

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: IIC9

Title:

Motion to approve an Ordinance Granting Approval of a PUD Preliminary Plan for First Street Building #7B (R&B Development, LLC)

Presenter:

Rita Tungare

Meeting: City Council

Date: May 18, 2020

Proposed Cost:

Budgeted Amount: N/A

Not Budgeted:

☐**Executive Summary** (*if not budgeted please explain*):

On the March 9, 2020, the Planning and Development Committee recommended approval of a PUD Preliminary Plan for First Street Building #7B. The vote was 8-1.

Building #7B is planned for the First St. lot located east of the Blue Goose store. The project scope includes a 6,955 sf, four-story building with first floor parking and 21 apartment units, as well as streetscape improvements along S. 1st St.

The developer has submitted an updated streetscape plan which addresses staff comments.

Attachments (*please list*):

Ordinance

Recommendation/Suggested Action (*briefly explain*):

Motion to approve an Ordinance Granting Approval of a PUD Preliminary Plan for First Street Building #7B (R&B Development, LLC)

City of St. Charles, Illinois
Ordinance No. 2020-Z-

**An Ordinance Granting Approval of a PUD Preliminary Plan for First Street
Building #7B (R&B Development, LLC)**

WHEREAS, on or about February 14, 2020, R&B Development, LLC (the “Applicant”), filed an application for PUD Preliminary Plan for Building #7B of the First Street Redevelopment PUD, said realty being legally described in Exhibit “A” attached hereto and incorporated herein (the “Subject Realty”); and,

WHEREAS, the Plan Commission recommended approval of the PUD Preliminary Plan on or about February 18, 2020; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of the PUD Preliminary Plan on or about March 9, 2020; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit “B”, such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Site Engineering and Streetscape Plan prepared by County Engineers Inc.; revised 4/30/2020 (3 pages)
- Rendering, Elevations and Floorplan prepared by Marshall Architects (7 pages)

3. That the Subject Property may be developed and used only in accordance with all ordinances of the City now in effect or hereafter amended or enacted.

4. That the Subject Property is part of a Planned Unit Development approved by the City in 2006, and, pursuant to St. Charles Municipal Code, Title 19 “Inclusionary Housing”, Section 19.02.050.2.5, affordable housing units or payment of fee-in-lieu of affordable units is not required.

5. That after the adoption and approval hereof, the Ordinance shall (i) be printed or

published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of May 2020.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of May 2020.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of May 2020.

Raymond P. Rogina, Mayor

Attest:

Charles Amenta, City Clerk

Vote:

Ayes:

Nays:

Absent:

Abstain:

Date:_____

EXHIBIT "A"

LEGAL DESCRIPTION

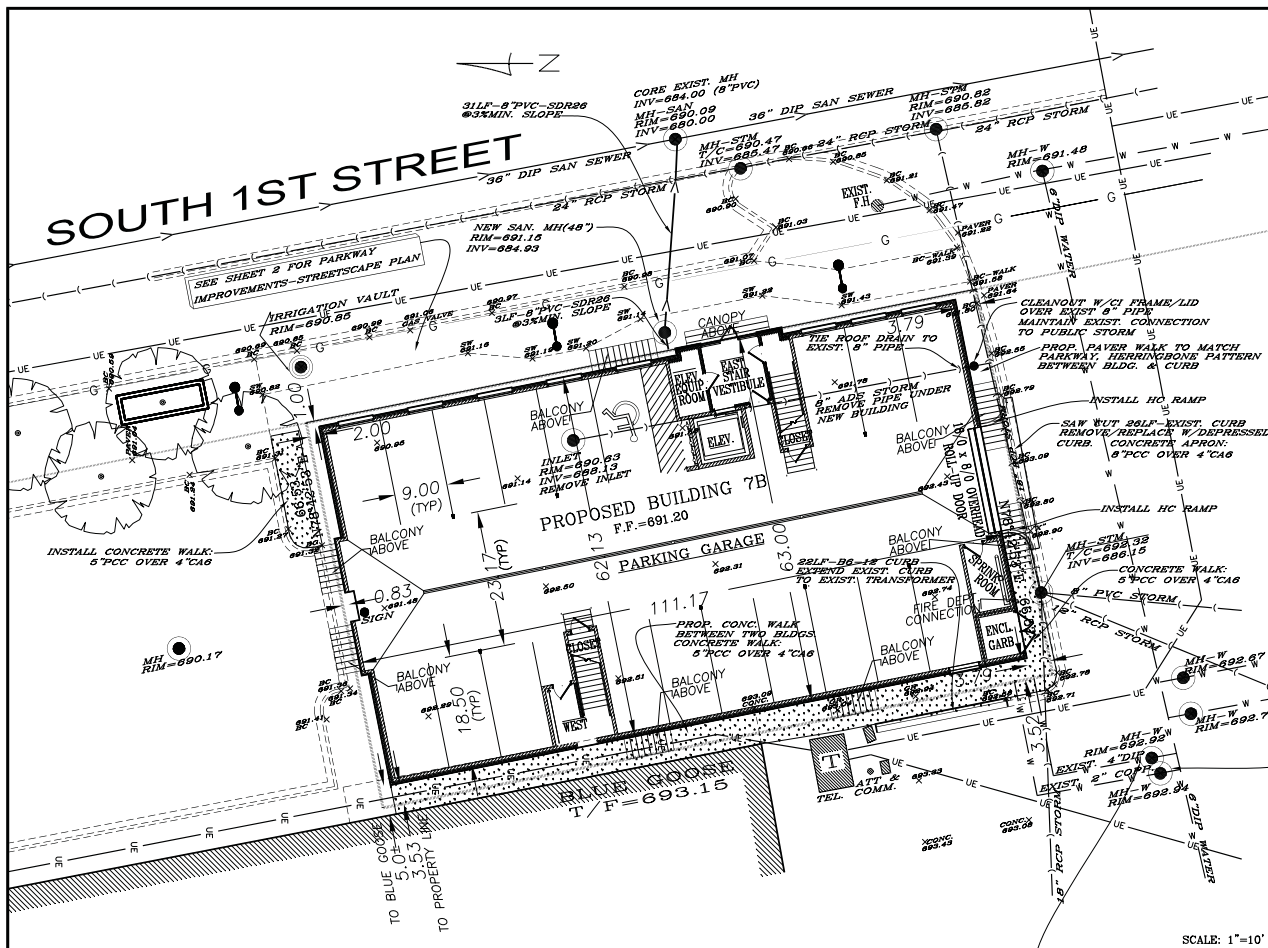
LOT 7 OF PHASE I FIRST STREET REDEVELOPMENT SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 27 AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ALL IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 29, 2007 AS DOCUMENT 2007K035551.

