



**HISTORIC PRESERVATION COMMISSION  
AGENDA ITEM EXECUTIVE SUMMARY**

**Agenda Item  
Title/Address:**

COA & Façade Improvement Grant: 116 W. Main St.

**Proposal:**

Façade improvement project

**Petitioner:**

Randy Jostes

**Please check appropriate box (x)**

**PUBLIC HEARING**

**MEETING  
4/20/16**

**X**

**AGENDA ITEM CATEGORY:**

X

Certificate of Appropriateness (COA)

X

Façade Improvement Plan

Preliminary Review

Landmark/District Designation

Discussion Item

Commission Business

**ATTACHMENTS:**

Architectural Survey page

Floor plan showing layout

Photos of building

Façade Grant Application

Elevation drawing

**EXECUTIVE SUMMARY:**

The first floor of 116 W. Main St., the former Vertical Drop store space, spans two buildings. The eastern building is proposed to be renovated for the Aveda- Mixology Salon & Spa.

The first floor storefront of the eastern building is proposed to be completely replaced. Other aesthetic changes are proposed, including painting the brick over the entire front facade and painting the windows to a contrasting color.

Façade Improvement Grant funding has been requested for the project. Therefore, it would be appropriate for the Commission to review the exterior painting and proposed colors.

The applicant shall be asked to submit a detailed itemized cost estimate for the grant request.

The building has not received a Façade Grant in the last 5 years. At approximately 45 ft. in width, the front façade is eligible for \$15,000 in grant funding. The rear entrance would be eligible for up to \$10,000; however no information has been submitted yet regarding any rear entrance improvements. The maximum total grant amount (both front and rear) for any building in a 5 year period is \$20,000.

The building is rated as “Non-Contributing” in the 1994 Architectural Survey. The existing storefront dates from the 1970s and was partially remodeled in the 1990s.

**RECOMMENDATION / SUGGESTED ACTION:**

Provide feedback and recommendations on approval of the COA and Façade Improvement Grant.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

**ARCHITECTURAL SURVEY**  
**ST. CHARLES CENTRAL DISTRICT**  
**ST. CHARLES, ILLINOIS**

DIXON ASSOCIATES / ARCHITECTS

**ARCHITECTURAL INTEGRITY**

	1	2	3
<input type="checkbox"/> Unaltered	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Minor Alteration	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Major Alteration	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Additions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sensitive to original	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Insensitive to original	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

1: first floor; 2: upper floors; 3: roof/cornice

**ARCHITECTURAL SIGNIFICANCE**

Significant

Contributing

Non-Contributing

**BUILDING CONDITION**

Excellent: Well-maintained

Good: Minor maintenance needed

Fair: Major repairs needed

Poor: Deteriorated

**ARCHITECTURAL DESCRIPTION**

**Style:** Commercial Vernacular

**Date of Construction:** 1900-1910

**Source:** Field Guide to American Architecture

**Features:**

Original Colson store established at this site in 1880. A major fire occurred in 1975, followed by a major reconstruction.



**Address:**

116 West Main Street

**Representation in Existing Surveys:**

Federal

State

County

Local

**Block No. 4**

**Building No. 2**

**SURVEY DATE:**

**MAY 1994**

**ROLL NO. 1**

**NEGATIVE NO. 4**



Existing former Vertical Drop storefront



Existing east storefront proposed for renovation



Existing east storefront proposed for renovation





**EXISTING SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**PROPOSED SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

REVISIONS BY:




**ARCHITECTURAL RESOURCES**  
 W. Alex Teipel - Architect  
 Robert M. Akers - Architect  
 427 West State St. Geneva, Illinois 60134  
 (630) 232-1774  
 wattepel2@gmail.com / robertakers@siglobal.net

I hereby certify that these plans were prepared under my supervision and to the best of my knowledge they comply with all applicable codes, zoning ordinances and the Illinois Accessibility Code and ANSI A117.1-1986. Expires: 11/2016

**EXISTING & PROPOSED SOUTH FACADE**  
 Build-out for:  
**MIXOLOGY AVEDA SALON SPA**  
 116 W. Main Street  
 St. Charles, Illinois 60174

Date: 04/11/16

Scale: AS NOTED

Drawn: R.M.A.

Job: 16-24

Sheet

**ASK2**

Of 2 Sheets





Received 4/18/16

**CITY OF ST. CHARLES  
FACADE IMPROVEMENT PROGRAM  
APPLICATION FORM**

A non-refundable fee of \$50.00 must accompany this application. Checks should be made payable to the City of St. Charles.

1) Applicant: MIXOLOGY SALON SPA  
(Name)

Home Address: \_\_\_\_\_  
(Street) (City/State/Zip)

Business Address: 116 W. MAIN, S.C. 60174  
(Street) (City/State/Zip)

Federal Tax ID Number: \_\_\_\_\_

2) Building or establishment for which the reimbursement grant is sought  
116 W. MAIN ST. (EAST SIDE OF OLD "VERTICAL DROP")  
(Street Address)

09-27-376-002  
(Property Identification Number)

4) Is this property listed on the National Registry or designated as a Local Landmark:  Yes  No

3) Proposed Improvements(Check all that apply):

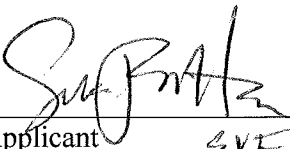
- Canopy/Awning
- Signage
- Windows/Doors
- Exterior Lighting
- Tuck pointing/Masonry Repair
- Restoration of Architectural Features
- Masonry Cleaning
- Rear Entrance Improvements(Please specify below)
- Painting
- Other(Please Specify) NEW ADA REAR ENTRANCE, NEW DOORS  
NEW FRONT FACADE / DOORS

Describe the scope and purpose of the work to be done:  
FRONT WILL BE BROUGHT FLUSH TO EXISTING EXTERIOR WALLS  
NEW WINDOWS, EXTERIOR SURFACE CHANGED WITH SIGNAGE.  
AVEDA SIGN PROTRUDING FROM FACE

Preliminary Cost Estimate: \$ TBD City's Grant Amount: \$ Eligible for \$20,000 max total  
Front: \$15,000 max  
Rear: \$10,000 max

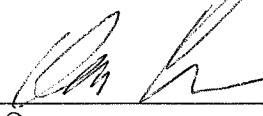
4) Statement of Understanding:

- A. I agree to comply with the guidelines and procedures of the St. Charles Façade Improvement Program.
- B. I understand that I must submit detailed cost documentation, copies of bids, contracts, invoices, receipts, and contractor's final waivers of lien upon completion of the approved improvements.
- C. I understand that work done before a Façade Improvement Agreement is approved by the City Council is not eligible for a grant.
- D. I understand the Façade Improvement reimbursement grants are subject to taxation and that the City is required to report the amount and recipient of said grants to the IRS

Signature   
Applicant SUE HENRY, MIXOLOGY SAZON SPA

If the applicant is other than the owner, you must have the owner complete the following certificate:

I certify that I am the owner of the property at 116 W. MAIN ST, and that I authorize the applicant to apply for a reimbursement grant under the St. Charles Facade Improvement Program and undertake the approved improvements.

Signature  Date 4/11/2016  
Owner