *Nov. 6, 2023*

Record Owner

Date

*John H. Colyer Manager*

Applicant or Authorized Agent

*Nov. 6, 2023*

Date

**OWNERSHIP DISCLOSURE FORM  
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS        )  
  ) SS.  
KANE COUNTY                )

I, John H. Cebrzynski, being first duly sworn on oath depose and say that I am  
Manager of Stonewood Properties and Dev. LLC., an Illinois Limited Liability  
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

- Patricia M. Cebrzynski Sole Owner
- |       |       |
|-------|-------|
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |

By: John H. Cebrzynski, Manager

Subscribed and Sworn before me this 6th day of  
November, 20 23.

Dawn M. Wrobel  
Notary Public







SITE LOCATION

# CITYVIEW'S FIRST RESUBDIVISION

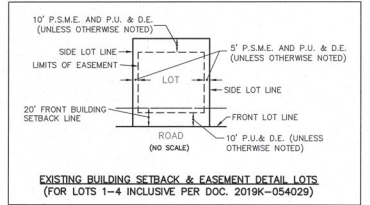
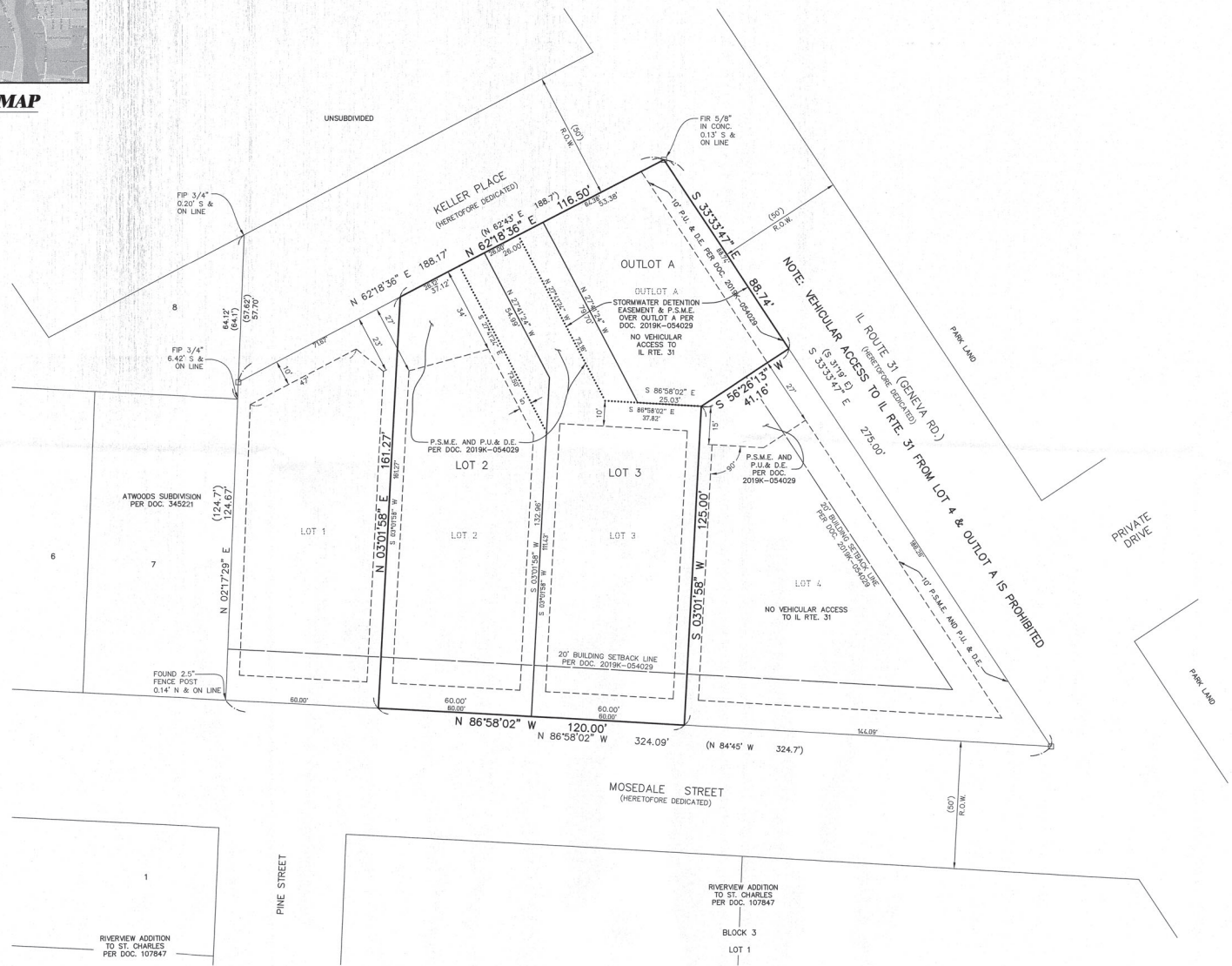
BEING A RESUBDIVISION OF LOTS 2, 3 AND OUTLOT A, IN CITYVIEW, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 8, 2019 AS DOCUMENT NUMBER 2019K-054029, IN KANE COUNTY, ILLINOIS.

THIS PLAT WAS SUBMITTED TO THE COUNTY RECORDER FOR THE PURPOSES OF RECORDING BY:  
CITY OF ST. CHARLES  
21 S. MAIN STREET  
ST. CHARLES, IL 60174  
NOTICE TO RECORDER:  
PLEASE RETURN RECORDED MAP TO THE SAME.



- LEGEND**
- SUBDIVISION BOUNDARY LINE (Heavy Solid Line)
  - LOT LINE/PROPERTY LINE (Solid Line)
  - ADJACENT LOT LINE/PROPERTY LINE (Light Solid Line)
  - UNDERLYING LOT LINE (Light Dashed Line)
  - EXISTING BUILDING SETBACK LINE (Long Dashed Line)
  - EXISTING EASEMENT LINE (Dotted Dashed Line)
  - SET CONCRETE MONUMENT (Square Symbol)
  - FOUND CONCRETE MONUMENT (Circle with Cross Symbol)

VICINITY MAP



**TOTAL AREA OF SUBDIVISION**  
0.560 ACRES  
(MORE OR LESS)

| LOT NO.      | SQ. FT.       | ACRES        |
|--------------|---------------|--------------|
| 2            | 9,847         | 0.226        |
| 3            | 9,360         | 0.216        |
| OUTLOT A     | 5,352         | 0.118        |
| <b>TOTAL</b> | <b>24,389</b> | <b>0.560</b> |

- NOTES**
- 3/4" IRON PIPE SET AT ALL LOT CORNERS AND POINTS OF CURVATURE UNLESS OTHERWISE NOTED.
  - ALL MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
  - DIMENSIONS ENCLOSED WITH ( ) ARE RECORD DATA. ALL OTHER DIMENSIONS ARE MEASURED.
  - UNLESS NOTED OTHERWISE ALL EASEMENTS SHOWN HEREON HERETOFORE GRANTED BY DOC. NO. 2019K-054029.
  - P.U. & D.E. - INDICATES PUBLIC UTILITY AND DRAINAGE EASEMENT.
  - P.S.M.E. - INDICATES PRIVATE STORMWATER MANAGEMENT EASEMENT
  - B.L. - BUILDING SETBACK LINE
  - THE MEASURED BEARINGS SHOWN ARE BASED UPON THE EAST LINE OF THE SUBDIVISION BEING S 33°33'17" E (AS SHOWN).
  - FIP = FOUND IRON PIPE (# AS SHOWN)
  - FIR = FOUND IRON ROD (# AS SHOWN)
  - PROPERTY ZONED RT-2 TRADITIONAL SINGLE FAMILY DISTRICT OF CITY OF ST. CHARLES.
  - DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR CITYVIEW HOMEOWNERS ASSOCIATION TO BE RECORDED CONTEMPORANEOUSLY WITH THIS PLAT.

PREPARED FOR:  
STONEWOOD PROPERTIES AND DEVELOPMENT LLC  
926 SUNSET ROAD  
GENEVA, IL 60134  
(630) 262-3844

PREPARED BY:  
**CEMCON, Ltd.**  
Consulting Engineers, Land Surveyors & Planners  
2280 White Oak Circle, Suite 100 Aurora, Illinois  
63092-9676 PH: 630.862.2100 FAX: 630.862.2199  
E-Mail: codd@cemcon.com Website: www.cemcon.com

DISC NO.: 504015 FILE NAME: EXHIBIT A  
DRAWN BY: SMR/DDO FLD. BK. / PG. NO.: D53/57-60  
COMPLETION DATE: 11-01-2023 JOB NO.: 504.015-411  
PROJECT REFERENCE: 826.005  
REVISED: 11-15-23 ADDED OWNER & NOTARY CERT.

**OWNER'S & SCHOOL DISTRICT CERTIFICATE**

STATE OF ILLINOIS )  
                                  ) S.S.  
COUNTY OF KANE )

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF PART OF THE PROPERTY DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT PROPERTY BEING, SUBDIVIDED AFORESAID, AND TO THE BEST OF THE OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF:

ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303  
BY: STONEWOOD PROPERTIES AND DEVELOPMENT LLC  
ADDRESS: 926 SUNSET ROAD, GENEVA, IL 60134  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_

\_\_\_\_\_  
(SIGNATURE)  
\_\_\_\_\_  
MANAGER  
(TITLE)

**NOTARY CERTIFICATE**

STATE OF ILLINOIS )  
                                  ) S.S.  
COUNTY OF KANE )

I, \_\_\_\_\_, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT

PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_

\_\_\_\_\_  
(SIGNATURE)

**SURVEYOR'S CERTIFICATE**

STATE OF ILLINOIS )  
                                  ) S.S.  
COUNTY OF UNPAID )

THIS IS TO CERTIFY THAT I, LARRY C. PICAS, ILLINOIS LAND SURVEYOR NO. 3246, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOTS 2, 3 AND OUTLET A, IN CITYWIDE, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 8, 2019 AS DOCUMENT NUMBER 2019K-054029, IN KANE COUNTY, ILLINOIS.

FURTHER, THIS PLAT HAS BEEN PREPARED BY AN ILLINOIS PROFESSIONAL LAND SURVEYOR AND THAT THE PLAT HEREON DRAWN IS A REPRESENTATION OF SAID SURVEY AND SUBDIVISION.

IT IS FURTHER CERTIFIED THAT THE PROPERTY SHOWN HEREON LIES WITHIN THE CORPORATE LIMITS OF THE CITY OF ST. CHARLES, ILLINOIS WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

IT IS FURTHER CERTIFIED THAT, TO THE BEST OF OUR KNOWLEDGE, ALL REGULATIONS ENACTED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

**SPECIAL FLOOD HAZARD AREA CERTIFICATE**

THIS IS TO CERTIFY THAT THE PROPERTY HEREON DESCRIBED IN THE RECORD OF DEED FALLS WITHIN ZONE X IDENTIFIED FOR THE CITY OF ST. CHARLES, ILLINOIS BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE FLOOD INSURANCE RATE MAP, PANEL NO. 17089C0268H DATED AUGUST 3, 2009.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS,  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2023.

LARRY C. PICAS  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3246  
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2024  
PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002937  
EXPIRES APRIL 30, 2025

\_\_\_\_\_  
(SIGNATURE)

**OWNER'S & SCHOOL DISTRICT CERTIFICATE**

STATE OF ILLINOIS )  
                                  ) S.S.  
COUNTY OF KANE )

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF PART OF THE PROPERTY DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT PROPERTY BEING, SUBDIVIDED AFORESAID, AND TO THE BEST OF THE OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF:

ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303  
BY: DAVE C. PARK & WENDY M. PARK  
ADDRESS: 20 MOSEDALE STREET, ST. CHARLES, IL 60174  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_

\_\_\_\_\_  
(SIGNATURE)  
\_\_\_\_\_  
OWNERS  
(TITLE)

**NOTARY CERTIFICATE**

STATE OF ILLINOIS )  
                                  ) S.S.  
COUNTY OF KANE )

I, \_\_\_\_\_, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT

PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_

\_\_\_\_\_  
(SIGNATURE)

**OWNER'S & SCHOOL DISTRICT CERTIFICATE**

STATE OF ILLINOIS )  
                                  ) S.S.  
COUNTY OF KANE )

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF PART OF THE PROPERTY DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT PROPERTY BEING, SUBDIVIDED AFORESAID, AND TO THE BEST OF THE OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF:

ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303  
BY: CITY VIEW HOME OWNERS ASSOCIATION  
ADDRESS: 926 SUNSET ROAD, GENEVA, IL 60134  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_

\_\_\_\_\_  
(SIGNATURE)  
\_\_\_\_\_  
PRESIDENT  
(TITLE)

**NOTARY CERTIFICATE**

STATE OF ILLINOIS )  
                                  ) S.S.  
COUNTY OF KANE )

I, \_\_\_\_\_, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT

PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_

\_\_\_\_\_  
(SIGNATURE)

**DIRECTOR OF COMMUNITY DEVELOPMENT CERTIFICATE**

STATE OF ILLINOIS )  
                                  ) S.S.  
COUNTY OF KANE )

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY & ECONOMIC DEVELOPMENT, CITY OF ST. CHARLES

DATED AT \_\_\_\_\_, ILLINOIS,  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

**CERTIFICATE AS TO SPECIAL ASSESSMENTS**

STATE OF ILLINOIS )  
                                  ) S.S.  
COUNTY OF KANE )

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS

DATED AT \_\_\_\_\_, ILLINOIS,  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

**PLAN COMMISSION CERTIFICATE**

STATE OF ILLINOIS )  
                                  ) S.S.  
COUNTY OF KANE )

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

CITY OF ST. CHARLES PLAN COMMISSION

\_\_\_\_\_  
CHAIRMAN

**CITY COUNCIL CERTIFICATE**

STATE OF ILLINOIS )  
                                  ) S.S.  
COUNTY OF KANE )

APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

CITY COUNCIL OF CITY OF ST. CHARLES, ILLINOIS

\_\_\_\_\_  
MAYOR

ATTEST: \_\_\_\_\_  
CITY CLERK

**COUNTY CLERK CERTIFICATE**

STATE OF ILLINOIS )  
                                  ) S.S.  
COUNTY OF KANE )

I, \_\_\_\_\_, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO RECEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

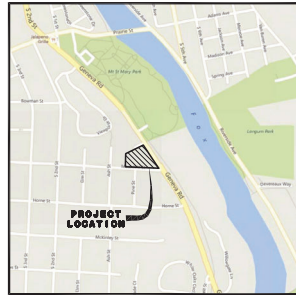
GIVEN UNDER MY HAND AND SEAL AT \_\_\_\_\_, ILLINOIS,  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

\_\_\_\_\_  
COUNTY CLERK



PREPARED BY:  
**CEMCON, Ltd.**  
Consulting Engineers, Land Surveyors & Planners  
2280 White Oak Circle, Suite 100 Aurora, Illinois  
630.862.2100 FAX: 630.862.2199  
E-Mail: cco@cemcon.com Website: www.cemcon.com  
DISC NO.: 504015 FILE NAME: SURPLAT  
DRAWN BY: AJB FLD. BK. / PG. NO.: 053/57-60  
COMPLETION DATE: \_\_\_\_\_ JOB NO.: 504.015