Commonly known as First Street Redevelopment – Building #7B lot located on the west side of S. First Street between Indiana St. and Cobblestone Dr.

PIN: 09-34-132-021

EXHIBIT “B”

**PUD PRELIMINARY PLAN
(10 pages)**



CITY OF ST. CHARLES NOTES

1. ALL OPEN DISTURBED AREAS SHALL BE SODDED OVER A MINIMUM OF 6" OF TOP SOIL UNLESS OTHER LANDSCAPING METHODS ARE APPROVED ON THE LANDSCAPING PLAN.
 2. ALL CONDUIT OR PIPE CONSTRUCTED UNDER EXISTING OR PROPOSED PAVED SURFACES AND WALKS SHALL BE BACKFILLED WITH GRANULAR BACKFILL THOROUGHLY COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS. GRANULAR BACKFILL IS ALSO REQUIRED WITHIN 3" OF PAVED SURFACES.
 3. ALL PAVING, SIDEWALK, AND EXCAVATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) AND THE CITY OF ST. CHARLES STANDARD DETAILS, CODES AND REQUIREMENTS.
 4. ALL SEWER AND WATER MAIN WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND CITY OF ST. CHARLES CONSTRUCTION STANDARDS.
 5. CONTRACTOR TO GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER ACCEPTANCE BY THE CITY.
 6. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
 7. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO VERIFY IN THE FIELD ALL EXISTING AND UNDERGROUND UTILITIES ADJACENT TO THE PROJECT, AND BE RESPONSIBLE FOR PROTECTION OF SAME.
 8. ALL CONCRETE SHALL BE 6 BAG MIX, 3500 PSI CONCRETE AT 14 DAYS. CURING MATERIAL SHALL BE MEMBRANE CURING COMPOUND AND SHALL BE WHITE IN COLOR TO ASSURE ADEQUATE COVERAGE.
 9. CONTRACTOR SHALL NOTIFY CITY 48 HOURS IN ADVANCE OF CONSTRUCTION OF UNDERGROUND WORK. NO UNDERGROUND WORK SHALL BE COVERED UNTIL SAME HAS BEEN INSPECTED BY THE CITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE CITY PRIOR TO INSTALLING PAVEMENT BASE, PAVEMENT BINDER, PAVEMENT SURFACE, AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
 10. IF APPLICABLE, ALL NEW REINFORCED CONCRETE PIPE STORM SEWER 12" AND LARGER WHERE SHOWN ON THE PLANS SHALL BE ASTM DESIGNATION C-76 MINIMUM CLASS, CLASS III. ALL PIPE WITH LESS THAN 3" OF COVER AND MORE THAN 15' OF COVER SHALL BE CLASS V. ALL JOINTS SHALL BE "O" RING RUBBER GASKET CONFORMING TO ASTM C-361 SPECIFICATIONS. ALL STORM SEWERS WITH LESS THAN 1-75' OF COVER AND ALL DUCTILE IRON PIPE STORM SEWERS WHERE SHOWN ON THE PLANS SHALL BE DUCTILE IRON PIPE CLASS 52 ANSI SPECIFICATIONS A-21.51 WITH PUSH-ON OR MECHANICAL JOINTS AND POLYETHYLENE ENCASEMENT.
 11. BITUMINOUS PAVEMENT MATERIAL MUST BE PLACED IN TWO LIFTS. THICKNESS OF EACH LIFT SHALL BE AS SHOWN ON APPROVED PLANS. ALL MATERIAL SHALL BE CLASS I BITUMINOUS AS PER IDOT STANDARDS. THE FINAL SURFACE COURSE SHALL NOT BE INSTALLED UNTIL THE CITY HAS APPROVED THE COMPACTION OF THE BINDER MATERIAL. THE BINDER COURSE SHALL NOT BE INSTALLED UNTIL THE COMPACTION OF THE STONE BASE HAS BEEN APPROVED BY THE CITY. THE FINAL SURFACE COURSE MAY NOT BE INSTALLED UNTIL THE MAJOR PORTION OF BUILDING CONSTRUCTION HAS BEEN COMPLETED AS DETERMINED AND APPROVED BY THE CITY.
- NOTE: IN CASE OF CONFLICT WITH OTHER NOTES AND SPECIFICATIONS, THE CITY'S STANDARD NOTES AND DETAILS SHALL APPLY.

