



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: IO

Title: Public hearing regarding a proposed Annexation Agreement for Pride of Kane County

Presenter: Rita Tungare

Meeting: City Council

Date: December 7, 2020

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

Executive Summary (if not budgeted please explain):

Background

The subject property is a 2.37-acre parcel at the southeast corner of Kirk Rd. and E. Main St. The property is located in unincorporated St. Charles Township and is contiguous with city limits on all sides, making the property eligible for annexation to St. Charles. The developer and property owner, CIMA Developers, LP, has filed a Petition for Annexation. Staff has prepared an annexation agreement. Per State statute, a notice of public hearing has been posted regarding the proposed annexation agreement. Additionally, relevant taxing bodies have been notified of the proposed annexation ordinance on tonight’s City Council agenda.

CIMA Developers proposes to develop the Pride of Kane County, consisting of a Pride fuel facility, convenience store, and car wash. On November 9, 2020 the Planning & Development Committee voted on the zoning applications submitted for the project (Map Amendment, Special Use for PUD and PUD Preliminary Plan). The motion to approve failed to pass in a 4-5 vote.

Annexation Agreement

At the November meeting, the P&D Committee also reviewed a draft Annexation Agreement. An Annexation Agreement is a contractual agreement between the City and property owner. Under State statute, annexation agreements can be used to negotiate for extraordinary items that are over and above what is typically included in zoning or subdivision regulations. An Annexation Agreement is not required to annex property. Historically, the City entered Annexation Agreements for larger, multi-phase projects that required significant public improvements, or projects where the development plan was not fully defined.

The draft Agreement reviewed by the Committee had included a provision stating the City would reimburse the developer for the cost of constructing public sidewalk along the site frontages. This request has been withdrawn by the developer and the City reimbursement has been removed from the agreement.

With the sidewalk reimbursement now removed, from a practical standpoint, there is no need for an Annexation Agreement for the project. The PUD approval will include zoning and development plans for the entire property.

Per State statute, a Resolution authorizing the City to enter an Annexation Agreement must be passed by a two-thirds vote of the Corporate Authorities (8 votes of the City Council plus the Mayor). However, the ordinances to annex territory into the City and approve the zoning/PUD require only a simple majority vote.

The Council has a choice to decide whether to annex the property with or without an Annexation Agreement.

The following items related to this project are listed on tonight’s City Council agenda for action:

1. Resolution authorizing the Mayor and City Council to enter into the Annexation Agreement.
2. Ordinance annexing the property to the City of St. Charles.
3. Ordinance approving a Map Amendment, Special Use for PUD, and PUD Preliminary Plan for Pride of Kane County.

Attachments (please list):

Letter from CIMA Developers dated 11/16/20; Annexation Agreement; Letters/Comments Received



CIMA DEVELOPERS, LP

30W180 Butterfield Road
Warrenville, IL 60555
O: (630) 653-1700
F: (630) 791-8283

November 16, 2020

Community and Economic Development
Community Development Division
2 E. Main St
St. Charles, IL 60174

Attn: Ms. Rita Tungare/Mr. Russell Colby

**Re: The PRIDE of Kane County- SEC of IL Route 64 and Kirk Road
Notice to withdraw our request for sidewalk reimbursement**

Please allow this letter to serve as CIMA Developer's intent to withdraw our request for City of St. Charles reimbursement on the associated project's required sidewalk costs. CIMA Developers will bear the full responsibility and cost of this scope. Please revise the current DRAFT Annexation Agreement accordingly and as such.

Regards,

Dan Soltis

CIMA Developers, LP

ANNEXATION AGREEMENT

THIS ANNEXATION AGREEMENT (hereinafter referred to as the “AGREEMENT”) made and entered into this ____ day of _____, 2020 by and between the CITY OF ST. CHARLES, an Illinois municipal corporation located in Kane and DuPage Counties, Illinois (hereinafter referred to as “CITY”) and CIMA Developers, LP (hereinafter referred to as “OWNER”; the CITY and the OWNER being sometimes hereinafter referred to individually as “PARTY” and collectively as the “PARTIES”).

WITNESSETH:

WHEREAS, the OWNER is the owner of record of a certain parcel of real estate, legally described in Exhibit “A” attached hereto and incorporated herein (hereinafter referred to as “SUBJECT REALTY”); and

WHEREAS, the OWNER has agreed to develop the SUBJECT REALTY and assume all responsibility and liability for the development of the SUBJECT REALTY in accordance with the terms and conditions of this AGREEMENT, and will carry out the duties and obligations of the OWNER as hereinafter provided; and

WHEREAS, the SUBJECT REALTY constitutes territory which is contiguous to and may be annexed to the CITY as provided in 65 ILCS 5/7-1-1, *et seq.*; and

WHEREAS, a Petition for Annexation for the SUBJECT REALTY has been filed by OWNER with the CITY in accordance with 65 ILCS 5/7-1-8; and

WHEREAS, the OWNER desires to have the SUBJECT REALTY annexed to the CITY upon the terms and conditions hereinafter set forth; and

WHEREAS, the CITY has considered the annexation of the SUBJECT REALTY and has determined that the best interest of the CITY will be met if the SUBJECT REALTY is annexed; and

WHEREAS, this Agreement is made pursuant to the provisions of 65 ILCS 5/11-15.1-1, *et seq.*; and

WHEREAS, all public hearings, as required by law, have been held by the Plan Commission and the City Council of the CITY, upon the matters covered by this AGREEMENT; and

WHEREAS, by a favorable vote of at least two-thirds (2/3) of the City Council of the CITY, a Resolution has heretofore been adopted authorizing the execution of this AGREEMENT.

NOW, THEREFORE, in consideration of the premises and of the mutual covenants and agreements herein contained, IT IS HEREBY AGREED BY AND BETWEEN THE CITY and OWNER, as follows:

Section 1. INCORPORATION OF RECITALS: The PARTIES hereby confirm and admit the truth and validity of the representations and recitations set forth in the foregoing recitals. The PARTIES further acknowledge that the same are material to this AGREEMENT and are hereby incorporated into and made a part of this AGREEMENT as though they were fully set forth in this Section 1 and the same shall continue for so long as this AGREEMENT is of force and effect.

Section 2. MUTUAL ASSISTANCE: The PARTIES shall do all things necessary or appropriate to carry out the terms and provisions of this AGREEMENT and to aid and assist each other in furthering the objectives of this AGREEMENT and the intent of the PARTIES as reflected by the terms of this AGREEMENT, including, without limitation, the giving of such notices, the holding of such public hearings, and the enactment by the CITY of such resolutions and ordinances, the execution of such permits, applications and agreements and the taking of such other actions as may be necessary to enable the PARTIES' compliance with the terms and provisions of this AGREEMENT and as may be necessary to give effect to the objectives of this AGREEMENT and the intentions of the PARTIES as reflected by the terms of this AGREEMENT.

Section 3. ANNEXATION: Subject to the provisions of 65 ILCS 5/7-1-8, as amended, the PARTIES respectively agree to do all things necessary or appropriate to cause the SUBJECT REALTY to be duly and validly annexed to the CITY as soon as practicable after the execution of this AGREEMENT. Attached hereto and incorporated herein as Exhibit "B" is the form of Ordinance providing for the annexation of the SUBJECT REALTY, entitled "An Ordinance Annexing Certain Unincorporated Territory to the City of St. Charles, Illinois (Pride of Kane County)", together with a copy of the plat of annexation attached thereto.

Should any person having proper standing to do so bring a cause of action before any court of competent jurisdiction challenging the CITY'S lawful authority to annex the SUBJECT REALTY or challenging the method or procedures by or through which the PARTIES purported to cause the SUBJECT REALTY to be annexed to the CITY, the PARTIES agree that they shall fully cooperate, as provided in Section 2 hereof, to defend such cause of action. Should a court of competent jurisdiction finally determine that annexation of the SUBJECT REALTY was defective because of the failure of the PARTIES to follow a procedural requirement constituting a valid precondition to proper annexation of the SUBJECT REALTY, the PARTIES agree to promptly cause the SUBJECT REALTY to be reannexed to the CITY in a manner which satisfies all procedural requirements.

Should a court of competent jurisdiction finally determine that annexation of the SUBJECT REALTY by the CITY was without lawful authority (i.e., lack of contiguity), the PARTIES agree that this AGREEMENT shall thereafter be deemed a Pre-Annexation Agreement authorized pursuant to 65 ILCS 5/7-1-1, as amended, and shall remain in full force and effect to the extent permitted by law. Thereafter, should the SUBJECT REALTY become

contiguous to the CITY, the PARTIES agree to promptly take all necessary steps as may then be provided by law to perfect the annexation of the SUBJECT REALTY to the CITY.

Section 4. ZONING: Immediately subsequent to the annexation of the SUBJECT REALTY to the CITY, the PARTIES respectively agree to do all things necessary or appropriate to cause the SUBJECT REALTY to be duly and validly rezoned to the BR Regional Business District, pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended (“ZONING ORDINANCE”), and to grant a Special Use for Planned Unit Development for the SUBJECT REALTY. Attached hereto and incorporated herein as Exhibit “C” is a copy of the Ordinance rezoning the SUBJECT REALTY to the BR Regional Business District and granting a Special Use for a Planned Unit Development, entitled “An Ordinance Granting Approval of a Map Amendment, Special Use for PUD and PUD Preliminary Plan for Pride Kane County” (“PUD ORDINANCE”).

Should any person having proper standing to do so bring a cause of action before any court of competent jurisdiction challenging the rezoning of the SUBJECT REALTY as provided in this AGREEMENT and in the ordinance referenced in the preceding paragraph, the PARTIES agree that they shall fully cooperate, as provided in Section 2 hereof, to defend against such cause of action. Further, the PARTIES specifically agree that to the extent such litigation proves successful, the CITY shall take such legislative action as then may be lawfully required to cause the SUBJECT REALTY to be zoned for the purposes herein contemplated.

Section 5. PRELIMINARY PLAT OF SUBDIVISION & PRELIMINARY ENGINEERING PLANS: Subject to the provisions of 65 ILCS 5/11-12-8, as amended, and Title 16 of the St. Charles Municipal Code, as amended (“SUBDIVISION ORDINANCE”), the CITY will grant preliminary plat of subdivision approval for the subdivision of the SUBJECT REALTY and preliminary engineering plan approval for the SUBJECT REALTY pursuant to the plans attached as exhibits to the PUD ORDINANCE, heretofore attached and incorporated herein as Exhibit “C”.

The OWNER shall not be required to submit for review or obtain approval of any additional preliminary plan or plat in order to obtain approval by the CITY of a final plat of subdivision of the SUBJECT REALTY which is in substantial conformity with the preliminary plat of subdivision. Upon the submission of a final plat of subdivision (“FINAL PLAT”) accompanied by final engineering plans (“FINAL ENGINEERING PLANS”), for the SUBJECT REALTY, and provided such FINAL PLAT and FINAL ENGINEERING PLANS comply with applicable ordinances of the CITY and this AGREEMENT, the CITY shall approve such FINAL PLAT and FINAL ENGINEERING PLANS within the time period provided in 65 ILCS 5/11-12-8, as amended.

Section 6. APPLICABLE MUNICIPAL STANDARDS: Upon annexation of the SUBJECT REALTY, all zoning, subdivision, building and development of the SUBJECT REALTY (including any area adjacent thereto, the improvement of which is necessary or proposed to facilitate the development of the SUBJECT REALTY) shall be undertaken in conformity with the requirements of all applicable CITY codes, ordinances, rules, regulations and standards generally in force, from time to time, within the CITY, except to the extent that the same are

superseded by more restrictive standards imposed by other regulatory authorities having jurisdiction and, further, as the same may be specifically modified by the terms of this AGREEMENT. Said applicable municipal standards shall otherwise be referred to herein as the "CITY CODE".

Section 7. RESPONSIBILITY FOR CITY REVIEW EXPENSES: OWNER agrees to pay all CITY expenses for the review, preparation of documents and plans, hearings and approvals through the adoption of this AGREEMENT incurred by the CITY, including, but not limited to, legal fees, engineering fees, and any other fees incurred with respect to this AGREEMENT. Said expenses shall be paid out of the account established with the CITY by the OWNER; provided, however, that should such account have insufficient funds, any remaining amounts due hereunder shall be billed to the OWNER and the OWNER shall pay, within thirty (30) days of the date of invoicing, same in full as a condition to the CITY'S execution of this AGREEMENT.

Section 8. UTILITY EASEMENTS: To the extent that any required public improvements are to be dedicated to the CITY, the OWNER shall grant, or cause to be granted, to the CITY, adequate easements and public rights-of-way in form and substance reasonably acceptable to the CITY.

Section 9. REQUIRED IMPROVEMENTS:

(a) Engineering Conformance. All public improvements to be constructed shall be constructed in conformance with the approved engineering plans, Section 5 hereof and the Land Improvement Agreement referred to herein (the "IMPROVEMENT AGREEMENT"). In the event that any provision of the CITY CODE, the IMPROVEMENT AGREEMENT or any engineering plans shall conflict with any other provision of the CITY CODE, the IMPROVEMENT AGREEMENT or any engineering plans, that provision determined by the CITY'S Community & Economic Development Director to be the most restrictive shall apply.

(b) Sanitary Sewer, Water and Electric Facilities. OWNER shall connect to the CITY owned wastewater, water and electric utilities to serve the SUBJECT REALTY. At such time as OWNER connects to CITY utilities, OWNER shall apply for any connection permits required by the CITY and shall pay the CITY'S required tap-on or connection fees as, from time to time, may be provided by ordinance. Except as otherwise set forth herein, the OWNER shall be responsible for the costs associated with bringing the aforesaid utilities from the connection point to the locations on the SUBJECT REALTY where the utilities will be utilized, and completing any related system improvements deemed necessary by the CITY to serve the SUBJECT REALTY.

The CITY shall not be responsible for its inability to provide any of the utility services identified herein, or for any loss or damage, including consequential damage, or delay in installation caused by strikes, riots, the elements, embargos, the failure of carriers or the inability to obtain materials or other acts of God or by virtue of any other cause beyond the CITY'S reasonable control, including but not limited to inability to acquire necessary easements or permits subject to review and issuance by other agencies. The CITY shall cooperate with the OWNER in obtaining any necessary easements.

OWNER shall disconnect the Commonwealth Edison electric service and remove any unused overhead service lines and poles from the Subject Realty. Any private water wells or sanitary sewer septic systems shall be properly abandoned in accordance with applicable codes.

(c) Storm Water Facilities.

(i) OWNER shall provide for storm water drainage and the retention/detention thereof upon and from the SUBJECT REALTY, in substantial conformity with the PRELIMINARY ENGINEERING PLANS and the CITY'S applicable storm water management ordinance, subject to review and approval of FINAL ENGINEERING PLANS.

(ii) The storm water retention/detention area ("DETENTION AREA") as identified on the PRELIMINARY PLAN, as adjusted pursuant to the review and approval of the FINAL ENGINEERING PLANS, shall be impressed with a stormwater detention easement in form and content approved by the CITY. The DETENTION AREA shall be maintained by the OWNER.

(iii) In accordance with Title 18 of the St. Charles Municipal Code ("STORMWATER ORDINANCE"), Section 18.04.010 – Stormwater Management Ordinance - Adopted – Modifications, Subsection P', the SUBJECT REALTY, identified as item No. 8, "Pride Gas Station," was exempted from the 2019 revisions to the Kane County Stormwater Ordinance. The PRELIMINARY ENGINEERING PLANS and associated DETENTION AREA have been designed in accordance with this exemption. The SUBJECT REALTY may be developed in conformance with the PRELIMINARY ENGINEERING PLANS irrespective of the expiration of said exemption.

(d) Public Sidewalks. OWNER shall cause public sidewalks to be installed along the public street frontages adjacent to the SUBJECT REALTY in substantial conformity with the PRELIMINARY ENGINEERING PLANS, as approved, and the applicable provisions of the Subdivisions Regulations of the CITY.

(e) Kirk Road Crosswalk. The CITY acknowledges that future installation of a pedestrian crosswalk across the south leg of the intersection of Kirk Road and E. Main St./IL Route 64, as shown on the PRELIMINARY ENGINEERING PLANS, would improve pedestrian connectivity. The OWNER shall not be required to install or otherwise contribute to the cost of the crosswalk in connection with the development of SUBJECT REALTY.

(f) Cross Access. As shown on the PRELIMINARY ENGINEERING PLANS, OWNER shall provide for cross access vehicular connections to the south and east to the Main Street Commons shopping center. Said cross access shall be available for use by the SUBJECT REALTY, subject to the terms and conditions of any easement agreement between the OWNER and shopping center.

(g) Building Permit Timing and Completion of Improvements Prior to Occupancy. OWNER agrees to comply with Section 16.04.140.B with regards to the timing and issuance of Building Permits and to complete the required improvements before a Certificate of Occupancy issued as stipulated in Section 16.04.140.C.

(h) Guarantee for Land Improvements. As a condition of approval of a FINAL PLAT, the OWNER shall execute a LAND IMPROVEMENT AGREEMENT, in substantially the form provided in Appendix D of the SUBDIVISION ORDINANCE and tender the security provided for therein.

Section 10. FEES AND CONTRIBUTIONS: The OWNER pay all the necessary fees and connection charges that may be applicable with respect to the SUBJECT REALTY.

Section 11. REQUIREMENTS OF OTHER JURISDICTIONS: It is agreed that the CITY is not liable or responsible for any restrictions on CITY'S obligations under this AGREEMENT that may be required or imposed by any other governmental bodies or agencies having jurisdiction over the SUBJECT REALTY, CITY and/or OWNER, including but not limited to county, state and federal regulatory bodies.

Section 12. BINDING EFFECT, SUCCESSION IN INTEREST AND TERM: This AGREEMENT shall constitute a covenant running with the land and shall be binding upon and inure to the benefit of the PARTIES hereto, successors in interest, assignees, lessees, and upon any successor municipal authorities of the CITY and successor municipalities for a period of twenty (20) years from the date hereof.

Section 13. DISCONNECTION: Once the SUBJECT REALTY has been annexed to CITY and a final plat and collateral approval granted for any part of the SUBJECT REALTY, OWNER agrees not to petition for disconnection of any part of the SUBJECT REALTY from CITY without CITY approval under any statutory provision and agrees that if the SUBJECT REALTY is disconnected from the CITY (a) the growth prospects and plan and zoning ordinances of the CITY would be unreasonably disrupted; (b) substantial disruption will result to existing municipal service facilities, such as, but not limited to, sewer systems, street lighting, water mains, garbage collection and fire protection; and (c) the CITY would be unduly harmed through loss of tax revenue in the future. However, the CITY may disconnect the SUBJECT REALTY with the written consent of OWNER.

Section 14. HOLD HARMLESS AND INDEMNIFICATION: In the event a claim is made against the CITY, its officers, other officials, agents and employees or any of them or if the CITY is made a party-defendant in any proceeding arising out, or alleged to arise out of, or in any other way be connected with this AGREEMENT or the annexation of the SUBJECT REALTY, or the development of the SUBJECT REALTY arising out of the intentional or negligent acts of owner, or owner's agents, the OWNER, to the extent permitted by law, shall defend and hold the CITY and such officers, other officials, agents and employees, past present and future, harmless from all claims, liabilities, losses, taxes, judgments, costs, and fees, including expenses and reasonable attorney's fees, in connection therewith. Any such indemnified person may obtain separate counsel to participate in the defense thereof at his own

expense; however, if the Illinois Rules of Professional Conduct, or such applicable rules, require such indemnified person to be separately defended where there is no consent to a conflict of interest, then OWNER shall bear such expense. The CITY and such officers, other officials, agents and employees shall reasonably cooperate in the defense of such proceedings. Said indemnification shall not include claims, liabilities, losses, judgments, costs and fees arising from the negligent or willfully wrongful acts or omissions of the CITY, its officers, other officials, agents and employees.

Section 15. REMEDIES: Upon a breach of this AGREEMENT, either of the PARTIES may, in law or equity, by suit, action, mandamus or any other proceeding, including specific performance, enforce or compel the performance of this AGREEMENT. Pursuit of any remedy to enforce or compel performance of this AGREEMENT shall not preclude a PARTY from pursuing any other remedy available to it to enforce or compel performance of this AGREEMENT.

Before any failure of any PARTY to this AGREEMENT to perform its obligations under this AGREEMENT shall be deemed to be a breach of this AGREEMENT, the PARTY claiming such failure shall notify, in writing by certified mail, return receipt requested, the PARTY alleged to have to perform and performance shall be demanded.

In the event that either the CITY or the OWNER sue in order to enforce the terms of this AGREEMENT, the prevailing PARTY in any such litigation shall pay all costs and expenses incurred in prosecuting or defending such litigation (including, but not limited to, reasonable attorneys fees and court costs).

Section 16. WAIVER AND SEVERABILITY: No provisions of this AGREEMENT may be waived by any PARTY except by writing signed by that PARTY. If any provision of this AGREEMENT is held invalid, such provision shall be deemed to be excised from this AGREEMENT and the remainder of this AGREEMENT shall continue in full force and effect to the extent possible; provided, however, CITY shall under no circumstances be required to incur any liability, loss or incur any expenses for any reason in the event that such section, paragraph, clause, provision or item is held invalid.

Section 17. NOTICE: Unless otherwise notified in writing, all notices, requests and demands shall be in writing and shall be delivered to or be mailed by certified mail, return receipt requested, as follows:

If to the CITY: City of St. Charles
 2 East Main Street
 St. Charles, IL 60174
 Attention: City Administrator

With copy to: Storino, Ramello & Durkin
 9501 W. Devon Avenue
 Suite 800
 Rosemont, IL 60018

Attention: Nicholas S. Peppers, City Attorney

If to the OWNER: CIMA Developers, LP
30W180 Butterfield Rd.
Warrenville, IL 60555
Attention: Peter M. Spina

The names and addresses provided in this Section may be changed from time to time by notice duly given in compliance with the provisions of this Section.

Section 18. AMENDMENT: This AGREEMENT, and any exhibits or attachments hereto, may be amended from time to time in writing with the consent of the PARTIES hereto.

Section 19. CONVEYANCES: Nothing contained in this AGREEMENT shall be constructed to restrict or limit the right of the OWNER to sell or convey all or any portion of the SUBJECT REALTY, whether improved or unimproved.

Section 20. CAPTIONS AND PARAGRAPH HEADINGS: The captions and paragraph headings used herein are for convenience only and shall not be used in construing any term or provision of this AGREEMENT.

Section 21. RECORDING: This AGREEMENT shall be recorded in the Office of the Recorder of Deeds, Kane County, Illinois, at OWNER'S expense.

Section 22. CHANGES IN REGULATIONS: It is understood and agreed, except as otherwise provided for herein, that the various requirements of the CITY CODE, including all fees and charges provided for therein, shall not be frozen during the term of this AGREEMENT and may, from time to time, be amended, and as amended, shall apply to the SUBJECT REALTY. Notwithstanding the foregoing, it is expressly understood and agreed by the PARTIES that during the term of this AGREEMENT, pursuant to the zoning to be granted hereunder, the OWNER, his successors and assigns shall be permitted to use the SUBJECT REALTY pursuant to the zoning to be granted hereunder.

Section 23. GOVERNING LAW: This AGREEMENT, and the terms and provisions contained herein, shall be construed and governed under the laws of the State Illinois.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the PARTIES have hereunto placed their hands and the CITY its seal on the date first above written.

CITY OF ST. CHARLES, an Illinois municipal corporation

By: _____
Mayor Raymond P. Rogina

ATTEST

By: _____
City Clerk Charles Amenta

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, _____, a Notary Public, in and for the County and State aforesaid, do hereby certify, that Raymond P. Rogina, personally known to me to be the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois, a municipal corporation, and Charles Amenta, personally known to me to be the City Clerk of said corporation, and personally known to me to be the same persons whose names are subscribed to the forgoing instrument appeared before me this day in person and severally acknowledged that as such Mayor and City Clerk, they signed and delivered the said instrument and caused the corporate seal of said corporation to be affixed thereto, pursuant to authority given by the City Council of said corporation, as the free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this ____ day of _____, 2020.

Notary Public

OWNER:

CIMA DEVELOPERS, LP
An Illinois Limited Partnership

By _____
PETER M. SPINA

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, _____, a Notary Public, in and for the County and State aforesaid, do hereby certify, that Peter M. Spina, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his free and voluntary act for the uses and purposes therein set forth.

GIVEN under by hand and official seal this ____ day of _____, 2020.

Notary Public

EXHIBIT "A"

LEGAL DESCRIPTION OF SUBJECT REALTY

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT "B"

ORDINANCE ANNEXING SUBJECT REALTY

City of St. Charles, Illinois
Ordinance No. 2020-M-

**An Ordinance Annexing Certain Unincorporated Territory to the City of St. Charles, Illinois
(Pride of Kane County)**

WHEREAS, CIMA Developers, LP (the “Owner”) is the Owner of record of the territory legally described in Exhibit “A” (the “Territory”) and has filed with the City Clerk a written petition, under oath, attached hereto as Exhibit “B” (the “Annexation Petition”) requesting that the Territory therein legally described be annexed into the City of St. Charles, Kane and DuPage Counties, Illinois; said Exhibits “A” and “B” are attached hereto and incorporated herein; and

WHEREAS, said Annexation Petition has been signed by all of the owners of record of the Territory and was signed by at least fifty-one percent (51%) of the electors residing on such Territory; and

WHEREAS, the statutes of the State of Illinois provide that upon the filing of such an Annexation Petition, the corporate authorities of the City may pass an ordinance annexing said Territory to the City, if said ordinance is passed by a majority vote of the corporate authorities; and,

WHEREAS, the Territory is not within the corporate limits of any municipality, but is contiguous to the corporate limits of the City of St. Charles and eligible for annexation thereto; and

WHEREAS, the requirements of the laws of the State of Illinois, specifically 65 ILCS 5/7-1-1 and 5/7-1-8 of the Illinois Municipal Code, as amended, have been satisfied.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That the Territory be and the same is hereby annexed to the City of St. Charles, Kane and DuPage Counties, Illinois, together with all adjacent streets and highways contiguous to said Territory, so that the new boundaries of the Territory annexed shall extend to the far side of said adjacent streets and highways not within the corporate limits of any other municipality.

3. That the Mayor, City Clerk and any other necessary officers of the City are hereby authorized to execute the Plat of Annexation.

4. That the City Clerk is hereby authorized and directed to cause a certified copy of this Ordinance, together with an accurate map of the Territory annexed appended thereto, to be recorded with the Office of the Recorder Deeds, Kane County, Illinois, and filed with the County Clerk of Kane County.

5. That the City Clerk is hereby authorized and directed to cause a certified copy of this Ordinance, together with an accurate map of the Territory annexed appended thereto, to be filed with the postal service branch serving the Territory.

6. That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

7. This Ordinance shall be in full force and effect upon its passage and approval according to law.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 7th day of December 2020.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 7th day of December 2020.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 7th day of December 2020.

Raymond P. Rogina, Mayor

ATTEST:

City Clerk

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:

EXHIBIT A

LEGAL DESCRIPTION

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST

DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP
AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT B

PETITION FOR ANNEXATION

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT DIVISION

PHONE: (630) 377-4443 EMAIL: cd@stcharlesil.gov

PETITION FOR ANNEXATION APPLICATION



For City Use	
Project Name:	<u>Pride of Kane County</u>
Project Number:	<u>2019 -PR- 007</u>
Cityview Project Number:	<u>PLA 202000018</u>

Instructions:

To request annexation of property, complete this application and submit it with all required attachments to the Planning Division.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location:	<u>SEC KIRK RD AND MAIN ST. (IL STATE ROUTE 64)</u>	
	Parcel Number (s):	<u>09-25-100-036</u>	
	Proposed Subdivision Name:	<u>THE PRIDE OF KANE COUNTY</u>	
2. Applicant Information:	Name	<u>CIMA DEVELOPERS, LP</u>	Phone <u>630.653.1700</u>
	Address	<u>30W180 BUTTERFIELD RD WARRENVILLE, IL 60555</u>	Fax <u>630.791.8283</u>
			Email <u>dsoltis@cimadevelopers.org</u>
3. Record Owner Information:	Name	<u>CIMA DEVELOPERS, LP</u>	Phone <u>- SAME -</u>
	Address	<u>30W180 BUTTERFIELD RD WARRENVILLE, IL 60555</u>	Fax
			Email

Application Checklist

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

- APPLICATION:** Completed application form signed by the applicant
- APPLICATION FEE:** Refer to attached Schedule of Application Fees (\$500, plus an additional \$500 when an annexation agreement is proposed).
- REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City.
- REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

LEGAL DESCRIPTION: For entire subject property, on 8 ½ x 11 inch paper

PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

ANNEXATION PETITION (Complete either Form #1 for Electors, or Form #2 for No Electors).

Petition to include the following information:

- Addressed to: Mayor and Members of the City Council, City of St. Charles, 2 E. Main Street, St. Charles, Illinois 60174
- A common address of the property and tax parcel number are included in the petition
- Signatures of all of the owners of record of the territory to be annexed and also by the majority of electors, if any, residing in the territory. Petition shall be signed under oath.

□ ONE MYLAR PRINT OF THE PLAT OF ANNEXATION.

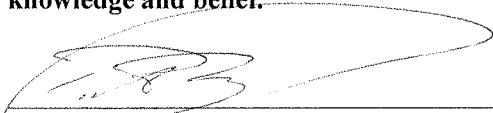

The Plat shall contain the following information:

- Survey of property to be annexed
- Legal description of property to be annexed
- Present corporate limits
- Number of acres to be annexed
- Name and address of person who prepared plat
- Indicate that the new boundary shall extend to the far side of any adjacent highway and shall include all of every highway within the area annexed.
- Certificate for signature by Mayor and the City Clerk as follows:

This is to certify that this Accurate Map of Territory Annexed is identified as that incorporated into and made a part of the City of St. Charles Ordinance No. _____ adopted by the City Council of said City on the _____ day of _____, 20_____.

By: _____ Attest: _____
Mayor City Clerk

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

 _____ Record Owner	 _____ Applicant or Authorized Agent	4/1/20 _____ Date	3-29-20 _____ Date
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CIMA DEVELOPERS, LP

**30W180 Butterfield Road
Warrenville, IL 60555
O: (630) 653-1700
F: (630) 791-8283**

October 22, 2019

City of St. Charles
Community and Economic Development/Planning Division
Two East Main Street
St. Charles, IL 60174-1984

RE: The PRIDES Stores- SEC Kirk Road & E. Main Street (IL Rt 64) – Consent Authorization
to proceed with Zoning Application

To Whom It May Concern:

I, Peter M. Spina, authorized agent of CIMA Developers, LP, the Owner of the subject property, approximately 2.38 acres located at the Southeast Corner of Kirk Road and E. Main Street (IL RT 64), St. Charles, IL give my consent to Dan Soltis of CIMA Developers, LP to apply and proceed with any City zoning proceedings necessary in relation to the accompanying Zoning Applications.

Regards,

Peter M. Spina
Authorized Agent
CIMA Developers, LP

OWNERSHIP DISCLOSURE FORM

OWNER: CIMA Developers Limited Partnership

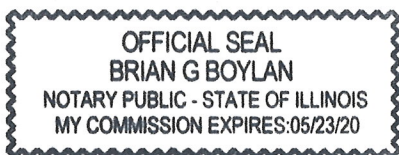


By: Peter M. Spina, sole managing member of
Angel Associates LLC, general partner

STATE OF ILLINOIS)
)SS
COUNTY OF DuPage)

I, Brian G. Boylan, a Notary Public in and for the County and State aforesaid, DO
HEREBY CERTIFY that Peter M. Spina, personally known to me to be the managing member of Angel
Associates LLC, the general partner of Cima Developers Limited Partnership, and personally known to
me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this
day in person and acknowledged that as such managing member, he signed and delivered such
instrument, as his free and voluntary act and deed, and as the free and voluntary act and deed of Angel
Associates LLC, the general partner of such Limited Partnership, for the uses and purposes therein set
forth.

Given under my hand and official seal this 1 day of April, 2020



Brian G. Boylan
Notary Public

My Commission Expires: _____

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

BEFORE THE MAYOR AND CITY COUNCIL
OF THE CITY OF ST. CHARLES, ILLINOIS

PETITION FOR ANNEXATION

The undersigned Petitioners hereby respectfully petition to annex to the City of St. Charles, Kane and DuPage Counties, Illinois, the territory described as follows:

See Exhibit "A" attached hereto and made a part hereof

Commonly know as: SEE ATTACHED LEGAL DESCRIPTION

Parcel Number(s): 09-25-100-036

And under oath state (s) as follows:


1. Your undersigned Petitioner (s) is (are) the sole owner (s) of record of the territory hereinbefore described, and *have) (has) also executed this Petition as such owner.
2. The territory hereinbefore described is not within the corporate limits of any municipality.
3. The territory hereinbefore described is contiguous to the City of St. Charles, Kane and DuPage Counties, Illinois.
4. There are no electors residing within the territory hereinbefore described.

WHEREFORE, Petitioner(s) respectfully request(s) that the corporate authorities of the City of St. Charles, Kane and DuPage Counties, Illinois, annex the territory hereinbefore described to said City in accordance with the provisions of the Petition and in accordance with law.

The undersigned petitioner(s) and elector(s), being first duly sworn on oath, state(s) that the statements set forth in the petition for annexation above are true and correct.

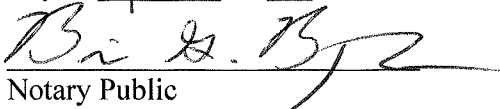
Dated this 14 day of April, 2020.

OWNER(S)

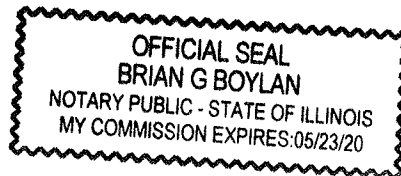


PETER M. SPINA

Subscribed and sworn to
Before me this 14th
Day of April, 2020



Notary Public



Legal Description
SEC Kirk Road & Main St. (IL State Route 64)

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

Permanent Tax No: 09-25-100-036

EXHIBIT "C"

PUD ORDINANCE

City of St. Charles, Illinois
Ordinance No. 2020-Z-

**An Ordinance Granting Approval of a Map Amendment, Special Use for
Planned Unit Development and PUD Preliminary Plan for
Pride of Kane County**

WHEREAS, on or about April 7, 2020, CIMA Developers, LP (the “Applicant”) filed petitions for: 1) Map Amendment from RE-1 Single-Family Estate District to BR Regional Business District; 2) Special Use for Planned Unit Development; and 3) PUD Preliminary Plan, all for the real estate legally described on Exhibit “A” attached hereto and incorporated herein (the “Subject Property”), for the purpose of developing a gas fueling facility, convenience store, and car wash; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Special Use for Planned Unit Development was published on or about June 18, 2020 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about July 7, 2020, July 21, 2020 and August 4, 2020 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan petitions on or about August 4, 2020; and,

WHEREAS, the Planning & Development Committee of the City Council reviewed said petitions on or about August 10, 2020 and September 14, 2020, and, on or about November 9, 2020, voted on a motion to recommend approval of said petitions, and said motion to recommend approval failed; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the RE-1 Single-Family Estate District to the BR Regional Business District, and the Findings of Fact for Map Amendment attached hereto and incorporated herein as Exhibit “B” are expressly adopted by the corporate authorities of the City.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant’s petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit “C”, which is attached hereto and incorporated herein.

4. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit “D”, such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Preliminary Plat of Subdivision; WT Group; revisions dated 6/3/2020
- Preliminary Engineering Plans; WT Groups; revisions dated 6/8/2020 [Sheets C-2.0, C-8.0, C-9.0 revised 6/29/2020]
- Landscape Plan; Heller & Associates; revisions dated 8/3/2020
- Lighting Plan; LSI; revisions dated 6/16/2020
- Building Elevations; Arch7; not dated
- Canopy Elevations; dated 6/18/2020
- Signage Plan; Parvin-Clauss Sign Company; revisions dated 6/19/2020

5. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. Zoning: The Subject Property shall be subject to the requirements of the BR Regional Business District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the “PUD Deviations” attached hereto and incorporated herein as Exhibit “E”.
- b. Stormwater Management: Per Title 18 of the St. Charles Municipal Code, “Stormwater”, Section 18.04.010 – Stormwater Management Ordinance - Adopted – Modifications, Subsection P’, the Subject Property was exempted from the 2019 revisions to the Kane County Stormwater Ordinance. The Subject Property may be developed in conformance with the approved PUD Preliminary Plan irrespective of the expiration of said exemption.

6. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties,
Illinois this 7th day of December 2020.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties,
Illinois this 7th day of December 2020.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties,
Illinois this 7th day of December 2020.

Raymond P. Rogina, Mayor

Attest:

Charles Amenta, City Clerk

Vote:

Ayes:

Nays:

Absent:

Abstain:

Date: _____

EXHIBIT "A"

LEGAL DESCRIPTION

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT “B”

FINDINGS OF FACT FOR MAP AMENDMENT

1. The existing uses and zoning of nearby property.

The intended use is consistent with the other retail business uses along Kirk Rd. and along E. Main St.

2. The extent to which property values are diminished by the existing zoning restrictions.

Property values will not be affected. The intended use is consistent with all nearby uses.

3. The extent to which the reduction of the property’s value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

The property value will not be diminished, and in fact will provide an added amenity and convenience to the surrounding city and community.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

The subject property’s current zoning does not allow for our intended use.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

This property has been vacant for a substantial amount of time.

6. The evidence, or lack of evidence, of the community’s need for the uses permitted under the proposed district.

The intended use is consistent with development trends and all neighboring uses.

7. The consistency of the proposed amendment with the City’s Comprehensive Plan.

Our intended use is consistent with the Comprehensive Plan.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

Per Title 17 of the City Code, unless otherwise requested, land being annexed is automatically zoned RE-1 Single-Family Estates District. BR zoning is requested to accommodate the proposed commercial development.

9. The extent to which the proposed amendment creates nonconformities.

The proposed development will only require paving setback and off-site sign deviations. Other than that, the development will comply with zoning requirements.

10. The trend of development, if any, in the general area of the property in question.

The intended use is consistent with the other retail business uses.

EXHIBIT “C”

CRITERIA FOR PLANNED UNIT DEVELOPMENTS

- i. **The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
- 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

We believe that the proposed development advances many of the purposes of the Planned Unit Development as outlined and stated in Section 17.04.400.A.

The architectural building design will provide a unique and distinctive look that will include “barn” like features that will capture the historic essence of the property.

New sidewalks are proposed along the entire west and north property lines to connect existing sidewalk structures along Kirk Rd. and Main St. to help promote pedestrian traffic and physical activity.

This property has remained undeveloped for a very long time and the proposed development allows for and encourages and promotes economic growth and efficient land use.

This development includes a reciprocal easement agreement with the neighboring property owner (Main Street Commons) which allows for cross-access service roads and shared stormwater detention.

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. **The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
2. **The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
3. **The PUD will provide superior landscaping, buffering or screening.**
4. **The buildings within the PUD offer high quality architectural design.**
5. **The PUD provides for energy efficient building and site design.**
6. **The PUD provides for the use of innovative stormwater management techniques.**
7. **The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
8. **The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
9. **The PUD preserves historic buildings, sites or neighborhoods.**

The following factors below per Section 17.04.400.B are highlighted to justify relief from certain zoning requirements:

- The PUD will provide superior landscaping and buffering as allowed by the site parameters.
- The buildings within the PUD will be unique and distinctive in nature, capturing historic features.
- The buildings will be built with energy efficiency guidelines and site design.
- The development will be designed with shared detention with Main Street Commons.

Zoning deviations for the following are being requested: paving setbacks, off-site signage, convenience store building signage, freestanding sign setback, building foundation landscape, carwash stacking requirement.

iii. **The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):**

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

Yes. The proposed development will serve as a public convenience and an added amenity. The development will offer fueling, convenience store, quick service restaurant and carwash.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Yes. The proposed development has sufficient infrastructure required to develop. Utilities, added service roads, and adequate on-site and off-site detention are being provided.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The development is consistent and compatible with surrounding land uses and will not affect nearby property in any way.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The development will not impede the normal and orderly development and improvement of the surrounding property and will complete the needed development at that particular property location in a manner that is consistent and compatible with surrounding and neighboring property.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

No. The proposed development will not pose any detriment to or endanger the public health, safety, comfort or general welfare.

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

Yes. The development will be built to conform to all applicable codes and ordinances and meets all applicable provisions, except as may be varied pursuant to a Special Use for PUD.

- iv. **The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

Yes. The proposed development will provide an added and substantial tax base to the City, improving the overall economic well-being of the City.

- v. **The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

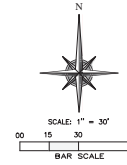
Yes. The proposed development is in conformance with the goals, objectives and policies of the adopted City of St. Charles Comprehensive Plan.

EXHIBIT "D"

**PUD PRELIMINARY PLAN
(45 pages)**

PRELIMINARY PLAT OF SUBDIVISION PRIDE OF KANE COUNTY

BEING A SUBDIVISION IN THAT PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

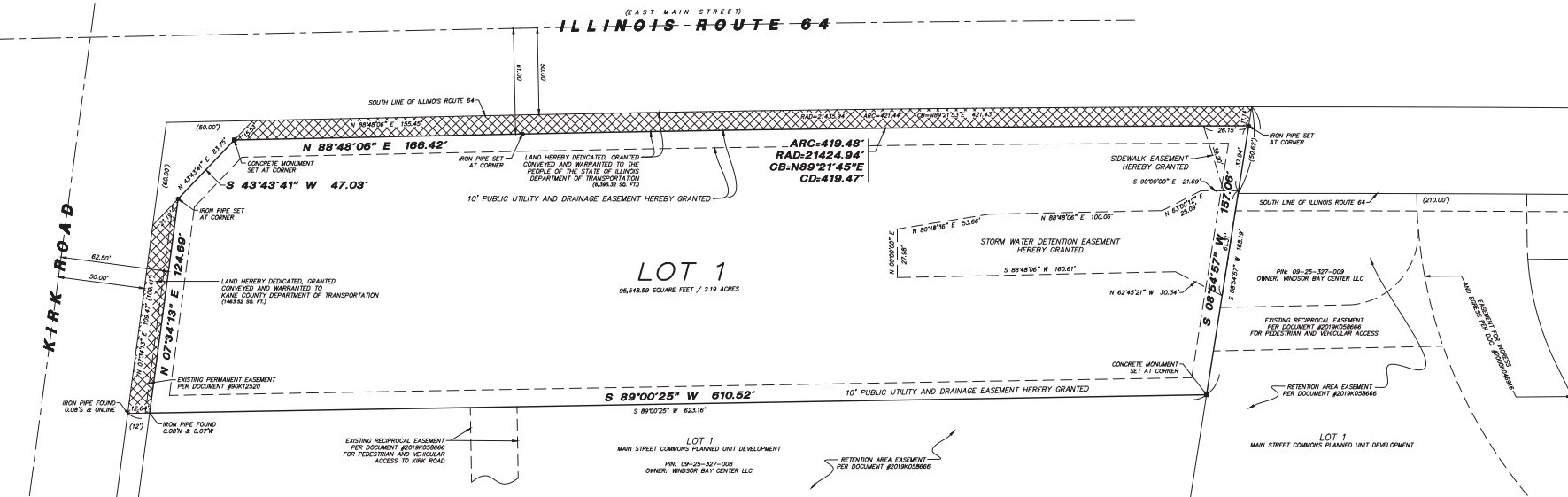


PIN NUMBER:
09-25-100-036
AFTER RECORDING RETURN TO:
CITY OF ST. CHARLES
2 E. MAIN STREET
ST. CHARLES, IL 60174
PROPERTY OWNER:
CMA DEVELOPERS, LP
30480 BUTTERFIELD ROAD
WARRENVILLE, IL 60555
SUBDIVIDER:
THE W-T GROUP, LLC
2675 PRATIUM AVE.
HOFFMAN EST., IL 60192
224-293-6333
DESIGNER/ENGINEER:
THE W-T GROUP, LLC
2675 PRATIUM AVE.
HOFFMAN EST., IL 60192
224-293-6333

- LEGEND**
- PROPERTY LINE
 - UNDERLINE OF RIGHT OF WAY
 - UNDERLYING PROPERTY LINES
 - SET CONCRETE MONUMENT / SET IRON PIPE
 - RECORD PROPERTY DIMENSIONS
 - RIGHT OF WAY (HEREBY DEDICATED)

NOTES:

1. BASIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.
2. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.



OWNER'S CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

THIS IS TO CERTIFY THAT CMA DEVELOPERS, LP IS THE OWNER OF THE LAND SHOWN AND DESCRIBED ON THE ANNEXED PLAT AND BY ITS DULY AUTHORIZED MANAGER HAS AS SUCH OWNER CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED AND PLATTED AS SHOWN THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON SHOWN.

THE UNDERSIGNED DO HEREBY CERTIFY THAT, AS OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE, TO THE BEST OF THEIR KNOWLEDGE, IS LOCATED WITHIN THE BOUNDARIES OF ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303.

DATED THIS _____ DAY OF _____ A.D. _____

BY: _____

PRINT NAME: _____

ADDRESS: _____

NOTARY CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____ A.D. _____

NOTARY PUBLIC _____
MY COMMISSION EXPIRES: _____

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

APPROVED THIS _____ DAY OF _____ A.D. _____ BY THE COUNCIL OF THE CITY OF ST. CHARLES.

MAYOR _____

CITY CLERK _____

DIRECTOR OF COMMUNITY DEVELOPMENT CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

I, _____, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY DEVELOPMENT _____
DATED AT _____ ILLINOIS, THIS _____ DAY OF _____, D. 20____

SPECIAL ASSESSMENT CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

I, _____, DO HEREBY CERTIFY THAT THERE ARE NO SELIGNMENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS _____
DATED AT ST. CHARLES, ILLINOIS, THIS _____ DAY OF _____ A.D. _____

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

APPROVED BY THE PLAN COMMISSION OF THE CITY OF ST. CHARLES.
THIS _____ DAY OF _____ A.D. _____

CHAIRMAN _____

ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO §2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED. A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT.

ANTHONY J. QUIGLEY P.E.
REGION ONE ENGINEER

ILLINOIS DEPARTMENT OF TRANSPORTATION DEDICATION DESCRIPTION

TO BE CREATED AFTER REVIEW

ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE
THE PROPOSED DEDICATION TO THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION IS HEREBY ACCEPTED.
BY: ANTHONY J. QUIGLEY P.E. DATE: _____ 20____
REGION ONE ENGINEER

WT GROUP
Engineering and Planning, Public Works and Planning
2875 Prairie Avenue (Hoffman Estates, IL 60192)
TEL: 630.293.6333 FAX: 630.293.6444
www.wtgroup.com

WT Group
Engineering & Design Consulting

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

PLAT OF SUBDIVISION
PRIDE OF KANE COUNTY
330573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS

CMA DEVELOPERS
30480 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE

TO	DATE
CLIENT	1/10/20
CLIENT	2/11/20
CLIENT	2/14/20
CLIENT	3/9/20
CLIENT	3/16/20
CLIENT	6/30/20

CHECK/FIRM
DRAWN/KCH
JOB: 1910803C

SUB-1
SHEET 1 OF 2
PLAT OF SUBDIVISION

PRELIMINARY PLAT OF SUBDIVISION PRIDE OF KANE COUNTY

BEING A SUBDIVISION IN THAT PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

LEGEND
 _____ PROPERTY LINE
 - - - - - CENTERLINE OF RIGHT OF WAY
 _____ UNDERLYING PROPERTY LINES
 ■ • SET CONCRETE MONUMENT / SET IRON PIPE
 (0007) RECORD PROPERTY DIMENSIONS
 [Hatched Box] RIGHT OF WAY (HEREBY DEDICATED)

PIN NUMBER:
09-25-100-036
 AFTER RECORDING RETURN TO:
CITY OF ST. CHARLES
2 E. MAIN STREET
ST. CHARLES, IL 60174
 PROPERTY OWNER:
OMA DEVELOPERS, LP
300W BUTTERFIELD ROAD
WARRENVILLE, IL 60555
 SUBDIVIDER:
THE W-T GROUP, LLC
2675 PRATIUM AVE.
HOFFMAN EST., IL 60192
224-293-6333
 DESIGNER/ENGINEER:
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HOFFMAN EST., IL 60192
224-293-6333



AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

PLAT OF SUBDIVISION
PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS

ISSUE	
TO	DATE
CLIENT	11/03/20
CLIENT	2/11/20
CLIENT	2/14/20
CLIENT	3/9/20
CLIENT	3/16/20
CLIENT	6/03/20

CHECK/FM
DRAWN/RCH
JOB: 19110803C

SUB-2
SHEET 2 OF 2
PLAT OF SUBDIVISION

STATE OF ILLINOIS) COUNTY RECORDER'S CERTIFICATE
)
 COUNTY OF KANE)

THE UNDERSIGNED AS THE RECORDER OF DEEDS FOR KANE COUNTY DO HEREBY CERTIFY THAT INSTRUMENT NUMBER _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS ON THE _____ DAY OF _____ A.D. 20____ AT _____ O'CLOCK ____.

RECORDER OF DEEDS _____
 PLEASE PRINT/TYPE NAME _____

STATE OF ILLINOIS) COUNTY ENGINEER'S CERTIFICATE
)
 COUNTY OF KANE)

THIS PLAT HAS BEEN APPROVED BY THE KANE COUNTY ENGINEER WITH RESPECT TO ROADWAY ACCESS TO _____ PURSUANT TO ILCS CHAPTER 765 PARAGRAPH 205/2, DATED THIS _____ DAY OF _____ A.D. 20____.

COUNTY ENGINEER _____
 DATED AT _____ ILLINOIS, THIS _____ DAY OF _____, D. 20____.

STATE OF ILLINOIS) COUNTY CLERK'S CERTIFICATE
)
 COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEMPTIBLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THIS PLAT.

I, FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THIS PLAT.
 GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK OF KANE COUNTY, ILLINOIS,

THIS _____ DAY OF _____ A.D. 20____.

COUNTY CLERK _____

STATE OF ILLINOIS) COUNTY RECORDER'S CERTIFICATE
)
 COUNTY OF KANE)

THE UNDERSIGNED AS THE RECORDER OF DEEDS FOR KANE COUNTY DO HEREBY CERTIFY THAT INSTRUMENT NUMBER _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS ON THE _____ DAY OF _____ A.D. 20____ AT _____ O'CLOCK ____.

RECORDER OF DEEDS _____
 PLEASE PRINT/TYPE NAME _____

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERITECH AND INCO, AND TO THEIR SUCCESSORS AND ASSIGNS (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY AND DRAINAGE EASEMENT" ON THE PLAT OF SUBDIVISION HERON DRAIN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENOVATING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOVES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK. THE PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES AND THE RESPECTIVE SUCCESSORS AND ASSIGNS FOR MAINTAINING THE UNINTERRUPTED AND UNIMPEDED CONVEYANCE, FLOW AND RUNOFF OF SURFACE STORM WATER ACROSS AND UPON THE AREAS DESIGNATED ON THIS PLAT AS DRAINAGE EASEMENT. THE RIGHT IS HEREBY GRANTED TO SAID GRANTEE(S) TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE DRAINAGE WAYS AND OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR UNDER, UNDER OR THROUGH SAID EASEMENTS, NO PERMANENT BUILDINGS, TREES, GARDENS, DRIVERS, OR BERMING SHALL BE PLACED ON OR IN SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR PAVING, FENCES, SIDEWALKS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SANITARY UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES. FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEE(S) IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREIN, THE GRANTEE(S) SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEE(S) SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SOFTABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION.

STORM WATER MANAGEMENT EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO THEIR SUCCESSORS AND ASSIGNS, IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "STORMWATER DETENTION EASEMENT" ON THE PLAT OF SUBDIVISION HERON DRAIN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENOVATING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION AND ANY AND ALL MANHOLES, PIPES, CONNECTIONS, CATCH BASINS, AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH STORMWATER DETENTION. THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK, NO BUILDING SHALL BE PLACED ON SAID EASEMENT PREMISES WITHOUT PRIOR WRITTEN CONSENT FROM THE CITY OF ST. CHARLES. THE RESPONSIBILITY OF MAINTAINING THE DETENTION AREA EASEMENT SHALL BE BINDING ON THE HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGNS OF THE LANDOWNERS, NO PERSON SHALL DESTROY OR MONEYPY OR OTHERWISE AFFECT THE DETENTION VOLUME, WITHOUT HAVING FIRST RECEIVED WRITTEN APPROVAL FROM THE CITY OF ST. CHARLES. THE CITY SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO RESTORE ANY DETENTION VOLUME LOST THROUGH UNAUTHORIZED ACTIVITIES.

STATE OF ILLINOIS) SURVEYORS CERTIFICATE
)
 COUNTY OF COOK)

THIS IS TO STATE THAT I, FRANCO I. MATIQC, ILLINOIS PROFESSIONAL LAND SURVEYORS #035-003556, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.84 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.98 CHAINS; THENCE NORTH 89 DEGREES EAST 3.38 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAIN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 85.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTE, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID PARALLEL LINE; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET; TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN INTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 104.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PLAT HEREON DRAWN IS A CORRECT AND ACCURATE REPRESENTATION OF SAID SURVEY AND SUBDIVISION; ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT I WILL SET ALL SUBDIVISION MONUMENTS AND HAVE DESCRIBED THEM ON THIS FINAL PLAT AS REQUIRED BY THE PLAT ACT (705 ILCS 200/7). THE EXTERIOR SUBDIVISION MONUMENTS HAVE BEEN SET AND INTERIOR MONUMENTS WILL BE SET WITHIN 12 MONTHS OF THE RECORDING OF THIS PLAT (SECTION 1270-56 OF THE ILLINOIS PROFESSIONAL LAND SURVEYOR ACT OF 1989).

ACCORDING TO OUR INTERPOLATION OF THE FLOOD INSURANCE RATE MAP THIS SITE FALLS WITHIN PANEL NO. 170980207HA DATED 6/23/2000. THIS PANEL IS NOT PRINTED.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____ A.D. _____ AT HOFFMAN ESTATES, ILLINOIS.
 THE W-T GROUP, LLC

FOR REVIEW 06/03/20
 FRANCO I. MATIQC - PLS #035-003556 EXPIRES 11/26/2020
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015

THE PRIDE OF KANE COUNTY 33W573 EAST MAIN STREET SAINT CHARLES, ILLINOIS 60174

DRAWING INDEX		
SHEET	DESCRIPTION	DATE
T-1.0	TITLE SHEET	06-08-20
C-1.0	SITE DEMOLITION PLAN	06-08-20
C-2.0	SITE GEOMETRIC PLAN	06-08-20
C-3.0	SITE DEVELOPMENT PLAN	06-08-20
C-3.1 - C-3.3	SITE DEVELOPMENT DETAILS	06-08-20
C-4.0 - C-4.1	SITE GRADING PLAN	06-08-20
C-5.0	SITE UTILITY PLAN	06-08-20
C-5.1 - C-5.3	SITE UTILITY DETAILS	06-08-20
C-6.0	STORMWATER POLLUTION PREVENTION PLAN	06-08-20
C-6.1	STORMWATER POLLUTION PREVENTION DETAILS	06-08-20
C-7.0 - C-7.1	PROJECT SPECIFICATIONS	06-08-20
C-8.0	FIRE APPARATUS CIRCULATION PLAN	06-08-20

SURVEY DRAWING INDEX		
SHEET	DESCRIPTION	DATE
SUR-1	TOPOGRAPHIC SURVEY (PREPARED BY THE W-T GROUP)	03-12-19

BENCHMARKS:
 SITE BENCHMARK #1 - SET CROSS ON SSE BOLT OF HYDRANT LOCATED IN GRASS APPROXIMATELY 6.8' S OF EAST MAIN STREET AND 76.4' E OF M4 #6, AS SHOWN ON SHEET SUR-2. ELEVATION=104.79' (NAVD88)
 SITE BENCHMARK #2 - SET CROSS ON CONCRETE SIDEWALK LOCATED APPROXIMATELY 25.3' ESE OF KIRK ROAD AND 22.8' SWH OF ENTRANCE, AS SHOWN ON SHEET SUR-2. ELEVATION=104.23' (NAVD88)
 SITE BENCHMARK #3 - SET CROSS IN WALK LOCATED 39' EAST OF FOND AND 200 FEET SOUTH OF ROUTE 64 ON WEST SIDE OF DRIVE, AS SHOWN ON SHEET SUR-3. ELEVATION=104.12' (NAVD88)



SCALE 1"=1000'
 SECTION 25
 TOWNSHIP 40N
 RANGE 8E
 MAP DATA © 2019 6006LE

CIVIL ENGINEERING STATEMENT AND SEAL

I, TODD ABRAMS, P.E. DULY LICENSED IN THE STATE OF ILLINOIS BY THE DEPARTMENT OF TRANSPORTATION AND PROFESSIONAL REGULATION DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF DOES CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES, AND ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (IAC 140-1.0-2) AND THE ILLINOIS ACCESSIBILITY CODE (11 ILL. ADM. CODE 400).

DATE: 6-8-20

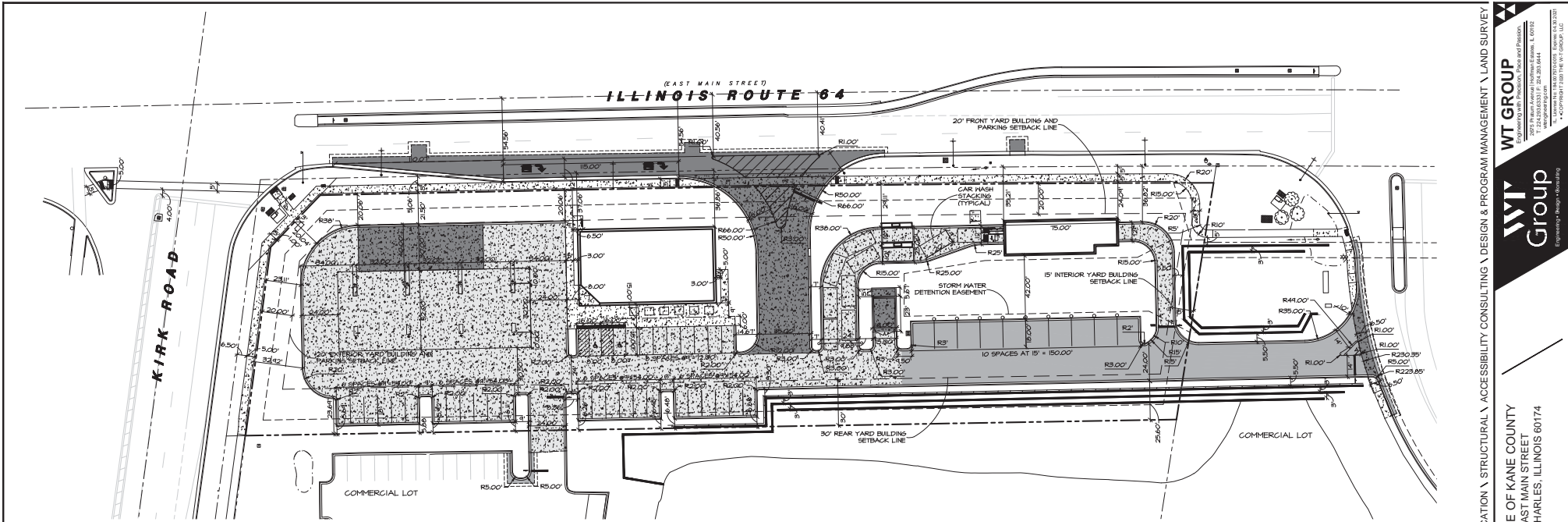
TODD ABRAMS
 TODD ABRAMS - ILLINOIS P.E. # 062-066600
 DATE OF EXPIRATION - NOVEMBER 30, 2021
 NOTE: SIGNED AND SEALED FOR SHEETS T-1.0 THROUGH C-7.1



NOTE: TOTAL PROPERTY AREA: 2.31 ACRES
 NOTE: TOTAL DISTURBED AREA: 2.69 ACRES
 NOTE: ALL SURROUNDING PROPERTIES ARE COMMERCIAL LAND USE

TO	DATE
REV. SITE	8/18/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/13/20
REV. SITE	6/8/20

CHECK: TOA
 DRAWN: TEP
 JOB: 1910803C



HATCH LEGEND

- NEW ASPHALT PAVEMENT
- NEW ILL. ROUTE 64 ASPHALT PAVEMENT
- NEW 5" CONCRETE SIDEWALK
- NEW 6" CONCRETE PAVEMENT
- NEW 8" CONCRETE PAVEMENT

NONRESIDENTIAL ZONING COMPLIANCE TABLE
Name of Developer: PRIDE OF KANE COUNTY

	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District: BR-REGIONAL BUSINESS	Ordinance #:	
Minimum Lot Area	1 ACRE		2.37 ACRES
Minimum Lot Width	NONE		NONE
Maximum Building Coverage	50%		17%
Maximum Gross Floor Area per Building	NONE	BUILDING 1-4,500 SF. BUILDING 2-1,650 SF.	
Maximum Building Height	40 FEET		20 FEET
Front Yard	BUILDING-20 FEET PARKING-20 FEET		BLDG 1 - 25.86 FT, BLDG 2 - 23.09 FT PARKING 30.81 FEET, 37.86 FEET
Interior Side Yard	BUILDING-15 FEET PARKING- NONE		BLDG 1 - 39.03 FT, BLDG 2 - 55.13 FT PARKING - 27.09 FT, PARKING - 30.93 FT
Exterior Side Yard	BUILDING-20 FEET PARKING-20 FEET		BLDG 1 - 205.66 FT, BLDG 2 - 481.28 FT PARKING - 61.96 FEET, 42.04 FEET
Minimum Rear Yard	BUILDING-30 FEET PARKING-0 FEET		BLDG 1 - 81.28 FT, BLDG 2 - 109.27 FT PARKING - 57.1 FT
Landscape Buffer Yard ²	NOT REQUIRED		NOT REQUIRED
% Overall Landscaped Area	20% WITH ON SITE STORM		17% WITH ON SITE STORM
Building Foundation Landscaping	50% HORIZONTAL DIMENSIONS OF BUILDING		BUILDING 1 - 50% BUILDING 2 - 100%
% Interior Parking Lot Landscaping	NOT AVAILABLE		NOT AVAILABLE
Interior Parking Lot Shade Trees	NOT AVAILABLE		NOT AVAILABLE
# of Parking spaces	CARWASH - 2 PER BAY *10 RETAIL BUILDING - 4 PER 1,000 SF - 17 SPACES		CARWASH - 10 SPACES + 10 STACKING RETAIL BUILDING - 34

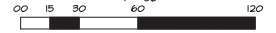
- SITE GEOMETRIC NOTES:**
- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 12-26-19, PREPARED BY THE H-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES).
 - ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
 - SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
 - CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
 - CONTRACTOR SHALL CONTACT JILLIE (811 OR 1-800-842-0123) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
 - ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 106.02 OF THE DOT STANDARD SPECIFICATIONS.
 - ALL PAINTED CURB ON SITE TO BE REPAINTED FOLLOWING RESURFACING OF THE PARKING LOT. MATCH EXISTING COLOR, REPAINT WITH HIGH QUALITY PAINT.

CALL JILLIE
811 OR TOLL FREE (800)842-0123 OPERATES
24 HOURS A DAY 365 DAYS A YEAR



CALL JILLIE
48 HOURS BEFORE YOU DIG

CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.



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Engineering • Design • Consulting

THE PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS 60174

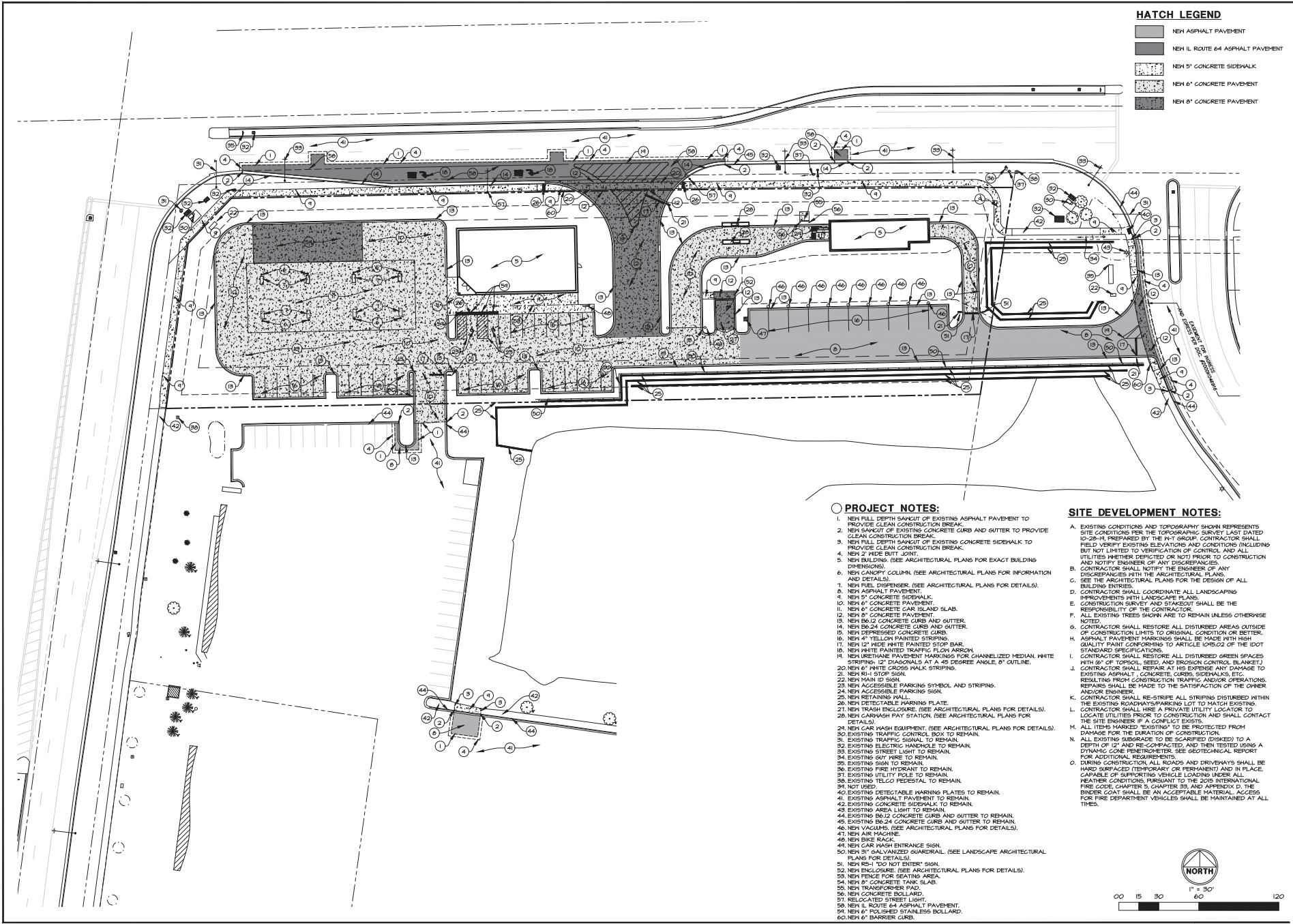
CIMA DEVELOPERS
30W180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE






TO	DATE
REV. SITE	8/26/19
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REV. SITE	4/8/20
REV. SITE	6/29/20

CHECK/TO
DRAWN: TEP
JOB: 1910803C

C-2.0
SITE GEOMETRIC PLAN



HATCH LEGEND

-  NEW ASPHALT PAVEMENT
-  NEW IL ROUTE 64 ASPHALT PAVEMENT
-  NEW 5' CONCRETE SIDEWALK
-  NEW 6' CONCRETE PAVEMENT
-  NEW 8' CONCRETE PAVEMENT

PROJECT NOTES:

1. NEW FULL DEPTH SANICUT OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
2. NEW SANICUT OF EXISTING CONCRETE CURB AND GUTTER TO PROVIDE CLEAN CONSTRUCTION BREAK.
3. NEW FULL DEPTH SANICUT OF EXISTING CONCRETE SIDEWALK TO PROVIDE CLEAN CONSTRUCTION BREAK.
4. NEW 2" WIDE BUTT JOINT.
5. NEW BUILDING (SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS).
6. NEW CANOPY COLUMN (SEE ARCHITECTURAL PLANS FOR INFORMATION AND DETAILS).
7. NEW FUEL DISPENSER (SEE ARCHITECTURAL PLANS FOR DETAILS).
8. NEW ASPHALT PAVEMENT.
9. NEW 5' CONCRETE SIDEWALK.
10. NEW 4' CONCRETE PAVEMENT.
11. NEW 6' CONCRETE CAR ISLAND SLAB.
12. NEW 8' CONCRETE PAVEMENT.
13. NEW B6/2 CONCRETE CURB AND GUTTER.
14. NEW B6/24 CONCRETE CURB AND GUTTER.
15. NEW DEPRESSED CONCRETE CURB.
16. NEW 4" YELLOW PAINTED STRIPING.
17. NEW 12" WIDE WHITE PAINTED STOP BAR.
18. NEW URETHANE PAVEMENT MARKINGS FOR CHANNELIZED MEDIAN WHITE STRIPING; 12" DIAGONALS AT A 45 DEGREE ANGLE, 8" OUTLINE.
20. NEW 4" WHITE CROSS WALK STRIPING.
21. NEW R-1 STOP SIGN.
22. NEW H-1 SIGN.
23. NEW ACCESSIBLE PARKING SYMBOL AND STRIPING.
24. NEW ACCESSIBLE PARKING SIGN.
25. NEW RETAINING WALL.
26. NEW DETECTABLE WARNING PLATE.
27. NEW TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS).
28. NEW CARWASH PAY STATION (SEE ARCHITECTURAL PLANS FOR DETAILS).
29. NEW CAR WASH EQUIPMENT (SEE ARCHITECTURAL PLANS FOR DETAILS).
30. EXISTING TRAFFIC SIGNAL TO REMAIN.
31. EXISTING TRAFFIC SIGNAL TO REMAIN.
32. EXISTING ELECTRIC HANDLES TO REMAIN.
33. EXISTING STREET LIGHT TO REMAIN.
34. EXISTING WIRE TO REMAIN.
35. EXISTING SIGN TO REMAIN.
36. EXISTING HYDRANT TO REMAIN.
37. EXISTING UTILITY POLE TO REMAIN.
38. EXISTING TELCO PEDESTAL TO REMAIN.
39. NOT USED.
40. EXISTING DETECTABLE WARNING PLATES TO REMAIN.
41. EXISTING ASPHALT PAVEMENT TO REMAIN.
42. EXISTING CONCRETE SIDEWALK TO REMAIN.
43. EXISTING AREA LIGHT TO REMAIN.
44. EXISTING B6/2 CONCRETE CURB AND GUTTER TO REMAIN.
45. EXISTING B6/24 CONCRETE CURB AND GUTTER TO REMAIN.
46. NEW VACUUMS (SEE ARCHITECTURAL PLANS FOR DETAILS).
47. NEW AIR MACHINE.
48. NEW BIKE RACK.
49. NEW CAR WASH ENTRANCE SIGN.
50. NEW 31" GALVANIZED GUARDRAIL (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
51. NEW R-1 "DO NOT ENTER" SIGN.
52. NEW ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS).
53. NEW FENCE FOR SEEDING AREA.
54. NEW 8' CONCRETE TANK SLAB.
55. NEW TRANSFORMER PAD.
56. NEW CONCRETE BOLLARD.
57. RELOCATED STREET LIGHT.
58. NEW IL ROUTE 64 ASPHALT PAVEMENT.
59. NEW 6' POLISHED STAINLESS BOLLARD.
60. NEW 6' BARRIER CURB.

SITE DEVELOPMENT NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 10/28/14 PREPARED BY THE HY GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- C. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- D. CONTRACTOR SHALL COORDINATE ALL LANDSCAPING IMPROVEMENTS WITH LANDSCAPE PLANS.
- E. CONSTRUCTION SHALL BE LIMITED TO THE RESPONSIBILITY OF THE CONTRACTOR.
- F. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- G. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 106.02 OF THE DOT STANDARD SPECIFICATIONS.
- I. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH 6" OF TOPSOIL, SEED, AND EROSION CONTROL (BLANKET).
- J. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- K. CONTRACTOR SHALL RE-STRIPE ALL STRIPING DISTURBED WITHIN THE EXISTING ROADWAY/PARKING LOT TO MATCH EXISTING.
- L. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- M. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- N. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RECOMPACTED AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- O. DURING CONSTRUCTION ALL ROADS AND DRIVEWAYS SHALL BE HAND SURFACED TEMPORARILY OR PERMANENTLY AND IN PLACE, CAPABLE OF SUPPORTING VEHICLE LOADINGS UNDER ALL WEATHER CONDITIONS. PURSUANT TO THE 2015 INTERNATIONAL FIRE CODE, CHAPTER 5, CHAPTER 55, AND APPENDIX D, THE BINDER COAT SHALL BE AN ACCEPTABLE MATERIAL. ACCESS FOR FIRE DEPARTMENT VEHICLES SHALL BE MAINTAINED AT ALL TIMES.

