	HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
	Agenda Item Title/Address:	Façade Improvement Grant: 100 S Riverside		
	Proposal:	Commercial façade improvement project		
	Petitioner:	Conrad Hurst		
Please check appropriate box (x)				
PUBLIC HEARING			MEETING 2/6/19	X
AGENDA ITEM CATEGORY:				
	Certificate of Appropriateness (COA)	X	Façade Improvement Plan	
	Preliminary Review		Landmark/District Designation	
	Discussion Item		Commission Business	
ATTACHMENTS:				
Façade Grant Application				
Façade Grant Program Requirements				
Design Plans				
Façade Renderings				
EXECUTIVE SUMMARY:				
<p>A Façade Improvement Grant has been requested by Conrad Hurst for the building located at 100 S. Riverside Ave.</p> <p>The project description includes the following improvements to the north, east and south sides of the building:</p> <ol style="list-style-type: none"> 1. Masonry repair and painting- Maintenance 2. New ornamental metal & awnings – New Improvement 3. New exterior light fixtures– New Improvement 4. New exterior doors and windows– New Improvement <p>The total cost estimate is \$106,890. City staff is seeking additional information regarding the proposed lighting and ornamental metal and awnings.</p> <p>The maximum grant amount for this building is \$20,000.</p>				
RECOMMENDATION / SUGGESTED ACTION:				
Provide feedback and recommendations.				

FAÇADE IMPROVEMENT GRANT APPLICATION

COMMUNITY & ECONOMIC DEVELOPMENT DEPT. / PLANNING DIVISION

CITY OF ST. CHARLES



Grant Type (select one):



Commercial

☐ Residential

Property Information:

Building or establishment for which the reimbursement grant is requested:

Address:

100 S. RIVERSIDE AVE

Property Identification Number:

09-27-391-001

Applicant Name:

STC RIVERSIDE, LLC



Project Description:

ADDITION & REPLACEMENT OF STORE FRONT SYSTEMS / OH DOORS •

ADDITION & UPGRADE OF EXTERIOR LIGHTING • EXTERIOR PAINTING •

ADDITION OF DECORATIVE METAL SYSTEMS • REPLACEMENT OF

EXTERIOR MAIN DOORS • REPAIR OF EXISTING RAMPS / WALKS / RAILINGS

* SEE DRAWINGS FOR DETAILED SCOPE & DESIGN INTENT *

Total Cost Estimate:

\$ ~~98,200.00~~ \$106,890

Submittal Checklist:

- ☐ **\$50 Application Fee**
- ☐ **Detailed Scope of Work:** Must identify all improvements, construction methods, building materials to be used. Costs must be broken down and itemized by task. In general, this scope of work should be prepared by the contractor(s) who will be completing the project.
- ☐ **Documentation on Existing Conditions:** Reports or photographs to demonstrate need for improvements.
- ☐ **W-9 Form:** Filled out and signed by the grant applicant, with a Federal Tax ID Number (or a Social Security Number for an individual)

	PROJECT NAME	100 S Riverside Façade Gant	ORIGINAL BUDGET	ELIGIBLE COST	NOTES
	SITE WORK		\$ 3,902	\$ -	
	BLDG SHL (LL)		\$ 318,865	\$ 88,200	
	BLDG FIN (LL)		\$ 14,000	\$ 10,000	
	GEN'L COND.			\$ 8,690	
	GC FEES			\$ -	
	TOTAL PROJECT COST		\$ 336,767	\$ 106,890	
STAGE	TRADE	DESCRIPTION	BUDGET	BUDGET	
SITE WORK	Construction Staking	Staking	\$ -	\$ -	
SITE WORK	Village	Permits	\$ 3,902	\$ -	
SITE WORK	Soils Testing	Soils	\$ -	\$ -	
SITE WORK	Demolition - Buildings	Demolition , Buildings/ Structures	\$ -	\$ -	
SITE WORK	Mass Earth	Mass Earthwork	\$ -	\$ -	
SITE WORK	Water	Water	\$ -	\$ -	
SITE WORK	Water	Force Main	\$ -	\$ -	
SITE WORK	Sanitary Sewer	Sewer	\$ -	\$ -	
SITE WORK	Storm	Storm	\$ -	\$ -	
SITE WORK	Storm	Underground Retention/Detention	\$ -	\$ -	
SITE WORK	Lift Station	Lift Station Pumps	\$ -	\$ -	
SITE WORK	Utilities - Spoils	Utilities Spoils management	\$ -	\$ -	
SITE WORK	Utilities - Dry	Utilities - Dry	\$ -	\$ -	
SITE WORK	Trash Enclosure	Trash Enclosure Pad, Bollards,Gates,Coping	\$ -	\$ -	
SITE WORK	Trash Enclosure	Masonry	\$ -	\$ -	
SITE WORK	Concrete	Curb & Gutter, Sidewalks and Patch Curb	\$ -	\$ -	
SITE WORK	Asphalt Paving	Paving - Light/Heavy/Street repairs/stripping	\$ -	\$ -	
SITE WORK	Electrical - Site	Conduit for Electric Services, ETC	\$ -	\$ -	
SITE WORK	Lighting Fixtures - Site	Lighting poles and Heads	\$ -	\$ -	
SITE WORK	Landscaping - Site	Landscaping and Permeable Pavers	\$ -	\$ -	
SITE WORK	Gateway Element	Pylon	\$ -	\$ -	
SITE WORK	Irrigation - Site	Irrigation - Site	\$ -	\$ -	
SITE WORK	Fencing	Privacy/Security Fence/Railings	\$ -	\$ -	
SITE WORK	General Conditions	General Conditions	\$ -	\$ -	
BLDG SHL (LL)	Excavation	Excavate Footings & Backfill	\$ -	\$ -	
BLDG SHL (LL)	Concrete - Foundation	Pour Foundation, Damp Proof Foundation	\$ 10,000	\$ -	
BLDG SHL (LL)	Steel	Set Structural Steel	\$ 25,000	\$ -	
BLDG SHL (LL)	Carpentry - Rough	Carpentry - Bldg. Shell	\$ 30,150	\$ 6,000.00	Preperation of columns to accept new siding system
BLDG SHL (LL)	Masonry	Building Masonry, and Interior Masonry	\$ 12,000	\$ 6,000.00	Prepere openings for new OH & store front, replace limestone sills at openings, Tuckpoint
BLDG SHL (LL)	Plumbing - Shell	Plumbing - Shell	\$ -	\$ -	
BLDG SHL (LL)	HVAC - Shell	Roof Top Units, Mat'l & Labor	\$ 500	\$ -	
BLDG SHL (LL)	Electrical - Shell	Electrical - Shell	\$ 65,350	\$ -	
BLDG SHL (LL)	Roofing	Roofing	\$ 5,000	\$ -	
BLDG SHL (LL)	Concrete - Slab	Concrete - Pour Slab	\$ -	\$ -	
BLDG SHL (LL)	Store Fenestration	Windows	\$ 40,000	\$ 28,000.00	Replace/add all storefront at North Elevation, 5 openings
BLDG SHL (LL)	Exterior Doors	Exterior Doors/Interior Steel Drs. And Frames	\$ 8,000	\$ -	
BLDG SHL (LL)	Fire Protection- shell/rough	Sprinkler Sys. Shell	\$ 43,065	\$ -	
BLDG SHL (LL)	Fire Alarm- shell/rough	Fire Alarm - Shell	\$ 9,000	\$ -	
BLDG SHL (LL)	Gas Supply	Gas Supply	\$ 4,500	\$ -	
BLDG SHL (LL)	Decorative Metal	Ornamental Metal & Awnings	\$ 15,000	\$ 11,000.00	M&L, Wall panel siding system
BLDG SHL (LL)	Light Fixtures - Shell	Building Lighting Material	\$ 6,400	\$ 3,200.00	New fixtures at columns and tower
BLDG SHL (LL)	Over Head doors	Materials & Labor	\$ 44,900	\$ 34,000.00	4 new over head doors at patio
BLDG FIN (LL)	Landlord Provided TI Finishes	Allowance (see below)		\$ -	
BLDG FIN (LL)	TI Allowance Paid to Tenant	Allowance (see below)		\$ -	
BLDG FIN (LL)	Carpentry - Rough - Interior	Light Gauge/Specialty Framing, FRP Install, Misc.		\$ -	
BLDG FIN (LL)	Steel Canopies	Steel canopies		\$ -	
BLDG FIN (LL)	Roof - Outdoor Dining	Roof - Outdoor Dining		\$ -	
BLDG FIN (LL)	Plumbing - Finishes	M&L		\$ -	
BLDG FIN (LL)	HVAC - Finishes	M&L		\$ -	
BLDG FIN (LL)	Electrical - Finishes	M&L		\$ -	
BLDG FIN (LL)	Fire Alarm- Finish	Fire Alarm- Finish		\$ -	
BLDG FIN (LL)	Insulation	M&L		\$ -	
BLDG FIN (LL)	Fire Protection-Tenant Trim	Fire Protection-Tenant Trim		\$ -	
BLDG FIN (LL)	Drywall	M&L		\$ -	
BLDG FIN (LL)	Paint	M&L	\$ 14,000	\$ 10,000.00	Prepare and paint exterior of building per drawings
BLDG FIN (LL)	Flooring	Labor Only		\$ -	
BLDG FIN (LL)	Stainless Steel - M&L	Material and LABOR		\$ -	
BLDG FIN (LL)	Metal Doors and Frames	Metal Doors and Frames		\$ -	
BLDG FIN (LL)	Millwork	Material Only, Cabinets, Tops		\$ -	
BLDG FIN (LL)	Toilet Accessories & Mirrors	Toilet Accessories & Mirrors & partitions		\$ -	
BLDG FIN (LL)	Ceilings - Acoustical	M&L		\$ -	
BLDG FIN (LL)	Store Fenestration	Drive Thru Windows+Vestibules		\$ -	
BLDG FIN (LL)	Wall Finishes	M&L		\$ -	
BLDG FIN (LL)	Metals - Specialty	M&L		\$ -	
BLDG FIN (LL)	Masonry wall finishes, interior	M&L		\$ -	
BLDG FIN (LL)	Carpentry - Interior Walls	Interior Walls, Drywall		\$ -	
BLDG FIN (LL)	Additional RT equip, per tenant	M&L		\$ -	
BLDG FIN (LL)	Lighting Allowance	Material Only		\$ -	
BLDG FIN (LL)	Electrical - Low Voltage	Labor Only		\$ -	
BLDG FIN (LL)	Electrical - Low Voltage	M&L		\$ -	
GEN'L COND.	Design & Engineering	Architecture	\$ 16,400	\$ 8,690	% allocation of permit set (exterior improvements only), % based on SF
Contingency	GC FEES	GC FEES		\$ -	

