

 <p><b>ST. CHARLES</b> SINCE 1834</p>	<b>HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY</b>			
	<b>Agenda Item Title/Address:</b>	Façade Improvement Grant: 1 Illinois St.		
	<b>Proposal:</b>	Commercial façade improvement project		
	<b>Petitioner:</b>	Rawan Alhalabi on behalf of Eden on the River 1 LLC		
<b>Please check appropriate box (x)</b>				
<b>PUBLIC HEARING</b>			<b>MEETING 2/5/2020</b>	<b>X</b>
<b>AGENDA ITEM CATEGORY:</b>				
	Certificate of Appropriateness (COA)	<b>X</b>	Façade Improvement Plan	
	Preliminary Review		Landmark/District Designation	
	Discussion Item		Commission Business	
<b>ATTACHMENTS:</b>				
Façade Grant Application				
Façade Grant Program Requirements				
Design Plans				
Façade Renderings				
Cost Estimate				
<b>EXECUTIVE SUMMARY:</b>				
<p>A Façade Improvement Grant has been requested by Rawan Alhalabi on behalf of Eden on the River 1 LLC, located at 1 Illinois Ave.</p> <p>A COA was already approved by the Commission to construct a new screened porch and install 3 garage doors.</p> <p>Staff has requested a new Façade Grant Application be submitted so the Applicant and the Applicant Signature are the same.</p> <p>The maximum grant amount for this building is \$10,000 if considered a rear improvement or \$20,000 if considered a front or side improvement. Or, it could be considered both a rear and side improvement and the money could be split \$10,000 each for maximum of \$20,000.</p>				
<b>RECOMMENDATION / SUGGESTED ACTION:</b>				
Provide feedback and recommendations.				

## FAÇADE IMPROVEMENT GRANT APPLICATION



COMMUNITY & ECONOMIC DEVELOPMENT DEPT. /PLANNING DIVISION

CITY OF ST. CHARLES

### Grant Type (select one):

- Commercial       Residential

### Property Information:

Building or establishment for which the reimbursement grant is requested:

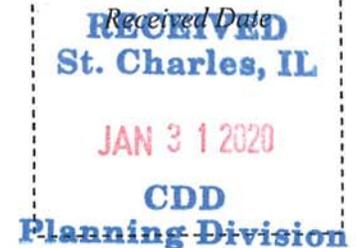
Address:

1 ILLINOIS ST.

Property Identification Number:

Applicant Name:

RAWAN ALHALABI  
EDEN ON THE RIVER



### Project Description:

REMOVAL OF EXISTING WOOD DECK & CONCRETE SUPPORTS.  
REMOVAL OF EXISTING AWNING. CONSTRUCTION OF  
A NEW COVERED, SCREENED-IN DECK ACCESSIBLE  
FROM NEW GLASS GARAGE DOORS OR THE PARKING  
LOT TO THE SOUTH.

Total Cost Estimate:

\$ 300,000.00

### Submittal Checklist:

- \$50 Application Fee
- Detailed Scope of Work:** Must identify all improvements, construction methods, building materials to be used. Costs must be broken down and itemized by task. In general, this scope of work should be prepared by the contractor(s) who will be completing the project.
- Documentation on Existing Conditions:** Reports or photographs to demonstrate need for improvements.
- W-9 Form:** Filled out and signed by the grant applicant, with a Federal Tax ID Number (or a Social Security Number for an individual)

**Applicant Contact Information:**

Phone Number: 847 514 - 4482

Email Address: quentin@thelandshapersinc.com

**Statement of Understanding:**

- I agree to comply with the guidelines and procedures of the Façade Improvement Grant Program. I have read and understand the "Terms and Conditions".
- I understand that I must submit detailed cost documentation, copies of bids, contracts, invoices, receipts, and contractor's final waivers of lien upon completion of the approved improvements.
- I understand that work done before a Façade Improvement Agreement is approved by the City Council is not eligible for a grant.
- I understand the Façade Improvement reimbursement grants are subject to taxation and that the City is required to report the amount and recipient of said grants to the IRS.

Signature: Quentin Bull Date: 1/30/20  
Applicant

**Owner Authorization (if applicable):**

If the applicant is other than the owner, you must have the owner complete the following certificate:

I certify that I am the owner of the property at 1 ILLINOIS STREET, and that I authorize the applicant to apply for a reimbursement grant under the St. Charles Facade Improvement Program and undertake the approved improvements.