REVISED FINAL SITE DEVELOPMENT PLANS  
FOR  
**CITYVIEW SUBDIVISION**  
ST. CHARLES, ILLINOIS  
GRADING AND DRAINAGE - SEWER AND WATER SERVICES  
STORMWATER POLLUTION PROTECTION



**LOCATION MAP**



| EXISTING | PROPOSED | DESCRIPTION                      |
|----------|----------|----------------------------------|
| ○        | ●        | MANHOLE                          |
| □        | ■        | CATCH BASIN                      |
| ○        | ■        | INLET                            |
| ○        | ●        | CLEANOUT                         |
| — —      | — —      | SLOPE INLET BOX                  |
| — —      | — —      | HEADWALL                         |
| — —      | — —      | END SECTION                      |
| — —      | — —      | STORM SEWER                      |
| — —      | — —      | SANITARY SEWER                   |
| — —      | — —      | WATERMAIN                        |
| ○        | ●        | VALVE & BOX                      |
| ○        | ●        | WATER VALVE IN VAULT             |
| ○        | ●        | FIRE HYDRANT                     |
| — —      | — —      | CONTOUR                          |
| (ELEV)   | ELEV     | ELEVATIONS                       |
| ⊕        | ⊕        | STREET LIGHT                     |
| — —      | — —      | WATERMAIN PROTECTION             |
| — —      | — —      | SILT FENCE INLET PROTECTOR       |
| — —      | — —      | TEMPORARY STRAW BALE DITCH CHECK |
| — —      | — —      | SILT FENCE DITCH CHECK           |
| — —      | — —      | RIP-RAP                          |
| — —      | — —      | OVERFLOW ROUTE                   |

**INDEX OF SHEETS**

| Sheet Number | Sheet Title                                       |
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| 4            | OVERALL UTILITY PLAN                              |
| 5            | STORMWATER POLLUTION PREVENTION PLAN              |
| 6            | STORMWATER POLLUTION PREVENTION DETAILS           |
| 7            | STORMWATER POLLUTION PREVENTION NOTES             |
| 8-12         | DRAINAGE AND GRADING PLAN                         |
| 13-15        | PLAN & PROFILE: SANITARY SEWER AND WATER SERVICES |
| 16           | CONSTRUCTION DETAILS                              |

**BENCHMARKS**

- STATION STC 02** STATION IS LOCATED 11.7 KM (9.7 MILES) SOUTHWEST OF BARTLETT, 6.1 KM (3.8 MILES) NORTH-NORTHWEST OF BATAVIA, AND 5.9KM (7.8 MILES) SOUTH OF ELGIN COMMUNITY COLLEGE, IN THE CITY OF SAINT CHARLES, IN SECTION 34, T40N, R8E, 2 1/2 INCH DIAMETER ALUMINUM DISK IN PLASTIC CYLINDER. APPROXIMATE NAD 83 COORDINATES N, 1907550, E, 9846599. ELEVATION = 790.80 FT. NAVD 88
- STATION STC 16** STATION IS LOCATED 11.6 KM (8.9 MILES) SOUTHWEST OF BARTLETT, 4.8 KM (3.4 MILES) NORTH OF BATAVIA, AND 6.8 KM (8.0 MILES) SOUTH OF ELGIN COMMUNITY COLLEGE IN THE CITY OF SAINT CHARLES IN SECTION 34, T40N, R8E, 2 1/2 INCH DIAMETER ALUMINUM DISK IN PLASTIC CYLINDER. APPROXIMATE NAD 83 COORDINATES N, 1906120, E, 991732. ELEVATION = 709.53 FT. NAVD 88
- CP104** CROSS IN WALK ON WEST SIDE OF GENEVA ROAD (L ROUTE 31) ADJACENT TO FIRST UTILITY POLE NORTHWESTERLY OF KELLER PLACE. ELEVATION = 695.46 FT. NAVD 88
- CP109** CROSS IN WALK ON WEST SIDE OF GENEVA ROAD (L ROUTE 31) ADJACENT TO FIRST UTILITY POLE NORTHWESTERLY OF MOSEDALE STREET. ELEVATION = 693.7146 FT. NAVD 88

**PROFESSIONAL ENGINEER'S CERTIFICATION**

STATE OF ILLINOIS) SS.  
COUNTY OF DU PAGE)

I, RANDALL W. BUS, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS TECHNICAL SUBMISSION WAS PREPARED ON BEHALF OF STONWOOD PROPERTIES AND DEVELOPMENT, LLC BY CEMCON, LTD. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

△ DATED THIS \_\_\_ DAY OF \_\_\_\_\_, A.D., 2023.

△ ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 062-032381  
MY LICENSE EXPIRES ON NOVEMBER 30, 2023

△ PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002937  
EXPIRES: APRIL 30, 2025

NOTE: UNLESS THIS DOCUMENT BEARS THE ORIGINAL SIGNATURE AND IMPRESSED SEAL OF THE DESIGN PROFESSIONAL ENGINEER, IT IS NOT A VALID TECHNICAL SUBMISSION.

**FOR UNDERGROUND UTILITY LOCATIONS, CALL J.U.L.I.E. TOLL FREE TEL. 1-800-892-0123 or 811**

DATE: \_\_\_\_\_  
RELEASED FOR PLAN REVIEW AND PERMIT PROCESSING ONLY.  
IF USED FOR BIDDING PURPOSES, THOSE PARTIES CONCERNED SHALL BE ADVISED THAT REVISIONS MAY BE REQUIRED PRIOR TO PLAN APPROVAL.  
NOT ISSUED FOR CONSTRUCTION UNTIL APPROVED BY THE CITY OF ST. CHARLES AND PERMITTED AS REQUIRED.

PREPARED FOR:  
STONWOOD PROPERTIES AND DEVELOPMENT, LLC  
926 SUNSET ROAD  
GENEVA, ILLINOIS 60134  
(630) 262-3844

PREPARED BY:  
**CEMCON, Ltd.**  
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Ph: 630.862.2100 Fax: 630.862.2199  
E-Mail: cadd@cemcon.com Website: www.cemcon.com

| R E V I S I O N S |              |                                  |     |              |              |
|-------------------|--------------|----------------------------------|-----|--------------|--------------|
| NO.               | DATE         | SHEETS                           | NO. | DATE         | SHEETS       |
| △                 | 07-09-18/AGC | 3-6, 8-16                        | △   | 08-04-21/BCD | 1, 4-5, 7-12 |
| △                 | 08-13-18/AGC | 5, 11, 12, 14, 15, S-1, S-2, S-3 | △   | 09-13-21/KMS | 11, 12, 16   |
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| △                 | 11-07-18/BCD | 3-4, 9-11, 16                    |     |              |              |
| △                 | 09-23-19/AGC | 1-16, S-1, S-2, S-3              |     |              |              |
| △                 | 10-08-19/AGC | S-1, S-2, S-3                    |     |              |              |

JOB NO. 504.015  
COMPLETION DATE :  
04-25-18  
SHEET 1 OF 16

**CONSTRUCTION SPECIFICATIONS – GENERAL NOTES**

**GENERAL**

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ST. CHARLES STANDARDS AND WITH THE CURRENT EDITION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, APPLICABLE WHEN REFERENCED.
2. IN THE EVENT OF A CONFLICT BETWEEN THE CONSTRUCTION SPECIFICATIONS AND THE CITY OF ST. CHARLES SPECIFICATIONS AND DETAILS, THE CITY OF ST. CHARLES SPECIFICATIONS AND DETAILS (SEE BELOW) SHOULD BE FOLLOWED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND HEALTHFUL WORKING CONDITIONS THROUGHOUT THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING EACH OF THE UTILITY COMPANIES BEFORE ANY WORK IS STARTED. ALL UTILITIES MUST BE STAKED PRIOR TO CONSTRUCTION.
5. IF THE ENGINEER IS RETAINED FOR CONSTRUCTION STAKING SERVICES, THE ENGINEER WILL BE GIVEN SEVENTY-TWO (72) HOURS NOTICE FOR ANY STAKING THAT IS TO BE DONE. IF ENGINEER IS CONTRACTED BY OWNER OR CONTRACTOR FOR CONSTRUCTION STAKING SERVICES, EACH OF THE VARIOUS ITEMS OF WORK COVERED BY THIS CONTRACT WILL BE STAKED ONCE. ADDITIONAL STAKING REQUIRED DUE TO CONTRACTOR NEGLIGENCE SHALL BE PAID FOR BY THE CONTRACTOR AT THE CURRENT HOURLY RATE.
6. THE CONTRACTOR SHALL INFORM THE MUNICIPAL BEFORE WORK COMMENCES ON EACH CATEGORY OF CONSTRUCTION, I.E. WATERMAIN, SANITARY, STREET AND DRAINAGE IMPROVEMENT. A FORTY EIGHT (48) HOUR NOTICE SHALL BE GIVEN FOR ANY ITEM THAT REQUIRE FINAL TESTING AND INSPECTION SUCH AS WATERMANS OR SANITARY SEWERS.
7. THE CONTRACTOR RESPONSIBLE FOR WATERMAIN CONSTRUCTION, SANITARY SEWER CONSTRUCTION AND DRAINAGE IMPROVEMENTS (UNDERGROUND WORK) SHALL DISPOSE OF ALL SURPLUS MATERIALS ON THE SITE AS DIRECTED BY THE ENGINEER. NO ADDITIONAL COMPENSATION WILL BE PAID AND SAID WORK SHALL BE INCIDENTAL TO THE OTHER ITEMS OF CONSTRUCTION.
8. AFTER CONSTRUCTION STAKING IS PERFORMED, BUT PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CALL THE ATTENTION OF THE OWNER'S REPRESENTATIVE TO ANY ERRORS OR DISCREPANCIES WHICH MAY BE SUSPECTED IN LINES AND GRADES WHICH ARE ESTABLISHED BY THE OWNER, AND SHALL NOT PROCEED WITH THE WORK UNTIL ANY LINES AND GRADES WHICH ARE BELIEVED TO BE IN ERROR HAVE BEEN VERIFIED OR CORRECTED BY THE OWNER'S REPRESENTATIVE.
9. THE UNDERGROUND CONTRACTOR SHALL BE RESPONSIBLE TO PLACE ON GRADE AND COORDINATE WITH OTHER CONTRACTORS ALL UNDERGROUND STRUCTURE FRAMES SUCH AS CATCH BASINS, INLETS, MANHOLES, HYDRANTS, BUFFALO BOXES, VALVES, ETC. NO ADDITIONAL COMPENSATION WILL BE PAID AND SAID ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO OTHER ITEMS OF CONSTRUCTION.
10. CONTRACTORS SHALL KEEP PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, CLEAN PAVEMENTS ON A DAILY BASIS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS (INCLUDING UTILITY LOCATIONS) PRIOR TO THE INSTALLATION OR FABRICATION OF ANY MATERIALS. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER

**EARTHWORK, GRADING AND PAVING**

1. WORK UNDER THIS SECTION SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. SOIL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS.
  - B. CLEARING AND REMOVAL OF ALL UNSUITABLE TREES AND OTHER OBSTRUCTIONS WITHIN THE CONSTRUCTION AREA. TREE REMOVAL SHALL BE DESIGNATED BY THE OWNER AND SHALL BE KEPT TO A MINIMUM.
  - C. STRIPPING OF TOPSOIL FROM ALL STREET, DRIVEWAY, PARKING LOT, RIGHT-OF-WAY, BUILDING PAD AND OTHER DESIGNATED STRUCTURAL AREAS.
  - D. STOCKPILING OF TOPSOIL AT LOCATIONS AS DIRECTED BY THE OWNER. TOPSOIL STOCKPILED FOR FUTURE USE SHALL BE RELATIVELY FREE FROM LARGE ROOTS, STICKS, WEEDS, BRUSH, STONES LARGER THAN ONE (1) INCH DIAMETER, OR OTHER LITTER AND WASTE PRODUCTS INCLUDING EXTRANEUS MATERIALS NOT CONDUCTIVE TO PLANT GROWTH. TOPSOIL SHALL BE STOCKPILED IN SUCH A MANNER TO ELIMINATE ANY REHANDLING OR DOUBLE MOVEMENTS BY THE CONTRACTOR. FAILURE TO PROPERLY SEQUENCE THE STOCKPILING OPERATIONS SHALL NOT CONSTITUTE A CLAIM FOR ADDITIONAL COMPENSATION. NO MATERIAL SHALL BE STOCKPILED IN FRONT YARDS, OVERLAND DRAINAGE SWALES (FLOOD ROUTING AREAS), IN PROPOSED UTILITY LOCATIONS, IN UTILITY EASEMENTS OR IN THE RIGHT-OF-WAY.
  - E. REMOVAL OF UNSUITABLE MATERIALS AS SPECIFIED FROM ROADWAY, DRIVEWAY/PARKING, BUILDING PAD AND OTHER DESIGNATED AREAS.
  - F. STRUCTURAL CUT AND STRUCTURAL FILL WITH COMPACTION WITHIN ROADWAY, DRIVEWAY/PARKING, BUILDING PAD AND OTHER DESIGNATED AREAS.
  - G. EXCAVATION AND GRADING OF THE OPEN SPACE, AND/OR YARD AREAS PER PLAN INCLUDING CONSTRUCTION OF BERMS, ETC.
  - H. PLACEMENT AND COMPACTION OF STRUCTURAL MATERIAL TO THE DESIGN SUBGRADE ELEVATIONS AS REQUIRED BY THE STANDARDS AND DETAILS ON THE CONSTRUCTION PLANS. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS AND THAT PAVEMENT AND/OR TOPSOIL REPLACEMENT THICKNESS MUST BE SUBTRACTED TO DETERMINE SUBGRADE ELEVATIONS.
  - I. IF REQUIRED, BORROW PIT EXCAVATION OF STRUCTURAL MATERIAL AND REFILL OF PIT WITH NON-STRUCTURAL MATERIAL.
  - J. PLACEMENT AND COMPACTION OF NON-STRUCTURAL FILLS.
  - K. MOVEMENT AND COMPACTION OF SPILL MATERIAL FROM THE CONSTRUCTION OF UNDERGROUND UTILITIES.
  - L. BACKFILLING OF CURBS AND/OR PAVEMENT AND SIDEWALK AFTER INSTALLATION OF SAME BY THE PAVING CONTRACTOR.
  - M. FINAL SHAPING AND TRIMMING TO THE LINES, GRADES, AND CROSS-SECTIONS SHOWN IN THESE PLANS; AND TOPSOIL PLACEMENT TO DESIGN FINISHED GRADE ELEVATIONS.
2. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS AND SHALL NOTIFY THE ENGINEER AT ONCE OF ANY DISCREPANCIES. THE CONTRACTOR SHALL EXAMINE THE DRAINAGE PATTERNS SHOWN ON THE PLANS AND MAKE CERTAIN THAT ALL GUTTER FLAPS AND PAVEMENTS ARE FITCHED PROPERLY TO ACHIEVE THIS DRAINAGE PATTERN.
3. MATERIALS TESTING, IF REQUIRED BY THE MUNICIPALITY, SHALL BE PROVIDED BY THE CONTRACTOR. THIS ITEM WILL NOT BE PAID FOR SEPARATELY BUT INCLUDED IN THE VARIOUS ITEMS OF WORK.
4. DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHALL INSURE POSITIVE SITE DRAINAGE AT THE CONCLUSION OF EACH DAY. SITE DRAINAGE MAY BE ACHIEVED BY DITCHING, PUMPING OR ANY OTHER ACCEPTABLE METHOD. THE CONTRACTOR'S FAILURE TO PROVIDE THE ABOVE WILL PRECLUDE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIAL CREATED AS A RESULT THEREOF.