3. Commercial Façade Grant

- Eligible Properties:
Commercial or Multi-Family Residential Buildings (two or more units) located within either:
 - Special Service Area #1B
 - Historic District or Landmark SiteProperties in SSA #1B are given first priority at the beginning of the program year.
- Minimum Project Cost: \$2,500
- Grant for Front or Side Facades (visible from street): Maximum grant amount is based upon the frontage of the façade to be renovated, at a maximum of \$10,000 per 30 ft. horizontal length of façade. A facade is defined as a thirty foot wide span along the front or side of a building facing a public street, measured along the building wall generally parallel to the right of way line. For building fronts or sides exceeding thirty feet, a pro rata amount will be applied.
- Grant for Rear Entrance Improvements: Maximum grant amount of \$10,000, available for buildings with an existing or proposed rear entrance that is accessible to the public from a dedicated public street, alley, or other right of way, or from a parking lot or walkway that is owned or leased by the City, or from other property that is encumbered by an easement granting public pedestrian access. The rear entrance to be improved must provide public access to a business or businesses within the building.
- Maximum Grant Limits:
 - Total grant amount during any five-year period is capped at \$20,000.
 - For properties on the National Register of Historic Places or Locally Designated Landmarks, the total grant amount for any five-year period is capped at \$30,000.
- Eligible Improvements:
 - 25% Reimbursement for Routine Maintenance:
 - ✓ Cleaning, patching, caulking of exterior surfaces.
 - ✓ Re-coating of paint on exterior surfaces (without extensive surface preparation)
 - ✓ Re-roofing visible roof surfaces with non-historic material (such as 3-tab or architectural grade asphalt shingles)
 - ✓ Spot masonry repairs or tuckpointing
 - ✓ Like-in-kind replacement of non-historic elements on a building
 - 50% Reimbursement for:
 - For Historic structures, maintenance utilizing Historic Preservation practices:***
 - ✓ Repair or restoration of historic features
 - ✓ Replacement of deteriorated historic features with like materials or appropriate synthetic materials
 - ✓ Re-roof or repair of visible roof surfaces with non-standard materials (such as wood shake, slate, or other decorative non-standard materials)
 - ✓ Extensive restoration/repair of historic masonry material
 - ✓ Painting of exterior surfaces where the surface preparation includes removal of worn/failing paint and intensive surface preparation prior to painting
 - Building improvements:***
 - ✓ Exterior building upgrades or enhancements that will improve the historic character of a building
 - ✓ Improvement, replacement or installation of storefront systems, doors, windows and trim materials.
 - ✓ Removal of architecturally inappropriate features on buildings (including removal of synthetic surface materials)
 - ✓ Exterior lighting that illuminates a façade

- 100% Reimbursement for Architectural Services (Up to \$4,000)
 - Where architectural services are required, the owner or tenant should retain an architect to prepare a conceptual design and cost estimate for work proposed. If the project is approved by the City, the architect may provide bidding and construction plans and documents, as well as construction supervision. Only those architectural services directly related to the approved facade improvement will be reimbursed.
- Ineligible Improvements:
 - Signs and Awnings, unless in connection with other eligible improvements.
 - Any interior improvement or finishes
 - Any improvements to internal building systems, including HVAC, plumbing, electrical (except for wiring for exterior lighting)
 - Any site improvements, including sidewalks, parking lots and landscaping.
- Improvements not specifically listed as eligible or ineligible are subject to review as to eligibility by the Historic Preservation Commission as an advisory body and approval or disapproval by City Council.

AUTHORITIES

CITY OF ST. CHARLES
BUILDING DEPARTMENT
2 E. MAIN STREET
ST. CHARLES, IL 60174
PHONE: 630-371-4400

APPLICABLE CODES

- 2015 INTERNATIONAL BUILDING CODE IV AMENDMENTS
- 2015 INTERNATIONAL MECHANICAL CODE IV AMENDMENTS
- 2015 FUEL GAS CODE IV AMENDMENTS
- 2014 NATIONAL ELECTRIC CODE, NFPA NO. 70, IV AMENDMENTS
- 2014 ILLINOIS STATE PLUMBING CODE IV AMENDMENTS
- 2015 INTERNATIONAL FIRE CODE IV AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 1997 ILLINOIS ACCESSIBILITY CODE
- NFPA LIFE SAFETY CODE 101

BUILDING DATA

CONSTRUCTION TYPE CLASSIFICATION:
TYPE 5B - NON-COMBUSTIBLE, SPRINKLED

CODE ANALYSIS

OCCUPANCY CLASSIFICATION:

TENANT SPACE: USE GROUP A-2

GENERAL BUILDING LIMITATIONS:

MAXIMUM BUILDING HEIGHT PERMITTED: EXISTING
MAXIMUM AREA PERMITTED: EXISTING

GROSS LEASE AREA SPACE: 12110 S.F.

FIRE PROTECTION SYSTEMS:

EXISTING FULLY AUTOMATIC FIRE SPRINKLER SYSTEM AND AS
REQUIRED BY CODE AND NFPA IS
TENANT AREA/OCCUPANT LOAD: (IBC TABLE 1004.1.1)

EGRESS CALCULATION: (IBC)

NORTH TENANT:
GROSS AREA: 6486 S.F. TOTAL = 273 OCCUPANTS*
SEATING- 4000 S.F. (EST.) / 15 = 266
KITCHEN- 1486 S.F. (EST.) / 200 = 7

*ACTUAL TENANT LAYOUT TO BE PROVIDED BY TENANT BUILD-OUT
PLANS TO BE PROVIDED BY OTHERS.

MAXIMUM LENGTH OF EGRESS ALLOWED: 500 FEET (TABLE 1016.1)
CALCULATED ACTUAL EGRESS (FURTHEST POINT): 281' (ACTUAL EXITING BY TENANT)

SOUTH TENANT:
GROSS AREA: 5632 S.F. TOTAL = 375 OCCUPANTS*
BAR/SEATING- 5632 S.F. (EST.) / 15 = 375

*ACTUAL TENANT LAYOUT TO BE PROVIDED BY TENANT BUILD-OUT
PLANS TO BE PROVIDED BY OTHERS.

MAXIMUM LENGTH OF EGRESS ALLOWED: 500 FEET (TABLE 1016.1)
CALCULATED ACTUAL EGRESS (FURTHEST POINT): 281'

EGRESS UNITS REQUIRED: 2
EGRESS UNITS PROVIDED: 2
(1 DOOR AT 36' @ FRONT)
(1 DOOR AT 36' @ REAR)

LOCKS AND LATCHES (IBC SECTION) ALL MEANS OF EGRESS
DOORS SHALL BE READILY OPERABLE FROM THE SIDE WHICH
EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL
KNOWLEDGE OR EFFORT.

106 S. RIVERSIDE

EXTERIOR IMPROVEMENTS

106 S. RIVERSIDE AVE.,
ST. CHARLES, IL 60174

CONTACT INFORMATION

GENERAL CONTRACTOR:

CONRAD HURST
FRONTIER DEVELOPMENT, LLC
PHONE: 630-461-1075
conrad@frontierdevelopmentgroup.com

STRUCTURAL ENGINEER:

MICHAEL J. WILBUR, SE
JOHNSON WILBUR ADAMS, INC.
330 S. NAPERVILLE ROAD
SUITE 300
NHEATON, IL 60181
PHONE: 630-653-4060
m.wilbur@jwa.com



1/22/19

ARCHITECT:

BATIR ARCHITECTURE
1121 E. MAIN STREET
SUITE #220
ST. CHARLES, IL 60174
PHONE: 630-513-5104
FAX: 630-513-5114

MECHANICAL ENGINEER:

MANUEL HERNANDEZ, P.E.
M&H ENGINEERING
401 S. HIGHLAND AVE.
ARLINGTON HEIGHTS, IL 60005
PHONE: 713-314-1814
mhernandez@mghengineering.com

ELECTRICAL ENGINEER:

BRIAN KACZOR, P.E.
K-ZOR ELECTRIC, INC.
21810 S. CENTER AVE.
NEW LENOX, IL 60451
PHONE: 815-315-4301
FAX: 815-463-0202
brank@k-zorelectric.com



PROJECT SITE



LOCATION MAP

SCALE: N.T.S.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING
COMPLETE SETS OF THESE PLANS AND PROJECT
SPECIFICATIONS TO ALL SUB CONTRACTORS INVOLVED IN
THIS PROJECT. A COMPLETE COPY OF THESE PLANS AND
PROJECT SPECIFICATIONS SHALL BE IN THE POSSESSION OF
THE CONTRACTOR AND ALL SUB CONTRACTORS ON THE
PROJECT AT ALL TIMES.

I HEREBY CERTIFY THAT THE PLANS WITH THE FIRMS NAME LISTED BELOW WERE PREPARED UNDER
MY DIRECT SUPERVISION.
DATED AT ST. CHARLES, ILLINOIS THIS 22ND DAY OF JANUARY, 2019

PAULA A. PRICE, BATIR ARCHITECTURE, LTD.
ILLINOIS REGISTERED ARCHITECT NO. 001-018643 EXP. DATE: 11-30-2020
ILLINOIS DEPARTMENT OF PROFESSIONAL REGULATION FIRM NUMBER: 18-00425



CONSTRUCTION PHASE NOTE

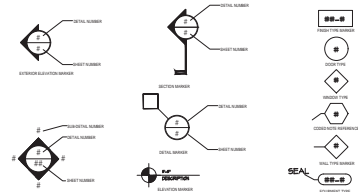
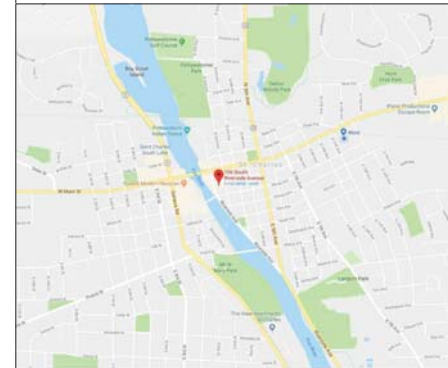
ARCHITECT'S DESIGN WITHOUT CONSTRUCTION PHASE SERVICES

SINCE DIRECT CONSTRUCTION OBSERVATIONS AND REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INCLUDED AS PART OF THE ARCHITECT'S BASIC SERVICES, IT IS UNDERSTOOD THAT SUCH RESPONSIBILITIES WILL BE ASSUMED BY OTHERS. BATIR WILLS ITSELF TO THE CLIENT, THE CONTRACTOR, AND ANY OTHER PARTIES AS NECESSARY (VIA TELEPHONE, FAX, AND EMAIL) IN ORDER TO ASSIST IN PROVIDING CLARIFICATIONS OR RESOLVING ISSUES AND PROBLEMS THAT MAY ARISE. ALTHOUGH ANY ISSUES CAN BE EASILY ADDRESSED WITHOUT THE ARCHITECT'S INVOLVEMENT, THERE ARE TIMES WHEN PARTICIPATION IS ADVISABLE. DETERMINATION OF WHEN INVOLVEMENT IS APPROPRIATE IS LEFT TO THE PROFESSIONAL DISCRETION OF THE CONTRACTOR. IT IS UNDERSTOOD THAT THE CLIENT AND/OR THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR INTERPRETATION OF THE DRAWINGS, AND ANY OTHER SUPPLEMENTAL INFORMATION, AND WHEN THE ARCHITECT IS DENIED THE OPPORTUNITY TO PROVIDE CLARIFICATIONS OR PARTICIPATE IN CHANGES TO THE DESIGN OR THE RESOLUTION OF ISSUES OR PROBLEMS, ALL PARTIES WAIVE ANY CLAIM AGAINST THE ARCHITECT THAT MAY BE IN ANY WAY CONNECTED THERETO. BATIR IS HELD HARMLESS FROM LOSS, CLAIM, OR COSTS ARISING OR RESULTING FROM MODIFICATIONS OR CHANGES MADE TO THE DESIGN WITHOUT THE KNOWLEDGE OF THE ARCHITECT DUE TO CONDITIONS OR CIRCUMSTANCES ANTICIPATED OR NOT BEYOND THE ARCHITECT'S CONTROL.