Signature: Justin Amos Date: 1-31-2020  
Owner

### 3. Commercial Façade Grant

- Eligible Properties:  
Commercial or Multi-Family Residential Buildings (two or more units) located within either:
  - Special Service Area #1B
  - Historic District or Landmark SiteProperties in SSA #1B are given first priority at the beginning of the program year.
- Minimum Project Cost: \$2,500
- Grant for Front or Side Facades (visible from street): Maximum grant amount is based upon the frontage of the façade to be renovated, at a maximum of \$10,000 per 30 ft. horizontal length of façade. A facade is defined as a thirty foot wide span along the front or side of a building facing a public street, measured along the building wall generally parallel to the right of way line. For building fronts or sides exceeding thirty feet, a pro rata amount will be applied.
- Grant for Rear Entrance Improvements: Maximum grant amount of \$10,000, available for buildings with an existing or proposed rear entrance that is accessible to the public from a dedicated public street, alley, or other right of way, or from a parking lot or walkway that is owned or leased by the City, or from other property that is encumbered by an easement granting public pedestrian access. The rear entrance to be improved must provide public access to a business or businesses within the building.
- Maximum Grant Limits:
  - Total grant amount during any five-year period is capped at \$20,000.
  - For properties on the National Register of Historic Places or Locally Designated Landmarks, the total grant amount for any five-year period is capped at \$30,000.
- Eligible Improvements:
  - 25% Reimbursement for Routine Maintenance:
    - ✓ Cleaning, patching, caulking of exterior surfaces.
    - ✓ Re-coating of paint on exterior surfaces (without extensive surface preparation)
    - ✓ Re-roofing visible roof surfaces with non-historic material (such as 3-tab or architectural grade asphalt shingles)
    - ✓ Spot masonry repairs or tuckpointing
    - ✓ Like-in-kind replacement of non-historic elements on a building
  - 50% Reimbursement for:
    - For Historic structures, maintenance utilizing Historic Preservation practices:***
      - ✓ Repair or restoration of historic features
      - ✓ Replacement of deteriorated historic features with like materials or appropriate synthetic materials
      - ✓ Re-roof or repair of visible roof surfaces with non-standard materials (such as wood shake, slate, or other decorative non-standard materials)
      - ✓ Extensive restoration/repair of historic masonry material
      - ✓ Painting of exterior surfaces where the surface preparation includes removal of worn/failing paint and intensive surface preparation prior to painting
    - Building improvements:***
      - ✓ Exterior building upgrades or enhancements that will improve the historic character of a building
      - ✓ Improvement, replacement or installation of storefront systems, doors, windows and trim materials.
      - ✓ Removal of architecturally inappropriate features on buildings (including removal of synthetic surface materials)
      - ✓ Exterior lighting that illuminates a façade

- 100% Reimbursement for Architectural Services (Up to \$4,000)
  - Where architectural services are required, the owner or tenant should retain an architect to prepare a conceptual design and cost estimate for work proposed. If the project is approved by the City, the architect may provide bidding and construction plans and documents, as well as construction supervision. Only those architectural services directly related to the approved facade improvement will be reimbursed.
  
- Ineligible Improvements:
  - Signs and Awnings, unless in connection with other eligible improvements.
  - Any interior improvement or finishes
  - Any improvements to internal building systems, including HVAC, plumbing, electrical (except for wiring for exterior lighting)
  - Any site improvements, including sidewalks, parking lots and landscaping.
  
- Improvements not specifically listed as eligible or ineligible are subject to review as to eligibility by the Historic Preservation Commission as an advisory body and approval or disapproval by City Council.

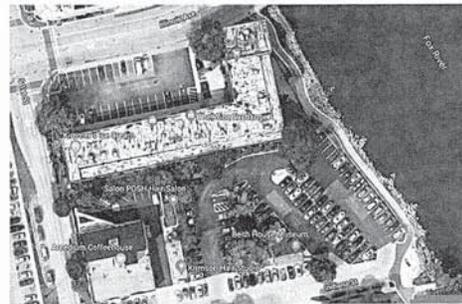
5. **Terms and Conditions applicable to all grants:**

- **Grant applications will be considered in the order they are received.** In the event that the total amount of the potential reimbursement grants exceeds the amount budgeted for the program year, the applications will be carried over for consideration during the following program year.
- **Not more than one grant shall be approved for a building in any program year, and a grant shall not be approved if a grant was made for the same portion of the building within the previous five years.** For the Residential Grant Program, within the 5 program years following approval of a grant, a grant for the same property will not be considered until September of each program year.
- **The maximum amount of the reimbursement grant for a specific property will be set forth in a Facade Improvement Agreement between the City and the property owner or tenant.** If the actual costs exceed the original final estimates submitted with the application and used to determine the final total amount of reimbursement within the Agreement, the property owner or tenant will be responsible for the full amount of the excess. The City cannot reimburse more than the total amount specified in the Agreement.
- **Reimbursement grants are subject to Federal and State taxes, and are reported to the Internal Revenue Service on Form 1099.** You are required to provide your taxpayer ID number or social security number as part of the Façade Improvement Agreement. Property owners and tenants should consult their tax advisor for tax liability information.
- **The following items are not considered “improvements” and therefore they are not eligible for reimbursement:**
  - Building Permit fees and related costs.
  - Extermination of insects, rodents, vermin and other pests.
  - Title reports and legal fees.
  - Acquisition of land or buildings.
  - Financing costs.
  - Sweat equity.
  - Working capital for businesses.
- **Work that has been initiated prior to the approval of the Facade Improvement Agreement by the City Council is NOT eligible for grant reimbursement.**
- **All improvements must be completed prior to the end of the program year on April 30.** If the work is not complete by the end of the program year, the City’s remaining obligation to reimburse the owner or tenant for the project terminates. The City may, its sole discretion, grant a single one-year extension due to unforeseen circumstances that have prevented the completion of the project.
- **The property owner and tenant shall be responsible for maintaining the facade improvements without alteration for five (5) years.** A restrictive covenant limiting alterations may be required by the City Council at the time of approval of the Facade Improvement Agreement.
- **Any project changes must be approved by the City.** Major changes or elimination of improvements must be approved by the City Council. Minor revisions must be approved by the Historic Preservation Commission.
- **This is a reimbursement program -- you must pay your architect, contractors and suppliers before you receive payment from the City.**

# COVERED PATIO FOR: EDEN ON THE RIVER



LOCATION MAP



AERIAL IMAGE

SHEET INDEX		
SHEET NUMBER	INDEX / LOCATION MAP	DESCRIPTION
CS	INDEX / LOCATION MAP	
SP		SITE PLAN
DI		DEMOLITION PLAN
AI		PATIO FLOOR PLAN
A3		ROOF PLAN
A3		BUILDING ELEVATIONS
A4		CROSS SECTION
SI		FOUNDATION PLAN
SI		ROOF FRAMING PLAN
SI		ELECTRIC PLAN

