



**PLAN COMMISSION AGENDA ITEM EXECUTIVE SUMMARY**

**Project Title/Address:** Corporate Reserve Lot 8 – Woodward Dr. at Corporate Reserve Blvd. and Cardinal Dr.

**City Staff:** Ellen Johnson, Planner

<b>PUBLIC HEARING</b> 11/1/16	X	<b>MEETING</b> 11/1/16	X
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**APPLICATIONS:** Special Use (PUD Amendment)

**ATTACHMENTS AND SUPPORTING DOCUMENTS:**

Staff Report	Ordinance 2016-Z-2
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Applications for Special Use (received 9/30/16)	
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**SUMMARY:**

The subject property, a 22.6 acre vacant parcel, is Lot 8 of the Corporate Reserve of St. Charles, located on the north side of Woodward Dr. at Corporate Reserve Blvd. and Cardinal Dr. In January 2016, City Council approved Ordinance 2016-Z-2, which approved residential zoning for the property and established PUD standards for development of a 78-lot single-family subdivision.

CalAtlantic Homes is under contract to purchase the property. They plan to build the development as previously approved. However, some of the home models CalAtlantic plans to offer to buyers have deeper footprints than the smaller lots in the development can accommodate due to the building setback requirements.

In order to accommodate the deeper models, the developer is requesting to reduce the front and rear yard building setback requirements for lots 105 ft. deep and under, as follows:

1. Reduce the front yard setback requirement from 20 ft. to 18 ft.
2. Reduce the rear yard setback requirement from 30 ft. to 27 ft.

The reduced setbacks would apply to 38 out of the 78 total lots.

No other changes to the approved PUD Preliminary Plan are proposed.

**SUGGESTED ACTION:**

Conduct the public hearing on the Special Use and close if all testimony has been taken.

Staff has placed this item on the meeting portion of the agenda for a vote should the Plan Commission feel that they have enough information to make a recommendation.

Staff has found the application materials to be complete.

**INFO / PROCEDURE ON APPLICATIONS:**

*(See next page)*

### SPECIAL USE FOR PUD AMENDMENT

- Approval of development project with specific deviations from the Zoning Ordinance standards. (Establishes a PUD ordinance with unique zoning or subdivision standards that apply to a single development site)
- Public hearing is required, with a mailed notice to surrounding property owners.
- Single finding – Is the PUD in the public interest? Criteria are considered in reaching a decision. Responses to the criteria need not be in the affirmative to recommend approval of a PUD or PUD Amendment.
- The Plan Commission may recommend conditions and restrictions upon the establishment, location, design, layout, height, density, construction, maintenance, aesthetics, operation and other elements of the PUD as deemed necessary to secure compliance with the standards specified in the Zoning Ordinance.
- The Plan Commission may recommend exceptions and deviations from the requirements of the Zoning and Subdivision Codes requested by the applicant, to the extent that it finds such exceptions and deviations are supportive of the standards and purposes for PUDs.

Community & Economic Development  
 Planning Division

Phone: (630) 377-4443  
 Fax: (630) 377-4062



ST. CHARLES  
 SINCE 1834

**Staff Report**

**TO:** Chairman Todd Wallace  
 And Members of the Plan Commission

**FROM:** Ellen Johnson, Planner

**RE:** Corporate Reserve Lot 8 – PUD Amendment

**DATE:** October 28, 2016

**I. APPLICATION INFORMATION:**

**Project Name:** Corporate Reserve Lot 8

**Applicant:** CalAtlantic Homes

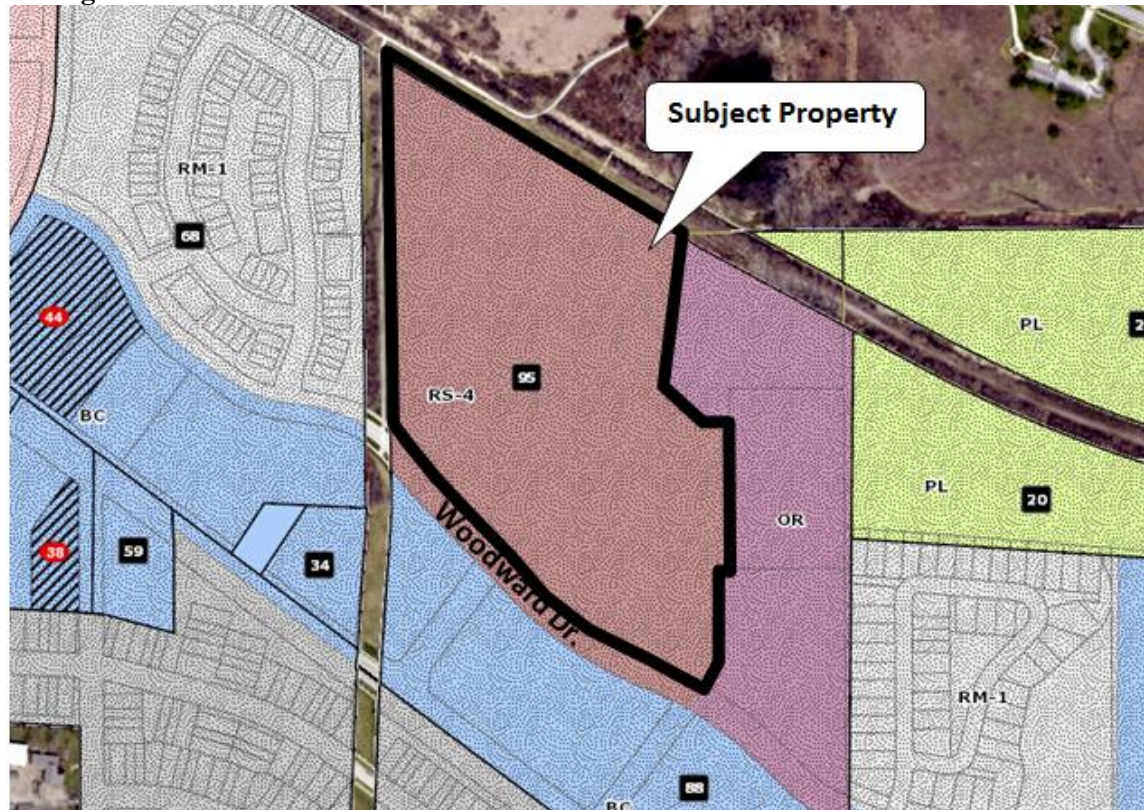
**Purpose:** Reduce the front and rear yard building setback requirement

<b>General Information:</b>		
<b>Site Information</b>		
Location	Woodward Dr. at Corporate Reserve Blvd. and Cardinal Dr. (north side of Woodward Dr.)	
Acres	22.6 acres (985,724 sf)	
Application:	Special Use (PUD Amendment)	
Applicable City Code Sections and PUD Ordinance	Title 17, Chapter 17.12 - Residential Districts Ordinance No. 2016-Z- 2 “An Ordinance Amending Ordinance No. 2008-Z-18 (Corporate Reserve of St. Charles PUD) and Granting Approval of a Map Amendment, New Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Lot 8 – Corporate Reserve of St. Charles”	
<b>Existing Conditions</b>		
Land Use	Vacant	
Zoning	RS-4 Suburban Single-Family Residential & PUD (Lot 8 – Corporate Reserve of St. Charles)	
<b>Zoning Summary</b>		
North	N/A – unincorporated	Kane County Forest Preserve
East	O/R- Office/Research District & PUD (Corporate Reserve of St. Charles)	Stormwater detention area, two office buildings, vacant parcel
South	BC- Community Business & PUD (Corporate Reserve of St. Charles)	Vacant parcels
West	RM-1- Mixed Medium Density Residential & PUD (Remington Glen)	Townhome development
<b>Comprehensive Plan Designation</b>		
Industrial/Business Park w/Residential Option		

**Aerial**



**Zoning**



## **II. BACKGROUND**

### **A. PROPERTY HISTORY**

The subject property, a 22.6 acre vacant parcel, is Lot 8 of the Corporate Reserve of St. Charles. The Corporate Reserve of St. Charles PUD was originally approved in 2008 under Ordinance No. 2008-Z-18, “An Ordinance Rezoning Property and Granting a Special Use as a Planned Unit Development for Corporate Reserve of St. Charles PUD (A Portion of the West Gateway PUD).” A total of eight (8) lots initially encompassed the PUD.

In 2015, the property owner submitted zoning applications to amend the Corporate Reserve PUD to allow for a single-family residential subdivision on Lot 8. This past January, City Council approved Ordinance No. 2016-Z-2 “An Ordinance Amending Ordinance No. 2008-Z-18 (Corporate Reserve of St. Charles PUD) and Granting Approval of a Map Amendment, New Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Lot 8 – Corporate Reserve of St. Charles”. This ordinance rezoned the property to the RS-4 zoning district and established PUD standards for development of a 78-lot single-family subdivision.

### **B. PROPOSAL**

CalAtlantic Homes is under contract to purchase Lot 8 of the Corporate Reserve of St. Charles. They plan to build the development as previously approved. However, some of the home models CalAtlantic plans to offer to buyers have deeper footprints than the smaller lots in the development can accommodate due to the building setback requirements.

Specifically, the PUD ordinance requires a 20 ft. front yard setback and a 30 ft. rear yard setback. The smallest lots in the development are 100 ft. deep. This allows for a building depth of up to 50 ft. CalAtlantic’s home models range from 43 to 55 ft. deep.

In order to accommodate the deeper models, the developer is requesting to reduce the front and rear yard setback requirements for lots 105 ft. deep and under, as follows:

1. Reduce the front yard setback requirement from 20 ft. to 18 ft.
2. Reduce the rear yard setback requirement from 30 ft. to 27 ft.

The reduced setbacks would apply to 38 out of the 78 total lots.

No other changes to the approved PUD Preliminary Plan are proposed.

## **III. ANALYSIS**

### **A. ZONING**

The table below compares the zoning standards for the underlying RS-4 zoning district, the standards approved under the Lot 8 – Corporate Reserve of St. Charles PUD Ordinance, and the proposed standards under the requested PUD Amendment. The requested reductions in the front and rear yard setbacks constitute deviations from the underlying RS-4 zoning district.

	<b>RS-4 District</b>	<b>Approved PUD Ordinance</b>	<b>Proposed Amendment</b>
<b>Min. Lot Area</b>	6,600 sf	5,200 sf	5,200 sf
<b>Min. Lot Width</b>	60 ft.	43.65 ft. (Lot 16) (Typical lot width: 52 ft.)	43.65 ft. (Lot 16) (Typical lot width: 52 ft.)
<b>Max. Building Coverage</b>	30%	38.5%	38.5%
<b>Max. Building Height</b>	34 ft. or 2 stories, whichever is less	TBD	TBD
<b>Min. Front Yard</b>	20 ft.	20 ft.	<b>18 ft. for lots under 105' in depth only (38 total lots)</b>
<b>Min. Interior Side Yard</b>	Combined width of 14 ft., neither less than 5 ft.	6 ft.	6 ft.
<b>Min. Exterior Side Yard</b>	15 ft.	25 ft.	25 ft.
<b>Min. Rear Yard</b>	30 ft.	30 ft.	<b>27 ft. for lots under 105' in depth only (38 total lots)</b>

The reduced setbacks will apply to all lots under 105 ft. in depth. This constitutes 38 of the 78 total single-family lots. The attached exhibit illustrates the location of these lots (shown in red and orange). The existing 20 ft. front and 30 ft. rear setbacks will continue to be required for the 40 lots that are 105 ft. in depth or more.

Based on the existing front yard (20 ft.) and rear yard (30 ft.) setback requirements, the maximum building depth that would be permitted on a 100 ft. lot would be 50 ft. The developer has provided eight (8) home plans they wish to offer to buyers for this development. The building footprints range from 43 ft. to 55 ft. in depth. The proposed reduced setbacks for the smaller lots would allow for flexibility in the home models that can be constructed on a given lot. With the reduced setbacks, any of the 8 models could be constructed on any lot, subject to the building coverage limitation and monotony code standards established in the PUD Ordinance.

#### **IV. SUGGESTED ACTION**

Conduct the public hearing and close if all testimony has been taken. The applicant has provided Criteria for PUD responses for the Plan Commission to consider.

Staff has placed the application on the meeting portion of the agenda should the Plan Commission determine there is adequate information to make a recommendation to City Council.

Staff has found the application materials to be complete.

#### **V. ATTACHMENTS**

- Application for Special Use; received 9/30/16
- Exhibit of Impacted Lots
- Home Models
- Ordinance 2016-Z-2

# CITY OF ST. CHARLES

TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



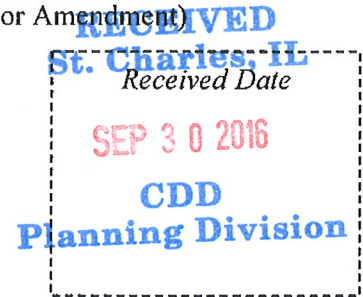
COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

## SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

<b>For City Use</b>	
Project Name:	Corporate Reserve Lot 8 PUD Amendment
Project Number:	2016 -PR- 015
Application Number:	2016 -AP- 036



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

<b>1. Property Information:</b>	Location: 37W750 Route 64, St. Charles, IL 60175	
	Parcel Number (s): 09-29-326-001 (Lot 8)	
	Proposed Name: Lot 8 - The Corporate Reserve at St. Charles	
<b>2. Applicant Information:</b>	Name	CALATLANTIC
	Address	1411 EAST MAIN STREET SUITE 108 EAST DUNDEE, IL 60118
	Phone	224-293-3100
<b>3. Record Owner Information:</b>	Name	Pinewood Capital, LLC
	Address	100 Saint Paul Street, #300 Denver, CO 80206
	Phone	303-371-9000
	Email	pete.tobin@paulscorp.com

**Please check the type of application:**

- Special Use for Planned Unit Development - PUD Name:** \_\_\_\_\_
  - New PUD
  - Amendment to existing PUD- Ordinance #: 2016-Z-2
  - PUD Preliminary Plan filed concurrently
  
- Other Special Use (from list in the Zoning Ordinance):** \_\_\_\_\_
  - Newly established Special Use
  - Amendment to an existing Special Use Ordinance #: \_\_\_\_\_

**Information Regarding Special Use:**

Comprehensive Plan designation of the property: Industrial/Business Park w/alternative for residential use

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? RS-4

What is the property currently used for? Undeveloped

If the proposed Special Use is approved, what improvements or construction are planned?  
78 single family homes with supporting right-of way and park and open space .

**For Special Use Amendments only:**

Why is the proposed change necessary?  
In order to accommodate the depth of some of the models a deviation from the front and  
and rear yard set-backs will need to be altered on a lot by lot basis to accommodate the depth.

What are the proposed amendments? (Attach proposed language if necessary)  
See attached

**Note for existing buildings:**

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.



**Attachment Checklist:**

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**□ APPLICATION FEE:**

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

**□ REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**□ REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**□ PROOF OF OWNERSHIP and DISCLOSURE:**

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

**□ LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper

**□ PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

**□ FINDINGS OF FACT:**

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

**□ LIST OF PROPERTY OWNERS WITHIN 250 FT.:**

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

❑ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

❑ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

❑ **TRAFFIC STUDY:** If requested by the Director of Community Development.

*Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.*

❑ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

❑ **SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
  - a. Location, height, intensity and fixture type of all proposed exterior lighting
  - b. Photometric information pertaining to locations of proposed lighting fixtures

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

  
\_\_\_\_\_  
Record Owner 9.29.16  
Date

  
\_\_\_\_\_  
Applicant or Authorized Agent 9/30/16  
Date

## Corporate Reserve Attachment

Some of the homes that we will be offering for sale have a depth of between 51 and 55 feet, the typical lot has a building depth of 50 feet. There are 34 out of 78 lots that are considered typical, these lots will require a Deviation from the PUD for these models because the lot depth is not adequate to meet the set- back requirements.

# CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)



*\*For Special Use for PUD or PUD Amendment applications.\**

*The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.*

*As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.*

*(You may utilize this form or provide the responses on another sheet.)*

Anthem Heights  
\_\_\_\_\_  
*PUD Name* *Date*

**From the St. Charles Zoning Ordinance, Section 17.04.410.3:**

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

**i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

No Change from original PUD approval under Ordinance 2016-Z-2.

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- ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
  - A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
  - B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

**Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:**

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public are, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

No change from original PUD approval under ordinance 2016-Z-2, with one additional minimal variation from

the RS-4 standards, the development will still comply the spirit and intent of the above listed standards.