ABANDON EXIST MANHOLE
DISCONNECT 8" WATER SERVICE
PER CITY OF ST. CHARLES STANDARDS/
REQUIREMENTS.

DISCONNECT 4" DIP AT MAIN, PER CITY OF ST. CHARLES REQUIREMENTS.
REPLACE A NEW 6" DIP FOR EXISTING 4" SERVICE, MANHOLE TO REMAIN IN USE.
INSTALL A 6"x8" CUT-IN-TIE AT EXISTING MAIN
INSTALL A 6" GATE VALVE INSIDE EXISTING MANHOLE
INSTALL APPROX. 45LP-6" DIP TO PROPOSED BUILDING
USE C&G TRENCH BACKFILL AND PATCH ASPHALT PER CITY'S STANDARDS

TRAFFIC CONTROL/PROTECTION NOTES:

- 1- TRAFFIC CONTROL AND PROTECTION SHALL BE IN ACCORDANCE WITH SECTION 701 OF IDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE APPLICABLE GUIDELINES IN THE ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND THE APPLICABLE KANE COUNTY STANDARDS FOR TRAFFIC CONTROL.
- 2- ANY DROP OFF GREATER THAN THREE INCHES WITHIN EIGHT FEET OF THE PAVEMENT EDGE SHALL BE PROTECTED BY TYPE-II BARRICADES, EQUIPPED WITH MONO-DIRECTIONAL STEADY BURN LIGHTS SPACED AT 50' CENTERS. BARRICADES THAT MUST BE PLACED IN EXCAVATED AREAS SHALL HAVE LEG EXTENSIONS INSTALLED SUCH THAT THE TOP OF THE BARRICADE IS IN COMPLIANCE WITH THE HEIGHT REQUIREMENTS OF IDOT STANDARD 702001.
- 3- ARROW BOARDS WILL BE REQUIRED WHEN IMPLEMENTING ALL LANE CLOSURES.
- 4- TEMPORARY SIGNING SHALL CONFORM TO PART VI OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS", AND SHALL BE MOUNTED ON PERMANENT SUPPORTS.
- 5- MONO-DIRECTIONAL FLASHING LIGHTS AND 18"x18" (MINIMUM) ORANGE FLAGS SHALL BE MOUNTED ON ALL "ROAD CONSTRUCTION" SIGNS.
- 6- THE CONTRACTOR SHALL PROVIDE AND INSTALL TWO (2) WEIGHTED SAND BAGS ON EACH TYPE-I OR TYPE-II BARRICADE USED - ONE WEIGHTED SAND BAG ACROSS EACH BOTTOM RAIL.
- 7- THE CONTRACTOR SHALL INSPECT AND MAINTAIN ALL TRAFFIC CONTROL/PROTECTION SIGNS DAILY.
- 8- ANY WORK THAT REQUIRES ENCROACHMENT INTO THE THROUGH LANES ON SOUTH FIRST STREET SHALL BE RESTRICTED TO THE HOURS OF 9:00AM TO 3:00PM.

