



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: IIC4

Title:	Motion to approve an Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development, and PUD Preliminary Plan for Pride of Kane County.
Presenter:	Rita Tungare

Meeting: City Council Date: December 7, 2020

Proposed Cost: N/A Budgeted Amount: N/A Not Budgeted:

Executive Summary *(if not budgeted please explain):*

Note: The Council can only take action on this item if the Ordinance Annexing the Territory (previous item) has been approved.

The attached ordinance will approve the zoning and subdivision applications for the Pride of Kane County project: Map Amendment to the BR- Regional Business District; Special Use for Planned Unit Development, and PUD Preliminary Plan.

On November 9, 2020 the Planning & Development Committee voted on the zoning applications submitted for the project (Map Amendment, Special Use for PUD and PUD Preliminary Plan). The motion to approve failed to pass in a 4-5 vote.

Approval of this Ordinance requires a simple majority.

Attachments *(please list):*

Ordinance Approving Zoning Applications.

Recommendation/Suggested Action *(briefly explain):*

Motion to approve an Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development, and PUD Preliminary Plan for Pride of Kane County.

City of St. Charles, Illinois
Ordinance No. 2020-Z-

**An Ordinance Granting Approval of a Map Amendment, Special Use for
Planned Unit Development and PUD Preliminary Plan for
Pride of Kane County**

WHEREAS, on or about April 7, 2020, CIMA Developers, LP (the “Applicant”) filed petitions for: 1) Map Amendment from RE-1 Single-Family Estate District to BR Regional Business District; 2) Special Use for Planned Unit Development; and 3) PUD Preliminary Plan, all for the real estate legally described on Exhibit “A” attached hereto and incorporated herein (the “Subject Property”), for the purpose of developing a gas fueling facility, convenience store, and car wash; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Special Use for Planned Unit Development was published on or about June 18, 2020 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about July 7, 2020, July 21, 2020 and August 4, 2020 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan petitions on or about August 4, 2020; and,

WHEREAS, the Planning & Development Committee of the City Council reviewed said petitions on or about August 10, 2020 and September 14, 2020, and, on or about November 9, 2020, voted on a motion to recommend approval of said petitions, and said motion to recommend approval failed; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the RE-1 Single-Family Estate District to the BR Regional Business District, and the Findings of Fact for Map Amendment attached hereto and incorporated herein as Exhibit “B” are expressly adopted by the corporate authorities of the City.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant’s petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit “C”, which is attached hereto and incorporated herein.

4. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit “D”, such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Preliminary Plat of Subdivision; WT Group; revisions dated 6/3/2020
- Preliminary Engineering Plans; WT Groups; revisions dated 6/8/2020 [Sheets C-2.0, C-8.0, C-9.0 revised 6/29/2020]
- Landscape Plan; Heller & Associates; revisions dated 8/3/2020
- Lighting Plan; LSI; revisions dated 6/16/2020
- Building Elevations; Arch7; not dated
- Canopy Elevations; dated 6/18/2020
- Signage Plan; Parvin-Clauss Sign Company; revisions dated 6/19/2020

5. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. Zoning: The Subject Property shall be subject to the requirements of the BR Regional Business District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the “PUD Deviations” attached hereto and incorporated herein as Exhibit “E”.
- b. Stormwater Management: Per Title 18 of the St. Charles Municipal Code, “Stormwater”, Section 18.04.010 – Stormwater Management Ordinance - Adopted – Modifications, Subsection P’, the Subject Property was exempted from the 2019 revisions to the Kane County Stormwater Ordinance. The Subject Property may be developed in conformance with the approved PUD Preliminary Plan irrespective of the expiration of said exemption.

6. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties,
Illinois this 7th day of December 2020.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties,
Illinois this 7th day of December 2020.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties,
Illinois this 7th day of December 2020.

Raymond P. Rogina, Mayor

Attest:

Charles Amenta, City Clerk

Vote:

Ayes:

Nays:

Absent:

Abstain:

Date: _____

EXHIBIT "A"

LEGAL DESCRIPTION

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT “B”

FINDINGS OF FACT FOR MAP AMENDMENT

1. The existing uses and zoning of nearby property.

The intended use is consistent with the other retail business uses along Kirk Rd. and along E. Main St.

2. The extent to which property values are diminished by the existing zoning restrictions.

Property values will not be affected. The intended use is consistent with all nearby uses.

3. The extent to which the reduction of the property’s value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

The property value will not be diminished, and in fact will provide an added amenity and convenience to the surrounding city and community.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

The subject property’s current zoning does not allow for our intended use.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

This property has been vacant for a substantial amount of time.

6. The evidence, or lack of evidence, of the community’s need for the uses permitted under the proposed district.

The intended use is consistent with development trends and all neighboring uses.

7. The consistency of the proposed amendment with the City’s Comprehensive Plan.

Our intended use is consistent with the Comprehensive Plan.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

Per Title 17 of the City Code, unless otherwise requested, land being annexed is automatically zoned RE-1 Single-Family Estates District. BR zoning is requested to accommodate the proposed commercial development.

9. The extent to which the proposed amendment creates nonconformities.

The proposed development will only require paving setback and off-site sign deviations. Other than that, the development will comply with zoning requirements.

10. The trend of development, if any, in the general area of the property in question.

The intended use is consistent with the other retail business uses.

EXHIBIT "C"

CRITERIA FOR PLANNED UNIT DEVELOPMENTS

- i. **The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
- 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

We believe that the proposed development advances many of the purposes of the Planned Unit Development as outlined and stated in Section 17.04.400.A.

The architectural building design will provide a unique and distinctive look that will include "barn" like features that will capture the historic essence of the property.

New sidewalks are proposed along the entire west and north property lines to connect existing sidewalk structures along Kirk Rd. and Main St. to help promote pedestrian traffic and physical activity.

This property has remained undeveloped for a very long time and the proposed development allows for and encourages and promotes economic growth and efficient land use.

This development includes a reciprocal easement agreement with the neighboring property owner (Main Street Commons) which allows for cross-access service roads and shared stormwater detention.

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. **The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
2. **The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
3. **The PUD will provide superior landscaping, buffering or screening.**
4. **The buildings within the PUD offer high quality architectural design.**
5. **The PUD provides for energy efficient building and site design.**
6. **The PUD provides for the use of innovative stormwater management techniques.**
7. **The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
8. **The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
9. **The PUD preserves historic buildings, sites or neighborhoods.**

The following factors below per Section 17.04.400.B are highlighted to justify relief from certain zoning requirements:

- The PUD will provide superior landscaping and buffering as allowed by the site parameters.
- The buildings within the PUD will be unique and distinctive in nature, capturing historic features.
- The buildings will be built with energy efficiency guidelines and site design.
- The development will be designed with shared detention with Main Street Commons.

Zoning deviations for the following are being requested: paving setbacks, off-site signage, convenience store building signage, freestanding sign setback, building foundation landscape, carwash stacking requirement.

iii. **The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):**

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

Yes. The proposed development will serve as a public convenience and an added amenity. The development will offer fueling, convenience store, quick service restaurant and carwash.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Yes. The proposed development has sufficient infrastructure required to develop. Utilities, added service roads, and adequate on-site and off-site detention are being provided.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The development is consistent and compatible with surrounding land uses and will not affect nearby property in any way.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The development will not impede the normal and orderly development and improvement of the surrounding property and will complete the needed development at that particular property location in a manner that is consistent and compatible with surrounding and neighboring property.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

No. The proposed development will not pose any detriment to or endanger the public health, safety, comfort or general welfare.

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

Yes. The development will be built to conform to all applicable codes and ordinances and meets all applicable provisions, except as may be varied pursuant to a Special Use for PUD.

- iv. **The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

Yes. The proposed development will provide an added and substantial tax base to the City, improving the overall economic well-being of the City.

- v. **The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

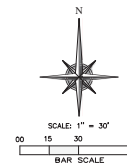
Yes. The proposed development is in conformance with the goals, objectives and policies of the adopted City of St. Charles Comprehensive Plan.

EXHIBIT "D"

**PUD PRELIMINARY PLAN
(45 pages)**

PRELIMINARY PLAT OF SUBDIVISION PRIDE OF KANE COUNTY

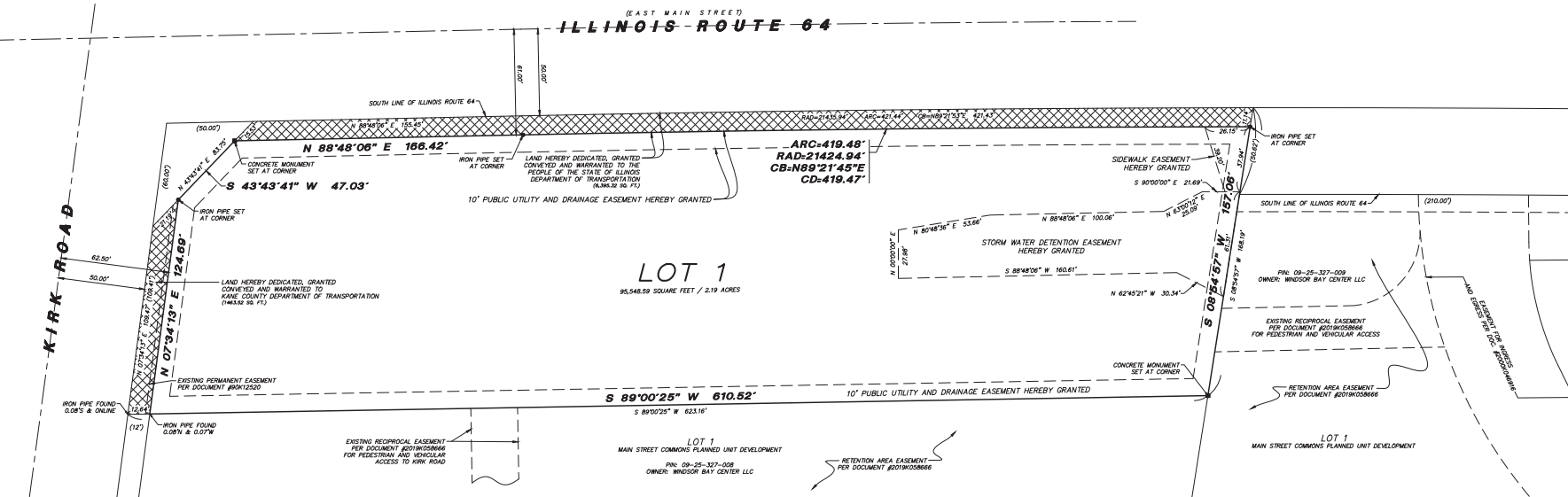
BEING A SUBDIVISION IN THAT PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.



PIN NUMBER:
09-25-100-036
AFTER RECORDING RETURN TO:
CITY OF ST. CHARLES
2 E. MAIN STREET
ST. CHARLES, IL 60174
PROPERTY OWNER:
CMA DEVELOPERS, LP
30948 BUTTERFIELD ROAD
WARRENVILLE, IL 60555
SUBDIVIDER:
THE W-T GROUP, LLC
2675 PRATIUM AVE.
HOFFMAN EST., IL 60192
224-224-6333
DESIGNER/ENGINEER:
THE W-T GROUP, LLC
2675 PRATIUM AVE.
HOFFMAN EST., IL 60192
224-224-6333

- LEGEND**
- PROPERTY LINE
 - CENTERLINE OF RIGHT OF WAY
 - UNDERLYING PROPERTY LINES
 - CONCRETE MONUMENT / SET IRON PIPE
 - (XXX) RECORD PROPERTY DIMENSIONS
 - ▨ RIGHT OF WAY (HEREBY DEDICATED)

NOTES:
1. BASIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.
2. ANY DISCREPANCIES FOUND WITH THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.



OWNER'S CERTIFICATE

STATE OF _____)
 SS
COUNTY OF _____)

THIS IS TO CERTIFY THAT CMA DEVELOPERS, LP IS THE OWNER OF THE LAND SHOWN AND DESCRIBED ON THE ANNEXED PLAT AND BY ITS DULY AUTHORIZED MANAGER HAS AS SUCH OWNER CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED AND PLATTED AS SHOWN THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON SHOWN.

THE UNDERSIGNED DO HEREBY CERTIFY THAT, AS OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE, TO THE BEST OF THEIR KNOWLEDGE, IS LOCATED WITHIN THE BOUNDARIES OF ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303.

DATED THIS _____ DAY OF _____ A.D. _____

BY: _____

PRINT NAME: _____

ADDRESS: _____

NOTARY CERTIFICATE

STATE OF _____)
 SS
COUNTY OF _____)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____ A.D. _____

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
 SS
COUNTY OF KANE)

APPROVED THIS _____ DAY OF _____ A.D. _____ BY THE COUNCIL OF THE CITY OF ST. CHARLES.

MAYOR _____

CITY CLERK _____

DIRECTOR OF COMMUNITY DEVELOPMENT CERTIFICATE

STATE OF _____)
 SS
COUNTY OF _____)

I, _____, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY DEVELOPMENT _____

DATED AT _____ ILLINOIS, THIS _____ DAY OF _____, D. 20____

SPECIAL ASSESSMENT CERTIFICATE

STATE OF _____)
 SS
COUNTY OF _____)

I, _____, DO HEREBY CERTIFY THAT THERE ARE NO SELIGNMENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS _____

DATED AT ST. CHARLES, ILLINOIS, THIS _____ DAY OF _____ A.D. _____

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
 SS
COUNTY OF KANE)

APPROVED BY THE PLAN COMMISSION OF THE CITY OF ST. CHARLES.

THIS _____ DAY OF _____ A.D. _____

CHAIRMAN _____

ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO §2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED. A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVENWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT.

ANTHONY J. QUIGLEY P.E.
REGION ONE ENGINEER

ILLINOIS DEPARTMENT OF TRANSPORTATION DEDICATION DESCRIPTION

TO BE CREATED AFTER REVIEW

ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE

THE PROPOSED DEDICATION TO THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION IS HEREBY ACCEPTED.

BY: ANTHONY J. QUIGLEY P.E. DATE: _____ 20____
REGION ONE ENGINEER

WT GROUP
Engineering and Professional, Public and Private
2875 Prairie Avenue (Hoffman Estates, IL 60192)
TEL: 815.224.6333 FAX: 815.224.6444
www.wtgroup.com
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WT Group
Engineering & Design Consulting

PLAT OF SUBDIVISION
PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

CMA DEVELOPERS
30W180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE

TO	DATE
CLIENT	1/10/20
CLIENT	2/11/20
CLIENT	2/14/20
CLIENT	3/9/20
CLIENT	3/16/20
CLIENT	6/30/20

CHECK/FIRM
DRAWN/KCH
JOB: 1910803C

SUB-1
SHEET 1 OF 2
PLAT OF SUBDIVISION

PRELIMINARY PLAT OF SUBDIVISION PRIDE OF KANE COUNTY

BEING A SUBDIVISION IN THAT PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

LEGEND
—— PROPERTY LINE
--- CENTERLINE OF RIGHT OF WAY
- - - UNDERLYING PROPERTY LINES
■ SET CONCRETE MONUMENT / SET IRON PIPE
(0007) RECORD PROPERTY DIMENSIONS
RIGHT OF WAY (HEREBY DEDICATED)

PIN NUMBER:
09-25-100-036
AFTER RECORDING RETURN TO:
CITY OF ST. CHARLES
2 E. MAIN STREET
ST. CHARLES, IL 60174

PROPERTY OWNER:
CMA DEVELOPERS, LP
300W BUTTERFIELD ROAD
WARRENVILLE, IL 60555

SUBDIVIDER:
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224-293-6333

DESIGNER/ENGINEER:
THE W-T GROUP, LLC
2675 PRATIUM AVE.
HOFFMAN EST., IL 60192
224-293-6333



PLAT OF SUBDIVISION
PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS

CIMA DEVELOPERS
300W180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE

TO	DATE
CLIENT	11/01/23
CLIENT	2/11/20
CLIENT	2/14/20
CLIENT	3/29/20
CLIENT	3/16/20
CLIENT	6/03/20

CHECK/FM
DRAWN/KCH
JOB: 1910893C

FOR REVIEW 06/03/20
FRANJO I. MATIĆ - PLS 8025-803556 EXPRES 11/25/2020
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015

SUB-2
SHEET 2 OF 2
PLAT OF SUBDIVISION

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

STATE OF ILLINOIS) COUNTY RECORDER'S CERTIFICATE
) SS
COUNTY OF KANE)

THE UNDERSIGNED AS THE RECORDER OF DEEDS FOR KANE COUNTY DO HEREBY CERTIFY THAT INSTRUMENT NUMBER _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS ON THE ____ DAY OF _____ A.D. 20____ AT _____ O'CLOCK ____.

RECORDER OF DEEDS _____

PLEASE PRINT/TYPE NAME _____

STATE OF ILLINOIS) COUNTY ENGINEER'S CERTIFICATE
) SS
COUNTY OF KANE)

THIS PLAT HAS BEEN APPROVED BY THE KANE COUNTY ENGINEER WITH RESPECT TO ROADWAY ACCESS TO _____ PURSUANT TO ILCS CHAPTER 765 PARAGRAPH 205/2, DATED THIS _____ DAY OF _____ A.D. 20____.

COUNTY ENGINEER _____
DATED AT _____ ILLINOIS, THIS ____ DAY OF _____, D. 20____.

STATE OF ILLINOIS) COUNTY CLERK'S CERTIFICATE
) SS
COUNTY OF KANE)

I, _____ COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEMPTIBLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THIS PLAT.

I, FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THIS PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK OF KANE COUNTY, ILLINOIS,

THIS ____ DAY OF _____ A.D. 20____.

COUNTY CLERK _____

STATE OF ILLINOIS) COUNTY RECORDER'S CERTIFICATE
) SS
COUNTY OF KANE)

THE UNDERSIGNED AS THE RECORDER OF DEEDS FOR KANE COUNTY DO HEREBY CERTIFY THAT INSTRUMENT NUMBER _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS ON THE ____ DAY OF _____ A.D. 20____ AT _____ O'CLOCK ____.

RECORDER OF DEEDS _____

PLEASE PRINT/TYPE NAME _____

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERITECH AND INCO, AND TO THEIR SUCCESSORS AND ASSIGNS (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY AND DRAINAGE EASEMENT" ON THE PLAT OF SUBDIVISION HERON DRAIN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENOVATING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGEWAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BODIES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK. THE PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES AND THE RESPECTIVE SUCCESSORS AND ASSIGNS FOR MAINTAINING THE UNINTERRUPTED AND UNIMPEDED CONVEYANCE, FLOW AND RUNOFF OF SURFACE STORM WATER ACROSS AND UPON THE AREAS DESIGNATED ON THIS PLAT AS DRAINAGE EASEMENT. THE RIGHT IS HEREBY GRANTED TO SAID GRANTEE(S) TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE DRAINAGEWAYS AND OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR UNDER, UNDER, OR THROUGH SAID EASEMENTS, NO PERMANENT BUILDINGS, TREES, GARDENS, DRIVERS, OR BERMING SHALL BE PLACED ON OR IN SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR PAVING, FENCES, SIDEWALKS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFFORSAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES. FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEE(S) IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREIN, THE GRANTEE(S) SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEE(S) SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SOFTABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION.

STORM WATER MANAGEMENT EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO THEIR SUCCESSORS AND ASSIGNS, IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "STORMWATER DETENTION EASEMENT" ON THE PLAT OF SUBDIVISION HERON DRAIN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENOVATING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING STORM SEWERS, DRAINAGEWAYS, STORM WATER DETENTION AND RETENTION AND ANY AND ALL MANHOLES, PIPES, CONNECTIONS, CATCH BASINS, AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH STORMWATER DETENTION. THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK, NO BUILDING SHALL BE PLACED ON SAID EASEMENT PREMISES WITHOUT PRIOR WRITTEN CONSENT FROM THE CITY OF ST. CHARLES. THE RESPONSIBILITY OF MAINTAINING THE DETENTION AREA EASEMENT SHALL BE BRINGING ON THE HEELS EXECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGNS OF THE LANDOWNERS, NO PERSON SHALL DESTROY OR MONEY OR OTHERWISE AFFECT THE DETENTION VOLUME WITHOUT HAVING FIRST RECEIVED WRITTEN APPROVAL FROM THE CITY OF ST. CHARLES. THE CITY SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO RESTORE ANY DETENTION VOLUME LOST THROUGH UNAUTHORIZED ACTIVITIES.

SURVEYORS CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

THIS IS TO STATE THAT I, FRANJO I. MATIĆ, ILLINOIS PROFESSIONAL LAND SURVEYORS 8025-803556, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.84 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.98 CHAINS; THENCE NORTH 89 DEGREES EAST 3.38 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHWESTLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 85.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID PARALLEL LINE; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET; TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN INTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 104.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING, IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PLAT HEREON DRAWN IS A CORRECT AND ACCURATE REPRESENTATION OF SAID SURVEY AND SUBDIVISION; ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT I WILL SET ALL SUBDIVISION MONUMENTS AND HAVE DESCRIBED THEM ON THIS FINAL PLAT AS REQUIRED BY THE PLAT ACT (705 ILCS 209/7). THE EXTERIOR SUBDIVISION MONUMENTS HAVE BEEN SET AND INTERIOR MONUMENTS WILL BE SET WITHIN 12 MONTHS OF THE RECORDING OF THIS PLAT (SECTION 1270-56 OF THE ILLINOIS PROFESSIONAL LAND SURVEYOR ACT OF 1989).

ACCORDING TO OUR INTERPOLATION OF THE FLOOD INSURANCE RATE MAP THIS SITE FALLS WITHIN PANEL NO. 17099C0270A DATED 6/23/2020. THIS PANEL IS NOT PRINTED.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____ A.D. _____ AT HOFFMAN ESTATES, ILLINOIS.

THE W-T GROUP, LLC

THE PRIDE OF KANE COUNTY 33W573 EAST MAIN STREET SAINT CHARLES, ILLINOIS 60174

DRAWING INDEX		
SHEET	DESCRIPTION	DATE
T-1.0	TITLE SHEET	06-08-20
C-1.0	SITE DEMOLITION PLAN	06-08-20
C-2.0	SITE GEOMETRIC PLAN	06-08-20
C-3.0	SITE DEVELOPMENT PLAN	06-08-20
C-3.1 - C-3.3	SITE DEVELOPMENT DETAILS	06-08-20
C-4.0 - C-4.1	SITE GRADING PLAN	06-08-20
C-5.0	SITE UTILITY PLAN	06-08-20
C-5.1 - C-5.3	SITE UTILITY DETAILS	06-08-20
C-6.0	STORMWATER POLLUTION PREVENTION PLAN	06-08-20
C-6.1	STORMWATER POLLUTION PREVENTION DETAILS	06-08-20
C-7.0 - C-7.1	PROJECT SPECIFICATIONS	06-08-20
C-8.0	FIRE APPARATUS CIRCULATION PLAN	06-08-20

SURVEY DRAWING INDEX		
SHEET	DESCRIPTION	DATE
SUR-1	TOPOGRAPHIC SURVEY (PREPARED BY THE W-T GROUP)	03-12-19

BENCHMARKS:

- SITE BENCHMARK #1 - SET CROSS ON SSE BOLT OF HYDRANT LOCATED IN GRASS APPROXIMATELY 6.8' S OF EAST MAIN STREET AND 76.4' E OF M4 #6, AS SHOWN ON SHEET SUR-2. ELEVATION=104.79' (NAVD88)
- SITE BENCHMARK #2 - SET CROSS ON CONCRETE SIDEWALK LOCATED APPROXIMATELY 25.3' ESE OF KIRK ROAD AND 22.8' SWH OF ENTRANCE, AS SHOWN ON SHEET SUR-2. ELEVATION=104.23' (NAVD88)
- SITE BENCHMARK #3 - SET CROSS IN WALK LOCATED 39' EAST OF FOND AND 200 FEET SOUTH OF ROUTE 64 ON WEST SIDE OF DRIVE, AS SHOWN ON SHEET SUR-3. ELEVATION=104.12' (NAVD88)



SCALE 1"=1000'

MAP DATA © 2019 6006LLE

SECTION 25
TOWNSHIP 40N
RANGE 8E

CIVIL ENGINEERING STATEMENT AND SEAL

I, TODD ABRAMS, P.E. DULY LICENSED IN THE STATE OF ILLINOIS BY THE DEPARTMENT OF TRANSPORTATION AND PROFESSIONAL REGULATION DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF DOES CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES, AND ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (IAC ILCS 263) AND THE ILLINOIS ACCESSIBILITY CODE (11 ILL. ADM. CODE 400).

DATE: 6-8-20

TODD ABRAMS - ILLINOIS P.E. # 062-066600
DATE OF EXPIRATION - NOVEMBER 30, 2021

NOTE: SIGNED AND SEALED FOR SHEETS T-1.0 THROUGH C-7.1



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CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.

NOTE: TOTAL PROPERTY AREA: 2.31 ACRES
NOTE: TOTAL DISTURBED AREA: 2.69 ACRES
NOTE: ALL SURROUNDING PROPERTIES ARE COMMERCIAL LAND USE



AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

THE PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS 60174

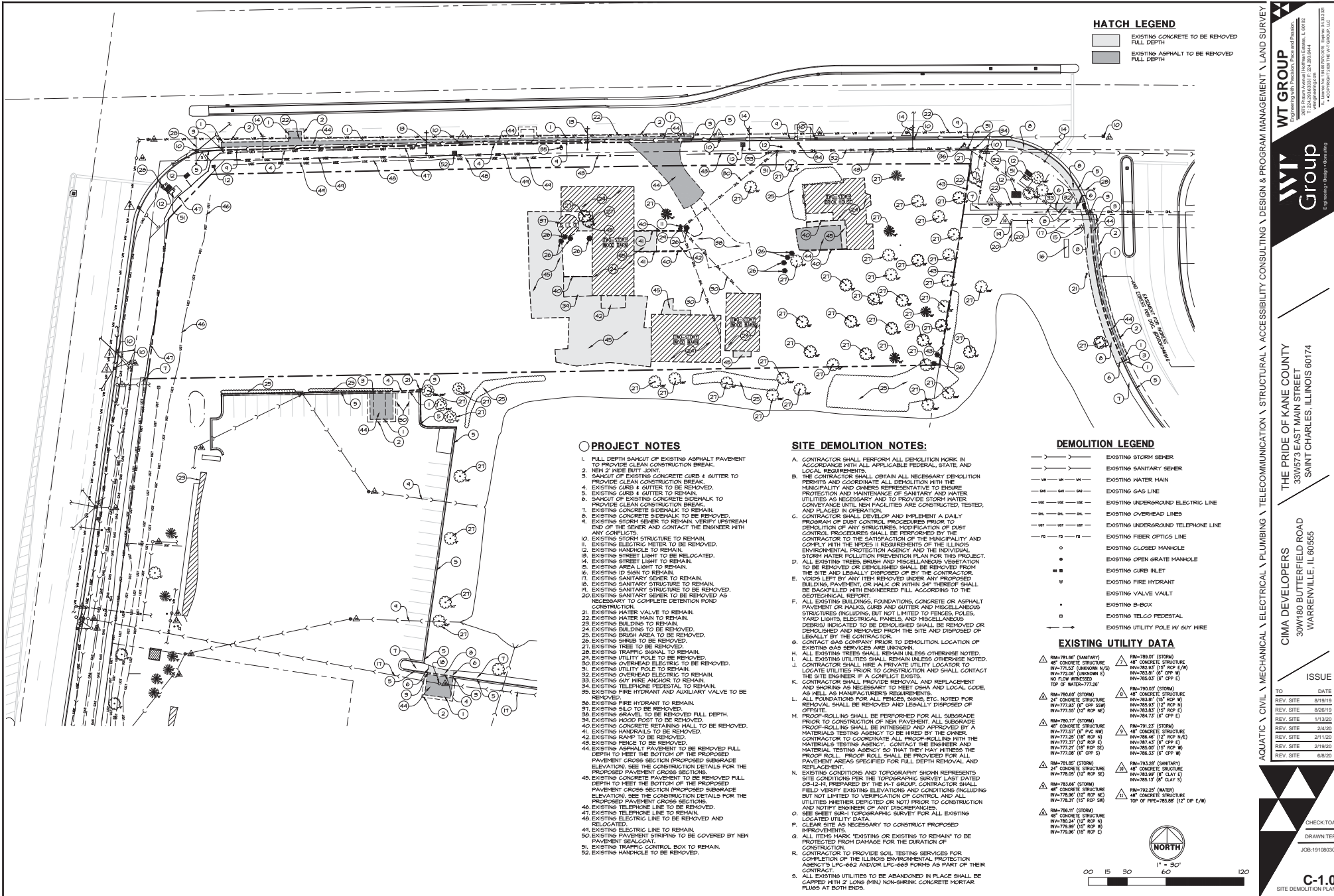
CIMA DEVELOPERS
30W180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/13/20
REV. SITE	6/9/20



T-1.0
TITLE SHEET



HATCH LEGEND

[Hatched Box]	EXISTING CONCRETE TO BE REMOVED FULL DEPTH
[Hatched Box]	EXISTING ASPHALT TO BE REMOVED FULL DEPTH

PROJECT NOTES

1. FULL DEPTH SAWCUT OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
2. NEW 2' WIDE BUTT JOINT.
3. SAWCUT OF EXISTING CONCRETE CURB & GUTTER TO PROVIDE CLEAN CONSTRUCTION BREAK.
4. EXISTING CURB & GUTTER TO BE REMOVED.
5. EXISTING CONCRETE SIDEWALK TO BE REMOVED.
6. SAWCUT OF EXISTING CONCRETE SIDEWALK TO PROVIDE CLEAN CONSTRUCTION BREAK.
7. EXISTING CONCRETE SIDEWALK TO REMAIN.
8. EXISTING CONCRETE SIDEWALK TO BE REMOVED.
9. EXISTING STORM SEWER TO REMAIN. VERIFY UPSTREAM END OF THE SEWER AND CONTACT THE ENGINEER WITH ANY CONFLICTS.
10. EXISTING STORM STRUCTURE TO REMAIN.
11. EXISTING ELECTRIC METER TO BE REMOVED.
12. EXISTING HANDHOLE TO REMAIN.
13. EXISTING STREET LIGHT TO BE RELOCATED.
14. EXISTING AREA LIGHT TO REMAIN.
15. EXISTING AREA LIGHT TO BE REMOVED.
16. EXISTING ID SIGN TO REMAIN.
17. EXISTING SANITARY SEWER TO REMAIN.
18. EXISTING SANITARY STRUCTURE TO BE REMOVED.
19. EXISTING SANITARY SEWER TO BE REMOVED AS NECESSARY TO COMPLETE DETENTION POND CONSTRUCTION.
20. EXISTING WATER VALVE TO REMAIN.
21. EXISTING WATER MAIN TO REMAIN.
22. EXISTING BUILDING TO REMAIN.
23. EXISTING BRUSH AREA TO BE REMOVED.
24. EXISTING BRUSH AREA TO REMAIN.
25. EXISTING BRUSH AREA TO BE REMOVED.
26. EXISTING BRUSH AREA TO REMAIN.
27. EXISTING TREE TO BE REMOVED.
28. EXISTING TREE TO REMAIN.
29. EXISTING UTILITY POLE TO BE REMOVED.
30. EXISTING OVERHEAD ELECTRIC TO BE REMOVED.
31. EXISTING UTILITY POLE TO REMAIN.
32. EXISTING OVERHEAD ELECTRIC TO REMAIN.
33. EXISTING GUY WIRE ANCHOR TO REMAIN.
34. EXISTING TELEPHONE FEEDSTAP TO REMAIN.
35. EXISTING FIRE HYDRANT AND AUXILIARY VALVE TO BE REMOVED.
36. EXISTING FIRE HYDRANT TO REMAIN.
37. EXISTING SILEO TO BE REMOVED.
38. EXISTING GRAVE TO BE REMOVED FULL DEPTH.
39. EXISTING WOOD POST TO BE REMOVED.
40. EXISTING SANITARY REMAINING WALL TO BE REMOVED.
41. EXISTING HANDRAIL TO BE REMOVED.
42. EXISTING FENCE TO REMAIN.
43. EXISTING FENCE TO BE REMOVED.
44. EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF PROPOSED PAVEMENT CROSS SECTION PROPOSED SUBGRADE ELEVATION. SEE THE CONSTRUCTION DETAILS FOR THE PROPOSED PAVEMENT CROSS SECTIONS.
45. EXISTING CONCRETE SIDEWALK TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE PROPOSED PAVEMENT CROSS SECTION. PROPOSED SUBGRADE ELEVATION. SEE THE CONSTRUCTION DETAILS FOR THE PROPOSED PAVEMENT CROSS SECTIONS.
46. EXISTING TELEPHONE LINE TO BE REMOVED.
47. EXISTING TELEPHONE LINE TO REMAIN.
48. EXISTING ELECTRIC LINE TO BE REMOVED AND RELOCATED.
49. EXISTING ELECTRIC LINE TO REMAIN.
50. EXISTING PAVEMENT STRIPINGS TO BE COVERED BY NEW PAVEMENT SEALCOAT PAVING FOR THE DURATION OF CONSTRUCTION.
51. EXISTING TRAFFIC CONTROL BOX TO REMAIN.
52. EXISTING HANDHOLE TO BE REMOVED.