**EARTHWORK, GRADING AND PAVING (CONT'D)**

5. IT SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
6. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UTILITY REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE SOILS ENGINEER. NO UNDERCUT SHALL BE PERFORMED WITHOUT AUTHORIZATION FROM OWNER AND ASSIGNMENT OF AN EWO NUMBER.
7. THE GRADING AND CONSTRUCTION OF THE SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.
8. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF SIX INCHES (6") OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED UNLESS OTHERWISE NOTED.
9. THE SELECTED STRUCTURAL FILL MATERIAL SHALL BE PLACED IN LEVEL UNIFORM LAYERS SO THAT THE COMPACTED THICKNESS IS APPROXIMATELY SIX INCHES (6"); IF COMPACTION EQUIPMENT DEMONSTRATES THE ABILITY TO COMPACT GREATER THICKNESSES, THEN A GREATER THICKNESS MAY BE SPECIFIED. EACH LAYER SHALL BE THOROUGHLY MIXED DURING SPREADING TO INSURE UNIFORMITY.
10. EMBANKMENT MATERIAL WITHIN ROADWAY, DRIVEWAY, PARKING LOT AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY-THREE PERCENT (93%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER. EMBANKMENT MATERIAL FOR BUILDING PADS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE PERCENT (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 (MODIFIED PROCTOR METHOD) OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER.
11. THE SURFACE VEGETATION, TOPSOIL AND ANY OBVIOUSLY SOFT UNDERLYING SOIL SHOULD BE STRIPPED FROM ALL AREAS TO RECEIVE STRUCTURAL FILL IF THE UNDERLYING SUBGRADE SOILS RUIT DEEPER THAN ONE INCH UNDER THE CONSTRUCTION EQUIPMENT OR IF THE MOISTURE CONTENT EXCEEDS THAT NEEDED FOR PROPER COMPACTION. THE SOIL SHALL BE SCARIFIED, DRIED AND RECOMPACTED TO THE REQUIRED SPECIFICATIONS (SEE SECTION 301.03 OF THE DOT SPECIFICATIONS).
12. COMPLETED GRADING (FINISHED FINE GRADE) FOR PROPOSED PAVEMENT SUBGRADE AREAS, BUILDING PADS, AND YARD/OPEN SPACE AREAS SHALL BE WITHIN A TOLERANCE OF PLUS OR MINUS ONE-TENTH OF A FOOT (0.1') OF DESIGN SUBGRADE ELEVATIONS.
13. THE SUBGRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE CONTRACTOR IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE AND ANY UNSTABLE AREAS ENCOUNTERED SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE ENGINEER AND SOILS ENGINEER. ANY UNDERCUT AND REPLACE NECESSARY WILL BE MEASURED FOR PAVEMENT AT THE CONTRACT UNIT PRICE.
14. THE CONTRACTOR SHALL PROVIDE STABLE SUB GRADE FOR ALL STREET PAVEMENT IN ACCORDANCE WITH IDOT SECTIONS 204, 205 AND 207 OF THE STANDARD SPECIFICATIONS. WHERE RECOMMENDED BY OWNER/DEVELOPERS GEOTECHNICAL CONSULTANT, CONTRACTOR SHALL UNDERCUT AND BACKFILL OR LIME STABILIZE SUB GRADE SOILS IN ACCORDANCE WITH SECTION 1012.

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PREPARED FOR:  
**STONEWOOD PROPERTIES AND DEVELOPMENT, LLC**  
 926 SUNSET ROAD  
 GENEVA, ILLINOIS 60134  
 (630) 262-3844



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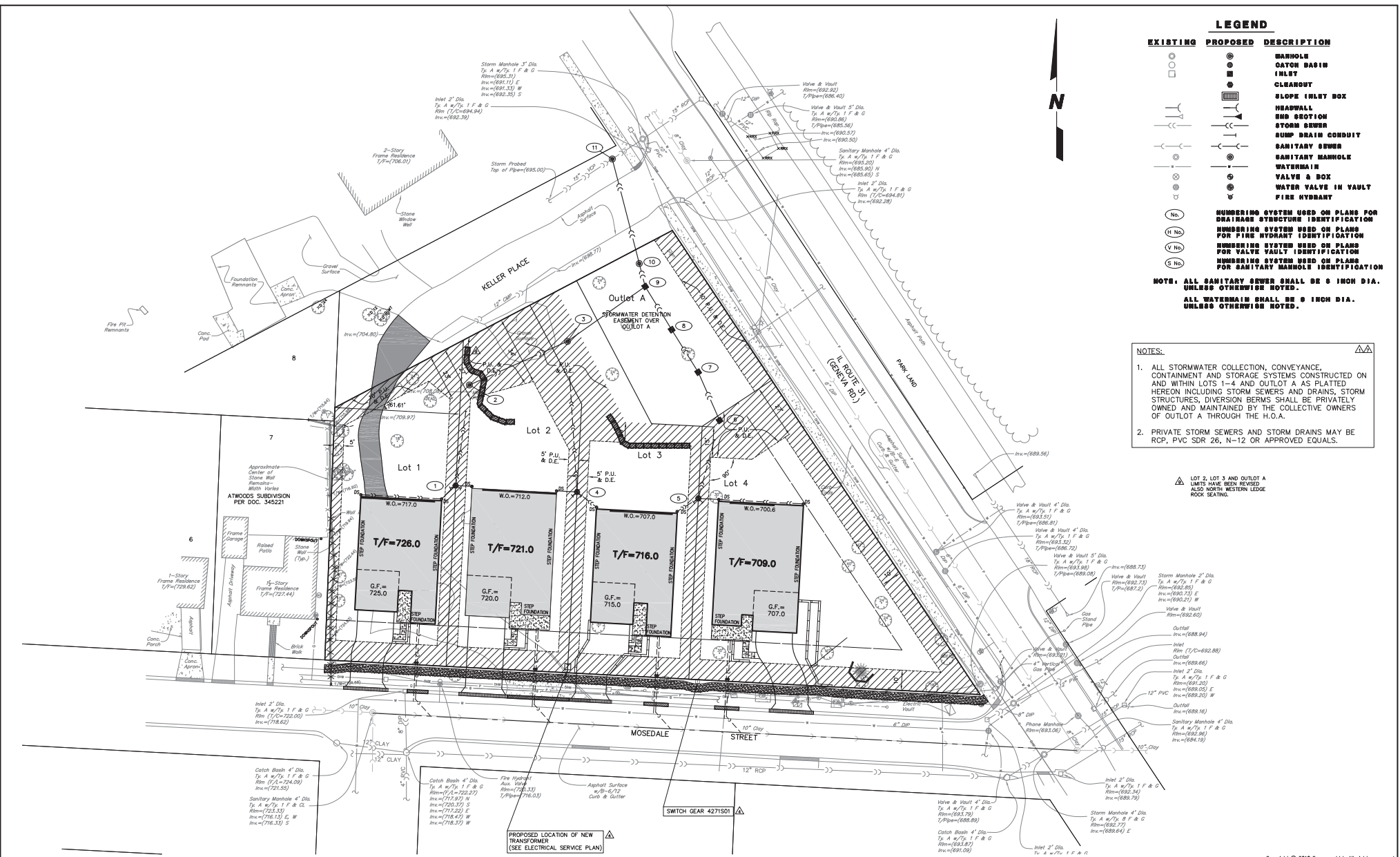
| REVISIONS |              |                            |     |      |             |
|-----------|--------------|----------------------------|-----|------|-------------|
| NO.       | DATE         | DESCRIPTION                | NO. | DATE | DESCRIPTION |
| 1         | 09-23-19/JGC | REVISED CLIENT INFORMATION |     |      |             |
|           |              |                            |     |      |             |
|           |              |                            |     |      |             |
|           |              |                            |     |      |             |
|           |              |                            |     |      |             |

**CONSTRUCTION SPECIFICATIONS – GENERAL NOTES**  
**CITYVIEW SUBDIVISION**

|                     |               |                  |                   |                |
|---------------------|---------------|------------------|-------------------|----------------|
| FILE NAME: GENNOTES | DSGN. BY: RWB | JOB NO.: 504.015 | FLD. BK./PG.: --- | SHEET NO.      |
| DIR: 504015         | DRN. BY: JGC  | DATE: 04-25-18   | SCALE: 1" = ---   | <b>2 of 16</b> |



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### LEGEND

| EXISTING | PROPOSED | DESCRIPTION  |
|----------|----------|--|
| ○        | ⊗        | MANHOLE  |
| ○        | ⊗        | CACTON BASIN   |
| □        | ⊗        | INLET  |
| ⊗        | ⊗        | CLEAROUT   |
| ⊗        | ⊗        | FLOPS INLET BOX  |
| ⊗        | ⊗        | HEADWALL   |
| ⊗        | ⊗        | END SECTION  |
| ⊗        | ⊗        | STORM SEWER  |
| ⊗        | ⊗        | BUMP DRAIN CONDUIT   |
| ⊗        | ⊗        | SANITARY SEWER   |
| ⊗        | ⊗        | SANITARY MANHOLE   |
| ⊗        | ⊗        | WATERMAIN  |
| ⊗        | ⊗        | VALVE & BOX  |
| ⊗        | ⊗        | WATER VALVE IN VAULT   |
| ⊗        | ⊗        | FIRE HYDRANT   |
| (No.)    | (No.)    | NUMBERING SYSTEM USED ON PLANS FOR DRAINAGE STRUCTURE IDENTIFICATION |
| (H No.)  | (H No.)  | NUMBERING SYSTEM USED ON PLANS FOR FIRE HYDRANT IDENTIFICATION       |
| (V No.)  | (V No.)  | NUMBERING SYSTEM USED ON PLANS FOR VALVE VAULT IDENTIFICATION        |
| (S No.)  | (S No.)  | NUMBERING SYSTEM USED ON PLANS FOR SANITARY MANHOLE IDENTIFICATION   |

**NOTE: ALL SANITARY SEWER SHALL BE 8 INCH DIA. UNLESS OTHERWISE NOTED.**

**ALL WATERMAIN SHALL BE 8 INCH DIA. UNLESS OTHERWISE NOTED.**

- NOTES:**
- ALL STORMWATER COLLECTION, CONVEYANCE, CONTAINMENT AND STORAGE SYSTEMS CONSTRUCTED ON AND WITHIN LOTS 1-4 AND OUTLOT A AS FURTHER HEREON INCLUDING STORM SEWERS AND DRAINS, STORM STRUCTURES, DIVERSION BERMS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE COLLECTIVE OWNERS OF OUTLOT A THROUGH THE H.O.A.
  - PRIVATE STORM SEWERS AND STORM DRAINS MAY BE RCP, PVC SDR 26, N-12 OR APPROVED EQUALS.

▲ LOT 2, LOT 3 AND OUTLOT A LINES HAVE BEEN REVISED ALSO NORTH WESTERN LEDGE ROCK SEATING.

PREPARED FOR:  
**STONEWOOD PROPERTIES AND DEVELOPMENT, LLC**  
 926 SUNSET ROAD  
 GENEVA, ILLINOIS 60134  
 (630) 262-3844

PREPARED BY:  
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 Consulting Engineers, Land Surveyors & Planners  
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 E-Mail: cadd@cemcon.com Website: www.cemcon.com

| REVISIONS |   |
|-----------|---|
| NO.       | DATE                                    |
| ▲         | 07-09-18/JGC REVISED PER CITY REVIEW    |
| ▲         | 09-17-18/JGC REVISED PER CITY REVIEW    |
| ▲         | 11-07-18/BCD REVISED PER CITY REVIEW    |
| ▲         | 09-23-19/JGC REVISED CLIENT INFORMATION |
| ▲         | 08-04-21/BCD REVISED FOR PERMITTING     |
| ▲         | 10-19-23/DDD REVISED PER RESUBDIVISION  |

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### OVERALL UTILITY PLAN

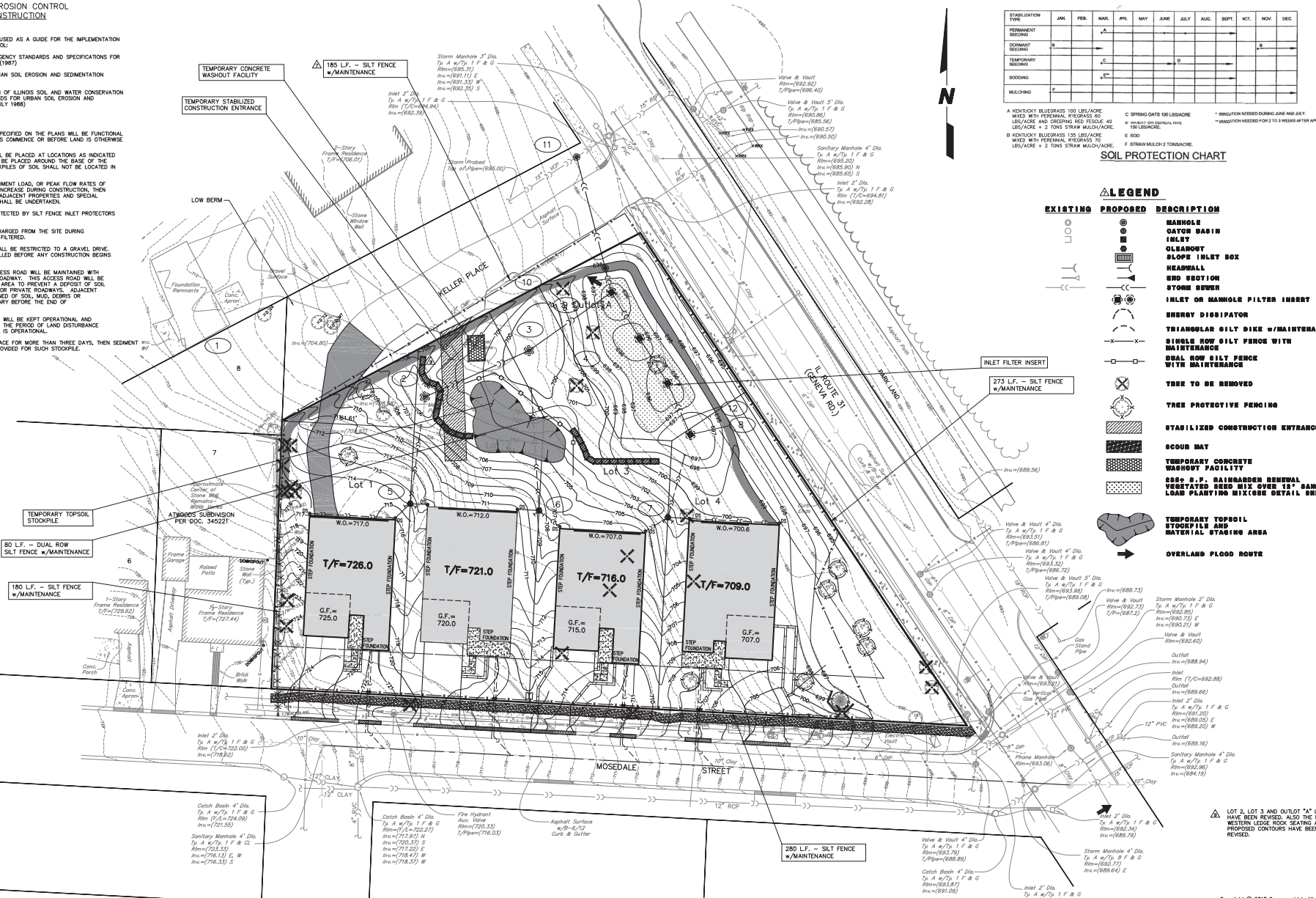
#### CITYVIEW SUBDIVISION

|                   |               |                  |                   |                   |
|-------------------|---------------|------------------|-------------------|-------------------|
| FILE NAME: SOLERO | DSGN. BY: RWB | JOB NO.: 504.015 | FLD. BK./PG.: --- | SHEET NO. 4 of 16 |
| DIR: 504015       | DRN. BY: JGC  | DATE: 04-25-18   | SCALE: 1" = 20'   |                   |

