

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: IIC9

Title: Motion to approve An Ordinance Amending Ordinance 2018-Z-34 and Granting Approval of an Amendment to Special use for Car Wash for Extreme Clean Express Carwash, 1625 W. Main St.

Presenter: Rita Tungare

Meeting: City Council

Date: December 16, 2019

Proposed Cost:

Budgeted Amount: N/A

Not Budgeted: **Executive Summary** (*if not budgeted please explain*):

On December 9, 2019, the Planning & Development Committee recommended approval of a Special Use Amendment to modify the Main St. access to Extreme Clean Express Car Wash from a right-in/right-out to a full-in/right-out configuration.

The Committee voted unanimously to recommend approval, with a condition that operation of the access be reviewed after one year.

This stipulation is included as a condition in the prepared Ordinance, as follows:

“That after the car wash has operated for a period of approximately one (1) year, the Planning & Development Committee of the City Council shall review the operations of the full-in/right-out access to W. Main St./Rt. 64 and shall have the ability to require modifications to the access as deemed necessary during said review.”

Attachments (*please list*):

Ordinance

Recommendation/Suggested Action (*briefly explain*):

Vote on ordinance.

City of St. Charles
Ordinance No. 2019-Z-_____

**An Ordinance Amending Ordinance 2018-Z-34 and Granting Approval of an
Amendment to Special Use for Car Wash for Extreme Clean Express
Carwash, 1625 W. Main St.**

WHEREAS, on or about September 30, 2019, MKD Enterprise of St. Charles LLC (“the Applicant”) filed a petition for Amendment to Special Use Ordinance 2018-Z-34, “An Ordinance Amending Ordinance 1995-Z-3 and Granting Approval of a Special Use for Car Wash for Extreme Clean Express Carwash, 1625 W. Main St.”, for the Subject Property which is commonly known as 1625 W. Main St. and legally described in Exhibit “A”, attached hereto and incorporated herein, for the purpose of modifying the site’s W. Main St./Rt. 64 access; and,

WHEREAS, Notice of Public Hearing on said petition for Amendment to Special Use was published on or about October 18, 2019 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on November 5, 2019 on said petition in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petition and all interested parties were afforded an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended denial of said petition, which requested approval of a full, two-way access to W. Main St./Rt. 64, on or about November 5, 2019; and,

WHEREAS, the Planning & Development Committee of the City Council reviewed said petition and the recommendation of the Plan Commission and referred the petition back to the Plan Commission for an additional public hearing and recommendation on or about November 11, 2019; and,

WHEREAS, Notice of Additional Public Hearing on said petition for Amendment to Special Use was published on or about November 15, 2019 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted an additional public hearing on December 3, 2019 on said petition in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said additional Public Hearing, the Applicant presented testimony in support of said petition and all interested parties were afforded an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said petition, which requested approval of a full-in/right-out access to W. Main St./Rt. 64, on or about December 3, 2019; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of said petition, which requested approval of a full-in/right-out access to W. Main St./Rt. 64, on or about December 9, 2019; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of an Amendment to Special Use for Car Wash granted under Ordinance 2018-Z-34 by permitting a full-in/right-out driveway configuration for access to W. Main St./Rt. 64, with respect to the Subject Property pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant's petition and the evidence presented at the Public Hearing, the City Council hereby adopts the Findings of Fact for Special Use, set forth in Exhibit "B", which is attached hereto and incorporated herein.

3. That approval of said Amendment to Special Use for Car Wash is subject to substantial compliance with the Main St./Rt. 64 driveway configuration as depicted on the Site Plan prepared by Webster, McGrath & Ahlberg, Ltd., a reduced copy of which is attached hereto and incorporated herein as Exhibit "B".

4. That after the car wash has operated for a period of approximately one (1) year, the Planning & Development Committee of the City Council shall review the operations of the full-in/right-out access to W. Main St./Rt. 64 and shall have the ability to require modifications to the access as deemed necessary during said review.

5. The Subject Property shall be developed and used only in accordance with all ordinances of the City as now in effect and as hereafter amended.

6. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within

thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of December, 2019.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of December, 2019.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of December, 2019.

Raymond P. Rogina, Mayor

Attest:

Charles Amenta, City Clerk

Vote:

Ayes:

Nays:

Absent:

Abstain:

Date: _____

EXHIBIT "A"

LEGAL DESCRIPTION

LOT 1 IN VALLEY SHOPPING CENTER RESUBDIVISION, BEING A RESUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 28 AND PART OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 11, 2018 AS DOCUMENT NUMBER 2018K016459, IN KANE COUNTY, ILLINOIS.

EXHIBIT “B”

FINDINGS OF FACT FOR SPECIAL USE

- A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

Retaining full access into the site and right-out access exiting the site will allow for better traffic flow.

- B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

Sufficient as being built.

- C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The change to the Special Use allowing us to leave the full access in and right-out only access out will not negatively impact any businesses or vehicle traffic along Rt. 64. The access as it currently sits is a full access and we feel this will keep the traffic and circulation on site moving better. This amendment will help nearby businesses (Rookies and Olympia Chiropractic) by allowing them to maintain a similar flow that their customers are currently using off Rt. 64 (Main St.).

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

Existing development, but the full access into the site and right-out only access exiting the site will maintain cross access between businesses.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

Traffic study determined no negative impacts.

- F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

Yes, conforms.

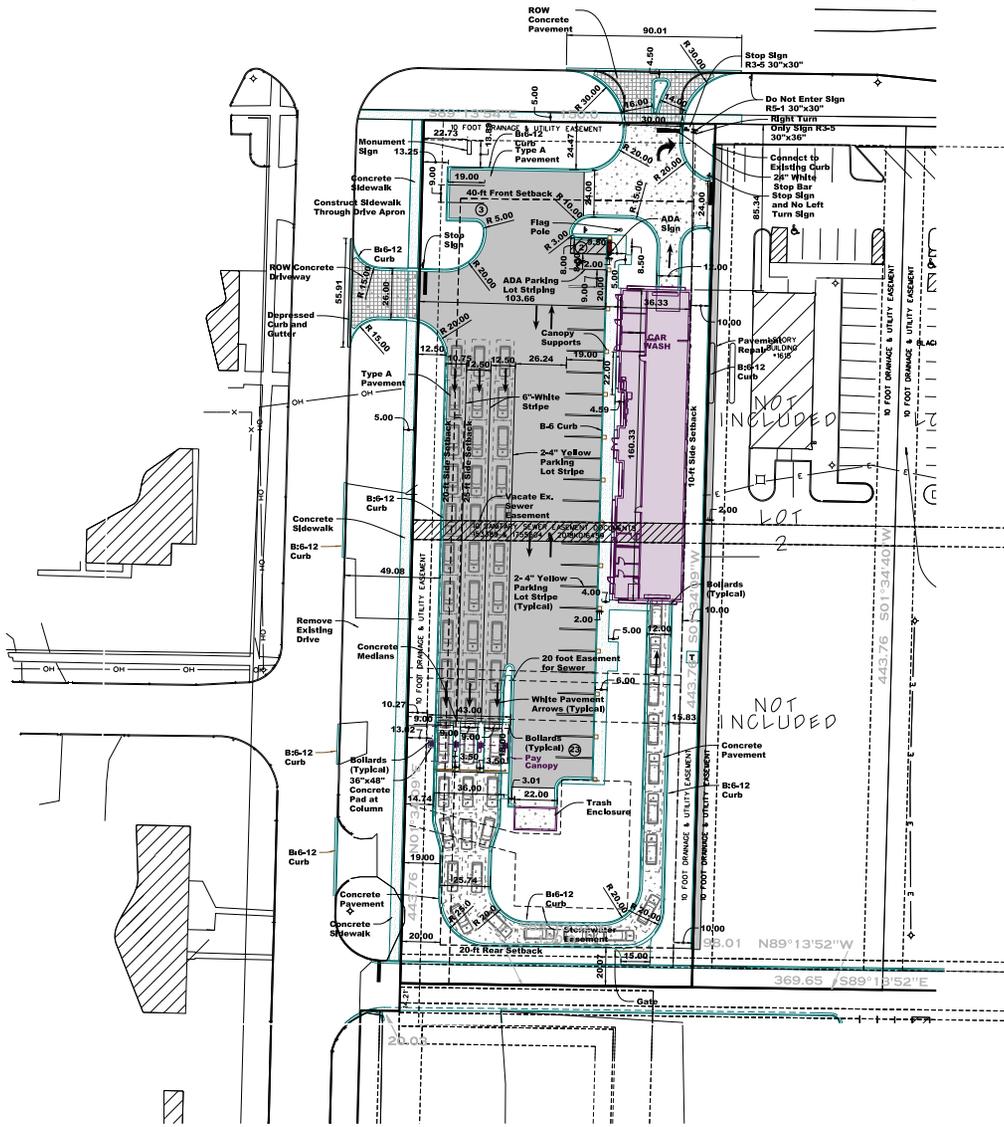
EXHIBIT "C"