CRITICAL PLUMBING NOTE

THE RELATIONSHIP BETWEEN FLOOR SINKS AND NEW WALLS IS CRITICAL TO THE FINAL FIXTURE / EQUIPMENT LAYOUT. FLOOR SINKS AS SHOWN ON THE PLUMBING PLANS ARE DIMENSIONALLY LOCATED OFF OF NEW PARTITIONS, AND THEREFORE THE CONTRACTOR MUST COMPLETE FINAL LAYOUT ON SLAB PRIOR TO FINAL LOCATION OF FLOOR SINKS FOR ACCURATE FINAL PLACEMENT.

VICINITY MAP



PROJECT:
18073

106 S. RIVERSIDE
EXTERIOR IMPROVEMENTS

106 S. RIVERSIDE AVE., ST. CHARLES, IL 60174

BATIR
BATIR ARCHITECTURE, LTD.
1121 E. MAIN STREET, SUITE 220, ST. CHARLES, IL 60174
PHONE: 630-513-5104
WWW.BATIRARCH.COM

COVER SHEET

ISSUED:
01-22-19
ISSUED FOR PERMIT

18 COPYRIGHT 2019
BATIR ARCHITECTURE, LTD.

SCALE
1/4" = 1'-0"
UNLESS NOTED OTHERWISE

A001

GENERAL PROJECT NOTES

1. DIRECT CONSTRUCTION OBSERVATIONS AND REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INCLUDED AS PART OF THE ARCHITECT'S BASIC SERVICES. IT IS UNDERSTOOD THAT SUCH RESPONSIBILITIES WILL BE ASSUMED BY OTHERS. BATHR ARCHITECTURE AVAILS ITSELF TO THE CLIENT, CONTRACTOR AND OTHER PARTIES AS NECESSARY (VIA TELEPHONE, FAX AND EMAIL) IN ORDER TO ASSIST IN PROVIDING CLARIFICATIONS OR RESOLVING ISSUES AND PROBLEMS.
2. ALL CONTRACTORS (GENERAL AND SUBCONTRACTORS) SHALL COMPLY WITH THE REQUIREMENTS FOR INSURANCE, BONDS AND LICENSES AS OUTLINED IN THE LATEST EDITION OF THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION - AIA 201, PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS. SHALL MEET THE OSHA 10 OR 30 REQUIREMENTS.
3. THE CONTRACTOR SHALL FILE, OBTAIN AND PAY FEES FOR BUILDING, DEPARTMENT AND ALL OTHER AGENCY APPROVALS AND PERMITS, CONTROLLED INSPECTIONS, AND FINAL WRITING OFFS FOR PROJECT COMPLETION. COPIES OF TRANSACTIONS ARE TO BE FURNISHED TO THE PROJECT MANAGER.
4. THIS PROJECT AND ALL WORK ASSOCIATED WITH PROJECT SHALL CONFORM TO STATE AND LOCAL CODES AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT.
5. THE TERM "ARCHITECT" OR "DESIGNER" AS USED IN THESE DOCUMENTS REFERS TO BATHR ARCHITECTURE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND FOR THE RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE OF PROCEDURE, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, ALL OF WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. THE DESIGN ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., DURING DEMOLITION AND/OR CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER OR ARCHITECT.
8. THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, OTHER DRAWINGS, AND JOB SPECIFICATIONS ARE SUPPLEMENTARY TO ARCHITECTURAL, CONSTRUCTION DRAWINGS. ANY DISCREPANCY BETWEEN THESE DOCUMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. THE INTENT OF DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL LABOR, MATERIALS AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, DESCRIBED, OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS.
9. INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, I.D.N.
11. ANY WORK INSTALLED IN CONFLICT WITH THE CONSTRUCTION DRAWINGS, WITHOUT THE PRIOR APPROVAL OF THE OWNER AND THE ARCHITECT SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
12. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE OR THAT WILL CAUSE A DELAY IN THE CONSTRUCTION COMPLETION SCHEDULE. THE CONTRACTOR SHALL SUBMIT FACTORATIONS OF DELIVERY DATES FOR ORDERS OF MATERIALS AND EQUIPMENT HAVING LONG LEAD TIMES.
13. ALL REQUESTS FOR SUBSTITUTIONS OF ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITING AND WILL BE CONSIDERED ONLY IF BETTER SERVICE FACILITIES, A MORE ADVANTAGEOUS DELIVERY DATE, OR A LOWER PRICE WITH CREDIT TO THE OWNER/ TENANT WILL BE PROVIDED WITHOUT SACRIFICING QUALITY, PERFORMANCE, AND FUNCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED.
14. SUBSTITUTIONS FOR ANY SPECIFIED MATERIALS REQUIRE THE WRITTEN APPROVAL FROM THE ARCHITECT / OWNER / TENANT.
15. UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SUBMIT ONE (1) SET OF SHOP DRAWINGS. SHOP DRAWINGS SHOULD INCLUDE DETAILED, FABRICATION AND ERECTION DRAWINGS, SETTING DRAWINGS, DIAGNOSTIC DRAWINGS, AND MATERIAL SCHEDULES. LOCATION AND ORIENTATION OF ALL ITEMS SHOULD BE CLEARLY INDICATED. BEGIN FABRICATION OF SHOP ITEMS AFTER RECEIVING ARCHITECT'S OR DESIGNER'S APPROVAL OF SHOP DRAWINGS.
16. THE ARCHITECT'S REVIEW OF SHOP DRAWINGS SHALL NOT RELIEVE THE GENERAL CONTRACTOR OR SUBCONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS UNLESS HE HAS, IN WRITING, AND BROUGHT TO THE ATTENTION OF THE ARCHITECT SUCH DEVIATION AT THE TIME OF THE SUBMISSION, NOR SHALL IT RELIEVE HIM (GENERAL CONTRACTOR) FROM RESPONSIBILITY FOR ERRORS OF ANY SORT IN THE SHOP DRAWINGS.
17. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS PRIOR TO STARTING CONSTRUCTION.
18. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OF PLANS FOR ANY PURPOSES PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
19. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR EXAMINING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND COMPARING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ITEMS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.
20. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE TO COORDINATE WITH ALL SUBCONTRACTORS PER REQUIREMENTS ESTABLISHED BY OWNER, TENANT, OR BOTH, WHICH ARE UNDER SEPARATE CONTRACT WITH THE OWNER OR TENANT'S AUTHORITY.
21. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE STATE LABOR DEPARTMENT IN COMPLIANCE WITH CURRENT LABOR CODES.
22. PROVIDE CONTINUOUS INSPECTIONS AS SET FORTH IN STATE AND LOCAL CODES AND PER CONTRACT DOCUMENTS AS NEEDED.
23. CONTRACTOR SHALL VERIFY ALL BUILDING STANDARDS WITH BUILDING LANDLORD PRIOR TO BEGINNING ANY WORK. HOWEVER, THERE SHALL BE NO DENATIONS WHATSOEVER FROM THE CONTRACTOR DOCUMENTS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL THEREOF. THE CONTRACTOR AGREES TO DEFEND, INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ALL CLAIMS ARISING AS A RESULT OF UNAPPROVED CHANGES.
24. UPON NOTIFICATION BY THE GENERAL CONTRACTOR THAT THE WORK IS SUBSTANTIALLY COMPLETE, THE OWNER'S REPRESENTATIVE SHALL PREPARE A PUNCH LIST OF THE PROJECT AND THE GENERAL CONTRACTOR SHALL MAKE GOOD ALL PUNCH LIST ITEMS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE PRIOR TO FINAL PAYMENT.
25. WHERE ELECTRICAL, MECHANICAL, AND/OR PLUMBING ITEMS, SUCH AS LIGHTS, DUCTS, PIPING, DOWNPOUTS, ETC. ARE TO PENETRATE ANY BUILDING FOOTINGS, SLABS, FLOORS, STRUCTURAL FRAMING, WALL PARTITIONS, CEILING, ETC., IT IS REQUIRED THAT AN APPROPRIATELY SIZED OPENING OR CLEARANCE BE FURNISHED. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL ITEMS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO THE INSTALLATION OF STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WORK. ANY CONFLICT OR DISCREPANCY WITH CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION.
26. CONTRACTOR, ALONG WITH MECHANICAL CONTRACTOR, SHALL PROVIDE AND LOCATE ACCESS DOORS/PANELS WITH A CEILING CONSTRUCTION AS REQUIRED TO PROVIDE ACCESS TO MECHANICAL, FIRE SPRINKLER, PLUMBING & ELECTRICAL WORK. CONTRACTOR SHALL SUBMIT A PLAN OF ANY PROPOSED ACCESS PANEL LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
27. ALL PENETRATIONS AT RATED CONSTRUCTION SHALL BE PROTECTED TO MAINTAIN RATING.
28. WHERE OCCURS, CONTRACTOR SHALL PATCH ANY EXISTING WALLS AND/OR CEILING AS NECESSARY TO REFURISH THE LEASE SPACE AND REPAIR ALL DAMAGES CAUSED BY CONTRACTOR.
29. INTERIOR WALLS AND CEILING SHALL BE INSTALLED IN ACCORDANCE TO STATE & LOCAL CODES, INCLUDING REQUIREMENTS FOR FLAME SPREAD AND SMOKE DENSITY RATINGS FOR FINISH MATERIALS. WHEN USED, ALL NOISE BARRIER BATT'S (GOUND INSULATION) AND INSULATION BATT'S SHALL BE NON-COMBUSTIBLE AND SHALL NOT CONTAIN OR UTILIZE COZONE DEPLETING COMPOUNDS.
30. ALL NEW CONSTRUCTION MATERIALS SHALL BE 100% ASBESTOS FREE.