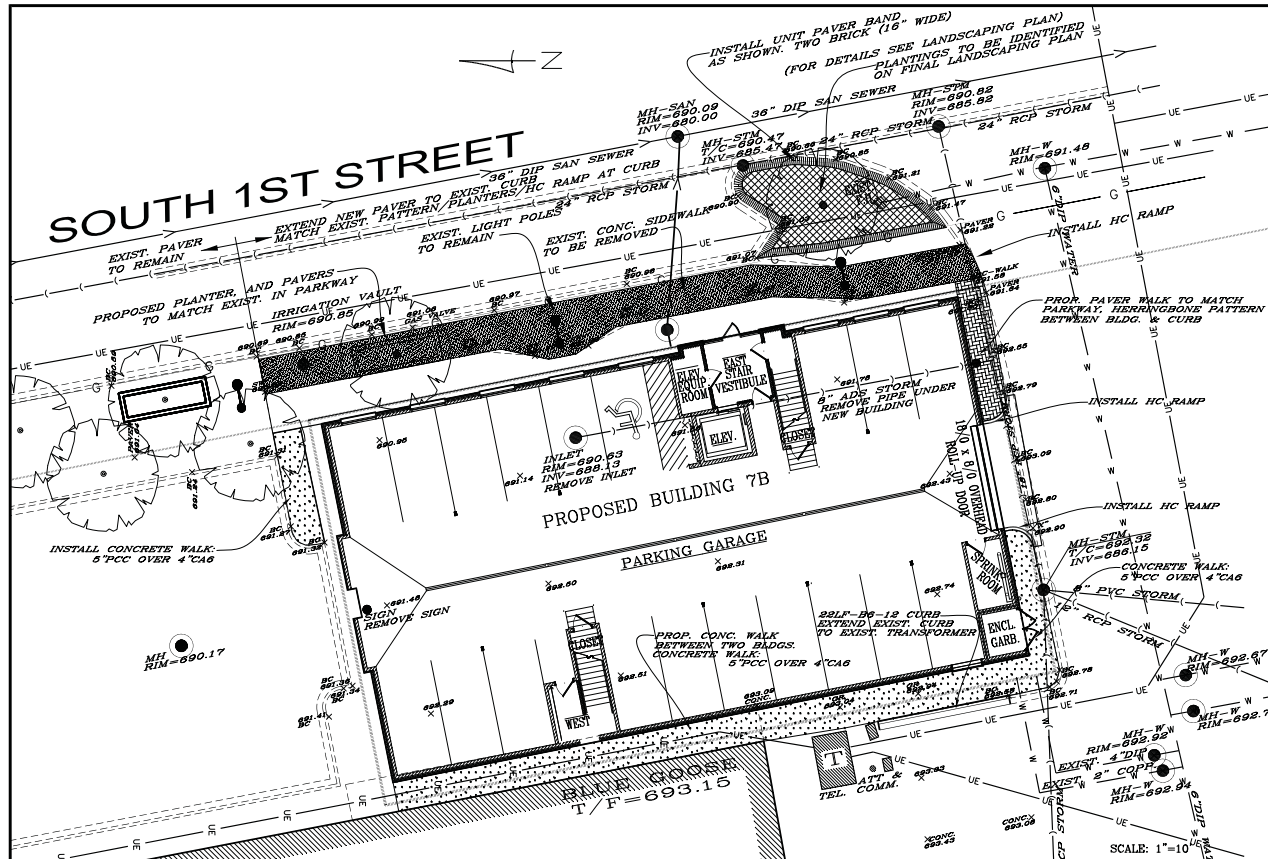


Brandon Jafari
REGISTERED PROFESSIONAL ENGINEER
RENEWAL DATE: 11/30/21

FEBRUARY 14, 2020



| | | | | | |
|------------------------|-----------|--------------------------------|--|-----------------------|--|
| COUNTY ENGINEERS, INC. | | BUILDING 7B - SOUTH 1ST STREET | | ST. CHARLES, ILLINOIS | |
| Grading | | Foundation | | | |
| 1 | 3/9/2020 | CITY'S COMMENTS | | | |
| 2 | 4/30/2020 | BLOC PLANS | | | |
| 3 | | | | | |
| REVISIONS: | | SHEET 1 OF 3 | | | |
| SITE PLAN | | | | | |



Brandon Jafari
REGISTERED PROFESSIONAL ENGINEER
RENEWAL DATE: 11/30/21

FEBRUARY 14, 2020

REVISIONS:

| NO. | DATE | CITY'S COMMENTS | DESCRIPTION |
|-----|-----------|-----------------|-------------|
| 1 | 3/9/2020 | CITY'S COMMENTS | Grading |
| 2 | 4/30/2020 | BUDG. PLANS | Marriage |
| 3 | | | Foundation |

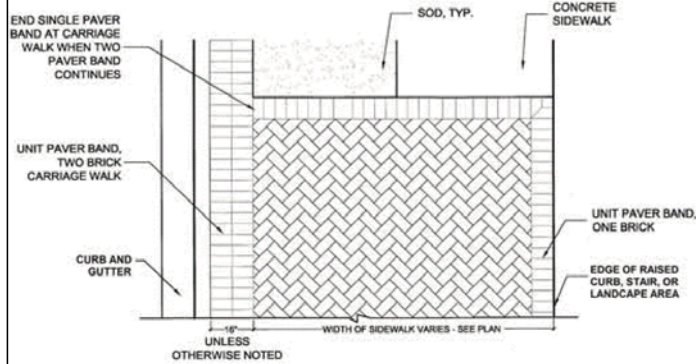
STREETSCAPE SOUTH 1ST STREET
SHEET 2 OF 3

BUILDING 7B - SOUTH 1ST STREET

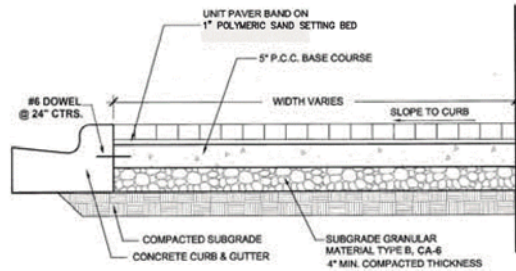
COUNTY ENGINEERS INC.