The variation that we are requesting on will allow for the ability to offer a wider variety of product in the development.

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**iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):**

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

No change from original PUD approval under Ordinance 2016-Z-2.

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B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

No change from original PUD approval under Ordinance 2016-Z-2.

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C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

No change from original PUD approval under Ordinance 2016-Z-2.

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D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

No change from original PUD approval under Ordinance 2016-Z-2.

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E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

No change from original PUD approval under Ordinance 2016-Z-2.

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- F. **Conformance with Codes:** That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed Special Use for Anthem Heights conforms to all existing Federal, State, local legislation and regulations and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

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- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

No change from original PUD approval under Ordinance 2016-Z-2.

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- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

No change from original PUD approval under Ordinance 2016-Z-2.

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**OWNERSHIP DISCLOSURE FORM  
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS    )  
                                  ) SS.  
KANE COUNTY         )

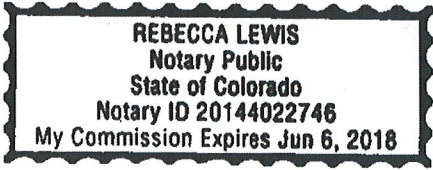
I, Brian Pauls, being first duly sworn on oath depose and say that I am  
Manager of Pinewood Capital, LLC, an <sup>Colorado</sup> ~~Illinois~~ Limited Liability  
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

PAULS REAL ESTATE OPPORTUNITIES (PREO) 2014 Fund  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

By: , Manager

Subscribed and Sworn before me this 29th day of  
September, 20 16.

  
Notary Public





100 St Paul Street, Suite 300  
Denver, CO 80206  
303.371.9000  
paulscorp.com

**PINEWOOD CAPITAL, LLC**

September 28, 2016

Mr. Russell Colby  
Planning Division Manager  
City of St. Charles  
2 East Main Street  
St. Charles, IL 60174-1984

RE: Letter of Authorization for CalAtlantic Group, Inc. for Corporate Reserve Lot 8

Dear Mr. Colby,

CalAtlantic Group, Inc. has entered into a Purchase and Sale Agreement with Pinewood Capital, LLC to purchase Lot 8 in the Corporate Reserve of St. Charles. Pinewood Capital, LLC hereby authorizes CalAtlantic Group, Inc. to submit for approvals for residential development on Lot 8. CalAtlantic Group, Inc. shall be responsible for any fees associated with their submittals and final approval documents shall not be recorded until CalAtlantic Group, Inc. has closed on the sale of this property.

Thank you in advance for your assistance and please contact Pete Tobin at 303-912-8654 with questions or if you need any additional information from Pinewood.

Sincerely,

A blue ink handwritten signature of Brian Pauls, written over a horizontal line.

Brian Pauls  
Authorized Signatory

Cc: Pete Tobin  
Nate Hermes  
Bill Robinson

## RESIDENTIAL ZONING COMPLIANCE TABLE

Name of Development: \_\_\_\_\_

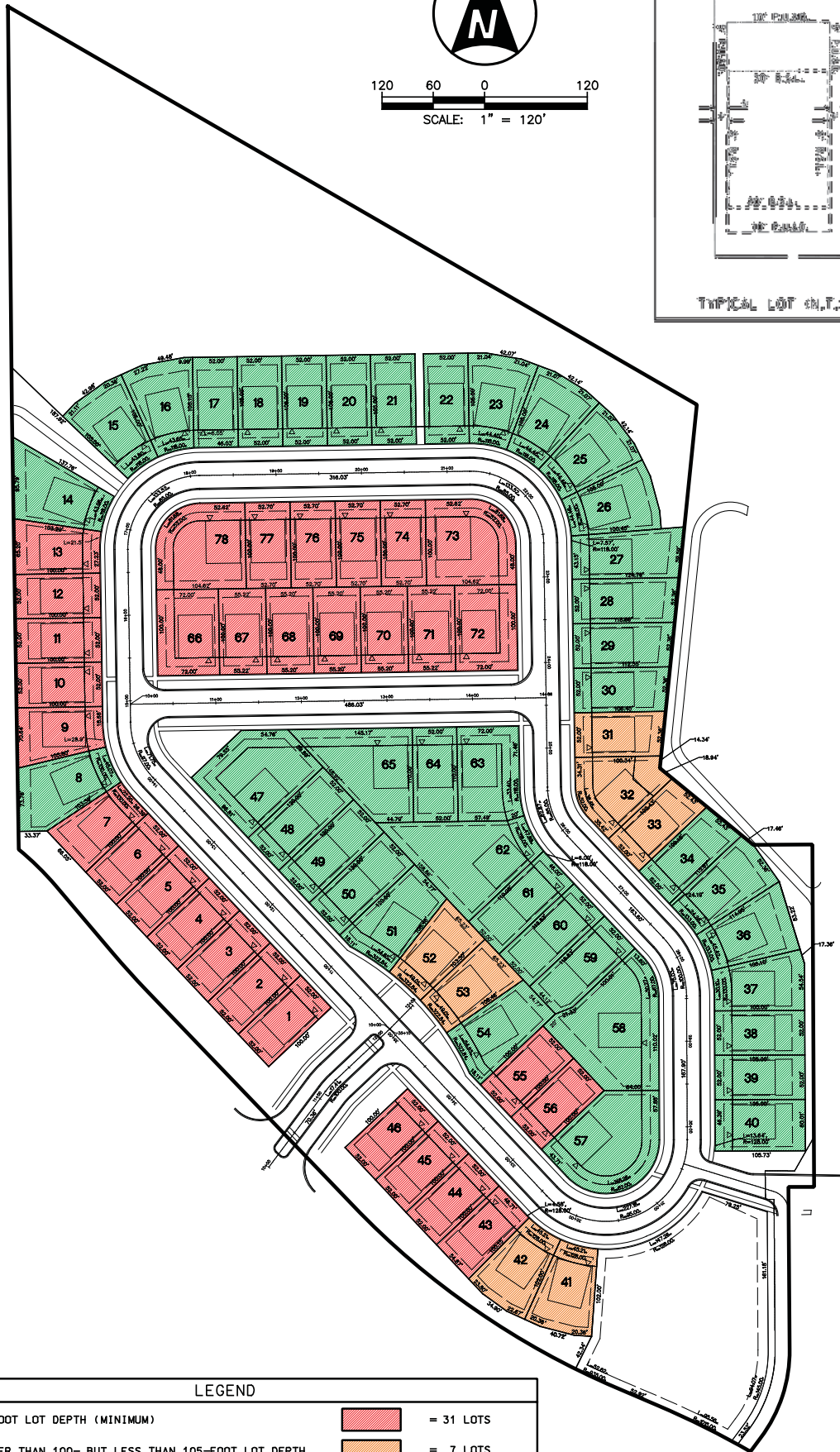
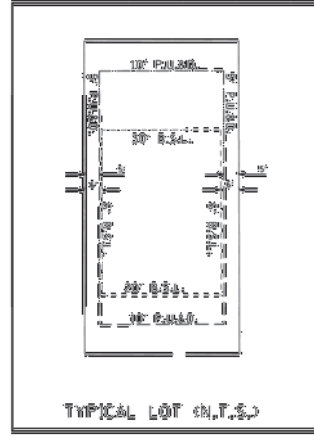
	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District: RS-4	Ordinance #: 2016-2-2	
Minimum Lot Area	6,600 sf	5,200 sf	
Minimum Lot Width	60 ft	52 ft	
Maximum Building Coverage	30 %	38.5%	
Maximum Building Height	34 ft		
Minimum Front Yard	20 ft	20 ft	18 ft *
Interior Side Yard	Combined width of 14 ft, neither less than 5 ft	6 ft	
Exterior Side Yard	15ft		
Minimum Rear Yard	30 ft	30 ft	27 ft *
% Overall Landscape Area	n/a		n/a
Building Foundation Landscaping	n/a		n/a
% Interior Parking Lot Landscape	n/a		n/a
Landscape Buffer Yards <sup>1</sup>	n/a		n/a
# of Parking spaces	n/a		n/a

\* These lot set-backs will only apply when the Home is over 50 feet deep and the lot is less than 105 feet in depth.

<sup>1</sup> Within the zoning districts specified, a Landscape Buffer Yard shall be provided along any lot line that abuts or is across a street from property in any RE, RS, or RT District. See Chapter 17.26 for planting and screening requirements for Landscape Buffers. See Chapter 17.26 for planting and screening requirements for Landscape Buffers. Landscape Buffer Yards may include or overlap with other required yards.



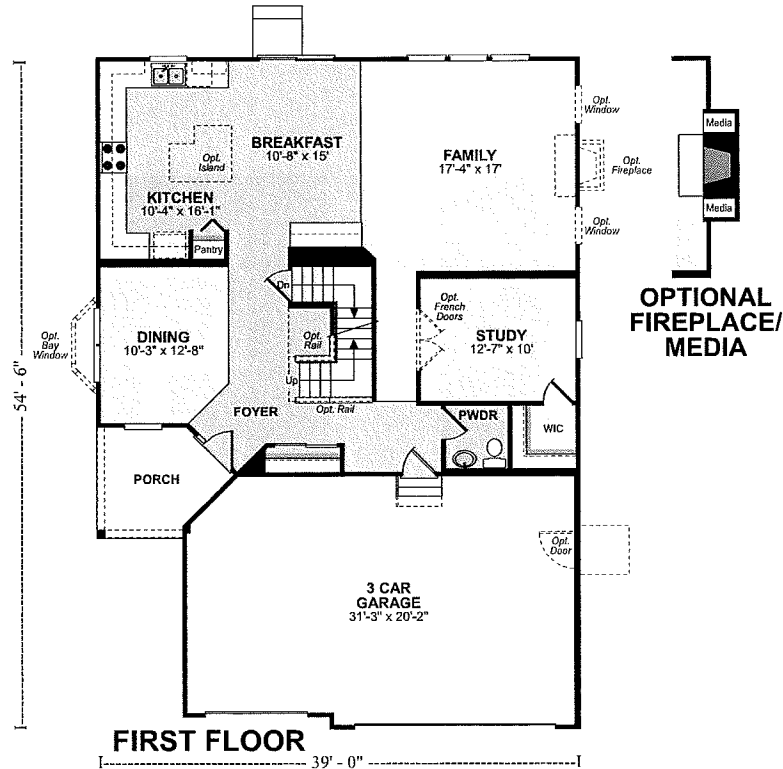
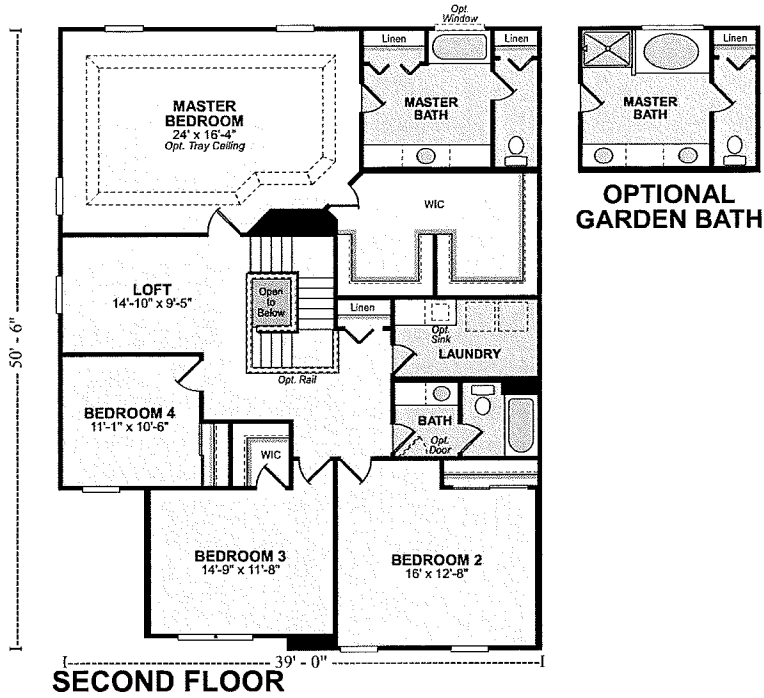
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 SCALE: 1" = 120'



LEGEND		
100-FOOT LOT DEPTH (MINIMUM)		= 31 LOTS
GREATER THAN 100- BUT LESS THAN 105-FOOT LOT DEPTH		= 7 LOTS
105' OR GREATER LOT DEPTH (AT REAR OF BUILDING)		= 40 LOTS

DATE	DESCRIPTION OF REVISION	BY	SCALE	PCW

## Savannah The Estates at Brookmere



## Savannah The Estates at Brookmere



**ELEVATION B**



**ELEVATION A**



**ELEVATION C**

**RYLAND HOMES®**  
ryland.com



**Norfolk**  
The Estates at Brookmere



**ELEVATION B**  
SHOWN W/ OPT. RAILS



**ELEVATION A**



**ELEVATION C**  
SHOWN W/ OPT. RAILS

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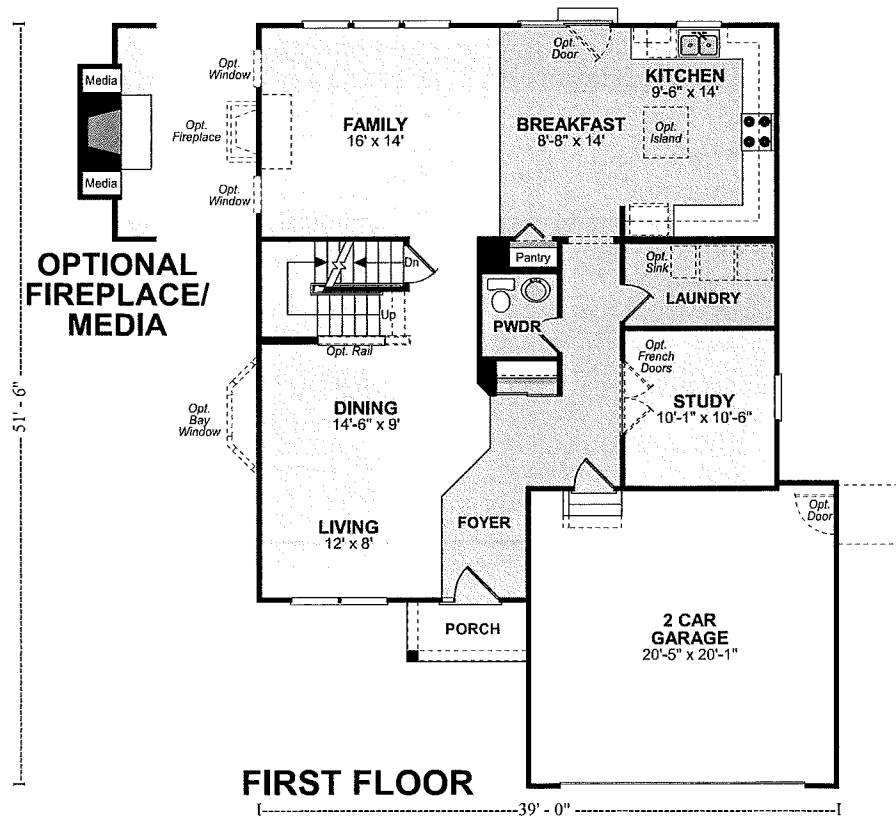
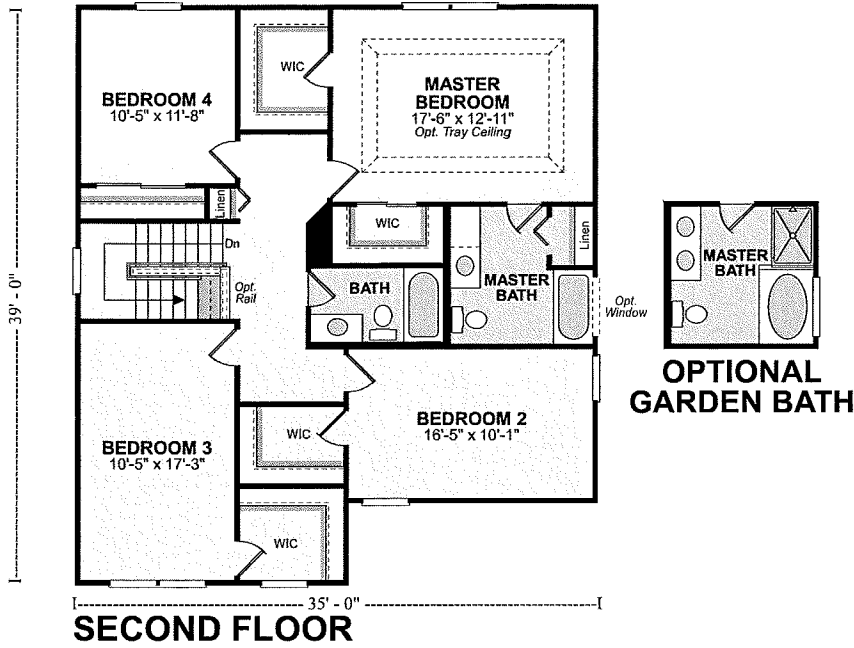