DRAWING NOTES

1. UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ON THESE DOCUMENTS SHALL BE TO FACE OF CURB, FACE OF CONCRETE OR MASONRY, FACE OF FINISH OR CENTERLINE OF FINISH.
2. THE TERM "ALONG" AS USED IN THESE DOCUMENTS, SHALL MEAN TO ACCURATELY LOCATE FINISHES IN THE SAME PLANE.
3. "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE AT ALL SIMILAR CONDITIONS THROUGHOUT I.D.N.
4. DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR AND ARE REPRESENTATIVE OF ALL SIMILAR CONDITIONS THROUGHOUT I.D.N.
5. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FLOOR SLAB I.D.N.
6. DIMENSIONS SHOWN IN FIGURES TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM DRAWINGS. LARGE SCALE DRAWINGS AND DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

JOB SITE NOTES

1. CONSTRUCTION DEBRIS AND WASTES SHALL BE DEPOSITED AT AN APPROPRIATE SITE. THE CONTRACTOR SHALL INFORM THE BUILDING REPRESENTATIVE OF THE LOCATION OF DISPOSAL SITES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CLEANING OF THE JOB AFTER ITS COMPLETION. WHERE APPLICABLE, CLEANING SHALL BE LIMITED TO THE EXTERIOR AND THE INTERIOR OF THE BUILDING. THE PATH OF TRAVEL TO THE JOB SITE, PARKING LOTS, ELEVATORS, LOBBIES, AND WASHROOMS ARE EXCLUDED.
3. THE CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION, WHERE REQUIRED PER STATE AND LOCAL CODES.
4. WHERE EXISTING TENANTS/BUSINESSES ARE ADJACENT TO THE JOB SITE/TENANT, THE CONTRACTOR SHALL MINIMIZE CONSTRUCTION NOISE - EXTREME NOISE CONSTRUCTION SHALL OCCUR AT NON-TYPICAL BUSINESS HOURS. CONTRACTOR SHALL NOTIFY BUILDING REPRESENTATIVE OF SPECIAL CIRCUMSTANCES IN ADVANCE PRIOR TO WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEP THE PROJECT AND SURROUNDING AREA FREE FROM DUST AND DEBRIS. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATION OF THE STATE DEPARTMENT OF HEALTH.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE BUILDING AND SITE WHILE JOBS IN PROGRESS AND UNTIL THE JOB IS COMPLETED.
7. NO HAZARDOUS MATERIALS SHALL BE USED OR STORED WITHIN THE BUILDING WHICH DOES NOT COMPLY WITH THE LOCAL FIRE AUTHORITY AND STATE & COUNTY REQUIREMENTS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR BLOCKING OFF SUPPLY AND RETURN AIR GRILLES, OFFUSERS & DUCTS TO KEEP DUST FROM ENTERING INTO BUILDING AIR DISTRIBUTION SYSTEM.
9. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE DONE SO IN ACCORDANCE WITH STATE & LOCAL CODES.

DEMOLITION NOTES

1. THE DEMOLITION PLAN KEYNOTES ARE DIAGRAMMATIC AND GENERAL IN NATURE. THE INTENT IS TO ILLUSTRATE THE COMPLETE DEMOLITION OF THE SPACES INDICATED UNLESS NOTED OTHERWISE. FIELD DIMENSIONS OF EXISTING UTILITIES ARE TO BE MAINTAINED TO THE MAXIMUM EXTENT POSSIBLE BY THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF THE BUILDING AND THE LOCATION OF THE DUMPSTERS WITH THE OWNER PRIOR TO THE START OF DEMOLITION. DISPOSAL OF RUBBISH SHALL BE DONE IN A LEGAL MANNER.
3. THE OWNER RESERVES THE RIGHT TO SALVAGE ANY DEMOLISHED ITEM. VERIFY ITEM TO BE SALVAGED IMMEDIATELY OF ANY DISCREPANCIES OR CONCERNS THAT MAY ARISE IN THE COURSE OF THE DEMOLITION WORK.
4. THE CONTRACTOR SHALL VERIFY AND CONFORM TO ALL REQUIREMENTS OF ALL UTILITY COMPANIES UNLESS OTHERWISE NOTED IN THE PLANS AND SPECIFICATIONS.
5. VERIFY LOCATIONS OF EXISTING MECHANICAL, PLUMBING AND ELECTRICAL UTILITIES. LOCATE AND PROTECT UTILITIES TO REMAIN. DISCONNECT, REMOVE BACK TO NEAREST JUNCTION BOX OR PANEL AS REQUIRED TO PREVENT PERSONAL INJURY OR DAMAGE TO REMAINING UTILITIES. REFER TO THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFO.
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH THE DEMOLITION WORK.
7. ALL EXISTING BUILDING UTILITIES SHALL REMAIN IN OPERATION DURING CONSTRUCTION. PROVIDE REPAIRING OF UTILITIES IN ADJACENT AREAS THAT ARE TO REMAIN UNINTERRUPTED SERVICE. ANY TEMPORARY SUSPENSION OF SERVICE SHALL BE COORDINATED AND APPROVED BY THE FACILITY MANAGER, NOT LESS THAN 24 HOURS IN ADVANCE.
8. THE CONTRACTOR WILL VERIFY AND CONFORM TO ALL REQUIREMENTS OF ALL UTILITY COMPANIES UNLESS OTHERWISE NOTED IN THE PLANS AND SPECIFICATIONS.
9. DEMOLITION OF EXISTING BUILDING SHALL BE DONE IN A MANNER THAT DOES NOT DAMAGE REMAINING OR ELECTRICAL IT WILL BE NECESSARY FOR THE CONTRACTOR AND HIS SUBCONTRACTORS TO REMOVE AND REPLACE OR REPAIR EXISTING WALLS, FLOORS, OR CEILING IN THE AREAS OF THE BUILDING NOT SHOWN IN THESE PLANS. THE CONTRACTOR SHALL INCLUDE ALL RELATED COSTS IN HIS BASE BID, WHETHER SHOWN ON THESE PLANS OR NOT.
10. PRIOR TO STARTING DEMOLITION WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH THE DEMOLITION WORK. PROVIDE REPAIRING OF UTILITIES IN ADJACENT AREAS THAT ARE TO REMAIN UNINTERRUPTED SERVICE. ANY TEMPORARY SUSPENSION OF SERVICE SHALL BE COORDINATED AND APPROVED BY THE FACILITY MANAGER, NOT LESS THAN 24 HOURS IN ADVANCE.
11. EXISTING ELECTRICAL AND TELEPHONE OUTLETS LOCATED ON DEMOLISHED WALLS ARE TO BE REMOVED INCLUDING CONDUIT AND BACK TO JUNCTION BOX. LOCATIONS ARE TO BE PATCHED AND REPAIRED TO BE FLUSH WITH ADJACENT WALL SURFACE.
12. WHERE EXISTING UTILITIES ARE BEING REMOVED OR WHERE EXPOSED PLUMBING PIPES OCCUR, CAP LINES BEHIND FINISHED SURFACES. PATCH AND REPAIR AS REQUIRED.
13. ALL EXISTING CONSTRUCTION WHERE INDICATED INCLUDING ELECTRICAL, TELEPHONE, PLUMBING AND MECHANICAL, DEVICES NOT OTHERWISE INDICATED IN THESE CONSTRUCTION DRAWINGS SHALL BE REMOVED IN A CAREFUL MANNER SO AS NOT TO DAMAGE ADJOINING CONSTRUCTION.
14. NO STRUCTURAL ELEMENTS ARE TO BE REMOVED IN THE COURSE OF WORK, UNLESS NOTED OTHERWISE. PROVIDE DUST BARRIERS AROUND OPENINGS, TO AND FROM THE CONSTRUCTION AREA. PROVIDE ALL MEANS NECESSARY TO INHIBIT DUST FROM ENTERING OTHER PORTIONS OF THE FACILITY. SUBMIT BARRIER LOCATIONS TO THE BUILDING OWNER/MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
15. PROVIDE ADEQUATE SHORING, BRACING, BARRICADES AND PROTECTIVE MEASURES AS REQUIRED TO SAFELY EXECUTE THE WORK IN THE CONSTRUCTION AREA AND THE AREAS ADJACENT TO THE CONSTRUCTION AREA. CEASE OPERATIONS AND NOTIFY THE BUILDING OWNER/MANAGER IMMEDIATELY IF THE STRUCTURE APPEARS TO BE ENDANGERED. DO NOT RESUME OPERATIONS UNTIL CORRECTIVE MEASURES HAVE BEEN TAKEN.
16. CONTRACTOR SHALL MAINTAIN REQUIRED MEANS OF EGRESS AND ENSURE THAT EXIT ROUTES ARE SIGNED, LIGHTED AND PROTECTED IN ACCORDANCE WITH CODE REQUIREMENTS. RELOCATE EXISTING AND/OR PROVIDE SMOKE PROTECTORS AND LIFE SAFETY EQUIPMENT FOR ADEQUATE COVERAGE.
17. PROVIDE TEMPORARY NON-COMBUSTIBLE CONSTRUCTION BARRIERS WHERE REQUIRED BY CODE AND THE GOVERNING FIRE AUTHORITY. MINIMUM REQUIREMENTS:
 - a. FULL HEIGHT WALL FROM FLOOR TO CEILING
 - b. STUDS AT 24" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD
18. SURVEY EXISTING FLOORS AND CEILING. MARK ON FLOOR SURFACE THE LOCATION OF ALL BEAMS AND JOISTS. MARK ALL CORE DRILL PENETRATIONS AND RECEIVE STRUCTURAL ENGINEER'S APPROVAL PRIOR TO DRILLING CONCRETE.
19. CUT RUED MATERIALS USING MASONRY SAW OR CORE DRILL. PNEUMATIC TOOLS ARE NOT ALLOWED WITHOUT PRIOR APPROVAL.
20. ALL CORE DRILLING OR OTHER NOISEY WORK SHALL BE SCHEDULED 4-8 HOURS IN ADVANCE WITH THE OWNER.
21. APPLY CEMENT BASE FLOOR PATCH AS REQUIRED TO FILL DINGS, NAIL HOLES, CHIPS AND CRACKS.
22. AT FLOOR AREAS SCHEDULED TO RECEIVE NEW FLOOR COVERING, REMOVE EXISTING FLOOR COVERING AND PREPARE SUBSTRATE FOR NEW FLOOR COVERING PER SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS. ARCHITECT ASSUMES NO RESPONSIBILITY RELATING TO ANY TOXIC MATERIALS, INCLUDING ASBESTOS, AND ASSUMES NO RESPONSIBILITY TO ITS EXISTENCE OR REMOVAL. THE OWNER WILL TAKE ACTION FOR DIRECTLY CONTACTING WITH A CONSULTANT OR SPECIALIST LICENSED BY THE STATE, FOR SUCH SERVICES SHOULD THOSE SERVICES BE REQUIRED ON THE PROJECT.
24. IF THE EXISTING BUILDING CONSTRUCTION IS CLASSIFIED AS HIGHLY FIRE-RESISTING INSULATION IS PRESENT, THEN THE CONTRACTOR, PRIOR TO STARTING ANY WORK, SHALL VERIFY THE CURRENT FIRE RESISTANCE (R-VALUE) OF THE EXISTING INSULATION ELEMENTS. IF THE EXISTING PREPREFAB INSULATION IS DAMAGED/AFFECTED DURING THE COURSE OF THE WORK, AS DEFINED BY THIS PROJECT SCOPE, THEN THE CONTRACTOR SHALL PATCH/REPAIR THE FIREPROOFING INSULATION TO A CONDITION THAT MATCHES OR EXCEEDS THE ORIGINAL FIRE RESISTANCE RATING(S) OF THE EXISTING BUILDING ELEMENTS.
25. IF ABRASION/ PENETRATION OF FIRE RATED WALLS, CEILING OR FLOOR CONSTRUCTION, COMPLETELY SEAL JOINTS WITH FIRE RATED MATERIAL TO FULL THICKNESS OF THE PENETRATED ELEMENT. ALL PATCHING OF EXISTING WORK TO REPAIR NAIL MATCH FINISH PER SCHEDULE OR WHERE UNDESIRABLE TO MATCH EXISTING FINISHES TO REMAIN, AND SHALL MEET OR EXCEED PRE RATING INDICATED ON FLOOR PLAN AND AS REQUIRED BY THE FIRELEAF FIRE PROTECTOR.
26. COORDINATE EXISTING SPRINKLER AND HEAD LOCATION WITH NEW PLAN. SUBMIT SPRINKLER SHOP DRAWINGS TO ARCHITECT FOR REVIEW WITH THE CITY FIRE DEPARTMENT.
27. CONTRACTOR IS RESPONSIBLE FOR BARRIERS DURING DEMOLITION PHASE. PROTECT ALL OPENINGS FROM WEATHER CONDITIONS AND SECURE THEM TO PREVENT VANDALISM.
28. DO NOT PERFORM ANY WORK THAT WILL VOID WARRANTIES OF EXISTING WEATHER EXPOSED OR MOISTURE RESISTANT ELEMENTS WITHOUT PRIOR APPROVAL FROM THE OWNER.
29. CONTRACTOR TO RELOCATE AND REUSE EXISTING DOORS AND HARDWARE WHERE POSSIBLE.
30. EXISTING DOORS TO REMAIN I.D.N.