**SEDIMENT AND EROSION CONTROL DURING CONSTRUCTION**

**STANDARDS:**  
 THE FOLLOWING PUBLICATIONS WILL BE USED AS A GUIDE FOR THE IMPLEMENTATION OF SOIL EROSION AND SEDIMENT CONTROL:  
 ILLINOIS ENVIRONMENTAL PROTECTION AGENCY STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (1987)  
 PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS (OCT. 1981)  
 URBAN COMMITTEE OF THE ASSOCIATION OF ILLINOIS SOIL AND WATER CONSERVATION DISTRICTS. PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS (JULY 1988)

- REQUIREMENTS:**
1. SEDIMENT AND EROSION CONTROLS SPECIFIED ON THE PLANS WILL BE FUNCTIONAL BEFORE ANY EARTHWORK OPERATIONS COMMENCE OR BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE.
  2. STOCKPILES OF EARTH MATERIAL WILL BE PLACED AT LOCATIONS AS INDICATED ON THE PLANS. A SILT FENCE WILL BE PLACED AROUND THE BASE OF THE STOCKPILE WHERE INDICATED. STOCKPILES OF SOIL SHALL NOT BE LOCATED IN SPECIAL MANAGEMENT AREAS.
  3. SHOULD THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER RUNOFF TEMPORARILY INCREASE DURING CONSTRUCTION, THEN ADDITIONAL MEASURES TO PROTECT ADJACENT PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM SHALL BE UNDERTAKEN.
  4. STORM SEWER INLETS SHALL BE PROTECTED BY SILT FENCE INLET PROTECTORS FOLLOWING INSTALLATION.
  5. WATER PLUMBED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DETERMINING WILL BE FILTERED.
  6. VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A GRAVEL DRIVE. SAID GRAVEL DRIVE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS ABOVE THE TOP OF FOUNDATION.
  7. THE DESIGNATED CONSTRUCTION ACCESS ROAD WILL BE MAINTAINED WITH CONNECTION TO ADJACENT PUBLIC ROADWAY. THIS ACCESS ROAD WILL BE UTILIZED AS A VEHICLE WASH DOWN AREA TO PREVENT A DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ADJACENT ROADWAYS WILL BE SWEEPED OR CLEANED OF SOIL, MUD, DEBRIS OR EXTRANEIOUS MATERIALS AS NECESSARY BEFORE THE END OF EACH WORKDAY.
  8. ALL CONTROL MEASURES NECESSARY WILL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGH THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT EROSION CONTROL IS OPERATIONAL.
  9. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.



| STABILIZATION TYPE | JAN | FEB | MAR | APR | MAY | JUNE | JULY | AUG | SEPT | OCT | NOV | DEC |
|--------------------|-----|-----|-----|-----|-----|------|------|-----|------|-----|-----|-----|
| PERMANENT BERMING  |     |     |     |     |     |      |      |     |      |     |     |     |
| DORMANT BERMING    |     |     |     |     |     |      |      |     |      |     |     |     |
| TEMPORARY BERMING  |     |     |     |     |     |      |      |     |      |     |     |     |
| SOODING            |     |     |     |     |     |      |      |     |      |     |     |     |
| MALDING            |     |     |     |     |     |      |      |     |      |     |     |     |

**SOIL PROTECTION CHART**

A KENTUCKY BLUEGRASS 100 LBS./ACRE MAILED WITH PERMANENT PEASBRASS 100 LBS./ACRE AND CREEPING RED PEGUE, 40 LBS./ACRE + 2 TONS STRAW MULCH/ACRE.  
 B KENTUCKY BLUEGRASS 135 LBS./ACRE MAILED WITH PERMANENT PEASBRASS 75 LBS./ACRE + 2 TONS STRAW MULCH/ACRE.  
 C SPRING CATS 100 LBS./ACRE  
 D WHEAT OR CRACK ICE 100 LBS./ACRE  
 E SOG  
 F STRAW MULCH 2 TONS/ACRE  
 \* IRRIGATION NEEDED DURING JUNE AND JULY.  
 \*\* IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOG.

**LEGEND**

| EXISTING | PROPOSED | DESCRIPTION   |
|----------|----------|---|
| ○        | ○        | MANHOLE   |
| □        | □        | CATCH BASIN   |
| ○        | ○        | INLET   |
| □        | □        | OLEARNOUT   |
| □        | □        | SLOPE & INLET BOX   |
| □        | □        | HEADWALL  |
| □        | □        | END SECTION   |
| □        | □        | STORM SEWER   |
| □        | □        | INLET OR MANHOLE FILTER INSERT  |
| □        | □        | ENERGY DISSIPATOR   |
| □        | □        | TRIANGULAR SILT DIKE w/MAINTENANCE  |
| □        | □        | SINGLE ROW SILT FENCE WITH MAINTENANCE  |
| □        | □        | DUAL ROW SILT FENCE WITH MAINTENANCE  |
| □        | □        | TREE TO BE REMOVED  |
| □        | □        | TREE PROTECTIVE FENCING   |
| □        | □        | STABILIZED CONSTRUCTION ENTRANCE  |
| □        | □        | SCOUR MAT   |
| □        | □        | TEMPORARY CONCRETE WASHOUT FACILITY   |
| □        | □        | SLOPE & INLET BOX, GRASS/BERM BERMING, VEGETATED SEED MIX OVER 1" SAND AND LEAF PLANTING MIX (SEE DETAIL SHEET 6) |
| □        | □        | TEMPORARY TOPSOIL STOCKPILE AND MATERIAL STAGING AREA   |
| □        | □        | OVERLAND FLOOD ROUTE  |

PLOT FILE CREATED: 10/19/2023 11:55 AM BY DAVID DENNY DRAWING LAST SAVER: 10/19/2023 11:39 AM BY DAVID DENNY DRAWING DATE: P:\ASSETS\ENGINEERING\ADMINISTRATIVE DRAWINGS\SOILPROTECT.DWG

PREPARED FOR:  
**STONEWOOD PROPERTIES AND DEVELOPMENT, LLC**  
 926 SUNSET ROAD  
 GENEVA, ILLINOIS 60134  
 (630) 262-3844



PREPARED BY:  
**CEMCON, Ltd.**  
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 Ph: 630.862.2100 Fax: 630.862.2199  
 E-Mail: cadd@cemcon.com Website: www.cemcon.com

| NO. |               | DATE |               | REVISIONS                  |     | DESCRIPTION |             |
|-----|---------------|------|---------------|----------------------------|-----|-------------|-------------|
| NO. | DATE          | NO.  | DATE          | DESCRIPTION                | NO. | DATE        | DESCRIPTION |
| 01  | 09-18/2023    | 01   | 09-18/2023    | REVISED PER CITY REVIEW    |     |             |             |
| 02  | 09-18/2023    | 02   | 09-18/2023    | REVISED PER CITY REVIEW    |     |             |             |
| 03  | 09-23/2023    | 03   | 09-23/2023    | REVISED CLIENT INFORMATION |     |             |             |
| 04  | 09-24-23/2023 | 04   | 09-24-23/2023 | REVISED FOR REPERMITTING   |     |             |             |
| 05  | 10-19-23/2023 | 05   | 10-19-23/2023 | REVISED PER RESUBDIVISION  |     |             |             |

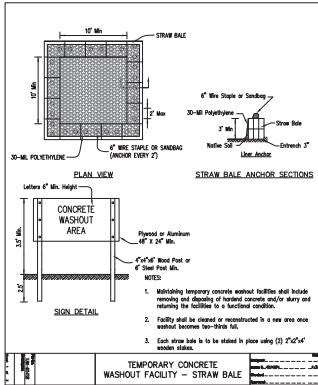
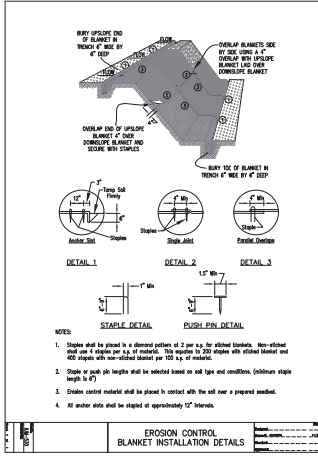
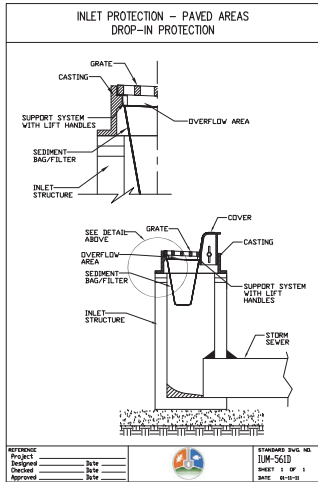
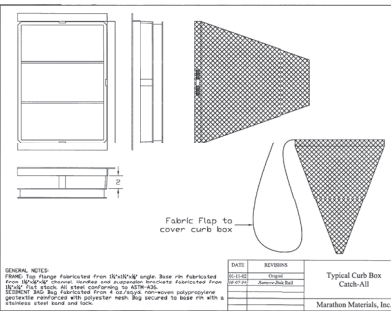
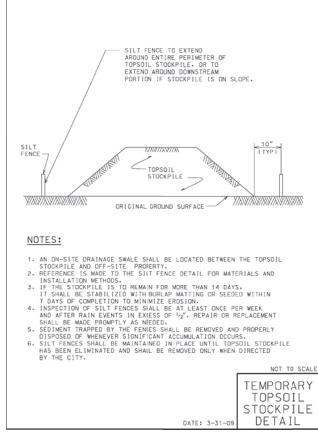
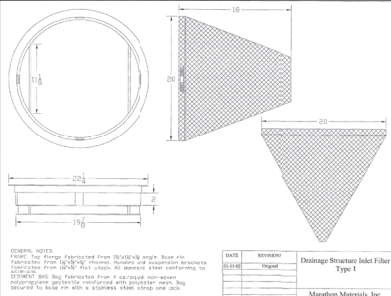
**STORMWATER POLLUTION PREVENTION PLAN**  
**CITYVIEW SUBDIVISION**

FILE NAME: SOLIERO DSGN. BY: RWB JOB NO.: 504.015 FLD. BK./PG.: --- SHEET NO. 5 of 16  
 DIR: 504015 DRN. BY: JGC DATE: 04-25-18 SCALE: 1" = 20'

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PLOT FILE CREATED: 8/22/2021 11:21 AM BY BRANSON DAVIS  
DRAWING LAST SAVED: 8/22/2021 11:21 AM BY BRANSON DAVIS  
DRAWING TITLE: P:\SANDSTONE\DC\ADMINISTRATIVE\DRAWINGS\SOILPROTECT.DWG

| NATIVE SEED MIX - BIO RETENTION BASIN |                       |          |
|---------------------------------------|-----------------------|----------|
| SCIENTIFIC NAME                       | COMMON NAME           | OZ./ACRE |
| <b>WILDOLOWERS</b>                    |                       |          |
| <i>Achillea millefolium</i>           | Marsh Sturdy Milkweed | 3.00     |
| <i>Aster spicatus</i>                 | Spiky Aster           | 0.10     |
| <i>Aster spicatus</i>                 | New England Aster     | 1.50     |
| <i>Erigeron philadelphicus</i>        | White Wildflower      | 4.00     |
| <i>Erigeron philadelphicus</i>        | Spirited Jay's Weed   | 0.80     |
| <i>Erigeron philadelphicus</i>        | Burner                | 0.50     |
| <i>Erigeron philadelphicus</i>        | Prince of Wales Star  | 2.50     |
| <i>Erigeron philadelphicus</i>        | Marsh Ring Star       | 0.50     |
| <i>Erigeron philadelphicus</i>        | Cardinal Flower       | 0.50     |
| <i>Erigeron philadelphicus</i>        | Great Blue Lobelia    | 0.50     |
| <i>Erigeron philadelphicus</i>        | Wild Rosemary         | 1.50     |
| <i>Erigeron philadelphicus</i>        | Obelisk Plant         | 1.50     |
| <i>Erigeron philadelphicus</i>        | Mountain Star         | 0.50     |
| <i>Erigeron philadelphicus</i>        | Yellow Cudweed        | 0.50     |
| <i>Erigeron philadelphicus</i>        | Black and Blue        | 2.00     |
| <i>Erigeron philadelphicus</i>        | Swamp Blackhead Susan | 2.00     |
| <i>Erigeron philadelphicus</i>        | Ohio Galium           | 0.50     |
| <i>Erigeron philadelphicus</i>        | Ohio Galium           | 1.50     |
| <i>Erigeron philadelphicus</i>        | Blue Vervain          | 1.00     |
| <i>Erigeron philadelphicus</i>        | Wormwood              | 2.00     |



**Catch-All**  
Inlet & Pipe Protector  
Round, Rectangular, Beehive, or Roll Type Curb Inlets

Mar-Mac Manufacturing Co., Inc.

**Suggested Maintenance**  
Catch-All Bag

The frequency and degree of maintenance required is dependent on site conditions and rainfall. Certain types of soil and run-off from both hydrocarbons, (oil, solvents, etc.), tend to "soak up" the fabric bags more quickly than others.