1100-892-0000
1100-892-0000
1100-892-0000

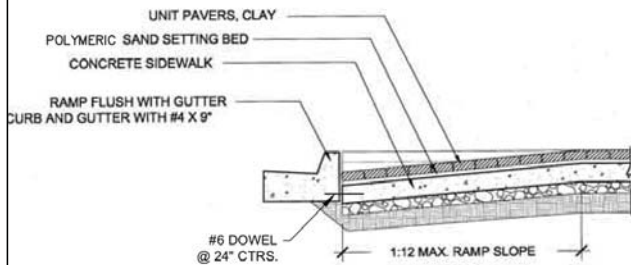
Scale: 1"=10'



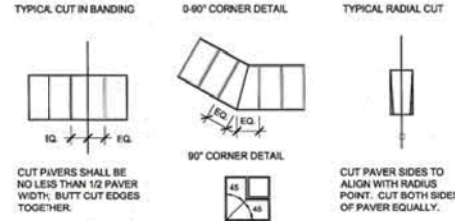
1 SIDEWALK SURFACE PATTERNING
NO SCALE



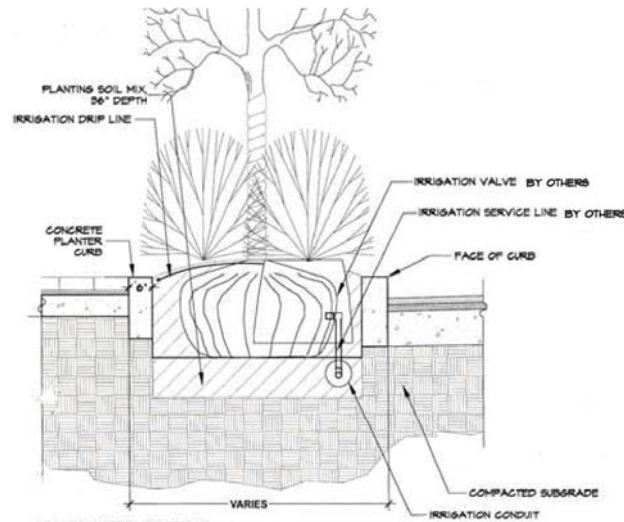
4 PAVER SIDEWALK SECTION
NO SCALE



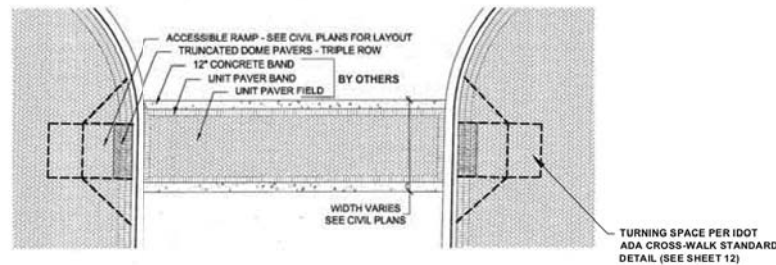
7 HANDICAP CURB RAMP SECTION
NO SCALE



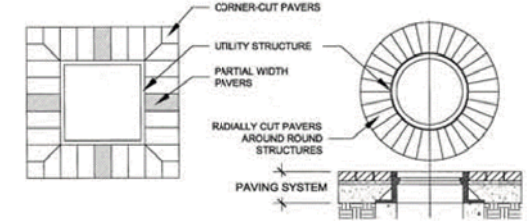