PARTITION NOTES

1. CONTRACTOR AND OWNER/MANAGER TO REVIEW A REVIEW A REVIEW CHALK LINES OF PARTITION LAYOUT PRIOR TO COMMENCEMENT OF PARTITION CONSTRUCTION.
2. CONTRACTOR TO VERIFY PARTITION LAYOUT WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
3. DOOR OPENINGS IN PARTITIONS NOT DIMENSIONED ARE TO BE LOCATED WITHIN 4" OF ADJACENT PERPENDICULAR PARTITION.
4. CONTRACTOR SHALL USE 5/8" METAL STUDS MINIMUM AT ALL PLUMBING WALLS. CONTRACTOR TO VERIFY ACTUAL DEPTH REQUIRED. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER/MANAGER AND OWNER CAPTAIN.
5. USE WATER RESISTANT GYPSUM BOARD/FIBER BOARD AT ALL AREAS SUBJECT TO MOISTURE OR WHERE TILT IS USED.
6. UNLESS OTHERWISE NOTED, ALL GYPSUM BOARD SURFACES, WALLS, AND CEILING SHALL BE TAPED, SANDED SMOOTH TO A LEVEL 4 FINISH, SO AS TO RECEIVE PAINT OR WALL COVERING MATERIAL.
7. CONTRACTOR TO MAINTAIN FLOOR JOINTS FOR CAULKED COULTERS AND IN-WALL SUPPORT BRACKETS PRIOR TO GYPSUM BOARD FINISHING OF WALLS. ALL FINAL INSTALLATION HEIGHTS FOR IN-WALL SUPPORT BRACKETS MUST MEET ALL ACCESSIBILITY CODES REQUIREMENTS WITHIN CONTRACTOR MATERIAL THICKNESS INCLUDED.
8. PROVIDE AND INSTALL ALL NECESSARY WALL, BACKING, STIFFENERS, BRACING, BACKING WALL PLATES AND/OR SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF WALL MOUNTED OR SUSPENDED EQUIPMENT OR BUILT IN ITEMS. VERIFY REQUIREMENTS WITH MANUFACTURERS PRIOR TO INSTALLATION. SUPPLY CATALOG CUT SHEETS FOR OWNER/MANAGER'S APPROVAL.
9. PROVIDE AND INSTALL ALL NECESSARY ELECTRICAL CONNECTIONS AND PLUMBING SUPPLY, FITTINGS & CONNECTORS TO COMPLETE INSTALLATION OF APPLIANCES & EQUIPMENT INDICATED ON PLAN. VERIFY REQUIREMENTS WITH MANUFACTURERS PRIOR TO INSTALLATION. SUPPLY CATALOG CUT SHEETS FOR OWNER/MANAGER'S APPROVAL.
10. EXACT LOCATION OF FIRE EXTINGUISHER & CABINETS TO BE CONFORMED WITH OWNER/MANAGER BEFORE INSTALLATION. PROVIDE ADDITIONAL FIRE EXTINGUISHERS & CABINETS AS REQUIRED BY THE FIRE DEPARTMENT FIELD INSPECTORS.
11. ALL EXITS SHALL HAVE EXIT SIGNS AND ALL BLIND CORRIDOR TURNS SHALL HAVE DIRECTIONAL EXIT SIGNS.
12. PREPARE ALL FLOOR SURFACES AS REQUIRED TO RECEIVE FINISHES AS NOTED ON FINISH PLAN, ENLARGED FINISH PLANS & FINISH LEGEND.
13. PROVIDE SOUND INSULATION AT PERIMETER WALLS OF RESTROOMS, LOBBY, STAIRS, AND ACROSS CEILING OF RESTROOMS TO CREATE AN ACUSTIC ENVELOPE.
14. PATCH AND FILL VARIOUS OPENINGS AT EXISTING GYPSUM BOARD PARTITIONS AND DOWNTS FOLLOWING WITH JOINT COMPOUND. APPLY NEW FINISH TO MATCH EXISTING FINISH AT ADJACENT GYPSUM BOARD SURFACES AND REPAIR NEW FINISH WITH EXISTING FINISH TO PROVIDE CONSISTENT & CONTINUOUS FINISH.
15. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH LOCAL AND NATIONAL CODES.
16. ALL HOT WATER LINES SHALL BE PROPERLY INSULATED.
17. ALL PLUMBING CLEAN OUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. CONTRACTOR SHALL COORDINATE ALL CLEAN OUT LOCATIONS WITH EQUIPMENT, AND CABINETS. SUBMIT A PLAN OF ALL PROPOSED LOCATIONS TO OWNER/MANAGER FOR APPROVAL PRIOR TO INSTALLATION.

GLAZING NOTES

1. ALL GLASS SHALL COMPLY WITH THE REQUIREMENTS OF STATE AND LOCAL CODES AND THE U.S. PRODUCT SAFETY COMMISSION'S SAFETY STANDARDS FOR STRUCTURAL GLAZING MATERIALS.
2. GLASS SHALL BE FINELY SUPPORTED ON ALL FOUR EDGES.
3. FIELD MEASURE ALL OPENINGS PRIOR TO FABRICATION.
4. ALL GLAZING WITHIN 36" ARC OF EITHER EDGE OF A DOOR AND WITHIN 60" OF THE FLOOR SHALL BE TEMPERED (SAFETY GLASS).
5. EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF THE GLASS.
6. WHERE ZONTS ARE REQUIRED IN MULTIPLE LIFE SITUATIONS, SUCH IS TO BE PROVIDED U.D.N.

FIRE AUTHORITY NOTES

1. FINAL INSPECTION BY FIRE DEPARTMENT IS REQUIRED - SCHEDULE TO HOURS IN ADVANCE.
2. FIRE PREVENTION WATER SERVICE SHALL BE IN SERVICE PRIOR TO DELIVERY OF COMBUSTIBLE BUILDING MATERIALS TO THE SITE.
3. FIRE SPRINKLER SYSTEMS SHALL MEET STATE & LOCAL FIRE CODES AND BE PROVIDED TO PROTECT ENTIRE BUILDING.
4. FIRE SPRINKLER SYSTEMS AND ALL CONTROL VALVES, INCLUDING EXTERIOR SHALL BE SUPERVISED BY A ULL LISTED CENTRAL ALARM STATION OR PER STATE & LOCAL FIRE CODES.
5. ELECTRICAL SUBCONTRACTORS TO INSTALL WIRING FOR FIRE SPRINKLER, ALARM BELL AND TELEPHONE WARNING AS REQUIRED BY FIRE DEPARTMENT.
6. INSTALLATION OF FIRE ALARM SYSTEMS SHALL BE IN ACCORDANCE WITH STATE & LOCAL FIRE CODES.
7. COMPLETE PLANS AND SPECIFICATIONS FOR ALL FIXED FIRE PROTECTION EQUIPMENT INCLUDING AUTOMATIC SPRINKLERS AND OTHER FIRE PROTECTION SYSTEMS, SHALL BE SUBMITTED BY INSTALLING CONTRACTOR. SUCH PLANS SHALL BE APPROVED BY LOCAL FIRE AUTHORITY PRIOR TO INSTALLATION.
8. LOCATIONS AND CLASSIFICATIONS OF FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH STATE & LOCAL FIRE CODES. THE STORAGE AND USE OF HAZARDOUS MATERIALS SHALL BE APPROVED BY THE FIRE AUTHORITY. EXACT LOCATION FROM FIRE DEPARTMENT PRIOR TO INSTALLATION.
9. AT LEAST ONE (1) FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A, 10-B-C (FOR OFFICE), OR 10-A-B-C (FOR WAREHOUSES) SHALL BE PROVIDED WITHIN 75' MAXIMUM TRAVEL DISTANCE FOR EACH 3,000 SQUARE FEET OR PORTION THEREOF OF EACH FLOOR.
10. STORAGE, DISPENSING OR USE OF ANY FLAMMABLE AND COMBUSTIBLE LIQUIDS, FLAMMABLE AND COMPRESSED GASES, AND OTHER HAZARDOUS MATERIALS SHALL COMPLY WITH STATE & LOCAL FIRE CODES. THE STORAGE AND USE OF HAZARDOUS MATERIALS SHALL BE APPROVED BY THE FIRE AUTHORITY PRIOR TO ANY MATERIALS BEING STORED OR USED ON SITE. A SEPARATE PLAN SUBMITTAL IS REQUIRED PRIOR TO THE STORAGE AND USE OF HAZARDOUS MATERIALS.
12. A LETTER OF INTENDED USE MAY BE REQUIRED BY THE FIRE INSPECTOR.
13. ALL REQUIRED FIRE DOORS SHALL BEAR A LABEL FROM A RECOGNIZED AGENCY SHOWING THE SPECIFIC RATING.
14. EXIT SIGNS AND ILLUMINATION SHALL CONFORM TO ALL APPLICABLE BUILDING AND FIRE CODES.
15. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
16. PROVIDE OR NOTIFY AS NEEDED SPRINKLER ALARM AND SMOKE DETECTION SYSTEM PER APPLICABLE CODES INCLUDING, IF NECESSARY, FIRE PULL, STROBE LIGHTS, CONTROL, PANEL, CONNECTIONS, SMOKE DETECTORS, AUDIO VISUAL ALARMS. SUBMIT SHOP DRAWINGS TO THE FIRE MARSHAL FOR APPROVAL.