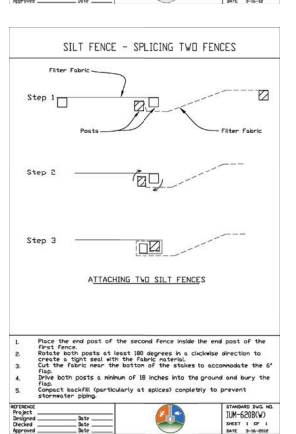
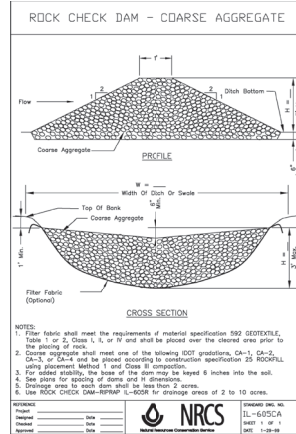
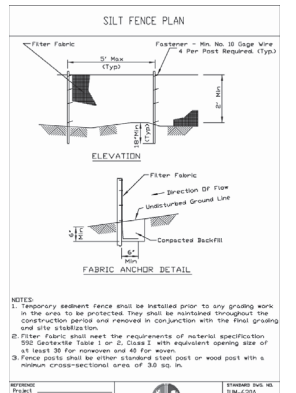
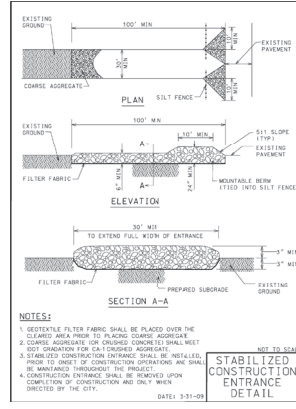
Generally, the bags can be emptied, inverted, washed, and re-used throughout an entire project. They may also be vacuumed. The bag must be replaced if it is severely worn or torn.

**GUIDELINES FOR CONSTRUCTION SITES**

- Inspect the bag at least every 2 weeks - Clean, if needed
- Inspect the bag every time there is rainfall totaling 1 or more inches - Clean, if needed
- Replace the bag every 6 months; More often for harsh environments
- Replace the bag after any oil, coolant, or solvent spill
- Replace the bag if it has a hole in it
- Replace the bag if it appears clean but won't pass water

**GUIDELINES FOR PARKING LOTS & MAINTENANCE YARDS**

- Inspect the bag at least once per month - Clean, if needed
- Inspect the bag every time there is rainfall totaling more than two inches - Clean, if needed
- Replace the bag every 6 months; More often for harsh environments
- Replace the bag after any oil, coolant, or solvent spill
- Replace the bag if it has a hole in it
- Replace the bag if it appears clean but won't pass water



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| REVISIONS |              |
|-----------|--------------|
| NO.       | DATE         |
| 1         | 07-09-18/AGC |
| 2         | 08-13-18/AGC |
| 3         | 08-23-19/AGC |

| REVISIONS |              |
|-----------|--------------|
| NO.       | DATE         |
| 1         | 07-09-18/AGC |
| 2         | 08-13-18/AGC |
| 3         | 08-23-19/AGC |

STORMWATER POLLUTION PREVENTION DETAILS  
CITYVIEW SUBDIVISION

FILE NAME: SOLIERO DSGN. BY: RWB JOB NO.: 504.015 FLD. BK./PG.: SHEET NO. 6 OF 16  
DIR: 504015 DRN. BY: JGC DATE: 04-25-18 SCALE: 1" = 6'








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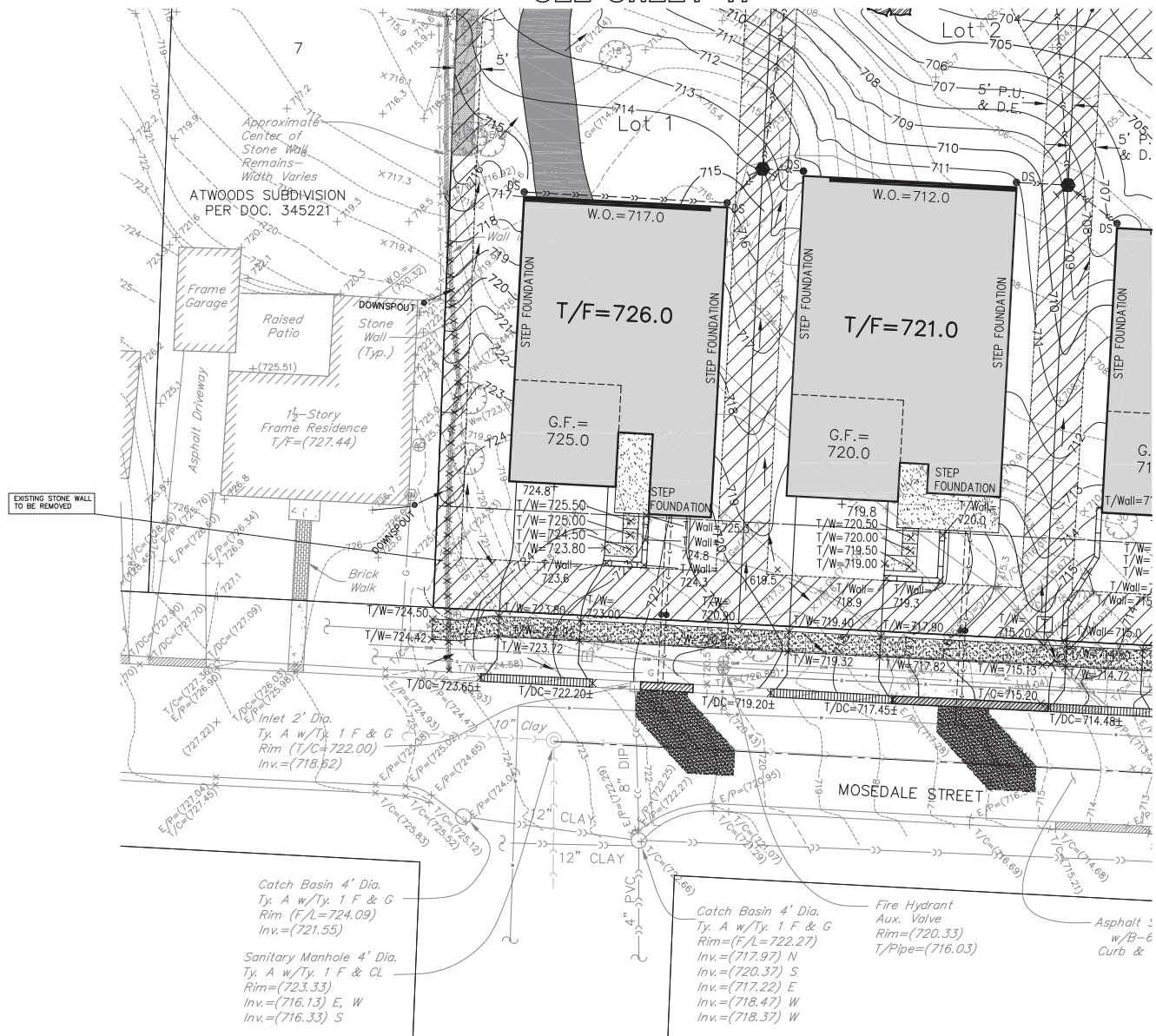
SEE SHEET 11

DRAINAGE & GRADING NOTES

1. ELEVATIONS SHOWN FOR ALL CURB INLETS, CATCH BASINS, AND MANHOLES ARE TOP OF CURB.
2. ALL CURBS SHALL BE BACKFILLED TO WITHIN 6 INCHES OF THE TOP OF CURB.
3. ALL BACK YARD SWALES SHALL BE CUT OR FILLED 6 INCHES BELOW FINISHED GRADE.
4. EXISTING DRAINAGE TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE PRESERVED OR REPAIRED IN ACCORDANCE WITH SPECIFICATION (SEE SHEET 2).
5. T/F - INDICATES PROPOSED TOP OF FOUNDATION ELEVATIONS AND THE LOWEST OPENING IN A CONVENTIONAL FOUNDATION WHERE SURFACE RUNOFF CAN ENTER THE FOUNDATION.
6. THE TOP OF WINDOW WELLS SHALL BE CONSTRUCTED NO LOWER THAN THE TOP OF FOUNDATION ELEVATION (T/F).
7. THE FINISHED TOPSOIL ELEVATION AT THE FOUNDATION SHOULD GENERALLY BE 0.7 FEET BELOW THE TOP OF FOUNDATION ELEVATION UNLESS INDICATED OTHERWISE.
8. G/F - INDICATES THE PROPOSED GARAGE FLOOR ELEVATION. THE PLACEMENT OF THE GARAGE / DRIVEWAY IS CRITICAL WHEN AND WHERE SHOWN ON THIS PLAN. IT IS MANDATORY THAT THE GARAGE BE CONSTRUCTED ON THE SIDE INDICATED.
9. L.O. OR W.O. - INDICATED THOSE LOTS WHERE A "LOOK-OUT" (L.O.) OR "WALK-OUT" (W.O.) BASEMENT CAN BE CONSTRUCTED. THE REQUIRED ELEVATION OF THE LOWEST FOUNDATION OPENING IS GIVEN. IF A LOOK-OUT OR WALK-OUT BASEMENT IS NOT DESIRED, A DETAILED GRADING PLAN OF THE ALTERNATE DESIGN MUST BE SUBMITTED TO THE GOVERNING AUTHORITY.
10.  - ACCENTED SIDES OF PROPOSED HOUSE FOUNDATIONS ARE INTENDED TO INDICATE THE APPROXIMATE LOCATION WHERE A LOOK-OUT OR WALK-OUT BASEMENT MAY BE CONSTRUCTED OR TO INDICATE THAT SPECIAL CONSTRUCTION MEASURES MUST BE EMPLOYED IN ORDER TO MINIMIZE SIDE YARD, REAR YARD AND / OR FRONT YARD GRADIENTS (E.G. DROPPED SIDING, STEPPED FOUNDATION, RETAINING WALL, ETC.) - SEE NOTES ABOVE FOR FURTHER DETAILS.
11. LOT DIMENSIONS SHOWN ON THIS PLAN MAY NOT NECESSARILY CORRESPOND TO THE PLATTED DIMENSIONS. REFER TO THE FINAL RECORDED PLAT OF SUBDIVISION.
12.  - WATERMAIN PROTECTION (SEE SHEETS 2 & 3 FOR DETAILS).
13.  - INDICATES THE LOCATION AND DIRECTION OF AN OVERLAND FLOOD ROUTE THAT MUST BE RESPECTED IN ALL FINAL GRADING OPERATIONS (SEE DETAILS).
14.  - DENOTES AREA WHERE GRANULAR TRENCH BACKFILL IS REQUIRED.
15. (ELEV) - INDICATES EXISTING ELEVATION.
16.  - DENOTES EXISTING UTILITY TO BE REMOVED.
17. ALL REAR YARD STORM SEWERS ARE TO BE OFFSET 5 FEET FROM LOT LINE UNLESS OTHERWISE NOTED.
18.  - INDICATES DRIVEWAY LOCATION.
19.  - INDICATES PVC SUMP DRAIN CONDUIT.



SEE SHEET 9



- NOTES:
1. ALL STORMWATER COLLECTION, CONVEYANCE, CONTAINMENT AND STORAGE SYSTEMS CONSTRUCTED ON AND WITHIN LOTS 1-4 AND OUTLOT A AS PLATTED HEREON INCLUDING STORM SEWERS AND DRAINS, STORM STRUCTURES, DIVERSION BERMS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE COLLECTIVE OWNERS OF OUTLOT A THROUGH THE H.O.A.
  2. PRIVATE STORM SEWERS AND STORM DRAINS MAY BE RCP, PVC SDR 26, N-12 OR APPROVED EQUALS.

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| NO. |              | DATE | REVISIONS                  | NO. |  | DATE | DESCRIPTION |
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| 1   | 07-09-18/AGC |      | REVISED PER CITY REVIEW    |     |  |      |             |
| 2   | 08-23-19/AGC |      | REVISED CLIENT INFORMATION |     |  |      |             |
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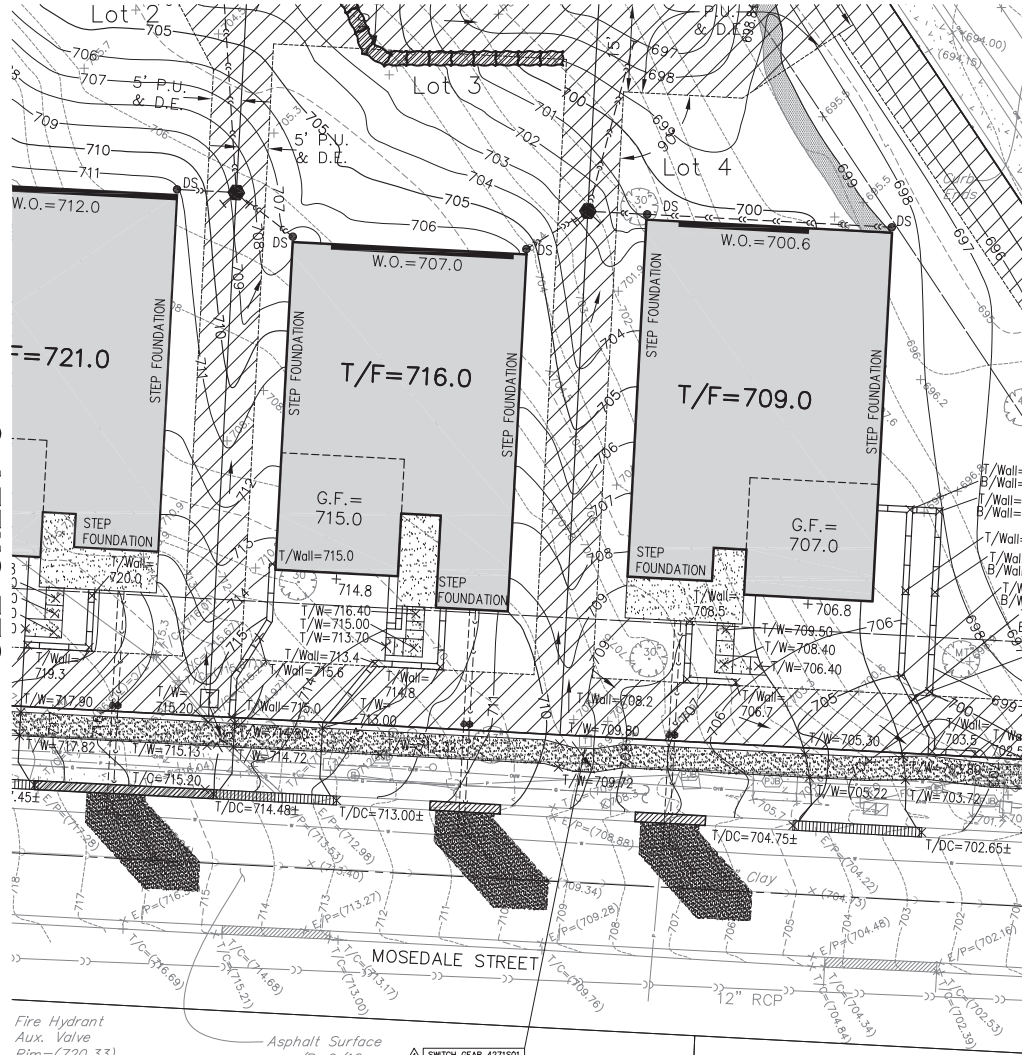
| DRAINAGE AND GRADING PLAN |               |                  |                     |                   |
|---------------------------|---------------|------------------|---------------------|-------------------|
| CITYVIEW SUBDIVISION      |               |                  |                     |                   |
| FILE NAME: GRADE          | DSGN. BY: RWB | JOB NO.: 504.015 | F.L.D. BK./PG.: --- | SHEET NO. 8 of 16 |
| DIR: 504015               | DRN. BY: JGC  | DATE: 04-29-18   | SCALE: 1" = 10'     |                   |

PLOT FILE CREATED: 10/19/2023 11:57 AM BY DAVID DEBAY. DRAWING DATE: P:\0515\504.DWG (ADMINISTRATIVE DRAFTING) GRADING

SEE SHEET 12

SEE SHEET 8

SEE SHEET 10



Fire Hydrant  
Aux. Valve  
Rim=(720.33)  
T/Pipe=(716.03)

Asphalt Surface  
w/B-6/12  
Curb & Gutter

SWITCH GEAR 4271501

DRAINAGE & GRADING NOTES

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15. (ELEV.) - INDICATES EXISTING ELEVATION.
16. - DENOTES EXISTING UTILITY TO BE REMOVED.
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18. - INDICATES DRIVEWAY LOCATION.
19. - INDICATES PVC SUMP DRAIN CONDUIT.