SITE DEMOLITION NOTES:

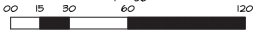
- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
- C. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
- D. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- E. Voids LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR PATHWAY THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORTS.
- F. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURBS AND GUTTERS AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO, FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.
- G. CONTACT GAO COMPANY PRIOR TO DEMOLITION LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
- H. ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
- I. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
- J. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- K. CONTRACTOR SHALL PROTECT, REPAIR, AND REPLACEMENT AND SHORING AS NECESSARY TO MEET OSHA AND LOCAL CODE REQUIREMENTS.
- L. ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE.
- M. PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF-ROLLING SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT.
- N. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS EXCEPT THE TOPOGRAPHIC SURVEY LAST DATED 03-12-24, PREPARED BY THE W-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- O. SEE SHEET SURV FOR TOPOGRAPHIC SURVEY FOR ALL EXISTING LOCATED UTILITY LOCATIONS.
- P. CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- Q. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- R. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LFC-662 AND/OR LFC-669 FORMS AS PART OF THEIR CONTRACT.
- S. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' LONG MIN NON-SINKING CONCRETE PORTLAND FLUGS AT BOTH ENDS.

DEMOLITION LEGEND

- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- GAS LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD LINES
- UNDERGROUND TELEPHONE LINE
- FIBER OPTIC LINE
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRADE MANHOLE
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING VALVE VAULT
- EXISTING B-BOX
- EXISTING TELCO FEEDSTAP
- EXISTING UTILITY POLE W/ GUY WIRE

EXISTING UTILITY DATA

- | | | | | | | | | | | | | | | |
|---|--|---|--|---|---|--|--|---|--|--|--|--|--|--|
| △ RW-78165 (SANITARY)
48" CONCRETE STRUCTURE
NW-77157 (UNKNOWN N/S)
NW-77156 (15' ROP N)
NO FLOW WITNESSED
TOP OF MANHOLE 777.26 | △ RW-78167 (STORM)
48" CONCRETE STRUCTURE
NW-78137 (15' ROP E)
NW-78138 (15' ROP E)
NW-78133 (15' ROP E) | △ RW-78164 (STORM)
48" CONCRETE STRUCTURE
NW-77155 (15' ROP N)
NW-77155 (15' ROP N)
TOP OF MANHOLE 777.26 | △ RW-78162 (STORM)
48" CONCRETE STRUCTURE
NW-78131 (15' ROP W)
NW-78131 (15' ROP W)
NW-78131 (15' ROP E) | △ RW-78161 (STORM)
48" CONCRETE STRUCTURE
NW-77157 (15' ROP N)
NW-77157 (15' ROP N)
NW-77157 (15' ROP N)
NW-77157 (15' ROP N)
TOP OF MANHOLE 777.26 | △ RW-78160 (STORM)
48" CONCRETE STRUCTURE
NW-77155 (15' ROP N)
NW-77155 (15' ROP N)
TOP OF MANHOLE 777.26 | △ RW-78159 (STORM)
48" CONCRETE STRUCTURE
NW-78131 (15' ROP W)
NW-78131 (15' ROP W)
NW-78131 (15' ROP E) | △ RW-78157 (STORM)
48" CONCRETE STRUCTURE
NW-78131 (15' ROP W)
NW-78131 (15' ROP W)
NW-78131 (15' ROP E) | △ RW-78156 (STORM)
48" CONCRETE STRUCTURE
NW-77157 (15' ROP N)
NW-77157 (15' ROP N)
TOP OF MANHOLE 777.26 | △ RW-78155 (STORM)
48" CONCRETE STRUCTURE
NW-78131 (15' ROP W)
NW-78131 (15' ROP W)
NW-78131 (15' ROP E) | △ RW-78154 (STORM)
48" CONCRETE STRUCTURE
NW-78131 (15' ROP W)
NW-78131 (15' ROP W)
NW-78131 (15' ROP E) | △ RW-78153 (STORM)
48" CONCRETE STRUCTURE
NW-78131 (15' ROP W)
NW-78131 (15' ROP W)
NW-78131 (15' ROP E) | △ RW-78152 (STORM)
48" CONCRETE STRUCTURE
NW-78131 (15' ROP W)
NW-78131 (15' ROP W)
NW-78131 (15' ROP E) | △ RW-78151 (STORM)
48" CONCRETE STRUCTURE
NW-78131 (15' ROP W)
NW-78131 (15' ROP W)
NW-78131 (15' ROP E) | △ RW-78150 (STORM)
48" CONCRETE STRUCTURE
NW-78131 (15' ROP W)
NW-78131 (15' ROP W)
NW-78131 (15' ROP E) |
|---|--|---|--|---|---|--|--|---|--|--|--|--|--|--|



WT GROUP
 3350 W. STATE STREET, SUITE 200
 CHICAGO, ILLINOIS 60612
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 WARRENVILLE, IL 60555

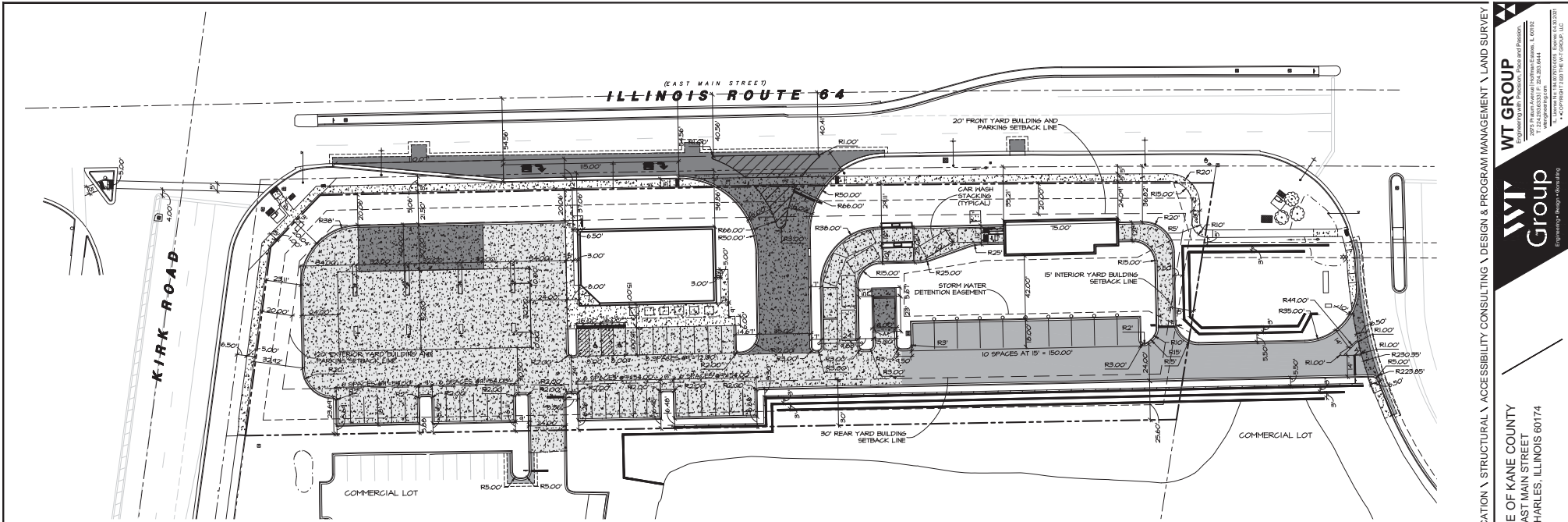
CIMA DEVELOPERS
 330W180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

ISSUE

TO DATE	
REV. SITE	6/19/19
REV. SITE	6/26/19
REV. SITE	11/3/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	3/15/20
REV. SITE	6/30/20

CHECKED BY: DRAWN BY: JOB: 1910903C

C-1.0
SITE DEMOLITION PLAN



HATCH LEGEND

	NEW ASPHALT PAVEMENT
	NEW IL ROUTE 64 ASPHALT PAVEMENT
	NEW 5' CONCRETE SIDEWALK
	NEW 6' CONCRETE PAVEMENT
	NEW 8' CONCRETE PAVEMENT

NONRESIDENTIAL ZONING COMPLIANCE TABLE
Name of Developer: PRIDE OF KANE COUNTY

	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District: BR-REGIONAL BUSINESS	Ordinance #:	
Minimum Lot Area	1 ACRE		2.37 ACRES
Minimum Lot Width	NONE		NONE
Maximum Building Coverage	50%		17%
Maximum Gross Floor Area per Building	NONE	BUILDING 1-4,500 SF. BUILDING 2-1,650 SF.	
Maximum Building Height	40 FEET		20 FEET
Front Yard	BUILDING-20 FEET PARKING-20 FEET		BLDG 1-25.86 FT, BLDG 2-23.09 FT PARKING 30.81 FEET, 37.86 FEET
Interior Side Yard	BUILDING-15 FEET PARKING-NONE		BLDG 1-39.03 FT, BLDG 2-55.13 FT PARKING-27.09 FT, PARKING-30.93 FT
Exterior Side Yard	BUILDING-20 FEET PARKING-20 FEET		BLDG 1-205.66 FT, BLDG 2-481.28 FT PARKING-61.96 FEET, 42.51 FEET
Minimum Rear Yard	BUILDING-30 FEET PARKING-0 FEET		BLDG 1-41.28 FT, BLDG 2-109.27 FT PARKING-57.1 FT
Landscape Buffer Yard ^a	NOT REQUIRED		NOT REQUIRED
% Overall Landscaped Area	20% WITH ON SITE STORM		17% WITH ON SITE STORM
Building Foundation Landscaping	50% HORIZONTAL DIMENSIONS OF BUILDING		BUILDING 1-50% BUILDING 2-100%
% Interior Parking Lot Landscaping	NOT AVAILABLE		NOT AVAILABLE
Interior Parking Lot Shade Trees	NOT AVAILABLE		NOT AVAILABLE
# of Parking spaces	CARWASH-7 PER BAY+10 RETAIL BUILDING-4 PER 1,000 SF-17 SPACES		CARWASH-10 SPACES+10 STACKING RETAIL BUILDING-34

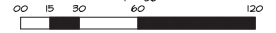
- SITE GEOMETRIC NOTES:**
- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 12-26-19, PREPARED BY THE H-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
 - SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
 - CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
 - CONTRACTOR SHALL CONTACT JILLIE (811 OR 1-800-842-0123) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
 - ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 106.02 OF THE DOT STANDARD SPECIFICATIONS.
 - ALL PAINTED CURB ON SITE TO BE REPAINTED FOLLOWING RESURFACING OF THE PARKING LOT. MATCH EXISTING COLOR, REPAINT WITH HIGH QUALITY PAINT.

CALL JILLIE
811 OR TOLL FREE (800)842-0123 OPERATES
24 HOURS A DAY 365 DAYS A YEAR



CALL JILLIE
48 HOURS BEFORE YOU DIG

CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.



WT GROUP
ENGINEERING & ARCHITECTURE
1224 S. 33RD ST. #200
MILWAUKEE, WI 53211
WWW.WTGROUP.COM
TEL: 414.333.1100 FAX: 414.333.1101
*A COMMITMENT TO THE WAY WE GROUP, LLC

WT Group
Engineering • Design • Construction

THE PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS 60174

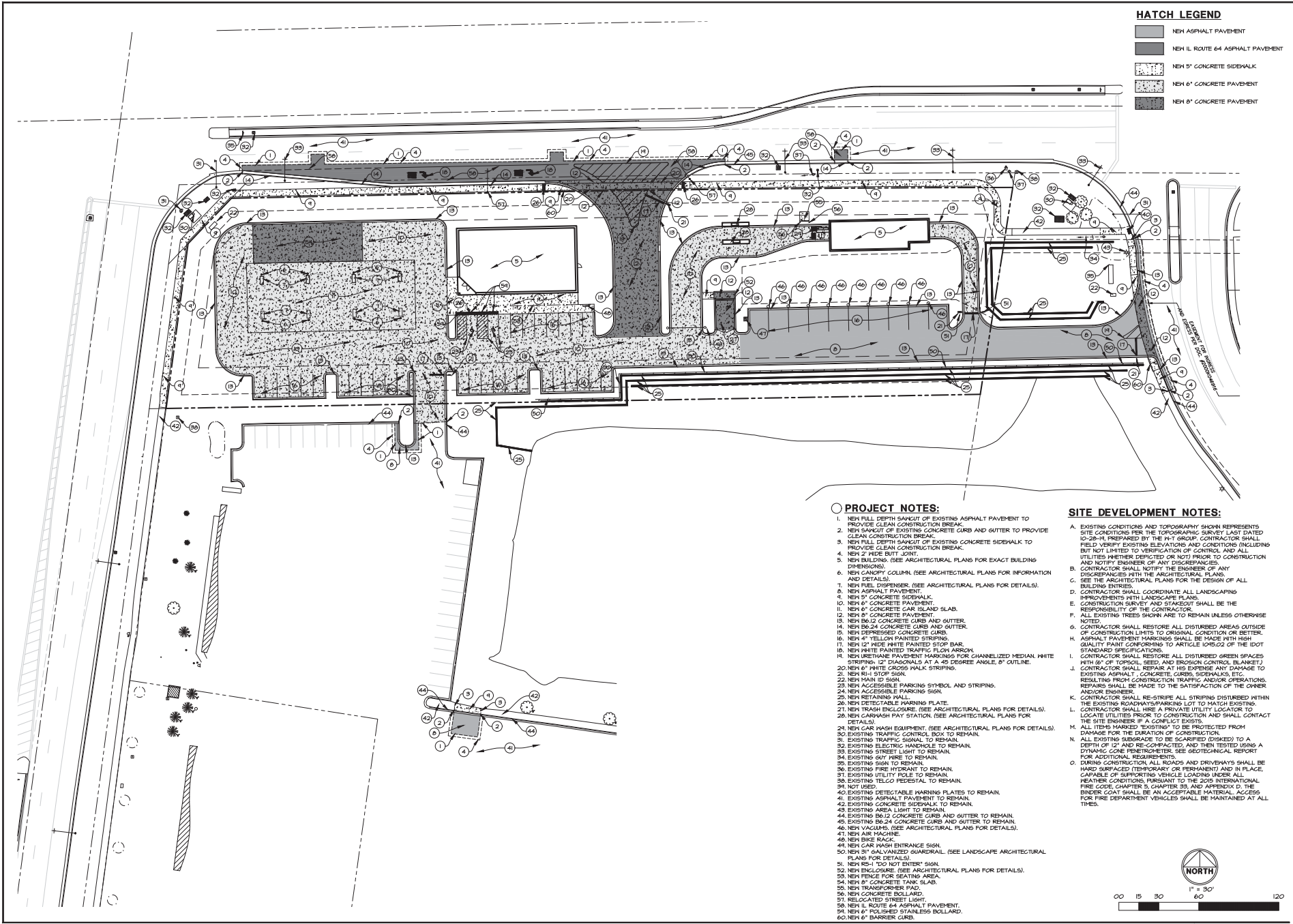
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REV. SITE	4/8/20
REV. SITE	6/29/20

CHECK/TO
DRAWN:TEP
JOB:1910803C

C-2.0
SITE GEOMETRIC PLAN



HATCH LEGEND

[Hatch Pattern]	NEW ASPHALT PAVEMENT
[Hatch Pattern]	NEW IL ROUTE 64 ASPHALT PAVEMENT
[Hatch Pattern]	NEW 5" CONCRETE SIDEWALK
[Hatch Pattern]	NEW 6" CONCRETE PAVEMENT
[Hatch Pattern]	NEW 8" CONCRETE PAVEMENT

PROJECT NOTES:

1. NEW FULL DEPTH SANICUT OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
2. NEW SANICUT OF EXISTING CONCRETE CURB AND GUTTER TO PROVIDE CLEAN CONSTRUCTION BREAK.
3. NEW FULL DEPTH SANICUT OF EXISTING CONCRETE SIDEWALK TO PROVIDE CLEAN CONSTRUCTION BREAK.
4. NEW 2" WIDE BUTT JOINT.
5. NEW BUILDING (SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS).
6. NEW CANOPY COLUMN (SEE ARCHITECTURAL PLANS FOR INFORMATION AND DETAILS).
7. NEW FUEL DISPENSER (SEE ARCHITECTURAL PLANS FOR DETAILS).
8. NEW ASPHALT PAVEMENT.
9. NEW 5" CONCRETE SIDEWALK.
10. NEW 4" CONCRETE PAVEMENT.
11. NEW 6" CONCRETE CAR ISLAND SLAB.
12. NEW 8" CONCRETE PAVEMENT.
13. NEW B6/2 CONCRETE CURB AND GUTTER.
14. NEW B6/24 CONCRETE CURB AND GUTTER.
15. NEW DEPRESSED CONCRETE CURB.
16. NEW 4" YELLOW PAINTED STRIPING.
17. NEW 12" WIDE WHITE PAINTED STOP BAR.
18. NEW URETHANE PAVEMENT MARKINGS FOR CHANNELIZED MEDIAN WHITE STRIPING, 12" DIAGONALS AT A 45 DEGREE ANGLE, 6" OUTLINE.
20. NEW 4" WHITE CROSS WALK STRIPING.
21. NEW R-1 STOP SIGN.
22. NEW H-1 SIGN.
23. NEW ACCESSIBLE PARKING SYMBOL AND STRIPING.
24. NEW ACCESSIBLE PARKING SIGN.
25. NEW RETAINING WALL.
26. NEW DETECTABLE WARNING PLATE.
27. NEW TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS).
28. NEW CARWASH PAY STATION (SEE ARCHITECTURAL PLANS FOR DETAILS).
29. NEW CAR WASH EQUIPMENT (SEE ARCHITECTURAL PLANS FOR DETAILS).
30. EXISTING TRAFFIC SIGNAL TO REMAIN.
31. EXISTING TRAFFIC SIGNAL TO REMAIN.
32. EXISTING ELECTRIC HANDLES TO REMAIN.
33. EXISTING STREET LIGHT TO REMAIN.
34. EXISTING WIRE TO REMAIN.
35. EXISTING SIGN TO REMAIN.
36. EXISTING HYDRANT TO REMAIN.
37. EXISTING UTILITY POLE TO REMAIN.
38. EXISTING TELCO PEDESTAL TO REMAIN.
39. NOT USED.
40. EXISTING DETECTABLE WARNING PLATES TO REMAIN.
41. EXISTING ASPHALT PAVEMENT TO REMAIN.
42. EXISTING CONCRETE SIDEWALK TO REMAIN.
43. EXISTING AREA LIGHT TO REMAIN.
44. EXISTING B6/2 CONCRETE CURB AND GUTTER TO REMAIN.
45. EXISTING B6/24 CONCRETE CURB AND GUTTER TO REMAIN.
46. NEW VACUUMS (SEE ARCHITECTURAL PLANS FOR DETAILS).
47. NEW AIR MACHINE.
48. NEW BIKE RACK.
49. NEW CAR WASH ENTRANCE SIGN.
50. NEW 31" GALVANIZED GUARDRAIL (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
51. NEW R-1 "DO NOT ENTER" SIGN.
52. NEW ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS).
53. NEW FENCE FOR SEEING AREA.
54. NEW 8" CONCRETE TANK SLAB.
55. NEW TRANSFORMER PAD.
56. NEW CONCRETE BOLLARD.
57. RELOCATED STREET LIGHT.
58. NEW IL ROUTE 64 ASPHALT PAVEMENT.
59. NEW 6" POLISHED STAINLESS BOLLARD.
60. NEW 6" BARRIER CURB.

SITE DEVELOPMENT NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 10-28-14 PREPARED BY THE H-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- C. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- D. CONTRACTOR SHALL COORDINATE ALL LANDSCAPING IMPROVEMENTS WITH LANDSCAPE PLANS.
- E. CONSTRUCTION SHALL BE LIMITED TO THE CONSTRUCTION RESPONSIBILITY OF THE CONTRACTOR.
- F. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- G. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 106.02 OF THE DOT STANDARD SPECIFICATIONS.
- I. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH 6" OF TOPSOIL, SEED, AND EROSION CONTROL (BLANKET).
- J. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- K. CONTRACTOR SHALL RE-STRIPE ALL STRIPING DISTURBED WITHIN THE EXISTING ROADWAY/PARKING LOT TO MATCH EXISTING.
- L. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- M. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- N. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RECOMPACTED AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- O. DURING CONSTRUCTION ALL ROADS AND DRIVEWAYS SHALL BE HAND SURFACED TEMPORARILY OR PERMANENTLY AND IN PLACE, CAPABLE OF SUPPORTING VEHICLE LOADINGS UNDER ALL WEATHER CONDITIONS. PURSUANT TO THE 2015 INTERNATIONAL FIRE CODE, CHAPTER 5, CHAPTER 55, AND APPENDIX D, THE BINDER COAT SHALL BE AN ACCEPTABLE MATERIAL. ACCESS FOR FIRE DEPARTMENT VEHICLES SHALL BE MAINTAINED AT ALL TIMES.

WT GROUP
 224 S. MAIN STREET, SUITE 200
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 WWW.WTGROUP.COM
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 *CORPORATE 2500 THE WY GROUP, LLC

WV Group
 Engineering & Design Consulting

THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

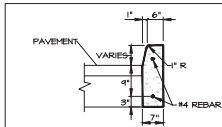
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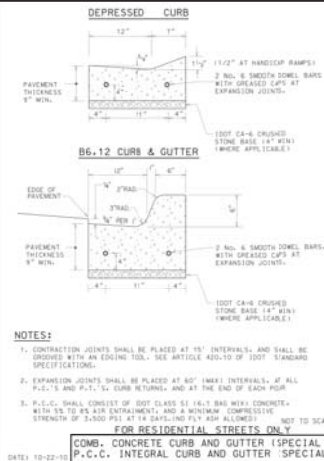
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 JOB:1910063C

C-3.0
 SITE DEVELOPMENT PLAN

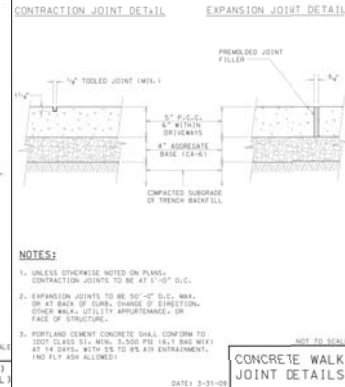


- NOTES:**
1. BARRIER CURB SHALL BE CONCRETE.
 2. CONTRACTION JOINTS, 1/4" WIDE X 1" DEEP, SHALL BE LOCATED AT RADIUS TANGENTS.
 3. BASE MATERIAL SHALL MEET THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR GRADATION AND OTHER SPECIFIED MATERIAL REQUIREMENTS.

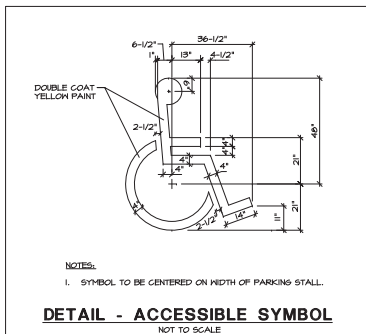
DETAIL - BARRIER CURB
NOT TO SCALE



- NOTES:**
1. CONTRACTION JOINTS SHALL BE PLACED AT 15' INTERVALS AND SHALL BE FINISHED WITH AN EDGING TOOL. SEE ARTICLE 405.02 OF 2007 STANDARD SPECIFICATIONS.
 2. EXPANSION JOINTS SHALL BE PLACED AT 60' INTERVALS, IF ALL P.C.C.'S AND P.C.T.'S CURB RETURN, AND AT THE END OF EACH POLE.
 3. P.C.C. SHALL CONSIST OF 100% CLASS II 1 1/2\"/>
- FOR RESIDENTIAL STREETS ONLY**
- COMB. CONCRETE CURB AND GUTTER (SPECIAL)
P.C.C. INTEGRAL CURB AND GUTTER (SPECIAL)

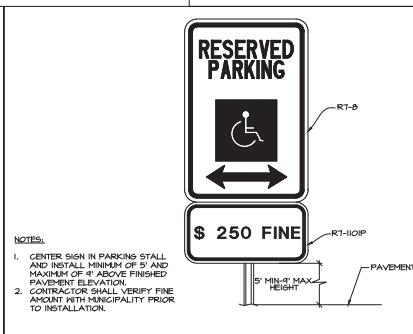


- NOTES:**
1. UNLESS OTHERWISE NOTED ON PLANS, CONTRACTION JOINTS TO BE AT 15'-0\"/>
 2. EXPANSION JOINTS TO BE 50'-0\"/>
 3. PORTLAND CEMENT CONCRETE SHALL CONFORM TO 100% CLASS III MIN. 3,000 PSI (4.1 BAY WEIR) AT 14 DAYS, WITH 85 TO 85.5% AIR ENTRAINMENT, AND 6.4% AIR ALLOWED.



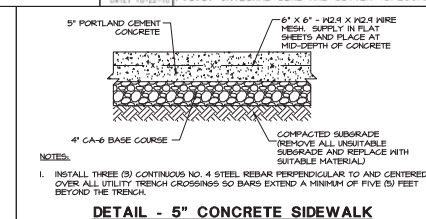
- NOTES:**
1. SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL.

DETAIL - ACCESSIBLE SYMBOL
NOT TO SCALE



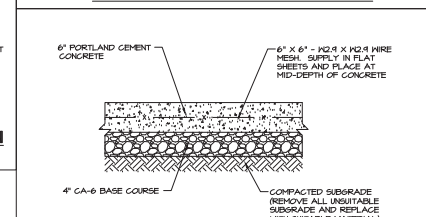
- NOTES:**
1. CENTER SIGN IN PARKING STALL AND INSTALL MINIMUM OF 5' AND MAXIMUM OF 6' ABOVE FINISHED PAVEMENT ELEVATION.
 2. CONTRACTOR SHALL VERIFY FINE AMOUNT WITH MUNICIPALITY PRIOR TO INSTALLATION.

DETAIL - ACCESSIBLE PARKING SIGN
NOT TO SCALE



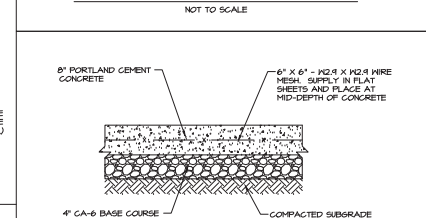
- NOTES:**
1. INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.

DETAIL - 5\"/>



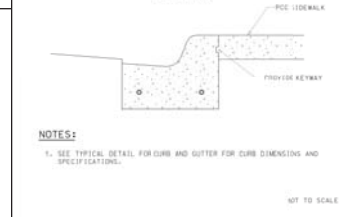
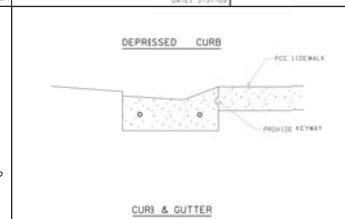
- NOTES:**
1. INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.

DETAIL - 6\"/>



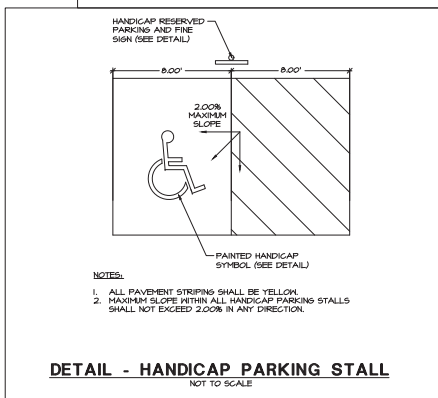
- NOTES:**
1. INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.

DETAIL - 8\"/>



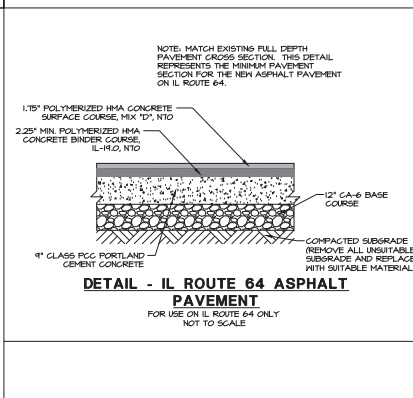
- NOTES:**
1. SEE TYPICAL DETAIL FOR CURB AND GUTTER FOR CURB DIMENSIONS AND SPECIFICATIONS.

SIDEWALK AT CURB AND GUTTER
NOT TO SCALE

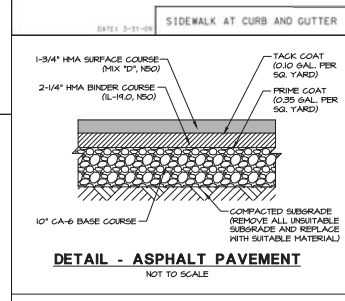


- NOTES:**
1. ALL PAVEMENT STRIPING SHALL BE YELLOW.
 2. MAXIMUM SLOPE WITHIN ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.