PROJECT:
18073



106 S. RIVERSIDE
EXTERIOR IMPROVEMENTS

BATHR
BATHR ARCHITECTURE, LTD.
1121 E. MAIN, SUITE 220 ST. CHARLES, IL 60174
TEL: 630.555.5555
WWW.BATHRARCH.COM

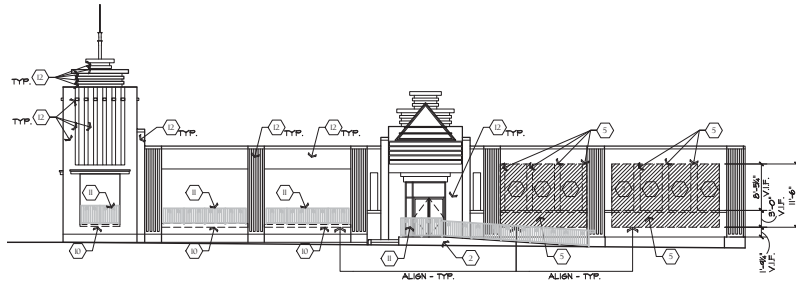
GENERAL NOTES

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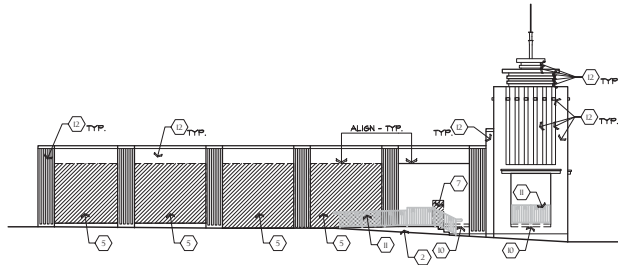
SCALE
1/4" = 1'-0"

A002

NOTE:
NOT ALL NOTES ON THIS SHEET MAY APPLY TO THIS PROJECT
PER SCOPE OF WORK, CONTRACTOR TO VERIFY SCOPE AND
ADHERE TO ALL NOTES THAT APPLY ACCORDINGLY



1 WEST DEMOLITION ELEVATION
SCALE: 3/32" = 1'-0"



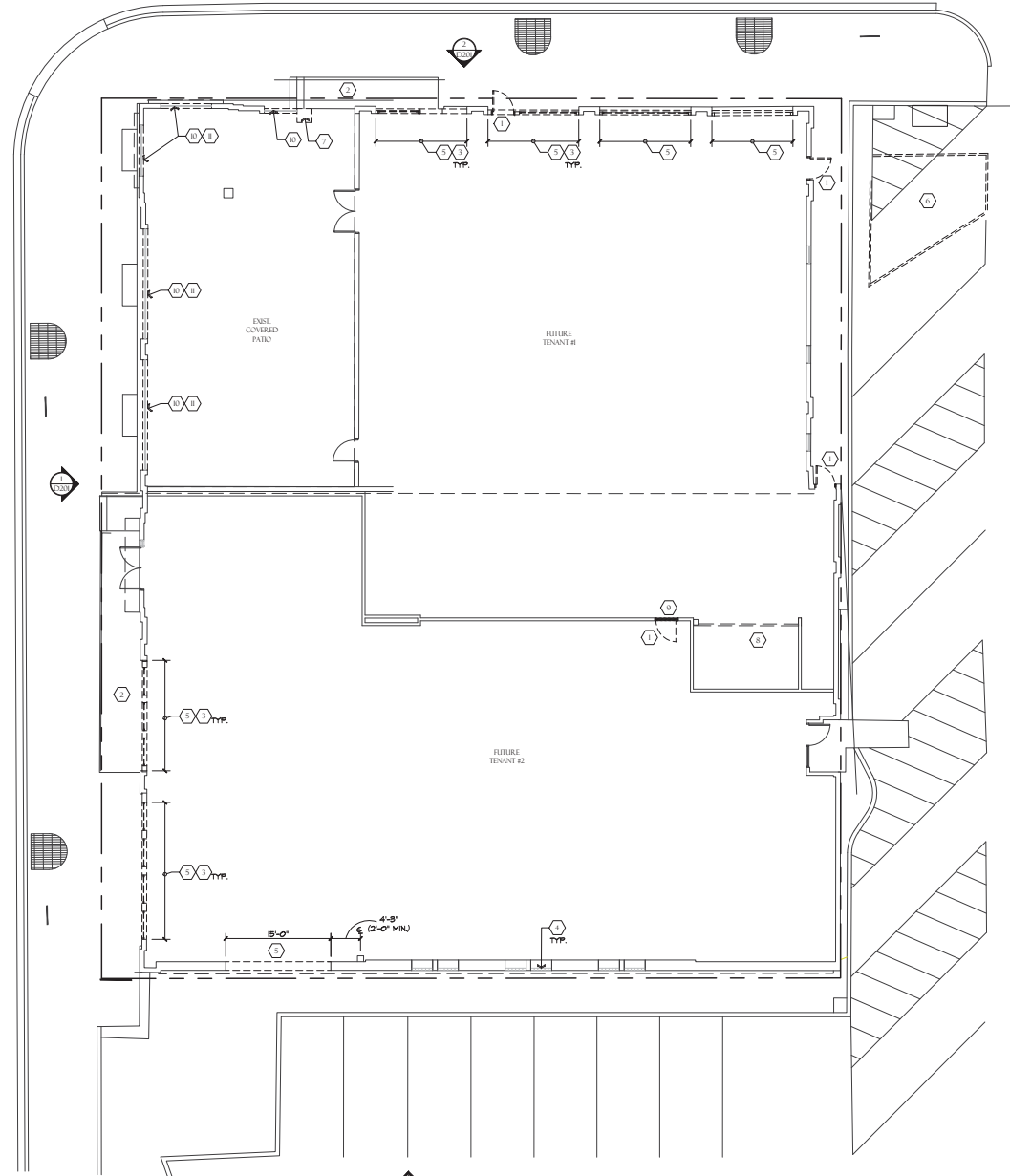
2 NORTH DEMOLITION ELEVATION
SCALE: 3/32" = 1'-0"

DEMOLITION LEGEND

- EXISTING TO REMAIN
- - - EXISTING TO BE REMOVED

DEMOLITION KEY NOTES

- 1 REMOVE/DISCARD EXISTING DOOR & FRAME. SAVE DOOR HARDWARE AND RETURN TO LANDLORD.
- 2 PATCH AND REPAIR CONCRETE AS NECESSARY.
- 3 REMOVE EXISTING WINDOWS. COORDINATE WITH LANDLORD FOR STORAGE OR DISPOSAL.
- 4 EXISTING GLASS BLOCK WINDOWS TO REMAIN.
- 5 REMOVE PORTION OF EXISTING EXTERIOR WALL FOR NEW OVERHEAD DOOR OPENING OR STOREFRONT SYSTEM. SHORE AS REQ'D.
- 6 EXISTING WOOD FENCE ENCLOSURE TO BE REMOVED.
- 7 EXISTING BRICK PIER TO BE REMOVED FOR INSTALLATION OF NEW STOREFRONT SYSTEM.
- 8 REMOVE COOLERS. COORDINATE WITH LANDLORD FOR STORAGE OR DISPOSAL.
- 9 PREPARE FOR WALL INFILL.
- 10 REMOVE EXIST. CONCRETE & LIMESTONE SILLS. REPLACE WITH LIMESTONE SILLS TO MATCH EXISTING.
- 11 CLEAN AND PREPARE EXIST. RAILINGS FOR PAINT.
- 12 CLEAN, REPAIR AND PREPARE EXIST. BRICK FOR PAINT. SEE SHEET A301 FOR PAINT COLORS.



DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

PROJECT:
18073



106 S. RIVERSIDE
EXTERIOR IMPROVEMENTS
106 S. RIVERSIDE AVE., ST. CHARLES, IL 60174

BATIR
BATIR ARCHITECTURE LTD.
1121 E. MAIN ST. SUITE 220 ST. CHARLES, IL 60174
PH: 618.335.5555
WWW.BATIRARCH.COM

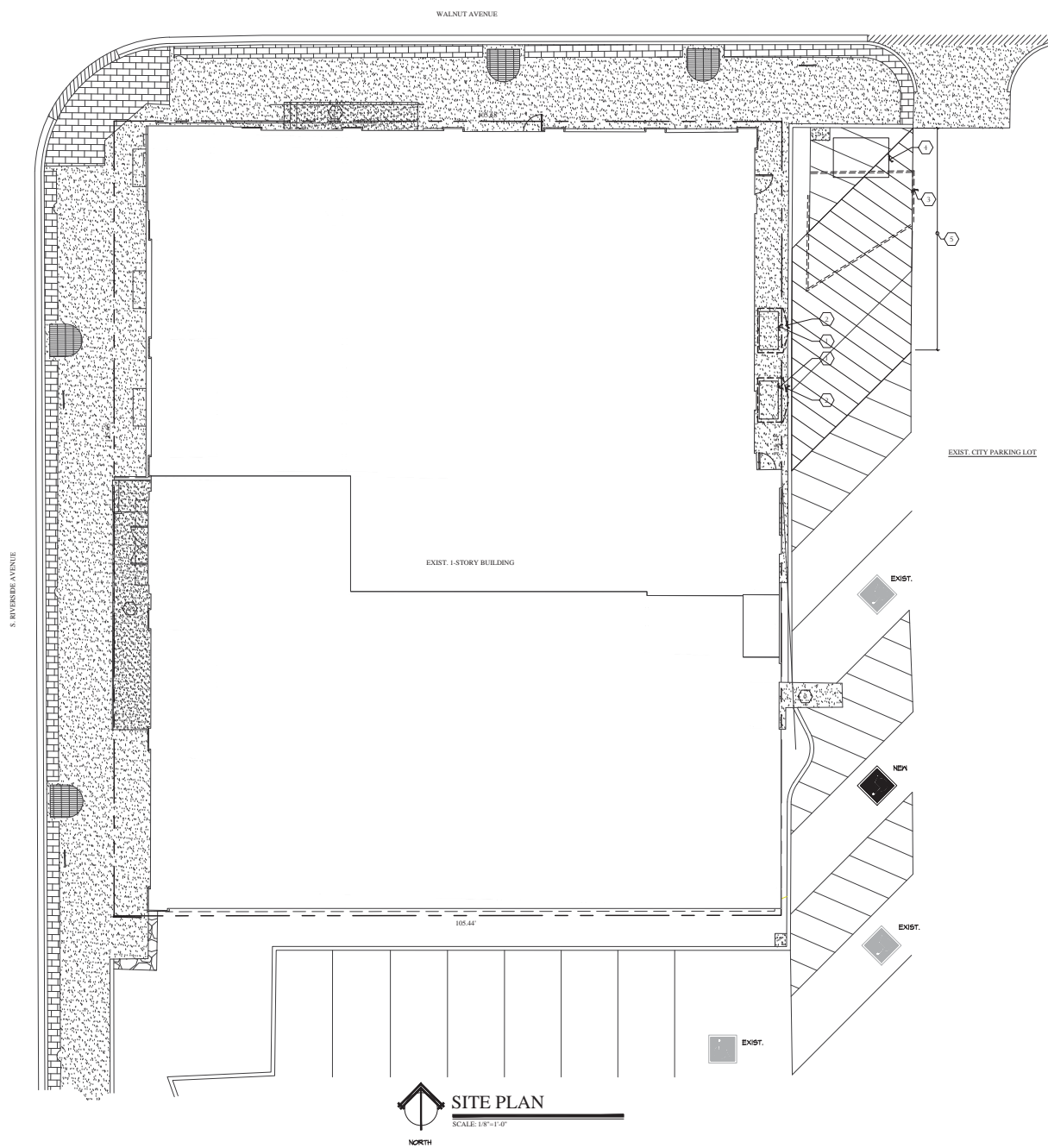
**DEMOLITION PLAN &
ELEVATIONS**

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SCALE
1/4" = 1'-0"
UNLESS NOTED OTHERWISE

D201



SITE PLAN
SCALE: 1/8" = 1'-0"

- SITE PLAN KEY NOTES**
- ① NEW TRASH CONTAINERS BY TENANT
 - ② NEW FENCE TRASH ENCLOSURE. VERIFY SIZE OF TRASH CONTAINERS.
 - ③ REMOVE EXISTING TRASH ENCLOSURE
 - ④ NEW ELECTRICAL TRANSFORMER
 - ⑤ PROVIDE NEW PAINTED STRIPING AT PARKING LOCATION FOR ACCESS TO NEW TRASH ENCLOSURES
 - ⑥ EXISTING RAMP TO REMAIN