PROPOSED CONTOURS HAVE BEEN REVISED.

NOTES:

1. ALL STORMWATER COLLECTION, CONVEYANCE, CONTAINMENT AND STORAGE SYSTEMS CONSTRUCTED ON AND WITHIN LOTS 1-4 AND OUTLOT A AS PLATTED HEREON INCLUDING STORM SEWERS AND DRAINS, STORM STRUCTURES, DIVERSION BERMS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE COLLECTIVE OWNERS OF OUTLOT A THROUGH THE H.O.A.
2. PRIVATE STORM SEWERS AND STORM DRAINS MAY BE RCP, PVC SDR 26, N-12 OR APPROVED EQUALS.

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PREPARED FOR:  
STONWOOD PROPERTIES AND DEVELOPMENT, LLC  
926 SUNSET ROAD  
GENEVA, ILLINOIS 60134  
(630) 262-3844



PREPARED BY:  
**CEMCON, Ltd.**  
Consulting Engineers, Land Surveyors & Planners  
2280 White Oak Circle, Suite 100  
Aurora, Illinois 60502-9676  
Ph: 630.862.2100 Fax: 630.862.2199  
E-Mail: cadd@cemcon.com Website: www.cemcon.com

| NO. |              | DATE | REVISIONS                  | DESCRIPTION | NO. | DATE | DESCRIPTION |
|-----|--------------|------|----------------------------|-------------|-----|------|-------------|
| 1   | 07-09-18/JGD |      | REVISED PER CITY REVIEW    |             |     |      |             |
| 2   | 11-07-18/BCD |      | REVISED PER CITY REVIEW    |             |     |      |             |
| 3   | 09-23-19/JGC |      | REVISED CLIENT INFORMATION |             |     |      |             |
| 4   | 08-04-21/JGC |      | REVISED FOR PERMITTING     |             |     |      |             |
| 5   | 10-19-23/JDD |      | REVISED PER RESUBDIVISION  |             |     |      |             |

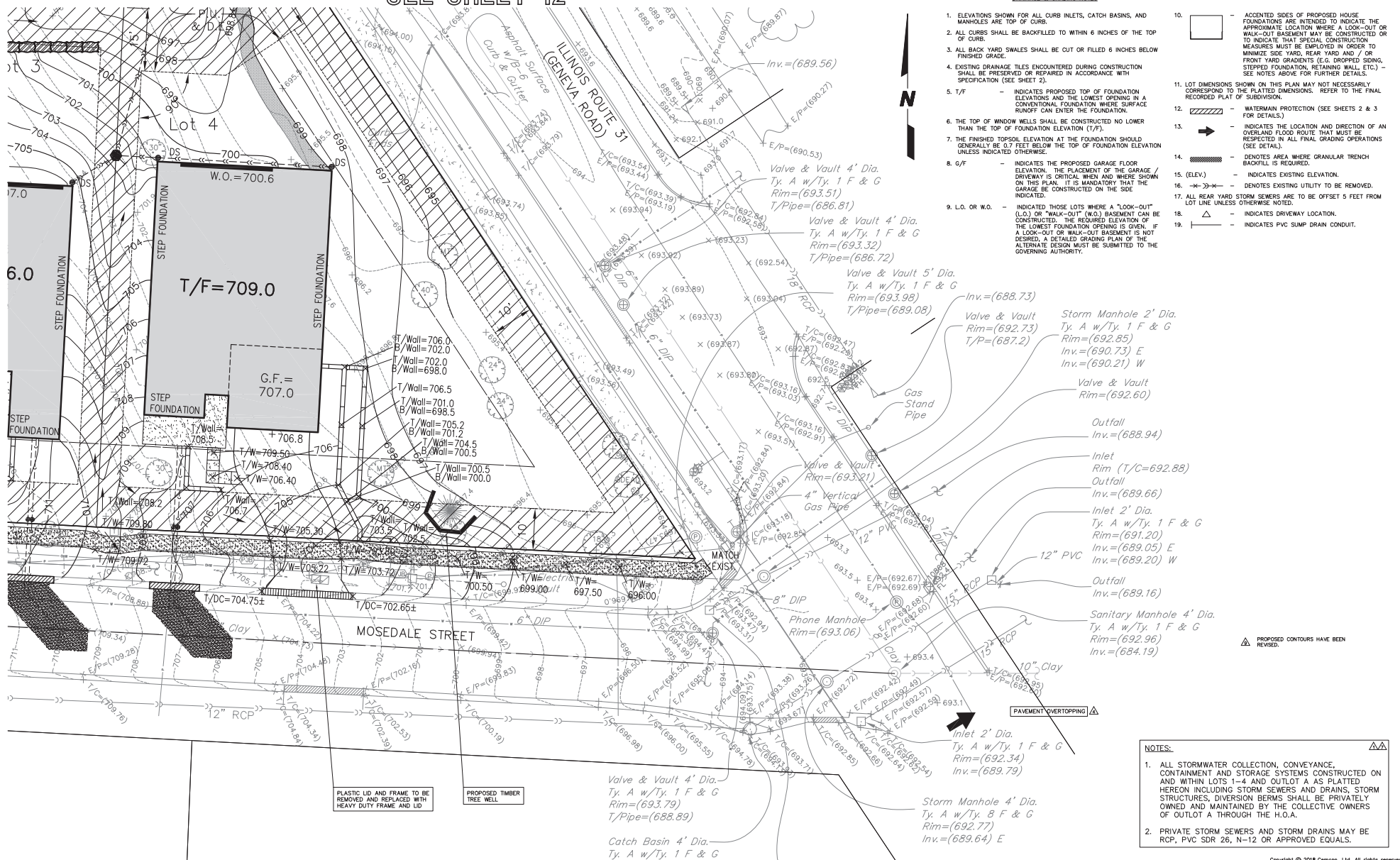
DRAINAGE AND GRADING PLAN  
CITYVIEW SUBDIVISION

|                  |               |                  |                     |                   |
|------------------|---------------|------------------|---------------------|-------------------|
| FILE NAME: GRADE | DSGN. BY: RWB | JOB NO.: 504.015 | F.L.D. BK./PG.: --- | SHEET NO. 9 of 16 |
| DIR: 504015      | DRN. BY: JGC  | DATE: 04-29-18   | SCALE: 1" = 10'     |                   |

PLOT FILE CREATED: 10/19/2023 11:57 AM BY DAVID DEMAY. DRAWING PLATE: P:\042515\DWG\ADMIN\STY\ADMIN\STYL\GRADES.DWG. DRAWING LAST SAVED: 10/19/2023 11:39 AM BY DAVID DEMAY.

SEE SHEET 12

SEE SHEET 9



DRAINAGE & GRADING NOTES

- ELEVATIONS SHOWN FOR ALL CURB INLETS, CATCH BASINS, AND MANHOLES ARE TOP OF CURB.
- ALL CURBS SHALL BE BACKFILLED TO WITHIN 6 INCHES OF THE TOP OF CURB.
- ALL BACK YARD SWALES SHALL BE CUT OR FILLED 6 INCHES BELOW FINISHED GRADE.
- EXISTING DRAINAGE TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE PRESERVED OR REPAIRED IN ACCORDANCE WITH SPECIFICATION (SEE SHEET 2).
- T/F - INDICATES PROPOSED TOP OF FOUNDATION ELEVATIONS AND THE LOWEST OPENING IN A CONVENTIONAL FOUNDATION WHERE SURFACE RUNOFF CAN ENTER THE FOUNDATION.
- THE TOP OF WINDOW WALLS SHALL BE CONSTRUCTED NO LOWER THAN THE TOP OF FOUNDATION ELEVATION (T/F).
- THE FINISHED TOPSOIL ELEVATION AT THE FOUNDATION SHOULD GENERALLY BE 0.7 FEET BELOW THE TOP OF FOUNDATION ELEVATION UNLESS INDICATED OTHERWISE.
- G/F - INDICATES THE PROPOSED GARAGE FLOOR ELEVATION. THE PLACEMENT OF THE GARAGE/DRIVEWAY IS CRITICAL WHEN AND WHERE SHOWN ON THIS PLAN. IT IS MANDATORY THAT THE GARAGE BE CONSTRUCTED ON THE SIDE INDICATED.
- L.O. OR W.O. - INDICATED THOSE LOTS WHERE A "LOOK-OUT" (L.O.) OR "WALK-OUT" (W.O.) BASEMENT CAN BE CONSTRUCTED. THE REQUIRED ELEVATION OF THE LOWEST FOUNDATION OPENING IS GIVEN. IF A LOOK-OUT OR WALK-OUT BASEMENT IS NOT DESIRED, A DETAILED GRADING PLAN OF THE ALTERNATE DESIGN MUST BE SUBMITTED TO THE GOVERNING AUTHORITY.
- ACCENTED SIDES OF PROPOSED HOUSE FOUNDATIONS ARE INTERESTED TO INDICATE THE APPROXIMATE LOCATION WHERE A LOOK-OUT OR WALK-OUT BASEMENT MAY BE CONSTRUCTED OR TO INDICATE THAT SPECIAL CONSTRUCTION MEASURES MUST BE EMPLOYED IN ORDER TO MINIMIZE SIDE YARD, REAR YARD AND / OR FRONT YARD GRADIENTS (E.G. DROPPED SIDING, STEPPED FOUNDATION, RETAINING WALL, ETC.) - SEE NOTES ABOVE FOR FURTHER DETAILS.
- LOT DIMENSIONS SHOWN ON THIS PLAN MAY NOT NECESSARILY CORRESPOND TO THE PLATTED DIMENSIONS. REFER TO THE FINAL RECORDED PLAT OF SUBDIVISION.
- WATERMAIN PROTECTION (SEE SHEETS 2 & 3 FOR DETAILS.)
- INDICATES THE LOCATION AND DIRECTION OF AN OVERLAND FLOOD ROUTE THAT MUST BE RESPECTED IN ALL FINAL GRADING OPERATIONS (SEE DETAIL).
- DENOTES AREA WHERE GRANULAR TRENCH BACKFILL IS REQUIRED.
- INDICATES EXISTING ELEVATION.
- DENOTES EXISTING UTILITY TO BE REMOVED.
- ALL REAR YARD STORM SEWERS ARE TO BE OFFSET 5 FEET FROM LOT LINE UNLESS OTHERWISE NOTED.
- INDICATES DRIVEWAY LOCATION.
- INDICATES PVC SUMP DRAIN CONDUIT.

- NOTES:
- ALL STORMWATER COLLECTION, CONVEYANCE, CONTAINMENT AND STORAGE SYSTEMS CONSTRUCTED ON AND WITHIN LOTS 1-4 AND OUTLOT A AS PLATTED HEREON INCLUDING STORM SEWERS AND DRAINS, STORM STRUCTURES, DIVERSION BERMS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE COLLECTIVE OWNERS OF OUTLOT A THROUGH THE H.O.A.
  - PRIVATE STORM SEWERS AND STORM DRAINS MAY BE RCP, PVC SDR 26, N-12 OR APPROVED EQUALS.

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 (630) 262-3844

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| NO.          | DATE | DESCRIPTION                    | NO. | DATE | DESCRIPTION |
|--------------|------|--------------------------------|-----|------|-------------|
| 07-09-18/JGC |      | REVISED PER CITY REVIEW LETTER |     |      |             |
| 11-07-18/BCD |      | REVISED PER CITY REVIEW LETTER |     |      |             |
| 09-23-19/JGC |      | REVISED CLIENT INFORMATION     |     |      |             |
| 08-04-21/BCD |      | REVISED FOR REPERMITTING       |     |      |             |
| 10-19-23/JGC |      | REVISED PER RESUBDIVISION      |     |      |             |

| DRAINAGE AND GRADING PLAN |               |                  |                     |                    |
|---------------------------|---------------|------------------|---------------------|--------------------|
| CITYVIEW SUBDIVISION      |               |                  |                     |                    |
| FILE NAME: GRADE          | DSGN. BY: RWB | JOB NO.: 504.015 | F.L.D. BK./PG.: --- | SHEET NO. 10 of 16 |
| DIR: 504015               | DRN. BY: JGC  | DATE: 04-29-18   | SCALE: 1" = 10'     |                    |