BUILDING CODES	
•	2015 International Residential Code for One- and Two-Family Dwellings
•	St. Charles Amendments to 2015 International Residential Code
•	2012 International Building Code
•	St. Charles Amendments to 2015 International Building Code
•	2015 International Mechanical Code
•	St. Charles Amendments to 2015 International Mechanical Code
•	2015 International Fuel Gas Code
•	St. Charles Amendments to 2015 International Fuel Gas Code
•	National Electric Code (NFPA 70, 2014 Edition)
•	St. Charles Amendments to 2014 National Electric Code
•	Illinois State Plumbing Code, 2012
•	St. Charles Amendments to State Plumbing Code, 2014
•	2013 International Fire Code
•	St. Charles Amendments to 2015 International Fire Code
•	2015 International Energy Conservation Code
•	Illinois Accessibility Code
•	NFPA Life Safety Code 101

DESIGN LOADS			
<b>FLOOR</b>		<b>ROOF LOAD</b>	
LIVE LOAD: 100 PSF		LIVE LOAD: 30 PSF	
DEAD LOAD: 12 PSF		DEAD LOAD: 12 PSF	
TOTAL LOAD: 112 PSF		TOTAL LOAD: 42 PSF	
<b>WIND</b>			
LIVE LOAD: 30.7 PSF			

BUILDING DATA	
EXISTING BUILDING CONSTRUCTION TYPE IIB	EXISTING BUILDING FRAMEWORK & ALARM SYSTEM
PROPOSED COVERED DECK CONSTRUCTION TYPE IIB	PROPOSED CONSTRUCTION NOT SPECIFIED
USE GROUP A-2	

**SPECIAL SAFETY NOTE**

ALL CONTRACTORS, SUBCONTRACTORS AND THEIR REPRESENTATIVES ON THE PROJECT SHALL AT ALL TIMES PRIOR AND DURING THE COURSE OF HIS ACTIVITY BE RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES AS WELL AS OTHERS AND IN THE CARE OF THE PROPERTY, EACH AS REPRESENTATIVES OF THEIR EMPLOYERS SHALL ASCERTAIN THAT THE CONDITIONS UNDER WHICH THEY WILL BE REQUESTED TO ACCOMPLISH THEIR WORK ARE SAFE AND MEET ALL REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OR OTHER GOVERNING REGULATIONS. THE BEGINNING OF WORK BY A CONTRACTOR OR SUBCONTRACTOR SHALL INDICATE SATISFACTION CONCERNING SAFETY AND FULL RESPONSIBILITY FOR ACCIDENTS AND/OR DAMAGE. IF UNSATISFIED, THE CONTRACTOR OR SUBCONTRACTOR SHALL INDICATE THE ACTIONS AND/OR DEVICES NECESSARY TO RENDER THE JOB-SITE SAFE. IF THE WORK OF OTHER PARTIES IS, UPON INSPECTION, FOUND AT ANY TIME TO BE UNSAFE, THE CONTRACTOR OR SUBCONTRACTOR SHALL IMMEDIATELY STOP ALL WORK AND NOTIFY THE GENERAL CONTRACTOR, ARCHITECT AND OWNER. THE BEGINNING OF WORK SHALL INDICATE ACKNOWLEDGEMENT AND ACCEPTANCE OF THESE REQUIREMENTS.

**SPECIAL NOTE**

THE ARCHITECT IS NOT SUPERVISING THE CONSTRUCTION OF THE BUILDING. THEREFORE, THE USE OF THESE DRAWINGS BY THE OWNER OR ANY CONTRACTORS, SUBCONTRACTORS, BUILDER, TRADESMAN OR WORKMAN SHALL CONSTITUTE A HOLD HARMLESS AGREEMENT BETWEEN THE DRAWING USER AND THE ARCHITECT. THE USER SHALL IN FACT AGREE TO HOLD THE ARCHITECT HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO THE CONSTRUCTION METHODS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES AND FOR ANY SAFETY PRECAUTIONS OR PROGRAMS IN CONNECTION WITH THE WORK. FURTHER, THE ARCHITECT SHALL BE HELD HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO ANY COSTS OR PROBLEMS ARISING FROM THE NEGLIGENCE OF THE CONTRACTOR, SUBCONTRACTOR, BUILDER, TRADESMAN OR WORKMAN OR FOR THEIR FAILURE TO COMPLY WITH AND ADHERE TO THESE PLANS AND SPECIFICATIONS.

THE USE OF THESE PLANS TO OBTAIN A BUILDING PERMIT SHALL CONSTITUTE THE ACCEPTANCE AND APPROVAL OF ALL REQUIREMENTS CONTAINED THEREIN.

SIGNED:



STRUCTURAL ENGINEER

LICENSE NO. 081-002641

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE VILLAGE OF ST. CHARLES ILLINOIS BUILDING & ZONING CODES

EXPIRES 11/ 30/ 2020

JOSEPH A. MEYER  
STRUCTURAL & PROFESSIONAL ENGINEER  
135 PARK AVE. BARRINGTON, IL. 60010 847-383-0200

COVERED PATIO FOR:  
EDEN ON THE RIVER  
1 ILLINOIS STREET ST. CHARLES ILLINOIS 60114

DATE  
NOV 26, 2018

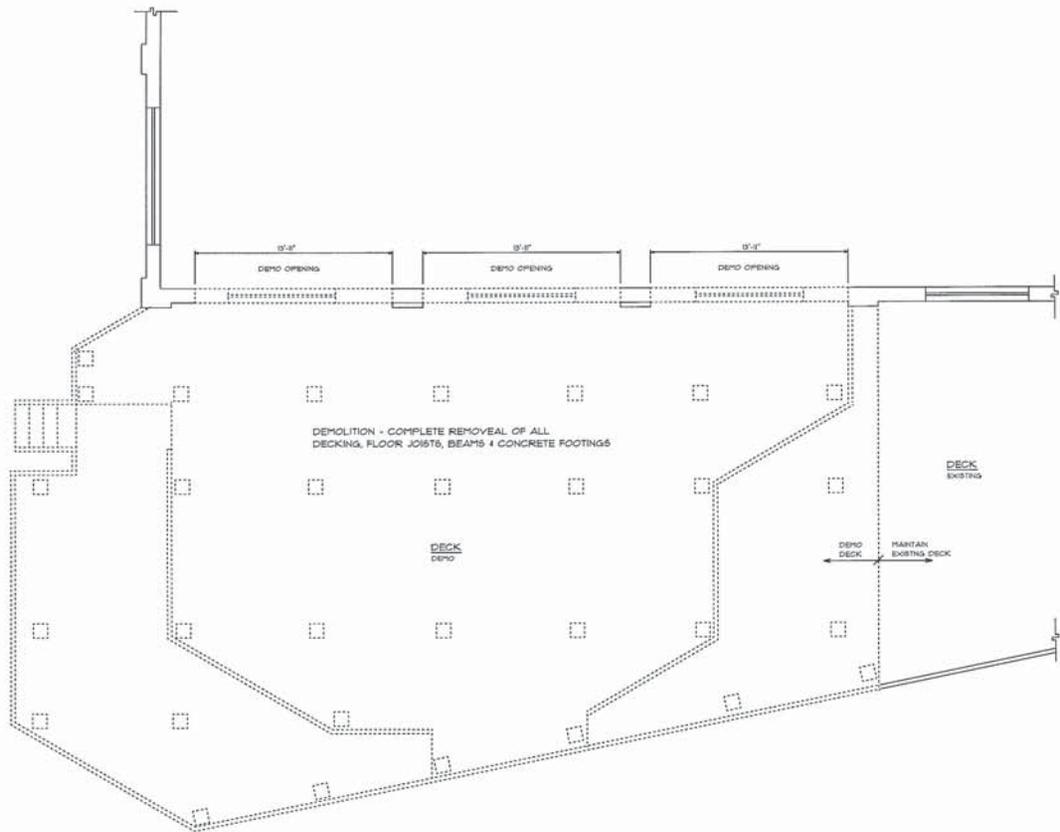
REVISION  
JAN 7, 2020

JOB #

SHEET #

CS





△ **DEMOLITION PLAN**

SCALE 1/4" = 1'-0"