2 TYPICAL PAVER CUTS
NO SCALE



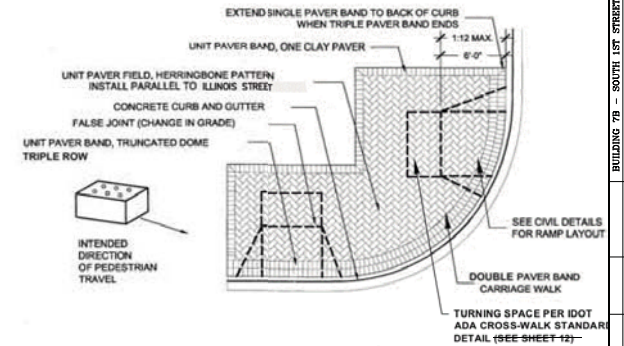
5 PLANTER - SECTION
NO SCALE



8 CROSSWALK DETAIL
NO SCALE

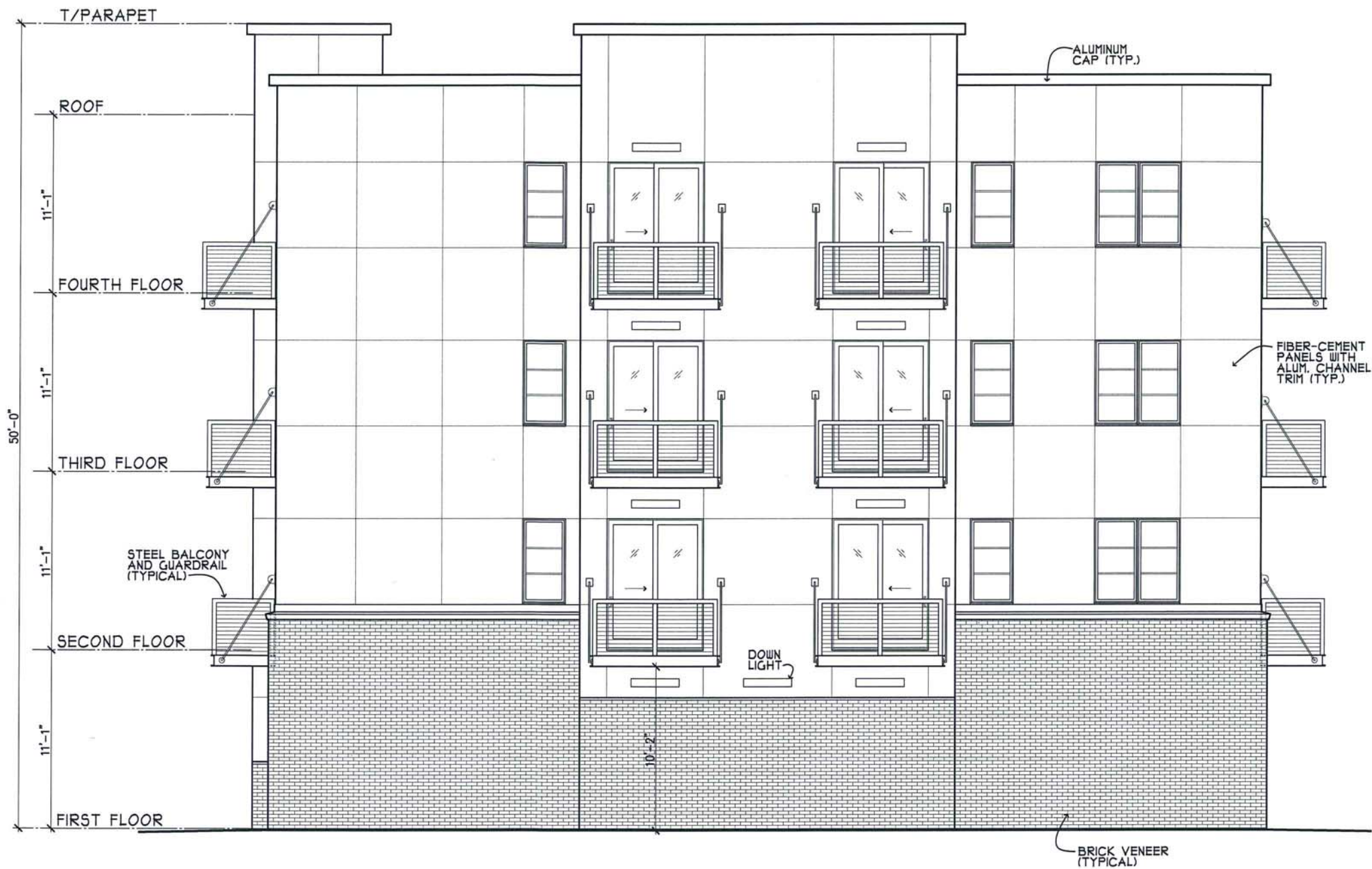


3 PAVER BORDER AROUND STRUCTURES
NO SCALE



6 HANDICAP CURB RAMP - TYP. LAYOUT
NO SCALE





NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

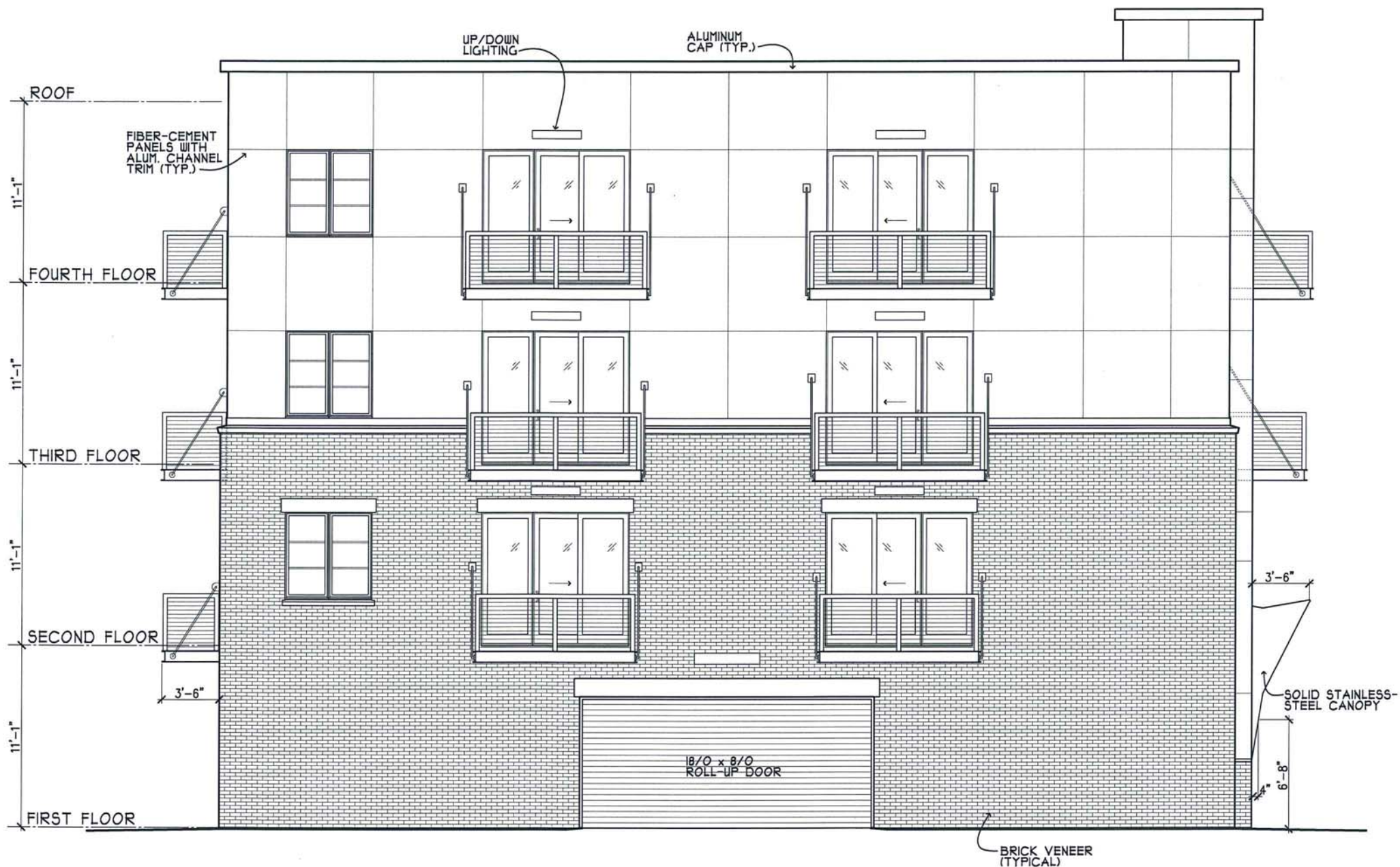
SCALE: 1/8" = 1'-0"