1/15/2016

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## Davenport The Estates at Brookmere



**Davenport**  
The Estates at Brookmere



**ELEVATION B**  
SHOWN W/ OPT. RAILS



**ELEVATION A**



**ELEVATION C**  
SHOWN W/ OPT. RAILS

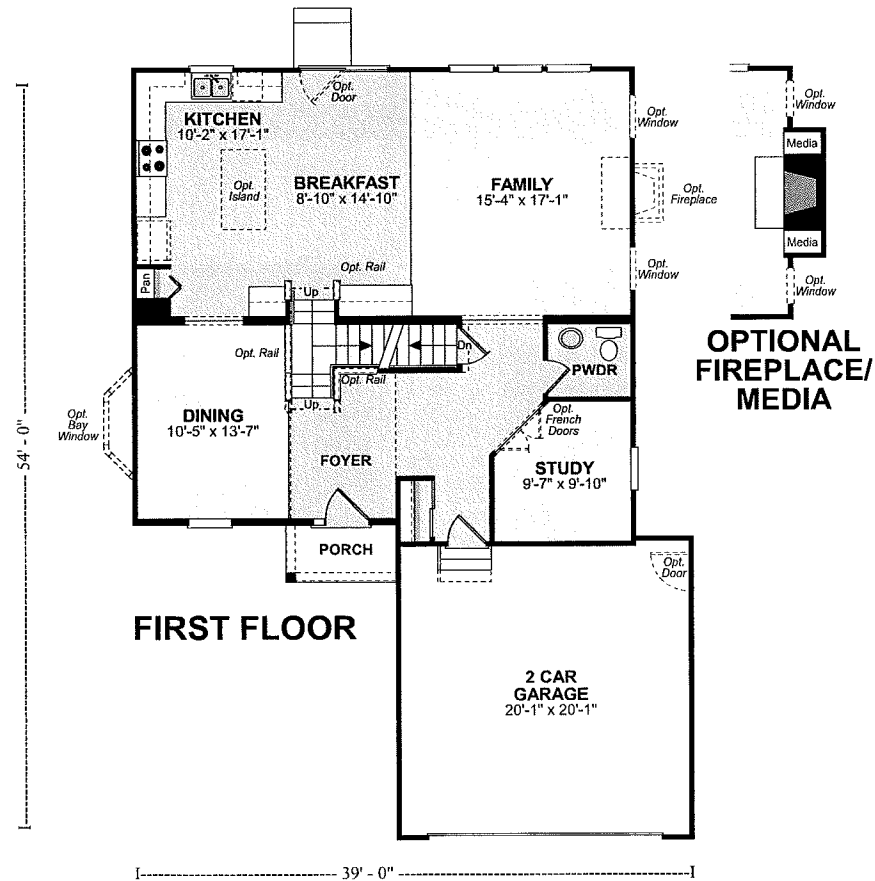
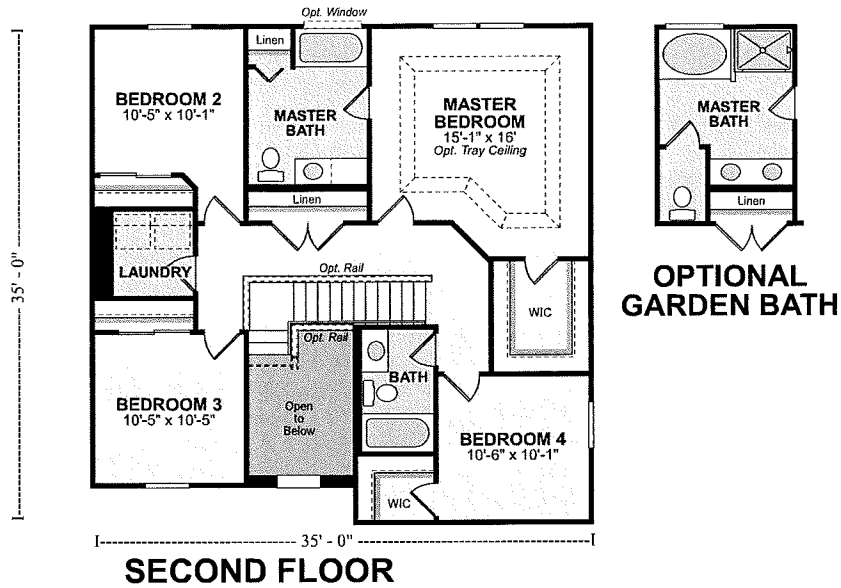
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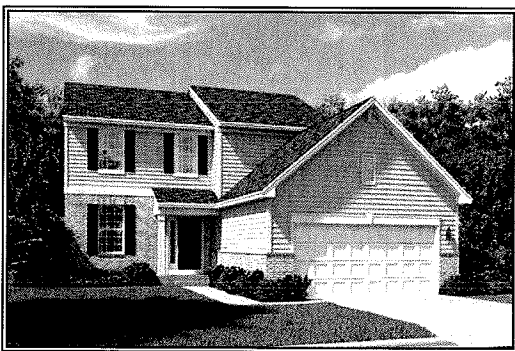
## Brooklyn The Estates at Brookmere



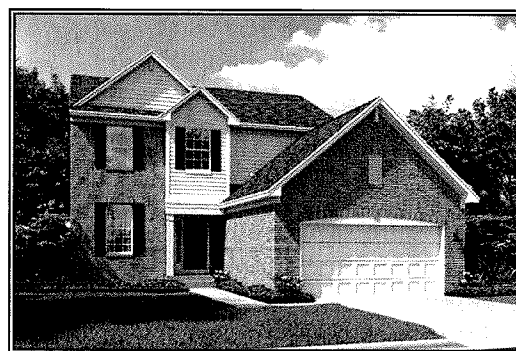
**Brooklyn**  
The Estates at Brookmere



**ELEVATION B**



**ELEVATION A**



**ELEVATION C**

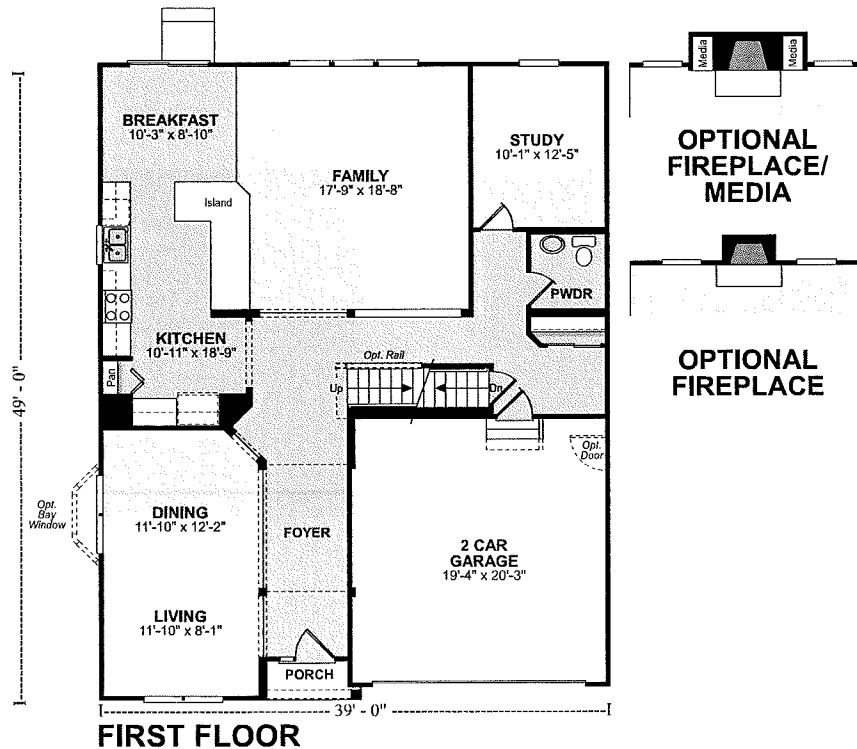
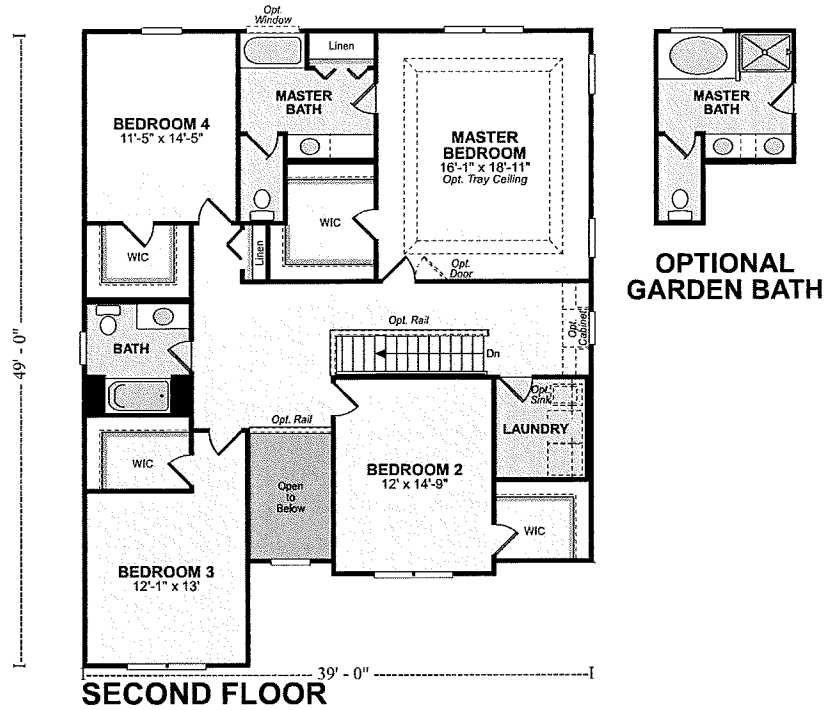
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## Rochester The Estates at Brookmere



**Rochester**  
The Estates at Brookmere



**ELEVATION C**



**ELEVATION A**

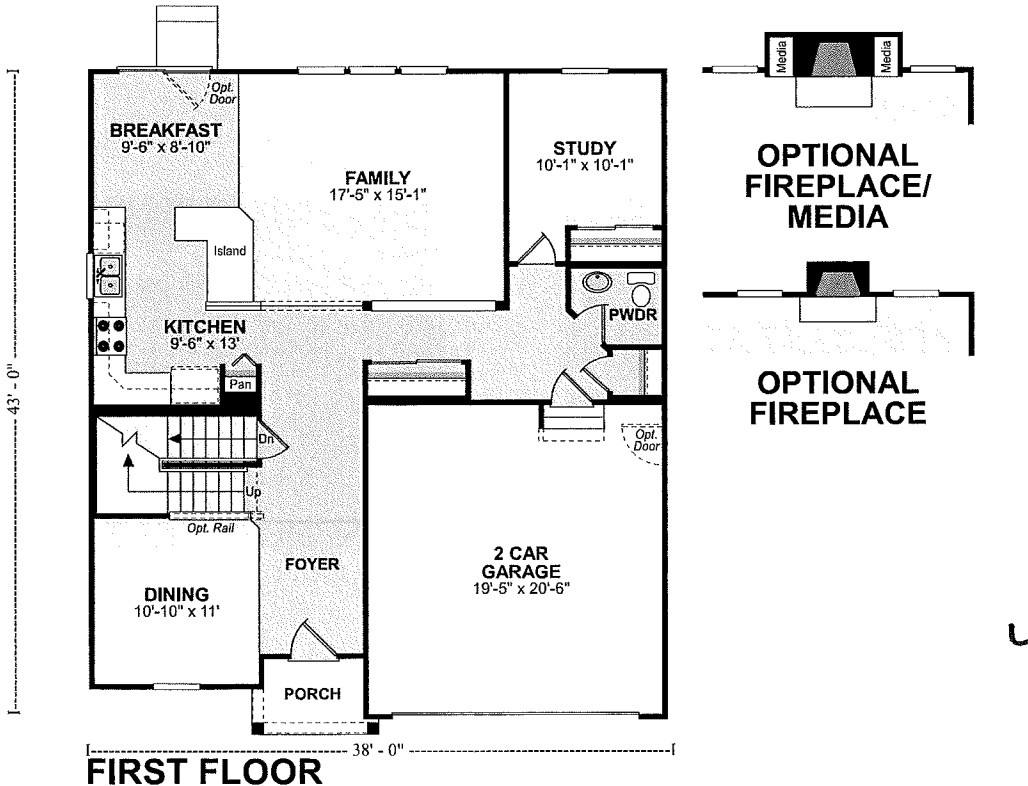
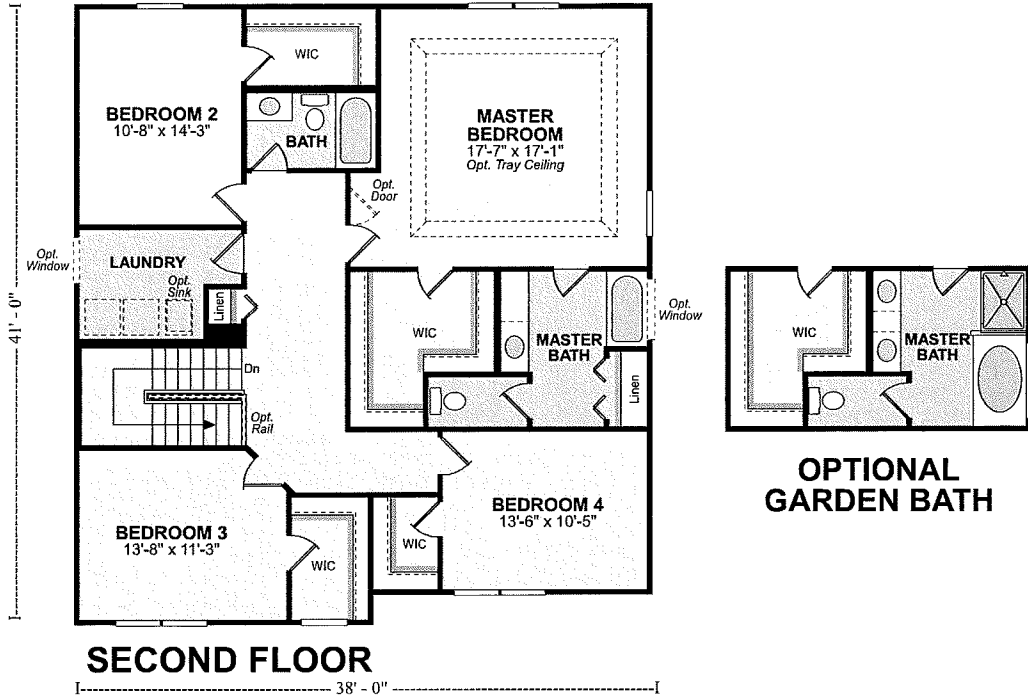


**ELEVATION B**

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## Lafayette The Estates at Brookmere



43'