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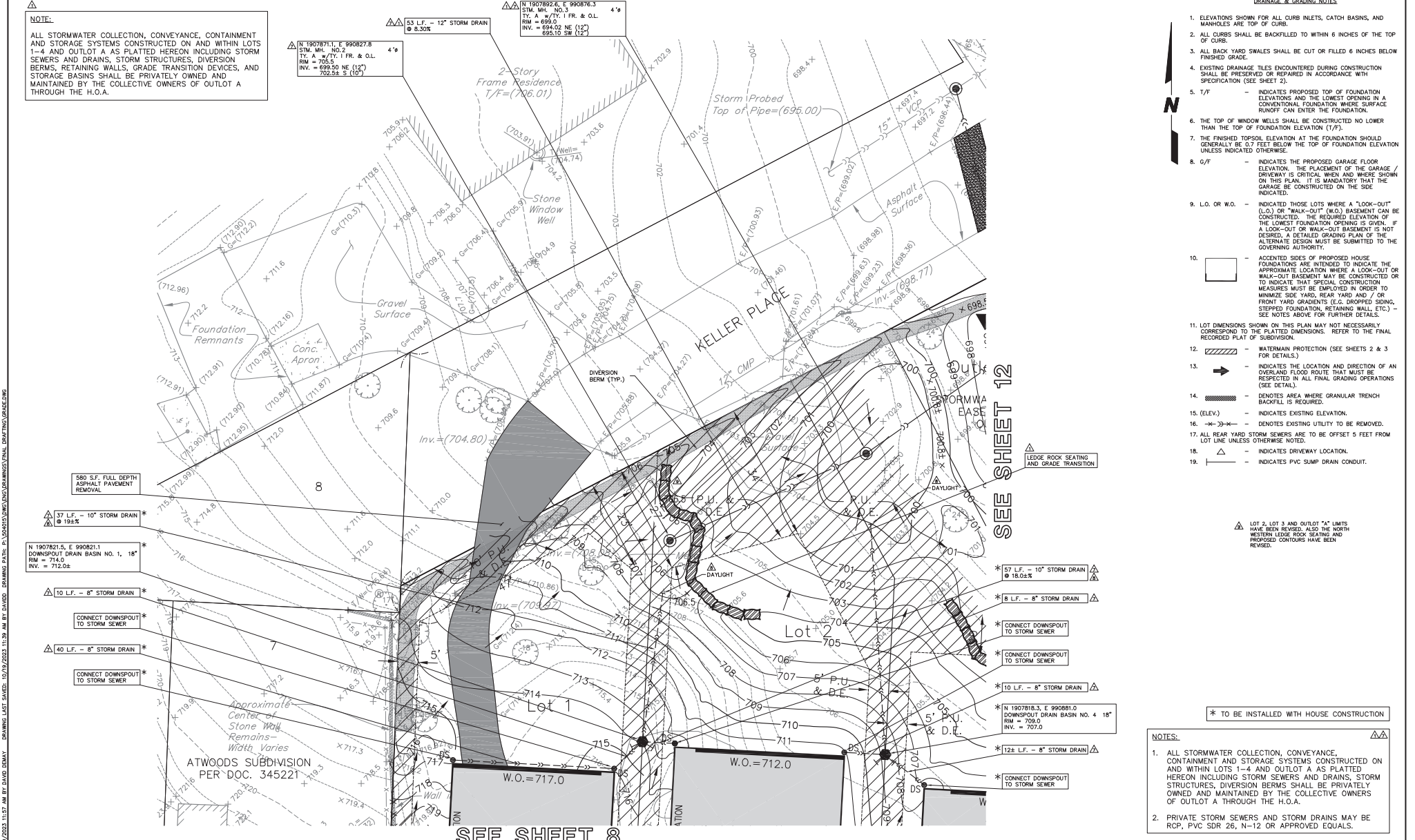
**NOTE:**  
 ALL STORMWATER COLLECTION, CONVEYANCE, CONTAINMENT AND STORAGE SYSTEMS CONSTRUCTED ON AND WITHIN LOTS 1-4 AND OUTLOT A AS PLATTED HEREON INCLUDING STORM SEWERS AND DRAINS, STORM STRUCTURES, DIVERSION BERMS, RETAINING WALLS, GRADE TRANSITION DEVICES, AND STORAGE BASINS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE COLLECTIVE OWNERS OF OUTLOT A THROUGH THE H.O.A.

53 L.F. - 12" STORM DRAIN @ 8.30%  
 4'±  
 N 1907873.1, E 990827.8  
 STM. M/L. NO. 3  
 T.Y. A w/ T.Y. 1 FR. & O.L.  
 RM = 705.5  
 INV. = 699.50 NE (12")  
 INV. = 702.54 S. (10")

53 L.F. - 12" STORM DRAIN @ 8.30%  
 4'±  
 N 1907882.6, E 990876.3  
 STM. M/L. NO. 3  
 T.Y. A w/ T.Y. 1 FR. & O.L.  
 RM = 695.0  
 INV. = 694.02 NE (12")  
 INV. = 695.10 SW (12")

**DRAINAGE & GRADING NOTES**

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- WATERMAN PROTECTION (SEE SHEETS 2 & 3 FOR DETAILS).
- INDICATES THE LOCATION AND DIRECTION OF AN OVERLAND FLOOD ROUTE THAT MUST BE RESPECTED IN ALL FINAL GRADING OPERATIONS (SEE DETAILS).
- DENOTES AREA WHERE GRANULAR TRENCH BACKFILL IS REQUIRED.
- (ELEV) - INDICATES EXISTING ELEVATION.
- INDICATES EXISTING UTILITY TO BE REMOVED.
- ALL REAR YARD STORM SEWERS ARE TO BE OFFSET 5 FEET FROM LOT LINE UNLESS OTHERWISE NOTED.
- INDICATES DRIVEWAY LOCATION.
- INDICATES PVC SLUMP DRAIN CONDUIT.



SEE SHEET 12

SEE SHEET 8

**NOTES:**

- ALL STORMWATER COLLECTION, CONVEYANCE, CONTAINMENT AND STORAGE SYSTEMS CONSTRUCTED ON AND WITHIN LOTS 1-4 AND OUTLOT A AS PLATTED HEREON INCLUDING STORM SEWERS AND DRAINS, STORM STRUCTURES, DIVERSION BERMS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE COLLECTIVE OWNERS OF OUTLOT A THROUGH THE H.O.A.
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\* TO BE INSTALLED WITH HOUSE CONSTRUCTION

PREPARED FOR:  
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 GENEVA, ILLINOIS 60134  
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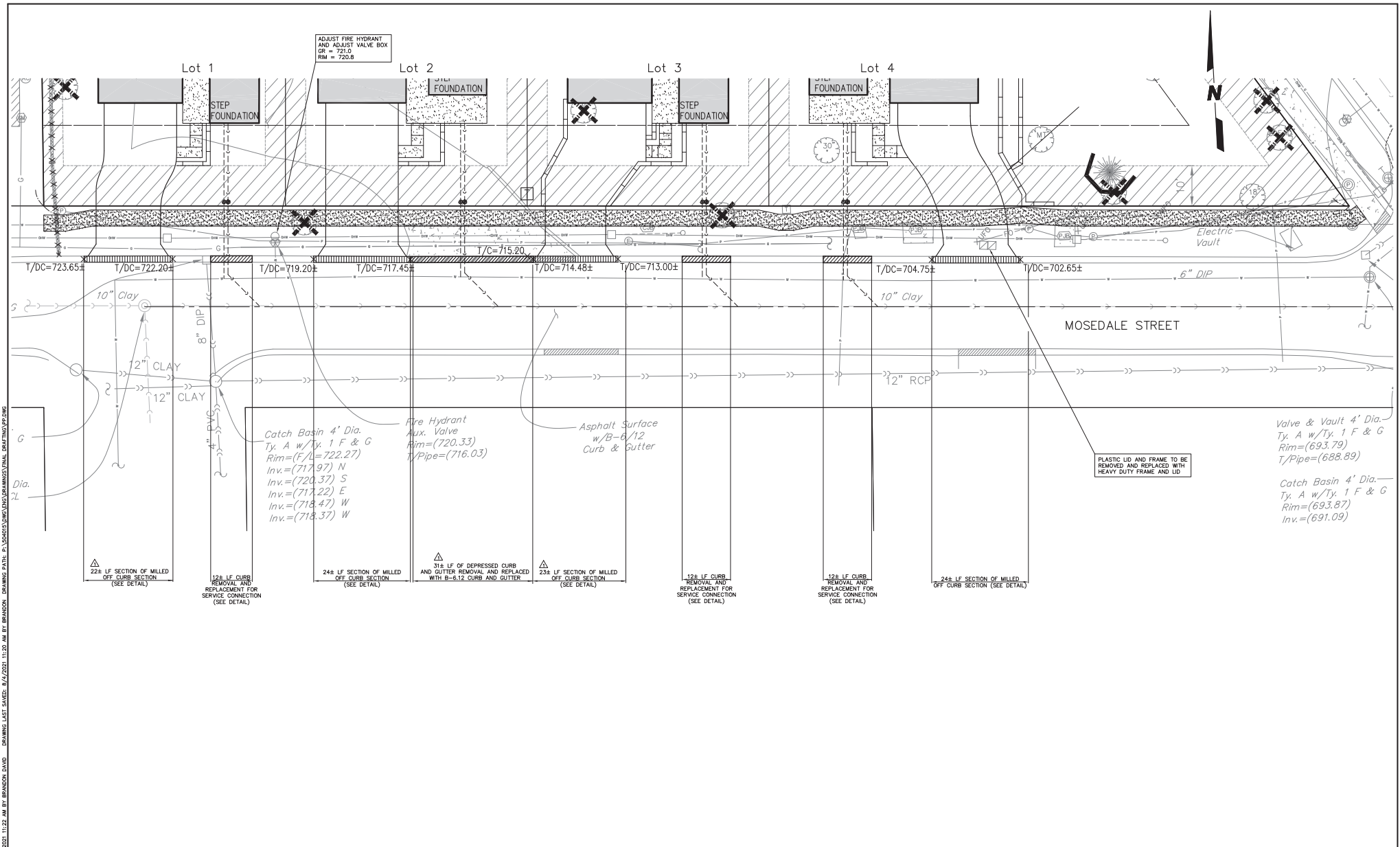
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| NO.          | DATE                       |
| 07-09-18/JGC | REVISED PER CITY REVIEW    |
| 08-13-18/JGC | REVISED PER CITY REVIEW    |
| 09-17-18/JGC | REVISED PER CITY REVIEW    |
| 11-07-18/JGC | REVISED PER CITY REVIEW    |
| 09-23-19/JGC | REVISED CLIENT INFORMATION |
| 08-04-21/BCB | REVISED FOR REPERMITTING   |

| DRAINAGE AND GRADING PLAN |               |                  |                     |
|---------------------------|---------------|------------------|---------------------|
| CITYVIEW SUBDIVISION      |               |                  |                     |
| FILE NAME: GRADE          | DSGN. BY: RWB | JOB NO.: 504.015 | F.L.D. BK./PG.: --- |
| DIR: 504015               | DRN. BY: JGC  | DATE: 04-25-18   | SCALE: 1" = 10'     |
|                           |               |                  | SHEET NO. 11 of 16  |

PLOT FILE CREATED: 10/19/2022 11:57 AM BY: DAVID DEBAY. DRAWING DATE: P:\04055\DWG\DRM\ADMIN\STPL\DRM\TNG\GRADING

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 926 SUNSET ROAD  
 GENEVA, ILLINOIS 60134  
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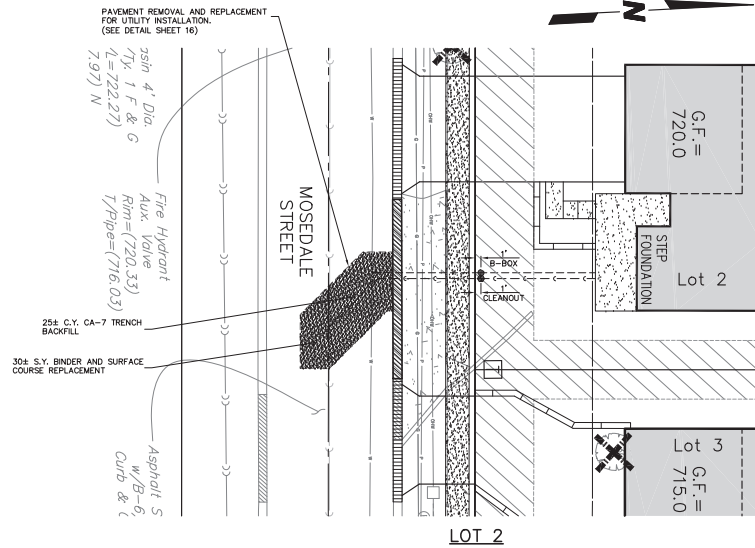
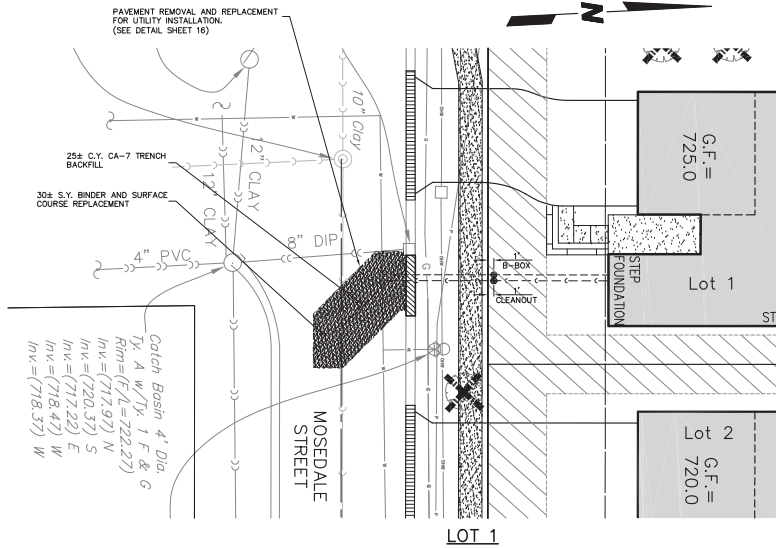


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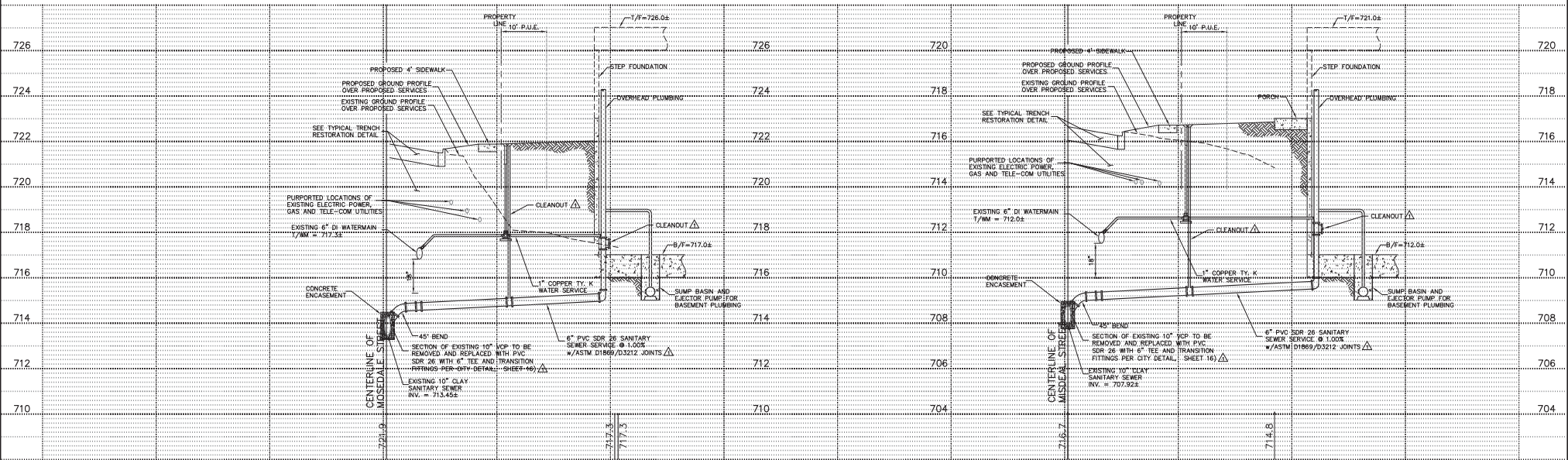
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| NO.       | DATE     | DESCRIPTION                |
| 07        | 09-18/16 | REVISED PER CITY REVIEW    |
| 08        | 23-19/16 | REVISED CLIENT INFORMATION |
|           |          |                            |
|           |          |                            |
|           |          |                            |

| MOSEDALE STREET<br>CITYVIEW SUBDIVISION |              |                |                 |           |
|---|--------------|----------------|-----------------|-----------|
| FILE NAME:                              | DSGN. BY:    | JOB NO.:       | FLD. BK./PG.:   | SHEET NO. |
| PP                                      | RWB          | 504.015        | ---             | 13 of 16  |
| DIR: 504015                             | DRN. BY: JGC | DATE: 04-29-18 | SCALE: 1" = 20' |           |