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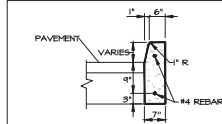
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CIMA DEVELOPERS
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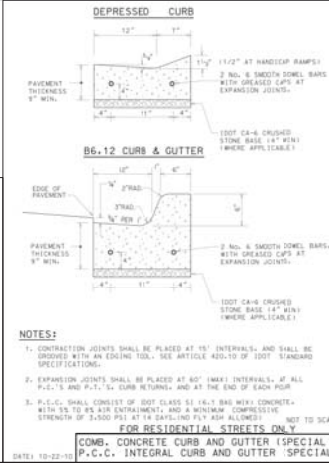
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C-3.0
 SITE DEVELOPMENT
 PLAN

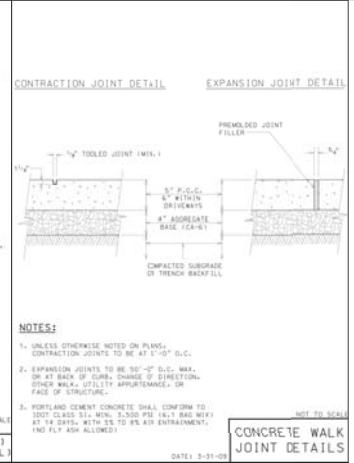


- NOTES:
1. BARRIER CURB SHALL BE CONCRETE.
 2. CONTRACTION JOINTS, 1/4" WIDE X 1" DEEP, SHALL BE LOCATED AT RADIUS TANGENTS.
 3. BASE MATERIAL SHALL MEET THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR GRADATION AND OTHER SPECIFIED MATERIAL REQUIREMENTS.

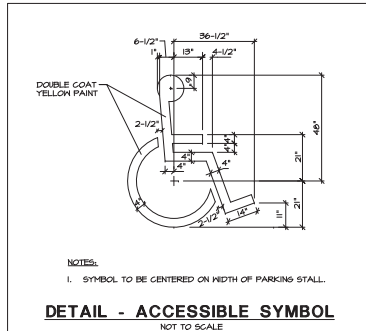
DETAIL - BARRIER CURB
NOT TO SCALE



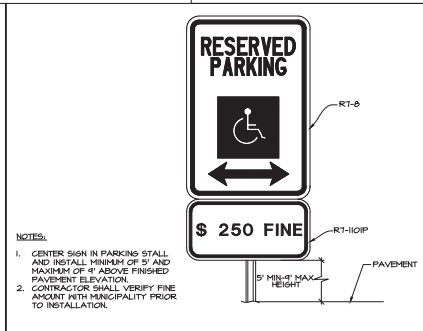
- NOTES:
1. CONTRACTION JOINTS SHALL BE PLACED AT 15' INTERVALS AND SHALL BE FINISHED WITH AN EDGING TOOL. SEE ARTICLE 405.02 OF 2007 STANDARD SPECIFICATIONS.
 2. EXPANSION JOINTS SHALL BE PLACED AT 60' INTERVALS, IF ALL P.C.C.'S AND P.C.T.'S CURB RETURN, AND AT THE END OF EACH POLE.
 3. P.C.C. SHALL CONSIST OF 100% CLASS II 1 1/2" MAX. SIZE AGGREGATE WITH 15 TO 18 AIR ENTRAINMENT, AND A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 14 DAYS, NO P.C. FOR ALLOWED. NOT TO SCALE.
- FOR RESIDENTIAL STREETS ONLY**
- COMB. CONCRETE CURB AND GUTTER (SPECIAL)
P.C.C. INTEGRAL CURB AND GUTTER (SPECIAL)



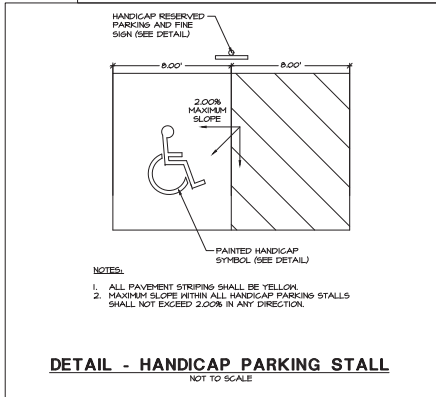
- NOTES:
1. UNLESS OTHERWISE NOTED ON PLANS, CONTRACTION JOINTS TO BE AT 15'-0" O.C.
 2. EXPANSION JOINTS TO BE 3/4"-0" O.C. MAX. ON AT BACK OF CURB. CHANGE OF DIRECTION OTHER THAN 90° UTILITY APERTURES OR FACE OF STRUCTURE.
 3. PORTLAND CEMENT CONCRETE SHALL CONFORM TO 2007 CLASS III-MIN. 3,000 PSI (4.1 MAX. W/FA) AT 14 DAYS, WITH 15 TO 18 AIR ENTRAINMENT, AND 4.1 MAX. ALLOWED.
- CONCRETE WALK JOINT DETAILS**



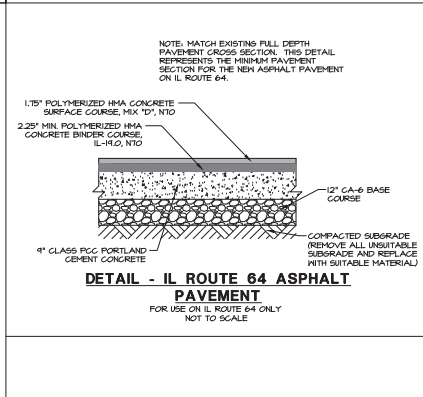
- NOTES:
1. SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL.
- DETAIL - ACCESSIBLE SYMBOL**
NOT TO SCALE



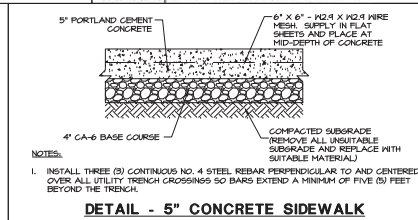
- NOTES:
1. CENTER SIGN IN PARKING STALL AND INSTALL MINIMUM OF 5' AND MAXIMUM OF 6' ABOVE FINISHED PAVEMENT ELEVATION.
 2. CONTRACTOR SHALL VERIFY FINE AMOUNT WITH JURISDICTIONALITY PRIOR TO INSTALLATION.
- DETAIL - ACCESSIBLE PARKING SIGN**
NOT TO SCALE



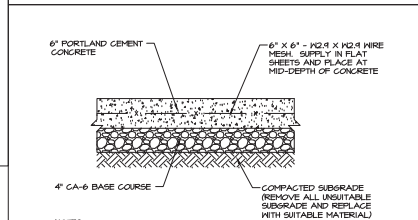
- NOTES:
1. ALL PAVEMENT STRIPING SHALL BE YELLOW.
 2. MAXIMUM SLOPE WITHIN ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.
- DETAIL - HANDICAP PARKING STALL**
NOT TO SCALE



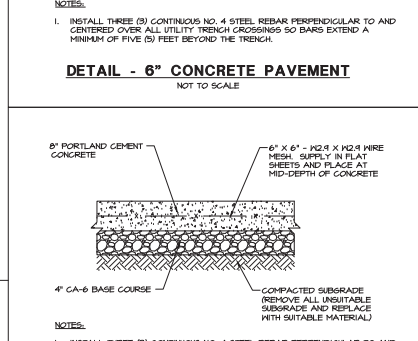
- NOTE: MATCH EXISTING FULL DEPTH PAVEMENT CROSS SECTION. THIS DETAIL REPRESENTS THE MINIMUM PAVEMENT SECTION FOR THE NEW ASPHALT PAVEMENT ON IL ROUTE 64.
- DETAIL - IL ROUTE 64 ASPHALT PAVEMENT**
FOR USE ON IL ROUTE 64 ONLY
NOT TO SCALE



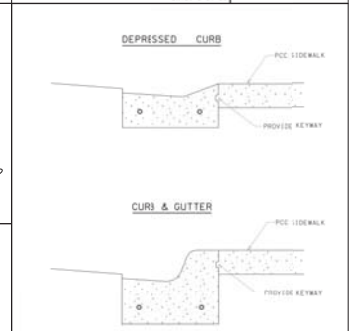
- NOTES:
1. INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.
- DETAIL - 5" CONCRETE SIDEWALK**



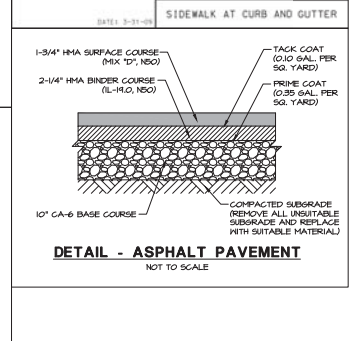
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1. INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.
- DETAIL - 6" CONCRETE PAVEMENT**
NOT TO SCALE



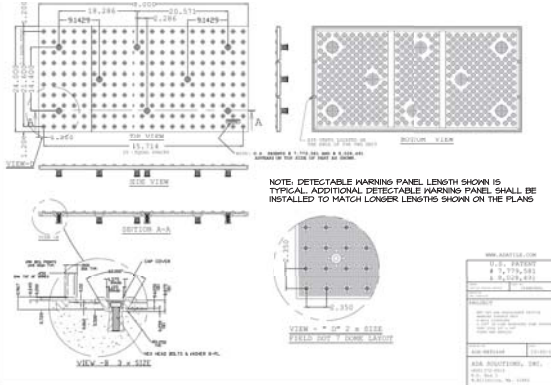
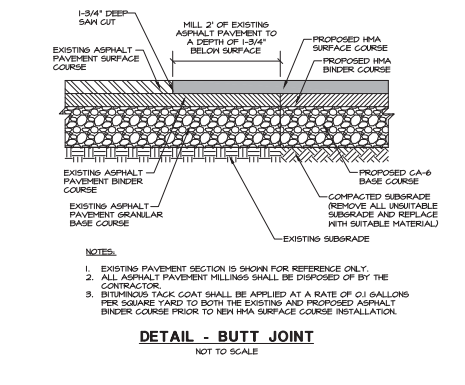
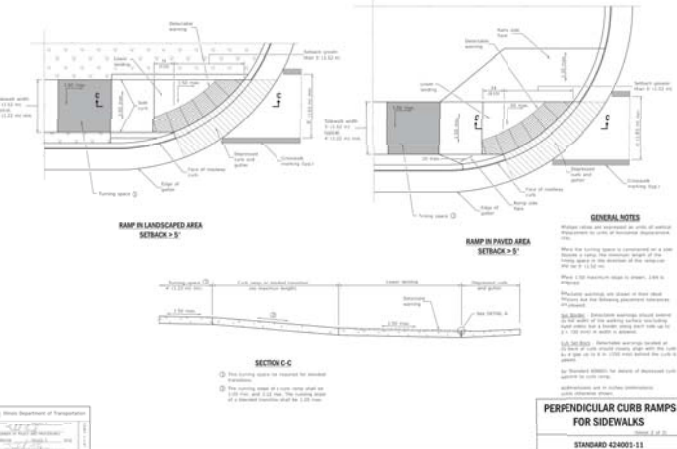
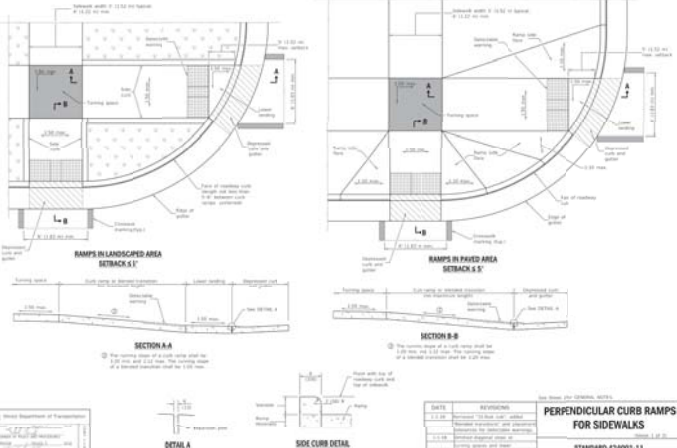
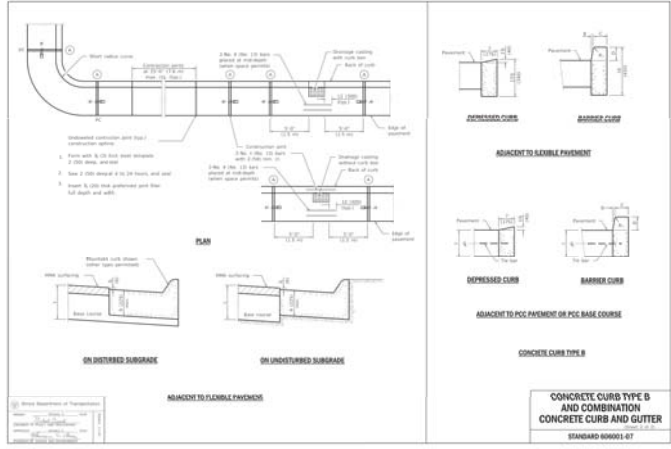
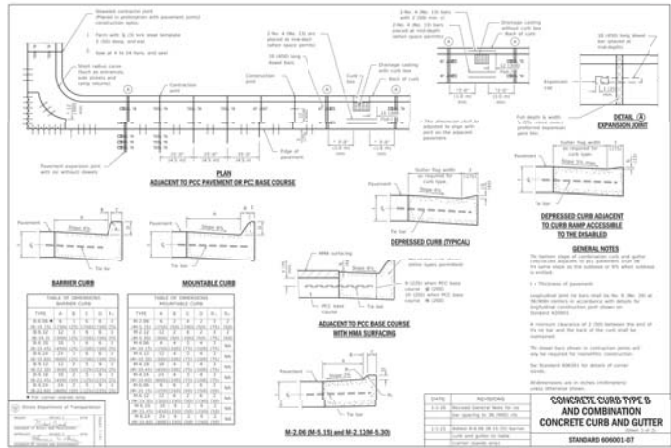
- NOTES:
1. INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.
- DETAIL - 8" CONCRETE PAVEMENT**
NOT TO SCALE

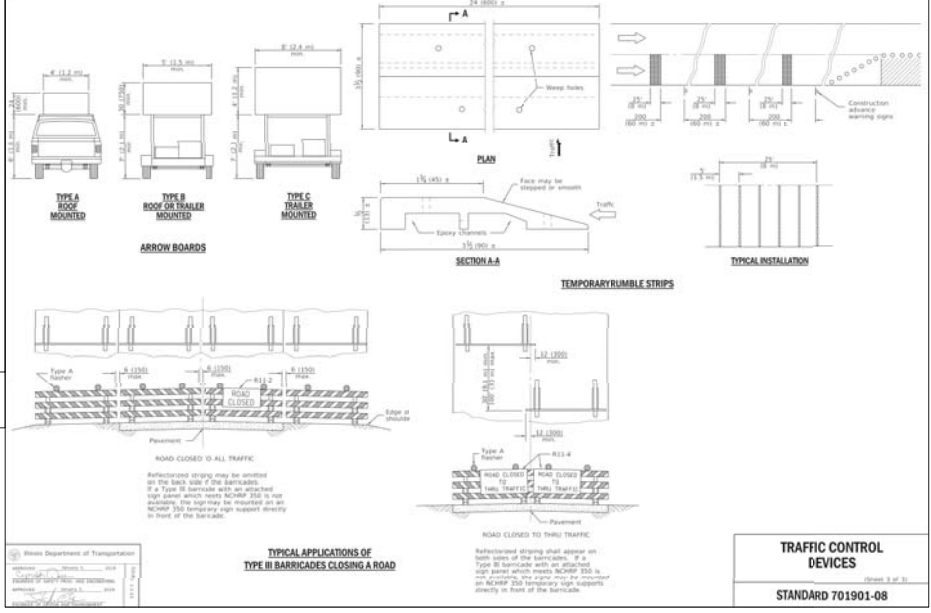
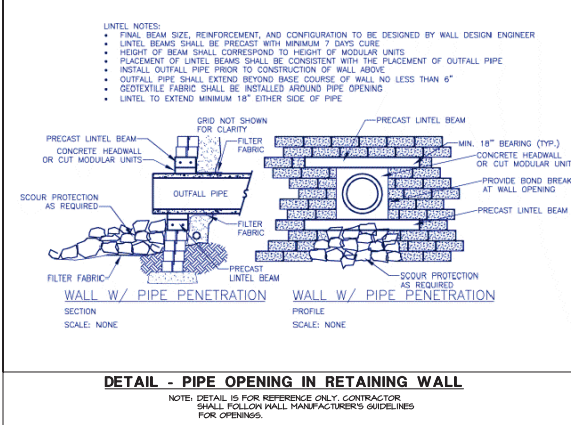
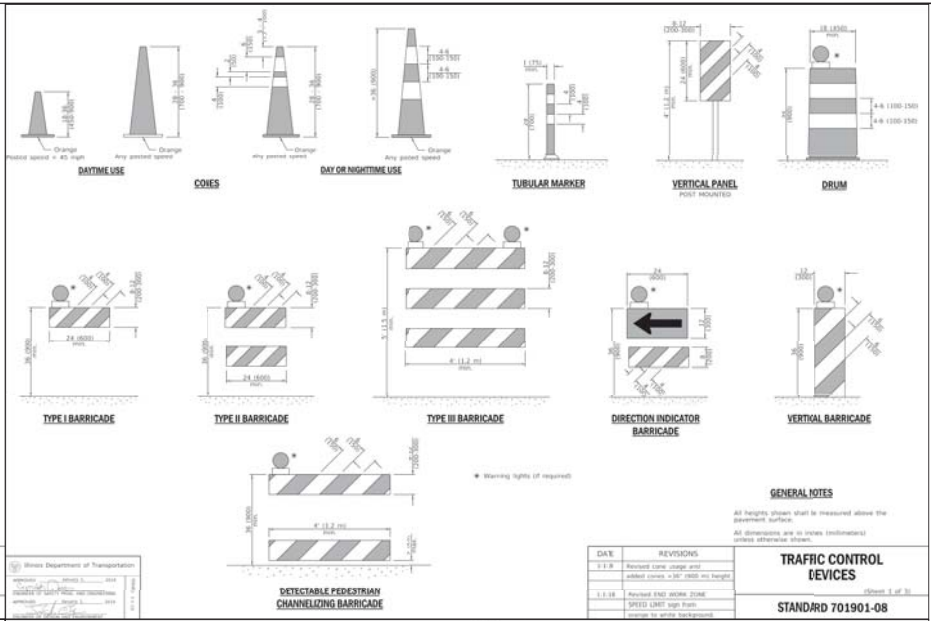
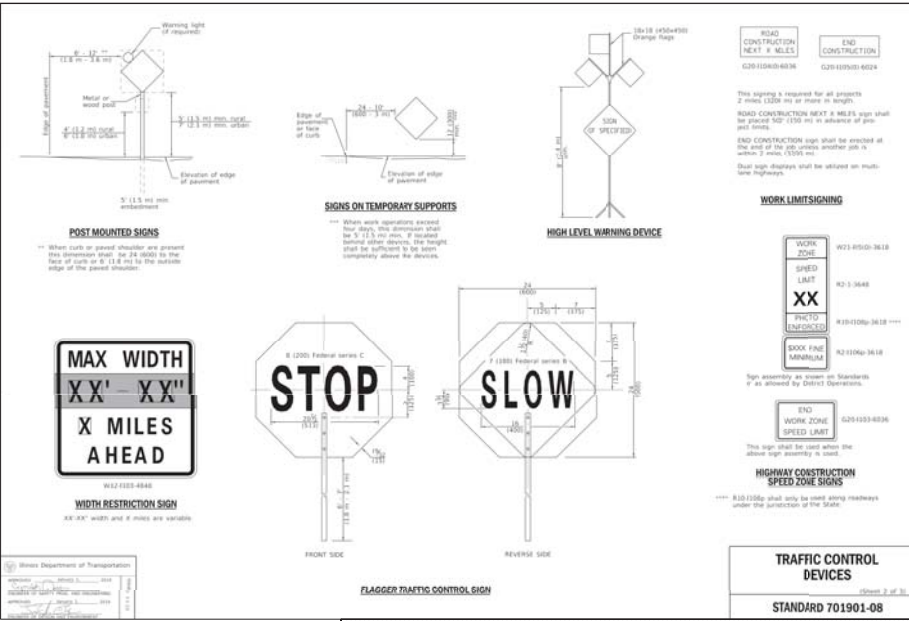


- NOTES:
1. SEE TYPICAL DETAIL FOR CURB AND GUTTER FOR CURB DIMENSIONS AND SPECIFICATIONS.
- DETAIL - DEPRESSED CURB**
DETAIL - CURB & GUTTER



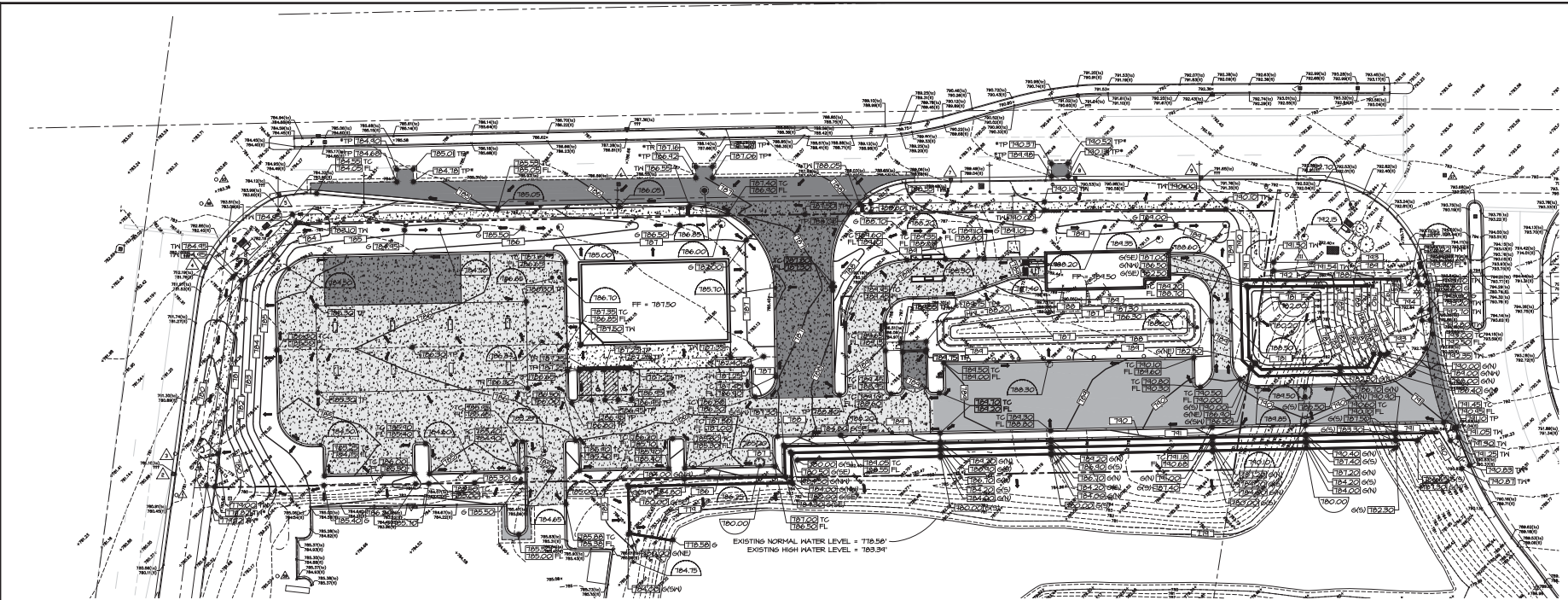
- NOTES:
1. SEE TYPICAL DETAIL FOR CURB AND GUTTER FOR CURB DIMENSIONS AND SPECIFICATIONS.
- DETAIL - ASPHALT PAVEMENT**
NOT TO SCALE





ISSUE

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REV. SITE	6/30/20



EXISTING NORMAL WATER LEVEL = 778.56'
 EXISTING HIGH WATER LEVEL = 783.24'

EXISTING UTILITY DATA

<p>RM-781.66' (SANITARY) 48" CONCRETE STRUCTURE INV-771.53' (CONCREOM N/S) INV-772.50' (12" RCP N/E) NO FLOW INDICATED TOP OF WATER=777.26'</p> <p>RM-780.60' (STORM) 24" CONCRETE STRUCTURE INV-777.53' (4" OPF SWR) INV-776.55' (12" RCP NE)</p> <p>RM-780.77' (STORM) 48" CONCRETE STRUCTURE INV-777.25' (6" PVC NW) INV-777.25' (10" RCP N) INV-777.37' (12" RCP SE) INV-777.08' (8" OPF S)</p> <p>RM-781.85' (STORM) 24" CONCRETE STRUCTURE INV-778.05' (12" RCP SE)</p> <p>RM-783.66' (STORM) 48" CONCRETE STRUCTURE INV-778.16' (24" RCP NE) INV-778.55' (15" RCP SW)</p> <p>RM-780.01' (STORM) 48" CONCRETE STRUCTURE INV-782.83' (15" RCP E/W) INV-782.81' (8" OPF E) INV-785.03' (6" OPF E)</p> <p>RM-780.03' (STORM) 48" CONCRETE STRUCTURE INV-782.81' (15" RCP W) INV-782.83' (15" RCP E) INV-784.37' (6" OPF E)</p>	<p>RM-791.23' (STORM) 48" CONCRETE STRUCTURE INV-781.46' (12" RCP N/E) INV-781.45' (6" OPF E) INV-781.00' (15" RCP W) INV-781.35' (6" OPF W)</p> <p>RM-781.28' (SANITARY) 48" CONCRETE STRUCTURE INV-777.53' (4" OPF SWR) INV-781.35' (6" CLAY S)</p> <p>RM-792.25' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE=785.88' (12" DP E/W) INV-777.25' (10" RCP N) INV-777.37' (12" RCP SE) INV-777.21' (15" RCP W/SE)</p> <p>RM-783.64' (STORM) 48" CONCRETE STRUCTURE INV-780.31' (12" RCP NW/E)</p> <p>RM-783.70' (STORM) 48" CONCRETE STRUCTURE INV-778.16' (24" RCP E) INV-778.55' (15" RCP SW)</p> <p>RM-780.87' (SANITARY) 48" CONCRETE STRUCTURE INV-781.47' (6" PVC L/W) INV-780.24' (12" RCP N) INV-779.98' (15" RCP W)</p> <p>RM-780.11' (STORM) 48" CONCRETE STRUCTURE INV-779.04' (15" RCP E)</p> <p>RM-780.74' (SANITARY) 48" CONCRETE STRUCTURE INV-782.83' (15" RCP E/W) INV-782.81' (8" OPF E) INV-785.03' (6" OPF E)</p> <p>RM-781.57' (STORM) 48" CONCRETE STRUCTURE INV-782.74' (12" RCP SW)</p> <p>RM-782.75' (STORM) 48" CONCRETE STRUCTURE INV-782.81' (15" RCP W)</p>	<p>RM-783.61' (STORM) 48" CONCRETE STRUCTURE INV-775.02' (8" RCP SW/NE)</p> <p>RM-780.46' (STORM) 48" CONCRETE STRUCTURE INV-775.02' (8" RCP SW/NE) INV-776.61' (15" RCP N) INV-776.61' (12" RCP SW)</p> <p>RM-779.04' (STORM) 48" CONCRETE STRUCTURE INV-778.46' (12" RCP NE)</p> <p>RM-779.28' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE=776.61' (E/W) UNABLE TO MEASURE PPE STRUCTURE FILLED WITH WATER</p> <p>RM-783.67' (STORM) 48" CONCRETE STRUCTURE INV-775.02' (8" RCP SW/NE) UNABLE TO OPEN STRUCTURE</p> <p>RM-780.47' (SANITARY) 48" CONCRETE STRUCTURE INV-771.17' (10" CLAY N/S) INV-771.87' (6" PVC S)</p> <p>RM-780.87' (STORM) 48" CONCRETE STRUCTURE INV-778.05' (12" RCP N/E/S) INV-777.09' (12" RCP SW) INV-777.09' (12" RCP SW) INV-778.90' (12" RCP W) INV-782.91' TOP OF SPILLWAY WALL</p> <p>RM-780.04' (STORM) 48" CONCRETE STRUCTURE INV-780.84' (12" RCP NE/S)</p> <p>RM-780.47' (SANITARY) 48" CONCRETE STRUCTURE INV-771.17' (10" CLAY N/S) INV-771.87' (6" PVC S)</p> <p>RM-780.87' (STORM) 48" CONCRETE STRUCTURE INV-778.05' (12" RCP N/E/S) INV-777.09' (12" RCP SW) INV-777.09' (12" RCP SW) INV-778.90' (12" RCP W) INV-782.91' TOP OF SPILLWAY WALL</p> <p>RM-779.70' (STORM) 24" CONCRETE STRUCTURE INV-777.20' (6" PVC W) INV-777.22' (6" OPF NW/SW) INV-784.84' (12" RCP E)</p> <p>RM-780.60' (STORM) 48" CONCRETE STRUCTURE INV-782.74' (12" RCP SW) INV-777.12' (16" RCP NW) INV-777.12' (12" RCP S) INV-777.29' (12" RCP SW)</p>	<p>RM-783.18' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE=777.36' (12" DP N/S)</p> <p>RM-783.57' (WATER) 48" CONCRETE STRUCTURE TOP OF WATER=778.87' STRUCTURE FILLED WITH WATER NO LINES FOUND</p> <p>RM-782.27' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE=778.39' (8" DP N/S)</p> <p>RM-785.26' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE=778.39' (8" DP N/S)</p> <p>RM-783.91' (SANITARY) 48" CONCRETE STRUCTURE INV-774.17' (6" PVC E/S)</p> <p>RM-780.04' (STORM) 48" CONCRETE STRUCTURE INV-780.84' (12" RCP NE/S)</p> <p>RM (NORTH)=784.90' (STORM) 24" CONCRETE STRUCTURE INV-777.09' (12" RCP SW) 2" CONCRETE STRUCTURE INV-777.09' (12" RCP SW) 2" CONCRETE STRUCTURE INV-777.09' (12" RCP SW) INV-778.90' (12" RCP W)</p>
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HATCH LEGEND

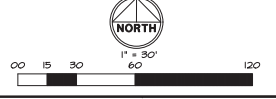
	NEW ASPHALT PAVEMENT
	NEW IL ROUTE 64 ASPHALT PAVEMENT
	NEW 5' CONCRETE SIDEWALK
	NEW 6' CONCRETE PAVEMENT
	NEW 8' CONCRETE PAVEMENT

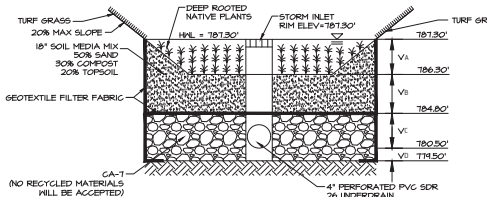
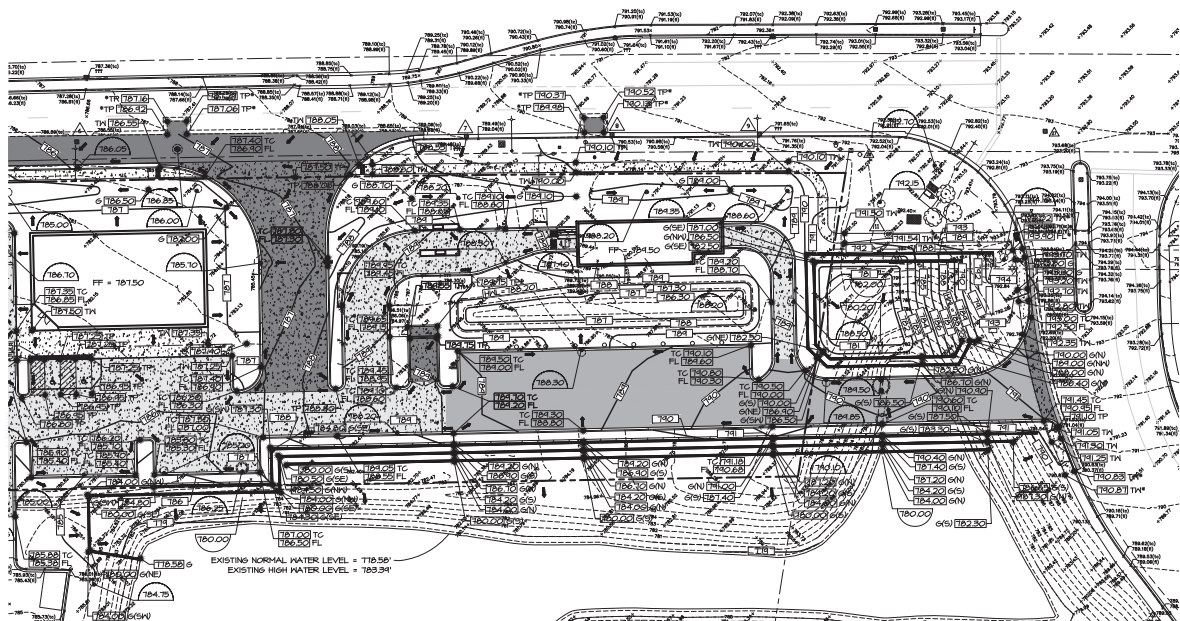
GRADING LEGEND

	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	INTERPOLATED SPOT GRADE
	PROPOSED RIM ELEVATION
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	OVERLAND FLOOD ARROW
	100 YEAR OVERLAND FLOOD ROUTE
	EMERGENCY EVACUATION ARROW
	TOP OF PAVEMENT ELEVATION
	TOP OF SIDEWALK ELEVATION
	FINISHED GRADE ELEVATION
	FINISHED FLOOR ELEVATION
	TOP OF CURB ELEVATION
	FLOOD LINE ELEVATION
	ADJUST EXISTING RIM ELEVATION
	EXISTING CLOSED MANHOLE
	EXISTING OPEN GRATE MANHOLE
	EXISTING GURB INLET
	EXISTING FIRE HYDRANT
	EXISTING VALVE VAULT
	EXISTING B-BOX
	EXISTING TELCO PEDESTAL
	EXISTING UTILITY POLE W/ 6/11 WIRE
	PROPOSED FIRE HYDRANT
	PROPOSED VALVE WITH VAULT
	PROPOSED B-BOX
	PROPOSED INLET
	PROPOSED OPEN LID MANHOLE / CATCH BASIN
	PROPOSED CLOSED LID MANHOLE
	PROPOSED RESTRICTOR STRUCTURE
	PROPOSED NYLOPLAST DRAIN BASIN
	PROPOSED FLARED END SECTION
	PROPOSED GREASE TRAP

SITE GRADING NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 09-12-18. PREPARED BY THE WT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTOUR AND ALL UTILITIES WHETHER DELETED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES).
- B. ALL PROPOSED GRADES ARE GIVEN TO FINISHED GRADE. THE TOP OF PROPOSED ASPHALT, CONCRETE, TOP OF PROPOSED CURB, ETC. SEE DETAILS FOR PAVEMENT THICKNESS AND ELEVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- C. CONTRACTOR SHALL CONTACT JULLIE BE (81 OR 1-800-892-0282) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY EXCAVATION AND/OR ELEVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- D. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSATISFACTORY MATERIALS CREATED AS A RESULT.
- E. CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OTHER AND/OR ENGINEER.
- G. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OTHER AND/OR ENGINEER.
- H. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED. ALL HANDICAP ACCESSIBLE ROUTES, SIDEWALKS, PARKWAYS, DRIVEWAYS, ETC. SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE PARKWAYS SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
- I. VOIDS LEFT BY ANY TREES REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24' THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- J. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE. CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- K. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO ADJACENT THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- L. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- M. ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
- N. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LFP-662 AND/OR LFP-663 FORMS AS PART OF THEIR CONTRACT.
- O. PREPARE SUBGRADE AS SPECIFIED IN THE GEOTECHNICAL REPORT DATED MONTH DAY, YEAR PREPARED BY GEOTECHNICAL ENGINEER.
- P. ALL TOPSOIL BENEATH PROPOSED STRUCTURES AND PAVEMENT SHALL BE REMOVED. REFER TO THE GEOTECHNICAL REPORT DATED MONTH DAY, YEAR PREPARED BY GEOTECHNICAL ENGINEER FOR EXISTING TOPSOIL DEPTHS.