## Lafayette The Estates at Brookmere



**ELEVATION C**  
SHOWN W/ OPT. RAILS



**ELEVATION A**



**ELEVATION B**

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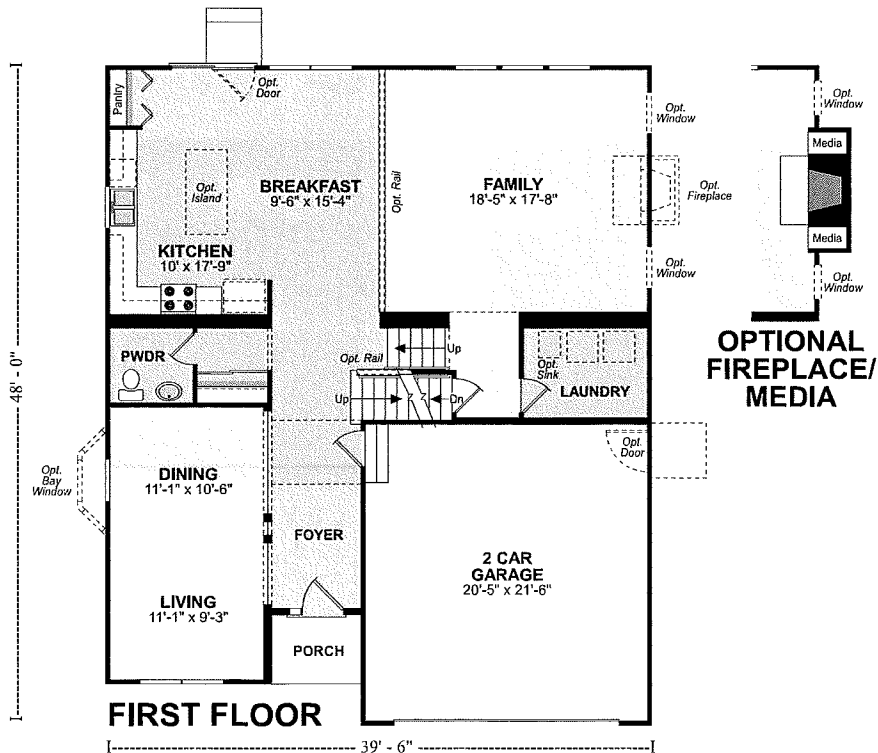
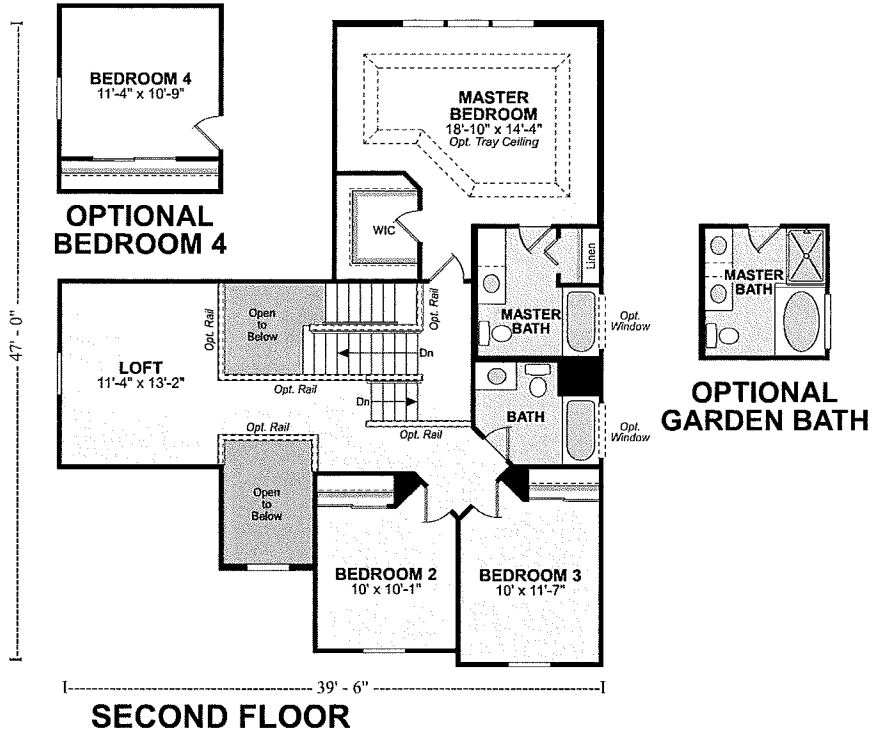


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## Charleston The Estates at Brookmere



**Charleston**  
The Estates at Brookmere



**ELEVATION C**  
SHOWN W/ OPT. RAILS



**ELEVATION A**



**ELEVATION B**

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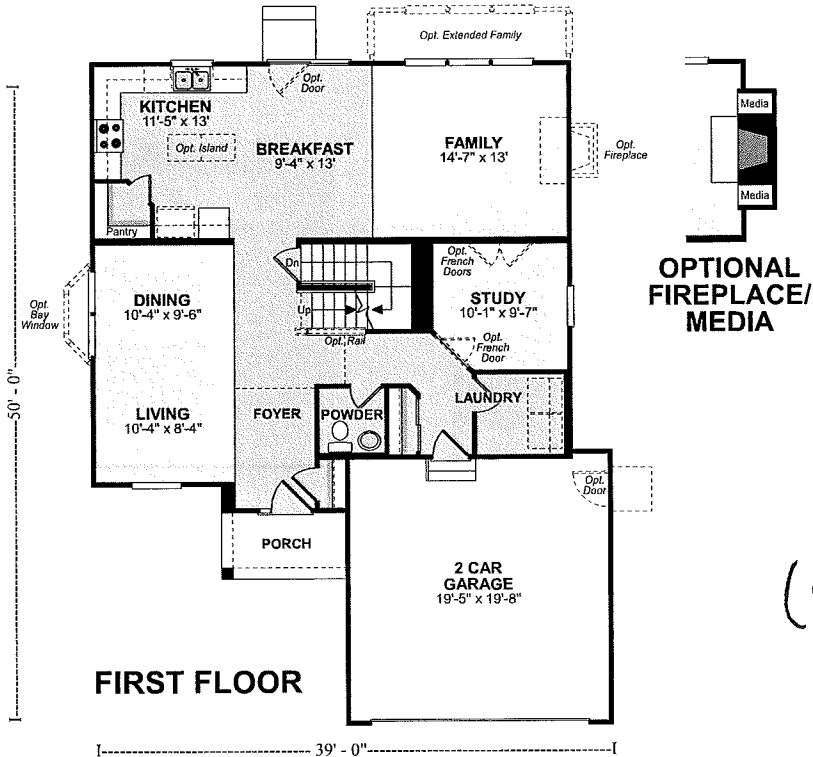
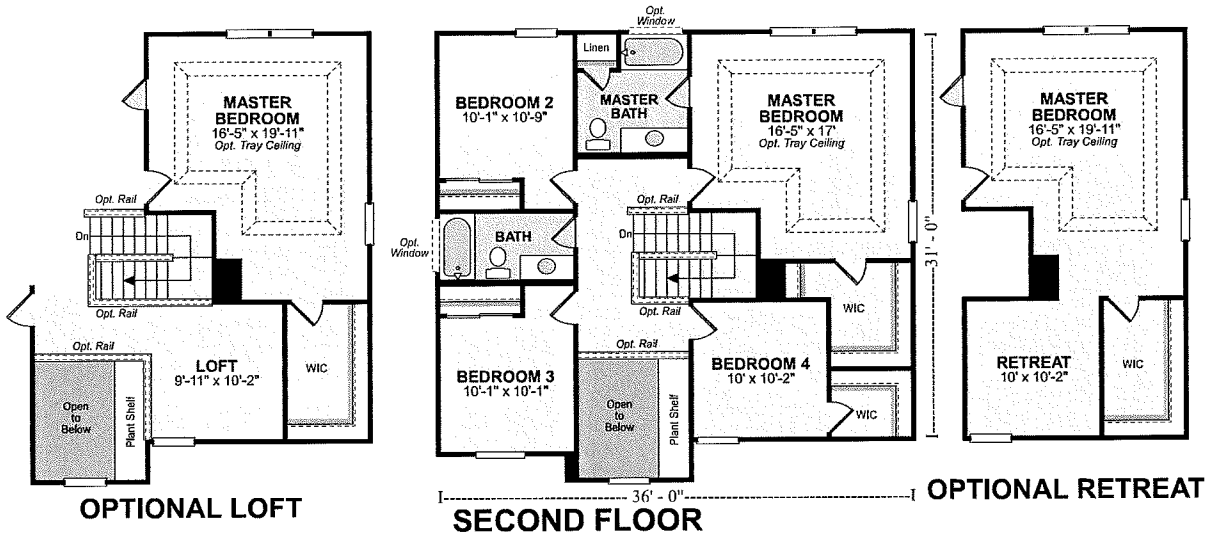
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## Arlington The Estates at Brookmere



**OPTIONAL  
GARDEN BATH**



**Arlington**  
The Estates at Brookmere



**ELEVATION C**  
SHOWN W/ OPT. RAILS



**ELEVATION A**



**ELEVATION B**  
SHOWN W/ OPT. RAILS

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**City of St. Charles, Illinois**

**Ordinance No. 2016-Z-2**

**Motion to approve an Ordinance Amending Ordinance No. 2008-Z-18 (Corporate Reserve of St. Charles PUD) and Granting Approval of a Map Amendment, New Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Lot 8 - The Corporate Reserve of St. Charles.**

**Adopted by the  
City Council  
of the  
City of St. Charles  
January 19, 2016**

**Published in pamphlet form by  
authority of the City Council  
of the City of St. Charles,  
Kane and Du Page Counties,  
Illinois, January 25, 2016**

*Nancy Garrison*  
\_\_\_\_\_  
City Clerk



**(SEAL)**

ICC5

**City of St. Charles, Illinois  
Ordinance No. 2016-Z- 2 .**

**An Ordinance Amending Ordinance No. 2008-Z-18 (Corporate Reserve of St. Charles PUD) and Granting Approval of a Map Amendment, New Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Lot 8 - The Corporate Reserve of St. Charles**

WHEREAS, on or about October 15, 2015, Corporate Reserve Development Partners, LLC, (the "Applicant" and "Record Owner"), filed petitions for 1) Map Amendment from O-R Office/Research District to the RS-4 Suburban Single Family Residential District, 2) Amendment to Special Use for Planned Unit Development Ordinance No. 2008-Z-18 "An Ordinance Rezoning Property and Granting a Special Use as a Planned Unit Development for Corporate Reserve of St. Charles PUD (A Portion of the West Gateway PUD)", 3) PUD Preliminary Plan, and 4) Final Plat of Subdivision, all for the real estate legally described on Exhibit "A" attached hereto and incorporated herein (the "Subject Property"), for the purpose of constructing 78 single-family homes; and,

WHEREAS, on or about May 5, 2008, the City Council passed and approved Ordinance No. 2008-Z-18 "An Ordinance Rezoning Property and Granting a Special Use as a Planned Unit Development for Corporate Reserve of St. Charles PUD (A Portion of the West Gateway PUD)" which ordinance approved a planned unit development named Corporate Reserve of St. Charles PUD, of which the Subject Property is a part; and,

WHEREAS, from and after the date of passage and approval of this Ordinance, Ordinance No. 2008-Z-18 shall be null, void and of no further force or effect with respect to the Subject Property; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Amendment to Special Use for Planned Unit Development was published on or about October 31, 2015 in a newspaper having general circulation within the City, to-wit, the Kane County Chronicle newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about November 17, 2015 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision petitions on or about November 17, 2015; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of said petitions on or about December 14, 2015; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the O-R Office/Research District to the RS-4 Suburban Single Family Residential District, and the Findings of Fact for Map Amendment attached hereto and incorporated herein as Exhibit "B" are expressly adopted by the corporate authorities of the City.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant's petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit "C", which is attached hereto and incorporated herein.

4. That the Special Use for Planned Unit Development heretofore granted with respect to the Subject Property by Ordinance No. 2008-Z-18 "An Ordinance Rezoning Property and Granting a Special Use as a Planned Unit Development for Corporate Reserve of St. Charles PUD (A Portion of the West Gateway PUD)", which ordinance approved a planned unit development, shall be null, void and of no further force or effect with respect to the Subject Property.

5. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit "D", and Final Plat of Subdivision, incorporated herein as Exhibit "E", such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- PUD Preliminary Plan
  - Site Improvement Plans; Wills Burke Kelsey Associates, LTD; dated 1/7/2016
  - Catchment Area Map; Wills Burke Kelsey Associates, LTD; dated 9/29/2015
  - Topography Maps; Wills Burke Kelsey Associates, LTD; dated 9/30/2015 and 9/29/2015
  - Preliminary Plat; Wills Burke Kelsey Associates, LTD; dated 12/21/2015
- Final Plat of Subdivision; Control Point Engineering, LLC; dated 9/19/2015

6. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. **Zoning:** The Subject Property shall be subject to the requirements of the RS-4 Suburban Single Family Residential District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the "PUD Deviations" attached hereto and incorporated herein as Exhibit "F".
- b. **Fence:** The fence along the rear property lines of lots backing up to Woodward Dr. (Lots 1-7 and Lots 41-46) shall be of a uniform height and design, as show on the PUD Preliminary Plan.
- c. **Owners' Association:** The Applicant shall create one or more Owners' Associations and create a Declaration of Covenants, Conditions & Restrictions that clearly identifies all responsibilities of the Owners Associations with respect to the use, maintenance and continued protection of common open space and improvements in the Subject Property, including, but not limited to, stormwater management facilities. The Declaration shall also include a "monotony code" that regulates the building architecture and modifications to the building architecture following the initial construction of the development. Such "monotony code" shall include the types of regulations listed in the "Summary of Monotony Code Regulations" attached hereto and incorporated herein as Exhibit "G". Such Declaration shall be in a form reasonably acceptable to the City and shall be recorded immediately following the recording of the Final Plat of Subdivision for the Subject Property.
- d. **Special Service Area:** Following a recording of the Final Plat of Subdivision, the City shall initiate the formation of a Special Service Area for the purpose of maintaining and repairing stormwater management facilities and other facilities serving the Subject Property. The Record Owner shall not sell or transfer ownership of any individual single-family lots within the Subject Property until such Special Service Area has been established. Such Special Service Area shall be of perpetual duration with a maximum rate sufficient to provide for maintenance, repair, and reconstruction of such facilities. Such Special Service Area may provide for maintenance by the City in the event that stormwater management facilities or other facilities are not adequately maintained by the Owner or successors.
- e. **School and Park Contributions:** The Applicant has agreed to convey, and the St. Charles Park District has agreed to accept, the 1.02 acre parcel at the southeast corner of the Subject Property, shown as "Outlot 1" on the Final Plat of Subdivision, and the 0.17 acre parcel providing a trail connection at the west side of the Subject Property, shown as "Outlot 2" on the Final Plat of Subdivision. The remainder of the Park and School contribution shall be provided as cash in lieu of



land contribution in accordance with the provisions of Title 16 of the St. Charles Municipal Code, as the same may be amended from time to time.

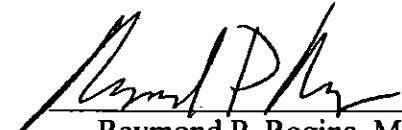
- f. **Inclusionary Housing:** The Applicant shall not be required to provide Affordable Units or a fee in-lieu thereof, due to the suspension of the Inclusionary Housing Ordinance, Ch. 17.18 of the St. Charles Zoning Ordinance, Title 17 of the St. Charles Municipal Code, as of the date of passage of this Ordinance.

7. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 19th day of January, 2016.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 19th day of January, 2016.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 19th day of January, 2016.

  
 \_\_\_\_\_  
 Raymond P. Rogina, Mayor

Attest:

  
 \_\_\_\_\_  
 Nancy Garrison, City Clerk

Vote:

Ayes: 10

Nays: 0

Absent: 0

Abstain: 0

Date: \_\_\_\_\_

APPROVED AS TO FORM:

\_\_\_\_\_  
 City Attorney

DATE: \_\_\_\_\_



**EXHIBIT "A"**

**LEGAL DESCRIPTION**

LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 28, 2009 AS DOCUMENT NUMBER 2009K005931, IN KANE COUNTY, ILLINOIS.

## **EXHIBIT "B"**

### **FINDINGS OF FACT FOR MAP AMENDMENT**

**1. The existing uses and zoning of nearby property.**

The existing uses of nearby property include single family attached residential, open space, industrial business park, and undeveloped land. Zoning of nearby properties include RM-1 Mixed Medium Density Residential, PL Public Land, O-R Office/Research, and BC Community Business.

**2. The extent to which property values are diminished by the existing zoning restrictions.**

The subject property value is diminished under the current zoning and will increase in value if the proposed zoning within the jurisdiction of the City of St. Charles is granted. Values of surrounding properties will not be diminished based on the proposed zoning amendment.

**3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.**

The current zoning of the subject property does not produce any perceptible public benefits.

**4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.**

The property is currently zoned O-R Office/Research under the jurisdiction of the City of St. Charles. The development of the property under the O-R Office/Research zoning classification is physically feasible; however, the applicant finds current market conditions to be more favorable to the development of single family homes rather than office/industrial use.

**5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.**

Corporate Reserve north of Woodward Drive was rezoned from BC Community Business to O-R Office/Research in 2008, when the PUD for the site was approved.

**6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district.**

Market analyses of the subject property have determined that single-family housing would be a viable and desirable use for the property.

**7. The consistency of the proposed amendment with the City's Comprehensive Plan.**

The City's Comprehensive Plan calls out Industrial/Business Park for the Subject Property, however, it also lists Single Family Detached Residential as an alternative land use to Industrial/Business Park, which is consistent with the proposed amendment.