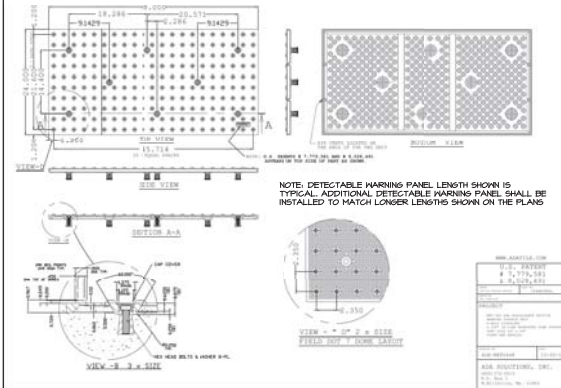
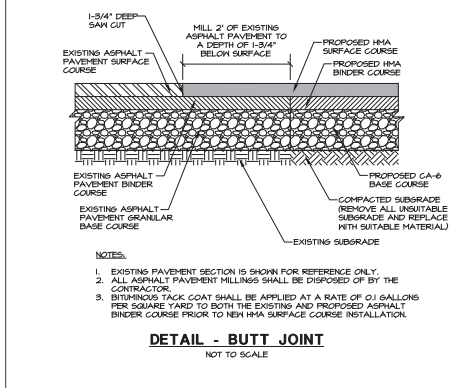
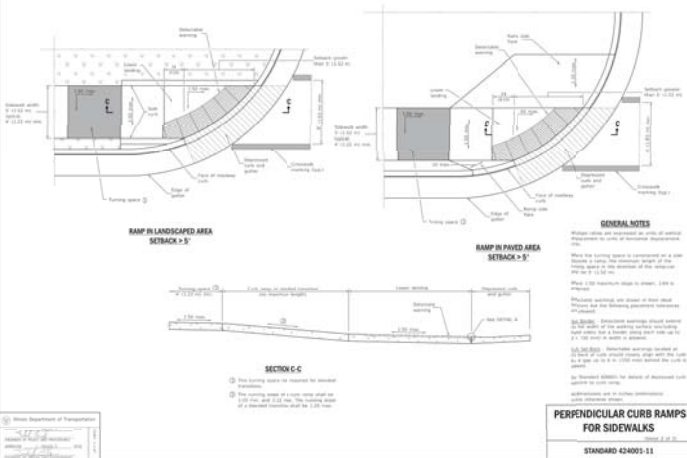
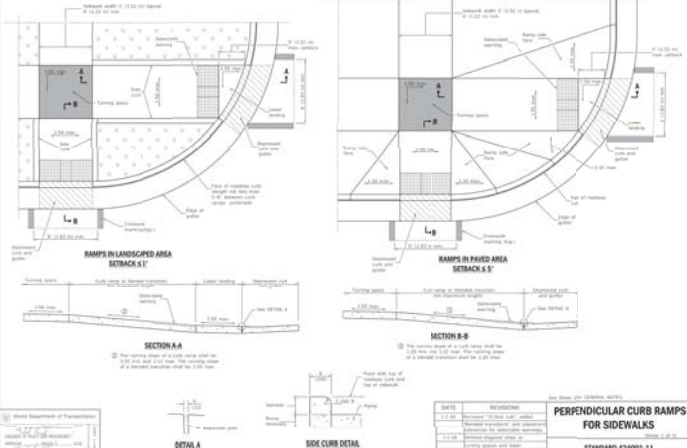
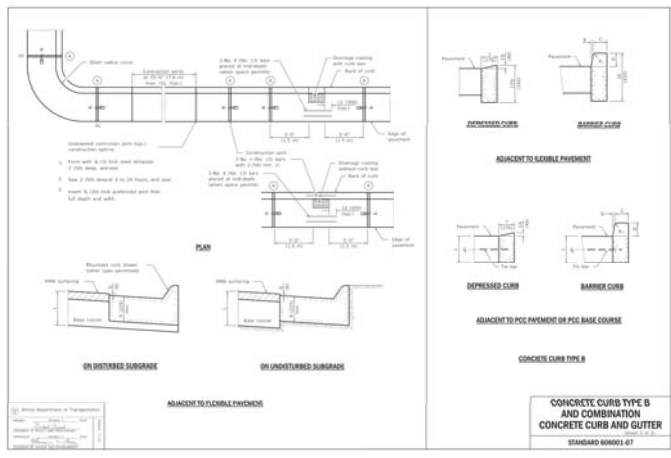
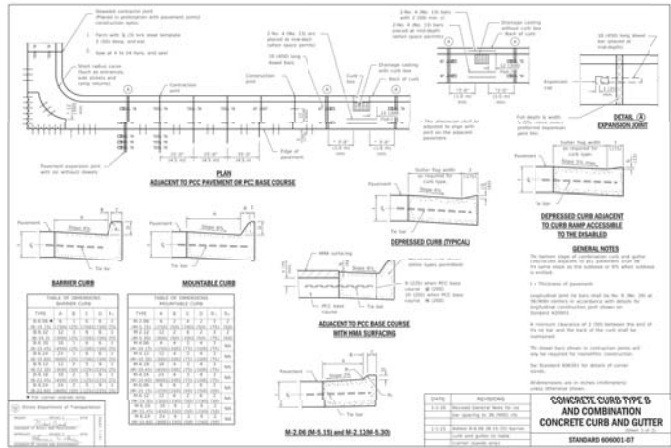
DETAIL - HANDICAP PARKING STALL
NOT TO SCALE

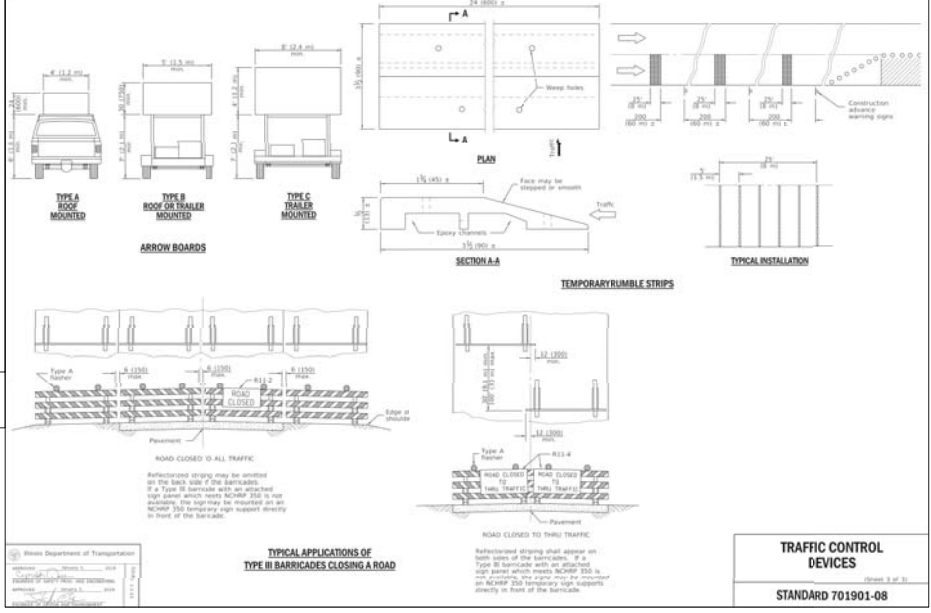
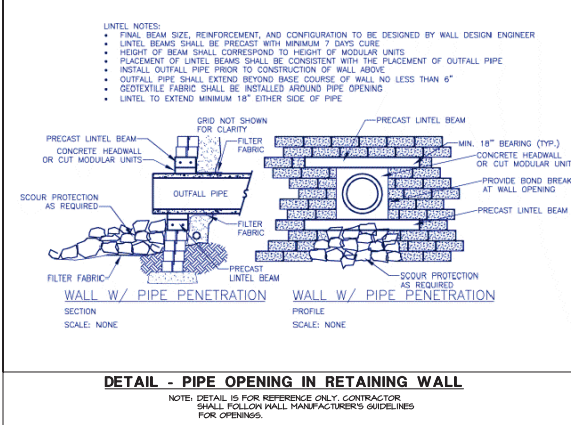
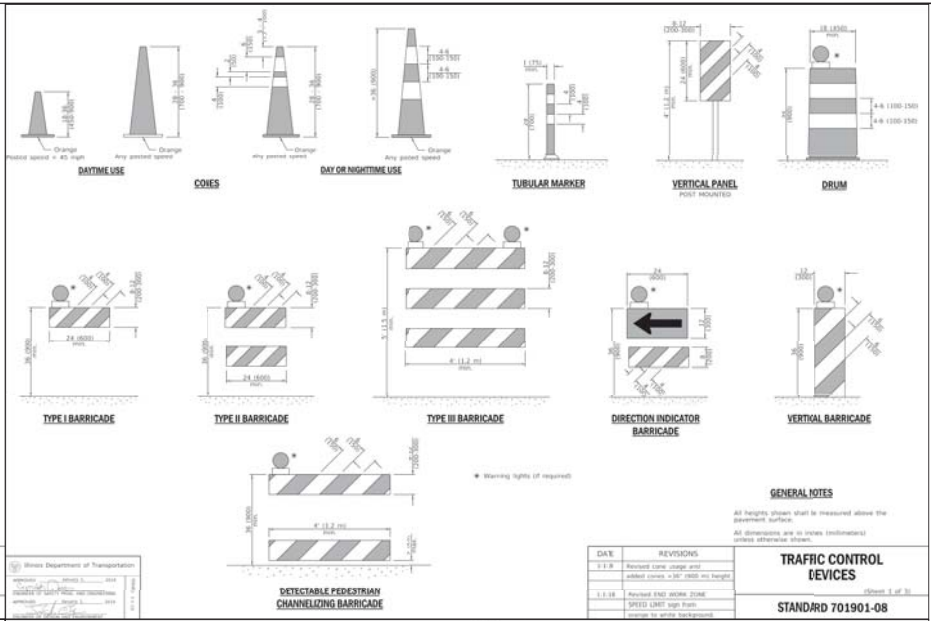
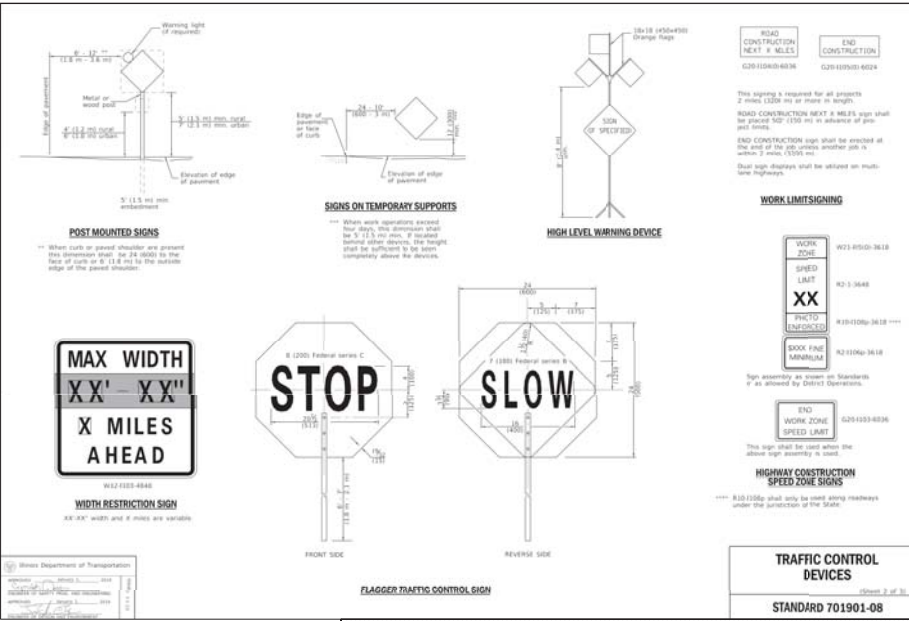


DETAIL - IL ROUTE 64 ASPHALT PAVEMENT
FOR USE ON IL ROUTE 64 ONLY
NOT TO SCALE



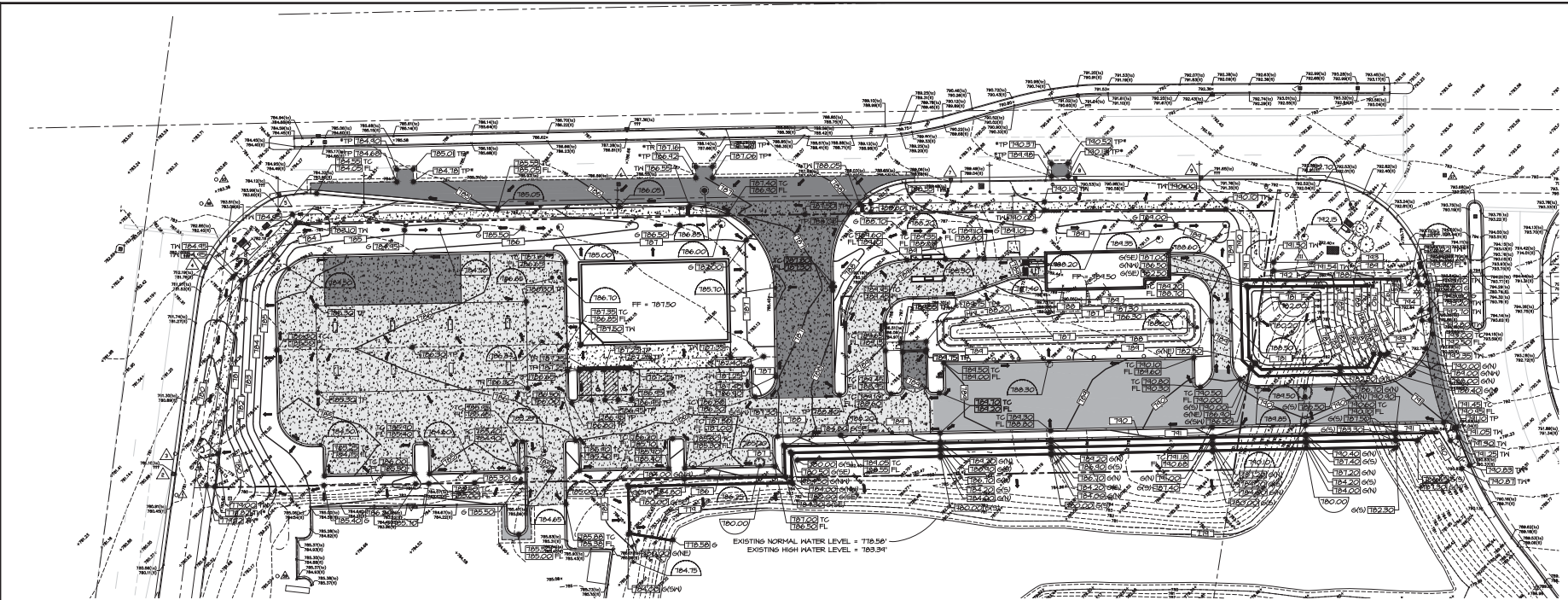
DETAIL - ASPHALT PAVEMENT
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REV. SITE	6/30/20



EXISTING UTILITY DATA

<p>RM-781.66' (SANITARY) 48" CONCRETE STRUCTURE INV-771.52' (CONCREOM N/S) INV-772.50' (15" RCP W) INV-781.53' (15" RCP W) TOP OF WATER=777.26'</p> <p>RM-780.60' (STORM) 24" CONCRETE STRUCTURE INV-777.53' (15" RCP S/S) INV-777.55' (15" RCP S/S)</p> <p>RM-780.77' (STORM) 48" CONCRETE STRUCTURE INV-777.25' (8" PVC NW) INV-777.25' (15" RCP W) INV-777.37' (15" RCP S/S) INV-777.21' (15" RCP S/S) INV-777.08' (8" DP S)</p> <p>RM-781.85' (STORM) 24" CONCRETE STRUCTURE INV-778.05' (15" RCP S/S)</p> <p>RM-783.66' (STORM) 48" CONCRETE STRUCTURE INV-778.16' (15" RCP W) INV-778.35' (15" RCP S/S)</p> <p>RM-780.11' (STORM) 48" CONCRETE STRUCTURE INV-782.83' (15" RCP E/W) INV-782.81' (8" DP W) INV-785.03' (8" DP W)</p> <p>RM-790.03' (STORM) 48" CONCRETE STRUCTURE INV-783.81' (15" RCP W) INV-783.99' (15" RCP W) INV-784.37' (15" RCP E)</p>	<p>RM-791.23' (STORM) 48" CONCRETE STRUCTURE INV-781.48' (15" RCP N/E) INV-781.45' (8" DP W) INV-781.00' (15" RCP W) INV-781.35' (8" DP W)</p> <p>RM-781.28' (SANITARY) 48" CONCRETE STRUCTURE INV-777.53' (15" RCP S/S) INV-781.37' (8" CLAY S)</p> <p>RM-792.25' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE=785.88' (12" DP E/W)</p> <p>RM-783.67' (STORM) 48" CONCRETE STRUCTURE INV-777.25' (8" PVC NW) INV-777.25' (15" RCP W) INV-777.37' (15" RCP S/S) INV-777.21' (15" RCP S/S)</p> <p>RM-783.64' (STORM) 48" CONCRETE STRUCTURE INV-778.04' (15" RCP NW/E)</p> <p>RM-783.70' (STORM) 48" CONCRETE STRUCTURE INV-778.16' (15" RCP E) INV-778.05' (15" RCP NW)</p> <p>RM-786.87' (SANITARY) 48" CONCRETE STRUCTURE INV-784.47' (8" PVC L/W)</p> <p>RM-788.69' (STORM) 48" CONCRETE STRUCTURE INV-789.24' (15" RCP W) INV-789.24' (15" RCP W) INV-791.96' (15" RCP E)</p> <p>RM-780.01' (STORM) 48" CONCRETE STRUCTURE INV-783.81' (15" RCP E/W) INV-782.81' (8" DP W) INV-785.03' (8" DP W)</p> <p>RM-781.57' (STORM) 48" CONCRETE STRUCTURE INV-784.24' (15" RCP S/S)</p> <p>RM-782.75' (STORM) 48" CONCRETE STRUCTURE INV-783.81' (15" RCP W) INV-784.48' (15" RCP W)</p>	<p>RM-783.61' (STORM) 48" CONCRETE STRUCTURE INV-777.53' (15" RCP S/S/NE)</p> <p>RM-780.66' (STORM) 48" CONCRETE STRUCTURE INV-777.53' (15" RCP NW) INV-778.61' (15" RCP W) INV-778.61' (15" RCP SW)</p> <p>RM-779.04' (STORM) 48" CONCRETE STRUCTURE INV-778.48' (15" RCP SW)</p> <p>RM-779.28' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE=776.67' (8" DP N/E)</p> <p>UNABLE TO MEASURE PPE STRUCTURE FILLED WITH WATER</p> <p>UNABLE TO OPEN STRUCTURE</p> <p>RM-780.47' (SANITARY) 48" CONCRETE STRUCTURE INV-771.17' (10" CLAY N/S)</p> <p>RM-780.87' (STORM) 48" CONCRETE STRUCTURE INV-778.05' (15" RCP S)</p> <p>RM-780.87' (STORM) 48" CONCRETE STRUCTURE INV-778.05' (15" RCP W)</p> <p>RM-780.87' (STORM) 48" CONCRETE STRUCTURE INV-778.05' (15" RCP S)</p> <p>RM-779.70' (STORM) 24" CONCRETE STRUCTURE INV-777.20' (8" PVC W) INV-777.22' (8" DP NW/SW) INV-784.84' (15" RCP E)</p> <p>RM-780.60' (STORM) 48" CONCRETE STRUCTURE INV-782.74' (15" RCP S)</p> <p>RM-780.60' (STORM) 48" CONCRETE STRUCTURE INV-777.12' (15" RCP NW) INV-777.12' (15" RCP S) INV-777.29' (15" RCP SW)</p>	<p>RM-783.18' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE=777.30' (12" DP N/S)</p> <p>RM-783.57' (WATER) 48" CONCRETE STRUCTURE TOP OF WATER=778.87' STRUCTURE FILLED WITH WATER NO LINES FOUND</p> <p>RM-785.27' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE=778.39' (8" DP N/S)</p> <p>RM-785.28' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE=778.39' (8" DP N/S)</p> <p>RM-783.91' (SANITARY) 48" CONCRETE STRUCTURE INV-774.17' (8" PVC E/S)</p> <p>RM-785.04' (STORM) 48" CONCRETE STRUCTURE INV-780.84' (15" RCP NE/S)</p> <p>RM (NORTH)=784.90' (STORM) 24" CONCRETE STRUCTURE INV-777.09' (15" RCP SW) INV-777.09' (15" RCP SW) INV-782.91' TOP OF SPILLWAY WALL</p>
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HATCH LEGEND

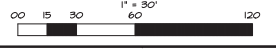
	NEH ASPHALT PAVEMENT
	NEH IL ROUTE 64 ASPHALT PAVEMENT
	NEH 5' CONCRETE SIDEWALK
	NEH 6' CONCRETE PAVEMENT
	NEH 8' CONCRETE PAVEMENT

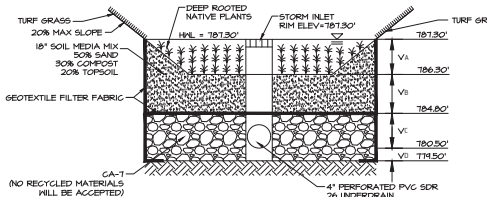
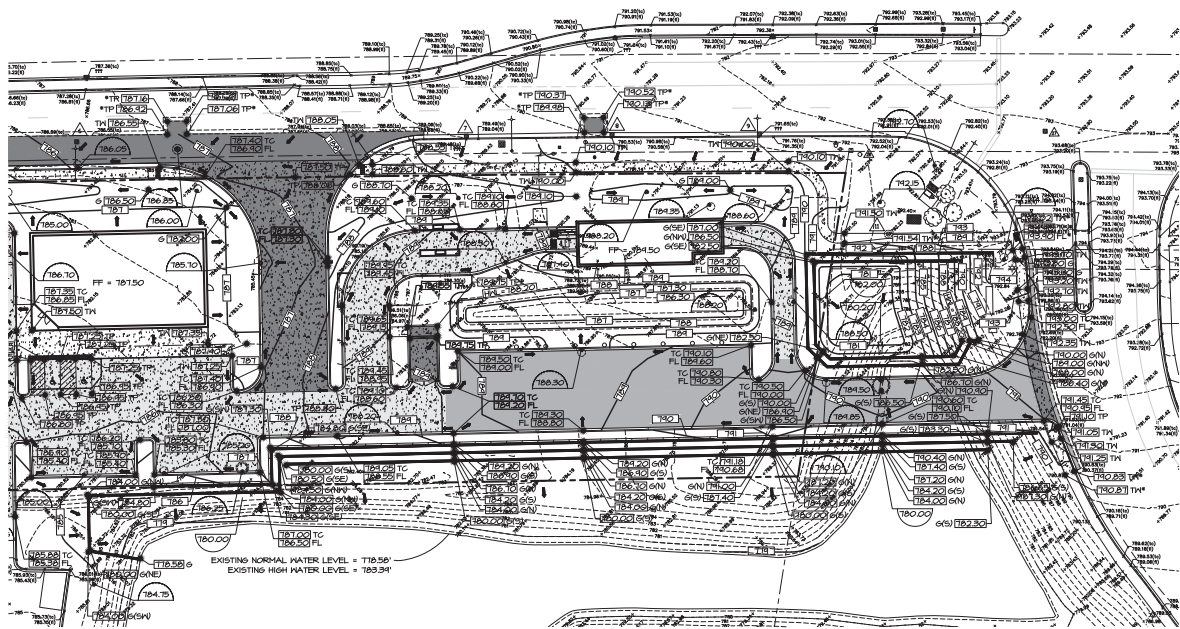
GRADING LEGEND

	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	INTERPOLATED SPOT GRADE
	PROPOSED RIM ELEVATION
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	OVERLAND FLOOD ARROW
	100 YEAR OVERLAND FLOOD ROUTE
	EMERGENCY EVACUATION ARROW
	TOP OF PAVEMENT ELEVATION
	TOP OF SIDEWALK ELEVATION
	FINISHED GRADE ELEVATION
	FINISHED FLOOR ELEVATION
	TOP OF CURB ELEVATION
	FLOW LINE ELEVATION
	ADJUST EXISTING RIM ELEVATION
	EXISTING CLOSED MANHOLE
	EXISTING OPEN MANHOLE
	EXISTING GURB INLET
	EXISTING FIRE HYDRANT
	EXISTING VALVE VAULT
	EXISTING B-BOX
	EXISTING TELCO PEDESTAL
	EXISTING UTILITY POLE W/ 6/6 WIRE
	PROPOSED FIRE HYDRANT
	PROPOSED VALVE WITH VAULT
	PROPOSED B-BOX
	PROPOSED INLET
	PROPOSED OPEN LID MANHOLE / CATCH BASIN
	PROPOSED CLOSED LID MANHOLE
	PROPOSED RESTRICTOR STRUCTURE
	PROPOSED NYLOLAST DRAIN BASIN
	PROPOSED FLARED END SECTION
	PROPOSED GREASE TRAP

SITE GRADING NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 09-12-18. PREPARED BY THE H/T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROLS AND ALL UTILITIES WHETHER DELETED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES).
- B. ALL PROPOSED GRADES ARE GIVEN TO FINISHED GRADE. THE TOP OF PROPOSED ASPHALT, CONCRETE, TOP OF PROPOSED CURB, ETC. SEE DETAILS FOR PAVEMENT THICKNESS AND ELEVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- C. CONTRACTOR SHALL CONTACT JULLIE BE (81 OR 1-800-892-0282) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY EXCAVATION AND/OR ELEVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- D. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSATISFACTORY MATERIALS CREATED AS A RESULT.
- E. CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OTHER AND/OR ENGINEER.
- G. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OTHER AND/OR ENGINEER.
- H. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED. ALL HANDICAP ACCESSIBLE ROUTES, GUIDEWAYS, PARKWAYS, DRIVEWAYS, ETC. SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE PARKWAYS SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
- I. VOIDS LEFT BY ANY TREES REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24' THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- J. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE. CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- K. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO ADJACENT THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- L. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO ADJACENT THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- M. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- N. ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
- O. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LFP-662 AND/OR LFP-663 FORMS AS PART OF THEIR CONTRACT.
- P. PREPARE SUBGRADE AS SPECIFIED IN THE GEOTECHNICAL REPORT DATED MONTH DAY, YEAR PREPARED BY GEOTECHNICAL ENGINEER.
- Q. ALL TOPSOIL BENEATH PROPOSED STRUCTURES AND PAVEMENT SHALL BE REMOVED. REFER TO THE GEOTECHNICAL REPORT DATED MONTH DAY, YEAR PREPARED BY GEOTECHNICAL ENGINEER FOR EXISTING TOPSOIL DEPTHS.





VOLUME TYPE	POROSITY	MEDIA VOLUME	STORAGE VOLUME	VOLUME PROVIDED
SURFACE STORAGE	1.00	VA = 1489 C.F.	1.00 X VA	1489 C.F.
SOIL MEDIA MIX	0.25	VB = 3162 C.F.	0.25 X VB	791 C.F.
COARSE AGG. (ABOVE INVERT)	0.36	VC = 6034 C.F.	0.36 X VC	2172 C.F.
COARSE AGG. (BELOW INVERT)	0.36	VD = 2101 C.F.	0.36 X VD	756 C.F.
WEST RAIN GARDEN TOTAL			4889 C.F.	0.078 AC-FT

INFILTRATION VOLUME REQUIRED = 1.416 AC. X 0.75' = 0.085 ACRE - FEET
 INFILTRATION VOLUME PROVIDED = 0.078 AC-FT X 0.085 AC-FT

WEST POND INFILTRATION VOLUME
 NOT TO SCALE

ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
783.95	8,235 SQ. FT.		
783.75	8,505 SQ. FT.	1,674 CU. FT.	48,440 CU. FT. OR 1,1120 AC-FT
783.50	8,832 SQ. FT.	2,167 CU. FT.	46,766 CU. FT. OR 1,0736 AC-FT
783.39 HWL	8,974 SQ. FT.	979 CU. FT.	44,599 CU. FT. OR 1,0238 AC-FT
783.20	9,220 SQ. FT.	1,728 CU. FT.	43,619 CU. FT. OR 1,0014 AC-FT
783.00	9,220 SQ. FT.	2,726 CU. FT.	41,891 CU. FT. OR 0,9617 AC-FT
782.91 WEIR	9,582 SQ. FT.	9,172 CU. FT.	39,165 CU. FT. OR 0,8991 AC-FT
782.00	10,576 SQ. FT.	11,116 CU. FT.	29,993 CU. FT. OR 0,6885 AC-FT
781.00	11,855 SQ. FT.	12,234 CU. FT.	18,877 CU. FT. OR 0,4334 AC-FT
780.00	12,812 SQ. FT.	6,574 CU. FT.	6,644 CU. FT. OR 0,1525 AC-FT
779.00	335 SQ. FT.	70 CU. FT.	70 CU. FT. OR 0,0016 AC-FT
778.58	0 SQ. FT.	70 CU. FT.	70 CU. FT. OR 0,0016 AC-FT

TOTAL POND V_{783.39} = 43,619 CU. FT.
 OR 1,001 AC-FT

ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
783.95	3,231 SQ. FT.		
783.75	3,137 SQ. FT.	637 CU. FT.	11,630 CU. FT. OR 0,2670 AC-FT
783.50	3,022 SQ. FT.	770 CU. FT.	10,993 CU. FT. OR 0,2524 AC-FT
783.39 HWL	2,972 SQ. FT.	330 CU. FT.	10,223 CU. FT. OR 0,2347 AC-FT
783.20	2,887 SQ. FT.	557 CU. FT.	9,893 CU. FT. OR 0,2271 AC-FT
782.91 WEIR	2,761 SQ. FT.	819 CU. FT.	9,336 CU. FT. OR 0,2143 AC-FT
782.00	2,400 SQ. FT.	2,348 CU. FT.	8,518 CU. FT. OR 0,1955 AC-FT
781.00	2,020 SQ. FT.	2,210 CU. FT.	6,169 CU. FT. OR 0,1416 AC-FT
780.00	1,712 SQ. FT.	1,866 CU. FT.	3,959 CU. FT. OR 0,0909 AC-FT
779.00	1,375 SQ. FT.	1,544 CU. FT.	2,093 CU. FT. OR 0,0481 AC-FT
778.58	1,243 SQ. FT.	550 CU. FT.	550 CU. FT. OR 0,0126 AC-FT

TOTAL POND V_{783.39} = 9,893 CU. FT.
 OR 0,227 AC-FT

PROPOSED DETENTION POND VOLUME - EAST POND

ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
788.20 HWL	4,231 SQ. FT.		
788.00	4,191 SQ. FT.	842 CU. FT.	20,626 CU. FT. OR 0,4735 AC-FT
787.00	3,978 SQ. FT.	4,085 CU. FT.	19,784 CU. FT. OR 0,4542 AC-FT
786.00	3,002 SQ. FT.	3,490 CU. FT.	15,699 CU. FT. OR 0,3604 AC-FT
785.00	2,805 SQ. FT.	2,904 CU. FT.	12,209 CU. FT. OR 0,2803 AC-FT
784.00	2,608 SQ. FT.	2,707 CU. FT.	9,306 CU. FT. OR 0,2136 AC-FT
783.00	2,410 SQ. FT.	2,509 CU. FT.	6,599 CU. FT. OR 0,1515 AC-FT
782.00	1,921 SQ. FT.	2,166 CU. FT.	4,090 CU. FT. OR 0,0939 AC-FT
781.00	1,258 SQ. FT.	1,590 CU. FT.	1,925 CU. FT. OR 0,0442 AC-FT
780.20	0 SQ. FT.	335 CU. FT.	335 CU. FT. OR 0,0077 AC-FT

TOTAL POND V_{788.20} = 20,626 CU. FT.
 OR 0,474 AC-FT

PROPOSED DETENTION POND VOLUME - WEST POND

ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
788.20 HWL	3,403 SQ. FT.		
788.00	3,226 SQ. FT.	663 CU. FT.	2,527 CU. FT. OR 0,0580 AC-FT
787.30 OUTLET ELEV.	2,101 SQ. FT.	1,864 CU. FT.	1,864 CU. FT. OR 0,0428 AC-FT
786.30	885 SQ. FT.	1,493 CU. FT.	1,493 CU. FT. OR 0,0343 AC-FT

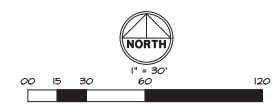
TOTAL POND V_{788.20} = 2,527 CU. FT.
 OR 0,058 AC-FT