VOLUME TYPE	POROSITY	MEDIA VOLUME	STORAGE VOLUME	VOLUME PROVIDED
SURFACE STORAGE	1.00	VA = 1489 C.F.	1.00 X VA	1489 C.F.
SOIL MEDIA MIX	0.25	VB = 3162 C.F.	0.25 X VB	894 C.F.
COARSE AGG. (ABOVE INVERT)	0.36	VC = 6034 C.F.	0.36 X VC	1656 C.F.
COARSE AGG. (BELOW INVERT)	0.36	VD = 2101 C.F.	0.36 X VD	756 C.F.
			WEST RAIN GARDEN TOTAL	4895 C.F.

INFILTRATION VOLUME REQUIRED = 1.416 AC. X 0.75' = 0.0895 ACRE - FEET
 INFILTRATION VOLUME PROVIDED = 0.098 AC-FT X 0.0895 AC-FT

WEST POND INFILTRATION VOLUME
 NOT TO SCALE

EXISTING POND - DETENTION STORAGE VOLUME ADDED			
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
783.95	8,235 SQ. FT.		
783.75	8,505 SQ. FT.	1,674 CU. FT.	48,440 CU. FT. OR 1,1120 AC-FT
783.50	8,832 SQ. FT.	2,167 CU. FT.	46,766 CU. FT. OR 1,0736 AC-FT
783.39 HWL	8,974 SQ. FT.	979 CU. FT.	44,599 CU. FT. OR 1,0238 AC-FT
783.20	9,220 SQ. FT.	1,728 CU. FT.	43,619 CU. FT. OR 1,0014 AC-FT
783.00	9,220 SQ. FT.	2,726 CU. FT.	41,891 CU. FT. OR 0,9617 AC-FT
782.91 WEIR	9,582 SQ. FT.	9,172 CU. FT.	39,165 CU. FT. OR 0,8991 AC-FT
782.00	10,576 SQ. FT.	11,116 CU. FT.	29,993 CU. FT. OR 0,6885 AC-FT
781.00	11,655 SQ. FT.	12,234 CU. FT.	18,877 CU. FT. OR 0,4334 AC-FT
780.00	12,812 SQ. FT.	6,574 CU. FT.	6,644 CU. FT. OR 0,1525 AC-FT
779.00	335 SQ. FT.	70 CU. FT.	70 CU. FT. OR 0,0016 AC-FT
778.58	0 SQ. FT.	70 CU. FT.	70 CU. FT. OR 0,0016 AC-FT

TOTAL POND V_{783.39} = 43,619 CU. FT.
 OR 1,001 AC-FT

EXISTING POND - DETENTION STORAGE VOLUME LOST			
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
783.95	3,231 SQ. FT.		
783.75	3,137 SQ. FT.	637 CU. FT.	11,630 CU. FT. OR 0,2670 AC-FT
783.50	3,022 SQ. FT.	770 CU. FT.	10,993 CU. FT. OR 0,2524 AC-FT
783.39 HWL	2,972 SQ. FT.	330 CU. FT.	10,223 CU. FT. OR 0,2347 AC-FT
783.20	2,887 SQ. FT.	557 CU. FT.	9,893 CU. FT. OR 0,2271 AC-FT
782.91 WEIR	2,761 SQ. FT.	819 CU. FT.	9,336 CU. FT. OR 0,2143 AC-FT
782.00	2,400 SQ. FT.	2,348 CU. FT.	8,518 CU. FT. OR 0,1955 AC-FT
781.00	2,020 SQ. FT.	2,210 CU. FT.	6,169 CU. FT. OR 0,1416 AC-FT
780.00	1,712 SQ. FT.	1,866 CU. FT.	3,959 CU. FT. OR 0,0909 AC-FT
779.00	1,375 SQ. FT.	1,544 CU. FT.	2,093 CU. FT. OR 0,0481 AC-FT
778.58	1,243 SQ. FT.	550 CU. FT.	550 CU. FT. OR 0,0126 AC-FT

TOTAL POND V_{783.39} = 9,893 CU. FT.
 OR 0,227 AC-FT

PROPOSED DETENTION POND VOLUME - EAST POND				
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME	
788.20 HWL	4,231 SQ. FT.	842 CU. FT.	20,626 CU. FT. OR	0,4735 AC-FT
788.00	4,191 SQ. FT.	4,085 CU. FT.	19,784 CU. FT. OR	0,4542 AC-FT
787.00	3,978 SQ. FT.	3,490 CU. FT.	15,699 CU. FT. OR	0,3604 AC-FT
786.00	3,002 SQ. FT.	2,904 CU. FT.	12,209 CU. FT. OR	0,2803 AC-FT
785.00	2,805 SQ. FT.	2,707 CU. FT.	9,306 CU. FT. OR	0,2136 AC-FT
784.00	2,608 SQ. FT.	2,509 CU. FT.	6,599 CU. FT. OR	0,1515 AC-FT
783.00	2,410 SQ. FT.	2,166 CU. FT.	4,090 CU. FT. OR	0,0939 AC-FT
782.00	1,921 SQ. FT.	1,590 CU. FT.	1,925 CU. FT. OR	0,0442 AC-FT
781.00	1,258 SQ. FT.	335 CU. FT.	335 CU. FT. OR	0,0077 AC-FT
780.20	0 SQ. FT.			

TOTAL POND V_{788.20} = 20,626 CU. FT.
 OR 0,474 AC-FT

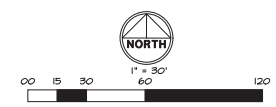
PROPOSED DETENTION POND VOLUME - WEST POND				
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME	
788.20 HWL	3,403 SQ. FT.	663 CU. FT.	2,527 CU. FT. OR	0,0580 AC-FT
788.00	3,226 SQ. FT.	1,864 CU. FT.	1,864 CU. FT. OR	0,0428 AC-FT
787.30 OUTLET ELEV.	2,101 SQ. FT.	1,493 CU. FT.	1,493 CU. FT. OR	0,0343 AC-FT
785.30	885 SQ. FT.			

TOTAL POND V_{788.20} = 2,527 CU. FT.
 OR 0,058 AC-FT

PROPOSED DETENTION POND VOLUME - WEST & EAST PONDS				
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME	
788.20 HWL			23,154 CU. FT. OR	0,5315 AC-FT
788.00			21,648 CU. FT. OR	0,4970 AC-FT
787.00			17,192 CU. FT. OR	0,3947 AC-FT
786.00			12,209 CU. FT. OR	0,2803 AC-FT
785.00			9,306 CU. FT. OR	0,2136 AC-FT
784.00			6,599 CU. FT. OR	0,1515 AC-FT
783.00			4,090 CU. FT. OR	0,0939 AC-FT
782.00			1,925 CU. FT. OR	0,0442 AC-FT
781.00			335 CU. FT. OR	0,0077 AC-FT
780.20				

TOTAL POND V_{788.20} = 23,154 CU. FT.
 OR 0,532 AC-FT

VOLUME REQUIRED = 1,200 ACRE - FEET
 VOLUME ADDED EXISTING POND = 1,001 ACRE - FEET
 VOLUME LOST EXISTING POND = 0,227 ACRE - FEET
 VOLUME PROVIDED NEW PONDS = 0,532 ACRE - FEET
 VOLUME PROVIDED = 1,306 ACRE - FEET



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 Engineering & Design Consulting

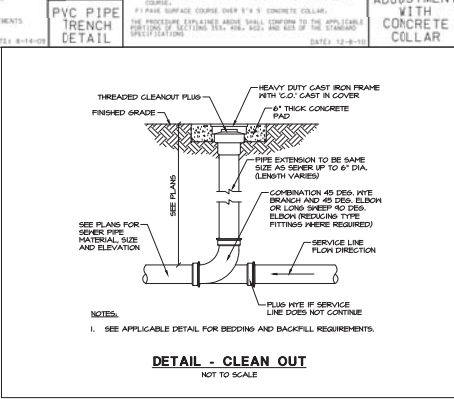
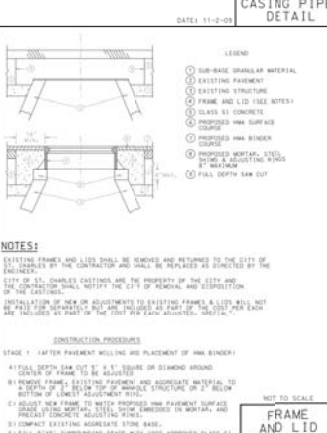
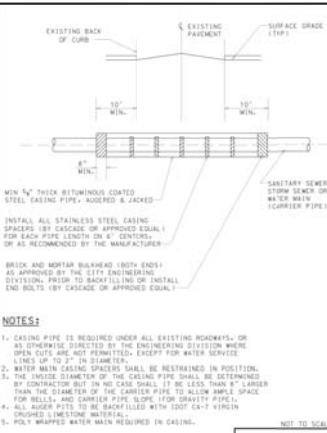
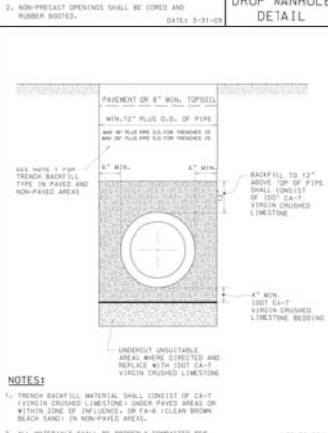
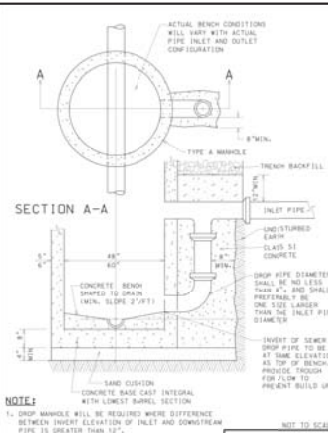
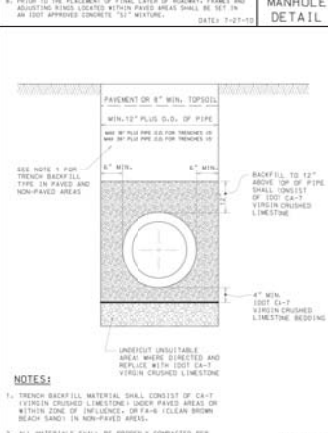
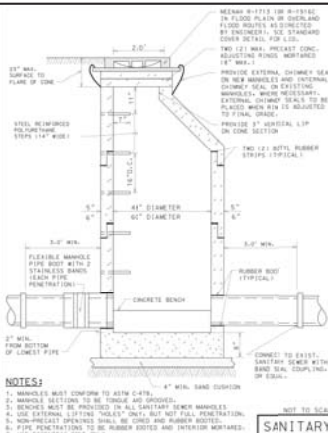
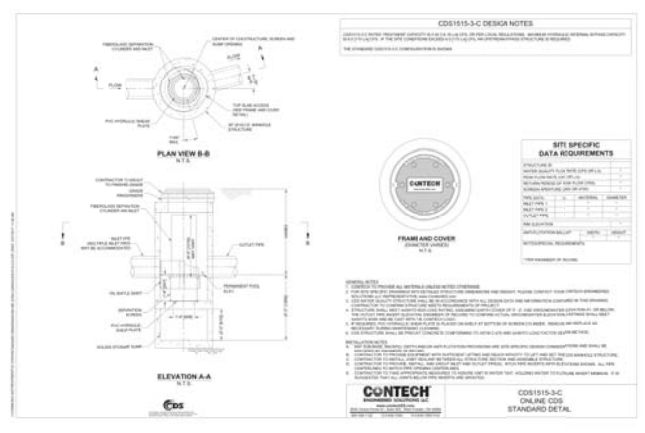
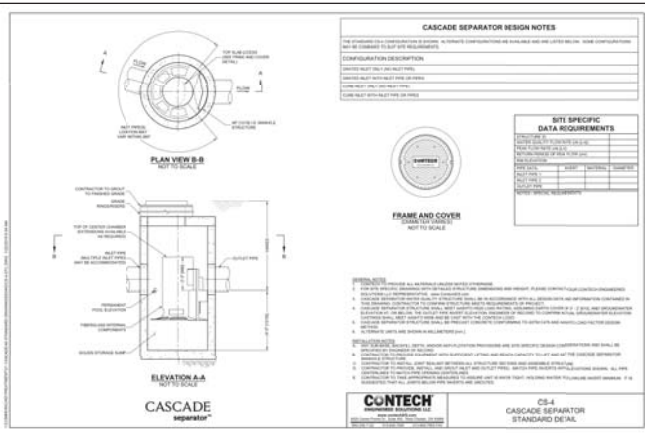
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 3301/573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

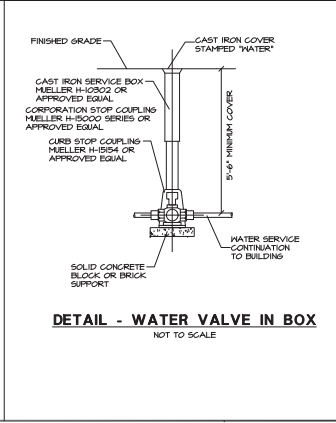
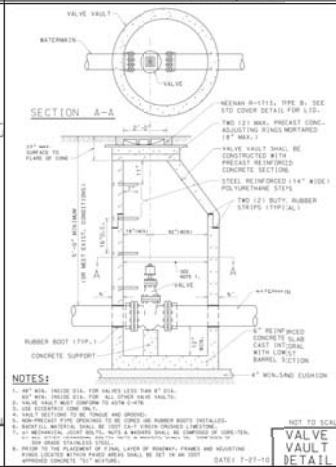
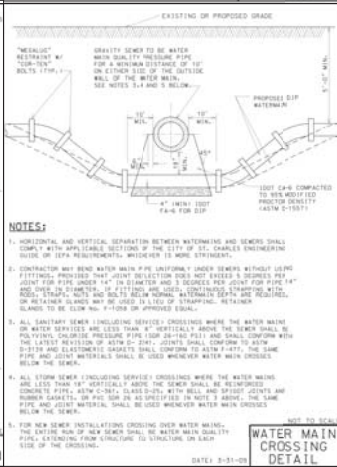
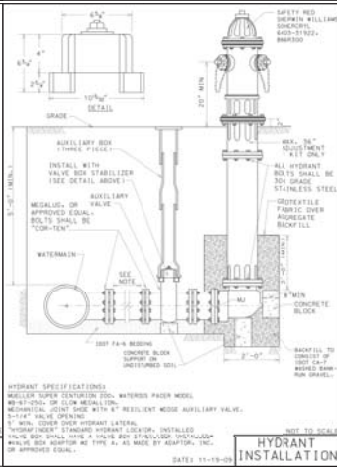
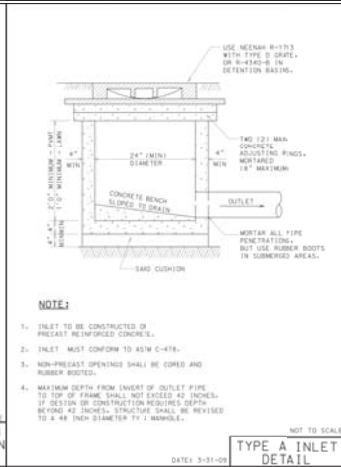
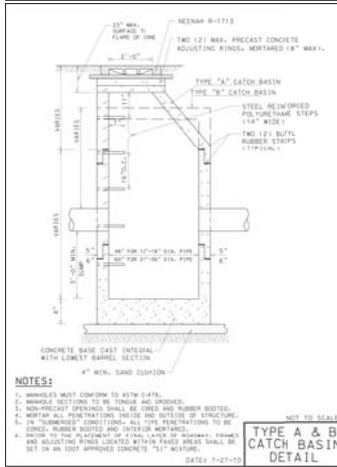
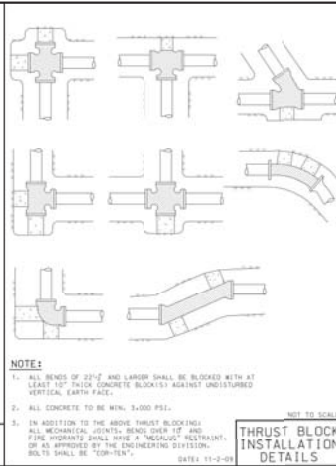
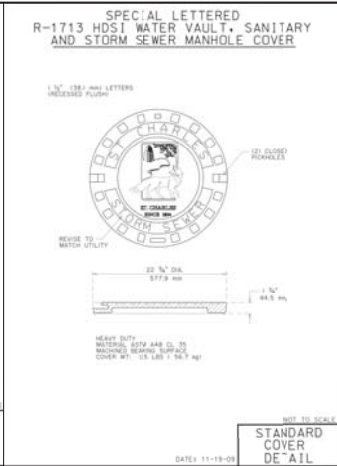
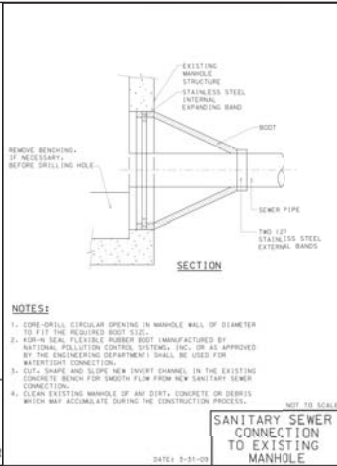
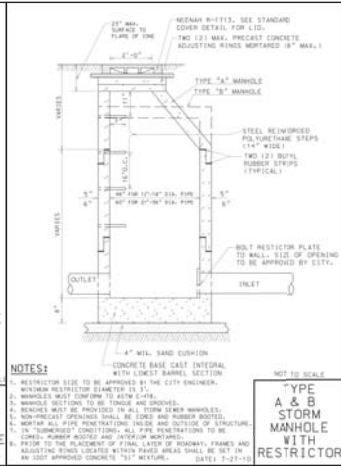
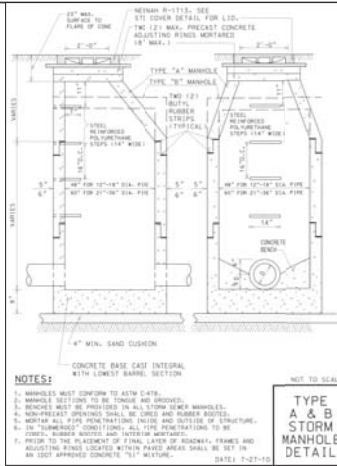
CIMA DEVELOPERS
 3001/180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

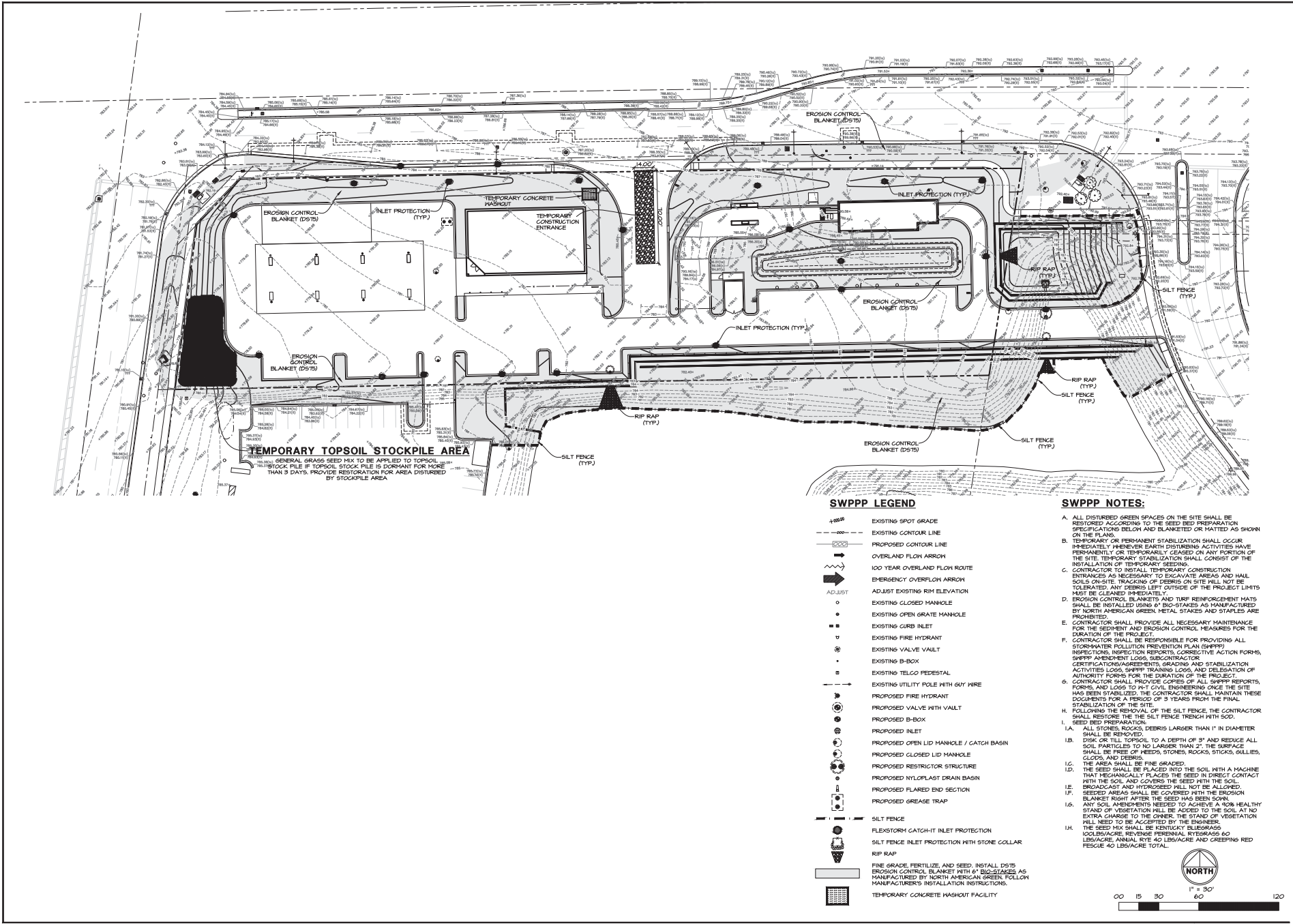
ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/13/20
REV. SITE	2/13/20
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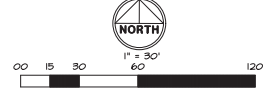
TEMPORARY TOPSOIL STOCKPILE AREA
 GENERAL GRASS SEED MIX TO BE APPLIED TO TOPSOIL STOCKPILE IF TOPSOIL STOCKPILE IS DORMANT FOR MORE THAN 30 DAYS. PROVIDE RESTORATION FOR AREA DISTURBED BY STOCKPILE AREA.

SWPPP LEGEND

- EXISTING SPOT GRADE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- ADJUST EXISTING RIM ELEVATION
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING VALVE VAULT
- EXISTING B-BOX
- EXISTING TELCO PEDESTAL
- EXISTING UTILITY POLE WITH GUY WIRE
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE VAULT
- PROPOSED B-BOX
- PROPOSED INLET
- PROPOSED OPEN LID MANHOLE / CATCH BASIN
- PROPOSED CLOSED LID MANHOLE
- PROPOSED RESTRICTOR STRUCTURE
- PROPOSED NYLON LAST DRAIN BASIN
- PROPOSED FLARED END SECTION
- PROPOSED GREASE TRAP
- SILT FENCE
- FLEXSTORM CATCH-INLET PROTECTION
- SILT FENCE INLET PROTECTION WITH STONE COLLAR
- RIP RAP
- FINE GRADE, FERTILIZE AND SEED. INSTALL DISTS EROSION CONTROL BLANKET WITH 6" BIG-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN FOLLOWS MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- TEMPORARY CONCRETE WASHOUT FACILITY

SWPPP NOTES:

- A. ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLAN.
- B. TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
- C. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO ELEVATE AREAS AND HAIL SOILS ON-SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.
- D. EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6" BIG-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. METAL STAPLES AND STAPLES ARE PROHIBITED.
- E. CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- G. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE CIVIL ENGINEERING ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
- H. FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR SHALL RESTORE THE SILT FENCE TRENCH WITH SOIL.
- I. SEED BED PREPARATION
 - 1A. ALL STONES, ROCKS, DEBRIS LARGER THAN 1" IN DIAMETER SHALL BE REMOVED.
 - 1B. DISK OR TILL TOPSOIL TO A DEPTH OF 3" AND REDUCE ALL SOIL PARTICLES TO NO LARGER THAN 2". THE SURFACE SHALL BE FREE OF NEEDS, STONES, ROCKS, STICKS, GULLIES, CLOS, AND DEBRIS.
 - 1C. THE AREA SHALL BE FINE GRADED.
 - 1D. THE SEED SHALL BE PLACED INTO THE SOIL WITH A MACHINE THAT MECHANICALLY PLACES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL. BROADCAST AND HYPODROMED WILL NOT BE ALLOWED.
 - 1E. SEEDING AREAS SHALL BE COVERED WITH THE EROSION BLANKET RIGHT AFTER THE SEED HAS BEEN SOWN.
 - 1F. ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 40% HEALTHY STAND OF VEGETATION WILL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER.
 - 1G. THE SEED MIX SHALL BE KENTUCKY BLUEGRASS 10 LBS/ACRE, REVERSE PERENNIAL RYEGRASS 40 LBS/ACRE, ANNUAL RYE 40 LBS/ACRE, AND CREEPING RED FESCUE 40 LBS/ACRE TOTAL.



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THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

CIMA DEVELOPERS
 3001/180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

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 STORMWATER
 POLLUTION PREVENTION
 PLAN

GENERAL NOTES

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWINGS:
11. ILLINOIS DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION,' LATEST EDITION.
12. 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS,' LATEST EDITION.
13. 'ILLINOIS URBAN MANUAL,' LATEST EDITION.
14. BUILDING CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES.
15. UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, 29 CFR PART 1926, 'SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION'.
16. ILLINOIS DRAINAGE LAW.
17. ILLINOIS ENVIRONMENTAL BARRIERS ACT.
18. ILLINOIS ACCESSIBILITY CODE.
19. ILLINOIS ENVIRONMENTAL PROTECTION AGENCY REQUIREMENTS.
20. TITLE 35 OF THE ILLINOIS ADMINISTRATIVE CODE.
2. ALL REQUIRED PERMITS FROM THE APPROPRIATE GOVERNING AGENCY(S) SHALL BE OBTAINED FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR PROPER BRACING, SHEETING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE AND TO THE SATISFACTION OF THE GOVERNING AGENCY. THE CONTRACTOR SHALL MAINTAIN THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNAGE AND TRAFFIC CONTROL DEVICES TO FORM AND PROTECT THE WORK AREA.
3. CONTRACTOR SHALL NOTIFY THE LOCAL ENGINEERS OR PUBLIC WORKS DEPARTMENT AND/OR OTHER GOVERNING AUTHORITY(S) 48 HOURS PRIOR TO COMMENCING CONSTRUCTION ON EACH MAJOR CATEGORY OF WORK, INCLUDING BUT NOT LIMITED TO, ANY AND ALL EXISTING UTILITIES, PARKING LOTS OR UTILITY INSTALLATIONS. 12 HOUR NOTICE SHALL BE GIVEN FOR ANY WORK ITEM THAT REQUIRES INSPECTION AND TESTING, SUCH AS SANITARY SEWER OR WATER MAIN INSTALLATION.
4. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO AVOID POTENTIAL CONFLICTS. CONTRACTOR SHALL CALL THE JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS (JULIE) AT 1-800-252-2022 OR BY DIALING 811. IT IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES. MARKERS INDICATED ON THE PLANS OR NOT AND TO HAVE THESE UTILITIES STAKED PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER.
6. ALL EXISTINGS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREPARED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES OR VISIBLE FIELD MARKINGS. THE CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND FOR THEIR PROTECTION THROUGHOUT THE CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED IN CONFLICT IN LOCATION WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THE CONFLICT MAY BE RESOLVED.
7. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS AND TO THE SATISFACTION OF THE APPLICABLE UTILITY OWNERS.
8. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, COORDINATES AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES SO THE CONFLICT MAY BE RESOLVED.
9. ALL PROPERTY MARKERS AND REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN ATTENDED TO OTHERWISE TIED BY AN AUTHORIZED AGENT OR PROFESSIONALLY LICENSED SURVEYOR.
10. THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE PROVIDED THROUGH CONSTRUCTION OPERATIONS ABOUT PUBLIC THROUGH-PASSES AND ADJACENT PROPERTY.
11. ALL AREAS DISTURBED BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL BE RETURNED TO THE ORIGINAL CONDITIONS OR BETTER, EXCEPT WHERE PROPOSED CONSTRUCTION IS SHOWN ON THE PLANS.
12. NO BURNING OR INCINERATION OF RUBBISH SHALL BE PERMITTED ON SITE.
13. PRIOR TO INITIAL ACCEPTANCE BY THE OWNER(S) AND/OR GOVERNING AUTHORITY, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND MUNICIPALITY ENGINEER OR HIS REPRESENTATIVE(S). THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF 18 (EIGHTEEN) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
15. CONTRACTOR SHALL KEEP THE PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND WHEN NECESSARY, CLEAN PAVEMENTS AT THE END OF EACH WORKING DAY.
16. ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
17. THREE (3) ORIGINAL COPIES OF ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:
17.1. ASPHALT PAVEMENT MIX DESIGN
17.2. CONCRETE MIX DESIGN
17.3. GRANULAR MATERIAL GRADATION
17.4. PRECAST CONCRETE STRUCTURES (MANHOLES, INLETS, CATCH BASINS, VALVETS, ETC.)
17.5. WATER MAIN MATERIALS (VALVES, FIRE HYDRANTS, ETC.)
18. AFTER COMPLETION OF THE PROPOSED IMPROVEMENTS AND WHEN REQUIRED BY THE GOVERNING AUTHORITY(S), CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH AS-BUILT AND/OR RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONALLY LICENSED ENGINEER OR SURVEYOR AND SHALL INCLUDE AT A MINIMUM THEREIN: AFFIDAVIT TO CORRECT THE FOLLOWING ITEMS:
18.1. TOPOGRAPHY AND SPOT GRADE ELEVATIONS OF ALL PROPOSED PERMANENT SITE FEATURES INCLUDING ANY STORM WATER FACILITIES OR MODIFICATIONS TO EXISTING STORM WATER FACILITIES.
18.2. HORIZONTAL AND VERTICAL LOCATION AND ALIGNMENT OF ALL PROPOSED ROADWAYS, PARKING LOTS, UTILITIES, BUILDINGS OR OTHER PERMANENT SITE FEATURES.
18.3. RIN AND INVERT AND/OR VERTICAL ELEVATIONS FOR ALL PROPOSED UTILITIES.
18.4. AS-BUILT AND/OR RECORD DRAWINGS INFORMATION SHALL BE SHOWN ON THE APPROVED ENGINEERING PLANS ISSUED FOR CONSTRUCTION. ANY AND ALL LOCATION OR DIMENSIONAL INFORMATION SHALL BE PROVIDED IN THE FORM OF STRIKINGS THROUGH THE PROPOSED INFORMATION AND CLEARLY INDICATING THE AS-BUILT LOCATIONS AND ELEVATIONS ON THE APPLICABLE PLAN SHEET.

SITE GRADING AND PAVING

- 1. ALL SITE WORK, GRADING, AND PAVING OPERATIONS WITHIN THE LIMITS OF THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION,' LATEST EDITION ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES IN THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MOST STRINGENT CODE SHALL TAKE PRECEDENCE.
2. EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF EROSION CONTROL MEASURES AND ALL RELATED OPERATIONS PERTAINING TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS,' ALL UNSUITABLE OR EXCESSIVE MATERIALS SHALL BE REMOVED OFF-SITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE IN THE FIELD.
3. EXCAVATED TOPSOIL SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE PROJECT ENGINEER UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING, UNLESS OTHERWISE NOTED ON THE PLANS, A MINIMUM OF 6" TOPSOIL RE-Spread AND SEEDING FOR ALL DISTURBED AREAS IS REQUIRED.
4. THE SOILS INVESTIGATION REPORT FOR THE SITE AND ALL APPENDIX THEREIN ARE SUPPORTING DOCUMENTS FOR THIS PROJECT. THE RECOMMENDATIONS AS STATED IN SAID REPORT ARE HEREBY INCORPORATED INTO THESE CONSTRUCTION NOTES BY REFERENCE AND SHALL BE FOLLOWED BY ALL CONTRACTORS. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS. BY A SOILS ENGINEER OR HIS REPRESENTATIVE. FINISHED CONSTRUCTION OPERATIONS WILL NOT BE PERMITTED UNTIL THE SOILS ENGINEER ISSUES A WRITTEN STATEMENT THAT THE AREA IN QUESTION HAS BEEN SATISFACTORILY PREPARED AND IS READY FOR CONSTRUCTION.
5. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND RE-APPLICATION AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE CONTRACTOR.
6. THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE NOT NOTED TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.
7. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING TRENCH WHICH ARE NOT INDICATED TO BE REMOVED. IF DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.
8. REMOVED DRIVEWAY PAVEMENT, SIDEWALKS, CURBS, TRENCHES AND STUMPS SHALL BE REMOVED TO A LEGALLY CORRECT SITE LOCATIONS DETERMINED BY THE CONTRACTOR.
9. ON AND OFF SITE PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF SHALL BE REPAIRED AT HIS OWN EXPENSE. IF STATE AND LOCAL 'STANDARD SPECIFICATIONS IN MATERIALS' AND 'STANDARD SPECIFICATIONS' REQUIREMENTS ARE NOT MET, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAXIMUM EXPECTED SURCHARGE LEAD PRIOR TO BACKFILLING.
10. PROPOSED ELEVATIONS INDICATE FINISHED GRADE CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THE THICKNESS OF THE PROPOSED PAVING (ROADS, WALKS, DRIVE, ETC.) SECTION OR TOPSOIL AS INDICATED ON THE PLANS.
11. CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.
12. ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADING PLANS.
13. ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
14. ALL CONCRETE POURED SHALL BE:
14.1. MINIMUM COMPRESSIVE STRENGTH: (a) 3500 P.S.I. AT 28 DAYS PER I.D.7.3 (b) 4500 P.S.I. AT 28 DAYS PER A.C.J.
14.2. MAX WATER-CEMENTitious MATERIALS RATIO, 0.44 (AIR-ENTRAINED)
14.3. AIR CONTENT, 6% +/- 1.5% AT POINT OF DELIVERY FOR EXPOSED CONCRETE
15. WHEN FIBER MESH REINFORCEMENT IS SPECIFIED, IT SHALL CONSIST OF FIBERGLASS POLYPROPYLENE FIBERS ENGINEERED AND DESIGNED FOR USE IN CONCRETE PAVEMENT, COMPLYING WITH ASTM C 1106, TYPE III, TO 3 INCHES LONG. FIBERS SHALL BE UNIFORMLY DISPERSED IN THE CONCRETE MIXTURE AT THE MANUFACTURER'S RECOMMENDED RATE, BUT NOT LESS THAN 1.5 LB. / YD. 3.
16. THE GRADING AND CONSTRUCTION OF THE PROPOSED PAVEMENT IMPROVEMENTS SHALL NOT CAUSE POONDING OF STORM WATER, ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE AND MATCH EXISTING GRADES FLUSH.
17. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
18. DRIVEWAYS SHALL BE CONSTRUCTED SO AS NOT TO IMPEDE THE SURFACE DRAINAGE SYSTEM.
19. TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARDS AND SHALL BE INSTALLED AND PROVIDED WHENEVER CONSTRUCTION FOR UTILITIES ARE WITHIN STREET READ, APPLICABLE ACCESSIBILITY CODES AND STATE SHALL ALSO GOVERN THE TRAFFIC CONTROL REQUIREMENTS.