**8. Whether the proposed amendment corrects an error or omission in the Zoning Map.**

The proposed amendment does not correct an error or omission in the Zoning Map.

**9. The extent to which the proposed amendment creates nonconformities.**

The proposed amendment will create minor nonconformities with the new zoning.

**10. The trend of development, if any, in the general area of the property in question.**

The frontage between IL Route 64 and Woodward Drive, from Peck Road to Oak Street, has been slow to develop. To the west of the site, north of Woodward Drive, is Remington Glen, a townhome development, approved as RM-1 zoning in 2004. To the east of the site, north of Woodward Drive, is Regency Estates. Regency Estates was originally approved in 2006 as a townhome development, however, construction of the townhomes units halted. The development was then acquired by a new homebuilder and a PUD change to single family was approved in 2011 (the zoning district remained RM-1). The home builder executed a complete buildout of small lot residential with minimum lot sizes of 5,000 square feet. Remington Glen, however, still has remaining lots where townhomes have not been built. The most recent and successful trend of development in the area is for small lot single family residential homes.

## EXHIBIT "C"

### CRITERIA FOR PLANNED UNIT DEVELOPMENTS

- i. **The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
1. **To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**

The proposed Corporate Reserve neighborhood has a strong sense of place with well-defined boundaries including open space, trails and Woodard Drive. The public park creates an active meeting location for neighbors. The proposed Corporate Reserve neighborhood is also well connected to adjacent and nearby residential communities and other community amenities via a regional trail system that borders the south and west edges. The proposed neighborhood is connected to the nearby Great Western Trail and to the Peck Road trail that terminates at James O. Breen Community Park.

2. **To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**

Lot 8 of the Corporate Reserve provides a sidewalk network on both sides of internal streets to promote connection and walkability within the development. Trail connections are provided at strategic locations to provide pedestrian connections from the development to the external sidewalk and trail network. A trail connection is provided between lots 14 and 15 for access to the existing north-south (Nicor) trail which connects to the Great Western Trail to the north of the property. An additional path is provided north of the proposed public neighborhood park to provide access to the sidewalk/path system along Woodward Drive, making other open space and recreational facilities, such as Renaux Manor Park and James O. Breen Community Park, easily accessible to Lot 8 residents.

Additionally, a 1.02 acre public park site is located along Woodward Drive at the southeast corner of Lot 8. The park is intentionally placed at an exterior location of the site in order to best serve residents of adjacent neighborhoods.

3. **To encourage a harmonious mix of land uses and a variety of housing types and prices.**

Lot 8 of the Corporate Reserve will provide single family homes whose character is harmonious with existing surrounding land uses.

4. **To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**

There are no environmentally sensitive areas that exist on Lot 8 of the Corporate Reserve. The subject site has been previously mass graded and improved with stormwater management basins and utilities.

**5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**

Lot 8 of the Corporate Reserve will bring an increased density of residents to a concentration of retailers and commercial establishments in the City. This new neighborhood will provide a great deal of additional revenue opportunities for local businesses to help invigorate local retailers in the area as well as increase future tax revenue to the City.

Lot 8 of the Corporate Reserve effectively utilizes existing infrastructure. Proposed utilities for the development will tie into existing infrastructure along Woodward and Cardinal Drive. Stormwater drainage from the site will be carried to existing detention basins either on or adjacent to the property. Street improvements for the development will be continued from existing curb cuts off of Woodward and Cardinal Drives.

**6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**

The proposed Lot 8 development will establish a desirable land use on an otherwise underutilized property. The development is highly favored by nearby homeowners as evidenced in a petition from residents of the Remington Glen and Regency Estates neighborhoods submitted to the City in June 2015.

**7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

Corporate Reserve Development Partners has prioritized working positively and collaboratively with community stakeholders, including residents from the Remington Glen and Regency Estates adjacent neighborhoods, the St. Charles Park District, and various departments, boards, and commissions from the City of St. Charles from the beginning of the development process. Efforts such as resident meetings, site visits with the Park District, and collaboration meetings with staff were held to ensure all parties are satisfied with the end product of the development process.

**ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

**A. Conforming to the requirements would inhibit creative design that serves community goals, or**

**B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

**Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:**

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

Lot 8 of the Corporate Reserve provides a 1.02 acre community park space, landscaping, buffering, and screening, and efficient site design that conforms to the standards listed above. With the requested minimal variations from a few of the RS-4 standards, the development will still comply with the spirit and intent of the above listed standards. The residential development as proposed provides usable internal open space and access to nearby off-site amenities via regional trail connections.

**iii. The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):**

**A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

The proposed Special Use will serve the public convenience through the addition of community park space. The proposed Lot 8 of the Corporate Reserve will provide a 1.02 acre park as part of the site improvements. The park is intentionally located at the southeast corner of the site, exterior to the proposed street network, to allow residents from nearby subdivisions, such as Remington Glen and Regency Estates, to easily access the proposed park.

- B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

Adequate and sufficient utilities, access roads, drainage, and other necessary facilities will be provided as part of the site improvements to the property.

- C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity. Values of surrounding properties will not be diminished based on the proposed Special Use.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. The establishment of the proposed Special Use will not impede the normal and orderly development and improvement of the surrounding property.**

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The establishment, maintenance, and operation of the proposed Special Use will not be detrimental to or endanger the public health, safety, comfort, or general welfare.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The proposed Special Use conforms to all existing Federal, State, and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

Lot 8 of the Corporate Reserve brings an increased density of residents to a concentration of retailers and commercial establishments in the City. This provides a great deal of additional revenue opportunities for local businesses to help invigorate local retailers in the area as well as increased future tax revenue to the City.



**v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The City's Comprehensive Plan calls out Industrial/Business Park for the subject property, however, lists Single Family Detached Residential as an alternative land use to Industrial/Business Park, which is consistent with the proposed amendment.

**EXHIBIT "D"**

**PUD PRELIMINARY PLAN  
(42 pages)**

# SITE IMPROVEMENT PLANS FOR CORPORATE RESERVE SUBDIVISION OF LOT 8

ST CHARLES, ILLINOIS

WBK PROJECT NO. 140256

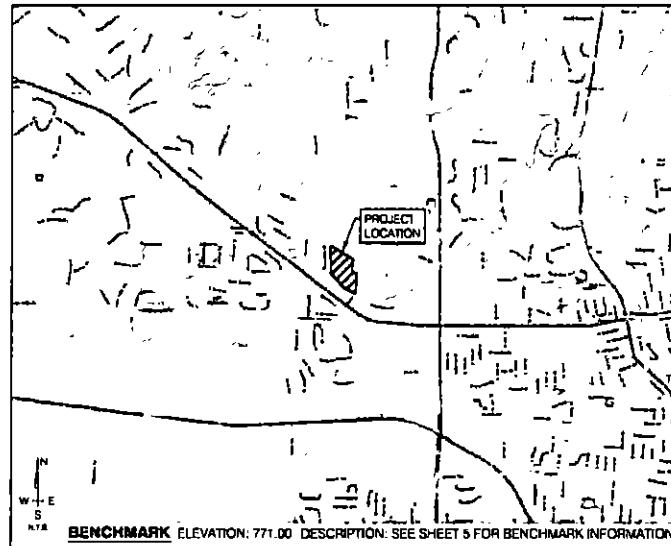
### PLAN LEGEND

EXISTING	LINE TYPES	PROPOSED
	THIN LINE	
	STORM SEWER	
	SEWER MAIN (ON SITE)	
	WATER MAIN (ON SITE)	
	PIPE TRENCH (BACKFILL)	
	ROAD MARK	
	TELEPHONE LINE	
	ELECTRIC LINE	
	FENCE	
	RIGHT-OF-WAY	
	EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	SEWER MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	PISTON	
	SEWER STRUCTURE	
	LINE STRUCTURE	
	PRESSURE CONNECTION	
	VALVE AT WALK, VALVE UP	
	VALVE AT WALK, VALVE DOWN	
	UTILITY POLE	
	CONCRETE PILE	
	WELL	
	WELL ELEVATION	
	ENCLOSURE FLOW VELOCITY	
	CHANGING SLOPE	
	TRIP PAVEMENT IN	
	TRIP PAVEMENT IN	
	TRIP PAVEMENT IN	
	TRIP PAVEMENT IN	

### PERMITS

AGENCY	DATE	PERMIT #

### LOCATION MAP



### SHEET INDEX

#	TITLE	DESCRIPTION
1	CV1	COVER SHEET
2-4	GM1-GM3	GENERAL NOTES AND SPECIFICATIONS
5	EC1	EXISTING CONDITIONS AND DEMOLITION PLAN
6-7	GM1-GM2	GEOMETRIC PLAN
8	CV1	OVERALL UTILITY PLAN
8-12	GM1-GM2	UTILITY PLAN
13-16	GR1-GR4	GRADING AND DRAINAGE PLAN
17-23	PP1-PP7	PLAN AND PROFILES
24	SP1	SIGNAGE LIGHTING AND PAVEMENT MARKING PLAN
25-27	LPI-LP3	LANDSCAPING PLAN
28-29	SW1-SW2	STORMWATER POLLUTION PREVENTION PLAN
30-32	SE1-SE3	SOIL EROSION SEDIMENTATION CONTROL PLAN
33-37	DT1-DT5	DETAILS

### REVISIONS

ORIGINAL PLAN DATE: 10-08-2015			
#	SHEET #	DESCRIPTION	DATE
1	ALL	PER CITY REVIEW LETTER DATED 11-13-15	1-7-16

### CLIENT

CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC  
270 ST. PAUL STREET, #300  
DENVER, COLORADO 80206

### CIVIL ENGINEER

*Kristine E. Meyer* 1/17/2016  
KRYSTINE E. MEYER P.E.  
ILLINOIS REGISTRATION NO.: 002-002817  
EXPIRATION DATE: 11/2020  
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER.

### LANDSCAPE ARCHITECT

*Greg J. Brown* 1/17/2016  
GREGORY J. BROWN  
ILLINOIS REGISTRATION NO.: 184-002097  
EXPIRATION DATE: 04/30/2017  
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ARCHITECT.



CALL J.U.L.I.E. 1-800-892-0123  
48 HOURS BEFORE YOU DIG  
CITY OF ST. CHARLES, KANE COUNTY  
SW 1/4 SECTION 29 140N, R8E