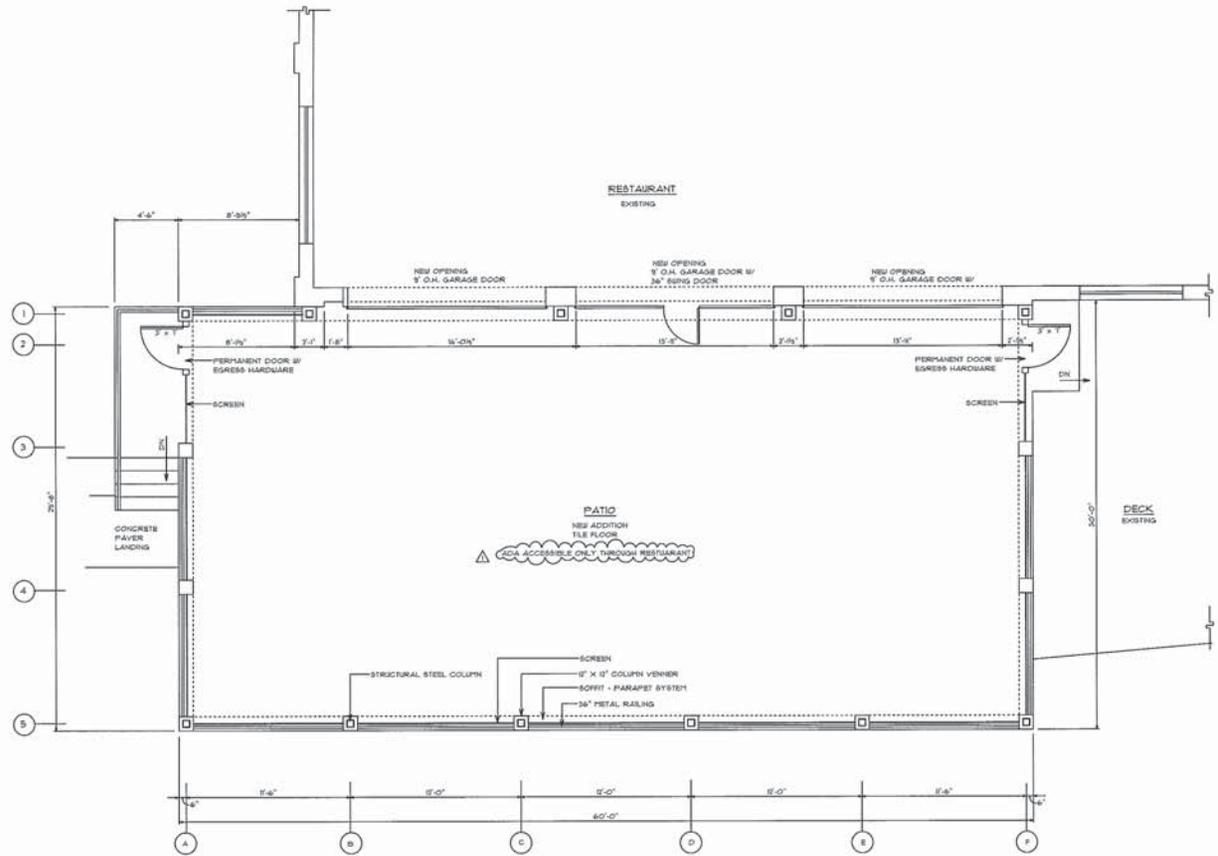


**JOSEPH A. MEYER**  
 STRUCTURAL & PROFESSIONAL ENGINEER  
 195 PARK AVE. BARRINGTON, ILL. 60010 847-382-0200

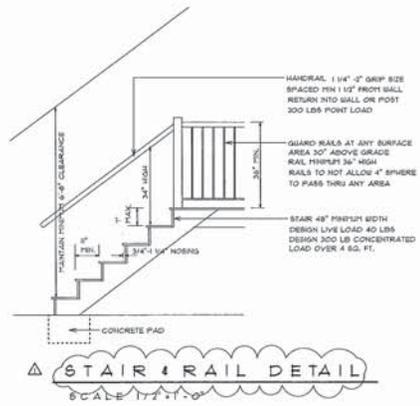
COVERED PATIO FOR:  
**EDEN ON THE RIVER**  
 1 ILLINOIS STREET ST. CHARLES, ILLINOIS 60114

DATE:  
 NOV 26, 2019  
 REVISION:  
 JAN 7, 2020

JOB #  
 SHEET #  
**D1**



PATIO FLOOR PLAN SCALE 1/4" = 1'-0"



STAIR & RAIL DETAIL SCALE 1/4" = 1'-0"

**JOSEPH A. MEYER**  
 STRUCTURAL & PROFESSIONAL ENGINEER  
 135 PARK AVE. BARRINGTON, IL 60010 847-383-0200

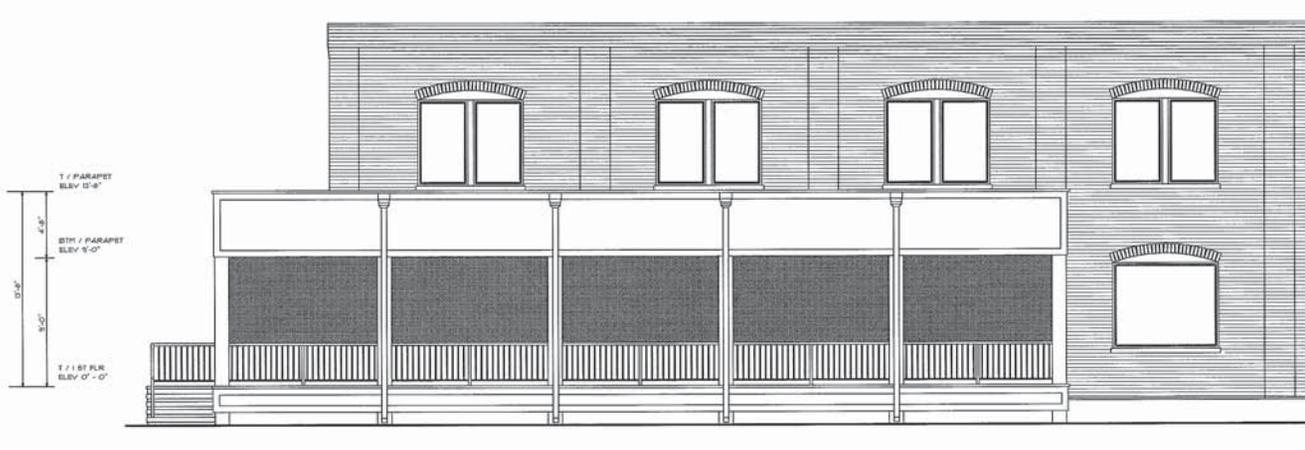
COVERED PATIO FOR:  
**EDEN ON THE RIVER**  
 1 ILLINOIS STREET ST. CHARLES, ILLINOIS 60114

DATE  
 NOV 26, 2019

REVISION  
 JAN 1, 2020



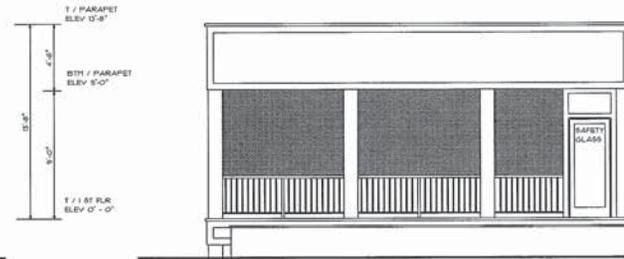
JOB #  
 SHEET #  
**A1**



EAST ELEVATION SCALE 1/4"=1'-0"



SOUTH ELEVATION SCALE 1/4"=1'-0"



NORTH ELEVATION SCALE 1/4"=1'-0"