SITE PLAN



0 30 60
GRAPHIC SCALE - FEET

MAIN STREET (ILLINOIS ROUTE 64)



SITE DATA TABLE:

ZONING DISTRICT = BC - COMMUNITY BUSINESS

SITE AREA = 66,394 S.FT. (1.52 AC.)

BUILDING AREA = 5,714 S.FT.

PAVED AREA = 37,837 S.FT.

PERVIOUS AREA = 22,843 S.FT.

PARKING REQUIRED = 6 CARS

EMPLOYEE PARKING PROVIDED = 5 CARS

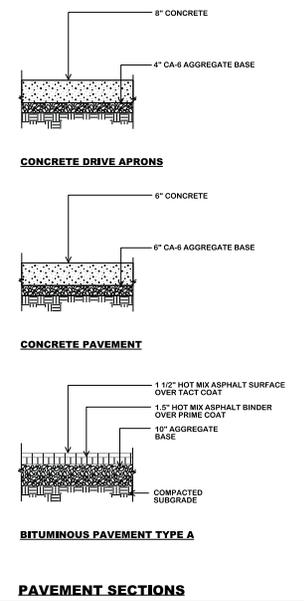
VACUUM STALL PARKING PROVIDED = 23 CARS

STACKING REQUIRED = 30 CARS

STACKING PROVIDED = 54 CARS

PAVEMENT LEGEND:

	CONCRETE SIDEWALK 8" Concrete 4" CA-6 Base
	ROW CONCRETE PAVEMENT 8" Concrete 4" CA-6 Base
	CONCRETE PAVEMENT 6" Concrete 6" CA-6 Base
	TYPE A PAVEMENT 1.5" Hot Mix Asphalt Surface High ESAL L-9.5, Mix D, N 50 1.5" Bituminous Binder High ESAL L-19, N 50 10" CA-6 Base
	B-6-12 Curb Normal Pitch
	B-6-12 Curb Reverse Pitch



- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
 2. CROSS SLOPE OF SIDEWALKS SHALL NOT EXCEED 2.0%.
 3. LANDSCAPE BLOCK WALL TO BE DESIGNED BY STRUCTURAL ENGINEER.

EXTREME CLEAN CAR WASH ST. CHARLES

Prepared For:
EXPRESS CAR WASH, INC.
 491 S. Sullivan St., Suite 205
 Springfield, IL 62767
 (618) 222-2222

WEBSTER, MCCRATH & AHLBERG, LTD.



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REV	DATE	REVISION DESCRIPTION	BY	CHKD	APP'D
1	10/20/2018	Submitted for City Review	BMB		
2	12/20/2018	Revised for City Review	BMB		
3	02/20/2019	Revised for City Review	BMB		
4	03/20/2019	Revised for City Review	BMB		
5	03/20/2019	Revised for City Review	BMB		
6	04/20/2019	Revised for City Review	BMB		
7	04/20/2019	Revised for City Review	BMB		
8	04/20/2019	Revised for City Review	BMB		
9	04/20/2019	Revised for City Review	BMB		
10	10/20/2019	Final for City Review	BMB		

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SITE PLAN

SHEET # **SP-1**