### WILLS BURKE KELSEY ASSOCIATES LTD.

116 WEST MAIN STREET, SUITE 201, ST. CHARLES, ILLINOIS 60174  
P: 630.443.7755 F: 630.443.0533 WWW.WBKENGINEERING.COM

PROFESSIONAL DESIGN FIRM NO. 184-002097  
EXPIRATION DATE: 04/30/2017

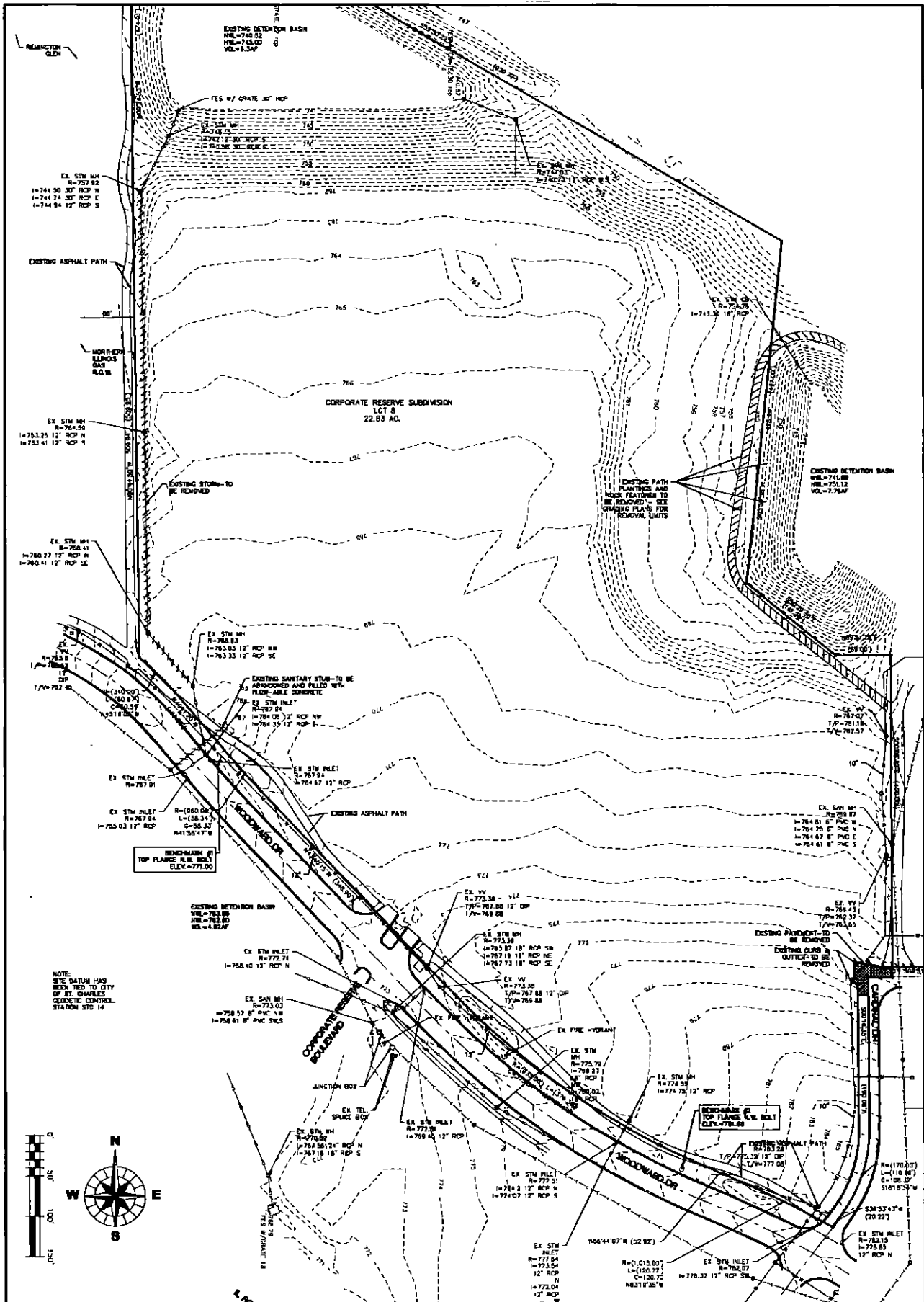




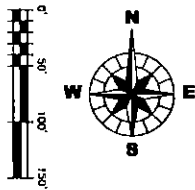
- WATERMAIN NOTES**
- PIPE MATERIAL: WATERMAINS SHALL BE CONSTRUCTED OF A BUTYRADIUM COATED, CEMENT LINED DUCTILE IRON PIPE, CLASS 92, CONFORMING ANSI A15.1 (MPPMA C181), CEMENT MORTAR LINING SHALL CONFORM TO ANSI A15.1 (MPPMA C181). THE JOINTS SHALL BE PUSH ON COMPRESSION GASKET JOINTS. ALL DUCTILE IRON WATER MAIN AND FITTINGS SHALL BE POLYETHYLENE TUBE ENCASED, BRASS WEDGES ARE REQUIRED ON THE MAIN BELOW GRADE. WATERMAIN CALLED OUT AS HOPE WATERMAIN SHALL BE CONSTRUCTED OF A HIGH-PERFORMANCE HOPE PE4710 RESIN MATERIAL, WITH A CR OF 17, CONFORMING TO ASTM D2956.
  - FITTINGS: ALL FITTINGS SHALL BE OF DUCTILE IRON WITH CEMENT MORTAR LINING AND MECHANICAL JOINTS CONFORMING TO ANSI A15.1 (MPPMA C181).
  - JOINT RESTRAINT: ALL MECHANICAL JOINT FITTINGS SHALL HAVE RESTRAINING GLANDS INSTALLED. RESTRAINT DEVICE SHALL BE SUPPLIED BY FORD COMPANY OR EQUIVALENT BY CHAS. RUSH. FLUSH JOINT PIPE RESTRAINT SHALL BE FIELD LOCK GASKETS BY FORD OR RUSH. THE MEDALUS OR BEARS AND PIPE RESTRAINT BY FORD. LENGTHS OF PIPE RESTRAINT SHALL BE DETERMINED FROM MANUFACTURERS' INSTALLATION SPECIFICATIONS (REFER TO WATERMAIN RESTRAINT DETAIL).
  - WATER SERVICES: WATER SERVICE PIPE, 2" IN DIAMETER SHALL BE DUCTILE IRON PIPE, CEMENT LINED, CLASS 92, CONFORMING ANSI A15.1 (MPPMA C181).
  - VALVES: GATE VALVES SHALL BE USED ON ALL WATERMAINS, 4" THROUGH 14" DIAMETER SHALL BE RIGHT-HAND CLOSING RESILIENT WEDGE GATE VALVES, CONFORMING TO ANPA STANDARD CLASS AS MANUFACTURED BY THE CLOW CORPORATION, HATFIELD COMPANY OR APPROVED EQUAL.
  - VALVE VAULTS: VALVE VAULTS SHALL BE PRECAST CONCRETE STRUCTURES PER THE CITY OF ST. CHARLES ENGINEERING DETAIL SHOWING ON STD. THE FRAME AND LID SHALL BE MINIMUM 6" (1.5") OR EQUAL WITH ST. CHARLES WATER EMBEDDED ON THE LID.
  - FIRE HYDRANTS: FIRE HYDRANTS SHALL CONFORM TO AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARD 100. LINES LATERAL SERVICE AND SHALL BE A MINIMUM 2" SHOW ON THE PLANS AND APPROVED BY THE CITY OF ST. CHARLES. FIRE HYDRANTS SHALL BE INSTALLED WITH AN ALTERNATE VALVE AND TRENCH ADAPTER VALVE BOX. THE PLUMBER CONNECTION SHALL FACE HEADWORK. HYDRANTS SHALL BE MODEL# SLURP CERTURON JOB WATERWORKS MODEL 9847-276 ON CLOW INSTALLATION. REFER TO DETAIL.
- PROVIDE AND INSTALL FOUR MEDALUS JOINT RESTRAINTS AT EACH JOINT FROM THE MAINLINE TEE TO THE ALTERNATE VALVE, AND BETWEEN THE ALTERNATE VALVE AND HYDRANT MAINLINE.
- ALL HYDRANTS SHALL HAVE A MECHANICAL JOINT CONNECTION IS 1/2" VALVE OPENING IF COVER OVER HYDRANT LATERAL, IF VALVE ON THE LATERAL, HYDRANT BODY BRANDING HYDRANT LOCATOR INSTALLED. VALVE BOX SHALL HAVE A VALVE BOX STABILIZER INSTALLED. (VALVE BOX ADAPTOR #2, TYPE A AS MADE BY ADAPTOR INC. OR APPROVED EQUAL).
- CORROSION STOPS: CORROSION STOPS SHALL BE COUNTER SINK FITTINGS MODEL# B-20026A (3/4", 1-1/2", 2") FORD FB199A-04M, 1" FORD FB188A-04M, 1-1/2" FORD FB187A-04M, F. A.Y. MACDONALD 749-1480 (1", 1-1/2", 2") OR AS BEARS BONES.
  - CLUB STOPS: CLUB STOPS SHALL BE COMPRESSION FITTINGS MODEL# 8491848 (1", 1-1/2", 2"), FORD B44444-04M, 1", FORD B44444-04M, 1-1/2", FORD B44777-04M, 2", A.Y. MACDONALD 749-1480 (1", 1-1/2", 2") OR AS BEARS BONES.
  - CLUB BOX: MINNEAPOLIS PATTERN, LID MARKED "WATER".
  - BUFFALO TYPE BOX FOR 1" THROUGH 14" SHALL BE 16500 COPPER SERVICE, AND A.Y. MACDONALD 881-1147.
  - MAXIMUM DEFLECTION AT PIPE JOINTS SHALL BE IN ACCORDANCE WITH PIPE MANUFACTURERS' CURRENT RECOMMENDATIONS AND AWWA SPECIFICATIONS.
  - BEDDING: ALL WATERMAINS SHALL BE BEDDED ON 4" AIR DRY DRY CRUSHED LIMESTONE BEDDING PER THE CITY OF ST. CHARLES STANDARD OR TAL ON STD.
  - GRANULAR BEDDING MATERIAL OR GRANULAR BACKFILL MATERIAL SHALL BE CAREFULLY PLACED TO IT OVER THE TOP OF THE PIPE BEFORE FINAL BACKFILLING AND COMPACTION.
  - A MINIMUM DEPTH OF COVER OF FIVE (5) FEET SHALL BE MAINTAINED OVER THE WATER LINES. THE MAXIMUM DEPTH SHALL BE TEN (10) FEET. VARIATIONS FROM THESE STANDARDS WILL REQUIRE APPROVAL OF ST. CHARLES ENGINEERING DIVISION.
  - PRE-CAST CONCRETE THROTTLE BLOCKS SHALL BE INSTALLED ON WATERMAINS AT ALL BENDS, OF 22.5° AND LARGER.
  - EPA WATERMAIN PROTECTION
    - HORIZONTAL SEPARATION
      - WATERMAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED TRENCH SYSTEM SEWER, SANITARY SEWER OR SEWER SERVICE CONNECTION.
      - WATERMAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN:
        - LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET;
        - THE WATERMAIN IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND
        - THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH OR AN UNDISTURBED EARTH BENCH LOCATED TO ONE SIDE OF THE SEWER.
    - BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATERMAIN BEYOND THE POINT OF THE CONNECTION PRIOR. IT IS IMPERATIVE TO MEET ALL OR IN ABOVE. THE DRAIN OR SEWER SHALL BE PRESURE TESTED TO THE MAXIMUM EXPECTED BURST PRESSURE HEAD BEFORE BACKFILLING.

- VERTICAL SEPARATION
    - A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER PRIOR TO ANY WATERMAIN CROSS STREET SEWER. SANITARY SEWER OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSING. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.
    - BOTH THE WATERMAIN AND SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO THE WATERMAIN STANDARD OF CONSTRUCTION WHEN:
      - IT IS IMPERATIVE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (A) ABOVE; OR
      - THE WATERMAIN PASSES UNDER A SEWER OR DRAIN.
    - A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER SEWER, SUPPORT THE SEWER OR DRAIN LINED TO PREVENT SETTLING AND DRAINING TO THE WATERMAIN.
    - CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN IS AT LEAST TEN FEET.
12. ALL WATERMAINS SHALL BE PRESURE TESTED, FLUSHED AND INSPECTED IN ACCORDANCE WITH AWWA C900 & C905, CITY OF ST. CHARLES ENGINEERING DESIGN & SPECIFICATION MANUAL AND STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN SLUDGES. ALL CIVILIAN LEASAGE IS TO BE ONLY THAT WHICH IS PREDETERMINED BY THE STANDARD SPECIFICATIONS FOR SEWER AND WATERMAIN CONSTRUCTION IN SLUDGES. AT NO TIME IS THERE TO BE ANY VERBIL LEASAGE FROM THE MAIN.
13. ALL WATERMAIN THAT NEED TO BE SHUTDOWN FOR ANY REASON MUST BE COORDINATED WITH THE CITY OF ST. CHARLES WATER DIVISION 48 HOURS IN ADVANCE OF THE WORK.

<b>CORPORATE RESERVE SUBDIVISION OF LOT 8</b>																					
<b>GENERAL NOTES AND SPECIFICATIONS</b>																					
<table border="1"> <tr><td>DATE</td><td>DATE</td></tr> <tr><td>ISSUE</td><td>ISSUE</td></tr> <tr><td>REVISED</td><td>REVISED</td></tr> <tr><td>BY</td><td>BY</td></tr> <tr><td>DATE</td><td>DATE</td></tr> </table>	DATE	DATE	ISSUE	ISSUE	REVISED	REVISED	BY	BY	DATE	DATE	<table border="1"> <tr><td>SCALE: IN</td><td>SCALE: IN</td></tr> <tr><td>DATE</td><td>DATE</td></tr> <tr><td>DATE</td><td>DATE</td></tr> <tr><td>DATE</td><td>DATE</td></tr> <tr><td>DATE</td><td>DATE</td></tr> </table>	SCALE: IN	SCALE: IN	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
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<p>CLIENT: <b>CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206 PHONE NUMBER</b></p> <p><b>WILLS BURKE RELBY ASSOCIATES LTD 118 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 489-1750</b></p>																					
PROJECT NO. 14028																					
DATE 10-28-2014																					
DRAWING NO. 4-00-00																					
SHEET																					
<b>GN3</b>																					



NOTE:  
SITE DATUM HAS  
BEEN TIED TO CITY  
OF ST. CHARLES  
GEODESIC CONTROL  
STATION STD 14

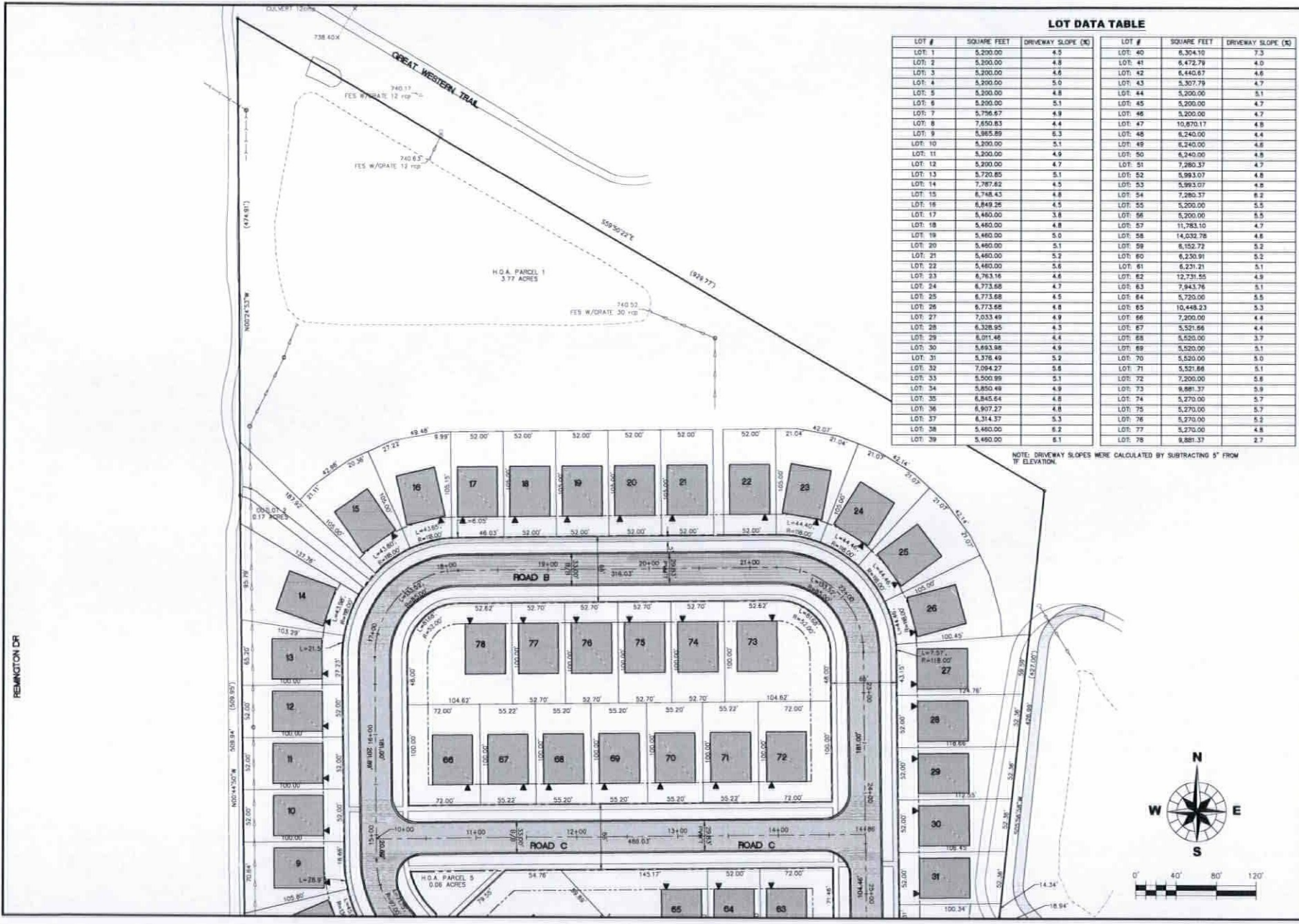


**WILLS BURKE KELSEY ASSOCIATES LTD.**  
118 West Main Street, Suite 201  
St. Charles, Illinois 60174  
(630) 443-7755

**CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**  
270 ST. PAUL STREET, #300  
DENVER, COLORADO 80206  
PHONE NUMBER

DOOR	ASL
DOWN	J&E
CHRD	J&L
SCALE:	1" = 30'
DATE:	PER CITY REVIEW LETTER DATED 11-12-18
NEL:	NATURE OF REVISION

**CORPORATE RESERVE SUBDIVISION OF LOT 8**  
**EXISTING CONDITIONS AND DEMOLITION PLAN**



**LOT DATA TABLE**

LOT #	SQUARE FEET	DRIVEWAY SLOPE (%)	LOT #	SQUARE FEET	DRIVEWAY SLOPE (%)
LOT: 1	5,200.00	4.5	LOT: 40	6,304.10	7.3
LOT: 2	5,200.00	4.8	LOT: 41	6,472.79	4.0
LOT: 3	5,200.00	4.6	LOT: 42	6,440.67	4.6
LOT: 4	5,200.00	5.0	LOT: 43	5,307.79	4.7
LOT: 5	5,200.00	4.8	LOT: 44	5,200.00	5.1
LOT: 6	5,200.00	5.1	LOT: 45	5,200.00	4.7
LOT: 7	5,796.67	4.9	LOT: 46	5,200.00	4.7
LOT: 8	7,650.83	4.4	LOT: 47	10,870.17	4.8
LOT: 9	5,365.89	6.3	LOT: 48	6,240.00	4.4
LOT: 10	5,200.00	5.1	LOT: 49	6,240.00	4.6
LOT: 11	5,200.00	4.9	LOT: 50	6,240.00	4.8
LOT: 12	5,200.00	4.7	LOT: 51	7,280.37	4.7
LOT: 13	5,720.85	5.1	LOT: 52	5,993.07	4.8
LOT: 14	7,787.62	4.5	LOT: 53	5,993.07	4.8
LOT: 15	6,748.43	4.8	LOT: 54	7,280.37	6.2
LOT: 16	6,849.26	4.5	LOT: 55	5,200.00	5.5
LOT: 17	5,460.00	3.8	LOT: 56	5,200.00	5.5
LOT: 18	5,460.00	4.8	LOT: 57	11,763.10	4.7
LOT: 19	5,460.00	5.0	LOT: 58	14,032.76	4.6
LOT: 20	5,460.00	5.1	LOT: 59	6,152.72	5.2
LOT: 21	5,460.00	5.2	LOT: 60	6,230.91	5.2
LOT: 22	5,460.00	5.6	LOT: 61	6,231.21	5.1
LOT: 23	6,763.16	4.6	LOT: 62	12,731.55	4.9
LOT: 24	6,773.68	4.7	LOT: 63	7,943.76	5.1
LOT: 25	6,773.68	4.5	LOT: 64	5,720.00	5.5
LOT: 26	9,773.68	4.8	LOT: 65	10,448.23	5.3
LOT: 27	7,033.49	4.9	LOT: 66	7,200.00	4.4
LOT: 28	6,328.95	4.3	LOT: 67	5,521.66	4.4
LOT: 29	6,011.48	4.4	LOT: 68	5,520.00	3.7
LOT: 30	5,693.98	4.9	LOT: 69	5,520.00	5.1
LOT: 31	5,376.49	5.2	LOT: 70	5,520.00	5.0
LOT: 32	7,094.27	5.8	LOT: 71	5,521.66	5.1
LOT: 33	5,500.99	5.1	LOT: 72	7,200.00	6.8
LOT: 34	5,260.49	4.9	LOT: 73	9,981.37	5.8
LOT: 35	6,845.64	4.8	LOT: 74	5,270.00	5.7
LOT: 36	6,907.27	4.8	LOT: 75	5,270.00	5.7
LOT: 37	6,314.37	5.3	LOT: 76	5,270.00	5.2
LOT: 38	5,460.00	6.2	LOT: 77	5,270.00	4.8
LOT: 39	5,460.00	6.1	LOT: 78	9,881.37	2.7

NOTE: DRIVEWAY SLOPES WERE CALCULATED BY SUBTRACTING 5" FROM IF ELEVATION.