WATER MAINS AND SEWERS HORIZONTAL SEPARATION REQUIREMENTS

- 1. WATER MAINS SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER, OR SEWER SERVICE CONNECTION.
2. WATER MAINS MAY BE LOCATED CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN:
2.1. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET; AND
2.2. THE WATER MAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE SEWER; AND
2.3. THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
3. WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE BOTH THE WATER MAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTION OF DIVISION II OF THE 'STANDARD SPECIFICATIONS' AND ITNESSED BY THE LOCAL GOVERNING AUTHORITY.
4. ALL DUCTILE IRON WATER MAIN PIPE SHALL BE CONSTRUCTED WITH A MINIMUM OF 48% MODIFIED PROCTOR DENSITY, PER ASTM D-1581, OVER ALL INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
5. ALL TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1581, OVER ALL INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
6. ALL TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1581, OVER ALL INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
7. ALL TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1581, OVER ALL INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
8. ALL TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1581, OVER ALL INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
9. ALL TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1581, OVER ALL INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
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SANITARY SEWERS

- 1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS,' LATEST EDITION AND ALL SUBSEQUENT REVISIONS THEREOF ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
2. ALL SANITARY SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
3. ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D-3034 WITH HATERIGHT JOINTS CONFORMING TO ASTM D-3312, UNLESS OTHERWISE NOTED.
4. SANITARY SEWER PIPE SHALL BE 15" DIA. OR LARGER. THE PIPE SHALL BE IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS C-905, C-900 AND C-903.
5. A WATER TIGHT PLUS SHALL BE INSTALLED AND LEFT IN PLACE AT THE POINT OF COMMENCEMENT UNTIL THE REMAINDER OF THE PROPOSED SEWERS HAVE BEEN CONSTRUCTED, PROPERLY TESTED AND DEEMED READY FOR FINAL ACCEPTANCE.
6. ALL SANITARY SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION BEDDING AND BEDDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
7. ALL SANITARY SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034. UNDER THE BARREL OF THE PIPE SHALL BE CRUSHED GRAVEL OR STONE MEETING DOT GRADATION CA-11 OR CA-15.
8. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1581, OVER ALL INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
9. THE CONTRACTOR IS REQUIRED TO RECORD THE LOCATION OF ALL SEWERS AND FURNISH THE INFORMATION TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH A COMPLETE SET OF RECORD DRAWINGS TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE UPON PROJECT COMPLETION. THIS SHALL INCLUDE A COMPLETE SET OF RECORD DRAWINGS TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE UPON PROJECT COMPLETION. THIS SHALL INCLUDE A COMPLETE SET OF RECORD DRAWINGS TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE UPON PROJECT COMPLETION. THIS SHALL INCLUDE A COMPLETE SET OF RECORD DRAWINGS TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE UPON PROJECT COMPLETION.
10. ALL SANITARY SEWER MANHOLES SHALL BE PRECAST CONCRETE AND SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE 'STANDARD SPECIFICATIONS' AND THE DETAILS IN THE PLANS.
11. A FLEXIBLE TIE JOINT SHALL BE FURNISHED AT POINTS OF ENTRY INTO EXISTING TRENCH MANHOLES. THE TIE JOINT SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. THIS FLEXIBLE TIE JOINT SHALL BE A MINIMUM OF TWO (2) ADJUSTING RINGS AND SHALL BE SUBSTITUTED WITH A SUBSTANTIAL SERRATED FLANGE RING IS CAST DIRECTLY INTO THE END OF THE MANHOLE BASE TO FORM A WATER TIGHT SEAL AND PROTRUDES OUTSIDE OF THE MANHOLE WALL TO CONNECT WITH THE PIPE ENTERING/TRENCH STRUCTURE. THE TIE JOINT IS TO BE PLACED AT THE MANHOLE BASE AND SHALL BE SECURED BY MEANS OF A STAINLESS STEEL STRAP CLAMP BOLT AND NUT.
12. ALL REQUIRED MANHOLE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
13. AFTER FINAL ADJUSTMENTS HAVE BEEN MADE, ALL JOINTS IN PRECAST STRUCTURES SHALL BE MORTARED. THE MORTAR SHALL BE COMPOSED OF ONE (1) PART CEMENT TO THREE (3) PARTS SAND, BY VOLUME, BASED ON DRY WEIGHTS AND SHALL BE THOROUGHLY VETTERED BEFORE LAYING.
14. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING NYE, TEE, OR MANHOLE, THE FOLLOWING METHOD SHALL BE USED:
14.1. CIRCULAR SAH-GUT OF SEWER MAIN BY PROPER TOOLS (SEWER-TAP MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HALF-YE SADDLE OR HUB-TEE SADDLE.
15. ALL FLOOR DRAINS SHALL BE CONNECTED TO THE SANITARY SEWER. ALL FOOTING DRAINS AND DOWNPOUTS SHALL DISCHARGE OUTTO THE GROUND OR INTO THE STORM SEWER SYSTEM AS INDICATED ON THE DRAWINGS.
16. UPON COMPLETION OF THE SANITARY SEWER CONSTRUCTION, INCLUDING THE SERVICE LINES, ALL SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTIONS 911.2 AND 911.3 OF THE 'STANDARD SPECIFICATIONS' AND ITNESSED BY THE LOCAL GOVERNING AUTHORITY OR AUTHORIZED REPRESENTATIVE.

WATER MAINS

- 1. ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS,' LATEST EDITION ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MOST STRINGENT CODE SHALL TAKE PRECEDENCE.
2. ALL WATER MAIN PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
3. ALL WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52 IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS C-905, C-900 AND C-903, UNLESS OTHERWISE NOTED ON THE PLANS. ALL WATER MAIN PIPE SHALL BE LAD WITH A MINIMUM COVER OR MINIMUM GRADE INDICATED ON THE PLANS OR TO THE SPECIFIC TOP OF PIPE. PROTECTION INDICATED ON THE PLANS OR TO THE SPECIFIC TOP OF PIPE. PROTECTION INDICATED ON THE PLANS OR TO THE SPECIFIC TOP OF PIPE. PROTECTION INDICATED ON THE PLANS OR TO THE SPECIFIC TOP OF PIPE.
4. ALL WATER MAIN TRENCH EXCAVATIONS AND PIPE FOUNDATION BEDDING AND BEDDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
5. ALL WATER MAINS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034. UNDER THE BARREL OF THE PIPE SHALL BE CRUSHED GRAVEL OR STONE MEETING DOT GRADATION CA-11 OR CA-15.
6. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1581, OVER ALL INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
7. ALL TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1581, OVER ALL INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
8. ALL TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1581, OVER ALL INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
9. ALL TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1581, OVER ALL INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
10. ALL TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1581, OVER ALL INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.

WATER SERVICES AND CONNECTIONS

- 1. ALL WATER SERVICE PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION IV OF THE 'STANDARD SPECIFICATIONS.'
2. ALL WATER SERVICE LINES 2" IN DIAMETER OR SMALLER SHALL BE TYPE 'K' COPPER TUBING CONFORMING TO ASTM B-88-88. NO COUPLERS SHALL BE PERMITTED BETWEEN THE CORPORATION AND CURB STOP OR BETWEEN THE CURB STOP AND THE BUILDING.
3. ALL WATER SERVICE FITTINGS INCLUDING CORPORATION STOPS, SERVICE BOXES AND BUFFALO BOXES SHALL BE AS MANUFACTURED BY THE HELLER COMPANY OR APPROVED EQUAL.
4. SERVICE BOXES SHALL BE OF SUFFICIENT LENGTH TO PERMIT THE TOP TO BE INSTALLED FLUSH WITH THE FINISHED GRADE. EACH SERVICE BOX SHALL BE PROVIDED WITH A CAP WITH THE WORD 'WATER' CAST IN THE TOP.
5. ALL VALVES, VALVE BOXES OR VALVETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF DIVISION IV, SECTION 44 OF THE 'STANDARD SPECIFICATIONS.'
6. VALVES SHALL BE AMERICAN FLOOD CONTROL SERIES 2500 DUCTILE IRON RESILIENT SEAT EPOXY COATED WEDGE JOINT APPROVED EQUAL.
7. ALL PRESSURE CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 46 OF THE 'STANDARD SPECIFICATIONS' AND SHALL INCLUDE THE INSTALLATION OF A FULL STAINLESS STEEL TAPPING SADDLE.
8. ALL VALVES SHALL BE INSTALLED IN VALVE VALVETS HAVING A MINIMUM DIAMETER OF FIVE (5) FEET BELOW THE PRECAST CONCRETE GROUND SECTION. THE VALVETS SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS AND SHALL CONFORM TO THE DETAILS SPECIFIED ON THE PLANS. ALL VALVE VALVETS SHALL BE LEAK PROOF.
9. ALL REQUIRED RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.

WATER MAINS AND SEWERS VERTICAL SEPARATION REQUIREMENTS

- 1. WATER MAINS SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS A MINIMUM OF EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER. THE INVERT OF ANY SEWER SHALL BE HORIZONTAL. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIVALENT FROM THE SEWER OR DRAIN.
2. BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, ASBESTOS-CEMENT PRESSURE PIPE, PRE-STRESSED CONCRETE PIPE OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION WHEN:
2.1. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN 1. ABOVE; OR
2.2. THE WATER MAIN PASSES UNDER A SEWER OR DRAIN.
3. A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER. THE SEWER OR DRAIN SHALL BE SUPPORTED TO PREVENT SETTLING AND BREAKING OF THE WATER MAIN, AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.
4. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET.

STORM SEWERS

- 1. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS,' LATEST EDITION ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
2. ALL STORM SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION IV OF THE 'STANDARD SPECIFICATIONS' AND DIVISIONS 500 AND 600 OF THE 'DOT STANDARD SPECIFICATIONS.'
3. ALL RCP STORM SEWER PIPE 12" IN DIAMETER AND LARGER SHALL BE REINFORCED CONCRETE PIPE, CLASS V, PER ASTM C-445 AND SECTION 31-102 OF THE 'STANDARD SPECIFICATIONS.' ALL 10" DIA. STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS V.
4. ALL HDPE STORM SEWER PIPE SHALL BE RIGID HIGH DENSITY POLYETHYLENE PIPE WITH CORRUGATED EXTERIOR AND SMOOTH INTERIOR MEETING AUSTRI H-204, TYPE 5, PIPE SECTIONS SHALL BE JOINED WITH PVC DOUBLE RIB COUPLERS INSTALLED ON THE PIPE WITH GASKET GASKETS. THE GASKETS SHALL BE EXTENDED TO EXCEED THAT OF PVC SDR 26 WITH PUSH-ON JOINTS. ALL HDPE STORM SEWER PIPE SHALL ONLY BE FOR PRIVATE USE.
5. ALL PVC STORM SEWER PIPE SHALL BE POLYVINYL CHLORIDE SDR 26 PIPE PER ASTM D-3034 WITH HATERIGHT JOINTS CONFORMING TO ASTM D-3312, UNLESS OTHERWISE NOTED.
6. ALL STORM SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION BEDDING AND BEDDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
7. ALL STORM SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034. UNDER THE BARREL OF THE PIPE SHALL BE CRUSHED GRAVEL OR STONE MEETING DOT GRADATION CA-11 OR CA-15.
8. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1581, OVER ALL INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
9. ALL REQUIRED STORM STRUCTURE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOFLEX JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
10. ALL FIELD TIE JOINTS DURING CONSTRUCTION OPERATIONS SHALL BE PERMITTED TO THE PROPOSED STORM SEWER SYSTEM OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE AND REINFORCED WITH NEW CONCRETE TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TIE OR DRAIN PIPE CONNECTIONS SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE OWNER AND/OR ENGINEER UPON COMPLETION OF THE PROJECT AND ACCURATELY SHOWN ON THE RECORD DRAWINGS.

WT GROUP
CIMA DEVELOPERS
THE PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS 60174
30W180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555
ISSUE
TO DATE
REV. SITE 8/19/19
REV. SITE 8/26/19
REV. SITE 11/3/20
REV. SITE 2/4/20
REV. SITE 3/18/20
REV. SITE 6/10/20
CHECK/DRAWN/TP
JOB:19019003C
C-7.0 PROJECT SPECIFICATIONS

STORMWATER POLLUTION PREVENTION NOTES

1. COPIES OF THE APPROVED STORM WATER POLLUTION PREVENTION PLANS SHALL BE MAINTAINED ON THE SITE AT ALL TIMES ALONG WITH THE PERMIT, INCIDENT OF NON-COMPLIANCE (I/CN) FORM AND INSPECTION FORMS.
2. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE CITY ENGINEER. CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE PROJECT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- 3.1. ILLINOIS QUALIFIED PERSONNEL SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 3.2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INFORM ANY SUBCONTRACTORS WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS EPA.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED.
5. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED FOR REVIEW.
6. THE GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE PROJECT SITE MUST BE NOTIFIED ONE (1) WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES AND ONE (1) WEEK PRIOR TO THE FINAL INSPECTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE GOVERNING AUTHORITY.
8. IF AFTER REPEATED FAILURE ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL EROSION POLLUTION, THE GOVERNING AUTHORITIES RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
9. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, LATEST EDITION.
10. INLET PROTECTION SHALL BE INSTALLED AROUND EACH INLET OR CATCH BASIN. THESE SHALL BE MAINTAINED UNTIL THE TEMPORARY DRAINAGE AREAS HAVE ADEQUATE GRASS COVER OR APPROPRIATE GROUND STABILIZATION.
11. ALL STREETS ADJACENT TO THE SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS.
12. CONTRACTORS SHALL MINIMIZE BARE EARTH SURFACES DURING CONSTRUCTION.
13. ALL DISTURBED AREAS SHOULD BE SEEDED OR SOODED WITHIN THREE (3) DAYS OF FINAL DISTURBANCE.
14. WHENEVER DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOE OF DRAINAGE CHANNELS, DITCHES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED IMMEDIATELY.
15. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF INLET PROTECTION OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
16. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A MANNER AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, MASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
17. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE FROM THE PROPOSED CONSTRUCTION ENTRANCE. THE USE OF ANY OTHER ACCESSSES IS PROHIBITED.
18. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED OR OTHERWISE DISCHARGED FROM THE SITE INTO SEDIMENT BASINS, SILT TRAPS, DEWATERING BAGS OR POLYMER MIXING SHALL, DEWATERING DIRECTLY INTO FIELD TILES, WETLANDS, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, STREAMS, LAKES, PONDS, RIVERS, OR STORMWATER SYSTEMS IS PROHIBITED.
19. ALL STOCKPILES SHOULD BE STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
20. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY ON THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:
 - 20.1. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 20.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (I.E. THE TOTAL PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.
21. EROSION CONTROL BLANKETS SHALL BE USED IN AREAS OF 6% SLOPE OR STEEPER AND AS SHOWN ON THE PLANS.
22. ALL DISTURBED GREEN SPACES WITHIN THE R.O.W. SHALL BE RESTORED WITH 6" OF TOPSOIL AND CLASS 2A SEEDING.
23. THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SAFTDOWN SHALL BE ADDRESSED EARLY IN THE FALL, GRASSING SEASON SO THAT THE SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER. EROSION CONTROL AND SEDIMENT CONTROL, ALL OPEN AREAS THAT ARE TO REMAIN IDEL THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GRASSING SEASON. THE AREAS TO BE WORKED BEFORE THE END OF THE GRASSING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT INCLUDE VEGETATIVE COVER SUCH AS EROSION CONTROL, BLANKET AND HEAVY MULCHING.
24. ONCE ALL DISTURBED AREAS WITHIN THE R.O.W. SHALL BE RESTORED WITH SEED AND BLANKET OR SOIL AS SHOWN IN THE PLANS, SILT FENCING SHALL BE REMOVED AND THE FENCE SHALL BE RESTORED WITH TOPSOIL, SEED, FERTILIZER AND BLANKETING. RESTORATION SHALL OCCUR IMMEDIATELY FOLLOWING THE REMOVAL OF THE SILT FENCE. RESTORATION SHALL BE COMPLETED THE SAME WORKING DAY AS ANY SILT FENCING REMOVAL, AND AT LEAST 2 HOURS BEFORE ANY FORECASTED PRECIPITATION.
25. ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PROPERLY STABILIZED OR DISPOSED OFF BY THE CONTRACTOR.

SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION SCHEDULE

1. OBTAIN NPDES AND OTHER APPLICABLE SITE PERMITS AND REVIEW PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SHEETS THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
3. INSTALL PERIMETER SEDIMENT CONTROL MEASURES (E.G. SILT FENCE).
4. INSTALL PROTECTION DEVICES FOR EXISTING DRAINAGE INLET AND OUTLET STRUCTURES, IF APPLICABLE.
5. PERFORM STORMWATER POLLUTION PREVENTION SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP.
- 5.1. ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION (SEE THE STORMWATER POLLUTION PREVENTION NOTES AND STORMWATER POLLUTION PREVENTION MAINTENANCE SCHEDULE FOR ADDITIONAL INFORMATION). CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 5.2. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTORS.
- 5.3. PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED.
6. PERFORM SITE CLEANING AND GRUBBING AND REMOVE EXISTING VEGETATION AS NEEDED FOR INITIAL SITE GRADING OPERATIONS. VEGETATED SITE AREAS THAT ARE NOT INCLUDED WITH THE INITIAL GRADING SHALL REMAIN UNDISTURBED. ALL TOPSOIL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE AND STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
7. REMOVE ALL ITEMS NOTED FOR REMOVAL IN THE DEMOLITION PLAN.
8. PERFORM ROUGH GRADING OPERATIONS, CONSTRUCT OVERFLOW ROUTES, AND STABILIZE ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO STEEP SLOPES, DRAINAGE CHANNELS AND SWALES (I.E. TEMPORARY AND PERMANENT SEEDING, EROSION CONTROL, BLANKETS, RIP-RAP, CHECK DAMS, TEMPORARY DRAINAGE DIVERSIONS, ETC.).
9. INSTALL TEMPORARY CONCRETE WASHOUT FACILITY.
10. INSTALL BUILDING FOUNDATIONS AND BEGIN BUILDING CONSTRUCTION.
11. INSTALL DETENTION SYSTEMS, STORM SEWERS AND OTHER SITE UTILITIES AND IMMEDIATELY INSTALL DRAINAGE INLET AND OUTLET PROTECTION DEVICES AS INDICATED ON THE PLANS.
12. PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.
13. INSTALL CURBS AND BEGIN SITE PAVING OPERATIONS (I.E. DRIVEWAYS, SIDEWALKS, ETC.).
14. COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS.
15. REMOVE TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.
16. SUBMIT A NOTICE OF TERMINATION (N.O.T.) TO THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY UPON COMPLETION OF ALL SITE CONSTRUCTION AND FINAL SITE STABILIZATION (I.E. OVER 10% VEGETATIVE COVER).



THE PRIDE OF KANE COUNTY
3301/180 BUTTERFIELD ROAD
SAINT CHARLES, ILLINOIS 60174

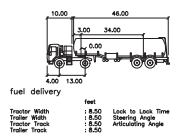
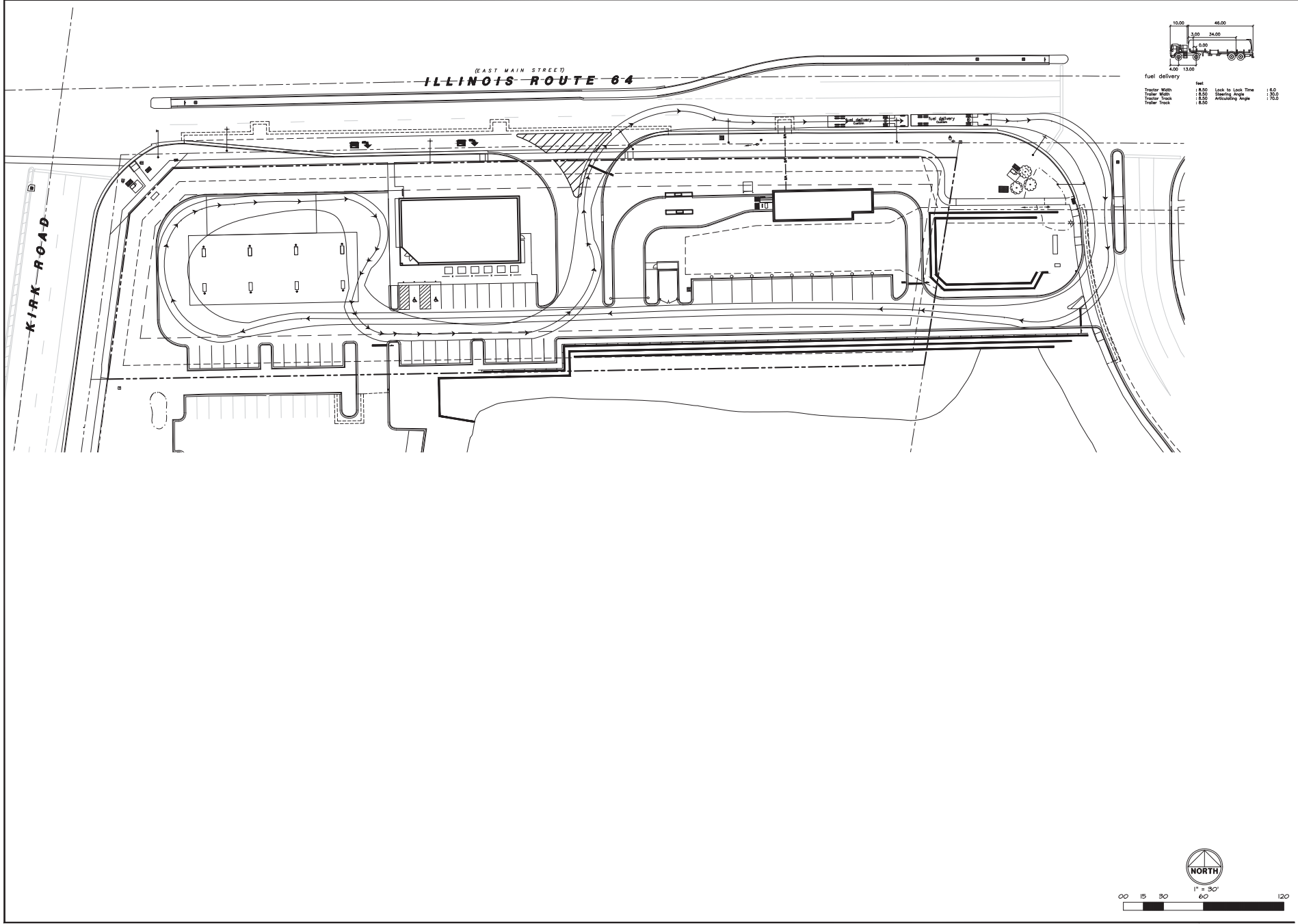
CIMA DEVELOPERS
3301/180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	3/10/20
REV. SITE	6/30/20

CHECK/TO
DRAWN/TEP
JOB:1910803C

C-7.1
PROJECT SPECIFICATIONS



	feet		feet
Tractor Width	8.50	Lock to Lock Time	18.0
Trailer Width	10.00	Steering Angle	1.50
Tractor Track	1.50	Wheelbase	13.00
Trailer Track	8.50		

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY
WT GROUP
 ENGINEERING AND PLUMBING TRUCK CIRCULATION
 124.200.0333 FAX 202.202.0444 C. 0202
 www.wtgroup.com
 10000 WOODBRIDGE BLVD. SUITE 1000
 WASHINGTON, DC 20014
 *A COMPANY OF THE WT GROUP, LLC

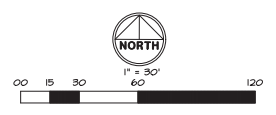
WT Group
 Engineering • Design • Consulting

CIMA DEVELOPERS
 30W180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

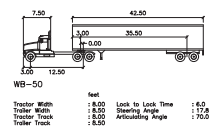
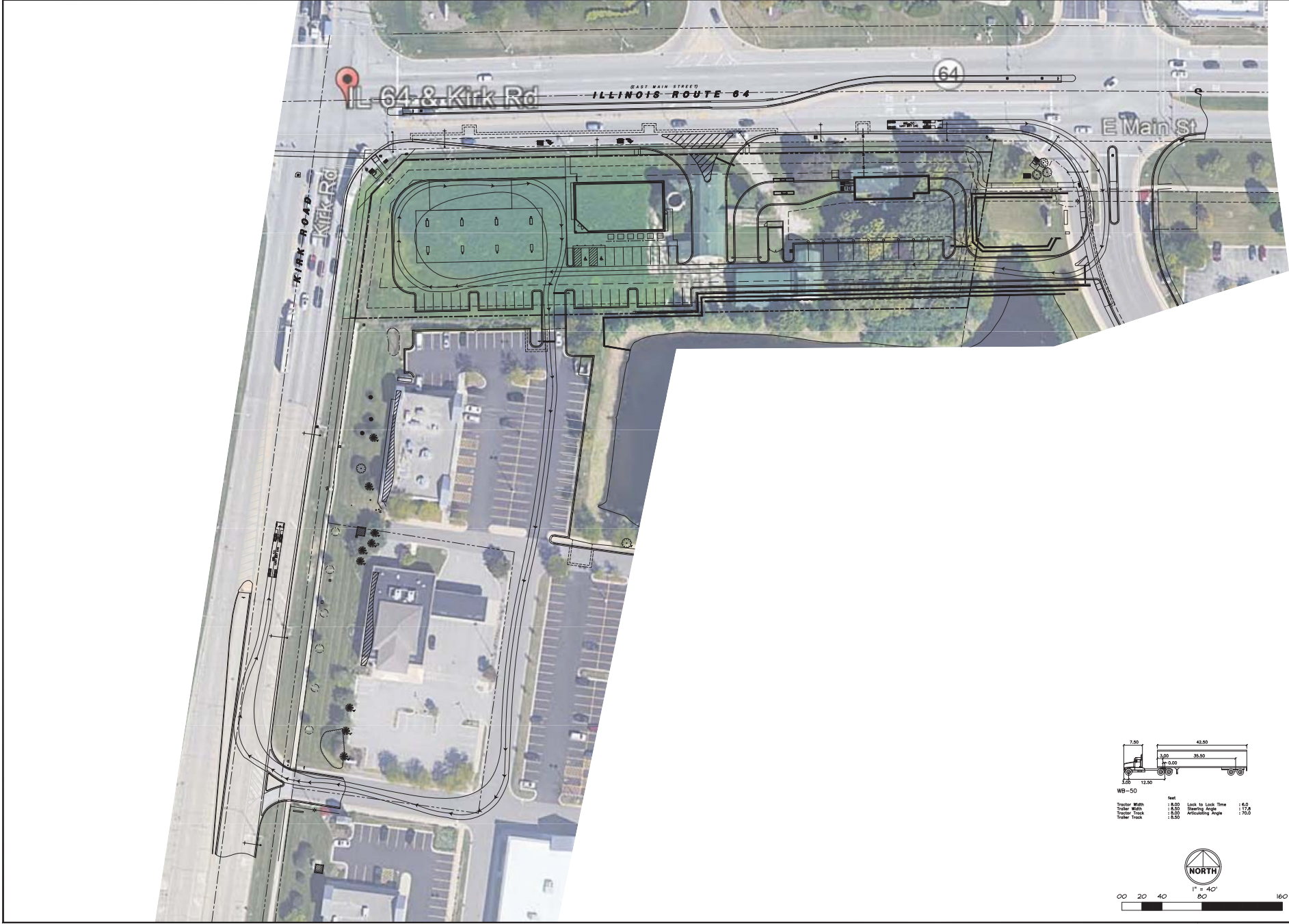
TO	DATE
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/18/20
REV. SITE	4/8/20
REV. SITE	6/29/20

ISSUE

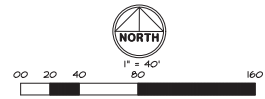


CHECKED: TGA
 DRAWN: TEP
 JOB: 1910803C

C-8.0
 TRUCK CIRCULATION PLAN



WB-50		feet	
Tractor Width	8.00	Lock to Lock Time	14.0
Tractor Height	18.00	Steering Angle	17.8
Trailer Width	8.00	Articulating Angle	70.0
Trailer Height	8.00		



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WT GROUP
 ENGINEERING AND PROJECT MANAGEMENT
 224.293.0333 | 224.293.0444 | E. 0102
 www.wtgroup.com | 1000 W. Wacker Drive, Suite 4000
 Chicago, IL 60601

WV Group
 Engineering & Design Consulting

CIMA DEVELOPERS
 30W180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

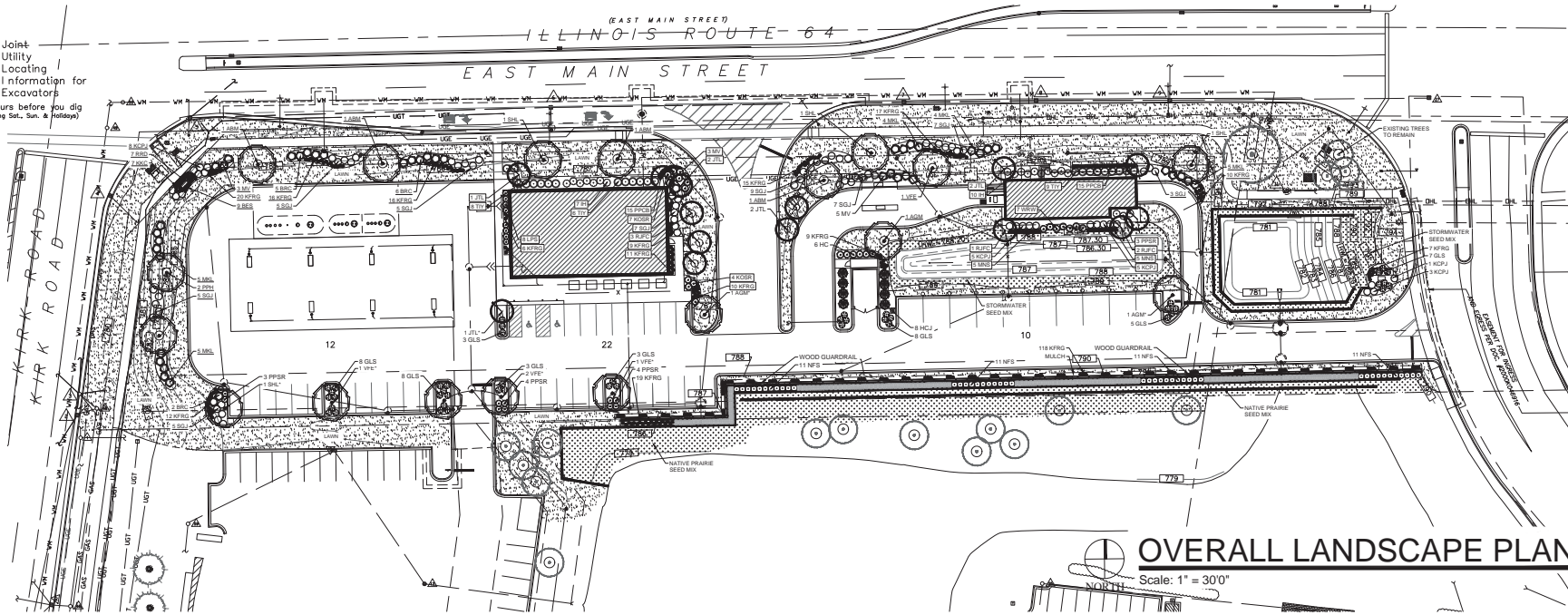
TO	DATE
REV. SITE	8/26/19
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REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/18/20
REV. SITE	4/8/20
REV. SITE	6/29/20

CHECKED: TOA
 DRAWN: TEP
 JOB: 1910803C

C-9.0
 FIRE APPARATUS
 CIRCULATION PLAN

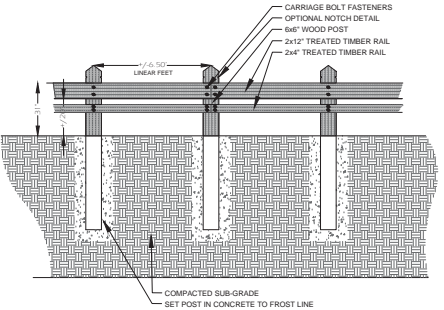


Joint Utility Locating Information for Excavators
Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)



OVERALL LANDSCAPE PLAN

Scale: 1" = 30'0"

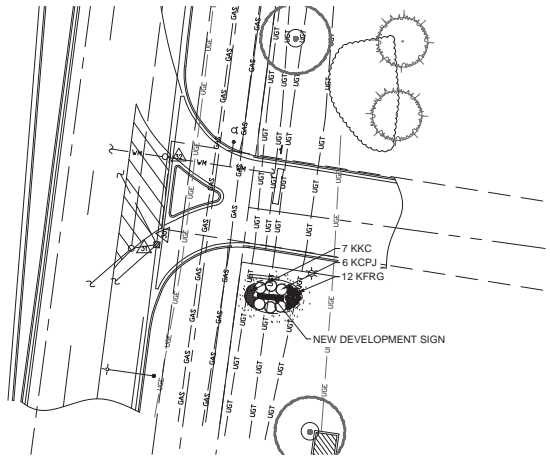


WOOD GUARDRAIL SECTION

1 DETAIL N.T.S.



EXAMPLE OF WOOD GUARDRAIL



KIRK ROAD MONUMENT SIGN LANDSCAPE

Scale: 1" = 10'0"

- SHADE TREES (DECIDUOUS)**
 - ABM Autumn Blaze Maple
 - BRM Prairie Tree Hackberry
 - DHL Skyline Honeylocust
 - ADAM Autumn Gold Kosterhaze
 - VEE Valley Forge American Elm
- ORNAMENTAL TREES (DECIDUOUS)**
 - BRM King Pine American Hornbeam
 - RFC Red Jewel Flowering Crabapple
 - JTL Ivory Silk Japanese Tree Lilac
- EVERGREEN TREES**
 - HCJ Hartz Columnar Juniper (upright)
- EVERGREEN SHRUBS**
 - SGJ Sea Green Juniper
 - KCPJ Kinky Compact Effort Juniper
 - TIV Tautou Intermediate Yew
- DECIDUOUS SHRUBS**
 - BAC Brilliant Red Chokeberry
 - HC Pink (Hedge) Coleonaster
 - HC Incrediball Hydrangea
 - GLS Gra Low Fragrant Sumac
 - KDOR Knock Out Double Rose
 - PPSR Pink Pavement Series Rose
 - NS Neon Flash Spirea
 - MK Michigan Dwarf Dog
 - MV Mexican Viburnum
 - WVW White & Rose Compact Weigela
- ORNAMENTAL GRASSES**
 - KFRG Karl Foerster Feather Reed Grass
- HERBACEOUS PERENNIALS**
 - RSD Royal Ransom Daylily
 - PPCR Palace Purple Coreopsis
 - KCC Dwarf Catmint
 - RES Black-eyed Susan
 - NYS May Night Salvia

Cardno Native Plant Nursery
www.cardnonativeplantnursery.com
128 Sunset Drive
Waukegan, Indiana 46574
Ph: 574-586-2412

Stormwater Seed Mix
For Use on Stormwater Management Ponds (SWMP) side slopes to Normal Water Line (NWL)

Botanical Name	Common Name	PLS	Dances/Acre
Permanent Grasses/Sedges/Rushes:			
Carex crinitata	Crested Owl Sedge		1.00
Carex frankii	Bristly Cattail Sedge		1.00
Carex lasiocoma	Buttonbush Sedge		2.00
Carex (sparganoides v. cephaloides)	Rough Clustered Sedge		2.00
Carex vulpinoidea	Brown Fox Sedge		6.00
Eriochloa ovata	Blunt Spike Rush		0.50
Elymus virginicus	Virginia Wild Rye		12.00
Glyceria striata	Fowl Manna Grass		1.25
Aeluropus effusus	Common Rush		1.00
Aeluropus lamiifolius	Torney's Rush		0.25
Lernaea arvensis	Rice Cut Grass		1.00
Panicum strigosum	Switch Grass		2.00
Scirpus atrovirens	Dark Green Rush		1.00
Scirpus cyperinus	Wood Grass		45.50
Scirpus (Buxifolia)	River Bulrush		0.25
Scirpus validus	Great Bulrush		6.00
Total			45.75
Temporary Cover:			
Avena sativa	Common Oat		360.00
Lolium multiflorum	Annual Ryegrass		135.00
Total			495.00

Forbs:	Water Plantain (Various Mix)	4.25
Alisma spp.	Swamp Milkweed	1.50
Asclepias incarnata	Bidens (Various Mix)	2.00
Bidens spp.	Sneezeweed	3.00
Helianthus autumnalis	Monkey Flower	1.00
Mimulus ringens	Diach Stenopogon	0.50
Pentstemon axillaris	Pinkweed	4.00
Polygonum pennsylvanicum	Sweet Black-eyed Susan	1.00
Rudbeckia subtomentosa	Broad Leaf Arrowweed	1.00
Sagittaria arifolia	Wild Senna	1.00
Senecio hebecarpa	Purple Meadow Rue	2.00
Thalictrum dasycarpum		
Total		23.25

Approximate area of coverage:
Total area (SF) of coverage surrounding SWM ponds: 2,690
Total area (acres) of coverage surrounding SWM ponds: 0.06

STORMWATER SEED MIX

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
dave@vhavibeller.com
www.vhavibeller.com