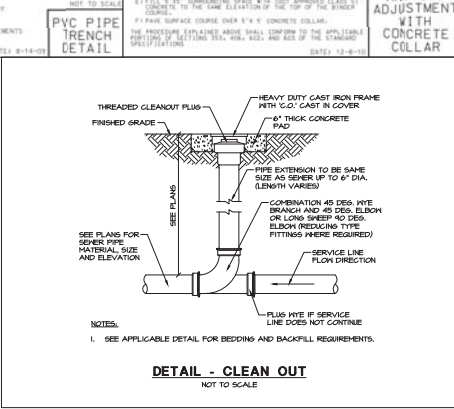
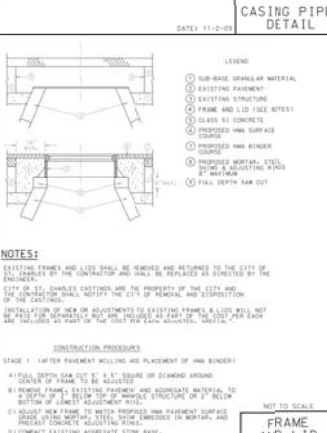
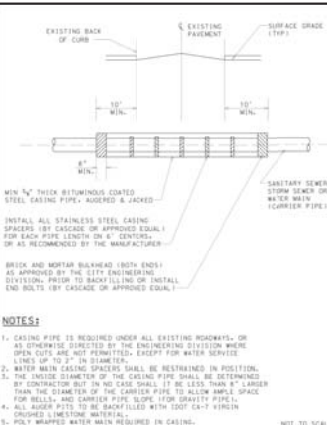
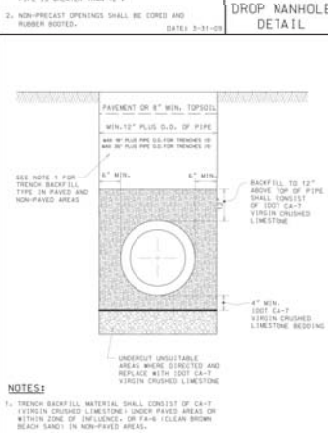
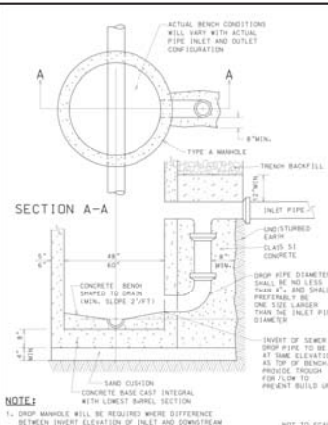
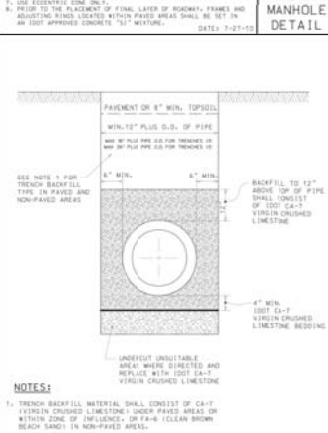
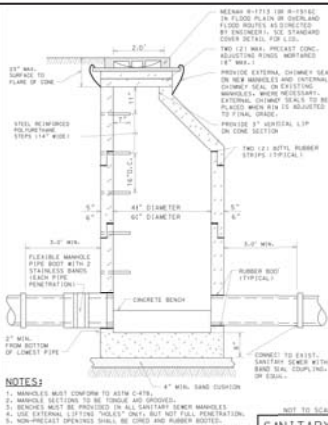
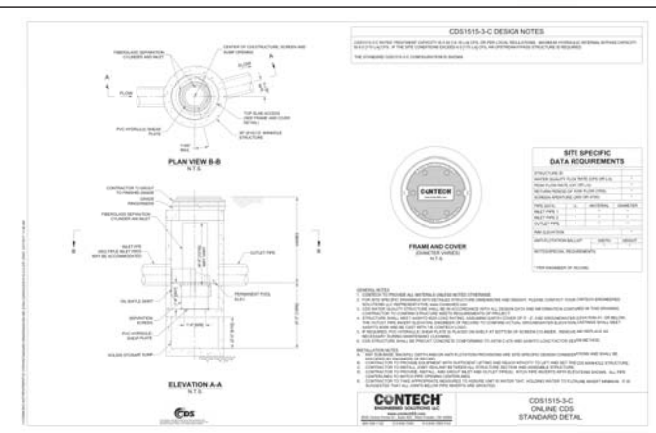
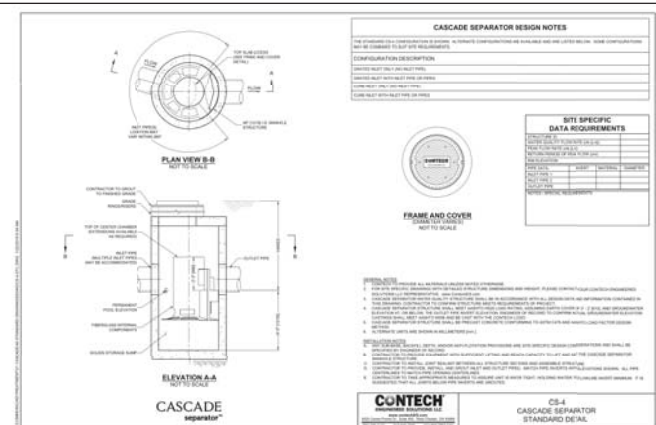
PROPOSED DETENTION POND VOLUME - WEST & EAST PONDS

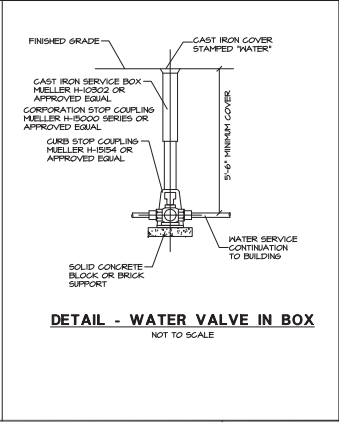
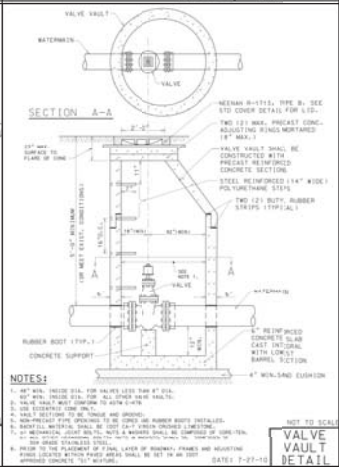
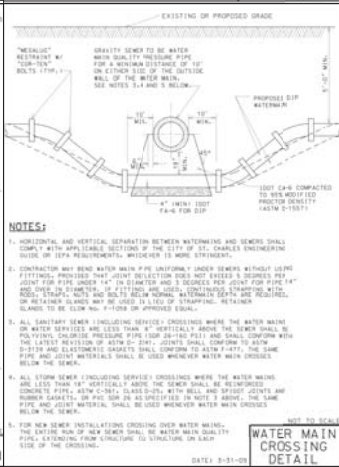
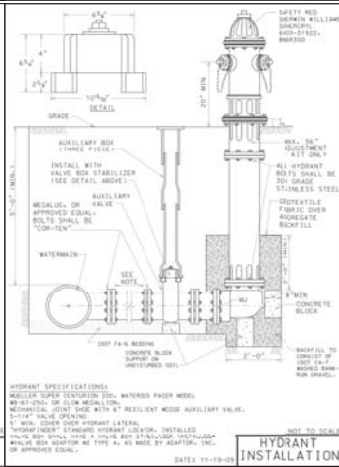
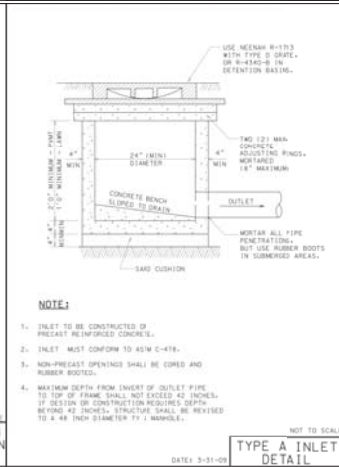
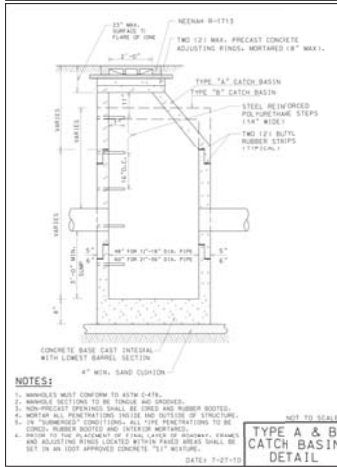
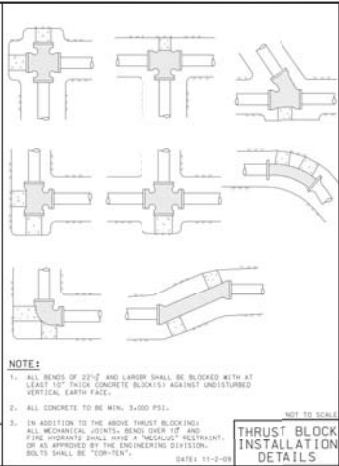
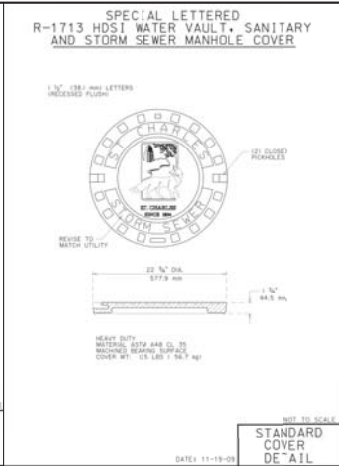
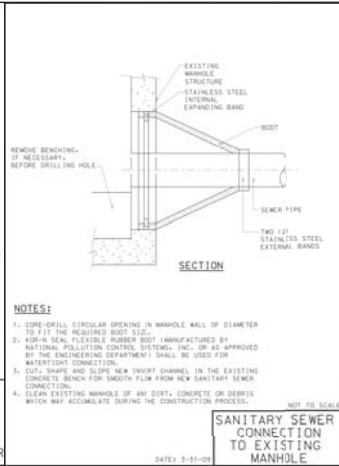
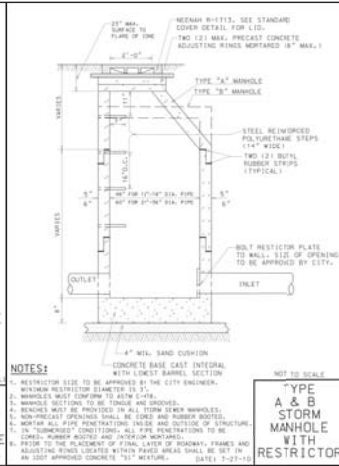
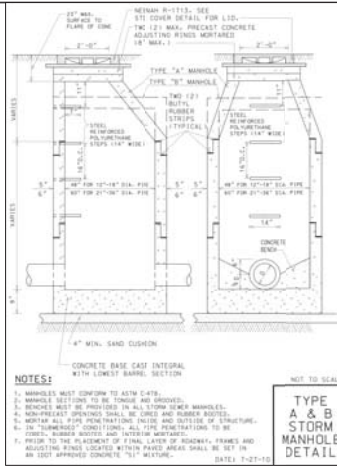
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
788.20 HWL			
788.00			23,154 CU. FT. OR 0,5315 AC-FT
787.00			21,648 CU. FT. OR 0,4970 AC-FT
786.00			17,192 CU. FT. OR 0,3947 AC-FT
785.00			12,209 CU. FT. OR 0,2803 AC-FT
784.00			9,306 CU. FT. OR 0,2136 AC-FT
783.00			6,599 CU. FT. OR 0,1515 AC-FT
782.00			4,090 CU. FT. OR 0,0939 AC-FT
781.00			1,925 CU. FT. OR 0,0442 AC-FT
780.20			335 CU. FT. OR 0,0077 AC-FT

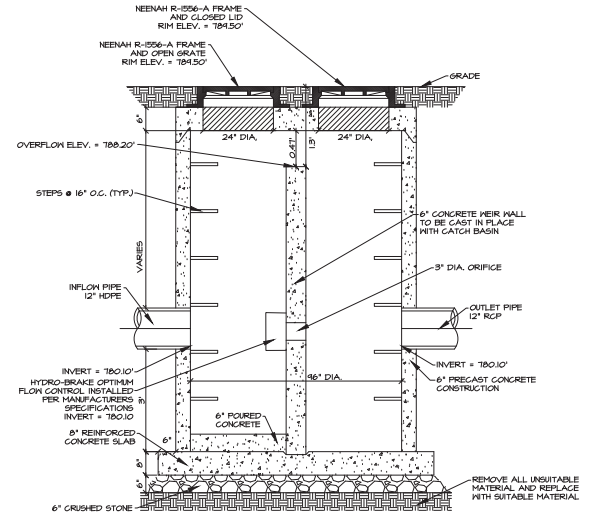
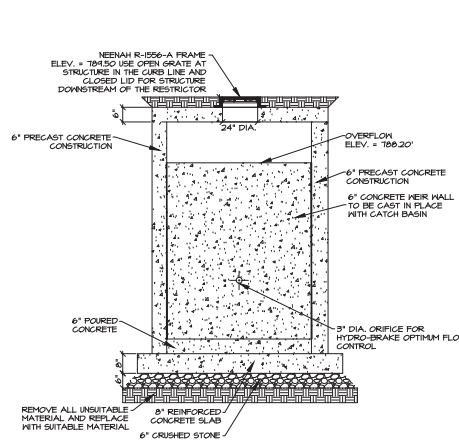
TOTAL POND V_{788.20} = 23,154 CU. FT.
 OR 0,532 AC-FT

VOLUME REQUIRED = 1,200 ACRE - FEET
 VOLUME ADDED EXISTING POND = 1,001 ACRE - FEET
 VOLUME LOST EXISTING POND = 0,227 ACRE - FEET
 VOLUME PROVIDED NEW PONDS = 0,532 ACRE - FEET
 VOLUME PROVIDED = 1,306 ACRE - FEET









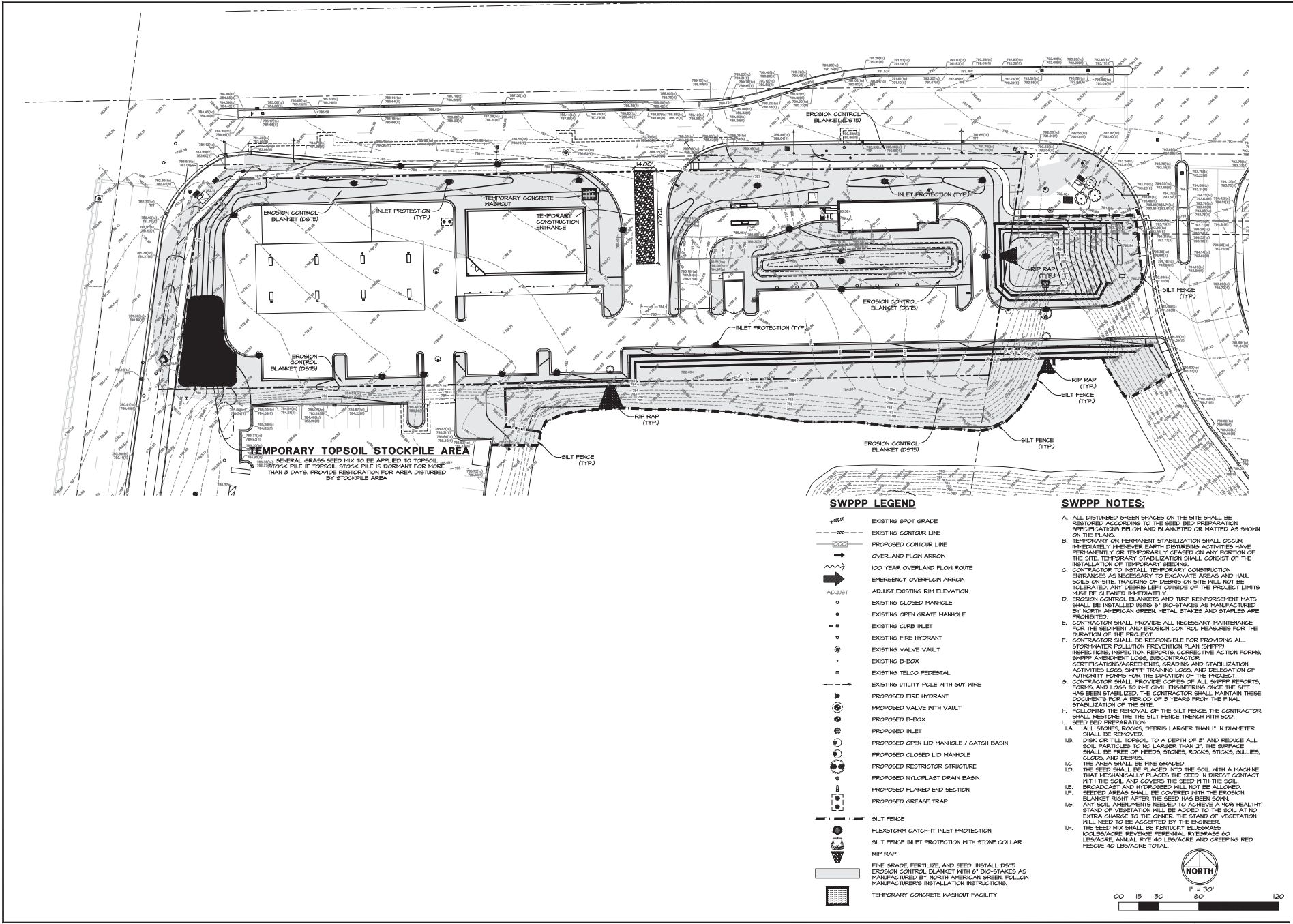
DETAIL - 96" CATCH BASIN #30 WITH RESTRICTOR

Technical Specification		
Control Point	Head (ft)	Flow (cfs)
Primary Design	5.100	0.096
Flush-Flow*	3.800	0.061
Kick-Flow*	1.859	0.049
Mass Flow		0.070

Hydro-Brake® Optimum Flow Control including:

- 8.158 gal. 304 stainless steel
- Heavy-duty stainless steel
- 100% stainless steel primary flow
- 100% stainless steel secondary flow
- 100% stainless steel tertiary flow
- 100% stainless steel quaternary flow
- 100% stainless steel quinary flow
- 100% stainless steel tertiary flow
- 100% stainless steel quaternary flow
- 100% stainless steel quinary flow

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/13/20
REV. SITE	6/30/20



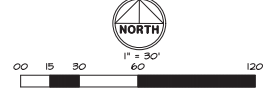
TEMPORARY TOPSOIL STOCKPILE AREA
 GENERAL GRASS SEED MIX TO BE APPLIED TO TOPSOIL STOCKPILE IF TOPSOIL STOCKPILE IS DORMANT FOR MORE THAN 30 DAYS. PROVIDE RESTORATION FOR AREA DISTURBED BY STOCKPILE AREA.

SWPPP LEGEND

- EXISTING SPOT GRADE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- ADJUST EXISTING RIM ELEVATION
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING VALVE VAULT
- EXISTING B-BOX
- EXISTING TELCO PEDESTAL
- EXISTING UTILITY POLE WITH GUY WIRE
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE VAULT
- PROPOSED B-BOX
- PROPOSED INLET
- PROPOSED OPEN LID MANHOLE / CATCH BASIN
- PROPOSED CLOSED LID MANHOLE
- PROPOSED RESTRICTOR STRUCTURE
- PROPOSED NYLON LAST DRAIN BASIN
- PROPOSED FLARED END SECTION
- PROPOSED GREASE TRAP
- SILT FENCE
- FLEXSTORM CATCH-INLET PROTECTION
- SILT FENCE INLET PROTECTION WITH STONE COLLAR
- RIP RAP
- FINE GRADE, FERTILIZE AND SEED. INSTALL DISTS EROSION CONTROL BLANKET WITH 6" BIG-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- TEMPORARY CONCRETE WASHOUT FACILITY

SWPPP NOTES:

- A. ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLAN.
- B. TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
- C. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO ELEVATE AREAS AND HAIL SOILS ON-SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.
- D. EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6" BIG-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. METAL STAPLES AND STAPLES ARE PROHIBITED.
- E. CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- G. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE CIVIL ENGINEERING ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
- H. FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR SHALL RESTORE THE SILT FENCE TRENCH WITH SOIL.
- I. SEED BED PREPARATION
 - 1A. ALL STONES, ROCKS, DEBRIS LARGER THAN 1" IN DIAMETER SHALL BE REMOVED.
 - 1B. DISK OR TILL TOPSOIL TO A DEPTH OF 3" AND REDUCE ALL SOIL PARTICLES TO NO LARGER THAN 2". THE SURFACE SHALL BE FREE OF NEEDS, STONES, ROCKS, STICKS, GULLIES, CLOS, AND DEBRIS.
 - 1C. THE AREA SHALL BE FINE GRADED.
 - 1D. THE SEED SHALL BE PLACED INTO THE SOIL WITH A MACHINE THAT MECHANICALLY PLACES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL. BROADCAST AND HYPODROMED WILL NOT BE ALLOWED.
 - 1E. SEEDING AREAS SHALL BE COVERED WITH THE EROSION BLANKET RIGHT AFTER THE SEED HAS BEEN SOWN.
 - 1F. ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 40% HEALTHY STAND OF VEGETATION WILL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER.
 - 1G. THE SEED MIX SHALL BE KENTUCKY BLUEGRASS 10 LBS/ACRE, REVERSE PERENNIAL RYEGRASS 40 LBS/ACRE, ANNUAL RYE 40 LBS/ACRE, AND CREEPING RED FESCUE 40 LBS/ACRE TOTAL.



WT GROUP
 3301 W. 120th Street, Suite 200, Mokena, IL 60450
 (815) 480-1000
 www.wtgroup.com

WJ Group
 Engineering & Design Consulting

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

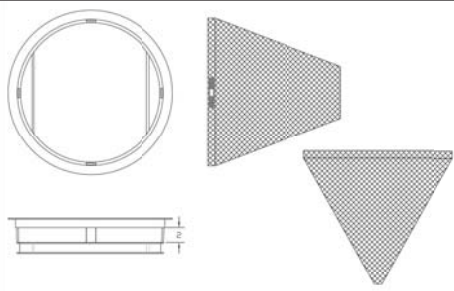
CIMA DEVELOPERS
 300180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	3/13/20
REV. SITE	6/30/20

CHECK/TOA
 DRAWN/TEP
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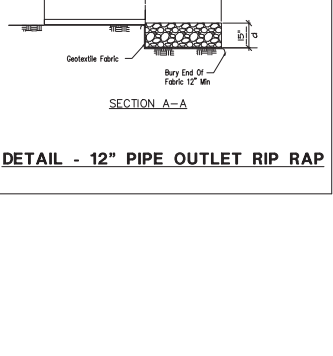
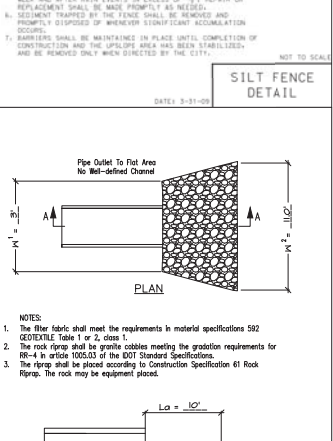
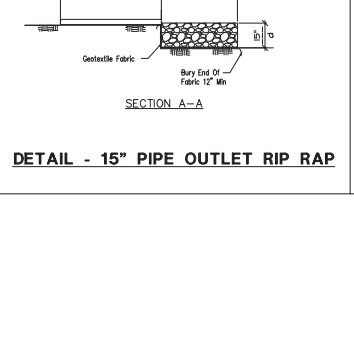
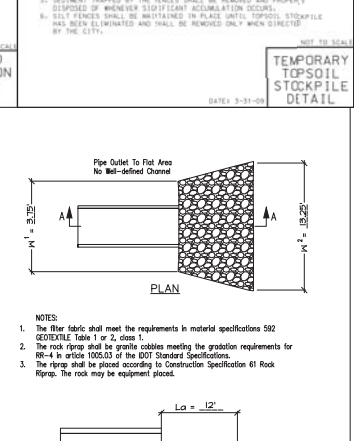
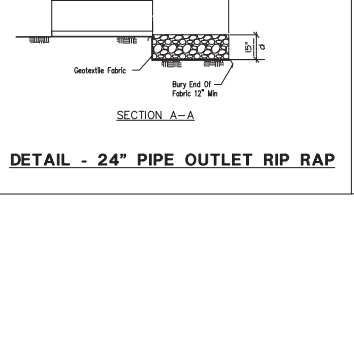
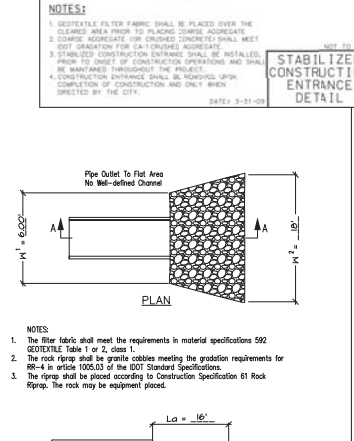
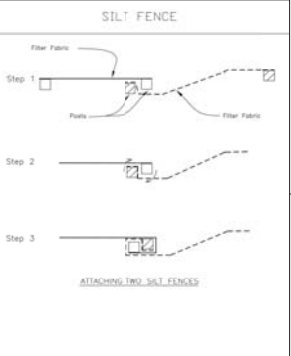
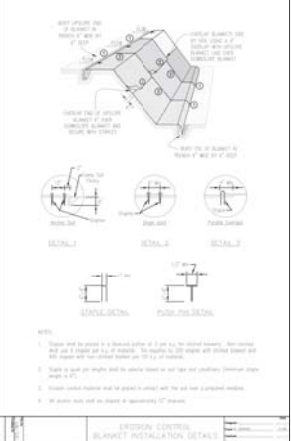
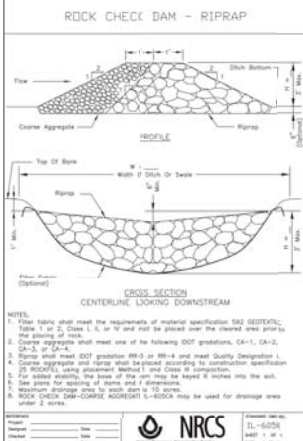
C-6.0
 STORMWATER
 POLLUTION PREVENTION
 PLAN



GENERIC NOTES:
 FINE: Top Flange Fabricated from 1/2"x1/2" angle. Base rim Fabricated from 1/2"x1/2" channel. Handles and suspension brackets Fabricated from 1/2"x1/2" Flat Bar. All steel conforming to ASTM-A36.
 STANDARD: All Pipe Fabricated from 4" Schedule 40 seamless galvanized pipe. Fabricated with separator ring. Be secure to steel rim with a stainless steel band and nut.

DATE	REVISION
	Original

Typical Round Catch-All
 Marathon Materials, Inc.



GENERAL NOTES

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING...
11. ILLINOIS DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION,' LATEST EDITION.
12. 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS,' LATEST EDITION.
...
15. UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, 29 CFR PART 1926, 'SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION.'
...
19. ILLINOIS ACCESSIBILITY CODE.
...
20. TITLE 35 OF THE ILLINOIS ADMINISTRATIVE CODE.
...
21. ALL REQUIRED PERMITS FROM THE APPROPRIATE GOVERNING AGENCY(S) SHALL BE OBTAINED FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS...
...
24. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES (SAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY TO DETERMINE THE LOCATION OF INTERFERING UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION...
...
27. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS TO THE SATISFACTION OF THE APPLICABLE UTILITY OWNERS.
...
30. THE SAFETY AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE PROVIDED THROUGHOUT THE DURATION OF CONSTRUCTION...
...
34. AFB-11T AND AFB-11C RECORD DRAWINGS INFORMATION SHALL BE SHOWN ON THE APPROVED ENGINEERING PLANS ISSUED FOR CONSTRUCTION...
...
35. AFB-11T AND AFB-11C RECORD DRAWINGS INFORMATION SHALL BE SHOWN ON THE APPROVED ENGINEERING PLANS ISSUED FOR CONSTRUCTION...
...
36. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM THE APPROPRIATE GOVERNING AGENCY(S)...

SITE GRADING AND PAVING

- 1. ALL SITE WORK, GRADING, AND PAVING OPERATIONS WITHIN THE LIMITS OF THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION,' LATEST EDITION...
2. EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING, AND STOCKPILING TOPSOIL...
3. EXCAVATED TOPSOIL SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE PROJECT ENGINEER...
4. THE SOILS INVESTIGATION REPORT FOR THE SITE AND ALL APPENDIX THEREIN TO BE SUPPORTING DOCUMENTS FOR THIS PROJECT...
5. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL...
6. THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE NOT NOTED TO BE REMOVED...
7. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING TRUCKS WHICH ARE NOT NOTICED...
8. REMOVED DRIVEWAY PAVEMENT, SIDEWALKS, CURBS, TRENCHES AND STUMPS SHALL BE EXCAVATED TO LEGALLY CORRECT SITE LOCATIONS...
...
14. MINIMUM COMPACTED STRENGTH:
M1. 9500 P.S.I. @ 3 INCHES D-150
M2. 4500 P.S.I. @ 24 INCHES PER A.C.U.
15. MAX WATER-CEMENTitious MATERIALS RATIO, 0.44 (AIR-ENTRAINED)
16. AIR CONTENT, 6% +/- 1.5% AT POINT OF DELIVERY FOR EXPOSED CONCRETE
17. WHEN FIBER FIBER REINFORCEMENT IS SPECIFIED, IT SHALL CONSIST OF FIBERGLASS FIBRE REINFORCEMENT POLYMER (FRP) FIBERS...
18. THE GRADING AND CONSTRUCTION OF THE PROPOSED PAVEMENT IMPROVEMENTS SHALL NOT CAUSE POONDING OF STORM WATER...
19. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY...
20. TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARDS...
...
33. WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE BOTH THE WATER MAIN AND DRAIN OR SEWER MAIN SHALL BE LOCATED IN A SEPARATE TRENCH OR TRENCHES...
34. ALL DUCTILE IRON WATER MAIN PIPE SHALL BE CONSTRUCTED WITH A MINIMUM OF 48 INCHES PROCTOR DENSITY...
35. ALL PRECAST CONCRETE STRUCTURES (MANHOLES, INLETS, CATCH BASINS, VALVE TENTS, ETC.)...
36. WATER MAIN MATERIALS (VALVES, FIBRE HYDRANTS, ETC.)...
...
41. ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR...

WATER MAINS AND SEWERS HORIZONTAL SEPARATION REQUIREMENTS

- 1. WATER MAINS SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER, OR SEWER SERVICE CONNECTION.
2. WATER MAINS MAY BE LOCATED CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN:
1. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION...
2. THE WATER MAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE SEWER...
3. THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER...
3. WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE BOTH THE WATER MAIN AND DRAIN OR SEWER MAIN SHALL BE CONSTRUCTED IN A SEPARATE TRENCH OR TRENCHES...
34. ALL DUCTILE IRON WATER MAIN PIPE SHALL BE CONSTRUCTED WITH A MINIMUM OF 48 INCHES PROCTOR DENSITY...
35. ALL PRECAST CONCRETE STRUCTURES (MANHOLES, INLETS, CATCH BASINS, VALVE TENTS, ETC.)...
36. WATER MAIN MATERIALS (VALVES, FIBRE HYDRANTS, ETC.)...

SANITARY SEWERS

- 1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS,' LATEST EDITION AND ALL SUCCESSIVE REVISIONS...
2. ALL SANITARY SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
3. ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 BUT NOT PIPER D-3094 WITH HATERIGHT JOINTS CONFORMING TO ASTM D-3312...
4. SANITARY SEWER CONSTRUCTION SHALL COMMENCE AT THE EXISTING MANHOLE AND ENJOIN CONNECTION POINTS INDICATED ON THE PLANS.
5. A WATERIGHT PLUS SHALL BE INSTALLED AND LEFT IN PLACE AT THE POINT OF COMMENCEMENT...
6. ALL SANITARY SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION BEDDING AND BEDDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
7. ALL SANITARY SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING...
8. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 98% MODIFIED PROCTOR DENSITY...
9. THE CONTRACTOR IS REQUIRED TO RECORD THE LOCATION OF ALL SEWERS AND FURNISH THE INFORMATION TO THE PROJECT ENGINEER...
10. A FLEXIBLE TYPE JOINT SHALL BE FURNISHED AT POINTS OF ENTRY INTO EXISTING TRENCHES FROM MANHOLES AND ALL SEWERS...
11. ALL REQUIRED MANHOLE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES...
12. AFTER FINAL ADJUSTMENTS HAVE BEEN MADE, ALL JOINTS IN PRECAST STRUCTURES SHALL BE MORTARED...
13. CIRCULAR SAG-GUT SEWER MAIN BY PROPER TOLLS 'SEWER-TAP' MACHINE OR SIMILAR AND PROPER INSTALLATION OF HALF-PIPE SADDLE OR HALF-TEE SADDLE.
14. ALL FLOOR DRAINS SHALL BE CONNECTED TO THE SANITARY SEWER...
15. UPON COMPLETION OF THE SANITARY SEWER CONSTRUCTION...
16. ALL FLOOR DRAIN SHALL BE CONNECTED TO THE SANITARY SEWER...
17. UPON COMPLETION OF THE SANITARY SEWER CONSTRUCTION...
18. ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS,' LATEST EDITION...
19. ALL WATER MAIN PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
20. ALL WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52 IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS...
21. ALL DUCTILE IRON WATER MAIN PIPE SHALL BE CONSTRUCTED WITH A MINIMUM OF 48 INCHES PROCTOR DENSITY...
22. ALL WATER MAIN TRENCH EXCAVATIONS AND PIPE FOUNDATION BEDDING AND BEDDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
23. ALL WATER MAINS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING...
24. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 98% MODIFIED PROCTOR DENSITY...
25. A WATERIGHT PLUS SHALL BE INSTALLED AND LEFT IN PLACE AT THE POINT OF COMMENCEMENT...
26. UPON COMPLETION OF SANITARY SEWER CONSTRUCTION ALL WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS...
27. DISINFECTION IN ACCORDANCE WITH SECTION 41-2.0 OF THE 'STANDARD SPECIFICATIONS'...