**JOSEPH A. MEYER**  
 STRUCTURAL & PROFESSIONAL ENGINEER  
 135 PARK AVE. BARRINGTON ILL. 60010 847-382-0200

COVERED PATIO FOR:  
**EDEN ON THE RIVER**  
 1 ILLINOIS STREET ST. CHARLES ILLINOIS 60174

DATE  
 NOV 26, 2019

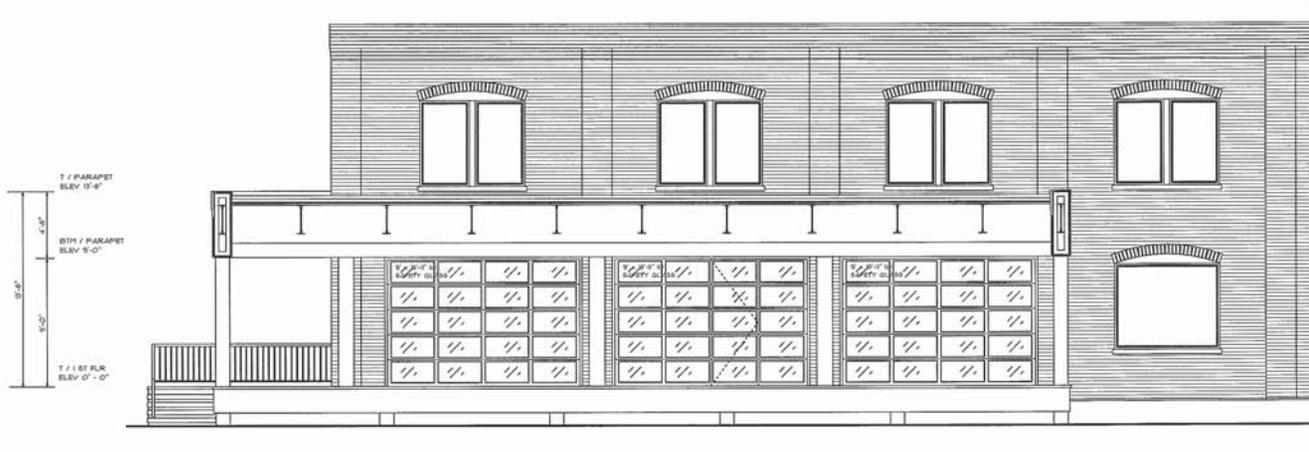
REVISION  
 JAN 7, 2020



JOB #

SHEET #

**A3**



ELEVATION OVER HEAD DOORS  
SCALE: 1/4" = 1'-0"

**JOSEPH A. MEYER**  
STRUCTURAL & PROFESSIONAL ENGINEER  
135 PARK AVE. BARRINGTON, IL 60010 847-382-0200

COVERED PATIO FOR:  
**EDEN ON THE RIVER**  
1 ILLINOIS STREET ST. CHARLES ILLINOIS 6014

DATE  
NOV 26, 2019

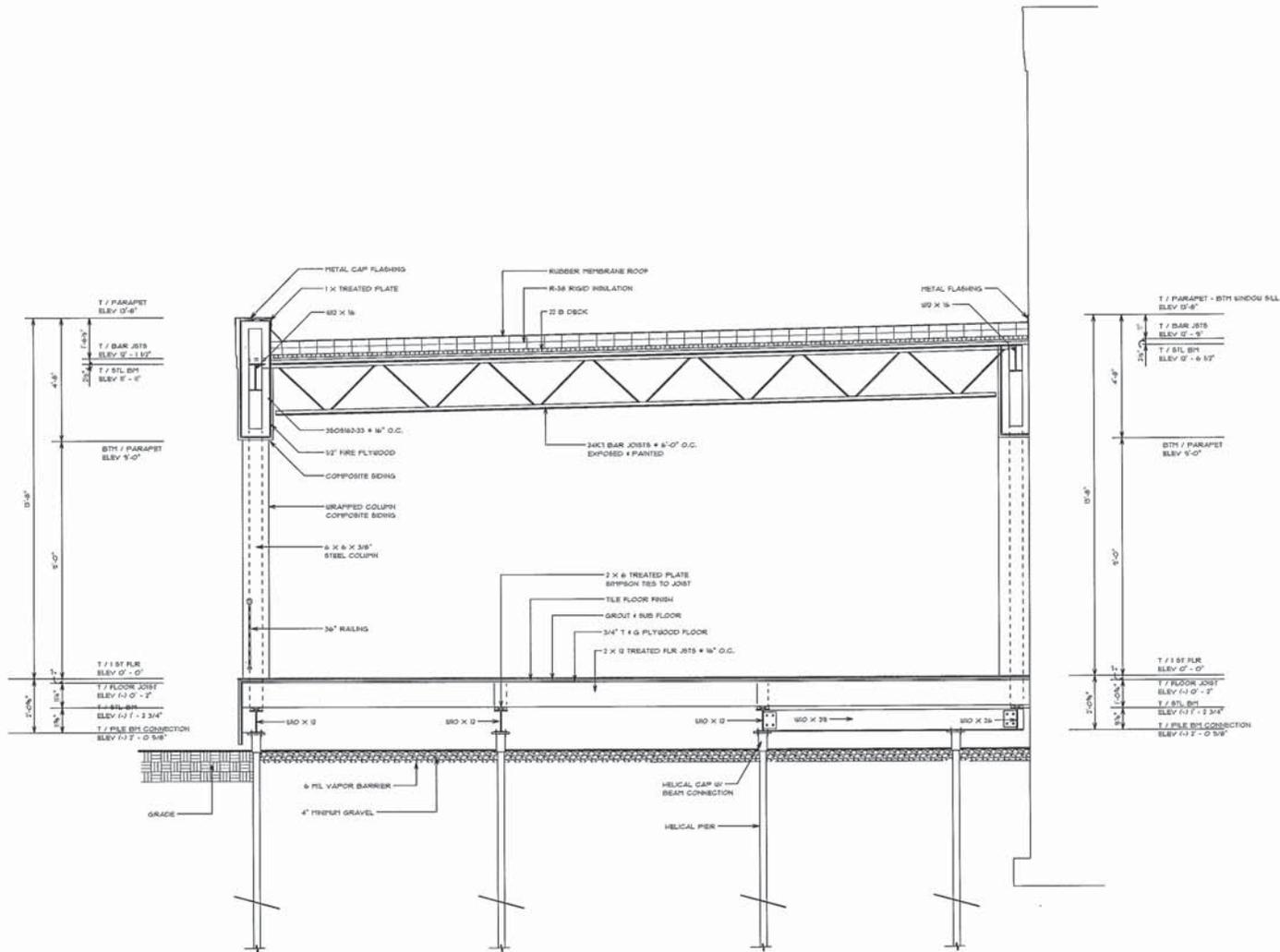
REVISION  
JAN 7, 2020  
JAN 16, 2020

JOB #

SHEET #

A3.1





CROSS SECTION SCALE 1/4" = 1'-0"