THE PRIDE OF KANE COUNTY

Southeast Corner of Main St. & Kirk Rd.
St. Charles, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.3.19	ISSUE TO OWNER
10.25.19	REVISIONS
03.03.20	REVISIONS
05.15.20	CITY COMMENTS
05.20.20	CITY COMMENTS
05.28.20	REV. MONUMENT SIGN
06.22.20	REVISED CIVIL
07.21.20	REVISED CIVIL
08.03.20	REVISED CIVIL

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE OVERALL LANDSCAPE PLAN

PROJECT MANAGER WDH

PROJECT NUMBER 19-066

DATE 08.03.20

SHEET NUMBER

L 1.0

Joint Utility Locating Information for Excavators
Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

SHADE TREES (DECIDUOUS)
 ABM Autumn Blaze Maple
 PPM Prairie Pride Hackberry
 SHL Skyline Honeylocust
 AGM Autumn Gold Maidenhair
 VFE Valley Forge American Elm

ORNAMENTAL TREES (DECIDUOUS)
 RFH Rising Fire American Hornbeam
 RJFC Red Jewel Flowering Crabapple
 JTL Ivory Silk Japanese Tree Lilac

EVERGREEN TREES
 HCl Metal Columnar Juniper (upright)

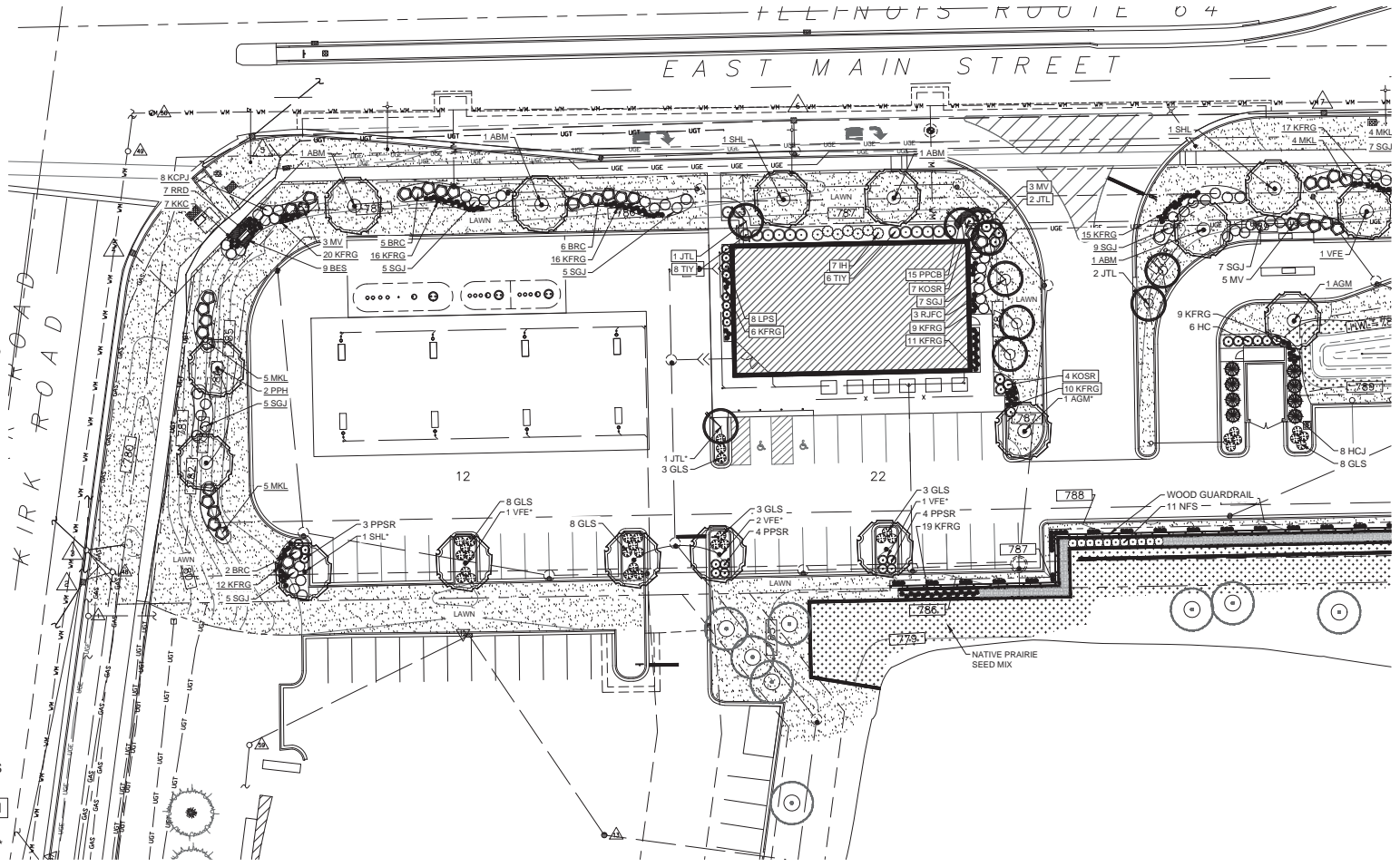
EVERGREEN SHRUBS
 SGJ Sea Green Juniper
 KCPJ Kallay Compact Pfitzer Juniper
 TTY Taunton Intermediate Yew

DECIDUOUS SHRUBS
 BRC Brilliant Red Chokeberry
 HC Peking (Hedge) Cotoneaster
 IH Incredible Hydrangea
 GLS Gro Low Fragrant Sumac
 KOSR Knock Out Shrub Rose
 PPSR Pink Pavement Series Rose
 NPS Neon Flash Spirea
 NKL Niles Kim Dwarf Lilac
 MV Mohican Viburnum
 WRW Wine & Roses Compact Wiegela

ORNAMENTAL GRASSES
 KFRG Karl Foerster Feather Reed Grass

HERBACEOUS PERENNIALS
 RRD Rosy Returns Daylily
 PPCB Palace Purple Coralbells
 KKC Dwarf Catmint
 BES Black-eyed Susan
 MNS May Night Salvia

PLANT ABBREVIATIONS
 BUILDING FOUNDATION
 STREET FRONTAGE
 PARKING ISLAND TREE*



ENLARGED LANDSCAPE PLAN

Scale: 1" = 20'0"

HELLER & ASSOCIATES, LLC
 LANDSCAPE ARCHITECTURE
 P.O. Box 1359
 Lake Geneva, Wisconsin 53147-1359
 ph 262.639.9733
 david@vdayheller.com
 www.vdayheller.com



Southeast Corner of
 Main St. & Kirk Rd.
 St. Charles, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
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05.15.20	CITY COMMENTS
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08.03.20	REVISED CIVIL

Information contained herein is based on survey information, field inspection, and believed to be accurate.
SHEET TITLE
 ENLARGED LANDSCAPE PLAN

PROJECT MANAGER WDH
 PROJECT NUMBER 19-066
 DATE 08.03.20
 SHEET NUMBER

L 1.1



Joint Utility Locating Information for Excavators

Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

SHADE TREES (DECIDUOUS)

- ABM Autumn Blaze Maple
- PPH Prairie Pride Hackberry
- SHL Skyline Honeylocust
- AGM Autumn Gold Maidenhair
- VFE Valley Forge American Elm

ORNAMENTAL TREES (DECIDUOUS)

- RFH Rising Fire American Hornbeam
- RJFC Red Jewel Flowering Crabapple
- JTL Ivory Silk Japanese Tree Lilac

EVERGREEN TREES

- HCI Hetzi Columnar Juniper (upright)

EVERGREEN SHRUBS

- SGJ Sea Green Juniper
- KCPJ Kallay Compact Pfitzer Juniper
- TYT Taunton Intermediate Yew

DECIDUOUS SHRUBS

- BRC Brilliant Red Chokeberry
- HC Peking (Hedge) Cotoneaster
- IH Incrediball Hydrangea
- GLS Gro Low Fragrant Sumac
- KOSR Knock Out Shrub Rose
- PPSR Pink Pavement Series Rose
- NFS Neon Flash Spirea
- MKL Miss Kim Dwarf Lilac
- MV Mohican Viburnum
- WRW Wine & Roses Compact Wiegela

ORNAMENTAL GRASSES

- KFRG Karl Foerster Feather Reed Grass

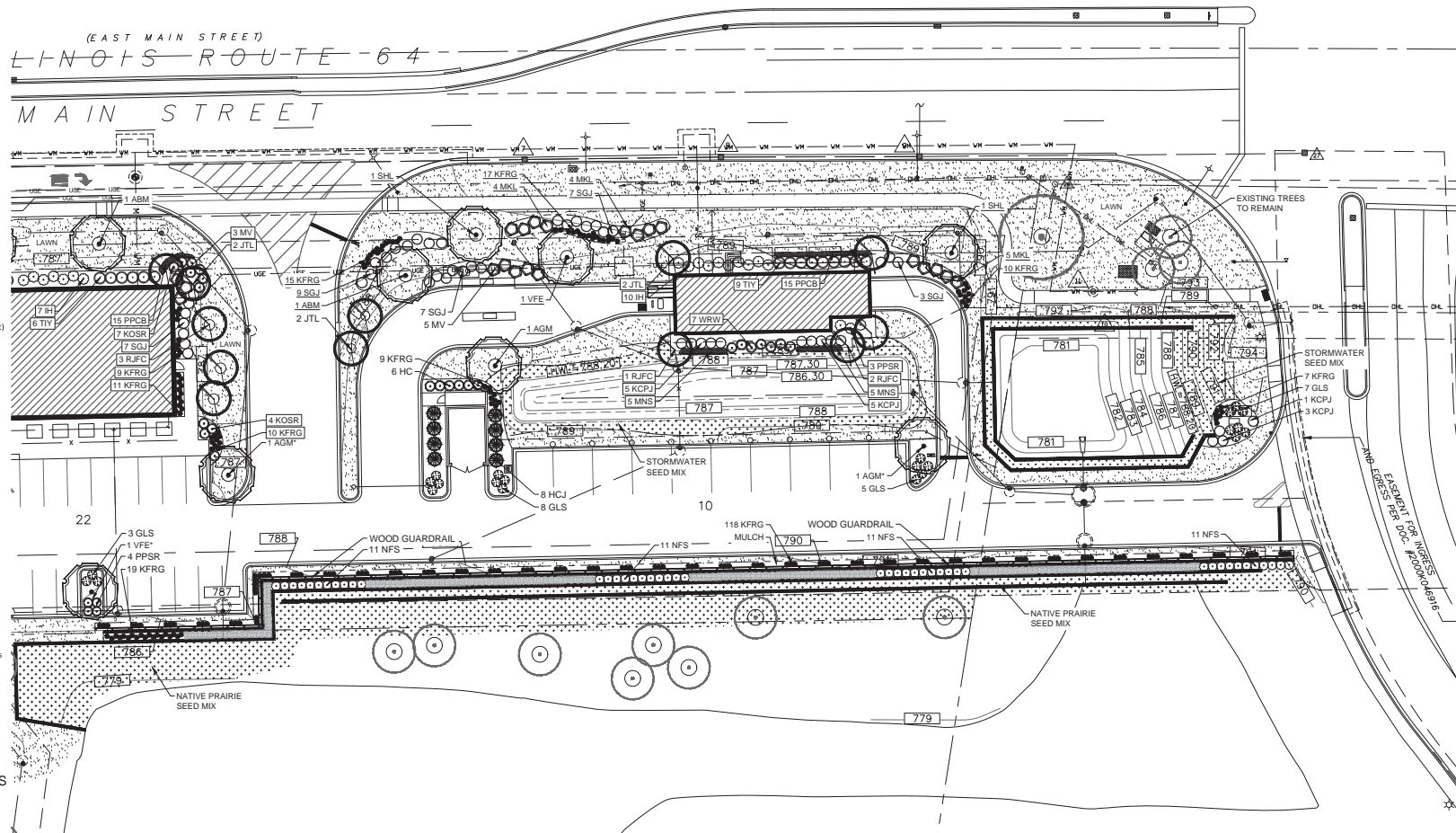
HERBACEOUS PERENNIALS

- BRD Rosy Returns Daylily
- PPCB Palace Purple Coralbells
- KKC Dwarf Catmint
- BES Black-eyed Susan
- MNS May Night Salvia

PLANT ABBREVIATIONS

- BUILDING FOUNDATION
- STREET FRONTAGE
- PARKING ISLAND TREE*

(EAST MAIN STREET)
ILLINOIS ROUTE 64
MAIN STREET



ENLARGED LANDSCAPE PLAN

Scale: 1" = 200'

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
dave@vdayheller.com
www.vdayheller.com

PROJECT

THE PRIDE OF KANE COUNTY

Southeast Corner of
Main St. & Kirk Rd.
St. Charles, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.3.19	ISSUE TO OWNER
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08.03.20	REVISED CIVIL

Information contained herein is based on survey information, field inspection, and believed to be accurate.
SHEET TITLE
ENLARGED LANDSCAPE PLAN

PROJECT MANAGER	WDH
PROJECT NUMBER	19-066
DATE	08.03.20
SHEET NUMBER	

L 1.2

- Contractor responsible for contacting JULIE - Utility Locators (811 or 800-892-0123) to have sites marked prior to excavation or planting.
 - Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
 - All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to specify, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No substitutions "B Grade" or "Tank Grade" plant material shall be accepted. Plant material shall originate from nurseries with a similar climate as the planting site.
 - Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
 - Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 7' of shrub plants by General Contractor (if grading operations/contractors). The Landscape Architect reserves the right to specify, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No substitutions "B Grade" or "Tank Grade" plant material shall be accepted. Plant material shall originate from nurseries with a similar climate as the planting site.
 - Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball. If needed, remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable turps and wire cage (if present) from the top 1/2 of the rootball and carefully band remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 1/2 of the ballup and remove the turps. Provide slow release fertilizer for each tree plant.
 - Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 1/2 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soil in the new planting. Each tree shall receive a 3" deep, 4:6:8 fertilizer (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
 - Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 1/2" mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and debris from plant beds prior to planting. When holes are 1/2 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" diameter of shrub at planting.
 - Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood mulch, and groundcover areas a 1/2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
 - Edging: All planting beds shall be edged with a 4" deep spa edge using a flat landscape spa or a mechanical edger. Bedlines are to be out crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Patch mulch against base of edging in lawn areas.
 - Plant bed preparation: All perennial, groundcover and annual areas (if applicable) are required to receive a layer of organic soil (Soil Amendments) amendments prior to installation. Remove all below materials at the following ratio, mix through soil beds or installed topsoil beds to a depth of approximately 8" - 10":
 - 1/2 CY Plant Moss or Mushroom Compost
 - 1/2 CY Composted Topsoil
 - 2 pounds starter fertilizer
 - 1/2 CY composted manure.
 - Lawn installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones 1/2" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (https://www.tpi.com/US/ASFA/standards). Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all waste applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.
 - Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #8 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly to the specified site, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Control materials are to be used in lawns and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor or his/her representative to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of finished, graded and compacted topsoil is required for all lawn areas. If more mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Mulch having containing red cedar grass is NOT acceptable as a mulch covering.
- An acceptable quality seed installation is defined as having:
- No bare spots larger than one (1) square foot.
 - No more than 10% of the total area with bare areas larger than one (1) square foot.
 - A uniform coverage through all turf areas.
- No More Seed Areas: No More! No future seed mix with annual ryegrass crop (available at Cedar Creek Seed Farm 888-313-6887 or Prairie Nursery 608-266-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 220 lbs per acre at site recommendation by supplier. Prepare seed bed and soil as specified in item #13 above.
 - Native Prairie Seed Mix: Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nursery 608-266-3679 or JF New 608-848-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.
 - Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are supplied by the Landscape Contractor to the Owner upon completion of the project.
 - The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, non-mow grass, and native prairie seed mix stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
 - Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or their Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and ensure that all specifications have been met.

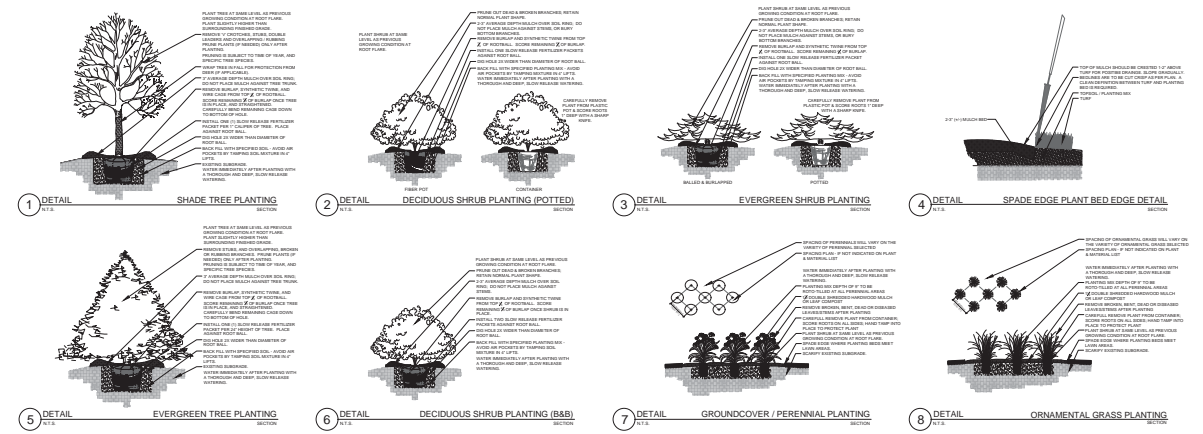
LANDSCAPE GENERAL NOTES

Botanical Name	Common Name	PLS Quants/Acres
Perennial Grasses:		
<i>Andropogon gerardii</i>	Big Bluestem	16.00
<i>Bouteloua curtipendula</i>	Side-Oats Gramma	1.00
<i>Carex bicknelli</i> / <i>Carex brevior</i>	Prairie Sedge Mix	1.00
<i>Flynum canadense</i>	Canada Wild Ryegrass	16.00
<i>Panicum virgatum</i>	Switch Grass	2.50
<i>Schizochyrium scoparium</i>	Little Bluestem	24.00
<i>Sorghastrum nutans</i>	Indian Grass	18.00
Total		95.50
Temporary Cover:		
<i>Avena sativa</i>	Common Oat	300.00
<i>Lolium multiflorum</i>	Annual Ryegrass	100.00
Total		400.00
Forbs:		
<i>Asclepias speciosa</i>	Common Milkweed	0.50
<i>Asclepias tuberosa</i>	Butterfly Milkweed	1.00
<i>Aster laevis</i>	Smooth Blue Aster	0.25
<i>Aster novae-angliae</i>	New England Aster	0.75
<i>Chamaecrista fasciculata</i>	Partridge Pea	12.00
<i>Centaurea jacobina</i>	Sand Centaury	5.00
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	2.50
<i>Helianthus scaberrimus</i>	False Sunflower	0.25
<i>Lupinus perennis</i>	Wild Lupine	0.50
<i>Monochoa fistulosa</i>	Wild Bergamot	0.25
<i>Pycnanthemum terrefolium</i>	Common Mountain Mint	0.50
<i>Rudbeckia hirta</i>	Yellow Coneflower	3.50
<i>Rudbeckia hirta</i>	Black Eyed Susan	1.00
Total		40.00

NATIVE PRAIRIE SEED MIX

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CALIPER/HEIGHT SIZE	ROOT	SPECIFICATION / NOTES	PLANT SPACING
Proposed Landscape Materials							
SHADE TREES (DECIDUOUS)							
ASH	4	Aster fraxinifolia 'Autumn Blaze'	Autumn Blaze Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting.	
PPH	2	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting.	
SHL	4	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting.	
AGM	3	Gringolobus 'Autumn Gold'	Autumn Gold Magnolia	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting.	
VTE	5	Ulmus americana 'Valley Forge'	Valley Forge American Elm	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting.	
ORNAMENTAL TREES (DECIDUOUS)							
RUF	6	Malus 'Jewelrite'	Red Jewel Flowering Crabapple	2.25"	B&B	Straight central leader, full and even crown. Prune only after planting.	
JTL	8	Syringa reticulata 'Honey Lily'	Honey Lily Japanese Tree Lilac	2.25"	B&B	Straight central leader, full and even crown. Prune only after planting.	
EVERGREEN TREES							
KEY	6	Juniperus chinensis 'Yetti' Columnar'	Yetti Columnar Juniper (upright)	5"	B&B	Evenly shaped tree with branching to the ground	42"
EVERGREEN SHRUBS							
SH	53	Juniperus chinensis 'Sea Green'	Sea Green Juniper	4"	Cont.	Full rounded well branched shrub	54"
KYF	28	Juniperus chinensis 'Skyline'	Kelly Compact Pyramidal Juniper	4"	Cont.	Full rounded well branched shrub	48"
TJ	23	Taxus media 'Taxus'	Taxus Intermediate Tree	2"	B&B	Full rounded well branched shrub	42"
SHRUBS							
KEY	3	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	42"	Cont.	Full, well rounded plant, evenly shaped	48"
CO	1	Cotoneaster acutifolia	Peeking Heights Cotoneaster	42"	B&B	Full, well rounded plant with nice rootball and healthy appearance	30-42"
HM	17	Hederaea arborescens 'Abetee'	Incorbell Red Hederaea	48"	Cont.	Full, well rounded plant, evenly shaped	48"
OS	45	Rhus aromatica 'Glow Low'	Glow Low Fragrant Sumac	48"	Cont.	Full, well rounded plant, evenly shaped	42"
KOSR	11	Rosa 'Knock Out'	Knock Out Rose	48"	Cont.	Full, well rounded plant, evenly shaped	42"
PPR	14	Rosa rugosa 'Pink Fragrance'	Pink Fragrance Rose	24"	Cont.	Full, well rounded plant, evenly shaped	42"
SP	11	Spiraea 'Alba'	Alba Spiraea	24"	Cont.	Full, well rounded plant, evenly shaped	42"
ML	11	Malva 'Mia'	Mia Elm Dwarf Lilac	24"	Cont.	Full, well rounded plant, evenly shaped	42"
MO	11	Moronea 'Mona Lisa'	Mona Lisa Yucca	24"	B&B	Full, well rounded plant with nice rootball and healthy appearance	48"
WV	7	Wrightia 'Florida White & Rose'	Wrightia Florida White & Rose	24"	Cont.	Full, well rounded plant, evenly shaped	42"
ORNAMENTAL GRASSES							
KEY	10	Chamaecrista acutifolia 'Karl Foerster'	Karl Foerster Feather Reed Grass	41"	Cont.	Full, well rounded plant	15-18"
PERENNIALS							
RE	7	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	41"	Cont.	Full, well rounded plant, evenly shaped	18"
PPB	30	Hemerocallis 'Palace Purple'	Palace Purple Corbellis	41"	Cont.	Full, well rounded plant, evenly shaped	18"
KCC	14	Heuchera 'Kiss Me'	Heuchera Kiss Me	41"	Cont.	Full, well rounded plant, evenly shaped	18"
BE	9	Berberis 'Ligularis Goldflame'	Black-eyed Susan	41"	Cont.	Full, well rounded plant, evenly shaped	18"
NKS	50	Salvia 'Savanna May Night'	May Night Salvia	41"	Cont.	Full, well rounded plant, evenly shaped	18"
PLANTING & HARDSCAPE DETAILS							
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CONTAINER SIZE	SPECIFICATION / NOTES	PLANT SPACING	
DECIDUOUS SHRUB PLANTING (POTTED)							
LAWN	3875	Lawn Establishment Area / Grading Area		5Y	Reider's Deluxe 50 Seed Mix (800-785-3303)		
	4490	Erosion Matting for sloped seeded areas	see plan for area delineation	5Y	EnTee 1975 Erosion Control Blanket (or approved equiv)		
	30	Stormwater Seed Mix	see plan for area delineation	5Y	Cardinal/Flow Stormwater Seed Mix		
	775	Native Prairie Seed Mix	see plan for area delineation	5Y	Cardinal/Flow Native Prairie Seed Mix		
Shrub Materials							
	01	Shredded Hardwood Mulch (2" depth)	Area: 10,802 SF	CY	Bark Mulch, apply Pre-emergent after installation of mulch		
	07	Soil Amendments (2" depth)	Area: 10,802 SF	CY			
	07	Pulverized Topsoil (2" depth)	Area: 42,262 SF	CY			
	07	Pulverized Topsoil (2" over bed areas)	Area: 10,802 SF	CY			
Seed Compositions:							
		Reider's Deluxe 50 Seed Mix (800-785-3303)	15% Quebec Perennial Ryegrass		Seed at rate of 150-200 lb per acre		
			20% Kentucky Bluegrass (Sod Quality)				
			15% New Jersey Kentucky Bluegrass				
			15% Kentucky Bluegrass				
			20% Creeping Red Fescue				

PLANT & MATERIAL SCHEDULE



PLANTING & HARDSCAPE DETAILS

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE

P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
dave@heller.com
www.heller.com

CIMA DEVELOPERS

THE PRIDE OF KANE COUNTY

Southeast Corner of
Main St. & Kirk Rd.
St. Charles, IL

ISSUANCE AND REVISIONS

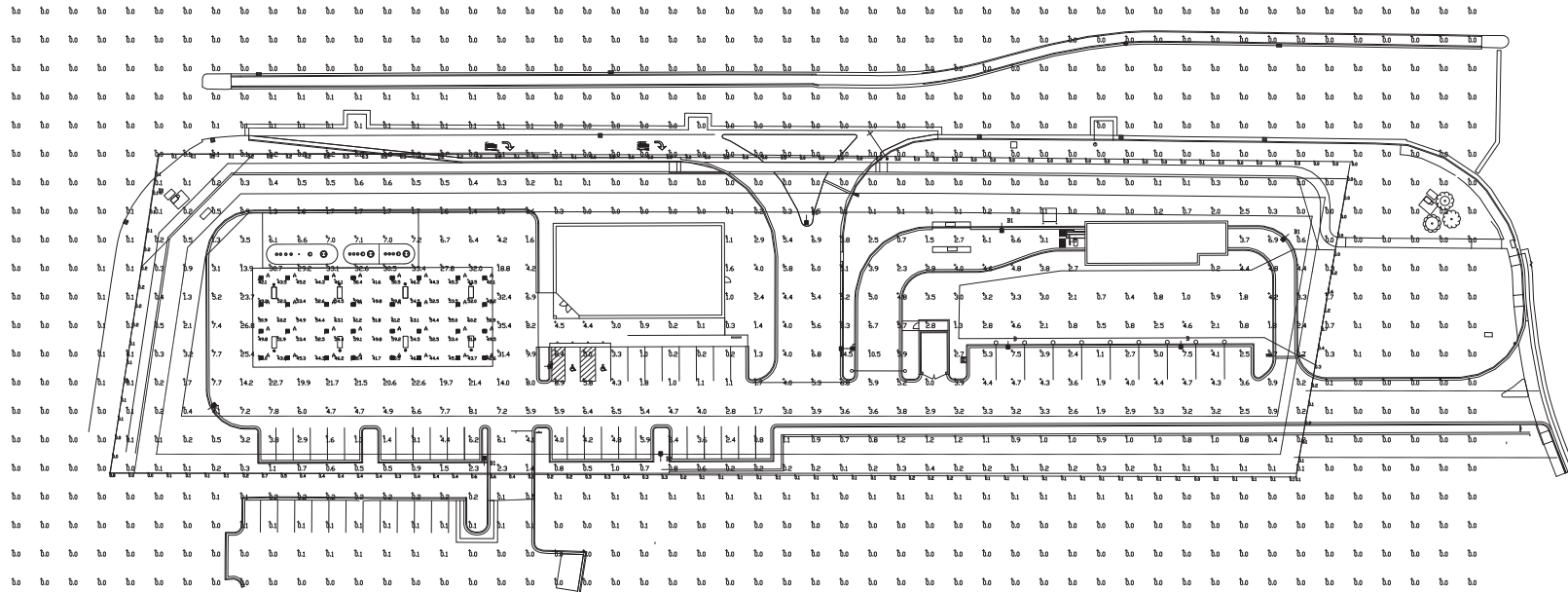
DATE	DESCRIPTION
10.3.19	ISSUE TO OWNER
10.25.19	REVISIONS
03.03.20	REVISIONS
05.15.20	CITY COMMENTS
05.20.20	CITY COMMENTS
05.28.20	REV. MONUMENT SIGN
06.22.20	REVISED CIVIL
07.21.20	REVISED CIVIL
08.03.20	REVISED CIVIL

Information contained herein is based on current information, field inspection, and believed to be accurate.

SHEET TITLE
LANDSCAPE
DETAILS, NOTES,
& SCHEDULES

PROJECT MANAGER	WDH
PROJECT NUMBER	19-066
DATE	08.03.20
SHEET NUMBER	

L 1.3



Luminaire Schedule											
Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts		
	32	A	SINGLE	SCV-LED-18L-SC-50 MTD @ 15'	1000	1000	1000	15410	103		
	3	B	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-SINGLE-16'PDLE*2'BASE	1000	1000	1000	19664	148.5		
	6	BI	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-IL-SINGLE-16'PDLE*2'BASE	1000	1000	1000	12568	148.5		
	1	C	DI80	SLM-LED-18L-SIL-FT-50-70CRI-DI80-16'PDLE*2'BASE	1000	1000	1000	39328	297		

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL_CALC_POINTS	Illuminance	Fc	1.52	35.4	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	50.74	631	41.6	1.22	1.52
EAST_PROPERTY_LINE	Illuminance	Fc	0.31	1.6	0.0	N.A.	N.A.
NORTH_PROPERTY_LINE	Illuminance	Fc	0.07	0.3	0.0	N.A.	N.A.
SOUTH_PROPERTY_LINE	Illuminance	Fc	0.20	0.7	0.0	N.A.	N.A.
WEST_PROPERTY_LINE	Illuminance	Fc	0.11	0.2	0.0	N.A.	N.A.
INSIDE_CURB	Illuminance	Fc	7.21	35.4	0.0	N.A.	N.A.



[Click image to open Product Page](#)

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in luminaire LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature notes does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

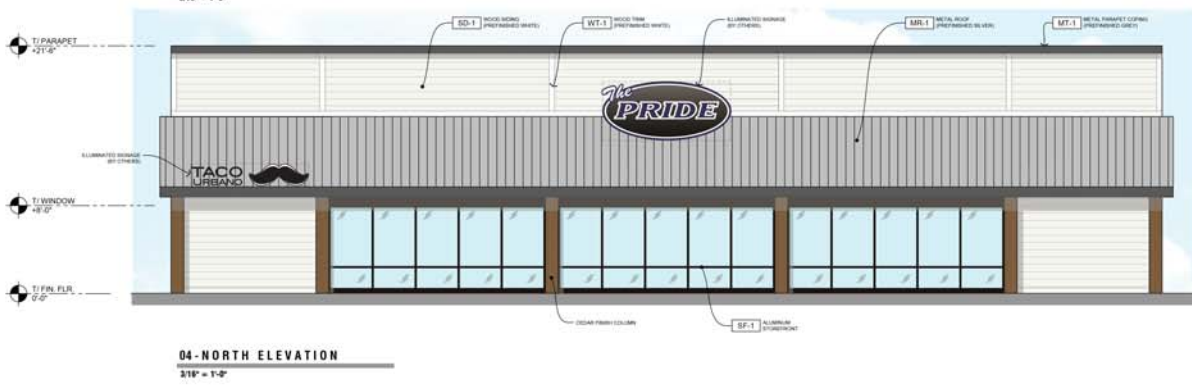
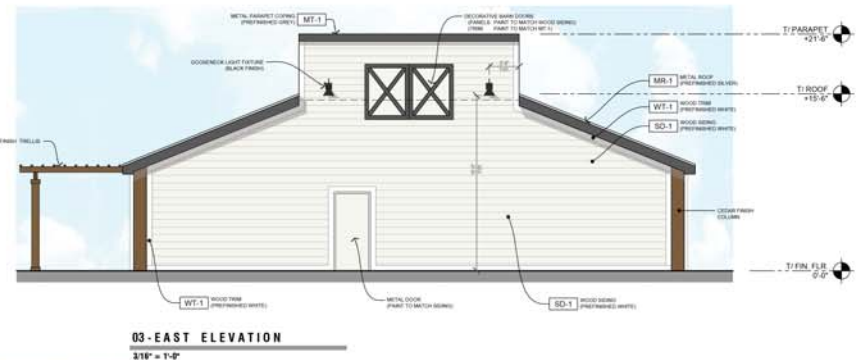
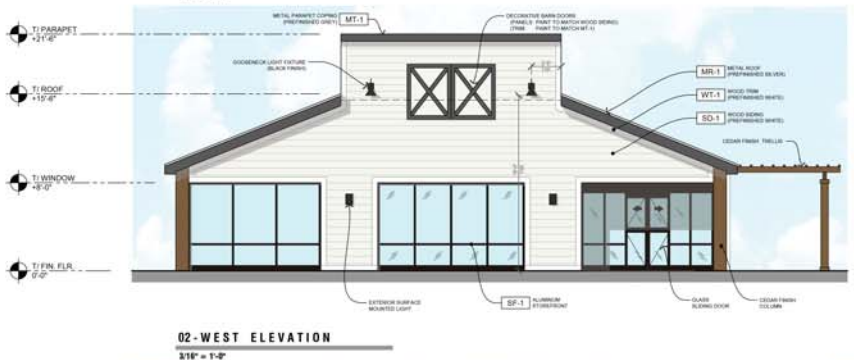
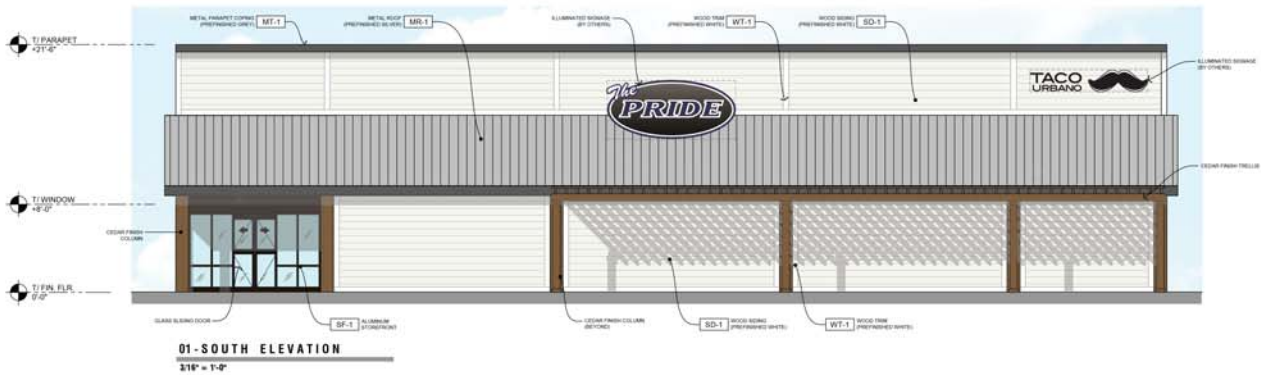
Total Project Watts
Total Watts = 49295

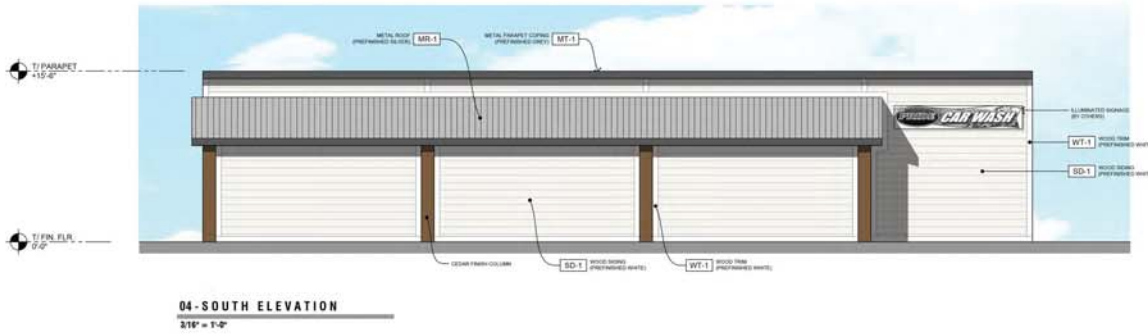
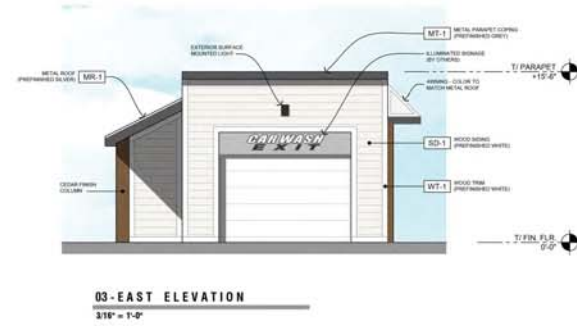
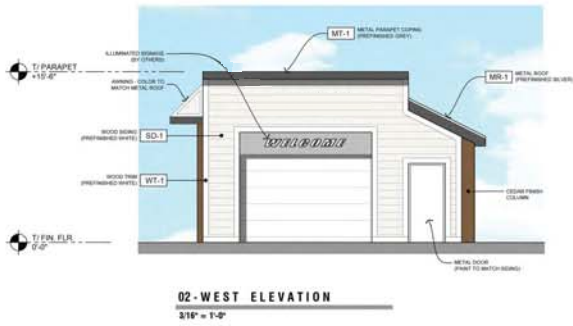
LIGHTING PROPOSAL LD-148828-3