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SANITARY SEWER AND WATER SERVICES



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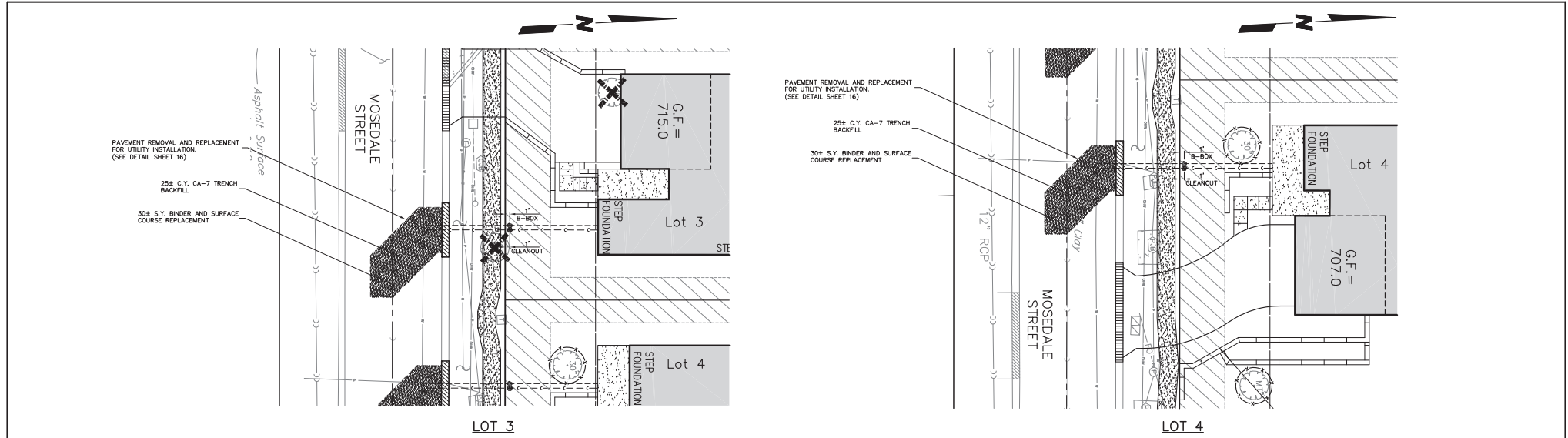


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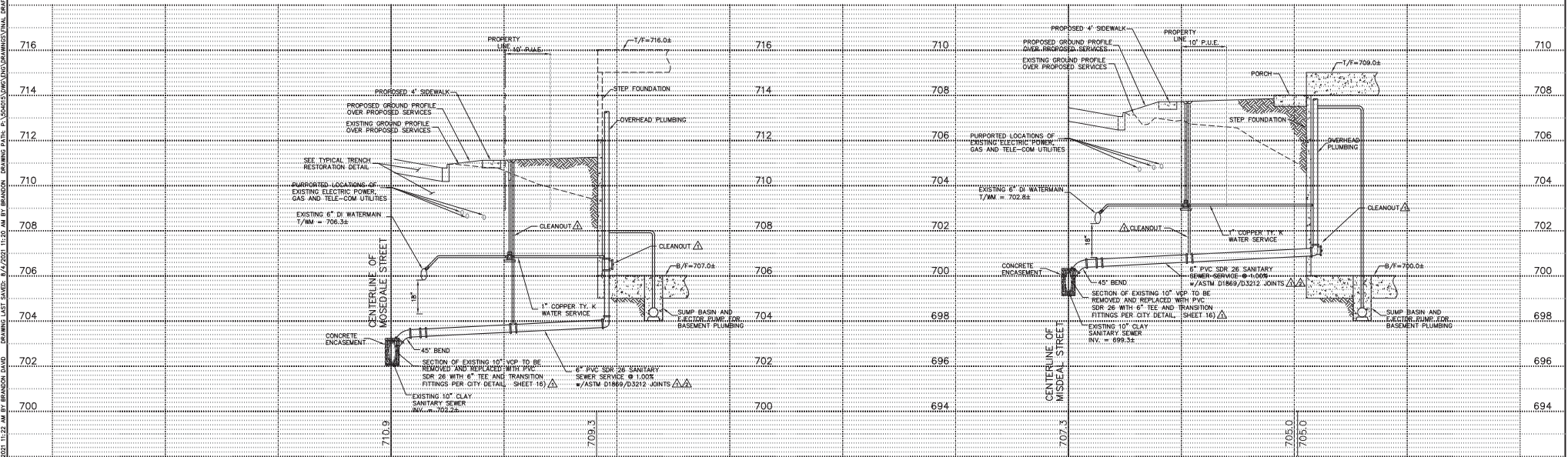
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|-----------|--------------|----------------------------|--|
| NO.       | DATE         | DESCRIPTION                |  |
| 1         | 07-09-18/JGC | REVISED PER CITY REVIEW    |  |
| 2         | 08-13-18/BCD | REVISED PER CITY REVIEW    |  |
| 3         | 08-23-19/JGC | REVISED CLIENT INFORMATION |  |

| SANITARY SEWER AND WATER SERVICES |               |                  |                         |                    |
|-----------------------------------|---------------|------------------|-------------------------|--------------------|
| CITYVIEW SUBDIVISION              |               |                  |                         |                    |
| FILE NAME: PP                     | DSGN. BY: RWB | JOB NO.: 504.015 | F.L.D. BK./PG.: ---     | SHEET NO. 14 of 16 |
| DIR: 504015                       | DRN. BY: JGC  | DATE: 04-29-18   | SCALE: 1" = 10'H., 2'V. |                    |





SANITARY SEWER AND WATER SERVICES



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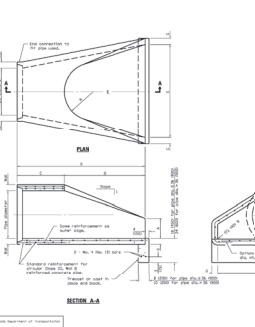
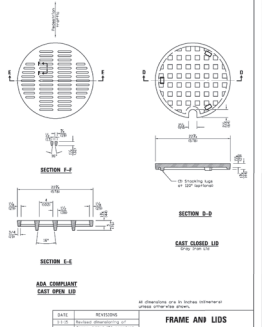
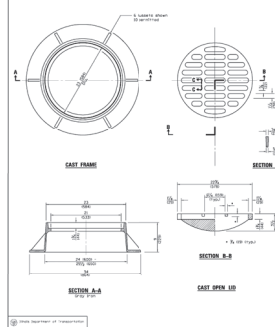
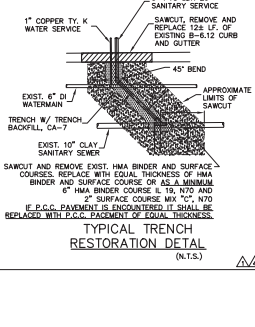
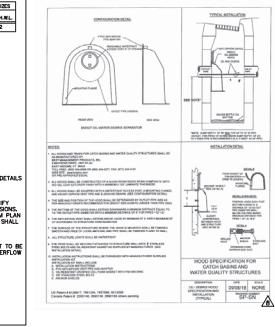
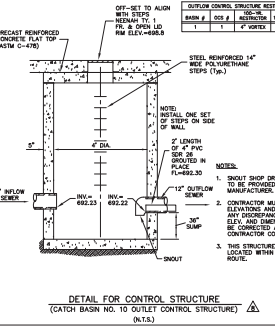
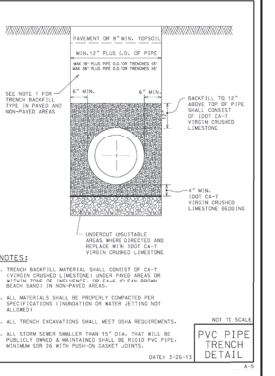
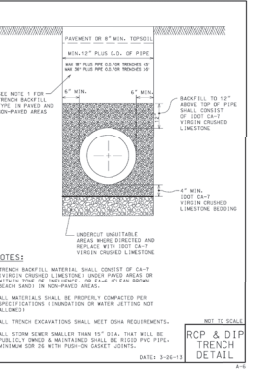
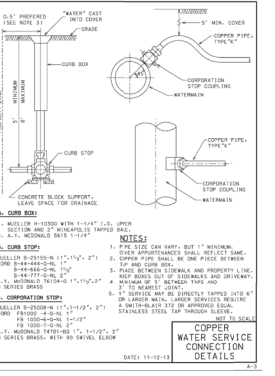
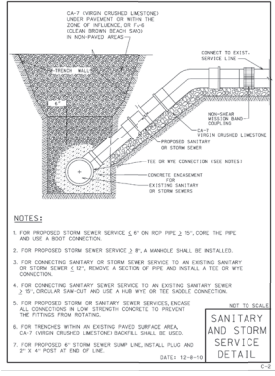
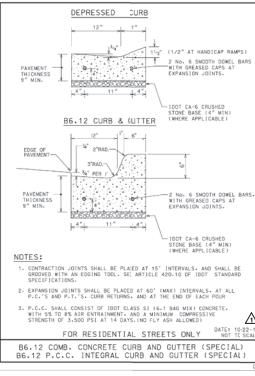
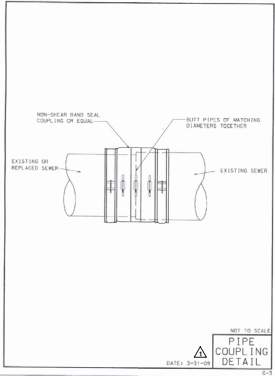
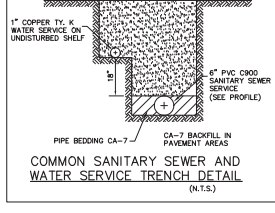
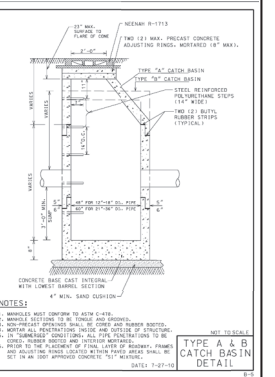
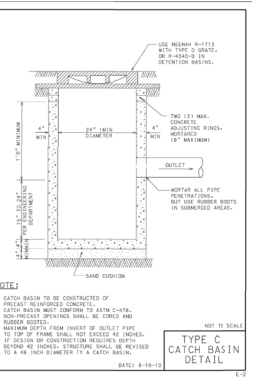
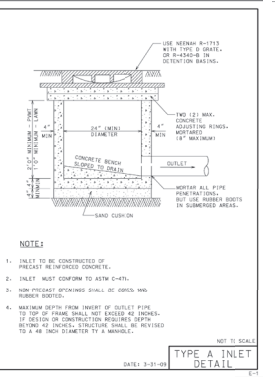
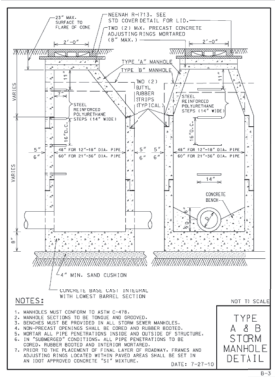
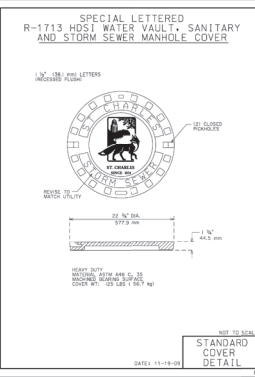
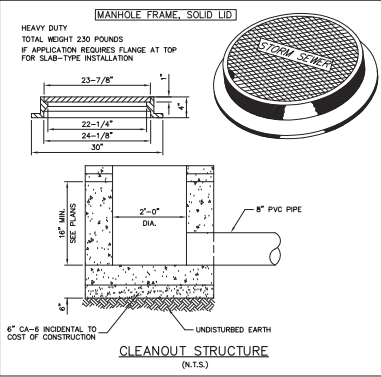
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| NO.       | DATE         | DESCRIPTION                | NO.       | DATE | DESCRIPTION |
| 1         | 07-09-15/JGC | REVISED PER CITY REVIEW    |           |      |             |
| 2         | 08-13-16/BCD | REVISED PER CITY REVIEW    |           |      |             |
| 3         | 08-23-19/JGC | REVISED CLIENT INFORMATION |           |      |             |

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**SANITARY SEWER AND WATER SERVICES**  
**CITYVIEW SUBDIVISION**

|               |               |                  |                         |           |
|---------------|---------------|------------------|-------------------------|-----------|
| FILE NAME: PP | DSGN. BY: RWB | JOB NO.: 504.015 | F.L.D. BK./PG.: ---     | SHEET NO. |
| DIR: 504015   | DRN. BY: JGC  | DATE: 04-25-18   | SCALE: 1" = 10'H., 2"V. | 15 of 16  |

PLOT FILE CREATED: 8/14/2021 11:52 AM BY: BRANSON DAVID  
 DRAWING LAST SAVED: 8/14/2021 11:52 AM BY: BRANSON DAVID  
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| NO.          | DATE                       | DESCRIPTION | NO. | DATE | DESCRIPTION |
|--------------|----------------------------|-------------|-----|------|-------------|
| 07-09-18/JSC | REVISED PER CITY REVIEW    |             |     |      |             |
| 11-07-18/BCD | REVISED PER CITY REVIEW    |             |     |      |             |
| 09-23-19/JSC | REVISED CLIENT INFORMATION |             |     |      |             |
| 09-13-21/JMG | REVISED PER CITY COMMENTS  |             |     |      |             |

PREPARED FOR:  
**STONEWOOD PROPERTIES AND DEVELOPMENT, LLC**  
 926 SUNSET ROAD  
 GENEVA, ILLINOIS 60134  
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**CONSTRUCTION DETAILS**  
**CITYVIEW SUBDIVISION**

FILE NAME: DETAILS DSGN. BY: RWB JOB NO.: 504.015 FLD. BK./PG.: --- SHEET NO. 16 OF 16  
 DIR: 504015 DRN. BY: JJC DATE: 04-28-18 SCALE: 1" = N.T.S.