NOTE:
12% UNPROTECTED OPENINGS
IN ONE-HOUR RATED
EXTERIOR WEST WALL

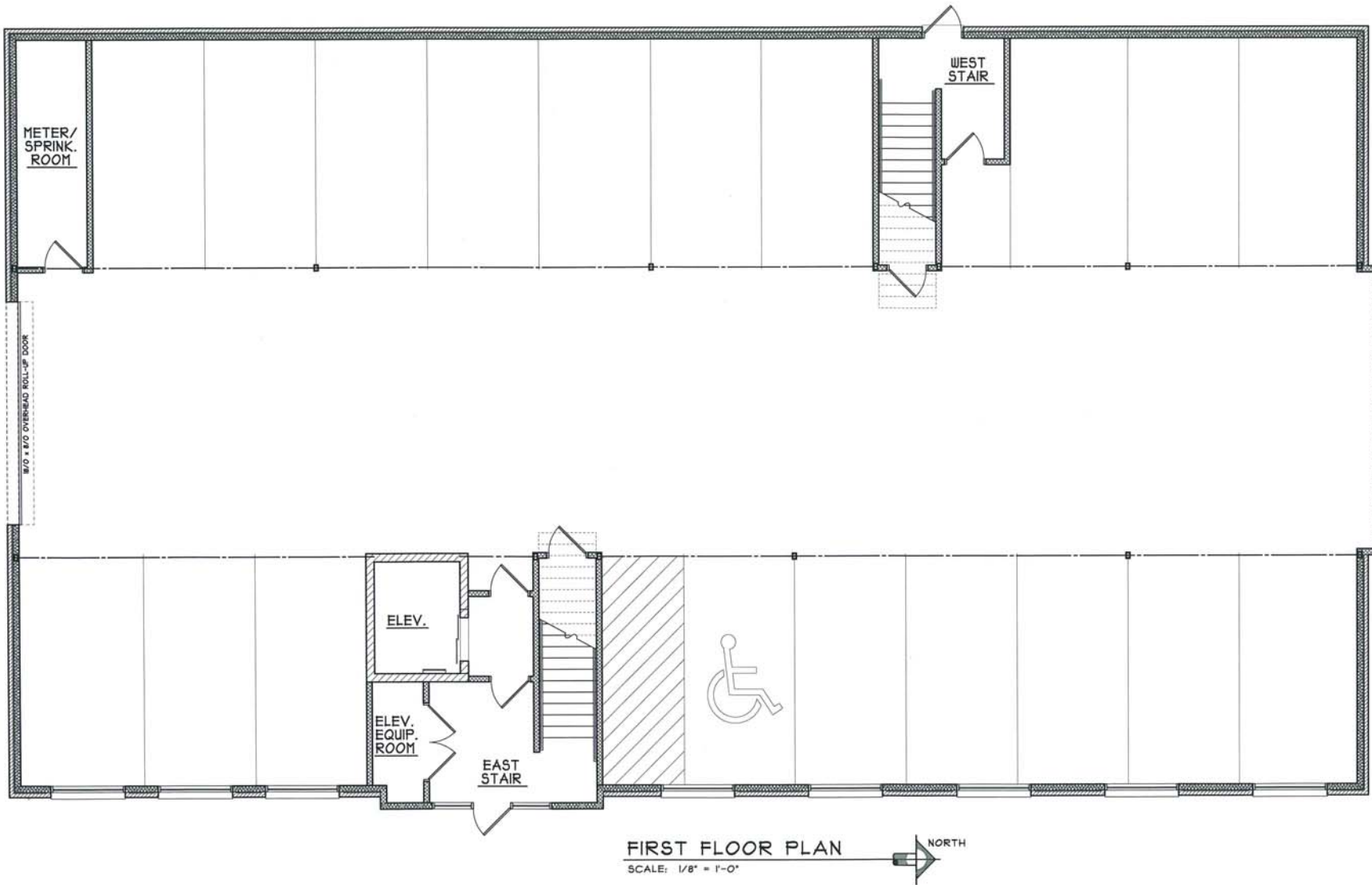
WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