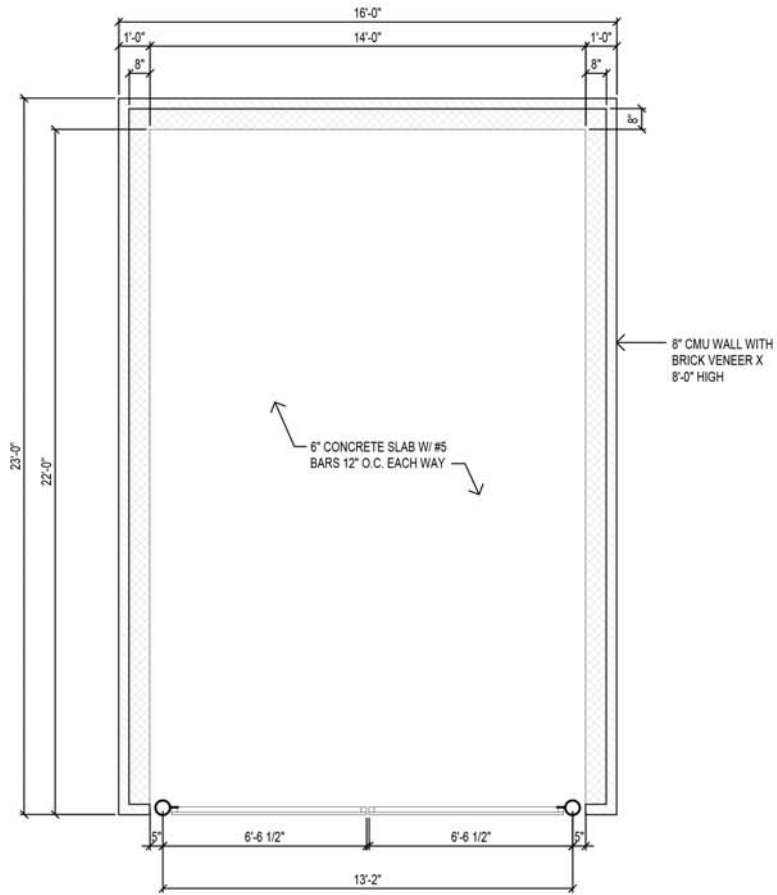
PROJECT: KERK ROAD & IL RTE 64
ST CHARLES, IL

DATE: 01/28/24 REV: 08-20 SHEET 1 OF 1

SCALE: 1"=30' 0 30

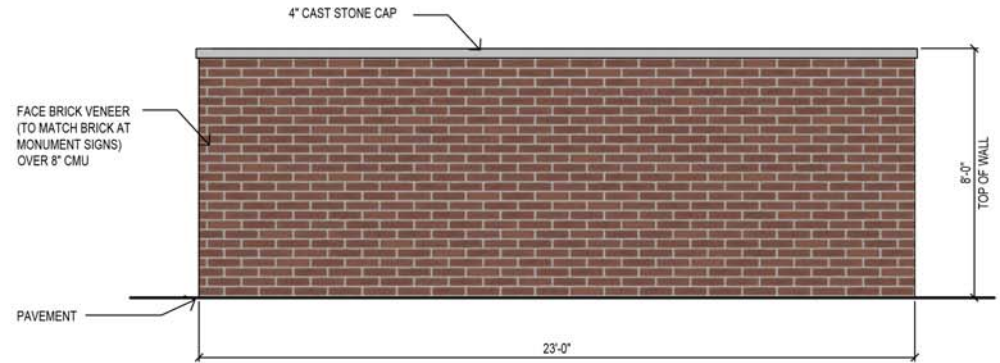






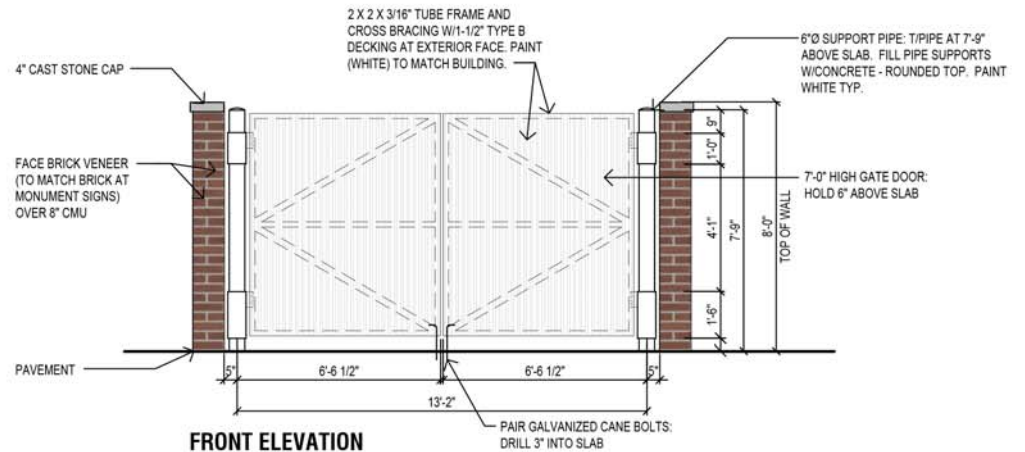
DUMPSTER PLAN

SCALE: 1/4" = 1'-0"



TYPICAL ELEVATION

SCALE: 1/4" = 1'-0"



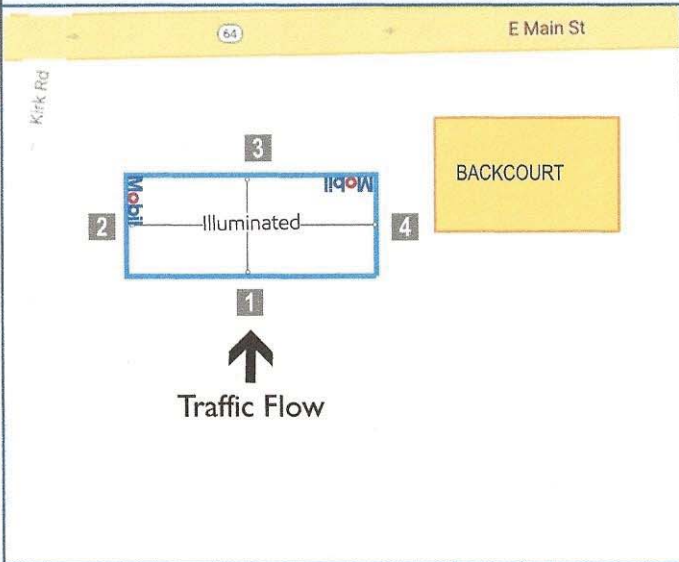
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

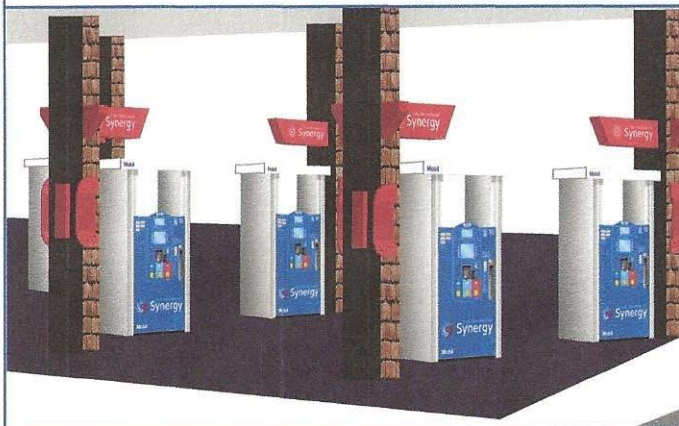


B SITE CONFIGURATIONS

Canopy fascia artwork for visualization purposes only

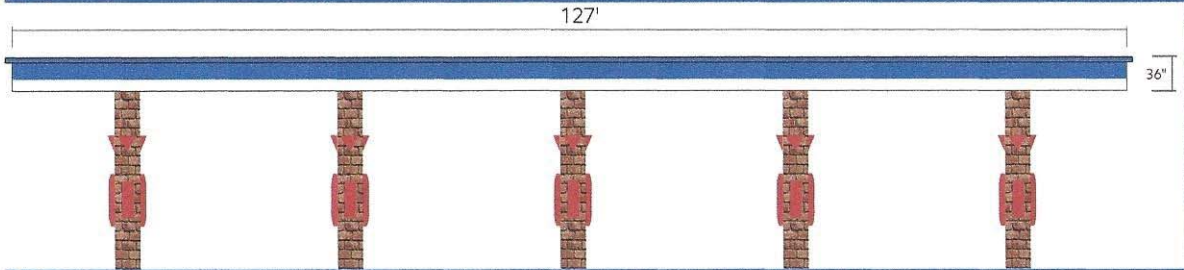


Overhead Map

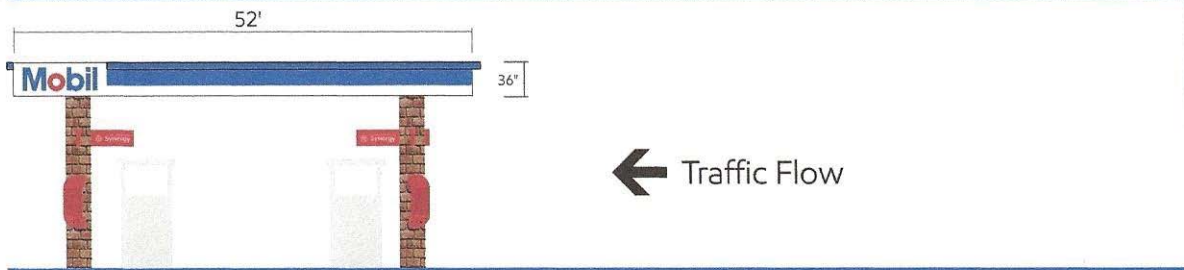


Canopy Perspective

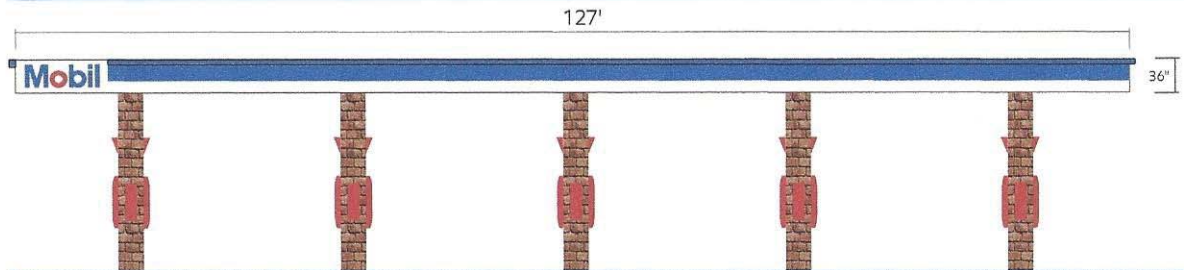
1 | BACK ELEVATION



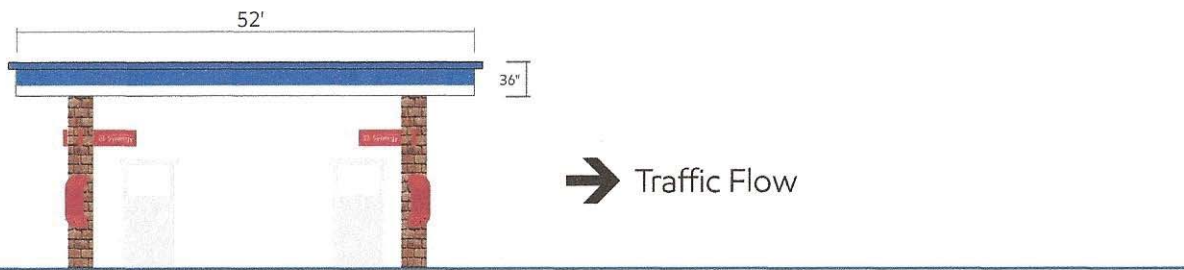
2 | RIGHT ELEVATION



3 | FRONT ELEVATION



4 | LEFT ELEVATION



Project Name

PBL #

Customer

Created by

ExxonMobil

-

ExxonMobil

B.Dighero

Brand Book
Site Image Materials Maintenance

Revision #

Date

Scale

Page #

R3

06_18_2020

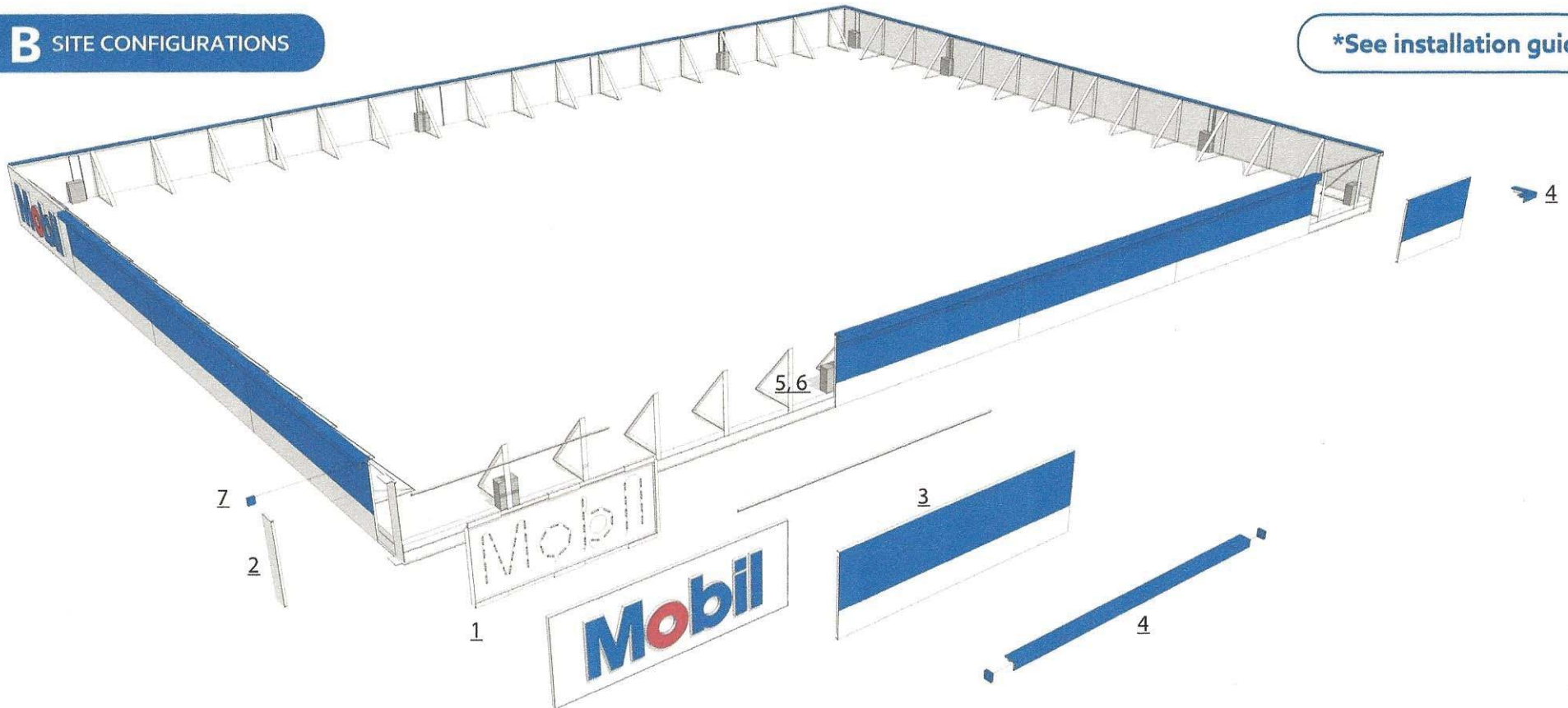
NA

4 OF 13

2 Northfield Plaza, Ste 250
Northfield, IL 60093
P. (847) 441-1818 F. (847) 592-9564

B SITE CONFIGURATIONS

*See installation guide



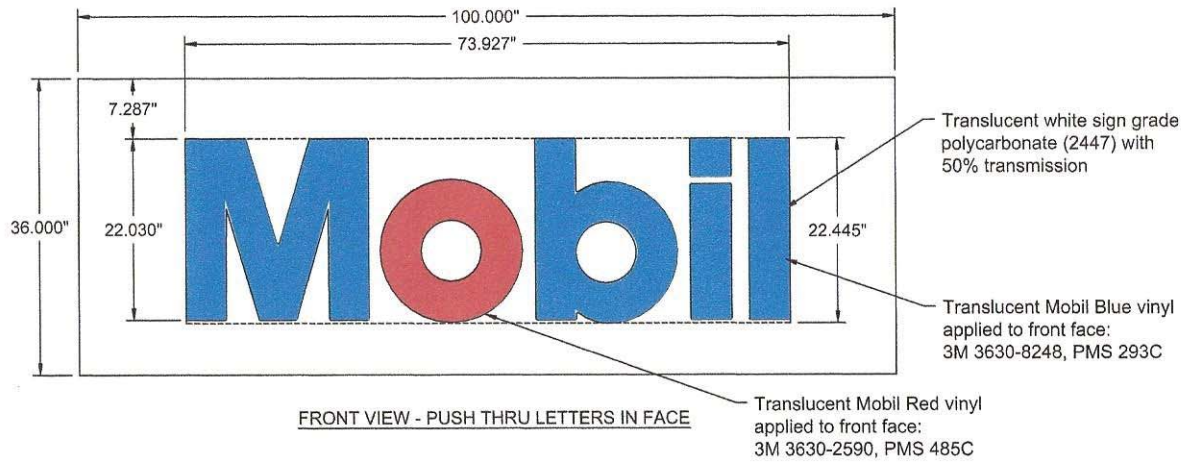
- Step 1. Begin with installing any logos (left or right Exxon or Mobil): back skin, side return, LED tray, power supplies and face.
- Step 2. Install logo corner panels on either side of the logo and the ends of each run.
- Step 3. Install mounting brackets and 120" ACM panels, cutting one panel per side to fit.
- Step 4. Install LED corners first, then install 118" LED downlight starting with ACM panel next to the logo. Install short downlight, cut to length or overlap as required on each side for site conditions.
- Step 5. Install (1) power supplies every other panel and connect to LEDs. Each corner downlight comes with their own power supply.
- Step 6. Install junction box power circuits every 200 feet for each side as required by site layout. Electrician to connect to 120VAC.
- Step 7. Install end caps.

Project Name	PBL #	Customer	Created by	Brand Book Site Image Materials Maintenance 2 Northfield Plaza, Ste. 250 Northfield, IL 60093 P: (847) 441-1818 F: (847) 592-9564
ExxonMobil	-	ExxonMobil	B.Dighero	
Revision #	Date	Scale	Page #	
R2	05/ 26/ 2020	NA	9 OF 16	

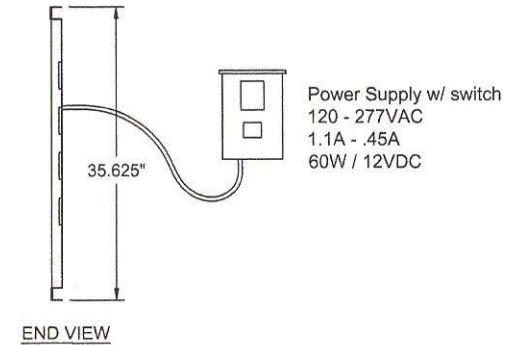
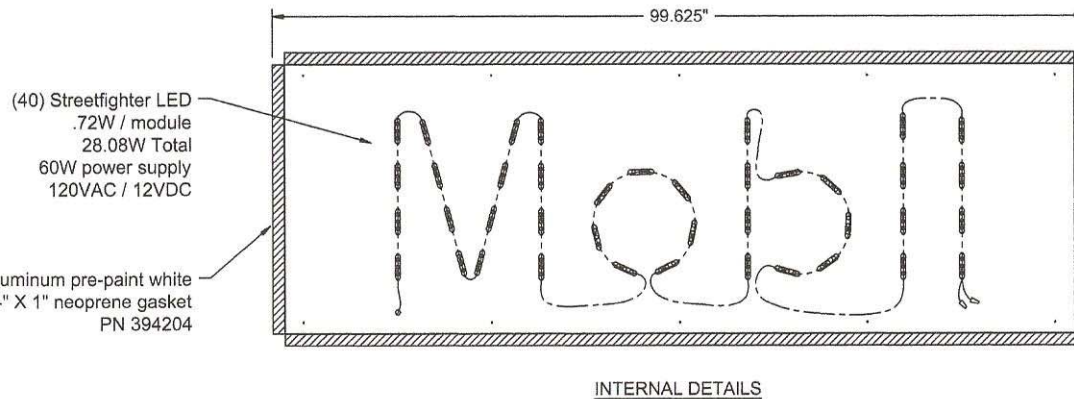
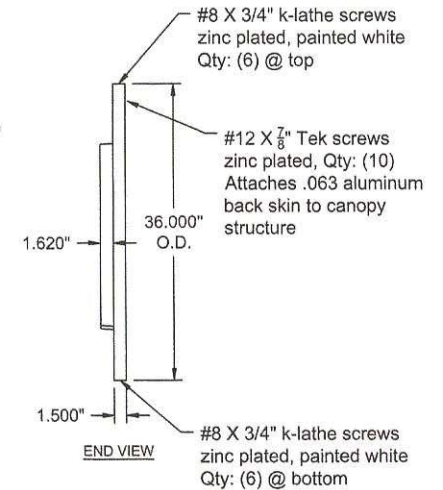
B SITE CONFIGURATIONS

***See installation guide**

SINGLE LETTER SPECS:
 "M" = 2.88 sq ft
 "o" = 1.44 sq ft
 "b" = 1.83 sq ft
 "i" = .80 sq ft
 "l" = .83 sq ft
 TOTAL = 7.78 sq ft
LETTER SPECS:
 22.445" X 73.927" = 11.5 SF
SIGN SPECS:
 36" X 100" = 25 SF
UL NUMBER:
 E84811



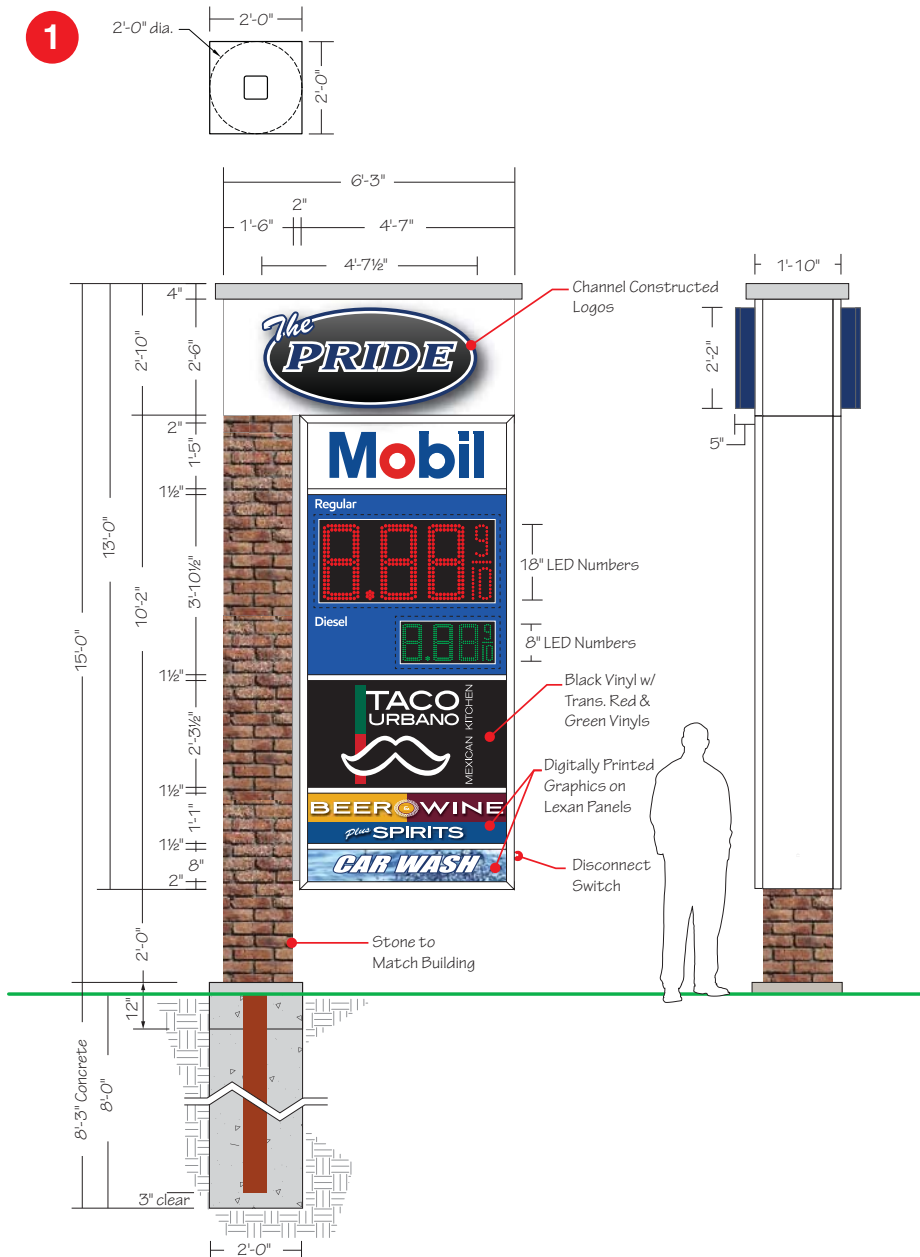
Appx weight of sign = 75lbs



NIGHT VIEW

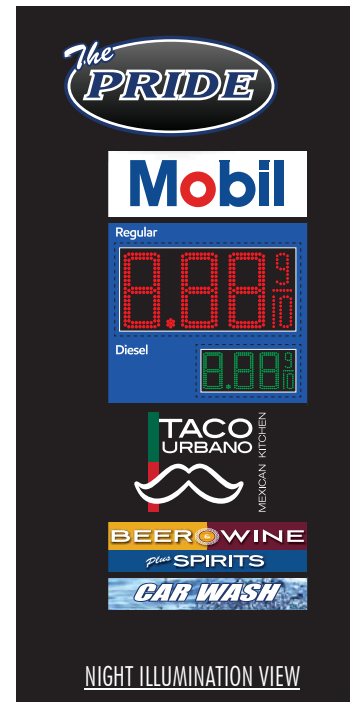
Project Name	PBL #	Customer	Created by	Brand Book Site Image Materials Maintenance 2 Northfield Plaza, Ste 250 Northfield, IL 60093 P: (847) 441-1818 F: (847) 592-9564
ExxonMobil	-	ExxonMobil	B.Dighero	
Revision #	Date	Scale	Page #	
R2	05/ 26/ 2020	NA	8 OF 16	

1



(1) 13'-0" x 6'-3" Double Face Illuminated Flag Mounted Sign - 81.25 SF

- Cabinet:** Fabricated Aluminum Painted White - Satin Finish
- Pride Logos:** 5" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Mobile Logos:** 3M 3630-97 Bristol Blue & 143 Poppy Red Translucent Vinyls
- Pricer Panel:** 3M 3630-97 Bristol Blue Translucent Vinyl - Copy Reversed Out White
- Pricer Units: 16" LED & 12" LED
- Tenant Panels:** White Polycarbonate
- "Taco Urbano" Graphics:** 3M 7725-12 Black / 3630-76 Holly Green / 3630-33 Red Vinyls
- "Beer Wine Liquor" & Car Wash Panels:** White Polycarbonate w/ Digitally Printed Graphics
- Illumination:** White LEDs
- Power:** (2) 20Amp @ 120Volts Electrical Circuits Run to Site by Others
- Column:** CMU Block w/ Brick to Match Building
- Mounting:** (1) HSS 6" x 6" x 3/8" ASTM A-500 Gr. B with
(3) 4" x 4" x 3/16" ASTM A-500 Gr. B Steel Mounting Plates
- (1) 2'-0" dia. x 8'-0" deep Concrete Foundation w/
2'-0" W x 2'-0" L x 12" D Square Concrete Pad for Masonry



Parvin-Clauss
SIGN COMPANY

Design • Fabrication • Installation • Maintenance
165 Tubeway Drive • Carol Stream • Illinois 60188
Tel/630-510-2020 • Fax/630-510-2074
e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/8" = 1'

SHEET NO.

1 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

- 1 11.04.19 - center sundry cab.
- 2 5.18.20 - new layout
- 3 5.19.20 - size adjustments
- 4 5.26.20 - Taco Urbano Logo
- 5 6.19.20
- 6
- 7
- 8

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

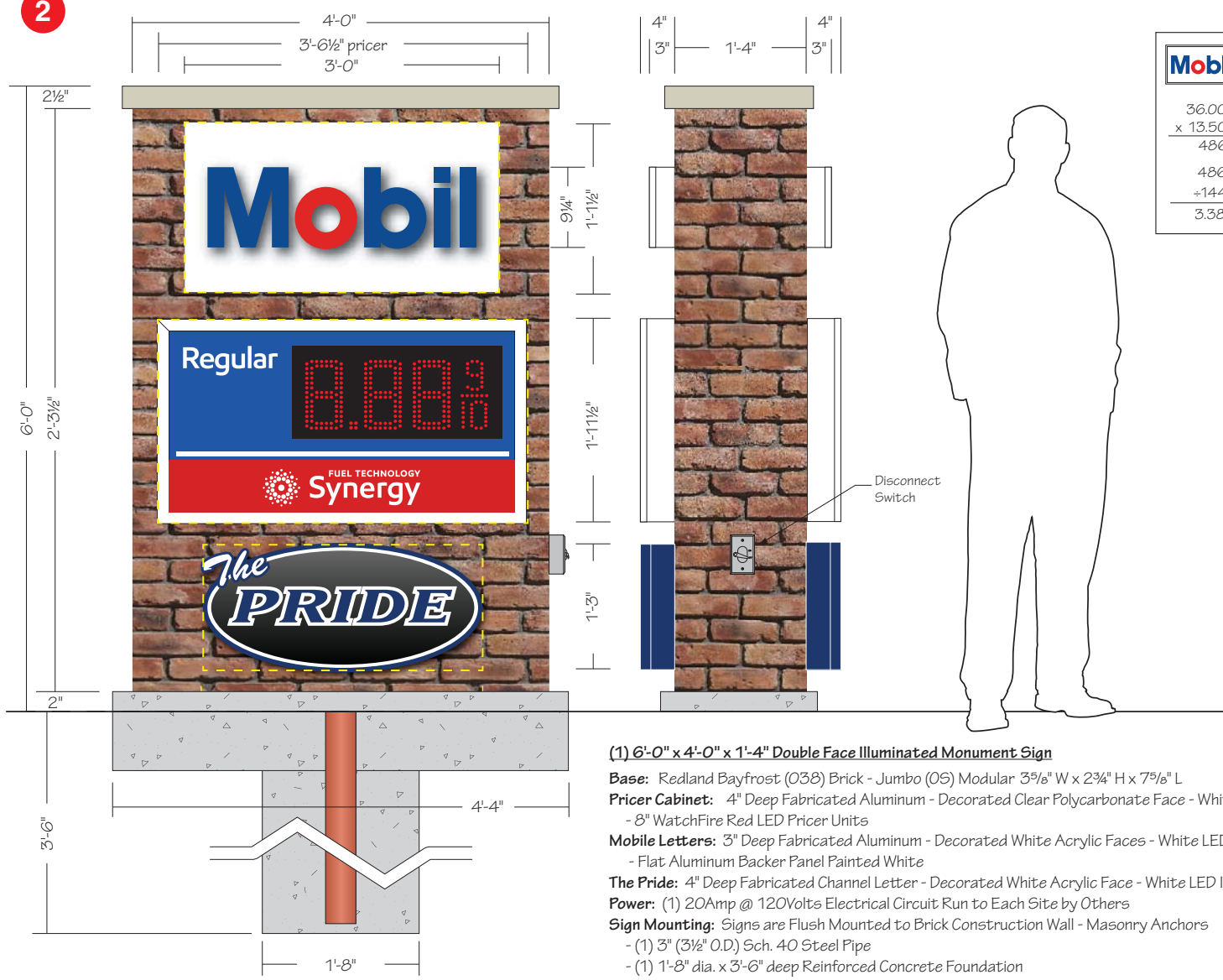


This sign is built to UL Standards for operation in North America.

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2



36.00" x 13.50" 486"
486" +144" 3.38 SF

42.50" x 23.50" 998.75"
998.75" + 144" 7 SF

32.50" x 15.00" 487.50"
487.50" +144.00" 3.38 SF

3.38 SF 7.00 SF + 3.38 SF 13.76 SF
Signs

72.00" x 48.00" 3456"
3456" +144" 24 SF
Base

(1) 6'-0" x 4'-0" x 1'-4" Double Face Illuminated Monument Sign

- Base:** Redland Bayfrost (038) Brick - Jumbo (05) Modular 3⁵/₈" W x 2³/₄" H x 7⁵/₈" L
- Pricer Cabinet:** 4" Deep Fabricated Aluminum - Decorated Clear Polycarbonate Face - White LED Illumination
- 8" WatchFire Red LED Pricer Units
- Mobile Letters:** 3" Deep Fabricated Aluminum - Decorated White Acrylic Faces - White LED Illumination
- Flat Aluminum Backer Panel Painted White
- The Pride:** 4" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Power:** (1) 20Amp @ 120Volts Electrical Circuit Run to Each Site by Others
- Sign Mounting:** Signs are Flush Mounted to Brick Construction Wall - Masonry Anchors
 - (1) 3" (3¹/₂" O.D.) Sch. 40 Steel Pipe
 - (1) 1'-8" dia. x 3'-6" deep Reinforced Concrete Foundation
 - (1) 8" D x 4'-4" L x 1'-8" W Reinforced Concrete Pad for Masonry

Parvin-Clauss
SIGN COMPANY

Design • Fabrication • Installation • Maintenance
165TubewayDrive • CarolStream • Illinois 60188
Tel/630-510-2020 • Fax/630-510-2074
e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1" = 1'

SHEET NO.