WATER MAINS

- 1. ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS,' LATEST EDITION...
2. ALL WATER MAIN PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
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8. A WATERIGHT PLUS SHALL BE INSTALLED AND LEFT IN PLACE AT THE POINT OF COMMENCEMENT...
9. UPON COMPLETION OF SANITARY SEWER CONSTRUCTION ALL WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS...
10. DISINFECTION IN ACCORDANCE WITH SECTION 41-2.0 OF THE 'STANDARD SPECIFICATIONS'...

WATER SERVICES AND CONNECTIONS

- 1. ALL WATER SERVICE PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION IV OF THE 'STANDARD SPECIFICATIONS.'
2. ALL WATER SERVICE LINES 2" IN DIAMETER OR SMALLER SHALL BE TYPE 'K' COPPER TUBING...
3. ALL WATER SERVICE FITTINGS INCLUDING CORPORATION STOPS, SERVICE BOXES AND BUFFALO BOXES SHALL BE AS MANUFACTURED BY THE MUELLER COMPANY...
4. SERVICE BOXES SHALL BE OF SUFFICIENT LENGTH TO PERMIT THE TOP TO BE INSTALLED FLUSH WITH THE FINISHED GRADE...
5. ALL VALVES, VALVE BOXES OR VALVE TENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF DIVISION IV, SECTION 44 OF THE 'STANDARD SPECIFICATIONS.'
6. ALL VALVES SHALL BE AMERICAN FLOW CONTROL SERIES 2500 DUCTILE IRON RESILIENT SEAT EPOXY COATED FLEXION VALVES...
7. ALL PRESSURE CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 46 OF THE 'STANDARD SPECIFICATIONS'...
8. ALL VALVES SHALL BE INSTALLED IN VALVE VALVE VALVE WITH A MINIMUM DIAMETER OF FIVE (5) FEET BELOW THE PRECAST CONCRETE GROUND SECTION...
9. ALL REQUIRED RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES...
10. BUTYLOK JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.

WATER MAINS AND SEWERS VERTICAL SEPARATION REQUIREMENTS

- 1. WATER MAINS SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS A MINIMUM OF EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER...
2. BOTH THE WATER MAIN AND DUCTILE IRON PIPE SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE...
3. A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED...
4. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET.

STORM SEWERS

- 1. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS,' LATEST EDITION...
2. ALL STORM SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION V OF THE 'STANDARD SPECIFICATIONS.'
3. ALL RCP STORM SEWER PIPE 12" IN DIAMETER AND LARGER SHALL BE REINFORCED CONCRETE PIPE, CLASS V, PER ASTM C-448 AND SECTION 31-1.02 OF THE 'STANDARD SPECIFICATIONS.'
4. ALL HDPE STORM SEWER PIPE SHALL BE RIGID HIGH DENSITY POLYETHYLENE PIPE WITH CORRUGATED EXTERIOR AND SMOOTH INTERIOR...
5. ALL PVC STORM SEWER PIPE SHALL BE POLYVINYL CHLORIDE SDR 26 PIPE PER ASTM D-3094...
6. ALL STORM SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION BEDDING AND BEDDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
7. ALL STORM SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING...
8. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 98% MODIFIED PROCTOR DENSITY...
9. A WATERIGHT PLUS SHALL BE INSTALLED AND LEFT IN PLACE AT THE POINT OF COMMENCEMENT...
10. UPON COMPLETION OF SANITARY SEWER CONSTRUCTION ALL WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS...
11. DISINFECTION IN ACCORDANCE WITH SECTION 41-2.0 OF THE 'STANDARD SPECIFICATIONS'...

WT GROUP
Avny Group
THE PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS 60174
30W180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555
ISSUE
TO DATE
REV. SITE 8/19/19
REV. SITE 8/26/19
REV. SITE 11/3/20
REV. SITE 2/4/20
REV. SITE 2/10/20
REV. SITE 3/10/20
REV. SITE 6/9/20
CHECK/NO
DRAWN/TEP
JOB-1916036C
C-7.0
PROJECT SPECIFICATIONS

STORMWATER POLLUTION PREVENTION NOTES

1. COPIES OF THE APPROVED STORM WATER POLLUTION PREVENTION PLANS SHALL BE MAINTAINED ON THE SITE AT ALL TIMES ALONG WITH THE PERMIT, INCIDENT OF NON-COMPLIANCE (I/CN) FORM AND INSPECTION FORMS.
2. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE CITY ENGINEER. CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE PROJECT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- 3.1. ILLINOIS QUALIFIED PERSONNEL SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 3.2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INFORM ANY SUBCONTRACTORS WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS EPA.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED.
5. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED FOR REVIEW.
6. THE GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE PROJECT SITE MUST BE NOTIFIED ONE (1) WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES AND ONE (1) WEEK PRIOR TO THE FINAL INSPECTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE GOVERNING AUTHORITY.
8. IF AFTER REPEATED FAILURE ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL EROSION POLLUTION, THE GOVERNING AUTHORITIES RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
9. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, LATEST EDITION.
10. INLET PROTECTION SHALL BE INSTALLED AROUND EACH INLET OR CATCH BASIN. THESE SHALL BE MAINTAINED UNTIL THE TEMPORARY DRAINAGE AREAS HAVE ADEQUATE GRASS COVER OR APPROPRIATE GROUND STABILIZATION.
11. ALL STREETS ADJACENT TO THE SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS.
12. CONTRACTORS SHALL MINIMIZE BARE EARTH SURFACES DURING CONSTRUCTION.
13. ALL DISTURBED AREAS SHOULD BE SEEDED OR SOODED WITHIN THREE (3) DAYS OF FINAL DISTURBANCE.
14. WHENEVER DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOE OF DRAINAGE STRUCTURES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED IMMEDIATELY.
15. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF INLET PROTECTION OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
16. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A MANNER AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THROUGHTWAYS. ALL SEDIMENT SPILLED, DROPPED, MASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
17. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE FROM THE PROPOSED CONSTRUCTION ENTRANCE. THE USE OF ANY OTHER ACCESSSES IS PROHIBITED.
18. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED OR OTHERWISE DISCHARGED FROM THE SITE INTO SEDIMENT BASINS, SILT TRAPS, DEWATERING BAGS OR POLYMER MIXING SHALL, DEWATERING DIRECTLY INTO FIELD TILES, WETLANDS, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, STREAMS, LAKES, PONDS, RIVERS, OR STORMWATER SYSTEMS IS PROHIBITED.
19. ALL STOCKPILES SHOULD BE STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
20. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY ON THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:
 - 20.1. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 20.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (I.E. THE TOTAL PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.
21. EROSION CONTROL BLANKETS SHALL BE USED IN AREAS OF 6:1 SLOPE OR STEEPER AND AS SHOWN ON THE PLANS.
22. ALL DISTURBED GREEN SPACES WITHIN THE R.O.W. SHALL BE RESTORED WITH 6" OF TOPSOIL AND CLASS 2A SEEDING.
23. THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SHUTDOWN SHALL BE ADDRESSED EARLY IN THE FALL, GRASSING SEASON SO THAT THE SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER. PROPER EROSION AND SEDIMENT CONTROL, ALL OPEN AREAS THAT ARE TO REMAIN IDEL THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GRASSING SEASON. THE AREAS TO BE WORKED BEFORE THE END OF THE GRASSING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT INCLUDE VEGETATIVE COVER SUCH AS EROSION CONTROL, BLANKET AND HEAVY MULCHING.
24. ONCE ALL DISTURBED AREAS WITHIN THE R.O.W. SHALL BE RESTORED WITH SEED AND BLANKET OR SOIL AS SHOWN IN THE PLANS, SILT FENCING SHALL BE REMOVED AND THE FENCE SHALL BE RESTORED WITH TOPSOIL, SEED AND FERTILIZER AND BLANKETING. RESTORATION SHALL OCCUR IMMEDIATELY FOLLOWING THE REMOVAL OF THE SILT FENCE. RESTORATION SHALL BE COMPLETED THE SAME WORKING DAY AS ANY SILT FENCING REMOVAL, AND AT LEAST 2 HOURS BEFORE ANY FORECASTED PRECIPITATION.
25. ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PROPERLY STABILIZED OR DISPOSED OFF BY THE CONTRACTOR.

SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION SCHEDULE

1. OBTAIN NPDES AND OTHER APPLICABLE SITE PERMITS AND REVIEW PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SHEETS THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
3. INSTALL PERIMETER SEDIMENT CONTROL MEASURES (E.G. SILT FENCE).
4. INSTALL PROTECTION DEVICES FOR EXISTING DRAINAGE INLET AND OUTLET STRUCTURES, IF APPLICABLE.
5. PERFORM STORMWATER POLLUTION PREVENTION SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP.
- 5.1. ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION (SEE THE STORMWATER POLLUTION PREVENTION NOTES AND STORMWATER POLLUTION PREVENTION MAINTENANCE SCHEDULE FOR ADDITIONAL INFORMATION). CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 5.2. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTORS.
- 5.3. PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED.
6. PERFORM SITE CLEANING AND GRUBBING AND REMOVE EXISTING VEGETATION AS NEEDED FOR INITIAL SITE GRADING OPERATIONS. VEGETATED SITE AREAS THAT ARE NOT INCLUDED WITH THE INITIAL GRADING SHALL REMAIN UNDISTURBED. ALL TOPSOIL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE AND STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
7. REMOVE ALL ITEMS NOTED FOR REMOVAL IN THE DEMOLITION PLAN.
8. PERFORM ROUGH GRADING OPERATIONS, CONSTRUCT OVERFLOW ROUTES, AND STABILIZE ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO STEEP SLOPES, DRAINAGE CHANNELS AND SWALES (I.E. TEMPORARY AND PERMANENT SEEDING, EROSION CONTROL, BLANKETS, RIP-RAP, CHECK DAMS, TEMPORARY DRAINAGE DIVERSIONS, ETC.).
9. INSTALL TEMPORARY CONCRETE WASHOUT FACILITY.
10. INSTALL BUILDING FOUNDATIONS AND BEGIN BUILDING CONSTRUCTION.
11. INSTALL DETENTION SYSTEMS, STORM SEWERS AND OTHER SITE UTILITIES AND IMMEDIATELY INSTALL DRAINAGE INLET AND OUTLET PROTECTION DEVICES AS INDICATED ON THE PLANS.
12. PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.
13. INSTALL CURBS AND BEGIN SITE PAVING OPERATIONS (I.E. DRIVEWAYS, SIDEWALKS, ETC.).
14. COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS.
15. REMOVE TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.
16. SUBMIT A NOTICE OF TERMINATION (N.O.T.) TO THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY UPON COMPLETION OF ALL SITE CONSTRUCTION AND FINAL SITE STABILIZATION (I.E. OVER 10% VEGETATIVE COVER).



THE PRIDE OF KANE COUNTY
3301/180 BUTTERFIELD ROAD
SAINT CHARLES, ILLINOIS 60174

CIMA DEVELOPERS
3301/180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

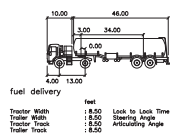
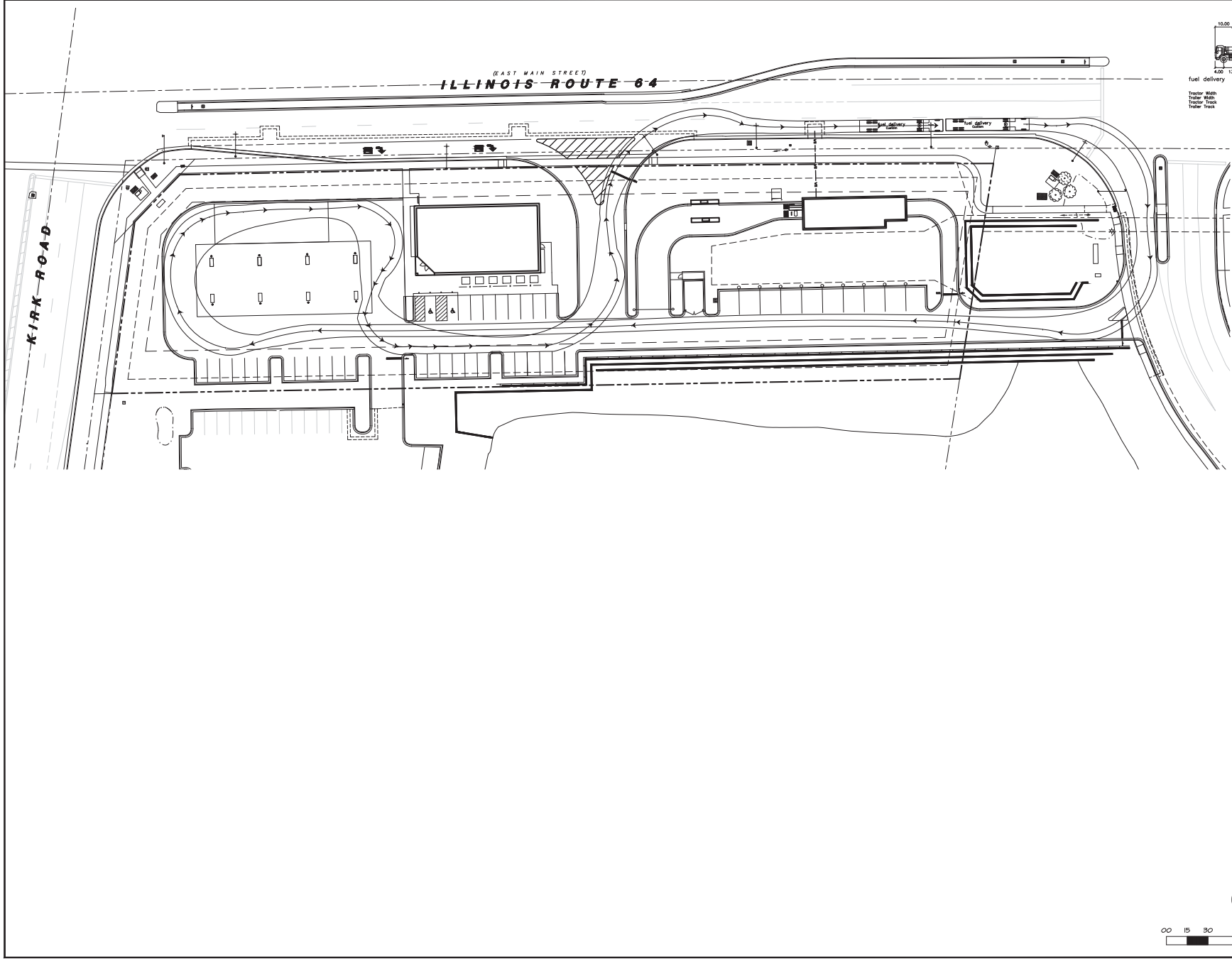
ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	3/10/20
REV. SITE	6/30/20

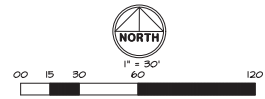
CHECK/TO
DRAWN/TEP
JOB:1910803C

C-7.1
PROJECT SPECIFICATIONS

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY



	feet		feet
Tractor Width	8.50	Load to Lock Time	18.0
Trailer Width	8.50	Steering Angle	130.0
Tractor Track	1.50	Articulating Angle	70.0
Trailer Track	8.50		



AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

WT GROUP
 ENGINEERING AND PLUMBING CONSULTANTS
 1224 200 6333 ST. CHARLES, ILLINOIS 60174
 WWW.WTGROUP.COM TEL: 630.333.1000 FAX: 630.333.1001
 A COMMITMENT TO THE WT GROUP, LLC

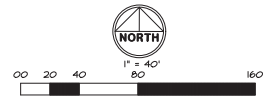
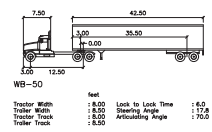
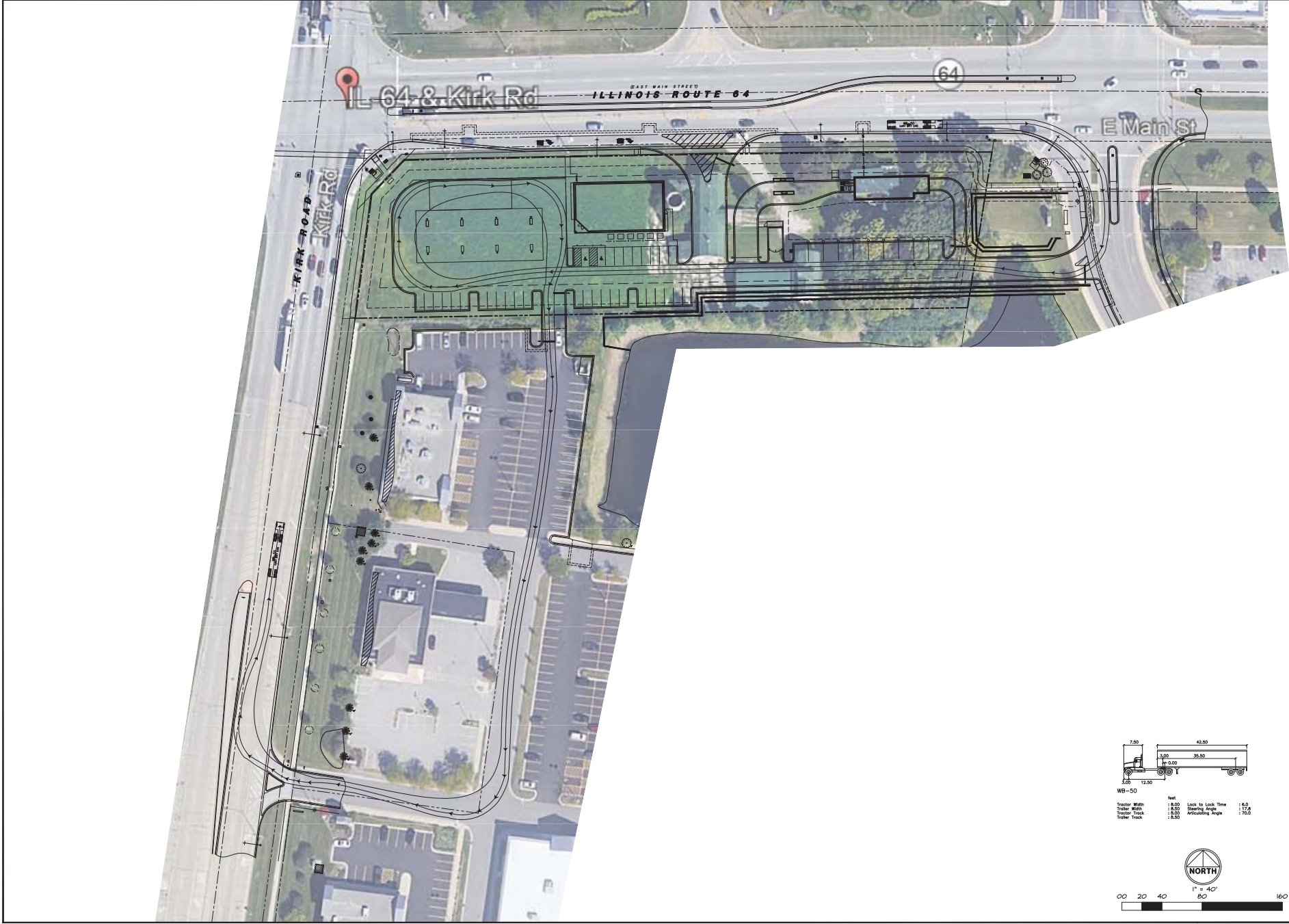
WT Group
 Engineering • Design • Consulting

CIMA DEVELOPERS
 THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

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REV. SITE	8/26/19
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REV. SITE	2/11/20
REV. SITE	2/18/20
REV. SITE	4/8/20
REV. SITE	6/29/20

CHECKED: TGA
 DRAWN: TEP
 JOB: 1910803C

C-8.0
 TRUCK CIRCULATION PLAN



AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

WT GROUP
 ENGINEERING AND PROJECT MANAGEMENT
 224.293.0333 | 224.293.0444 | E 0102
 www.wtgroup.com | 1000 W. Wacker Drive, Suite 4000
 Chicago, IL 60601

WV Group
 Engineering & Design Consulting

CIMA DEVELOPERS
 30W180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

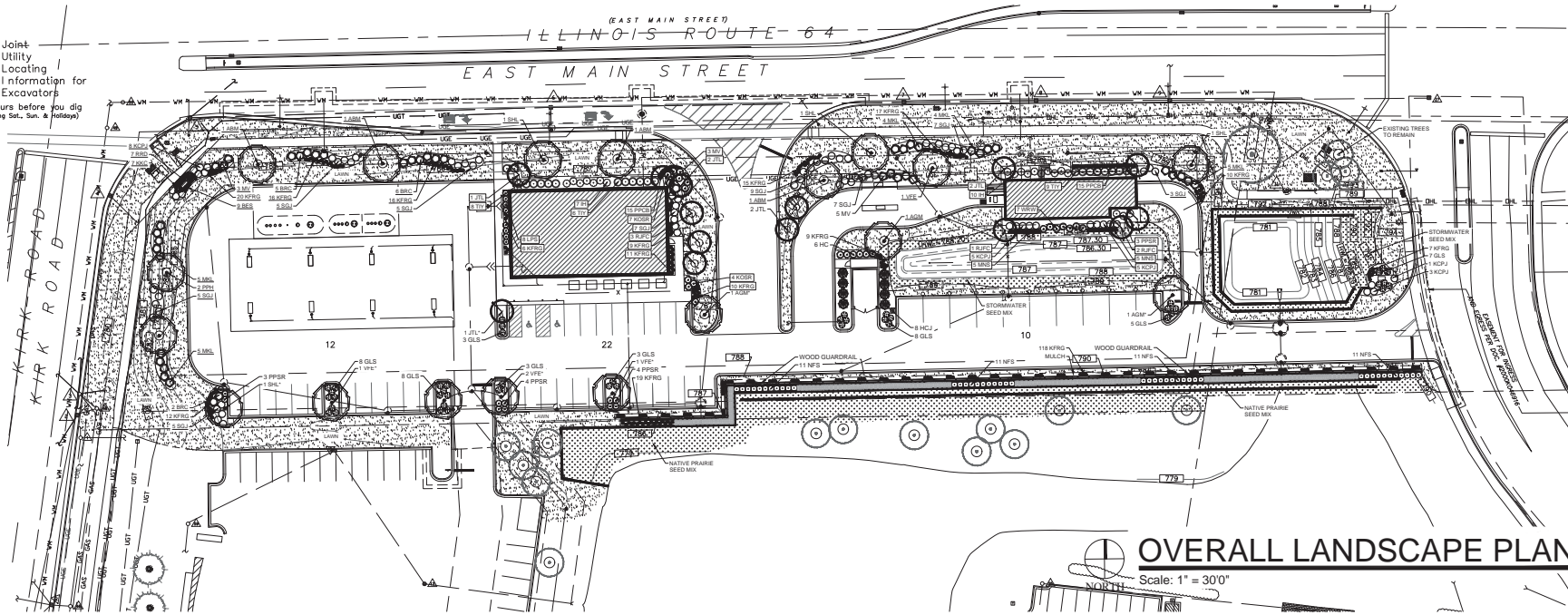
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REV. SITE	4/30/20
REV. SITE	6/29/20

CHECK: TOA
 DRAWN: TEP
 JOB: 1910803C

C-9.0
 FIRE APPARATUS
 CIRCULATION PLAN

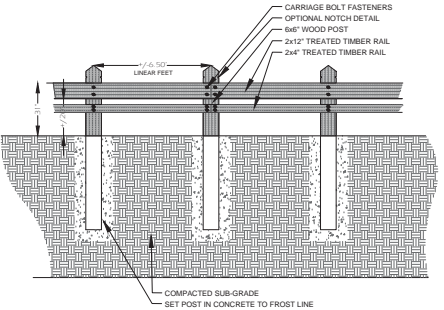


Joint Utility Locating Information for Excavators
Call 48 hours before you dig (excluding Sat., Sun. & Holidays)



OVERALL LANDSCAPE PLAN

Scale: 1" = 30'0"

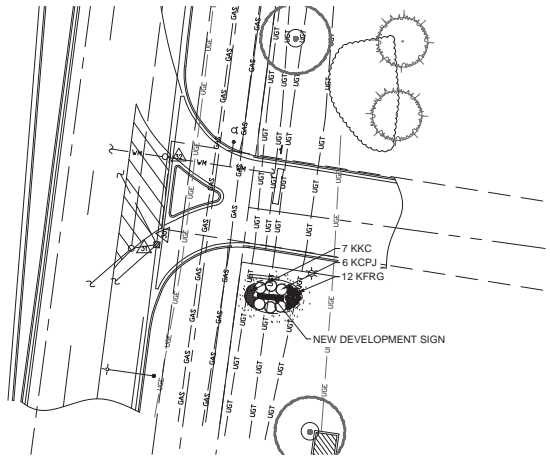


WOOD GUARDRAIL SECTION

1 DETAIL N.T.S.



EXAMPLE OF WOOD GUARDRAIL



KIRK ROAD MONUMENT SIGN LANDSCAPE

Scale: 1" = 10'0"



Shade Trees (Deciduous)

ABM	Autumn Blaze Maple
BRM	Bristle Maple
DHL	Skyline Honeylocust
ADM	Autumn Gold Kalmian
VEE	Valley Forge American Elm

Ornamental Trees (Deciduous)

BRM	Bristle Maple
RFC	Red Jewel Flowering Crabapple
JTL	Japanese Tree Lilac

Evergreen Trees

HCI	Hatsi Columnar Juniper (upright)
-----	----------------------------------

Evergreen Shrubs

SGI	Sea Green Juniper
KCPJ	Kelly Compact Effort Juniper
TIV	Tautou Intermediate Yew

Deciduous Shrubs

BAC	Bright Red Chokeberry
HC	Hiking Hedge Coleonaster
HC	Innocent Herbaceous
GLS	Green Low Fragrant Sumac
KOSR	Knox Oak Small Rose
PPSR	Pink Pavement Series Rose
NOS	Nixon Bush Spirea
MIC	Milken Dwarf Elm
MV	Mohican Viburnum
WVW	White & Rose Compact Weigela

Ornamental Grasses

KFRG	Karl Foerster Feather Reed Grass
------	----------------------------------

Herbaceous Perennials

RSD	Roy Robinson Daylily
PPCR	Pink Purple Coreopsis
OC	Dwarf Cosmos
BS	Black-eyed Susan
NVS	May Night Salvia

PLANT ABBREVIATIONS

BUILDING FOUNDATION
STREET FRONTAGE
PARKING ISLAND TREE*

Cardino Native Plant Nursery
www.cardinonativeplantnursery.com
128 Sunset Drive
Waukegan, Indiana 46574
Ph: 574-586-2412

Stormwater Seed Mix
For Use on Stormwater Management Ponds (SWMP) side slopes to Normal Water Line (NWL)

Botanical Name	Common Name	PLS	Dances/Acre
Permanent Grasses/Sedges/Rushes:			
Carex crinitata	Crested Oval Sedge		1.00
Carex frankii	Bristly Cattail Sedge		1.00
Carex lasiocoma	Buttoned Sedge		2.00
Carex (sparganoides v. cephaloides)	Rough Clustered Sedge		2.00
Carex vulpinoidea	Brown Fox Sedge		6.00
Eriochloa ovata	Blunt Spike Rush		0.50
Elymus virginicus	Virginia Wild Rye		12.00
Glyceria striata	Fowl Manes Grass		1.25
Aeluropus effusus	Common Rush		1.00
Aeluropus lamiifolius	Torney's Rush		0.25
Lernaea arvensis	Rice Cut Grass		1.00
Panicum strigosum	Switch Grass		2.00
Scirpus atrovirens	Dark Green Rush		1.00
Scirpus cyperinus	Wood Grass		45.50
Scirpus (Buxifolia)	River Bulrush		0.25
Scirpus validus	Great Bulrush		6.00
Total			45.75
Temporary Cover:			
Avena sativa	Common Oat		360.00
Lolium multiflorum	Annual Ryegrass		135.00
Total			474.00
Forbs:			
Alisma spp.	Water Plantain (Various Mix)		4.25
Asclepias incarnata	Swamp Milkweed		1.50
Bidens spp.	Bidens (Various Mix)		2.00
Helianthus autumnalis	Sneezeweed		3.00
Mimulus ringens	Monkey Flower		1.00
Pentstemon axillaris	Ditch Starwisp		0.50
Polygonum pennsylvanicum	Pinkweed		4.00
Rudbeckia subtomentosa	Sweet Black-eyed Susan		1.00
Sagittaria arifolia	Broad Leaf Arrowweed		1.00
Senecio hebecarpa	Wild Senecio		1.00
Thalictrum dasycarpum	Purple Meadow Rue		2.00
Total			23.25

Approximate area of coverage:
Total area (SF) of coverage surrounding SWM ponds: 2,690
Total area (acres) of coverage surrounding SWM ponds: 0.06

STORMWATER SEED MIX



THE PRIDE OF KANE COUNTY

Southeast Corner of Main St. & Kirk Rd. St. Charles, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.3.19	ISSUE TO OWNER
10.25.19	REVISIONS
03.03.20	REVISIONS
05.15.20	CITY COMMENTS
05.20.20	CITY COMMENTS
05.28.20	REV. MONUMENT SIGN
06.22.20	REVISED CIVIL
07.21.20	REVISED CIVIL
08.03.20	REVISED CIVIL

SHEET TITLE

OVERALL LANDSCAPE PLAN

PROJECT MANAGER	WDH
PROJECT NUMBER	19-066
DATE	08.03.20
SHEET NUMBER	

L 1.0

Joint Utility Locating Information for Excavators
Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

SHADE TREES (DECIDUOUS)
 ABM Autumn Blaze Maple
 PPM Prairie Pride Hackberry
 SHL Skyline Honeylocust
 AGM Autumn Gold Maidenhair
 VFE Valley Forge American Elm

ORNAMENTAL TREES (DECIDUOUS)
 RFH Rising Fire American Hornbeam
 RJFC Red Jewel Flowering Crabapple
 JTL Ivory Silk Japanese Tree Lilac

EVERGREEN TREES
 HCl Metal Columnar Juniper (upright)

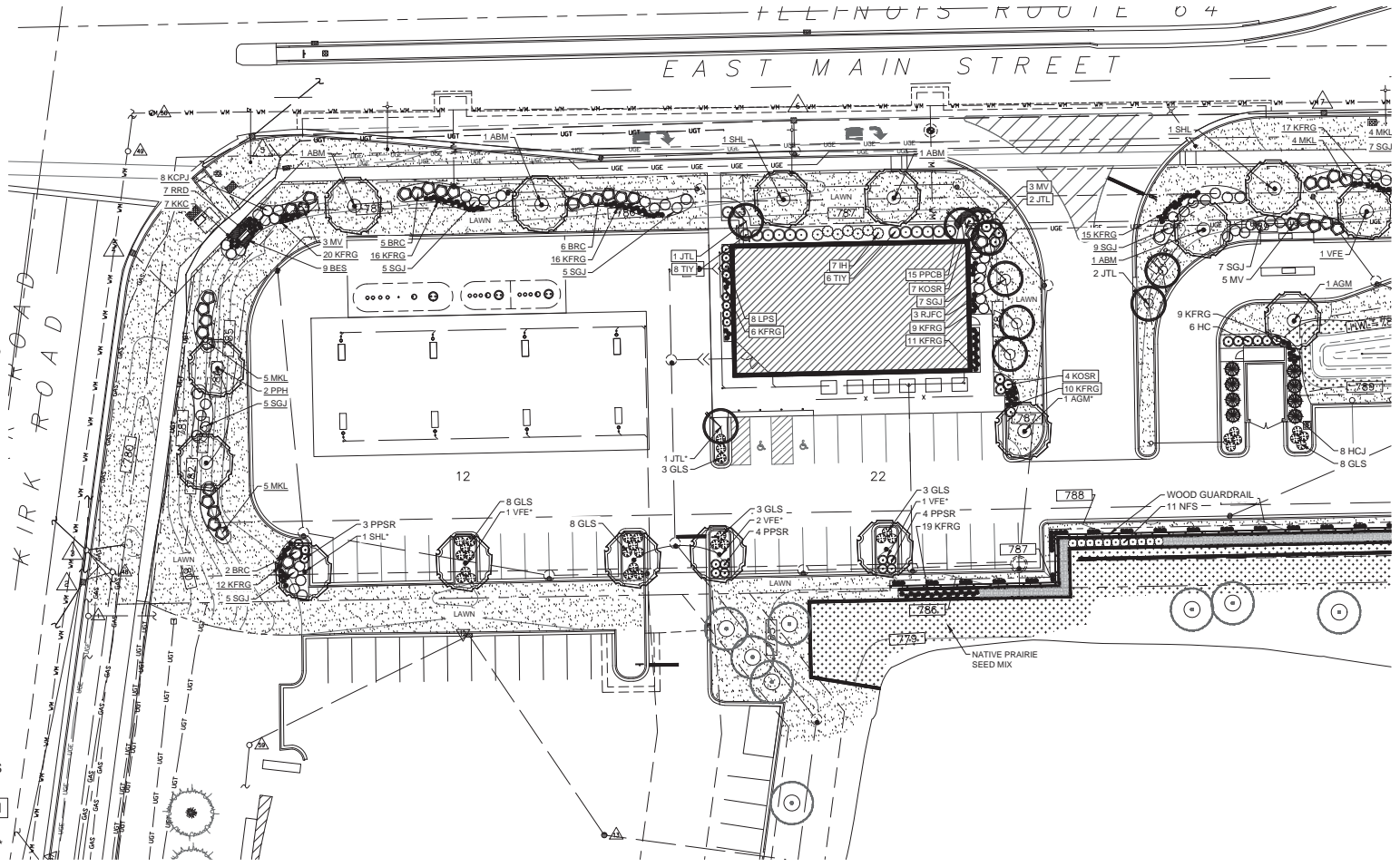
EVERGREEN SHRUBS
 SGJ Sea Green Juniper
 KCPJ Kallay Compact Pfitzer Juniper
 TTY Taunton Intermediate Yew