**JOSEPH A. MEYER**  
 STRUCTURAL & PROFESSIONAL ENGINEER  
 138 PARK AVE. BARRINGTON, IL. 60010 847-389-0200

COVERED PATIO FOR:  
**EDEN ON THE RIVER**  
 1 ILLINOIS STREET ST. CHARLES ILLINOIS 60114

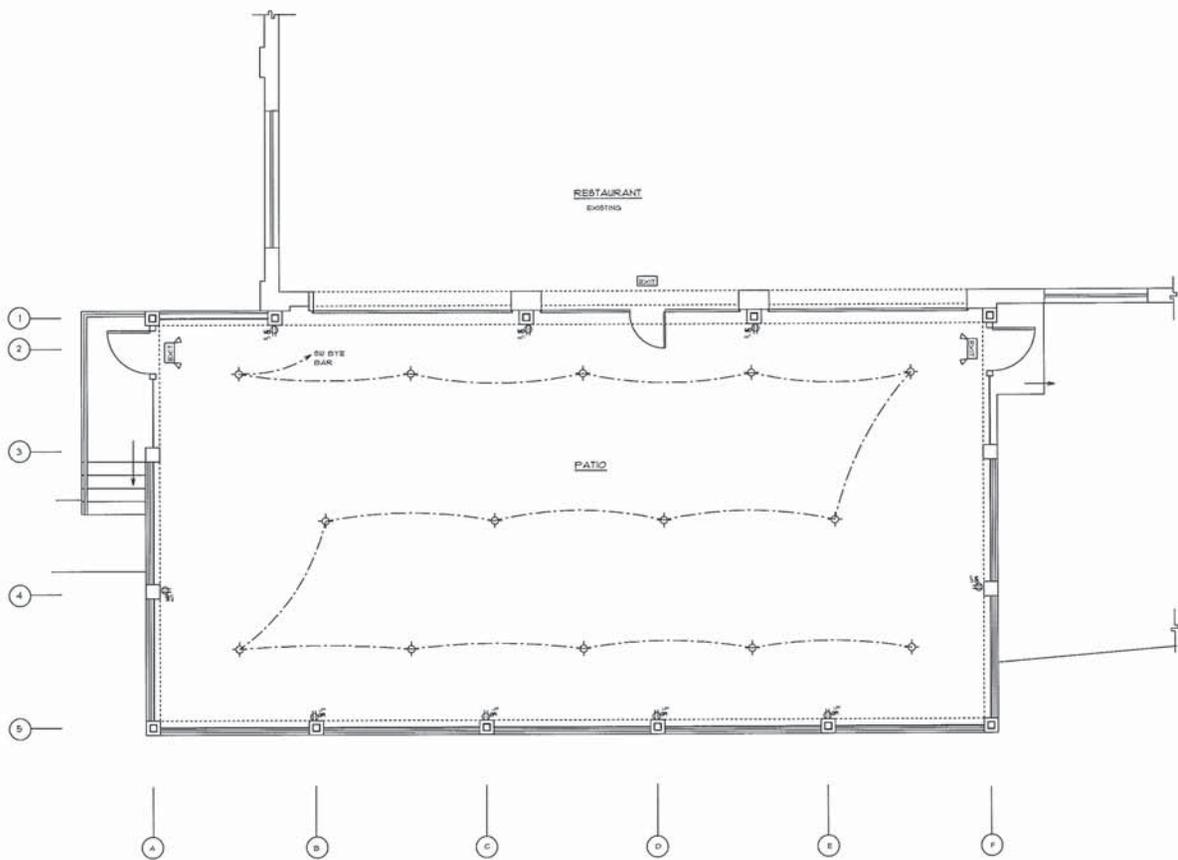
DATE  
 NOV 26, 2019

REVISION  
 JAN 1, 2020

JOB #

SHEET #

A4



PATIO ELECTRIC PLAN SCALE 1/4" = 1'-0"