2 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

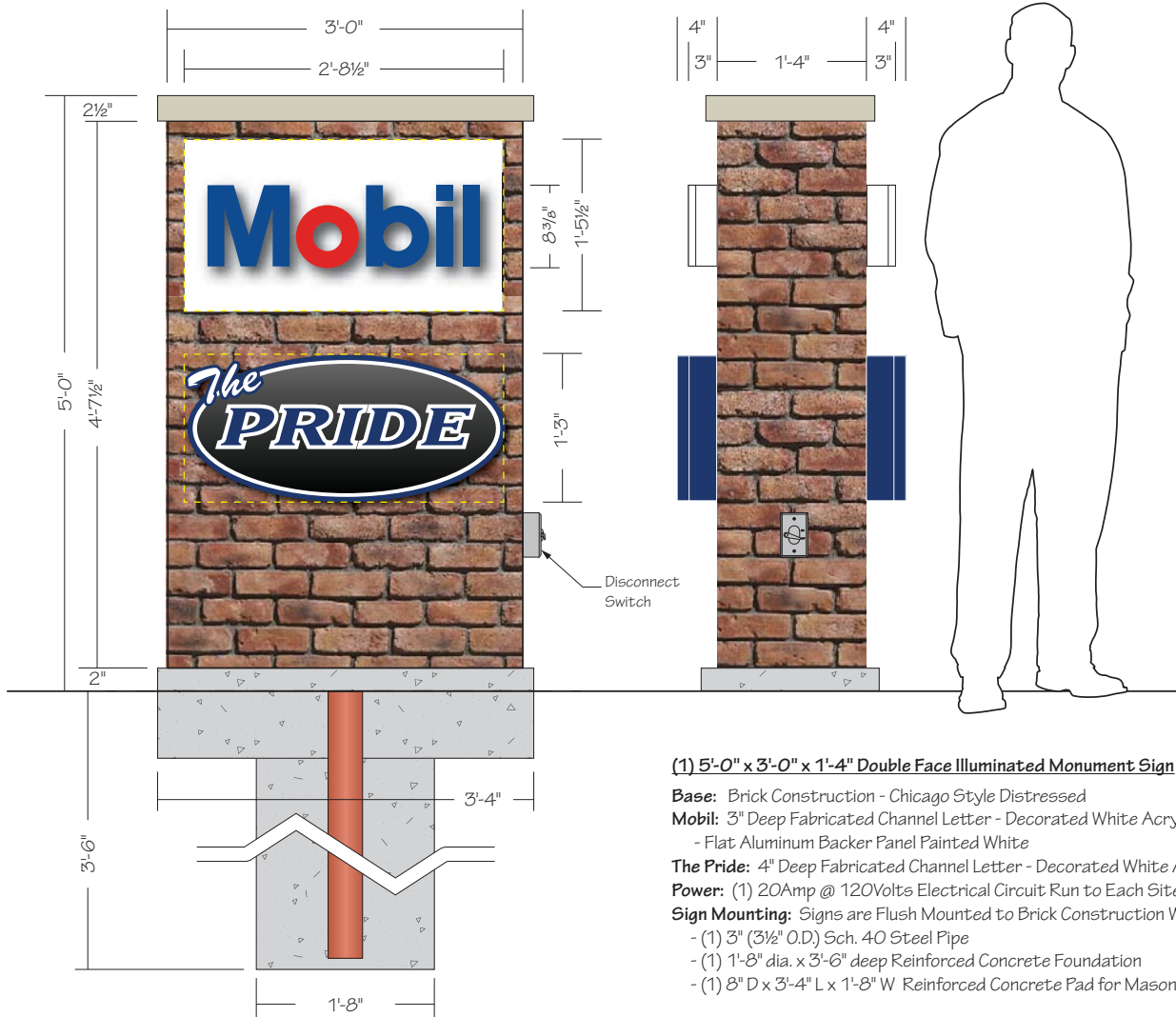
- 11.04.19 - all cabs. on brick area
- 5.18.20
- 5.19.20
- 5.26.20 - Mobil letters / cab. depth
- 6.19.20
-
-
-

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

This sign is built to UL Standards for operation in North America.


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(1) 5'-0" x 3'-0" x 1'-4" Double Face Illuminated Monument Sign

- Base:** Brick Construction - Chicago Style Distressed
- Mobil:** 3" Deep Fabricated Channel Letter - Decorated White Acrylic Faces - White LED Illumination
- Flat Aluminum Backer Panel Painted White
- The Pride:** 4" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Power:** (1) 20Amp @ 120Volts Electrical Circuit Run to Each Site by Others
- Sign Mounting:** Signs are Flush Mounted to Brick Construction Wall - Masonry Anchors
 - (1) 3" (3 1/2" O.D.) Sch. 40 Steel Pipe
 - (1) 1'-8" dia. x 3'-6" deep Reinforced Concrete Foundation
 - (1) 8" D x 3'-4" L x 1'-8" W Reinforced Concrete Pad for Masonry

$\begin{array}{r} 32.50'' \\ \times 17.50'' \\ \hline 568.75'' \\ +144'' \\ \hline 4\text{ SF} \end{array}$	 $\begin{array}{r} 32.50'' \\ \times 15.00'' \\ \hline 487.50'' \\ +144'' \\ \hline 3.38\text{ SF} \end{array}$
---	--

$\begin{array}{r} 4.00\text{ SF} \\ + 3.38\text{ SF} \\ \hline 7.38\text{ SF} \end{array}$ <p>Signs</p>	$\begin{array}{r} 60'' \\ \times 36'' \\ \hline 2160'' \\ + 144'' \\ \hline 15\text{ SF} \end{array}$ <p>Base</p>
---	---

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e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE
House / RM / KZ

DRAWN BY
Bill Marlow

DATE
10.23.19

SCALE
1" = 1'

SHEET NO.
3 of 12

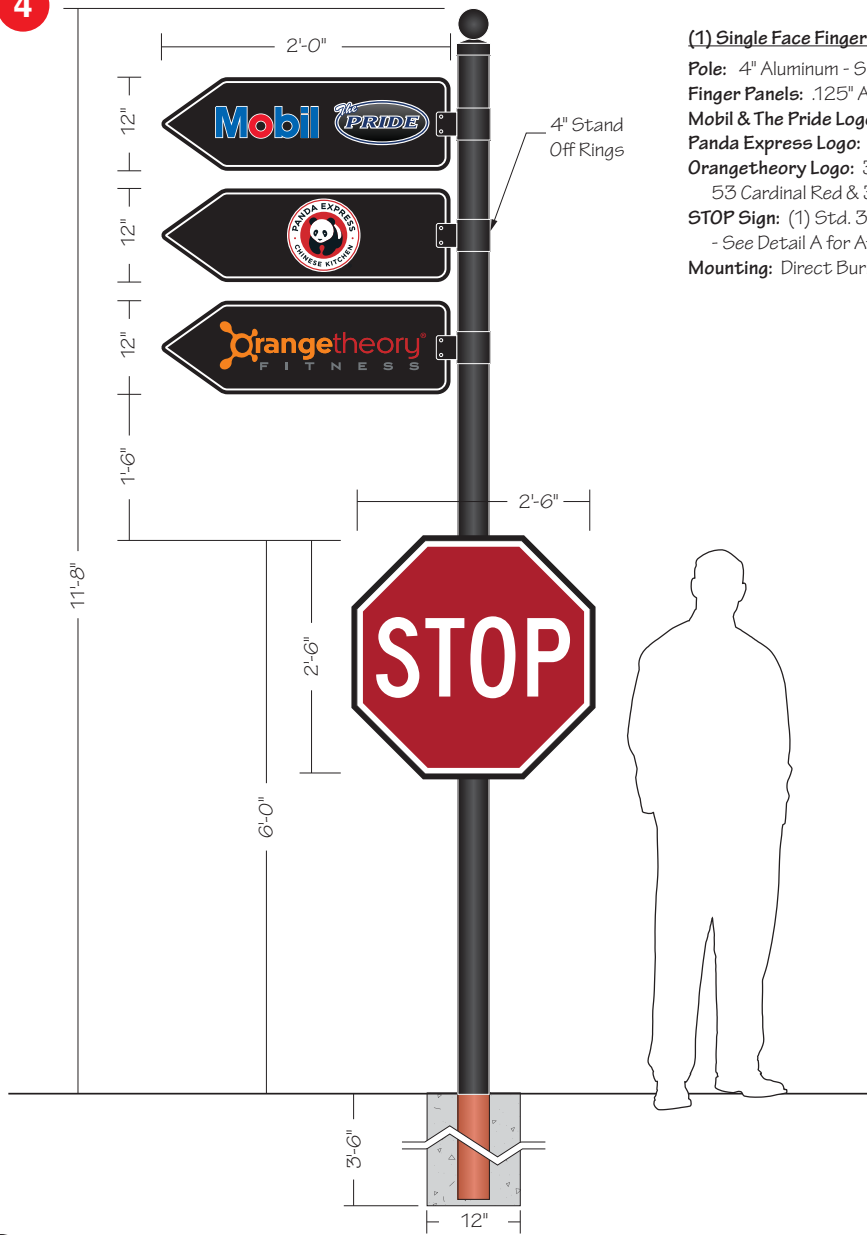
WORK ORDER
82989

FILE NAME
PRD82989

REVISIONS:

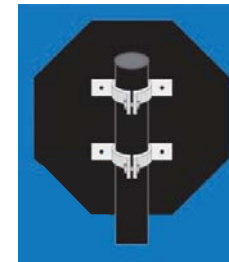
- 1 11.04.19
- 2 5.18.20
- 3 5.19.20
- 4 5.26.20 - Mobil letters / cab. depth
- 5 6.19.20
- 6
- 7
- 8

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



(1) Single Face Fingerpost Directional Sign

Pole: 4" Aluminum - Smooth - Painted Black - Ball Cap
Finger Panels: .125" Aluminum Painted Black w/ Reflective White Vinyl In-line Border
Mobil & The Pride Logos: Digitally Printed on White Vinyl Applied
Panda Express Logo: Digitally Printed on White Vinyl Applied
Orangetheory Logo: 3M 7725-14 Bright Orange, 53 Cardinal Red & 31 Medium Gray Vinyls Applied
STOP Sign: (1) Std. 30" x 30" Applied to .125" thick Black Aluminum Backer Panel
 - See Detail A for Attachment Hardware
Mounting: Direct Burial in 1'-0" dia. x 3'-6" deep Concrete Foundation



DETAIL A - Post Brackets



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REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/4" = 1'

SHEET NO.

4 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20
6	
7	
8	

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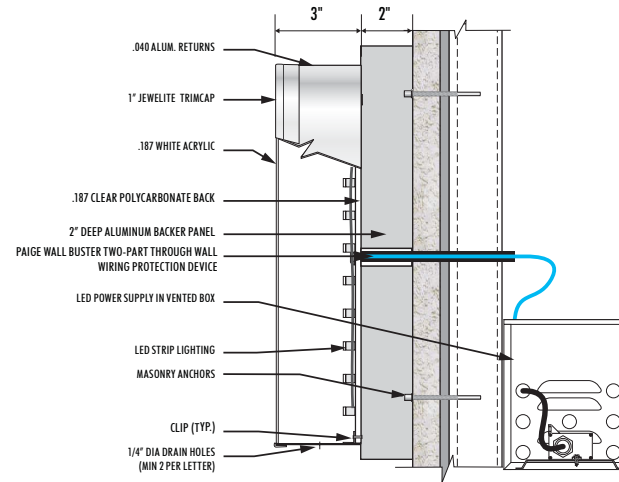
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5



(1) 5'-4 5/8" x 11'-8 1/2" x 2" Deep SF Wall Sign w/ Illuminated Channel Letters

- Panel:** 2" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish
- Faces:** .125" Aluminum Painted PMS 288 Blue
- Inline Strip:** 3M 7725-10 White Vinyl
- Black/Grey Gradient:** Digitally Printed on Orajet 3751 RA White Vinyl Applied to Face
- Letters & White In-line:** Fabricated 3" Deep Channel Letters
- "The" Returns:** .040" Aluminum Painted PMS 288 Blue- 1" White Trimcap
- "PRIDE" & In-line Returns:** .040" Pre-finished White Aluminum - 1" White Trimcap
- Faces:** 732B White Acrylic w/ Avery UC 900-684T PMS 288 Blue Translucent Vinyl Applied to Faces
- Illumination:** White LEDs with Remote 60Watt Power Supplies
- Power:** Use Existing at Site
- Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



3" DEEP U/L APPROVED LED-ILLUMINATED CHANNEL LETTER - WIREWAY MOUNT



01-SOUTH ELEVATION

Scale: 1/8" = 1'-0"

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St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1/2" = 1'

SHEET NO.

5 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

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6



(1) 5'-4 5/8" x 11'-8 1/2" x 2" Deep SF Wall Sign w/ Illuminated Channel Letters

Panel: 2" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish

Faces: .125" Aluminum Painted PMS 288 Blue

Inline Strip: 3M 7725-10 White Vinyl

Black/Grey Gradient: Digitally Printed on Orajet 3751 RA White Vinyl Applied to Face

Letters & White In-line: Fabricated 3" Deep Channel Letters

"The" Returns: .040" Aluminum Painted PMS 288 Blue- 1" White Trimcap

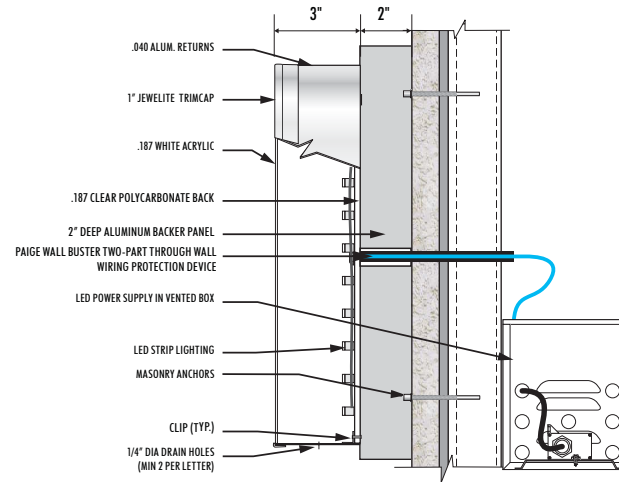
"PRIDE" & In-line Returns: .040" Pre-finished White Aluminum - 1" White Trimcap

Faces: 7328 White Acrylic w/ Avery UC 900-684T PMS 288 Blue Translucent Vinyl Applied to Faces

Illumination: White LEDs with Remote 60Watt Power Supplies

Power: Use Existing at Site

Mounting: Flush to Building with Anchors Appropriate for Wall Construction



3" DEEP U/L APPROVED LED-ILLUMINATED CHANNEL LETTER - WIREWAY MOUNT



04 - NORTH ELEVATION

Scale: 1/8" = 1'-0"

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PROJECT:



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St. Charles, IL

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1/2" = 1'

SHEET NO.

6 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

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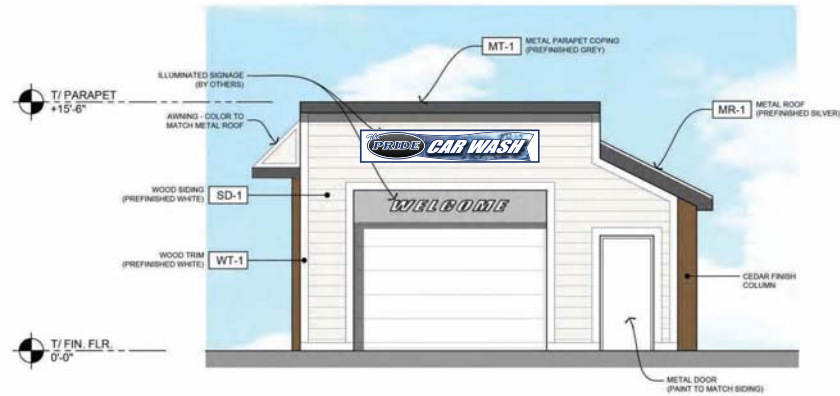
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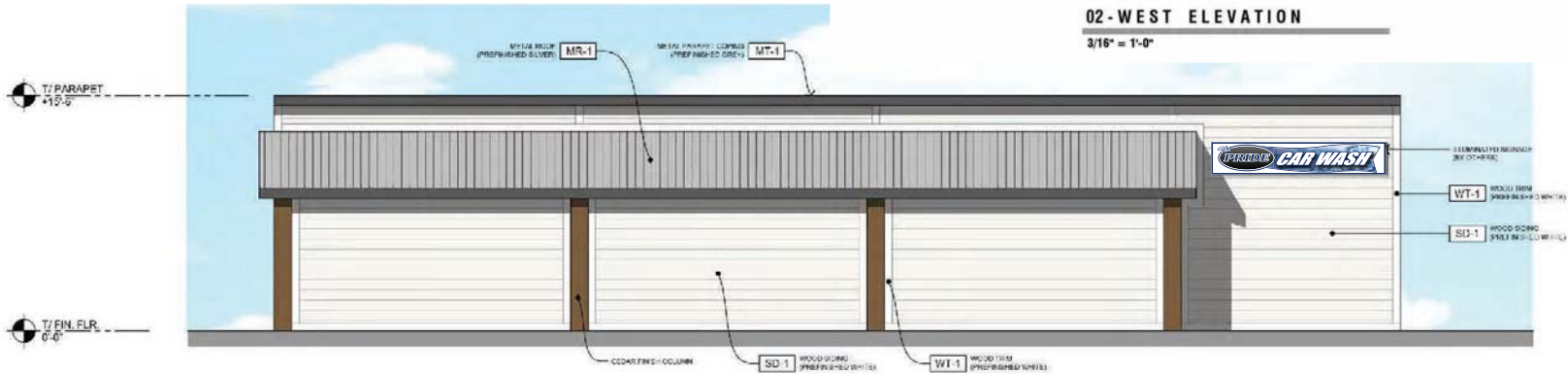


(2) 2'-1 1/2" x 11'-6" x 5" Deep SF Wall Sign

- Cabinet:** 5" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish
- Faces:** 3/16" White Polycarbonate
- Graphics:** Digitally Printed on Translucent White Vinyl
- Illumination:** White LEDs with 12V GOW 120/277V Power Supplies
- Power:** Use Existing at Site
- Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



02 - WEST ELEVATION
3/16" = 1'-0"



04 - SOUTH ELEVATION
Scale: 1/8" = 1'-0"

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St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1" = 1'

SHEET NO.

7 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

- 11.04.19
- 5.18.20
- 5.19.20
- 5.26.20
- 6.19.20 - New Sign
-
-
-

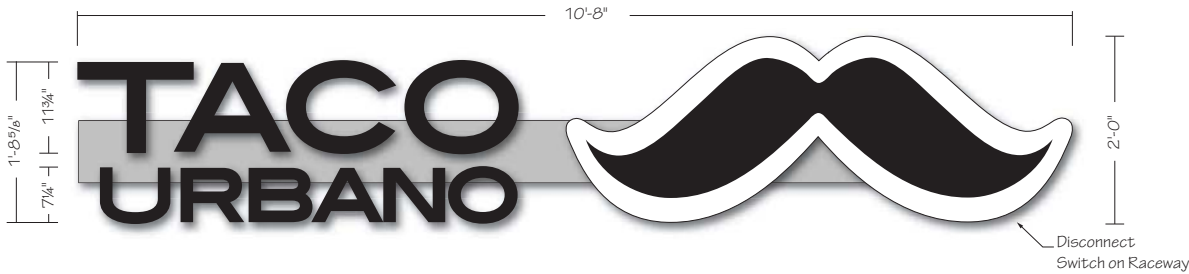
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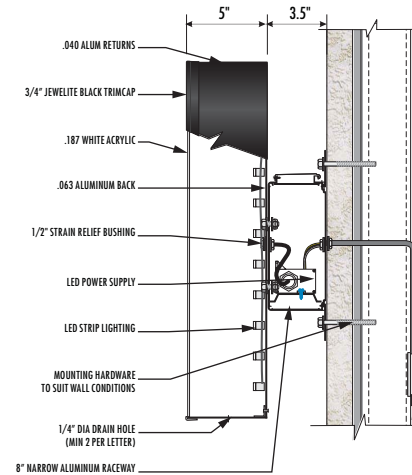
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(1 set) 5" Deep Illuminated Channel Letters & Logo on Raceway

Letter & Logo Returns: .040" Fabricated Aluminum Prefinished Black
Letter Faces: White Acrylic w/ 3M 3635-222 Black Perforated Vinyl Applied - 3/4" Black Trimcap
Logo Face: White Acrylic w/ 3M 7725-12 Black Vinyl Applied - 3/4" Black Trimcap
Raceway: Std. 8" Narrow - Extruded Aluminum Painted to Match Wall Color
Illumination: White LEDs with 60Watt Power Supplies in Raceway
Power: (1) 20Amp @ 120Volt Electrical Circuit Run to Site by Others
Mounting: Flush to Building with Anchors Appropriate for Wall Construction



01 - SOUTH ELEVATION

Scale: 1/8" = 1'-0"

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St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/4" = 1'

SHEET NO.

8 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

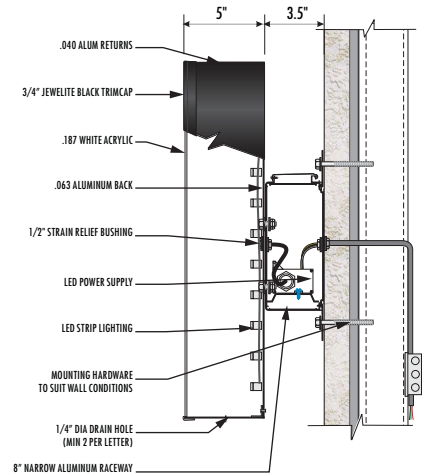
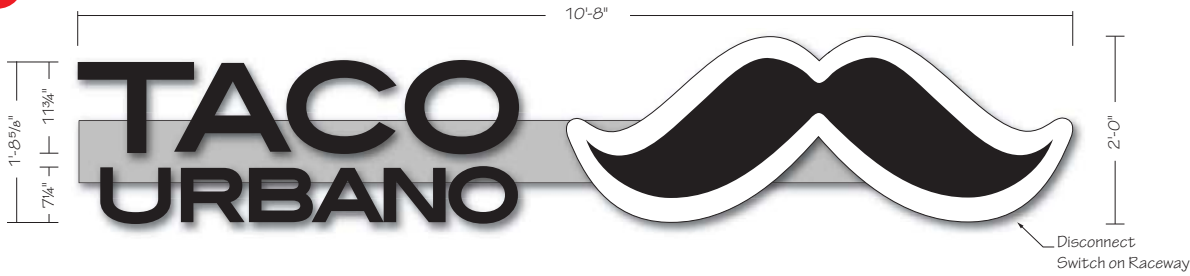
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(1 set) 5" Deep Illuminated Channel Letters & Logo on Raceway
Letter & Logo Returns: .040" Fabricated Aluminum Prefinished Black
Letter Faces: White Acrylic w/ 3M 3635-222 Black Perforated Vinyl Applied - 3/4" Black Trimcap
Logo Face: White Acrylic w/ 3M 7725-12 Black Vinyl Applied - 3/4" Black Trimcap
Raceway: Std. 8" Narrow - Extruded Aluminum Painted to Match Wall Color
Illumination: White LEDs with 60Watt Power Supplies in Raceway
Power: (1) 20Amp @ 120Volt Electrical Circuit Run to Site by Others
Mounting: Flush to Building with Anchors Appropriate for Wall Construction

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PROJECT:



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St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1/2" = 1'

SHEET NO.

9 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

- 1 11.04.19
- 2 5.18.20
- 3 5.19.20
- 4 5.26.20
- 5 6.19.20 - New Elevation
- 6
- 7
- 8

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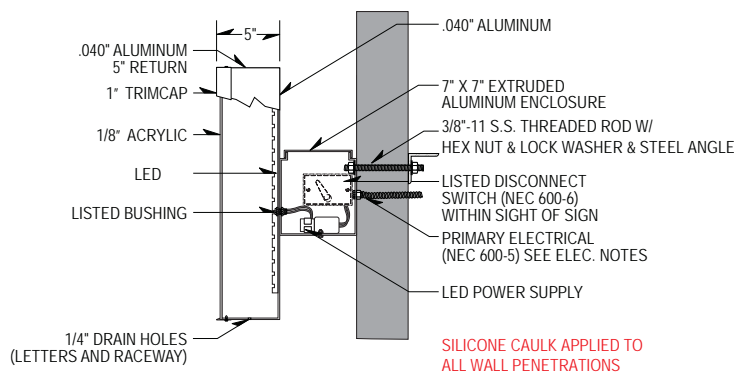
04 - NORTH ELEVATION

Scale: 1/8" = 1'-0"

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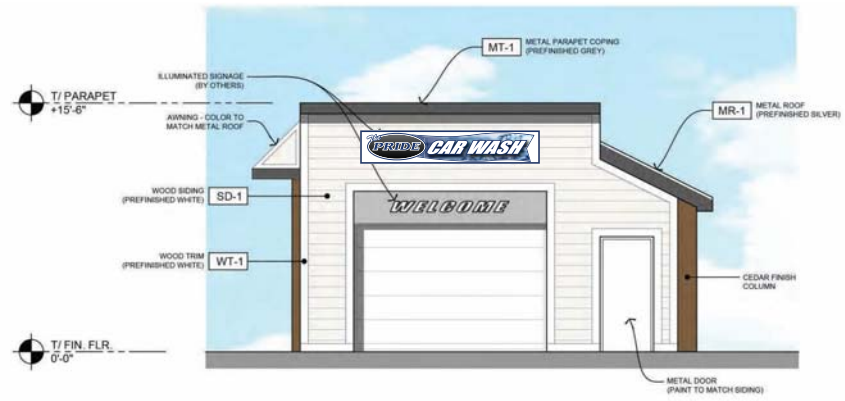


(1 set each) 5" Deep Illuminated Channel Letters on Raceways - 8.45 SF / 14.40 SF

- Returns:** Fabricated Aluminum Painted PMS 288 Blue
- Faces:** #7328 White Acrylic w/ 1" Jewelite White trimcap
- Vinyl:** 3M 3630-157 Sultan Blue Translucent Vinyl
- Raceways:** Std. 7" x 7" Aluminum Painted to Match Wall Color - SW 7063 Nebulous White
- Illumination:** White LED
- Power:** (1) 20Amp @ 120Volts Electrical Circuit Run to Site by Others
- Mounting:** Raceways Flush Mounted to Building - Appropriate Hardware for Wall Construction

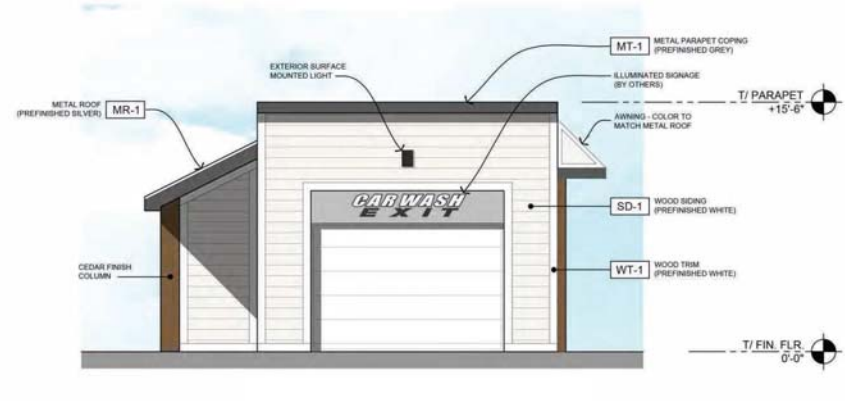
Bottom Raceway Mount
Upside Down

NOTE: FIELD SURVEY REQUIRED PRIOR TO FABRICATION



02 - WEST ELEVATION

Scale: 1/8" = 1'-0"



03 - EAST ELEVATION

Scale: 1/8" = 1'-0"

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St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/4" = 1'

SHEET NO.

10 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
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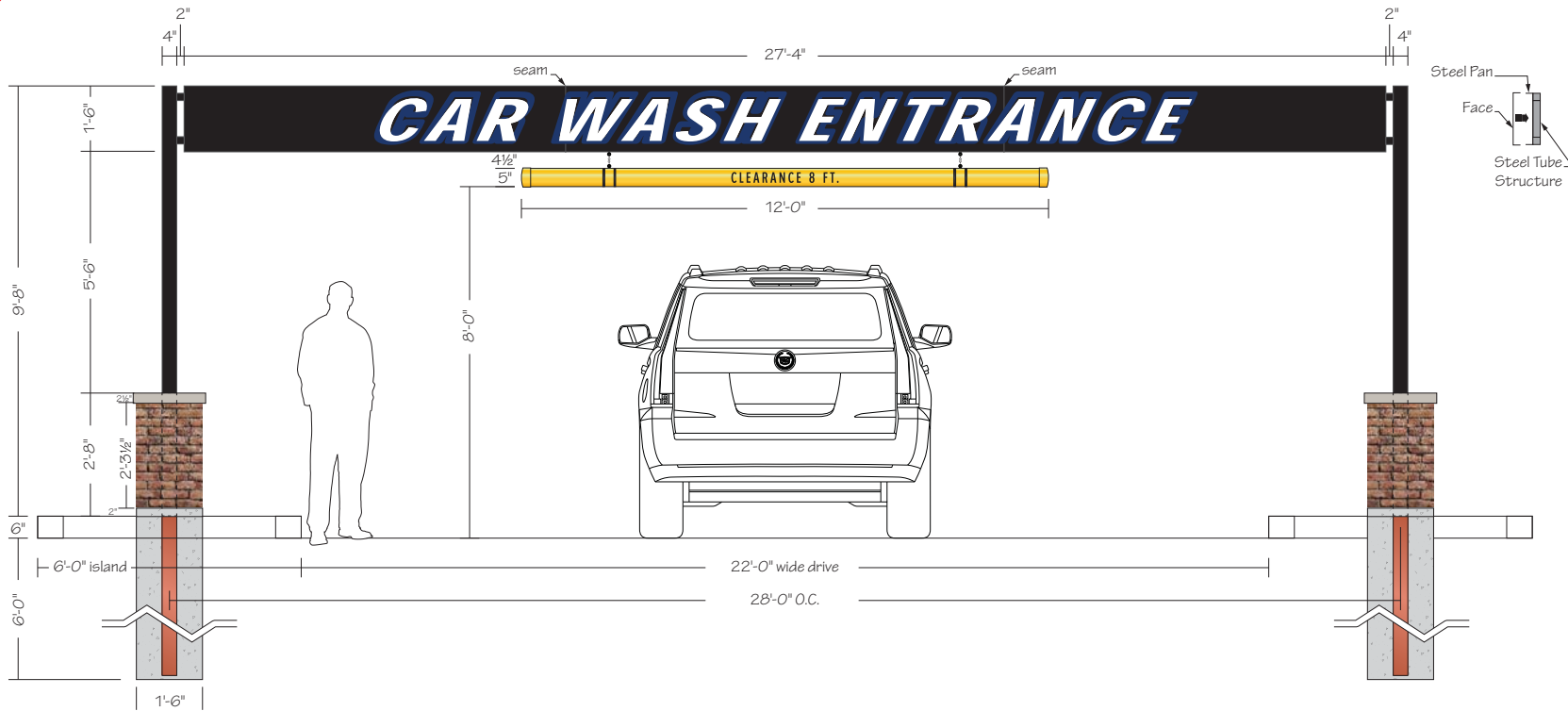
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(1) 1'-6" x 27'-4" x 2" Single Face Non-Illuminated Entrance Gateway

Cabinet: Fabricated Aluminum Painted Black - Suede Satin Finish
 - 2" x 2" Tube Internal Structure

Graphics: 3M 7725-37 Sapphire Blue & 7725-10 White Vinyls

Clearance Bar: 5" PVC Pipe w/ Caps Painted MAP 42248 Sundance Yellow

Clearance Ht. Copy & Stripes: 3M 680-85 Black Reflective Vinyl

Bases: Masonry to Match Building - Redland Bayfrost (038) Brick

- Jumbo (05) Modular: 35/8" W x 2 3/4" H x 75/8" L

Mounting: (2) 4" x 4" Tube Steel set into (2) 1'-6" dia. x 6'-0" deep Concrete Foundations

NOTE: FIELD SURVEY REQUIRED PRIOR TO FABRICATION

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
 St. Charles, IL

CUSTOMER APPROVAL:

DATE _____

AUTHORIZED SIGNATURE _____

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/8" = 1'

SHEET NO.

11 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

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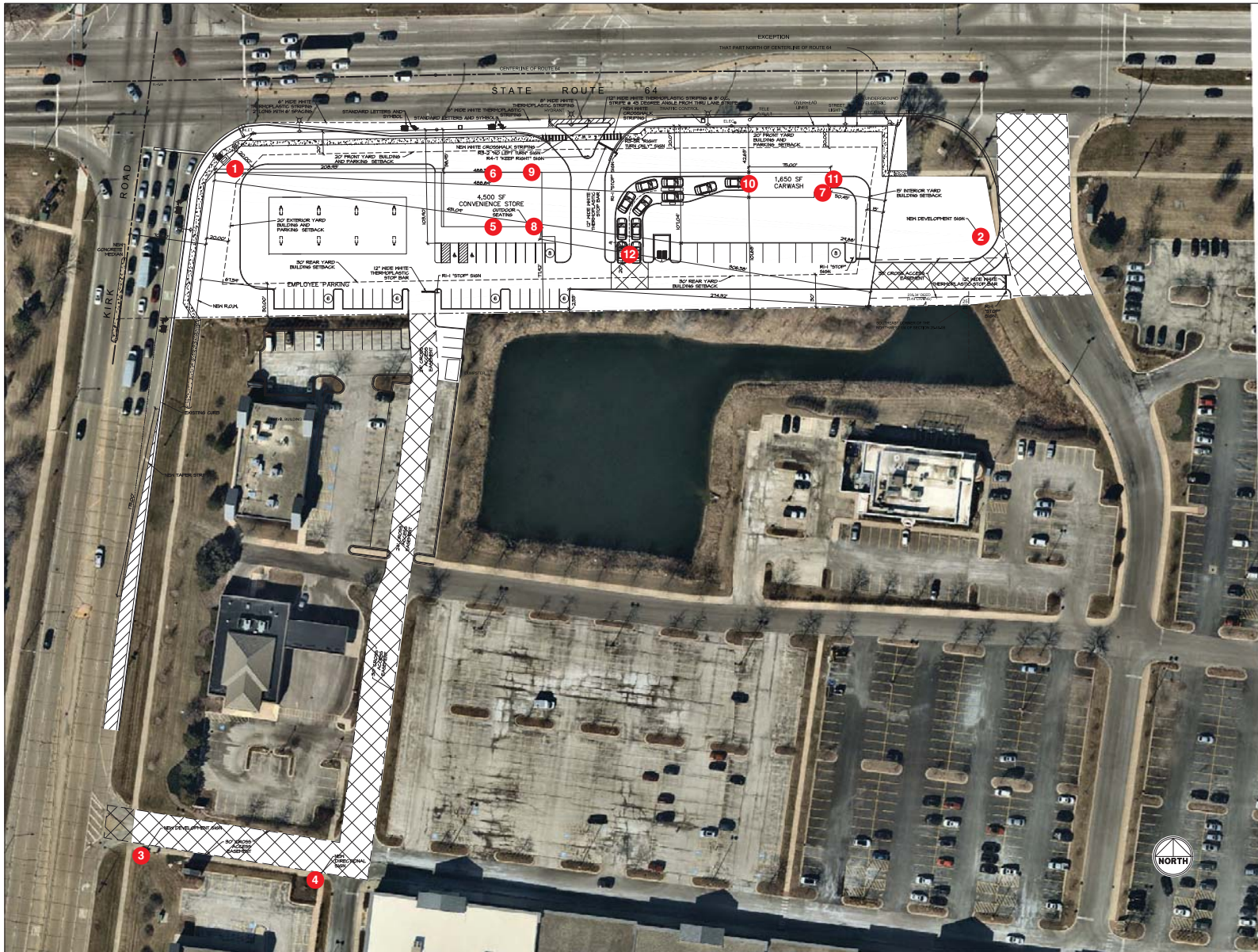
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DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

nts

SHEET NO.

12 of 12

WORK ORDER

82989

FILE NAME

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EXHIBIT “E”

PUD DEVIATIONS

Section 17.24.100 Drive-Through Facilities	
Stacking Lane Configuration	Two lanes of car wash vehicle stacking, as shown on the PUD Preliminary Plan.
Section 17.26.080 Building Foundation Landscaping	
Foundation Landscape Planting Beds	3 ft. along west side of convenience store building, as shown on the PUD Preliminary Plan.
Foundation Landscape Trees	3 trees along the north wall of the convenience store building and 2 trees along the north wall of the car wash building, as shown on the PUD Preliminary Plan.
Section 17.26.090 Public Street Frontage Landscaping	
Street Frontage Plantings	Less than 75% of the Main St. frontage may be landscaped, as shown on the PUD Preliminary Plan.
Table 17.28-2 Permitted Signs for Business & Mixed-Use Districts – BL, BC and BR Districts	
Freestanding Signs	3 ft. setback for monument sign at the corner of Main St. and Kirk Rd., as shown on the PUD Preliminary Plan.
Wall Signs	Four wall signs on the convenience store building, as shown on the PUD Preliminary Plan.
Section 17.28.080 Prohibited Signs	
Off-Premise Signs	Three off-premise signs to be placed in the Main Street Commons PUD: one monument sign at the Main St. entrance of Main Street Commons; one monument sign at the Kirk Rd. entrance of Main Street Commons; one directional sign within Main Street Commons; all as shown on the PUD Preliminary Plan

Letters/Comments
Received for Public Hearing

From: Laura Miller Hill <lmillerhill@gmail.com>
Sent: Thursday, December 3, 2020 7:12 AM
To: CD
Subject: Pride of Kane County Annexation

I am opposed to the annexation of the land on the corner of Kirk and Main Street. Do we really need another gas station in that area and more traffic congestion? The east side of St. Charles has become a strip of empty stores, gas stations, car dealerships, and fast food restaurants. It's time to put a hold on this kind of development. How about focusing on the small businesses who are struggling right now?

Laura Miller Hill
312 S. 10th Ave.
St. Charles, IL
60174