DECIDUOUS SHRUBS
 BRC Brilliant Red Chokeberry
 HC Peking (Hedge) Cotoneaster
 IH Incredible Hydrangea
 GLS Gro Low Fragrant Sumac
 KOSR Knock Out Shrub Rose
 PPSR Pink Pavement Series Rose
 NPS Neon Flash Spirea
 NKL Niles Kim Dwarf Lilac
 MV Mohican Viburnum
 WRW Wine & Roses Compact Wiegela

ORNAMENTAL GRASSES
 KFRG Karl Foerster Feather Reed Grass

HERBACEOUS PERENNIALS
 RRD Rosy Returns Daylily
 PPCB Palace Purple Coralbells
 KKC Dwarf Catmint
 BES Black-eyed Susan
 MNS May Night Salvia

PLANT ABBREVIATIONS
 BUILDING FOUNDATION
 STREET FRONTAGE
 PARKING ISLAND TREE*



ENLARGED LANDSCAPE PLAN
 Scale: 1" = 20'0"

HELLER & ASSOCIATES, LLC
 LANDSCAPE ARCHITECTURE
 P.O. Box 1359
 Lake Geneva, Wisconsin 53147-1359
 ph 262.639.9733
 david@vdayheller.com
 www.vdayheller.com

CIMA DEVELOPERS
 THE PRIDE OF KANE COUNTY

Southeast Corner of Main St. & Kirk Rd.
 St. Charles, IL

ISSUANCE AND REVISIONS

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ENLARGED LANDSCAPE PLAN

PROJECT MANAGER WDH
 PROJECT NUMBER 19-066
 DATE 08.03.20
 SHEET NUMBER

L 1.1



Joint Utility Locating Information for Excavators
Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

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- ABM Autumn Blaze Maple
 - PPH Prairie Pride Hackberry
 - SHL Skyline Honeylocust
 - AGM Autumn Gold Maidenhair
 - VFE Valley Forge American Elm

- ORNAMENTAL TREES (DECIDUOUS)**
- RFH Rising Fire American Hornbeam
 - RJFC Red Jewel Flowering Crabapple
 - JTL Ivory Silk Japanese Tree Lilac

- EVERGREEN TREES**
- HCI Hetzi Columnar Juniper (upright)

- EVERGREEN SHRUBS**
- SGJ Sea Green Juniper
 - KCPJ Kallay Compact Pfitzer Juniper
 - TIY Taunton Intermediate Yew

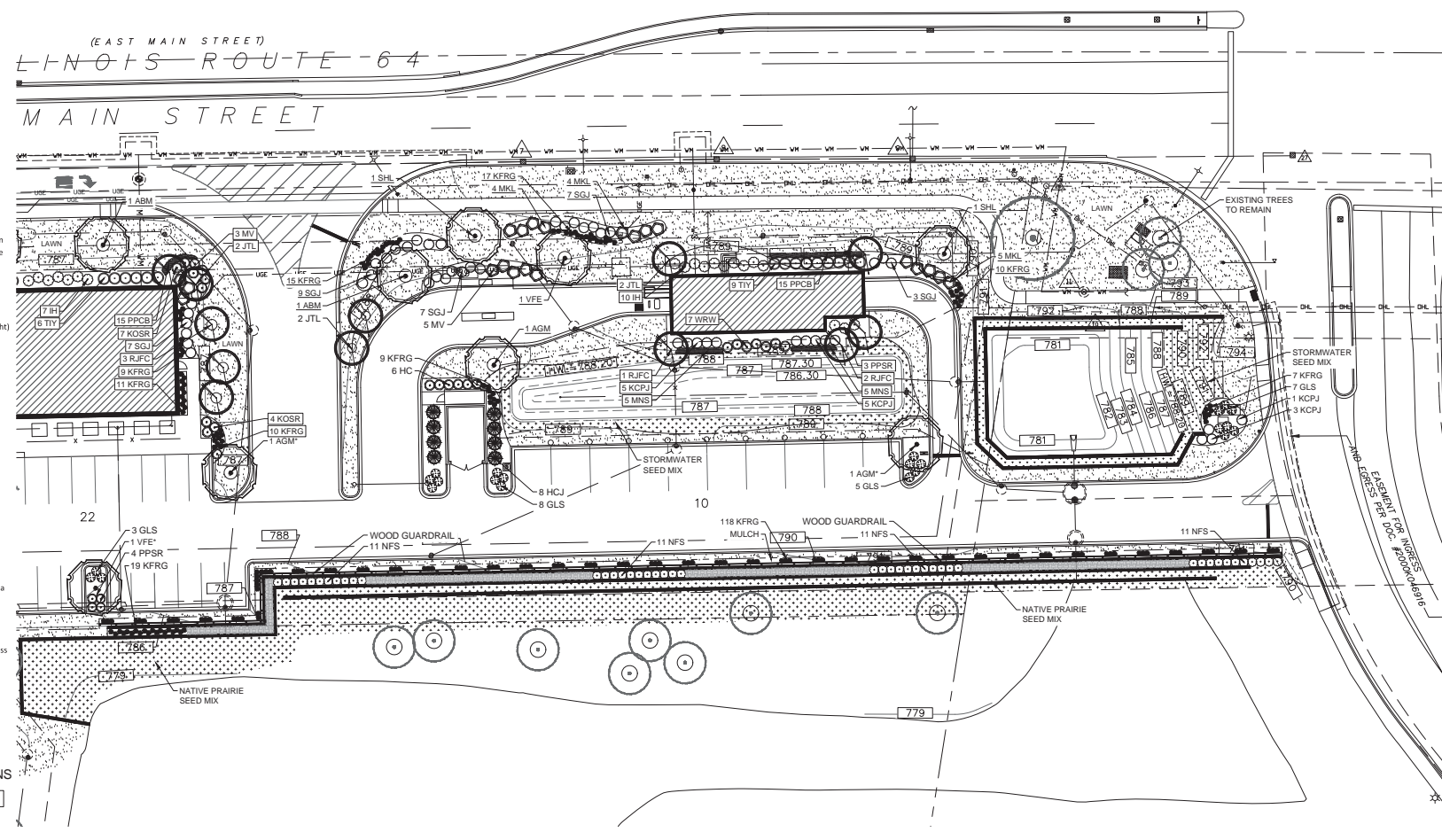
- DECIDUOUS SHRUBS**
- BRC Brilliant Red Chokeberry
 - HC Peking (Hedge) Cotoneaster
 - IH Incrediball Hydrangea
 - GLS Gro Low Fragrant Sumac
 - KOSR Knock Out Shrub Rose
 - PPSR Pink Pavement Series Rose
 - NFS Neon Flash Spirea
 - MKL Miss Kim Dwarf Lilac
 - MV Mohican Viburnum
 - WRW Wine & Roses Compact Wiegela

- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass

- HERBACEOUS PERENNIALS**
- BRD Rosy Returns Daylily
 - PPCB Palace Purple Coralbells
 - KKC Dwarf Catmint
 - BES Black-eyed Susan
 - MNS May Night Salvia

PLANT ABBREVIATIONS

- BUILDING FOUNDATION
- STREET FRONTAGE
- PARKING ISLAND TREE*



ENLARGED LANDSCAPE PLAN
Scale: 1" = 20'

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
dave@vhavheller.com
www.vhavheller.com



THE PRIDE OF KANE COUNTY

Southeast Corner of
Main St. & Kirk Rd.
St. Charles, IL

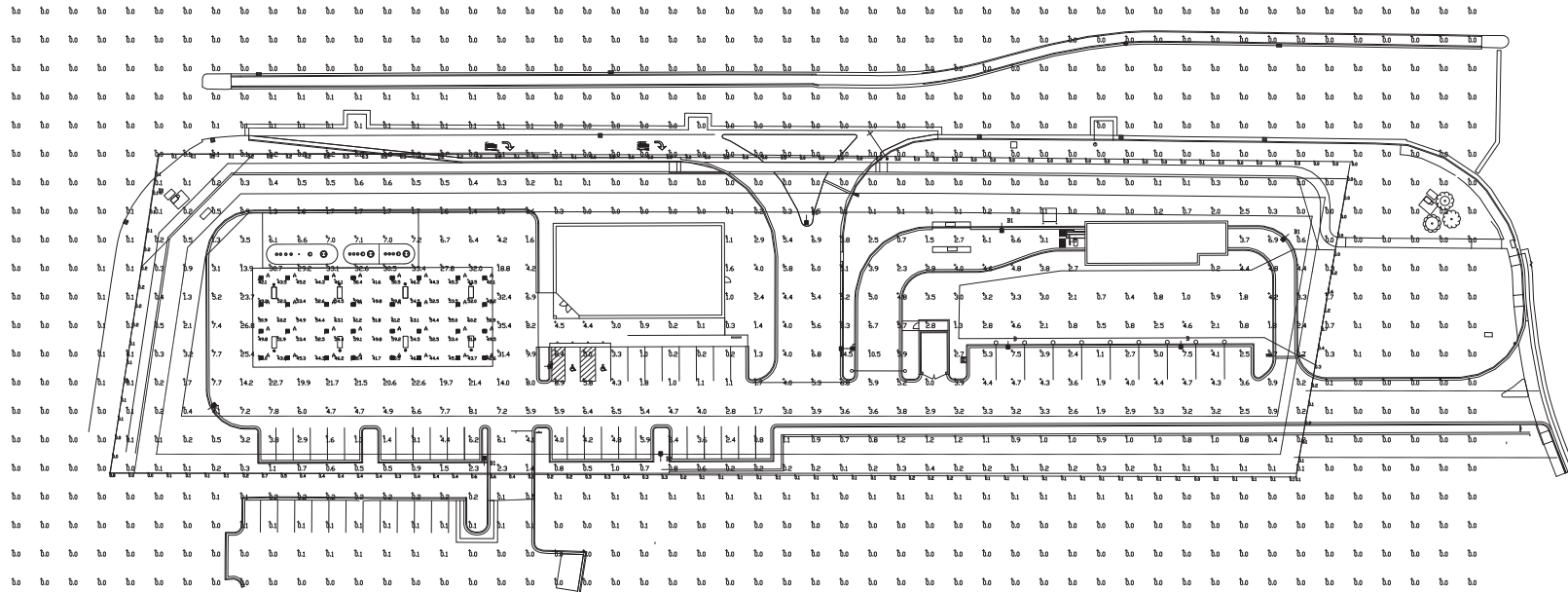
ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.3.19	ISSUE TO OWNER
10.25.19	REVISIONS
03.03.20	REVISIONS
05.15.20	CITY COMMENTS
05.20.20	CITY COMMENTS
05.28.20	REV. MONUMENT SIGN
06.22.20	REVISED CIVIL
07.21.20	REVISED CIVIL
08.03.20	REVISED CIVIL

SHEET TITLE
ENLARGED LANDSCAPE PLAN

PROJECT MANAGER	WDH
PROJECT NUMBER	19-066
DATE	08.03.20
SHEET NUMBER	

L 1.2



Luminaire Schedule		Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts		
Symbol	Qty	Label								
	32	A	SINGLE	SCV-LED-18L-SC-50	MTB @ 15'	1.000	1.000	1.000	15410	103
	3	B	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-SINGLE-16'PDLE+2'BASE		1.000	1.000	1.000	19664	148.5
	6	BI	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-IL-SINGLE-16'PDLE+2'BASE		1.000	1.000	1.000	12568	148.5
	1	C	DI80	SLM-LED-18L-SIL-FT-50-70CRI-DI80-16'PDLE+2'BASE		1.000	1.000	1.000	39328	297

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL_CALC_POINTS	Illuminance	Fc	1.52	35.4	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	50.74	631	41.6	1.22	1.52
EAST PROPERTY LINE	Illuminance	Fc	0.31	1.6	0.0	N.A.	N.A.
NORTH PROPERTY LINE	Illuminance	Fc	0.07	0.3	0.0	N.A.	N.A.
SOUTH PROPERTY LINE	Illuminance	Fc	0.20	0.7	0.0	N.A.	N.A.
WEST PROPERTY LINE	Illuminance	Fc	0.11	0.2	0.0	N.A.	N.A.
INSIDE CURB	Illuminance	Fc	7.21	35.4	0.0	N.A.	N.A.



[Click image to open Product Page](#)

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in luminaire LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature notes does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

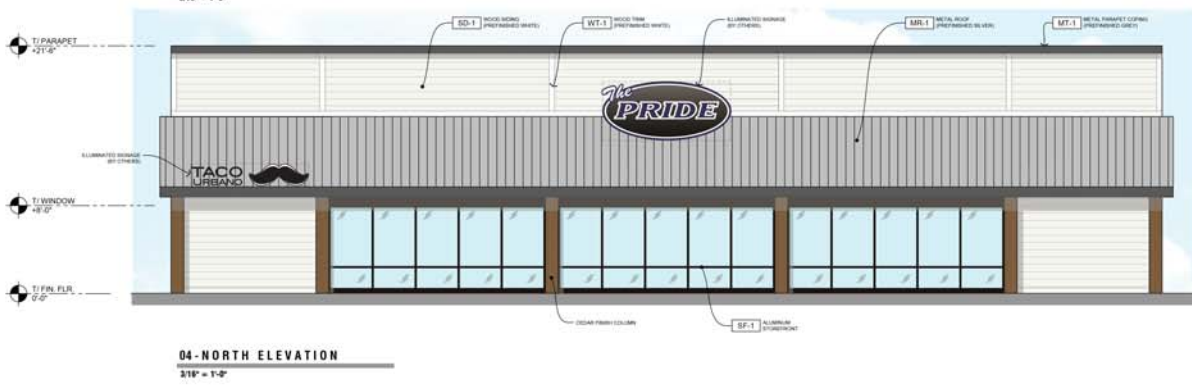
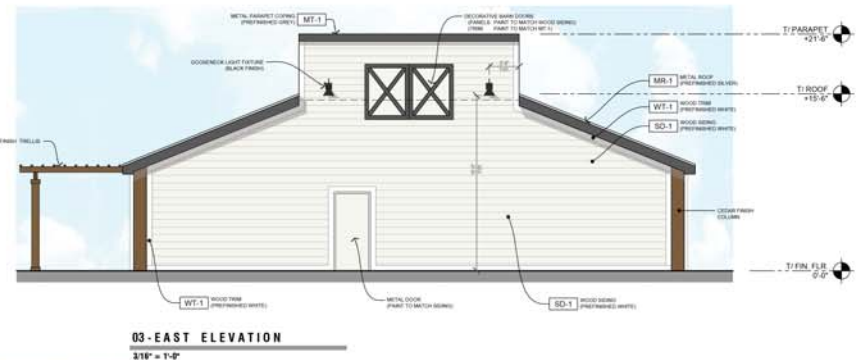
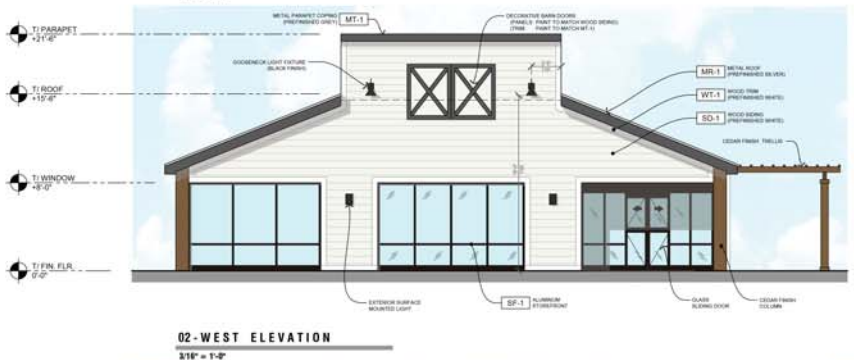
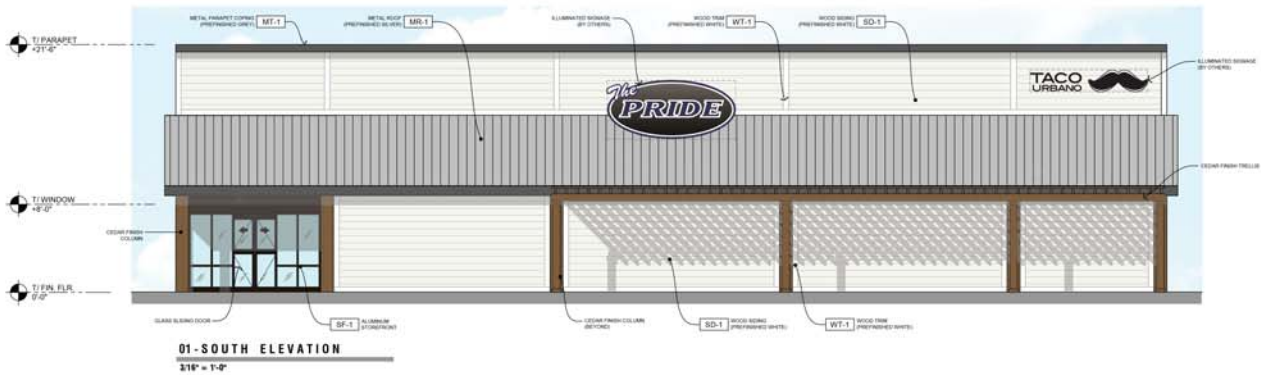
Total Project Watts
Total Watts = 49295

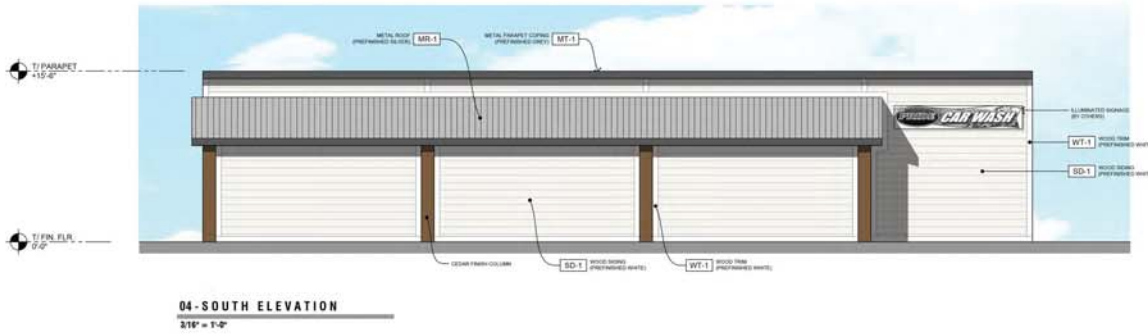
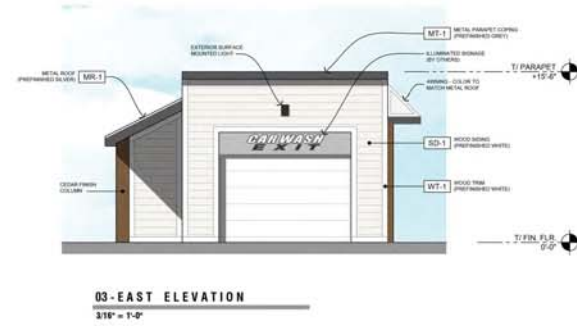
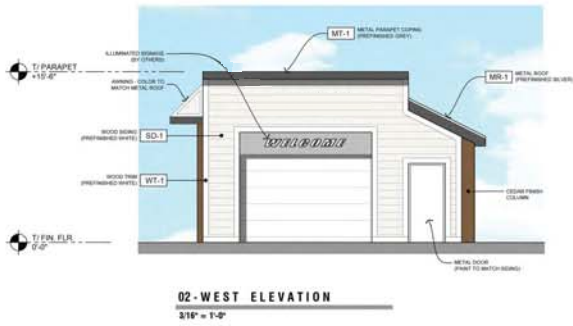
LIGHTING PROPOSAL LD-148828-3

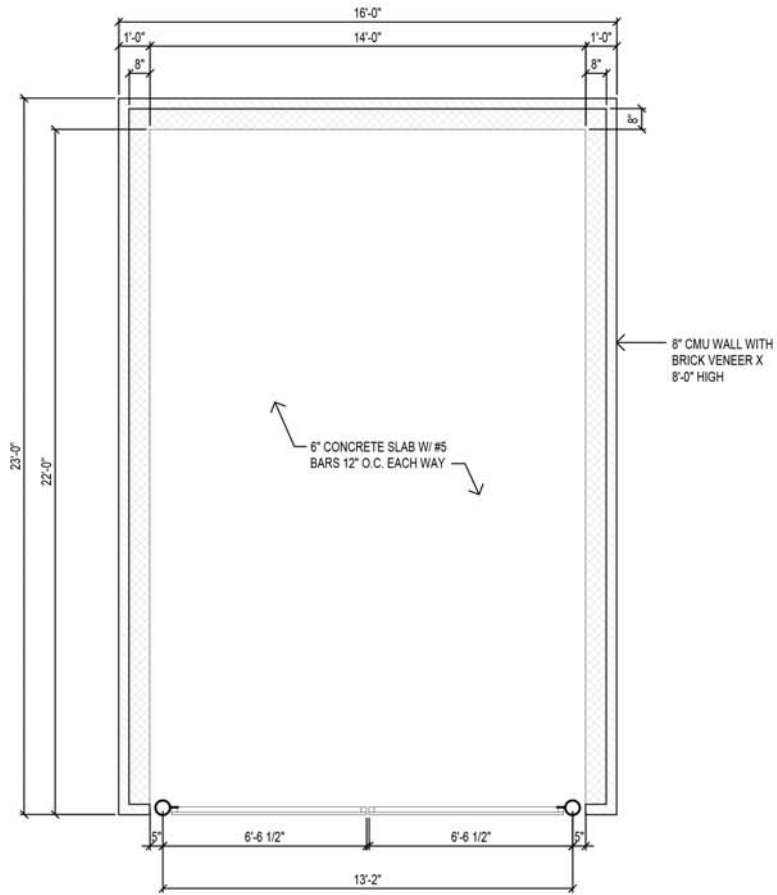
PROJECT: Kerk Road & IL RTE 64, ST CHARLES, IL

DATE: 01/28/2019 10:48:00 AM SHEET 1 OF 1

SCALE: 1"=30' 0 30

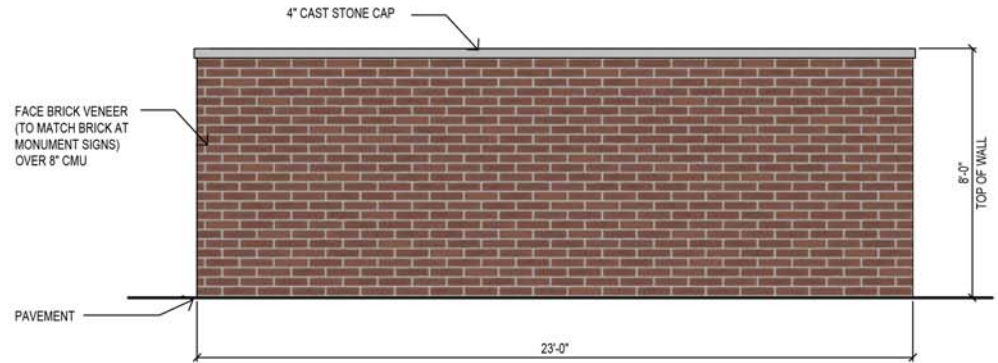






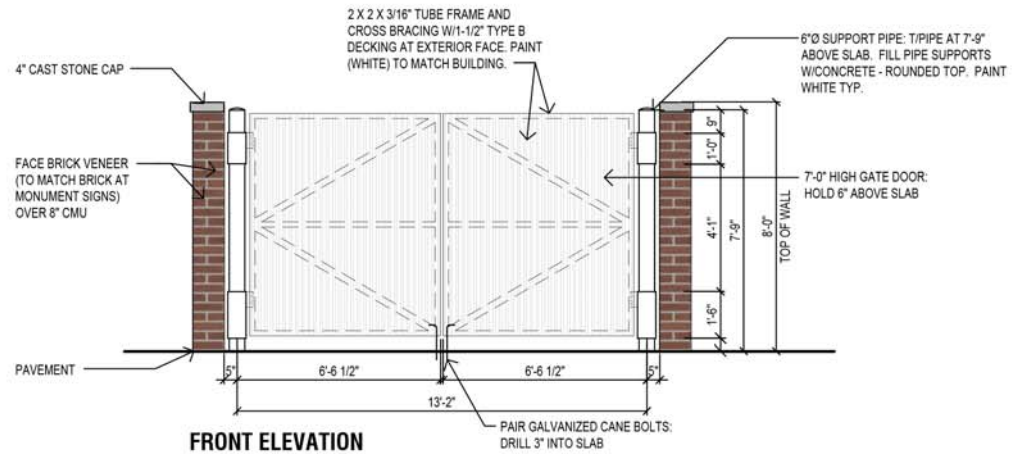
DUMPSTER PLAN

SCALE: 1/4" = 1'-0"



TYPICAL ELEVATION

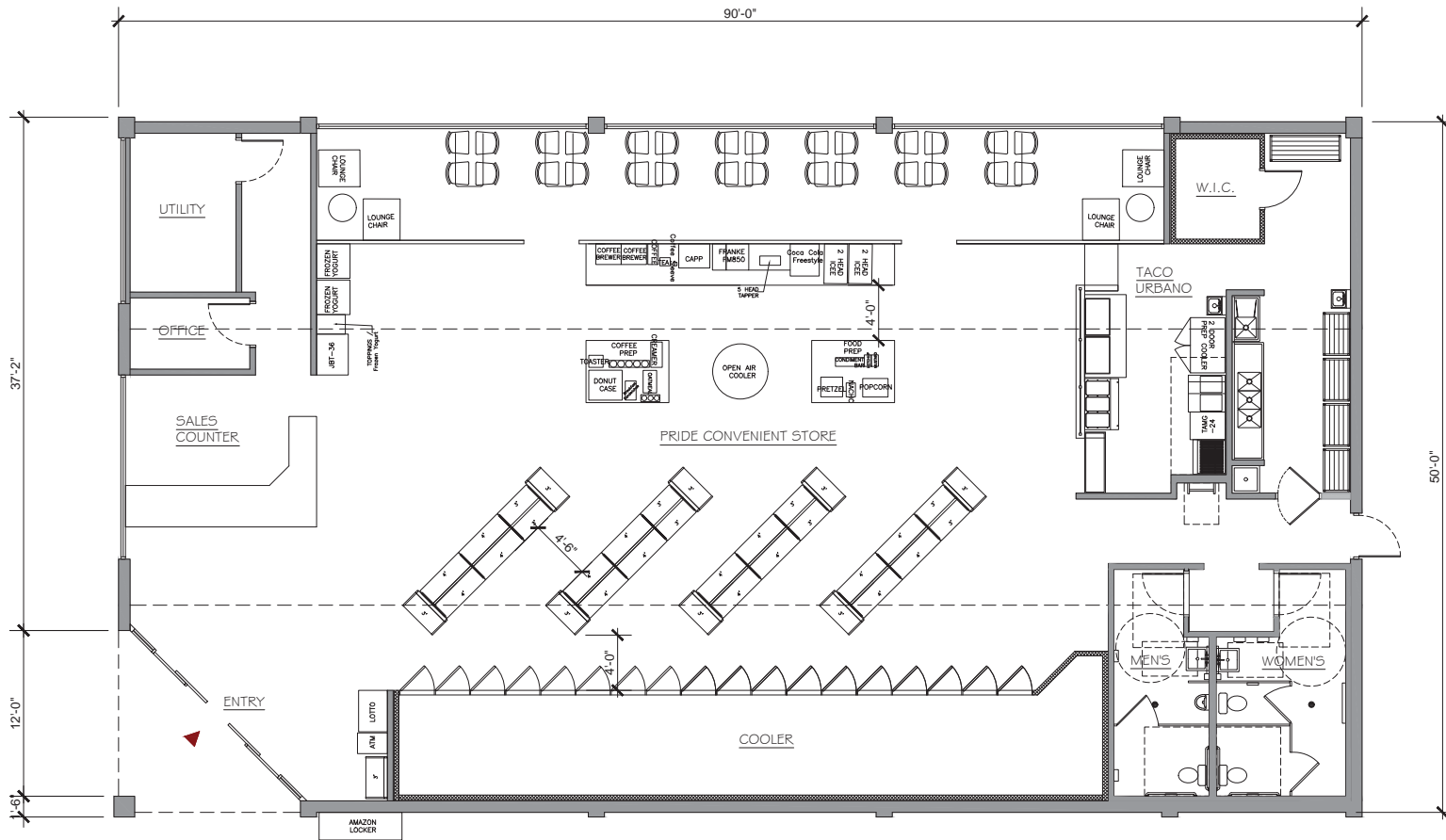
SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



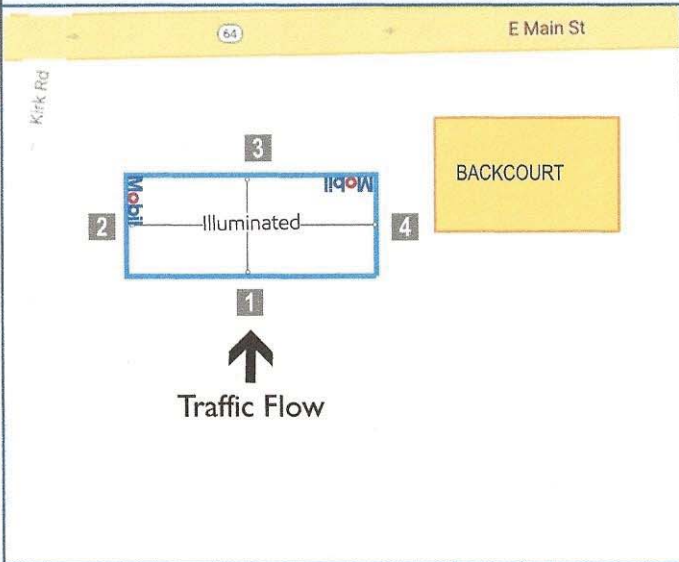


C-STORE PLAN
 1/4" = 1'-0"