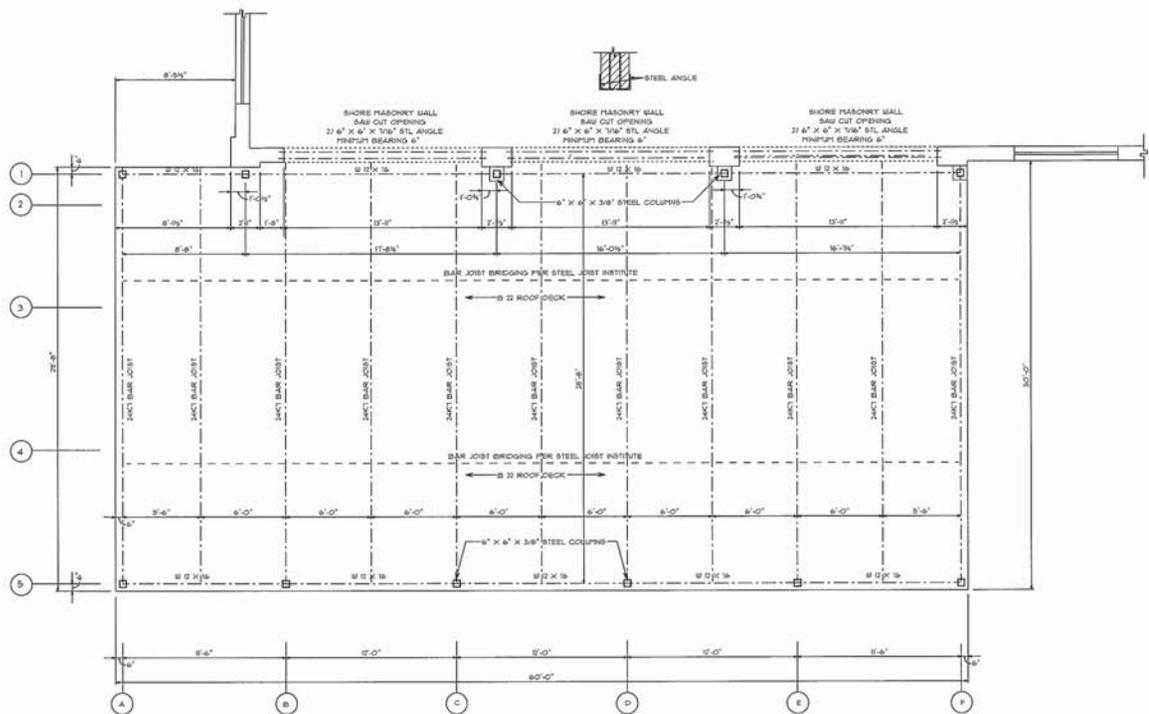
**JOSEPH A. MEYER**  
 STRUCTURAL & PROFESSIONAL ENGINEER  
 135 PARK AVE. BARRINGTON, IL. 60010 847-382-0200

COVERED PATIO FOR:  
**EDEN ON THE RIVER**  
 1 ILLINOIS STREET ST. CHARLES ILLINOIS 6014

DATE  
 NOV 26, 2019  
 REVISION  
 JAN 7, 2020

JOB #  
 SHEET #  
**E1**





ROOF FRAMING PLAN SCALE 1/4" = 1'-0"

**JOSEPH A. MEYER**  
 STRUCTURAL & PROFESSIONAL ENGINEER  
 135 PARK AVE. BARRINGTON, ILL. 60010 847-382-0200

COVERED PATIO FOR:  
**EDEN ON THE RIVER**  
 1 ILLINOIS STREET ST. CHARLES ILLINOIS 60174

DATE:  
 NOV 26, 2019  
 REVISION:  
 JAN 7, 2020



JOB #  
 SHEET #  
**S2**



Land Shapers, Inc.  
306 East 3<sup>rd</sup> Street  
East Dundee, IL 60118  
(847) 514-4482

**Eden on the River**  
**1 Illinois Street, St. Charles, IL 60174**

**The following Scope of Work is based on Plans dated 1/7/2020**

**1. Demolition:**

The existing wood deck will be removed and disposed of including the existing concrete piers. The existing awning attached to the east side of the building will be removed and disposed of.

**2. Structure:**

Helical piles will be drilled into the ground to support the steel structure of the covered deck. The roof structure will be supported by steel columns and will consist of steel beams and steel bar joists that will support an insulated, rubber roof. The proposed structure is not mechanically attached to the building; totally independent structure. The floor joists will be treated lumber that will support a tile floor. Metal railings will be installed along the perimeter.

**3. Electrical:**

General lighting will be installed throughout the ceiling of the structure and outlets installed per code.

**4. Access:**

New access will be created by way of (3) proposed glass garage doors which, when open will create a feeling of one giant space. A "people" door will be incorporated into one of the garage doors to allow ingress and egress when the garage doors closed. A single door has also been provided to access the deck from both the south parking lot and the existing deck to the north.

# CONTRACTORS BUDGETARY SWORN STATEMENT

January 5, 2020

## Eden on the River

Subcontractor Category	Estimate	Allowance
Architectural Plans and Engineering	\$7,500.00	
Site Engineering	\$3,500.00	
Engineering Layout	\$1,500.00	
Silt Fence	\$500.00	
Tree Removal	\$800.00	
Deck and Awning Removal and Disposal	\$2,000.00	
Helical Piles	\$19,000.00	
Steel Beams, Posts, and Roof Structure	\$40,500.00	
Roofing (Insulation and Rubber) DS and Scuppers	\$18,000.00	
Skylight Allowance	\$6,000.00	
Carpentry		
Rough Labor	\$10,000.00	
Framing and Preparatory Lumber	\$17,000.00	
Finish Labor	\$6,000.00	
LP SmartSide Siding and Trim	\$8,500.00	
Durock over Plywood Deck (Material and Labor)	\$4,500.00	
Tile Material Allowance (1800SF @ \$6/SF)	\$10,800.00	
Installation of Tile (1800SF @ \$8/SF)	\$14,400.00	
Electrical Rough	\$5,000.00	
Electrical Fixtures	\$7,000.00	
Preparation on Garage Door Openings	\$12,000.00	
Garage Doors and Install Allowance	\$24,000.00	
Exterior Painting	\$2,500.00	
Railing Allowance	\$6,000.00	
Landscaping Allowance	\$4,500.00	
Winter Protection Plastic and Heaters	\$12,000.00	
General Conditions/Site Services	\$7,500.00	
Site Toilet		
Dumpsters		
Surface Protection		
Road Sweeping		
Site Laborers		

TOTAL	\$251,000.00
5% CONTINGENCY	\$12,550.00
<b>TOTAL WITH CONTINGENCY</b>	<b>\$263,550.00</b>
GC FEE	\$37,650.00

**Grand Total   \$301,200.00**

**This Price does not include Permit Costs**

LAND SHAPERS, INC. 306 East 3rd Street, East Dundee, IL 60118 (847) 514-4482