PROJECT:
18073



**106 S. RIVERSIDE
EXTERIOR IMPROVEMENTS**
106 S. RIVERSIDE AVE., ST. CHARLES, IL 60174

BATIR
BATIR ARCHITECTURE, LTD.
1121 E. MAIN ST. SUITE 220 ST. CHARLES, IL 60174
PH: 618.355.5575
WWW.BATIRARCH.COM

SITE PLAN

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SCALE
1/4" = 1'-0"
LARGE SCALE DRAWING

A101

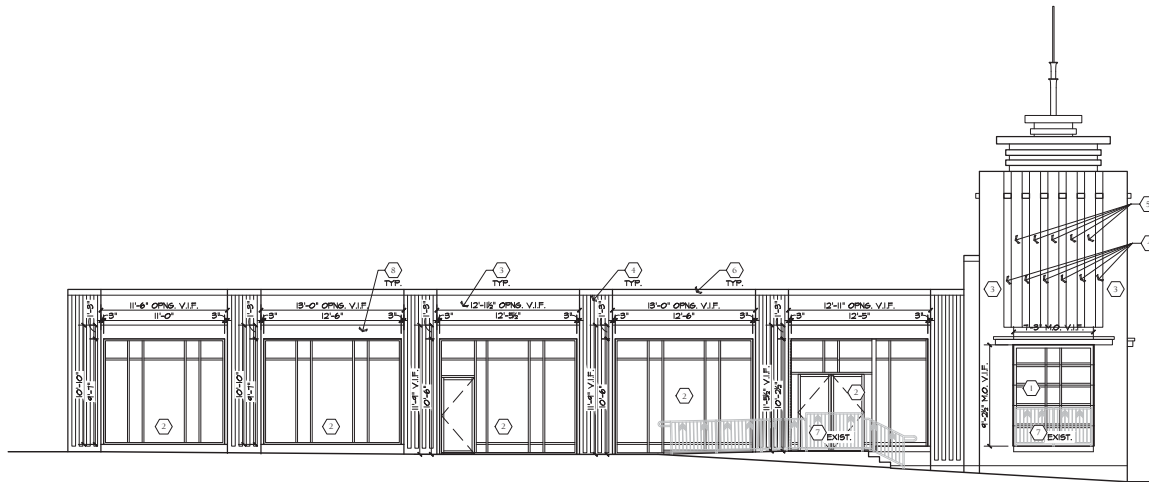
A201



1 WEST EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"

ELEVATION KEY NOTES

- 1 PROVIDE AND INSTALL NEW OVERHEAD DOOR AT THIS LOCATION TO MATCH NEW STOREFRONT WINDOWS. REFER TO SHEET A401 FOR DETAILS.
- 2 PROVIDE AND INSTALL NEW STOREFRONT FRAMES AND GLAZING AT THIS LOCATION. REFER TO SHEET A402 FOR DETAILS.
- 3 PAINT BRICK. COLOR: BENJAMIN MOORE - BRIARWOOD HC-15 OR OWNER APPROVED SIMILAR.
- 4 PAINT OR WRAP BRICK WITH FAC-GLAD REVEAL PANELS OR SIMILAR. COLOR TO MATCH EXIST. COPPER ACCENTS. SEE S401 FOR DETAIL. V.I.F.
- 5 PAINT BRICK. COLOR: BENJAMIN MOORE - BLACK HC-160 OR OWNER APPROVED SIMILAR.
- 6 PROVIDE NEW PRE-PANED ALUMINUM COPING. COLOR TO MATCH BENJAMIN MOORE - BLACK HC-160.
- 7 PAINT RAILINGS. COLOR TO MATCH EXIST. COPPER ACCENTS - V.I.F.
- 8 BREAK METAL. PAINT TO MATCH STOREFRONT & OVERHEAD DOORS.
- 9 PROVIDE & INSTALL NEW OVERHEAD DOOR OR STOREFRONT FRAMING SYSTEM AND GLAZING TO MATCH REST OF BUILDING. TBD BY FUTURE TENANT.



2 NORTH EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT:
18073



106 S. RIVERSIDE
EXTERIOR IMPROVEMENTS
106 S. RIVERSIDE AVE., ST. CHARLES, IL 60174

BATR
BATR ARCHITECTURE, LLC
1121 E. MAIN ST. SUITE 220 ST. CHARLES, IL 60174
PH: 618.335.5555
WWW.BATRARCH.COM

EXTERIOR ELEVATIONS

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SCALE
1/4" = 1'-0"
UNLESS NOTED OTHERWISE

A301

DOOR SCHEDULE, TYPES & HARDWARE

DOOR SCHEDULE										
MARK	SIZE	LOCATION	DOOR				FRAME			
			TYPE	WWT	FINISH	LABEL	TYPE	WWT	FINISH	LABEL
A	3'-0" x 7'-0" x 1/4"	PAGE RM.	DI	HM	PNT	--	FI	HM	PNT	--
B	3'-0" x 7'-0" x 1/4"	FUTURE TENANT #1	DI	HM	PNT	--	FI	HM	PNT	--
C	3'-0" x 7'-0" x 1/4"	FUTURE TENANT #1	DI	HM	PNT	--	FI	HM	PNT	--
D	3'-0" x 7'-0" x 1/4"	FUTURE TENANT #1	D2	AL/SL	PC	--	--	--	--	--
E	6'-0" x 7'-0" x 1/4"	FUTURE TENANT #1	DB	AL/SL	PC	--	--	--	--	--

HARDWARE SETS

HS-1, SINGLE EXTERIOR HOLLOW METAL	
1 EA. HINGE	88BHN 4.5X4.5 NIP - IVES
1 EA. PANIC HARDWARE	41L 186 QT - VON DUPIN
1 EA. RM CYLINDER	20-022 SCHLAGE
1 EA. SURFACE CLOSER	SC71-99 DORMA
1 EA. KICK PLATE	8400 10"X2" LDN - IVES
1 EA. DOOR SWEEP	100VA - NATIONAL GUARD PRODUCTS
1 EA. THRESHOLD	425 - VON DUPIN
1 SET SEALS	SC50C - NATIONAL GUARD PRODUCTS
1 EA. DRIFT CAP	ISA - NATIONAL GUARD PRODUCTS

HS-2, SINGLE STOREFRONT (LOCKING)

1 SET PIVOT SET	BY DOOR MFR.
2 EA. PIVOT	BY DOOR MFR.
1 EA. LOCK	BY DOOR MFR.
1 EA. DOOR ROLL	KAMNEER CO-2
1 EA. RM EXIT DEVICE	FALCON 2040
1 EA. CLOSER	NORTON 801
1 EA. OVERHEAD STOP	BY DOOR MFR.
1 EA. DOOR SWEEP	BY DOOR MFR.
1 EA. THRESHOLD	BY DOOR MFR.
1 SET SEALS	BY DOOR MFR.

HS-3, DOUBLE STOREFRONT (LOCKING)

2 SET PIVOT SET	BY DOOR MFR.
4 EA. PIVOT	BY DOOR MFR.
2 EA. LOCK	BY DOOR MFR.
2 EA. DOOR ROLL	KAMNEER CO-2
2 EA. RM EXIT DEVICE	FALCON 2040
2 EA. CLOSER	NORTON 801
2 EA. OVERHEAD STOP	BY DOOR MFR.
2 EA. DOOR SWEEP	BY DOOR MFR.
2 EA. THRESHOLD	BY DOOR MFR.
2 SET SEALS	BY DOOR MFR.

DOOR AND FRAME ABBREVIATION KEY

PNT = PAINT
HM = HOLLOW METAL
AL/SL = ALUMINUM/GLASS
PC = POWDER COATED
6 STL = GALVANIZED STEEL

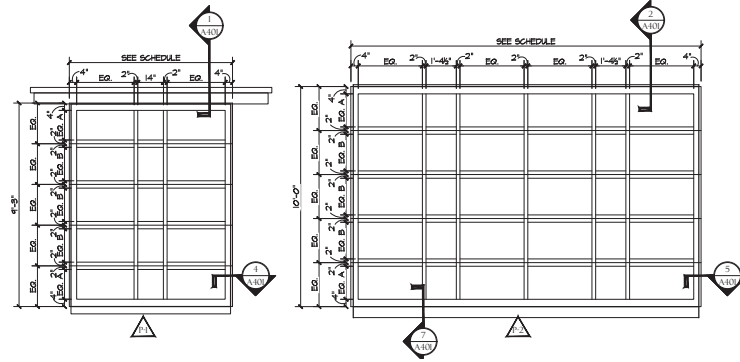
GENERAL NOTE

DOOR HARDWARE SHALL BE CAPABLE OF OPERATION WITH THE USE OF ONE (1) HAND AND SHALL NOT REQUIRE TIGHT FINCHING, TIGHT GRASPING OR TWISTING OF THE FIST TO OPERATE. THUMB TURN, DEADBOLT AND PROHIBITED LEVER OR PADDLE DEADBOLT RELEASES ARE ACCEPTABLE. DOOR THRESHOLD SHALL NOT EXCEED ONE-HALF (1/2) IN HEIGHT. THRESHOLDS EXCEEDING ONE-QUARTER (1/4) IN HEIGHT SHALL HAVE A 1/2 BEVEL. DOOR CLOSERS SHALL MEET OPENING FORCE AND SWEEP PERIOD REQUIREMENTS. INTERIOR HINGED DOORS SHALL HAVE A 5 LB FORCE FOR PUSHING OR PULLING OPEN.

DOOR AND FRAME NOTES

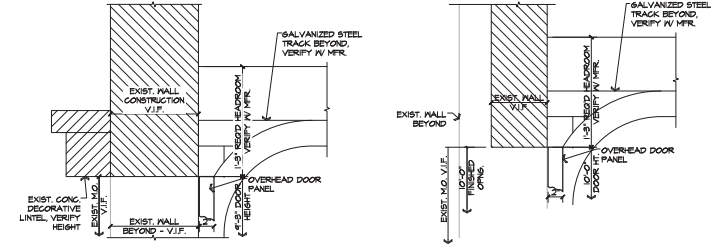
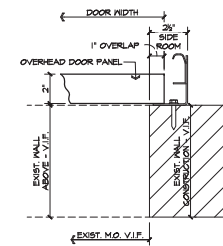
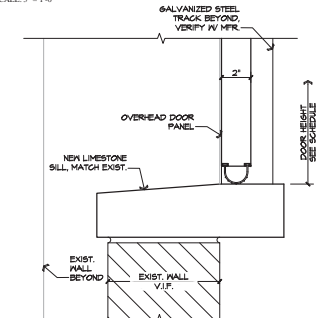
- PROVIDE ALL H.M. DOORS WITH (1) COAT PRIMER & (2) COATS PAINT.
- ALL DOORS AND FRAMES TO BE REIN. & PREPARED FOR HARDWARE.
- ALL EXTERIOR DOORS SHALL BE PROVIDED WITH WEATHER STRIPPING.
- ALL DOOR THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT.
- ALL DOORS SHALL MEET A.D.A. REQUIREMENTS.
- ALL H.M. DOORS SHALL BE 16 GA. (MIN)
- ALL WELDED FRAMES SHALL BE 16 GA. (MIN)
- ALL SIGNAGE TO BE MOUNTED AT A.D.A. HEIGHT.
- PROVIDE CALKING AT ALL DOOR FRAMES, WINDOWS AND WHERE NOTED ON PLANS.
- PROVIDE LEVER TYPE HANDLES ON ALL DOORS.
- HARDWARE SCHEDULE TO BE SUPPLIED BY HARDWARE SUPPLIER FOR A/E REVIEW.
- VERIFY ALL HARDWARE, KEYING, FINISHES WITH OWNER BEFORE ORDERING.
- H.M. DOOR & FRAME MANUFACTURER TO BE "CURRIES", "STILE CRAFT" OR EQUAL.
- EXTERIOR H.M. DOORS AND FRAMES TO BE INSULATED.
- PROVIDE DOOR JAMB SILENCERS TYPICAL ALL METAL DOOR FRAMES.
- VERIFY DOOR UNDERCUT & GRILLE REQUIREMENTS WITH H.V.A.C. REQUIREMENTS BEFORE ORDERING.
- KOURED HARDWARE IS TO BE PROVIDED ON THE DOORS INTO HAZARDOUS ROOMS, MECHANICAL ROOM, ELECTRICAL ROOM & ELEVATOR EQUIPMENT ROOM.
- DOOR CLOSERS SHALL MEET OPENING FORCE AND SWEEP PERIOD REQUIREMENTS.
- ALL MEANS OF EGRESS DOORS TO BE KEYLESS IN THE DIRECTION OF EGRESS AND OPERATE WITHOUT THE USE OF ANY SPECIAL KNOWLEDGE OR TOOLS.