JAN. 15, 2020 - PRELIMINARY DESIGN

PLOTTED: 1/14/2020

PROPOSED NEW APARTMENT BUILDING:

BLDG. 7B

FIRST STREET ST. CHARLES, ILLINOIS 60114
BOB RASMUSSEN

| Revisions: |
|------------|
| |
| |
| |

| | |
|-------------|------|
| Commission: | 2748 |
| Issue Date: | |
| Drawn By: | CDZ |
| FLOOR PLAN | |

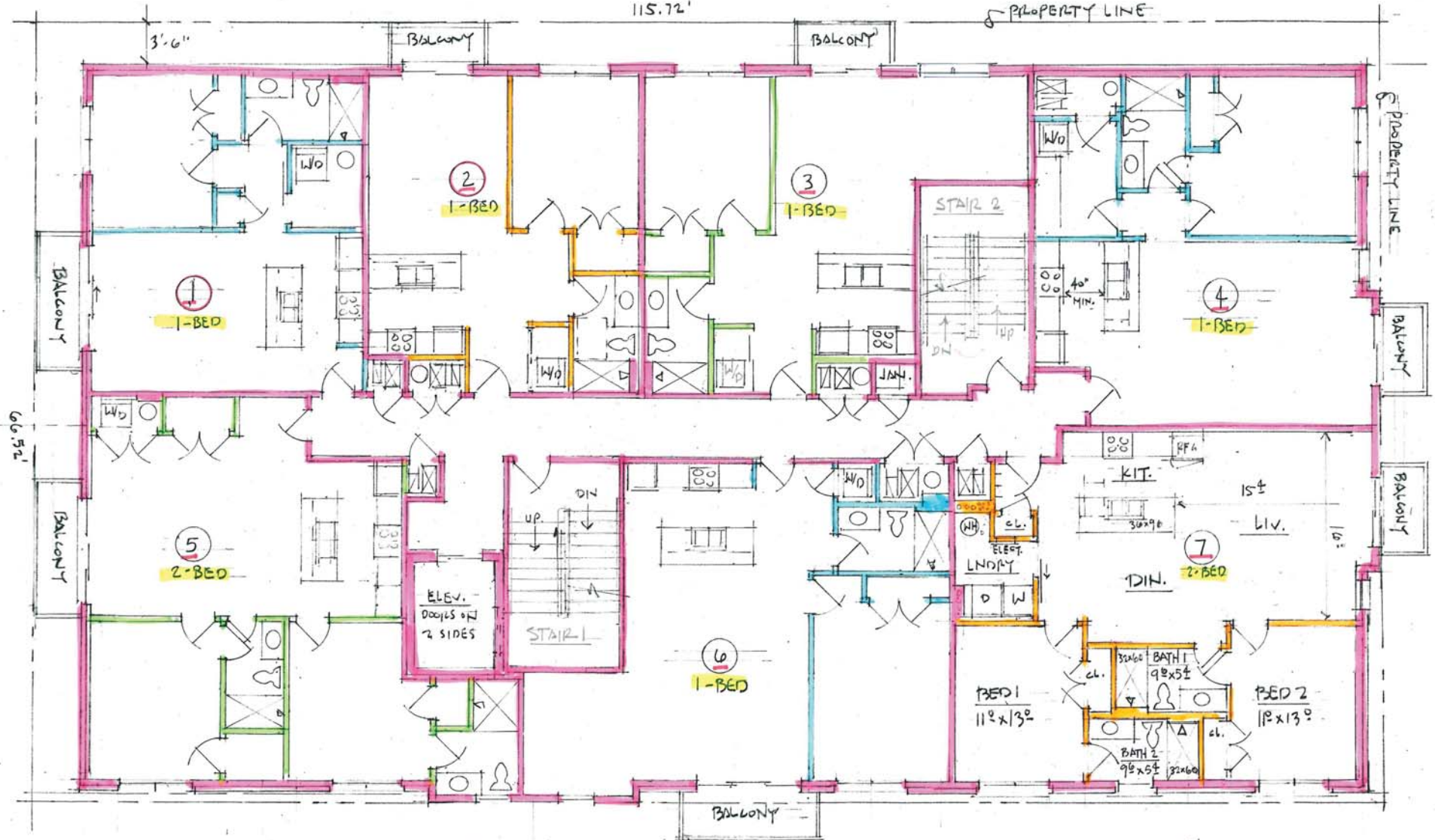
| | |
|--------|--|
| Sheet: | |
| of: | |



← EAST WALL OF BLUE GOOSE (2 STORY)

115.72'

← PROPERTY LINE



FIRST STREET BUILDING 7B. ST. CHARLES. IL.

BOB RASMUSSEN

MARSHALL ARCHITECTS, INC.

PRELIMINARY 2ND, 3RD & 4TH FLOOR PLAN

1/2" = 1'-0"

0 5 10

11-26-19