**CORPORATE RESERVE SUBDIVISION OF LOT B GEOMETRIC PLAN**

CLIENT: **WILLS BURKE KELSEY ASSOCIATES LTD.**  
 1414 N. 14th St., Suite 201  
 St. Charles, Illinois 60174  
 (630) 443-7755

DEVELOPER: **CORPORATE RESERVE PARTNERS, LLC**  
 270 ST. PAUL STREET, #300  
 DENVER, CO 80206  
 PHONE NUMBER

PROJECT NO. 140206  
 DATE: 10-08-2013  
 DRAWING NO. 8 OF 28  
 SHEET: **GM1**



**CORPORATE RESERVE SUBDIVISION  
OF LOT 6**

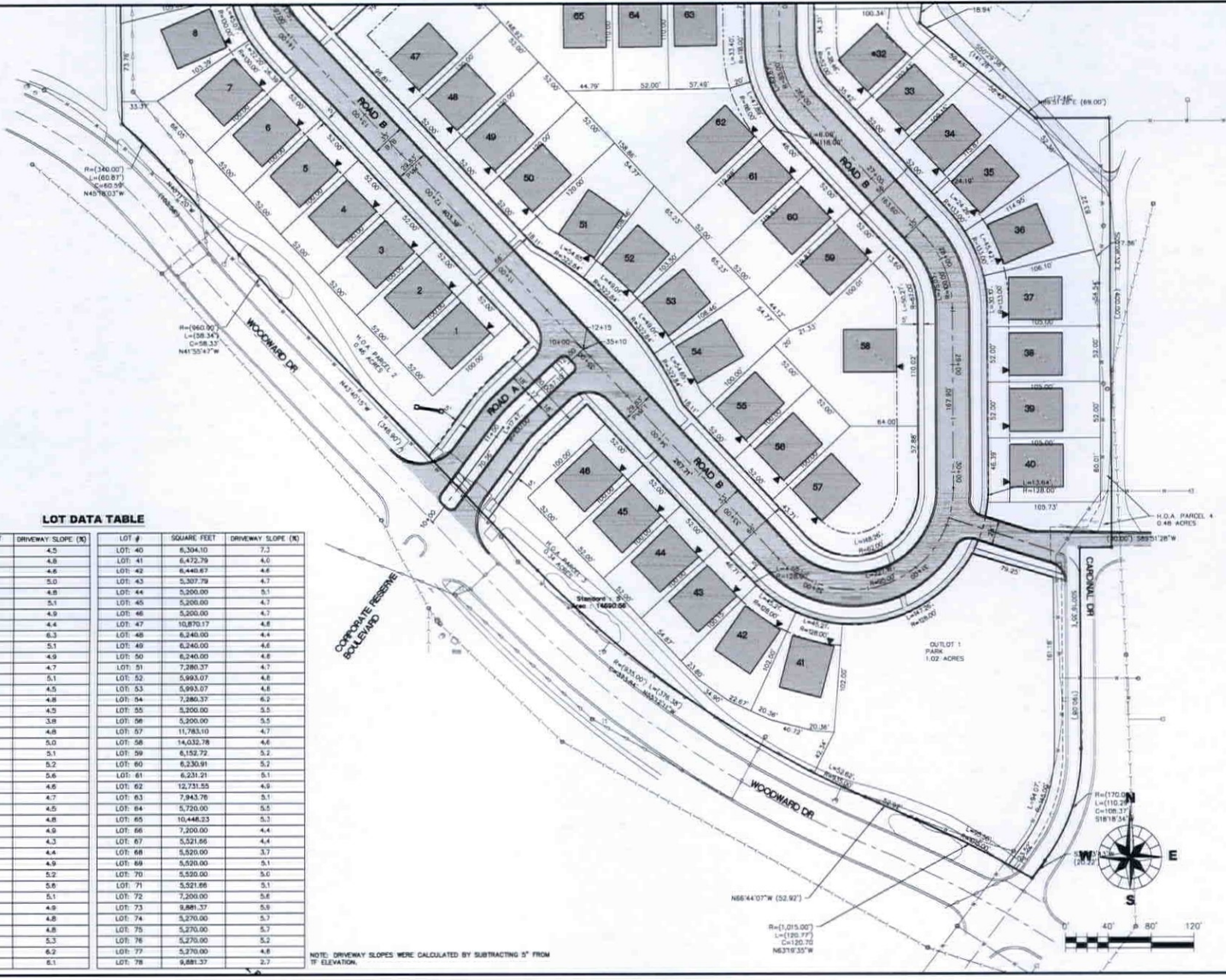
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			1" = 40'
DRAWN BY: [Signature]			
CHECKED BY: [Signature]			
DATE: [Date]			

**WILLS BURKE KESEY ASSOCIATES LTD**  
 110 West Main Street, Suite 201  
 St. Charles, Illinois 60174  
 (830) 443-7755

**CLIENT:** CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC  
 2716 S. W. 10th Ave., Denver, Colorado 80206  
**PHONE NUMBER:**

PROJECT NO. 140206  
 DATE: 10/08/2010  
 DRAWING NO. 7 OF 36  
 SHEET: **GM2**

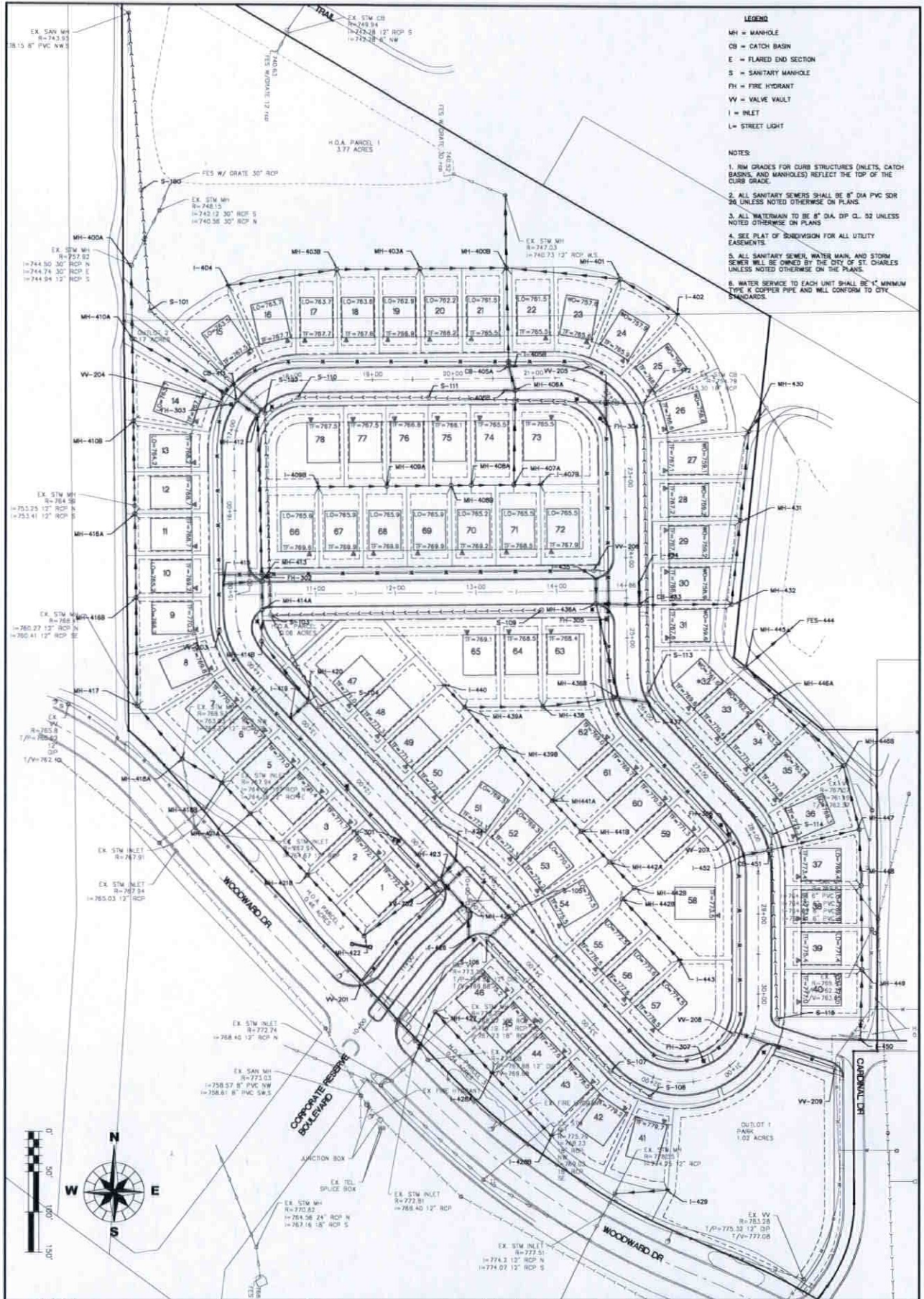
**GEOMETRIC PLAN**



**LOT DATA TABLE**

LOT #	SQUARE FEET	DRIVEWAY SLOPE (%)	LOT #	SQUARE FEET	DRIVEWAY SLOPE (%)
LOT: 1	5,200.00	4.5	LOT: 40	6,304.10	7.3
LOT: 2	5,200.00	4.8	LOT: 41	6,472.79	4.6
LOT: 3	5,200.00	4.8	LOT: 42	6,448.87	4.8
LOT: 4	5,200.00	5.0	LOT: 43	5,307.79	4.7
LOT: 5	5,200.00	4.8	LOT: 44	5,200.00	5.1
LOT: 6	5,200.00	5.1	LOT: 45	5,200.00	4.7
LOT: 7	5,796.67	4.9	LOT: 46	5,200.00	4.7
LOT: 8	7,650.83	4.4	LOT: 47	10,870.17	4.8
LOT: 9	5,965.89	6.3	LOT: 48	6,240.00	4.4
LOT: 10	5,200.00	5.1	LOT: 49	6,240.00	4.8
LOT: 11	5,200.00	4.9	LOT: 50	6,240.00	4.8
LOT: 12	5,200.00	4.7	LOT: 51	7,380.37	4.7
LOT: 13	5,720.85	5.1	LOT: 52	5,993.07	4.8
LOT: 14	7,787.82	4.5	LOT: 53	5,993.07	4.8
LOT: 15	6,748.43	4.8	LOT: 54	7,380.37	6.0
LOT: 16	6,849.26	4.5	LOT: 55	5,200.00	5.5
LOT: 17	5,480.00	3.8	LOT: 56	5,200.00	5.5
LOT: 18	5,480.00	4.8	LOT: 57	11,783.10	4.7
LOT: 19	5,460.00	5.0	LOT: 58	14,032.78	4.8
LOT: 20	5,460.00	5.1	LOT: 59	6,152.72	5.2
LOT: 21	5,460.00	5.2	LOT: 60	6,230.91	5.2
LOT: 22	5,460.00	5.6	LOT: 61	6,231.51	5.1
LOT: 23	6,763.16	4.8	LOT: 62	12,731.55	4.9
LOT: 24	6,773.88	4.7	LOT: 63	7,943.76	5.1
LOT: 25	6,773.88	4.5	LOT: 64	5,720.00	5.5
LOT: 26	6,773.88	4.8	LOT: 65	10,448.23	5.3
LOT: 27	7,033.49	4.9	LOT: 66	7,200.00	4.4
LOT: 28	6,336.95	4.3	LOT: 67	5,521.66	4.4
LOT: 29	6,011.46	4.4	LOT: 68	5,520.00	3.7
LOT: 30	5,693.98	4.9	LOT: 69	5,520.00	5.1
LOT: 31	5,376.49	5.2	LOT: 70	5,520.00	5.0
LOT: 32	7,094.27	5.8	LOT: 71	5,521.66	5.1
LOT: 33	5,500.99	5.1	LOT: 72	7,200.00	5.8
LOT: 34	5,850.49	4.9	LOT: 73	9,881.37	5.9
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LOT: 37	6,314.37	5.3	LOT: 76	5,270.00	5.2
LOT: 38	5,460.00	6.2	LOT: 77	5,270.00	4.8
LOT: 39	5,460.00	6.1	LOT: 78	9,881.37	5.7

NOTE: DRIVEWAY SLOPES WERE CALCULATED BY SUBTRACTING 5" FROM 1% ELEVATION.



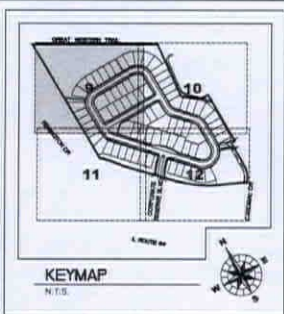
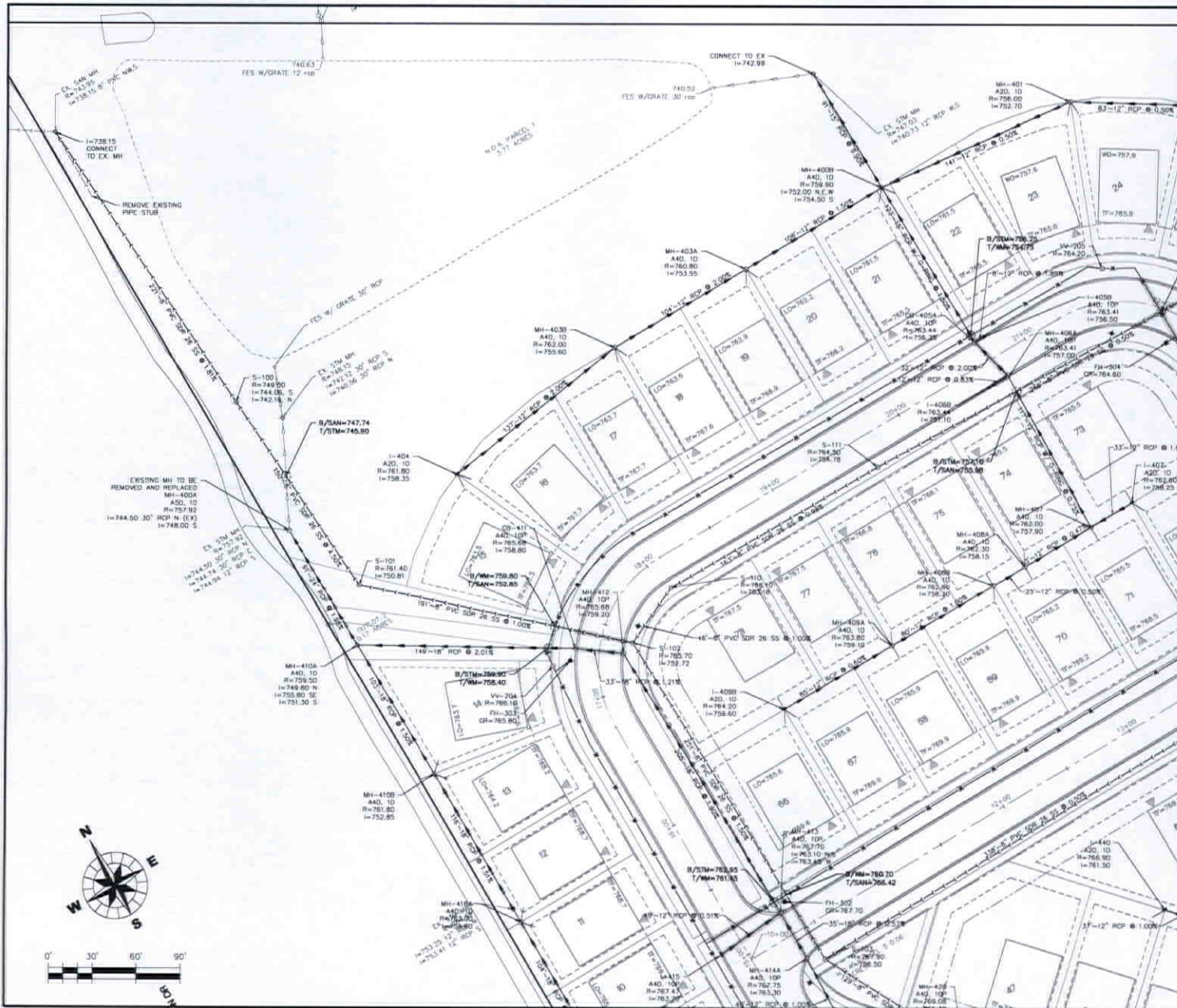
**LEGEND**

MH = MANHOLE  
 CB = CATCH BASIN  
 E = FLARED END SECTION  
 S = SANITARY MANHOLE  
 FH = FIRE HYDRANT  
 W = VALVE VAULT  
 I = INLET  
 L = STREET LIGHT

**NOTES**

1. R/W GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.
2. ALL SANITARY SEWERS SHALL BE 8" DIA PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS.
3. ALL WATERMAIN TO BE 8" DIA CP CL. 52 UNLESS NOTED OTHERWISE ON PLANS.
4. SEE PLAT OF SUBDIVISION FOR ALL UTILITY EASEMENTS.
5. ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER WILL BE OWNED BY THE CITY OF ST. CHARLES UNLESS NOTED OTHERWISE ON THE PLANS.
6. WATER SERVICE TO EACH UNIT SHALL BE 1/2" MINIMUM TYPE K COPPER PIPE AND WILL CONFORM TO CITY STANDARDS.