OVERHEAD PANEL TYPES



OVERHEAD DOOR SCHEDULE, TYPES & DETAILS

OVERHEAD DOOR SCHEDULE										
MARK	SIZE	LOCATION	PANEL	TRACK	DETAIL #/A/B	MSC.				
			TYPE	WWT	FINISH	LABEL	WWT	FINISH	LABEL	
OH-A	7'-0" x 7'-0" x 2"	FUTURE TENANT #1	P-1	AL/SL	PC	--	6 STL	6 GA	--	1 4 1
OH-B	7'-0" x 7'-0" x 2"	FUTURE TENANT #1	P-1	AL/SL	PC	--	6 STL	6 GA	--	1 4 1
OH-C	8'-10" x 10'-0" x 2"	FUTURE TENANT #1	P-2	AL/SL	PC	--	6 STL	6 GA	--	2 5 1
OH-D	8'-10" x 10'-0" x 2"	FUTURE TENANT #1	P-2	AL/SL	PC	--	6 STL	6 GA	--	2 5 1

① O.H. DOOR HEAD DETAIL
SCALE: 1/4" = 1'-0"② O.H. DOOR HEAD DETAIL
SCALE: 1/4" = 1'-0"③ OMIT
SCALE: N/A④ O.H. DOOR JAMB DETAIL
SCALE: 3/4" = 1'-0"⑤ O.H. DOOR JAMB DETAIL
SCALE: 3/4" = 1'-0"⑥ O.H. DOOR SILL DETAIL
SCALE: 3/4" = 1'-0"⑦ OMIT
SCALE: N/APROJECT:
18073

106 S. RIVERSIDE
EXTERIOR IMPROVEMENTS

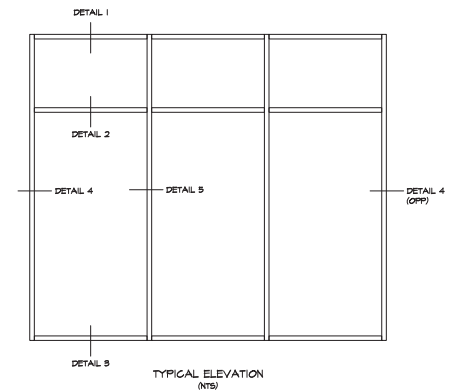
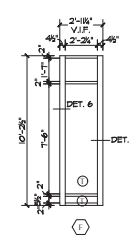
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BATIR ARCHITECTURE LTD.
1121 E. MAIN ST. SUITE 220 ST. CHARLES, IL 60174
PH: 630.555.5595
WWW.BATIRARCH.COM

DOOR &
OVERHEAD DOOR
SCHEDULES

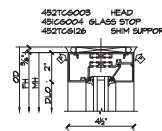
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01-22-18
ISSUED FOR PERMIT

SCALE
1/4" = 1'-0"
(UNLESS NOTED OTHERWISE)

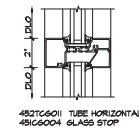
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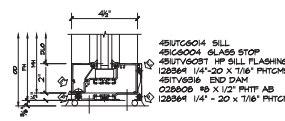
SCALE: 1/4"=1'-0"

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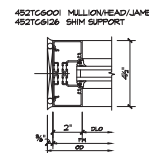
TYP. STOREFRONT
HEAD DETAIL
1
SCALE: 3"=1'-0"



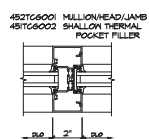
2 TYP. STOREFRONT HORIZ.
CENTER MULLION DETAIL
SCALE: 3"=1'-0"



TYP. STOREFRONT
SILL DETAIL



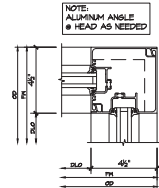
4 TYP. STOREFRONT JAMB DETAIL
SCALE: 3"=1'-0"



5

TYP. STOREFRONT VERT.
CENTER MULLION DETAIL

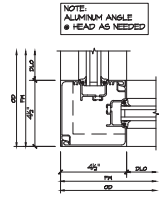
SCALE: 3"=1'-0"



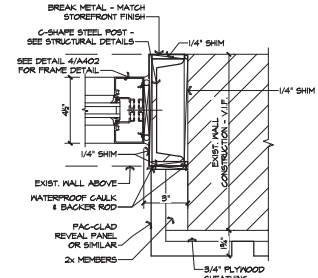
6

TYP. INSIDE CORNER
POST DETAIL

SCALE: 3"=1'-0"



7 TYP. OUTSIDE CORNER
POST DETAIL
SCALE: 3"=1'-0"



TYP. STRUCTURAL POST
DETAIL @ STOREFRONT JAMB



PROJECT:
18 BAT 003



106 S. RIVERSIDE
EXTERIOR IMPROVEMENTS

104 S RIVERSIDE AVE ST CHARLES IL 60174



BÂTIR
DESIGN - BUILD - SUSTAINABLE SOLUTIONS

BATR ARCHITECTURE, LTD.
121 E. MAIN ST. SUITE 220, ST. CHARLES, IL 60174
PHONE: 630-513-5109 FAX: 630-513-5919

FLOOR PLANS -
SANITARY AND VENT

ISSUED:
01-22-19
ISSUED FOR PERM

SCALE
AS SHOWN

MP-1



* FLOOR PLAN - MECHANICAL AND PLUMBING

SCALE: 1/8"=1'-0"

PLAN NOTES






- 1 EXISTING RTU TO REMAIN.
- 2 EXISTING 1 1/2" GAS PIPE AND UTILITY METER TO REMAIN.
- 3 EXISTING DOMESTIC WATER SERVICE AND UTILITY WATER METER TO REMAIN. IN ADDITION TO UTILITY METER, CONTRACTOR SHALL PROVIDE FOR EXISTING WATER METER OWNER'S ELECTRONIC METER WITH REMOTE READOUT CAPABILITY.
- 4 EXISTING ROOF MOUNTED EXHAUST FAN TO REMAIN.
- 5 EXISTING FLOOR DRAIN TO REMAIN.

ALL CW, HW DISTRIBUTION PIPING TO INTERIOR FIXTURES, AND ASSOCIATED VENTS, AND SAN. LINES TO BE DEMOLISHED BACK TO MAIN AND CAPPED UNLESS OTHERWISE INDICATED BY THE OWNER.

ANY EXISTING EXTERIOR PLUMBING PIPING (YARD CLEAN OUTS, HOSE BIBS, ETC.) ARE EXISTING TO REMAIN. ALL DISTRIBUTION PIPING, VENTS, SANITARY LINES SHALL BE EXISTING TO REMAIN. ANY DEMOLITION ASSOCIATED WITH THE SPACE SHALL NOT AFFECT EXTERIOR PLUMBING SYSTEMS.

PLUMBING SYMBOLS

ALL SYMBOLS SHOWN MAY NOT APPEAR ON DRAWINGS.
SYMBOL ARE SHOWN SCHEMATIC AND MAY NOT BE TO SCALE

DESCRIPTION	SYM
FLOOR DRAIN	
BACKFLOW PREVENTER	
WATER METER	
UNION	
BALL VALVE	
EXISTING TO REMAIN	X
EXISTING TO BE REMOVED	XO

PLUMBING SPECIFICATIONS

STANDARDS AND CODES

4. GENERAL: THE WORK SHALL COMPLY WITH OR EXCEED THE REFERENCED STANDARDS AND CODES, ANY WORK WHICH CAN NOT MEET THE REFERENCED STANDARD AND CODES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR HIS WRITTEN APPROVAL BEFORE PROCEEDING WITH THE WORK.
5. THE WORK SHALL COMPLY WITH THE FOLLOWING CODES:
- 1. ULINCS PLUMBING CODE
 - 2. LOCAL GOVERNING BODIES HAVING JURISDICTION
6. THE PLUMBING CONTRACTOR SHALL NOT LEAVE ANY UNSEED SECTIONS OF THE DRAINAGE SYSTEM (DEAD ENDS) WHERE THERE ARE NO OTHER SECTIONS OF THE DRAINAGE SYSTEM TO INSTAL A CLEAN OUT IN AN ACCESSIBLE LOCATION, A DEVELOPED LENGTH OF MORE THAN 10 FEET SHALL BE CONSIDERED A DEAD END
7. STANDARDS: THE WORK SHALL COMPLY WITH THE FOLLOWING STANDARDS:
- 1. ASME AMERICAN NATIONAL STANDARDS INSTITUTE
 - 2. ASSE AMERICAN SOCIETY OF MECHANICAL ENGINEERS
 - 3. ASTM AMERICAN SOCIETY OF TESTING AND MATERIALS
 - 4. AWWA AMERICAN WATER WORKS ASSOCIATION
 - 5. CIPB CAST IRON PIPE RESEARCH INSTITUTE
 - 6. NSF NATIONAL SANITATION FOUNDATION
 - 7. ILSF UNDERGROUND LABORATORIES
 - 8. KAMA NATIONAL SOCIETY OF MECHANICAL ENGINEERS
 - 9. NFPA NATIONAL FIRE PROTECTION ASSOCIATION
 - 10. NEMA NATIONAL ELECTRICAL MANUFACTURES ASSOCIATION
 - 11. CSI CONCRETE INSTITUTE

RECORD DRAWINGS:

MAINTAIN A COMPLETE AND ACCURATE RECORD OF ALL CHANGES OR DEVIATIONS TO THE CONTRACT DOCUMENTS AND SHOP DRAWINGS IN THE CONTRACTOR'S FIELD OFFICE. SUCH RECORD COPY SHALL INDICATE THE WORK AS ACTUALLY CONSTRUCTED AND BE AVAILABLE FOR ARCHITECT AND OWNER REVIEW. REPRODUCIBLE DRAWING BACKGROUND SHALL BE FURNISHED TO THE CONTRACTOR BY THE ARCHITECT. TURN OVER AS-BUILT DRAWING TO BUILDING MANAGEMENT/BUILDING ENGINEER UPON COMPLETION OF PROJECT.





WEST ELEVATION



NORTH ELEVATION