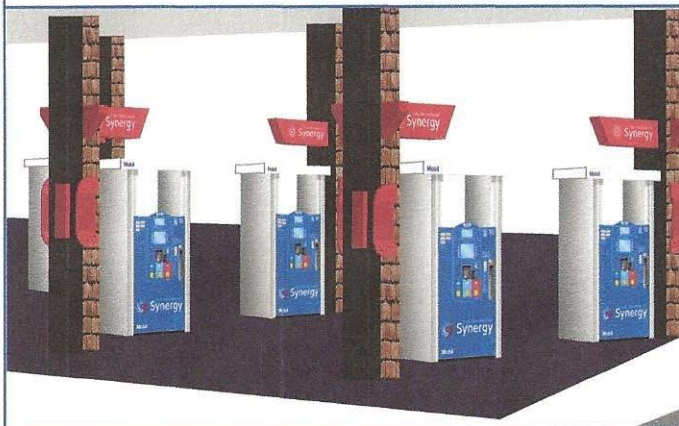


B SITE CONFIGURATIONS

Canopy fascia artwork for visualization purposes only

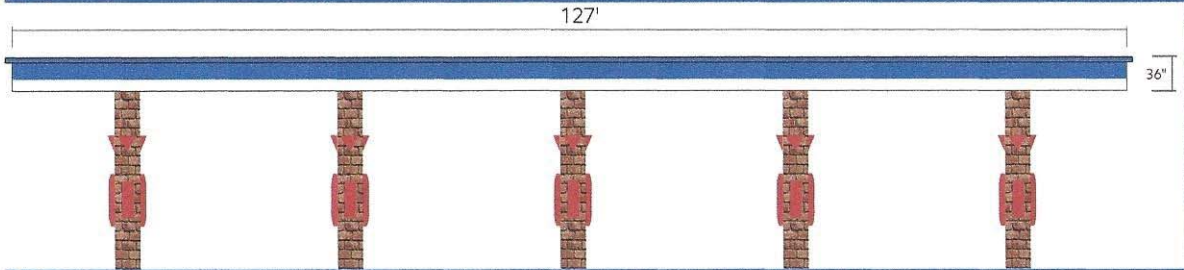


Overhead Map

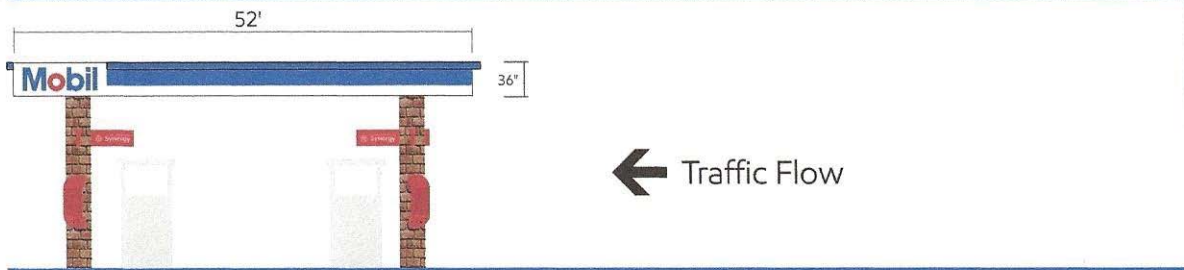


Canopy Perspective

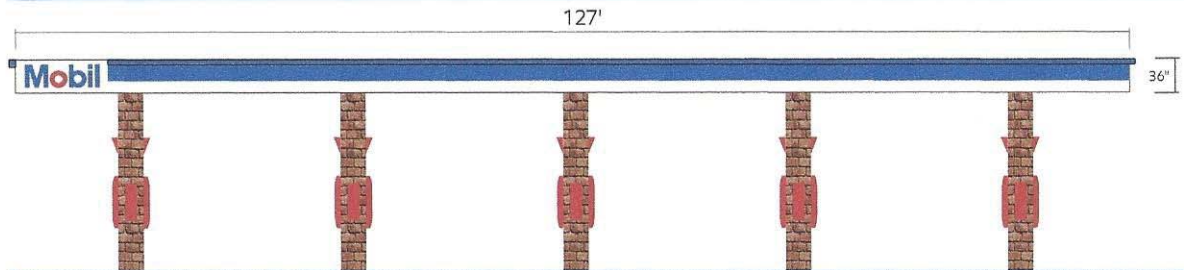
1 | BACK ELEVATION



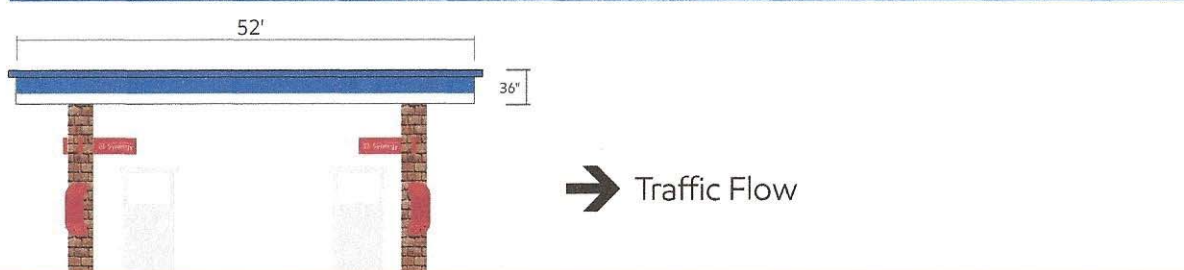
2 | RIGHT ELEVATION



3 | FRONT ELEVATION



4 | LEFT ELEVATION



Project Name

PBL #

Customer

Created by

ExxonMobil

-

ExxonMobil

B.Dighero

Revision #

Date

Scale

Page #

R3

06_18_2020

NA

4 OF 13

Brand Book

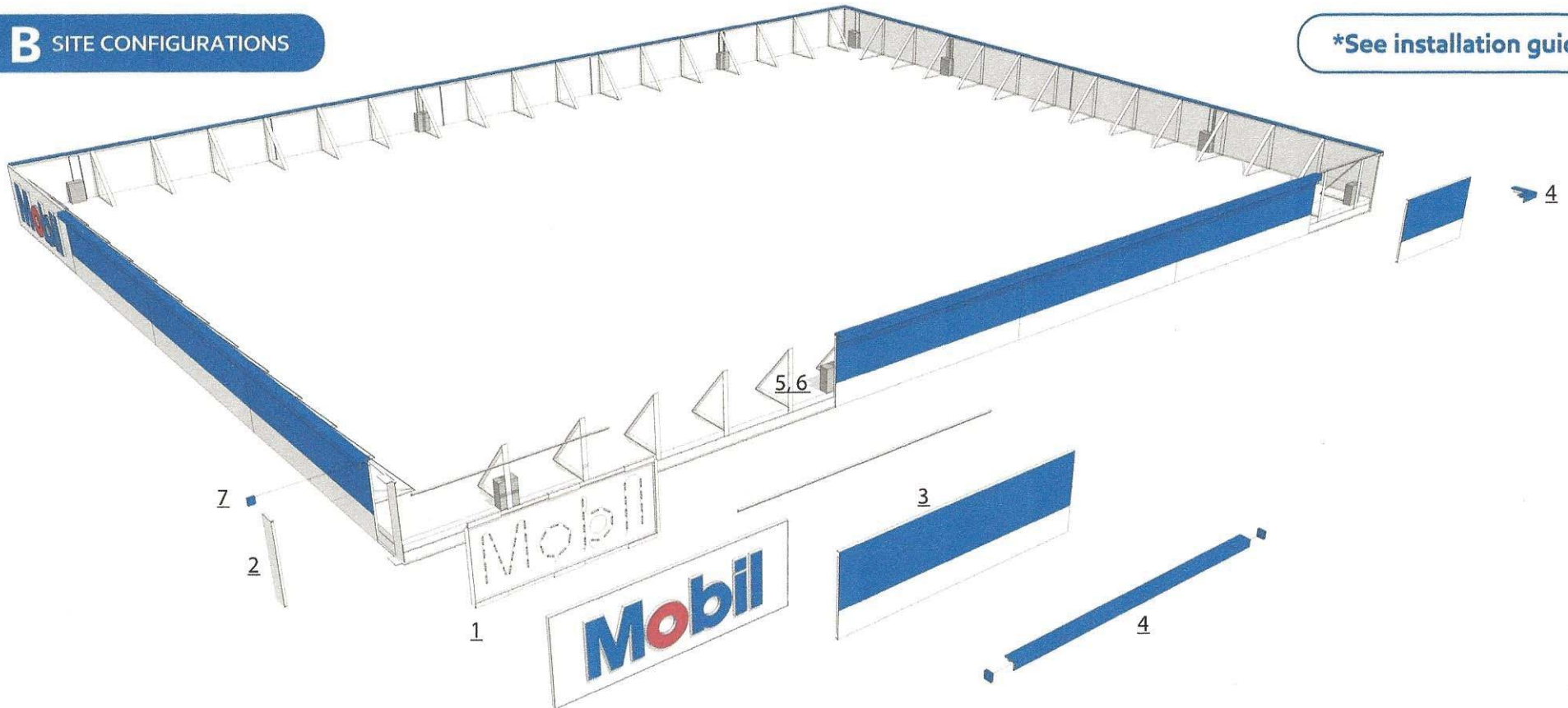
Site Image Materials Maintenance

2 Northfield Plaza, Ste 250
Northfield, IL 60093

P. (847) 441-1818 F. (847) 592-9564

B SITE CONFIGURATIONS

*See installation guide



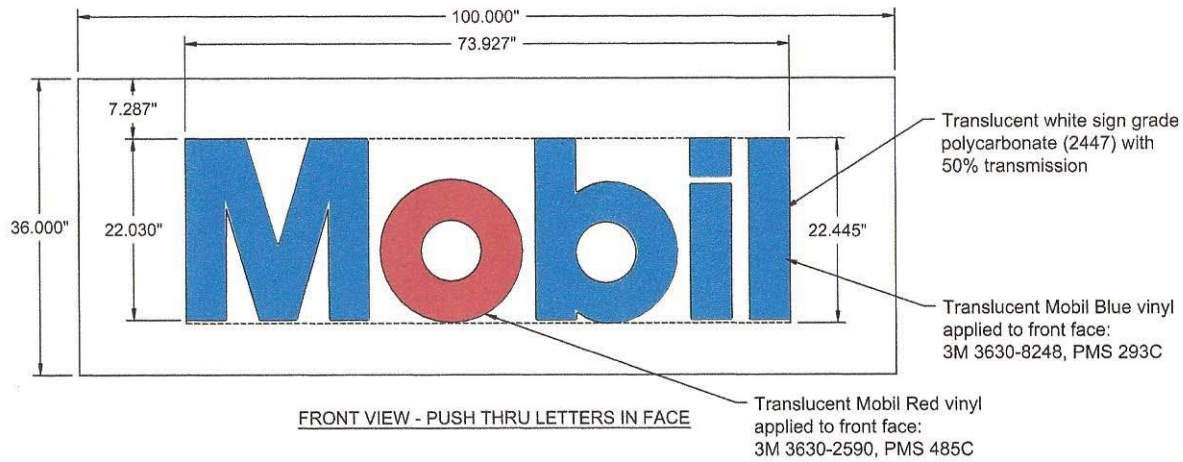
- Step 1. Begin with installing any logos (left or right Exxon or Mobil): back skin, side return, LED tray, power supplies and face.
- Step 2. Install logo corner panels on either side of the logo and the ends of each run.
- Step 3. Install mounting brackets and 120" ACM panels, cutting one panel per side to fit.
- Step 4. Install LED corners first, then install 118" LED downlight starting with ACM panel next to the logo. Install short downlight, cut to length or overlap as required on each side for site conditions.
- Step 5. Install (1) power supplies every other panel and connect to LEDs. Each corner downlight comes with their own power supply.
- Step 6. Install junction box power circuits every 200 feet for each side as required by site layout. Electrician to connect to 120VAC.
- Step 7. Install end caps.

Project Name	PBL #	Customer	Created by	Brand Book Site Image Materials Maintenance 2 Northfield Plaza, Ste. 250 Northfield, IL 60093 P: (847) 441-1818 F: (847) 592-9564
ExxonMobil	-	ExxonMobil	B.Dighero	
Revision #	Date	Scale	Page #	
R2	05/ 26/ 2020	NA	9 OF 16	

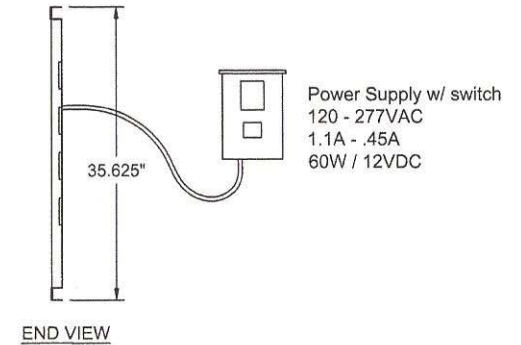
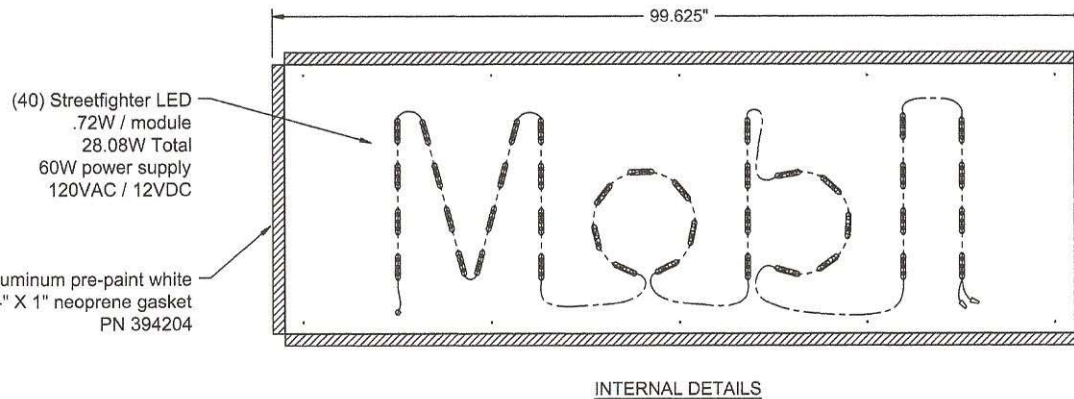
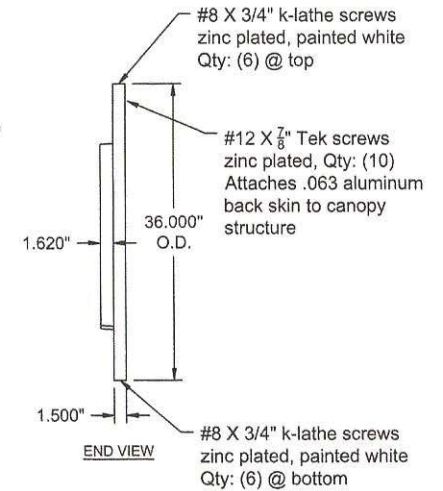
B SITE CONFIGURATIONS

***See installation guide**

SINGLE LETTER SPECS:
 "M" = 2.88 sq ft
 "o" = 1.44 sq ft
 "b" = 1.83 sq ft
 "i" = .80 sq ft
 "l" = .83 sq ft
 TOTAL = 7.78 sq ft
LETTER SPECS:
 22.445" X 73.927" = 11.5 SF
SIGN SPECS:
 36" X 100" = 25 SF
UL NUMBER:
 E84811



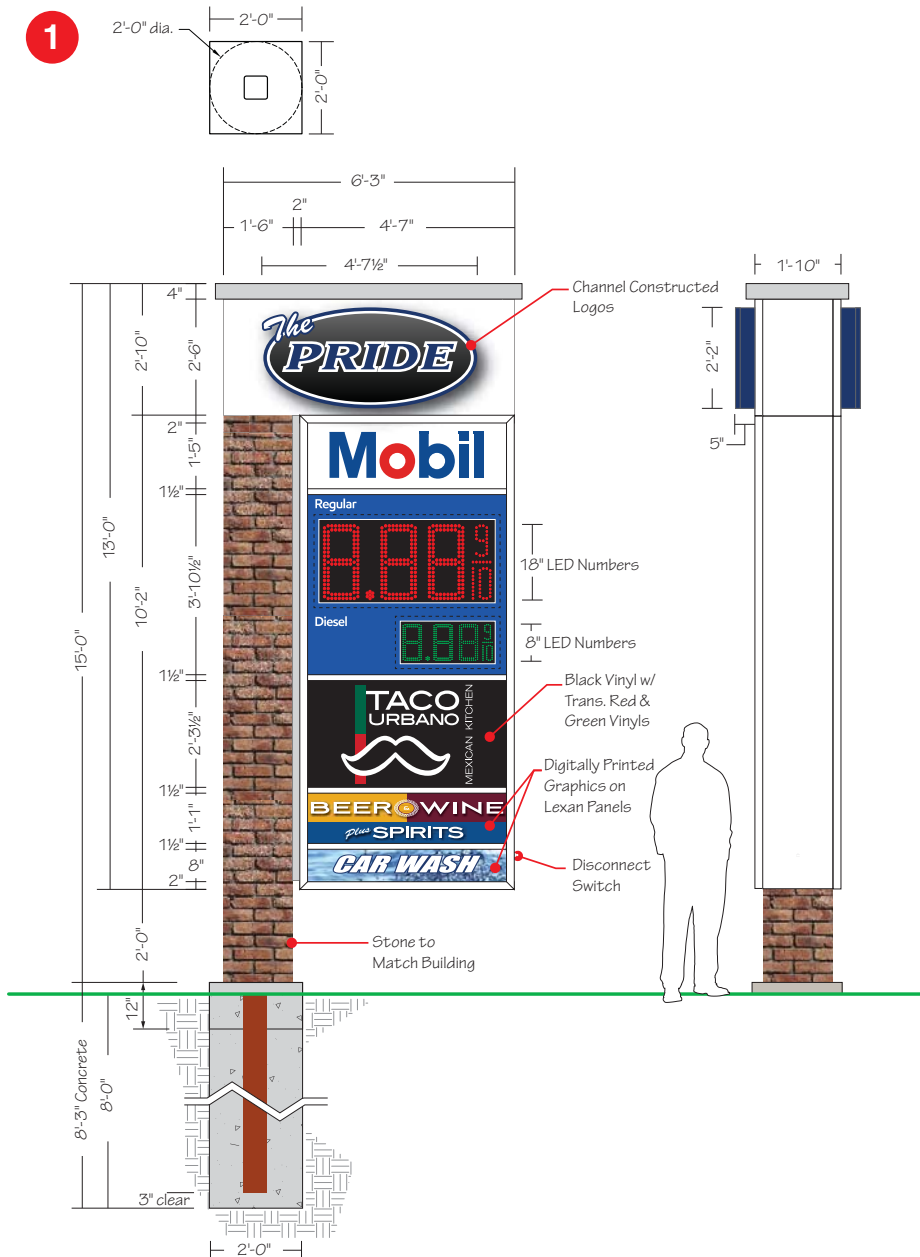
Appx weight of sign = 75lbs



NIGHT VIEW

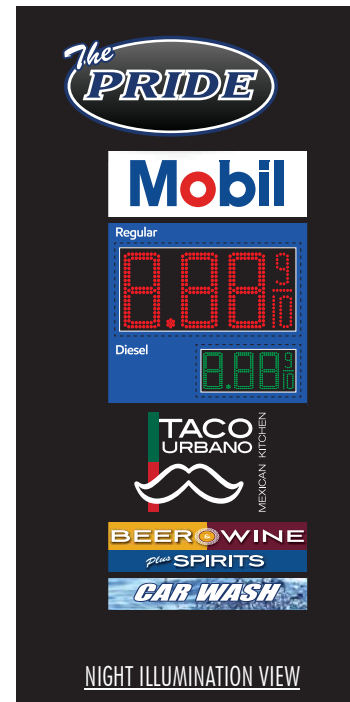
Project Name	PBL #	Customer	Created by	Brand Book Site Image Materials Maintenance 2 Northfield Plaza, Ste 250 Northfield, IL 60093 P: (847) 441-1818 F: (847) 592-9564
ExxonMobil	-	ExxonMobil	B.Dighero	
Revision #	Date	Scale	Page #	
R2	05/ 26/ 2020	NA	8 OF 16	

1



(1) 13'-0" x 6'-3" Double Face Illuminated Flag Mounted Sign - 81.25 SF

- Cabinet:** Fabricated Aluminum Painted White - Satin Finish
- Pride Logos:** 5" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Mobile Logos:** 3M 3630-97 Bristol Blue & 143 Poppy Red Translucent Vinyls
- Pricer Panel:** 3M 3630-97 Bristol Blue Translucent Vinyl - Copy Reversed Out White
- Pricer Units: 16" LED & 12" LED
- Tenant Panels:** White Polycarbonate
- "Taco Urbano" Graphics:** 3M 7725-12 Black / 3630-76 Holly Green / 3630-33 Red Vinyls
- "Beer Wine Liquor" & Car Wash Panels:** White Polycarbonate w/ Digitally Printed Graphics
- Illumination:** White LEDs
- Power:** (2) 20Amp @ 120Volts Electrical Circuits Run to Site by Others
- Column:** CMU Block w/ Brick to Match Building
- Mounting:** (1) HSS 6" x 6" x 3/8" ASTM A-500 Gr. B with
(3) 4" x 4" x 3/16" ASTM A-500 Gr. B Steel Mounting Plates
- (1) 2'-0" dia. x 8'-0" deep Concrete Foundation w/
2'-0" W x 2'-0" L x 12" D Square Concrete Pad for Masonry



Parvin-Clauss
SIGN COMPANY

Design • Fabrication • Installation • Maintenance
165 Tubeway Drive • Carol Stream • Illinois 60188
Tel/630-510-2020 • Fax/630-510-2074
e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/8" = 1'

SHEET NO.

1 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

- 1 11.04.19 - center sundry cab.
- 2 5.18.20 - new layout
- 3 5.19.20 - size adjustments
- 4 5.26.20 - Taco Urbano Logo
- 5 6.19.20
- 6
- 7
- 8

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

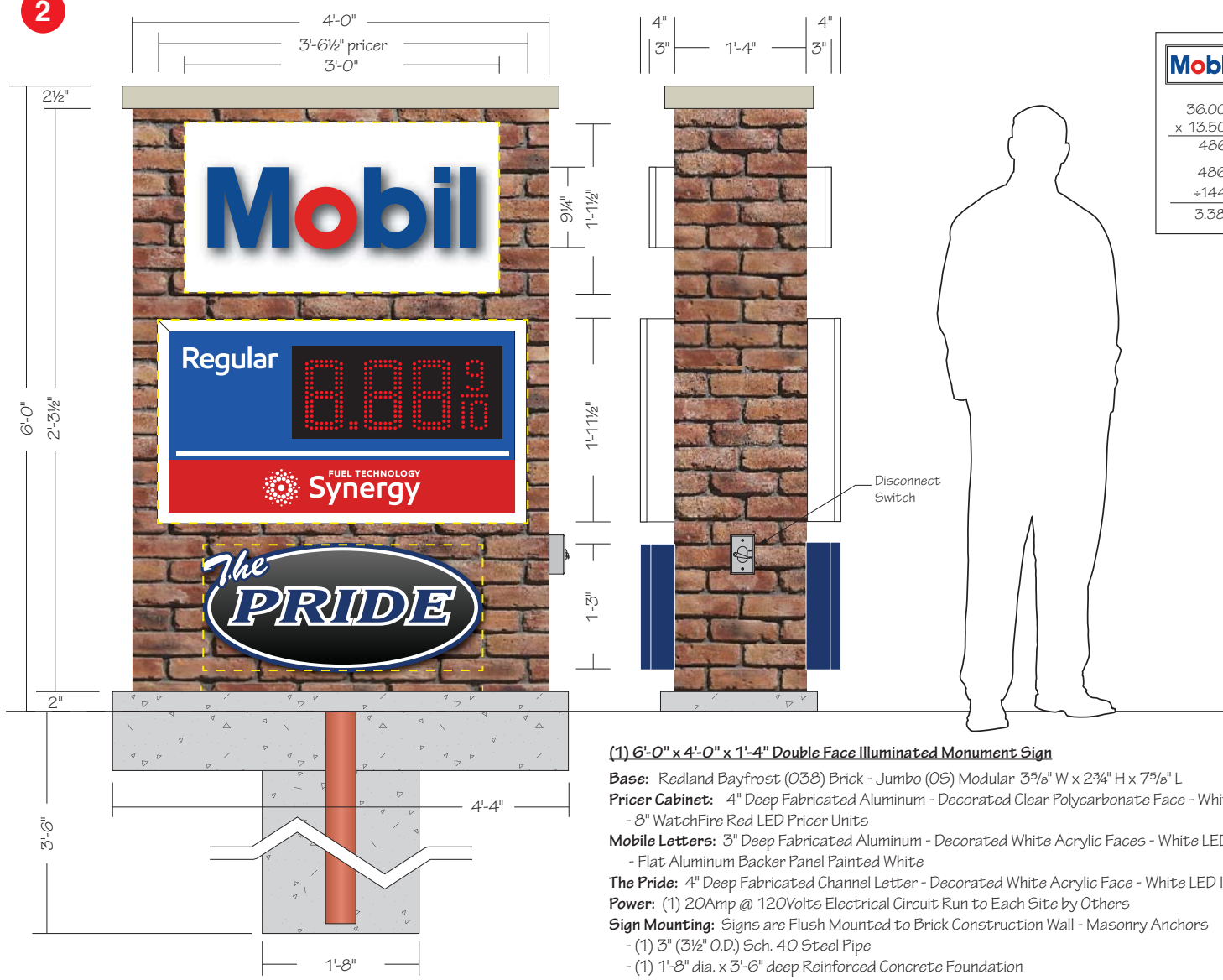


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2



36.00" x 13.50" 486"
486" +144" 3.38 SF

42.50" x 23.50" 998.75"
998.75" + 144" 7 SF

32.50" x 15.00" 487.50"
487.50" +144.00" 3.38 SF

3.38 SF 7.00 SF + 3.38 SF 13.76 SF
Signs

72.00" x 48.00" 3456"
3456" +144" 24 SF
Base

(1) 6'-0" x 4'-0" x 1'-4" Double Face Illuminated Monument Sign

- Base:** Redland Bayfrost (038) Brick - Jumbo (05) Modular 3⁵/₈" W x 2³/₄" H x 7⁵/₈" L
- Pricer Cabinet:** 4" Deep Fabricated Aluminum - Decorated Clear Polycarbonate Face - White LED Illumination
- 8" WatchFire Red LED Pricer Units
- Mobile Letters:** 3" Deep Fabricated Aluminum - Decorated White Acrylic Faces - White LED Illumination
- Flat Aluminum Backer Panel Painted White
- The Pride:** 4" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Power:** (1) 20Amp @ 120Volts Electrical Circuit Run to Each Site by Others
- Sign Mounting:** Signs are Flush Mounted to Brick Construction Wall - Masonry Anchors
 - (1) 3" (3¹/₂" O.D.) Sch. 40 Steel Pipe
 - (1) 1'-8" dia. x 3'-6" deep Reinforced Concrete Foundation
 - (1) 8" D x 4'-4" L x 1'-8" W Reinforced Concrete Pad for Masonry

Parvin-Clauss
SIGN COMPANY

Design • Fabrication • Installation • Maintenance
165TubewayDrive • CarolStream • Illinois 60188
Tel/630-510-2020 • Fax/630-510-2074
e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1" = 1'

SHEET NO.

2 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

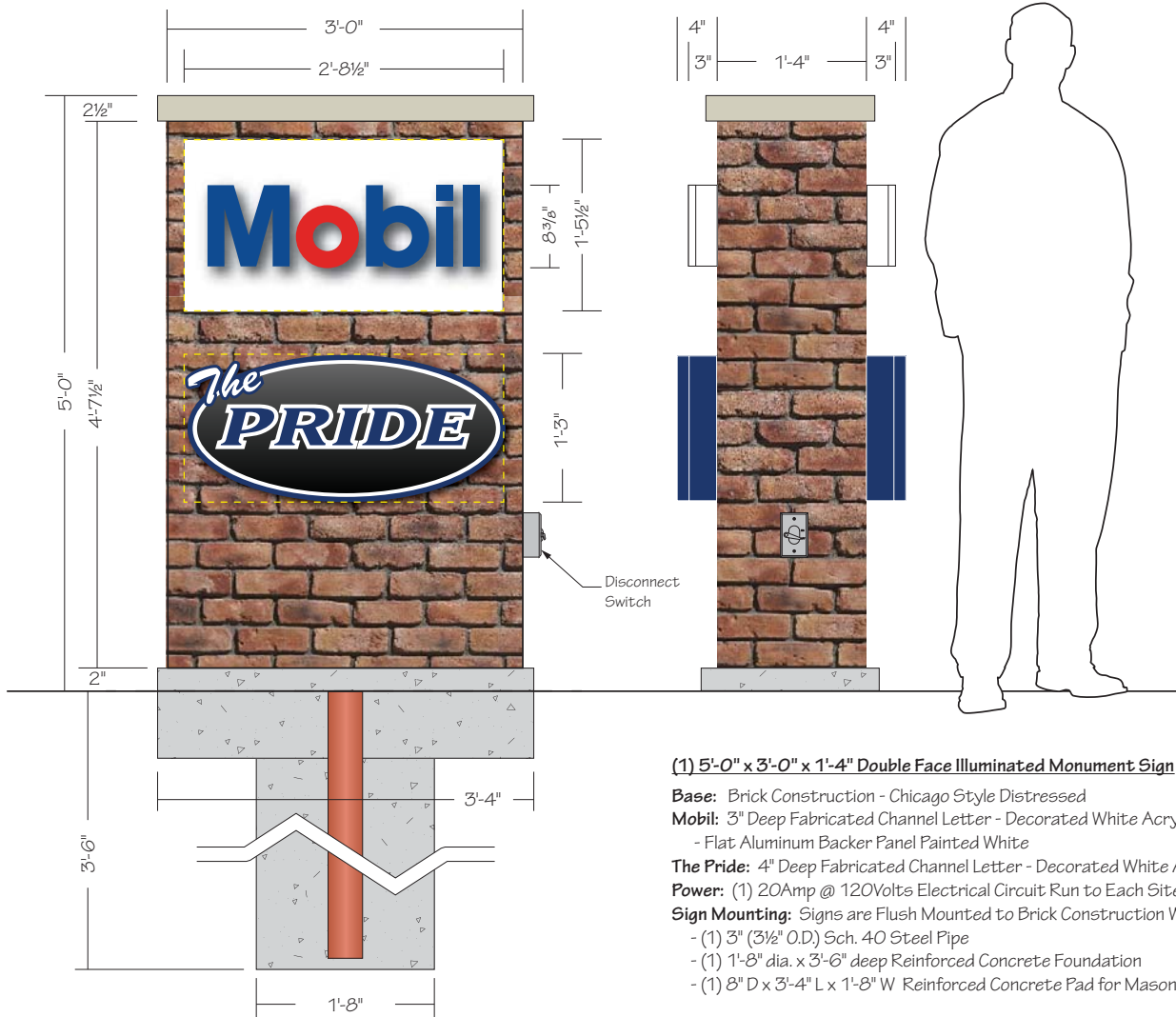
- 11.04.19 - all cabs. on brick area
- 5.18.20
- 5.19.20
- 5.26.20 - Mobil letters / cab. depth
- 6.19.20
-
-
-

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

This sign is built to UL Standards for operation in North America.


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(1) 5'-0" x 3'-0" x 1'-4" Double Face Illuminated Monument Sign

- Base:** Brick Construction - Chicago Style Distressed
- Mobil:** 3" Deep Fabricated Channel Letter - Decorated White Acrylic Faces - White LED Illumination
- Flat Aluminum Backer Panel Painted White
- The Pride:** 4" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Power:** (1) 20Amp @ 120Volts Electrical Circuit Run to Each Site by Others
- Sign Mounting:** Signs are Flush Mounted to Brick Construction Wall - Masonry Anchors
 - (1) 3" (3 1/2" O.D.) Sch. 40 Steel Pipe
 - (1) 1'-8" dia. x 3'-6" deep Reinforced Concrete Foundation
 - (1) 8" D x 3'-4" L x 1'-8" W Reinforced Concrete Pad for Masonry

$\begin{array}{r} 32.50'' \\ \times 17.50'' \\ \hline 568.75'' \\ +144'' \\ \hline 4\text{ SF} \end{array}$	 $\begin{array}{r} 32.50'' \\ \times 15.00'' \\ \hline 487.50'' \\ +144'' \\ \hline 3.38\text{ SF} \end{array}$
---	--

$\begin{array}{r} 4.00\text{ SF} \\ + 3.38\text{ SF} \\ \hline 7.38\text{ SF} \end{array}$ <p>Signs</p>	$\begin{array}{r} 60'' \\ \times 36'' \\ \hline 2160'' \\ + 144'' \\ \hline 15\text{ SF} \end{array}$ <p>Base</p>
---	---

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e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE
House / RM / KZ

DRAWN BY
Bill Marlow

DATE
10.23.19

SCALE
1" = 1'

SHEET NO.
3 of 12

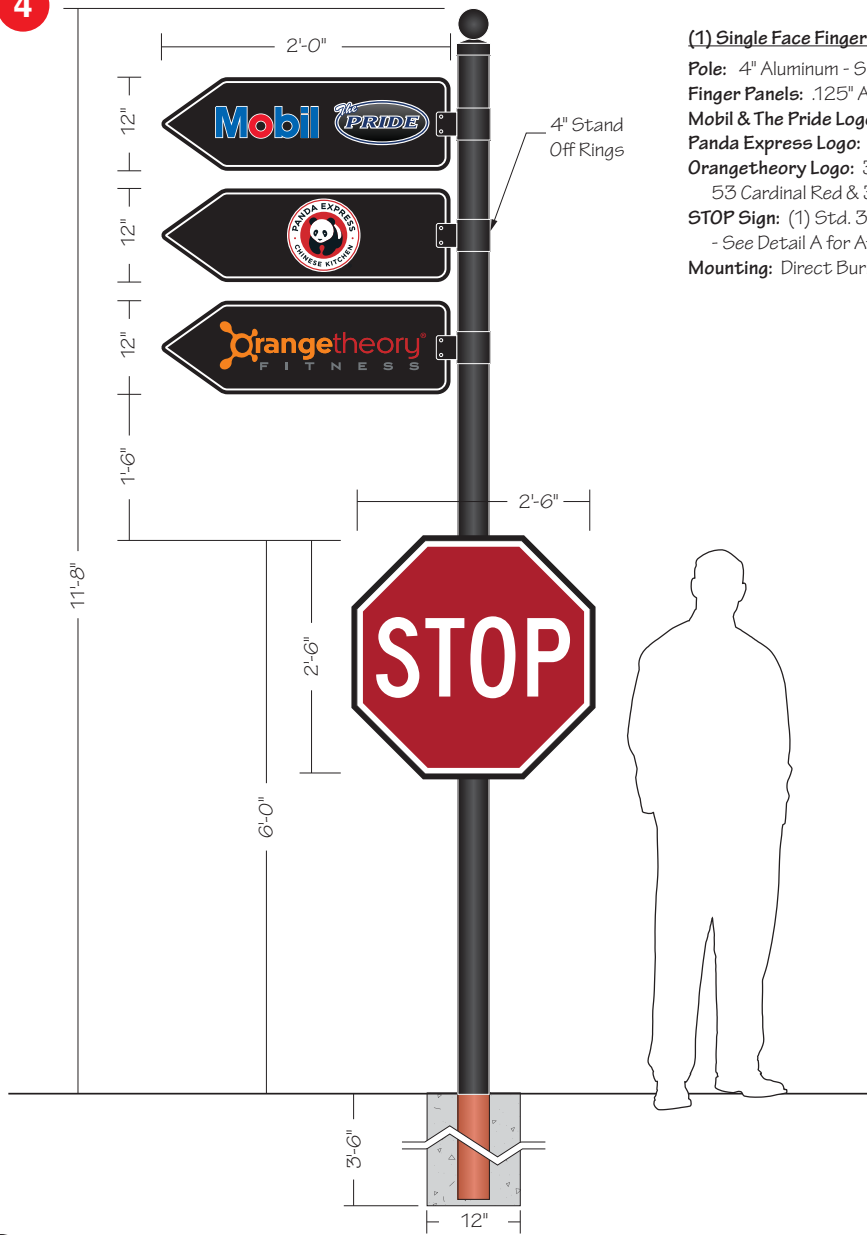
WORK ORDER
82989

FILE NAME
PRD82989

REVISIONS:

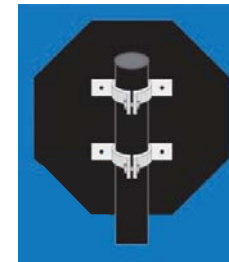
- 1 11.04.19
- 2 5.18.20
- 3 5.19.20
- 4 5.26.20 - Mobil letters / cab. depth
- 5 6.19.20
- 6
- 7
- 8

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(1) Single Face Fingerpost Directional Sign

Pole: 4" Aluminum - Smooth - Painted Black - Ball Cap
Finger Panels: .125" Aluminum Painted Black w/ Reflective White Vinyl In-line Border
Mobil & The Pride Logos: Digitally Printed on White Vinyl Applied
Panda Express Logo: Digitally Printed on White Vinyl Applied
Orangetheory Logo: 3M 7725-14 Bright Orange, 53 Cardinal Red & 31 Medium Gray Vinyls Applied
STOP Sign: (1) Std. 30" x 30" Applied to .125" thick Black Aluminum Backer Panel
 - See Detail A for Attachment Hardware
Mounting: Direct Burial in 1'-0" dia. x 3'-6" deep Concrete Foundation



DETAIL A - Post Brackets



Parvin-Clauss
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 1165 Tubeway Drive • Carol Stream • Illinois 60188
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 www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
 St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/4" = 1'

SHEET NO.

4 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20
6	
7	
8	

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



This sign is built to UL Standards for operation in North America.

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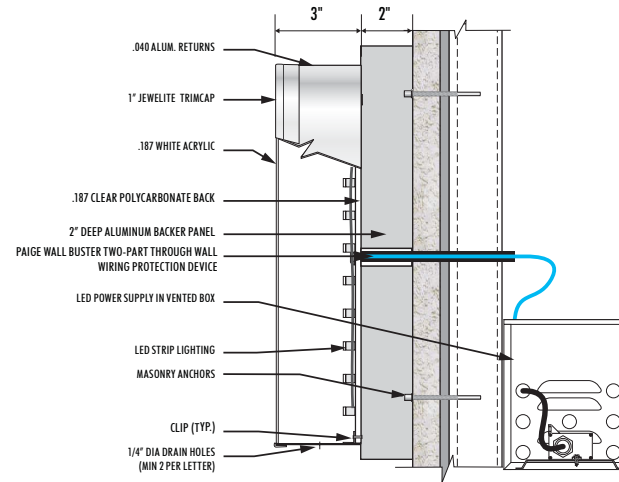
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5



(1) 5'-4 5/8" x 11'-8 1/2" x 2" Deep SF Wall Sign w/ Illuminated Channel Letters

- Panel:** 2" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish
- Faces:** .125" Aluminum Painted PMS 288 Blue
- Inline Strip:** 3M 7725-10 White Vinyl
- Black/Grey Gradient:** Digitally Printed on Orajet 3751 RA White Vinyl Applied to Face
- Letters & White In-line:** Fabricated 3" Deep Channel Letters
- "The" Returns:** .040" Aluminum Painted PMS 288 Blue- 1" White Trimcap
- "PRIDE" & In-line Returns:** .040" Pre-finished White Aluminum - 1" White Trimcap
- Faces:** 732B White Acrylic w/ Avery UC 900-684T PMS 288 Blue Translucent Vinyl Applied to Faces
- Illumination:** White LEDs with Remote 60Watt Power Supplies
- Power:** Use Existing at Site
- Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



3" DEEP U/L APPROVED LED-ILLUMINATED CHANNEL LETTER - WIREWAY MOUNT



01-SOUTH ELEVATION

Scale: 1/8" = 1'-0"

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Tel/630-510-2020 • Fax/630-510-2074
e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1/2" = 1'

SHEET NO.

5 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

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6



(1) 5'-4 5/8" x 11'-8 1/2" x 2" Deep SF Wall Sign w/ Illuminated Channel Letters

Panel: 2" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish

Faces: .125" Aluminum Painted PMS 288 Blue

Inline Strip: 3M 7725-10 White Vinyl

Black/Grey Gradient: Digitally Printed on Orajet 3751 RA White Vinyl Applied to Face

Letters & White In-line: Fabricated 3" Deep Channel Letters

"The" Returns: .040" Aluminum Painted PMS 288 Blue- 1" White Trimcap

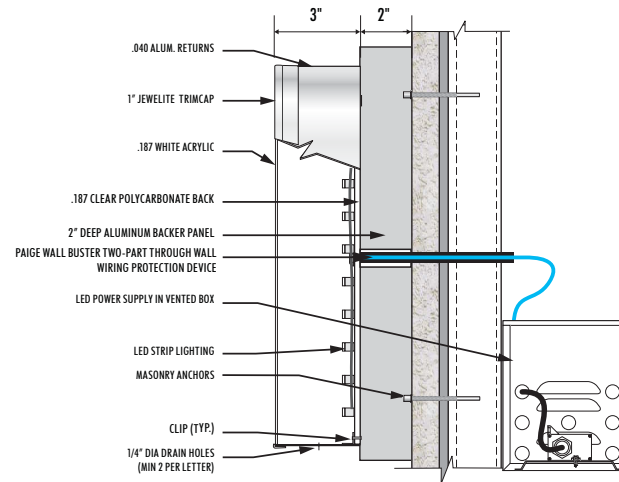
"PRIDE" & In-line Returns: .040" Pre-finished White Aluminum - 1" White Trimcap

Faces: 7328 White Acrylic w/ Avery UC 900-684T PMS 288 Blue Translucent Vinyl Applied to Faces

Illumination: White LEDs with Remote 60Watt Power Supplies

Power: Use Existing at Site

Mounting: Flush to Building with Anchors Appropriate for Wall Construction



3" DEEP U/L APPROVED LED-ILLUMINATED CHANNEL LETTER - WIREWAY MOUNT



04 - NORTH ELEVATION

Scale: 1/8" = 1'-0"

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House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1/2" = 1'

SHEET NO.

6 of 12

WORK ORDER

82989

FILE NAME

PRD82989

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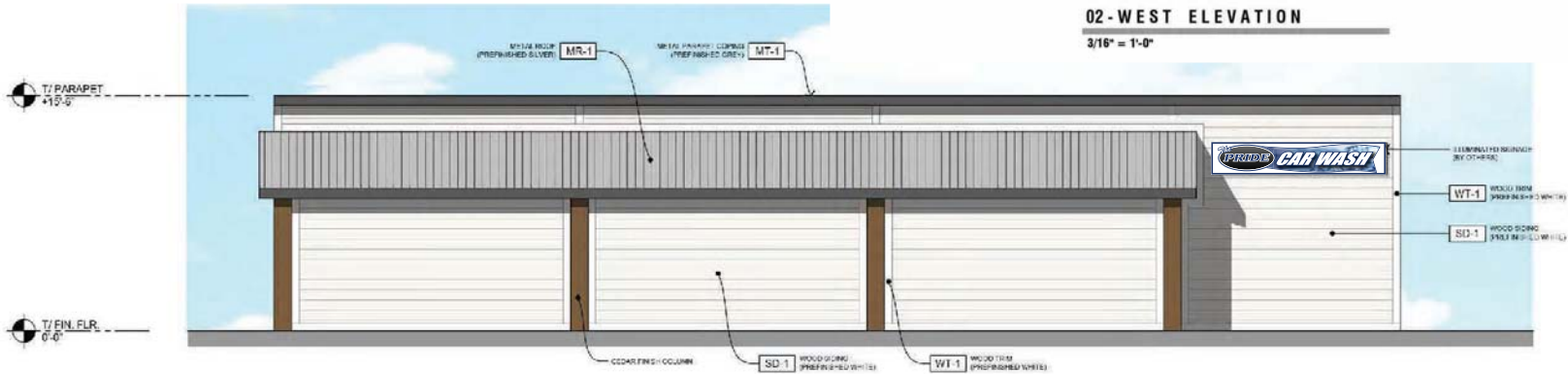
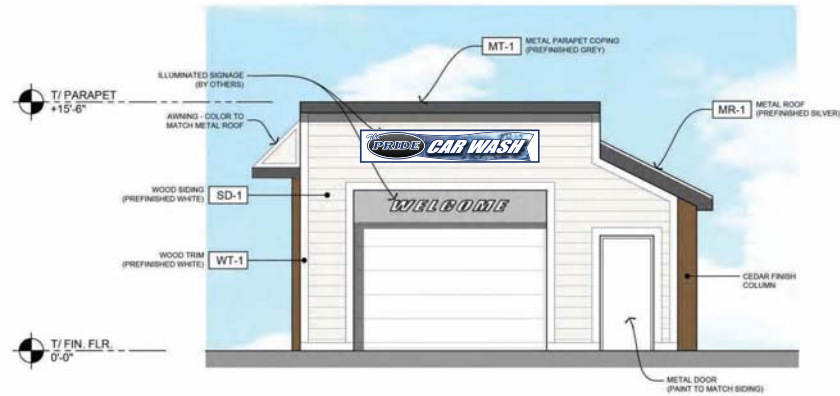
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(2) 2'-1 1/2" x 11'-6" x 5" Deep SF Wall Sign

- Cabinet:** 5" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish
- Faces:** 3/16" White Polycarbonate
- Graphics:** Digitally Printed on Translucent White Vinyl
- Illumination:** White LEDs with 12V GOW 120/277V Power Supplies
- Power:** Use Existing at Site
- Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



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REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1" = 1'

SHEET NO.

7 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

- 11.04.19
- 5.18.20
- 5.19.20
- 5.26.20
- 6.19.20 - New Sign
-
-
-

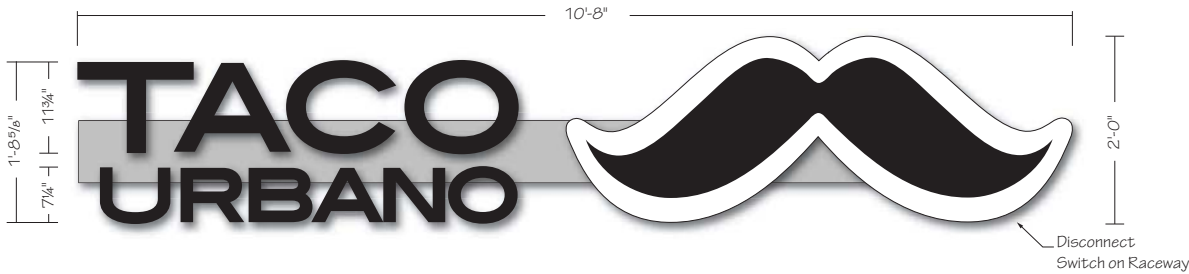
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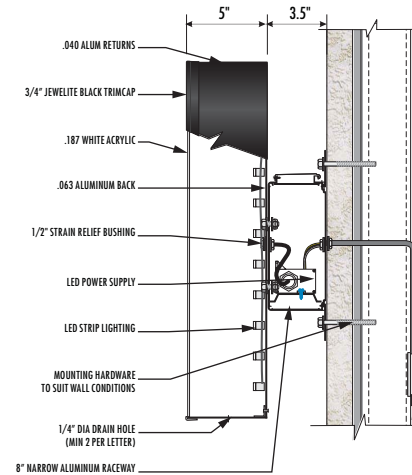
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(1 set) 5" Deep Illuminated Channel Letters & Logo on Raceway

Letter & Logo Returns: .040" Fabricated Aluminum Prefinished Black
Letter Faces: White Acrylic w/ 3M 3635-222 Black Perforated Vinyl Applied - 3/4" Black Trimcap
Logo Face: White Acrylic w/ 3M 7725-12 Black Vinyl Applied - 3/4" Black Trimcap
Raceway: Std. 8" Narrow - Extruded Aluminum Painted to Match Wall Color
Illumination: White LEDs with 60Watt Power Supplies in Raceway
Power: (1) 20Amp @ 120Volt Electrical Circuit Run to Site by Others
Mounting: Flush to Building with Anchors Appropriate for Wall Construction



01 - SOUTH ELEVATION

Scale: 1/8" = 1'-0"

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CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/4" = 1'

SHEET NO.

8 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

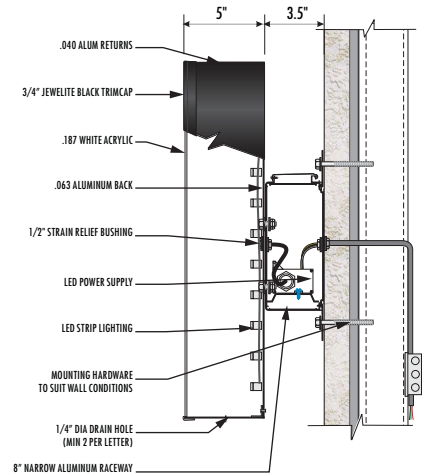
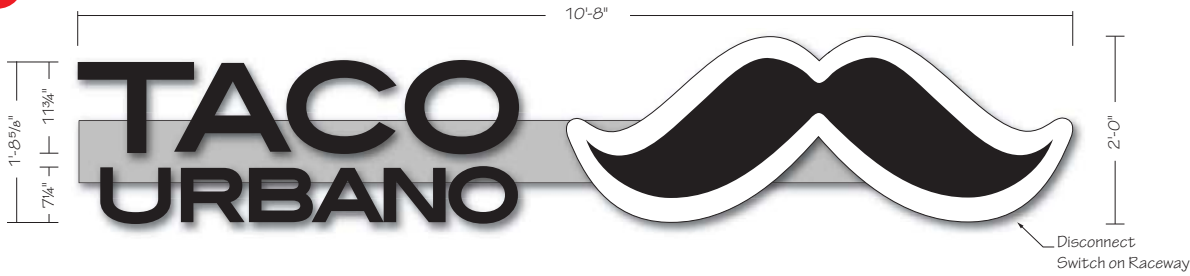
1	11.04.19
2	5.18.20
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4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

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(1 set) 5" Deep Illuminated Channel Letters & Logo on Raceway
Letter & Logo Returns: .040" Fabricated Aluminum Prefinished Black
Letter Faces: White Acrylic w/ 3M 3635-222 Black Perforated Vinyl Applied - 3/4" Black Trimcap
Logo Face: White Acrylic w/ 3M 7725-12 Black Vinyl Applied - 3/4" Black Trimcap
Raceway: Std. 8" Narrow - Extruded Aluminum Painted to Match Wall Color
Illumination: White LEDs with 60Watt Power Supplies in Raceway
Power: (1) 20Amp @ 120Volt Electrical Circuit Run to Site by Others
Mounting: Flush to Building with Anchors Appropriate for Wall Construction



04 - NORTH ELEVATION

Scale: 1/8" = 1'-0"

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REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1/2" = 1'

SHEET NO.

9 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

- 1 11.04.19
- 2 5.18.20
- 3 5.19.20
- 4 5.26.20
- 5 6.19.20 - New Elevation
- 6
- 7
- 8

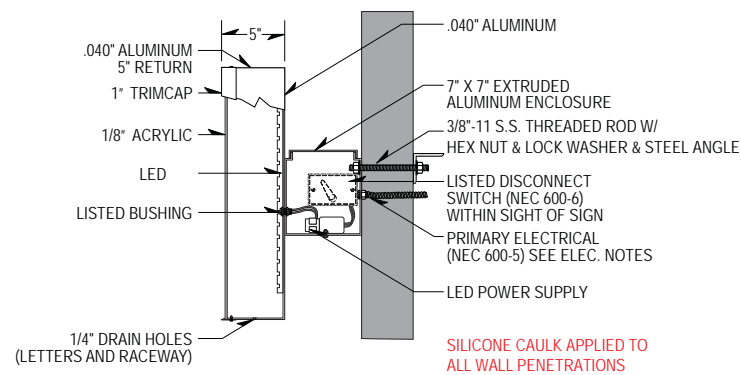
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(1 set each) 5" Deep Illuminated Channel Letters on Raceways - 8.45 SF / 14.40 SF

Returns: Fabricated Aluminum Painted PMS 288 Blue

Faces: #7328 White Acrylic w/ 1" Jewelite White trimcap

Vinyl: 3M 3630-157 Sultan Blue Translucent Vinyl

Raceways: Std. 7" x 7" Aluminum Painted to Match Wall Color - SW 7063 Nebulous White

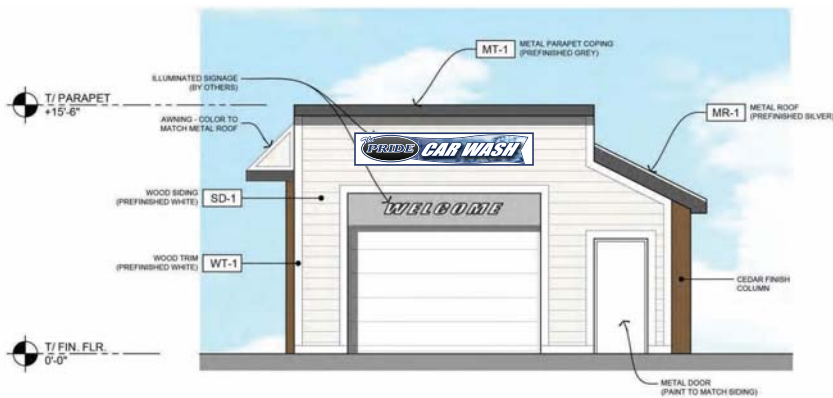
Illumination: White LED

Power: (1) 20Amp @ 120Volts Electrical Circuit Run to Site by Others

Mounting: Raceways Flush Mounted to Building - Appropriate Hardware for Wall Construction

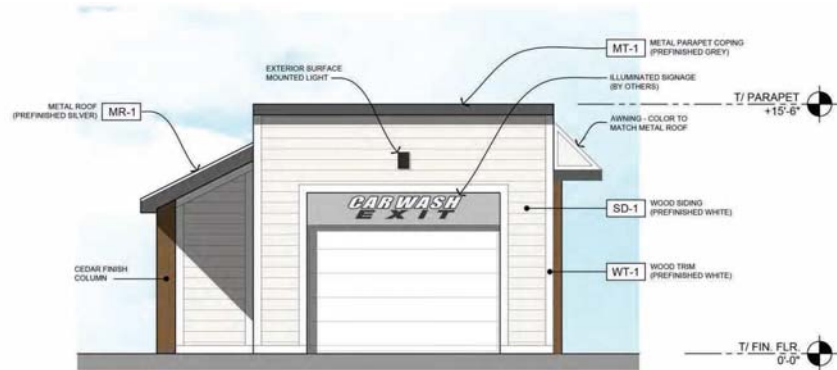
Bottom Raceway Mount
Upside Down

NOTE: FIELD SURVEY REQUIRED PRIOR TO FABRICATION



02 - WEST ELEVATION

Scale: 1/8" = 1'-0"



03 - EAST ELEVATION

Scale: 1/8" = 1'-0"

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REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/4" = 1'

SHEET NO.

10 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
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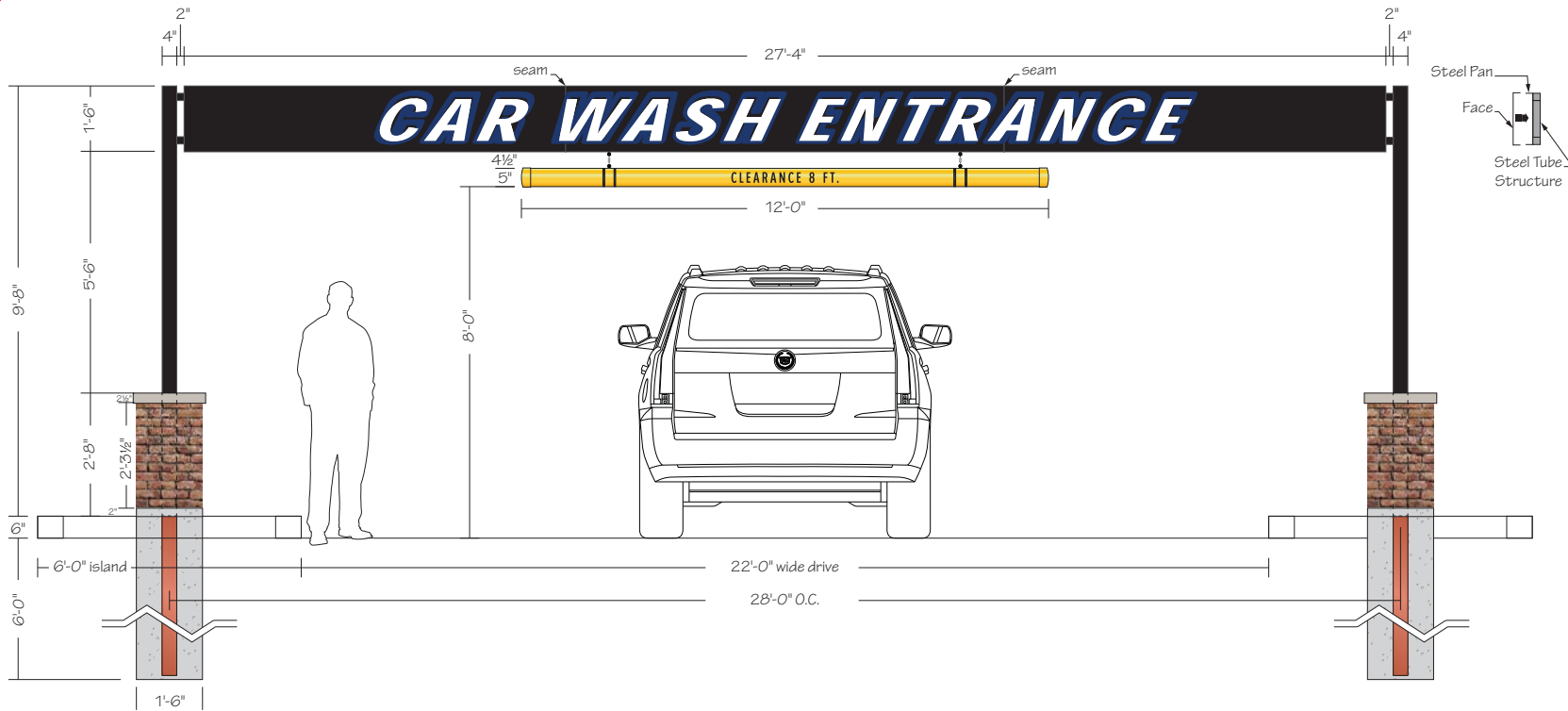
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(1) 1'-6" x 27'-4" x 2" Single Face Non-Illuminated Entrance Gateway

Cabinet: Fabricated Aluminum Painted Black - Suede Satin Finish
 - 2" x 2" Tube Internal Structure

Graphics: 3M 7725-37 Sapphire Blue & 7725-10 White Vinyls

Clearance Bar: 5" PVC Pipe w/ Caps Painted MAP 42248 Sundance Yellow

Clearance Ht. Copy & Stripes: 3M 680-85 Black Reflective Vinyl

Bases: Masonry to Match Building - Redland Bayfrost (038) Brick

- Jumbo (05) Modular: 35/8" W x 2 3/4" H x 75/8" L

Mounting: (2) 4" x 4" Tube Steel set into (2) 1'-6" dia. x 6'-0" deep Concrete Foundations

NOTE: FIELD SURVEY REQUIRED PRIOR TO FABRICATION

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
 St. Charles, IL

CUSTOMER APPROVAL:

DATE _____

AUTHORIZED SIGNATURE _____

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/8" = 1'

SHEET NO.

11 of 12

WORK ORDER

82989

FILE NAME

PRD82989

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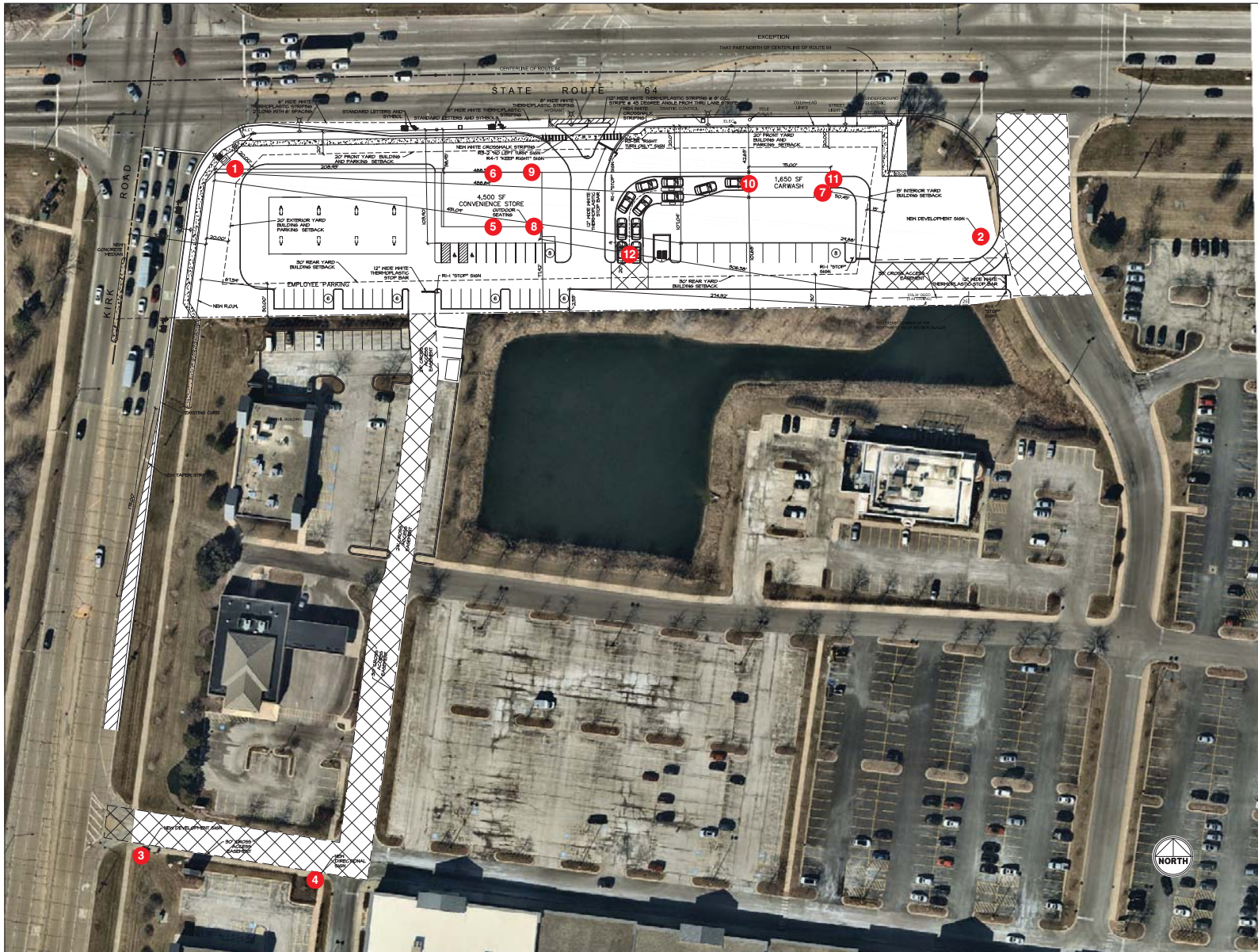
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SCALE

nts

SHEET NO.

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82989

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EXHIBIT “E”

PUD DEVIATIONS

Section 17.24.100 Drive-Through Facilities	
Stacking Lane Configuration	Two lanes of car wash vehicle stacking, as shown on the PUD Preliminary Plan.
Section 17.26.080 Building Foundation Landscaping	
Foundation Landscape Planting Beds	3 ft. along west side of convenience store building, as shown on the PUD Preliminary Plan.
Foundation Landscape Trees	3 trees along the north wall of the convenience store building and 2 trees along the north wall of the car wash building, as shown on the PUD Preliminary Plan.
Section 17.26.090 Public Street Frontage Landscaping	
Street Frontage Plantings	Less than 75% of the Main St. frontage may be landscaped, as shown on the PUD Preliminary Plan.
Table 17.28-2 Permitted Signs for Business & Mixed-Use Districts – BL, BC and BR Districts	
Freestanding Signs	3 ft. setback for monument sign at the corner of Main St. and Kirk Rd., as shown on the PUD Preliminary Plan.
Wall Signs	Four wall signs on the convenience store building, as shown on the PUD Preliminary Plan.
Section 17.28.080 Prohibited Signs	
Off-Premise Signs	Three off-premise signs to be placed in the Main Street Commons PUD: one monument sign at the Main St. entrance of Main Street Commons; one monument sign at the Kirk Rd. entrance of Main Street Commons; one directional sign within Main Street Commons; all as shown on the PUD Preliminary Plan