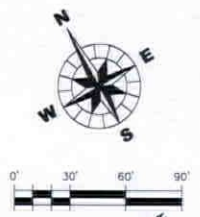
	<b>WILLS BURKE KELSEY ASSOCIATES LTD.</b> 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755	<b>CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC</b> 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206 PHONE NUMBER	DSOR: JBL DWN: JBL CHSD: JOL SCALE: 1" = 100' DATE: 11-13-15 PER CITY REVIEW LETTER DATED 11-13-15 NATURE OF REVISION:	<b>CORPORATE RESERVE SUBDIVISION OF LOT 8</b>  <b>OVERALL UTILITY PLAN</b>
	PROJECT NO. 09/1 DATE: 11/13/15 DRAWN BY: JBL CHECKED BY: JOL	PROJECT NO. 09/1 DATE: 11/13/15 DRAWN BY: JBL CHECKED BY: JOL	PROJECT NO. 09/1 DATE: 11/13/15 DRAWN BY: JBL CHECKED BY: JOL	PROJECT NO. 09/1 DATE: 11/13/15 DRAWN BY: JBL CHECKED BY: JOL



- LEGEND**
- MH = MANHOLE
  - CB = CATCH BASIN
  - E = FLARED END SECTION
  - S = SANITARY MANHOLE
  - FH = FIRE HYDRANT
  - W = VALVE VAULT
  - I = INLET
  - 10P = NEEHAH R-3281-A CURB FRAME AND GRATE FOR B.612
  - 11P = NEEHAH R-3506-A2 CURB FRAME AND GRATE DEPRESSED
  - 1C = NEEHAH R-1713-C FRAME WITH CLOSED LID
  - 1D = NEEHAH R-1713 FRAME AND GRATE (OPEN LID)
- INDICATES PIPE CROSSING  
 INDICATES PIPE CONFLICT  
 TRENCH BACKFILL

- STRUCTURE NUMBER  
 TYPE OF STRUCTURE  
 TYPE OF FRAME & LID  
 RM ELEVATION  
 DIAMETER SIZE  
 INVERT ELEVATION AND DIRECTION

- NOTES:**
1. RM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.
  2. ALL SANITARY SEWERS SHALL BE 8" DIA. PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS. ALL SANITARY MANHOLES TO BE 48" DIAMETER WITH NEEHAH R-1713 FRAME AND CLOSED LID. PROVIDE EXTERNAL CHIMNEY SEALS AFTER FINAL GRADE ADJUSTMENT.
  3. ALL WATERMAIN TO BE 8" DIA. DP CL 52 UNLESS NOTED OTHERWISE ON PLANS.
  4. SEE PLAT OF SUBDIVISION FOR ALL UTILITY EASEMENTS.
  5. ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER WILL BE OWNED BY THE CITY OF ST. CHARLES UNLESS NOTED OTHERWISE ON THE PLANS.
  6. WATER SERVICE TO EACH UNIT SHALL BE 1" MINIMUM TYPE K COPPER PIPE AND WILL CONFORM TO CITY STANDARDS.
  7. CONTRACTORS TO PROVIDE ADDITIONAL FITTINGS AS NECESSARY TO (NO 90 DEGREE FITTINGS WILL BE ALLOWED) DEFLECT WATERMAIN ALONG STREET CURVES WITHOUT EXCEEDING MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION AT PIPE JOINTS. (MINIMUM RADIUS OF CURVATURE TO BE OBTAINED BY PIPE JOINTS ONLY-260c.)
  8. TRENCH BACKFILL SHOWN FOR MAINLINE SANITARY, STORM AND WATER ONLY. TRENCH BACKFILL REQUIRED FOR SANITARY AND WATER SERVICES AND CONDUITS THAT CROSS PROPOSED PAVEMENT EVEN THOUGH IT IS NOT SHOWN.
  9. SOME SANITARY SERVICE CONNECTIONS WILL REQUIRE RISER TO AVOID CONFLICT WITH OTHER UTILITIES.
  10. ALL STORM SEWER SHALL BE REINFORCED CONCRETE PIPE AND A MINIMUM OF 12" IN DIAMETER. THE CLASS OF STORM SEWER PIPE SHALL CONFORM TO THE CHART IN SECTION 500 OF THE SDRBC FOR TYPE I OR TYPE II CONSTRUCTION. ALL FLARED END SECTIONS SHALL BE REINFORCED CONCRETE.
  11. ALL SUMP CONNECTIONS ARE 10"-6" PVC SCH 40.

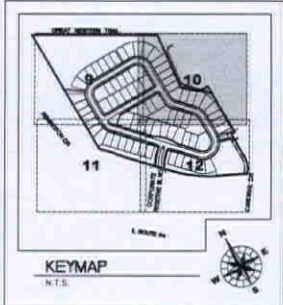
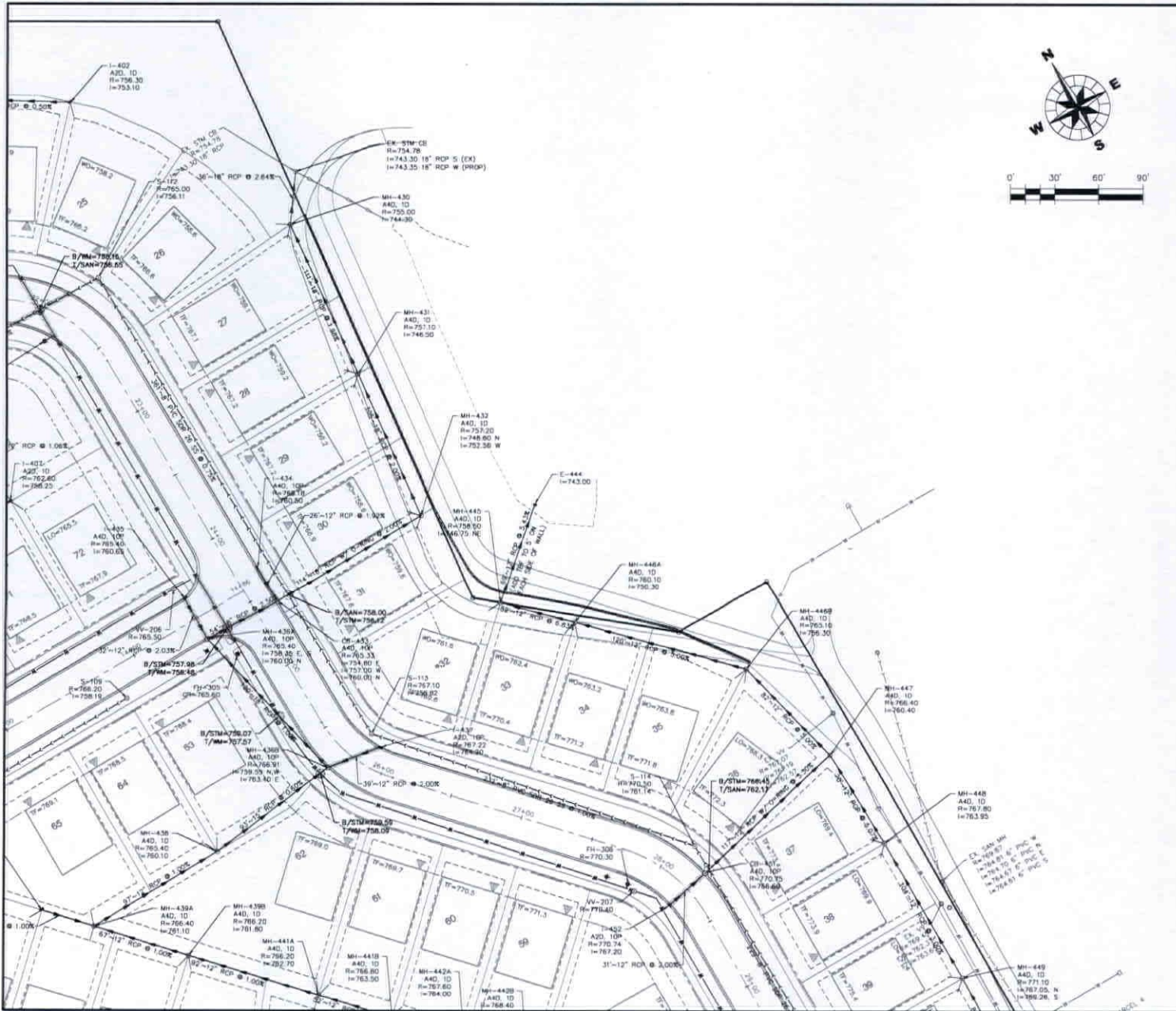


**CORPORATE RESERVE SUBDIVISION OF LOT B UTILITY PLAN**

CLIENT: **CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**  
 1100 PULASKI AVENUE, SUITE 1000  
 DENVER, COLORADO 80202  
 PHONE NUMBER: 303-733-1100

CLIENT: **WILLS BURKE KELSEY ASSOCIATES LTD**  
 1115 West Main Street, Suite 201  
 St. Charles, Illinois 60174  
 (630) 443-7755

PROJECT NO. 140396  
 DATE: 10-08-2015  
 DRAWING NO. 9 OF 34  
 SHEET: **UT1**



- LEGEND**
- MH = MANHOLE
  - CB = CATCH BASIN
  - E = FLARED END SECTION
  - S = SANITARY MANHOLE
  - FH = FIRE HYDRANT
  - VV = VALVE VAULT
  - I = INLET
  - 10P = NEEHAH R-3281-A CURB FRAME AND GRATE FOR B.612
  - 11P = NEEHAH R-3506-A2 CURB FRAME AND GRATE DEPRESSED
  - 1C = NEEHAH R-1713-C FRAME WITH CLOSED LID
  - 1D = NEEHAH R-1713 FRAME AND GRATE (OPEN LID)
- INDICATES PIPE CONFLICT WATER MAIN CROSSING
 INDICATES PIPE CROSSING
- TRENCH BACKFILL

- NOTES:**
1. RM GRASSES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.
  2. ALL SANITARY SEWERS SHALL BE 8" DIA PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS. ALL SANITARY MANHOLES TO BE 48" DIAMETER WITH NEEHAH R-1713 FRAME AND CLOSED LID. PROVIDE EXTERNAL CHIMNEY SCALE AFTER FINAL GRADE ADJUSTMENT.
  3. ALL WATERMAIN TO BE 8" DIA. DWP CL. 52 UNLESS NOTED OTHERWISE ON PLANS.
  4. SEE PLAN OF SUBDIVISION FOR ALL UTILITY EASEMENTS.
  5. ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER WILL BE OWNED BY THE CITY OF ST. CHARLES UNLESS NOTED OTHERWISE ON THE PLANS.
  6. WATER SERVICE TO EACH UNIT SHALL BE 1" MINIMUM TYPE K COPPER PIPE AND WILL CONFORM TO CITY STANDARDS.
  7. CONTRACTORS TO PROVIDE ADDITIONAL FITTINGS AS NECESSARY TO (NO 90 DEGREE FITTINGS WILL BE ALLOWED) DEFLECT WATERMAIN ALONG STREET CURVES WITHOUT EXCEEDING MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION AT PIPE JOINTS (MINIMUM RADIUS OF CURVATURE TO BE OBTAINED BY PIPE JOINTS ONLY-250c.).
  8. TRENCH BACKFILL SHOWN FOR MAINLINE SANITARY, STORM AND WATER ONLY. TRENCH BACKFILL REQUIRED FOR SANITARY AND WATER SERVICES AND CONDUITS THAT CROSS PROPOSED PAVEMENT EVEN THOUGH IT IS NOT SHOWN.
  9. SOME SANITARY SERVICE CONNECTIONS WILL REQUIRE RISER TO AVOID CONFLICT WITH OTHER UTILITIES.
  10. ALL STORM SEWER SHALL BE REINFORCED CONCRETE PIPE AND A MINIMUM OF 12" IN DIAMETER. THE CLASS OF STORM SEWER PIPE SHALL CONFORM TO THE CHART IN SECTION 550 OF THE SDRC FOR TYPE I OR TYPE II CONSTRUCTION. ALL FLARED END SECTIONS SHALL BE REINFORCED CONCRETE.
  11. ALL SUMP CONNECTIONS ARE 10"-6" PVC SCH 40.

**UTILITY PLAN**

**CORPORATE RESERVE SUBDIVISION OF LOT 8**

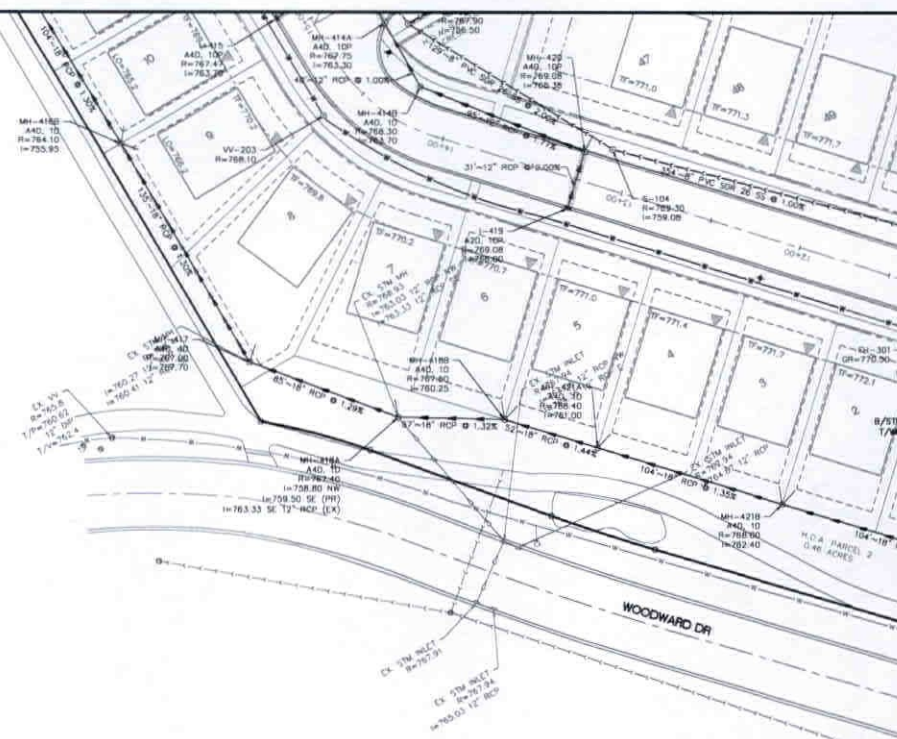
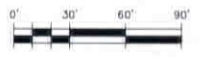
DRAWN: [ ] DATE: [ ]  
 CHECKED: [ ] DATE: [ ]  
 SCALE: 1" = 20'  
 PROJECT NO. 1600-38  
 SHEET 14 OF 14

**CLIENT:**  
**WILLS BURKE KELSEY ASSOCIATES LTD**  
 116 West Main Street, Suite 201  
 St. Charles, Illinois 60174  
 (630) 443-7755

**PHONE NUMBER**  
 44-111-98

**UT2**

10' 30' 60' 90'



KEYMAP  
N.T.S.

- LEGEND**
- MH = MANHOLE
  - CB = CATCH BASIN
  - E = FLARED END SECTION
  - S = SANITARY MANHOLE
  - PH = FIRE HYDRANT
  - VV = VALVE VAULT
  - I = INLET
  - 10P = NEENAH R-3281-A CURB FRAME AND GRATE FOR B.612
  - 11P = NEENAH R-3506-A2 CURB FRAME AND GRATE DEPRESSION
  - 1C = NEENAH R-1713-C FRAME WITH CLOSED LID
  - 1D = NEENAH R-1713 FRAME AND GRATE (OPEN LID)
  - ⊗ INDICATES PIPE CONFLICT
  - ⊙ INDICATES PIPE CROSSING
  - ⊖ WATER MAIN LOWERING
  - ▨ TRENCH BACKFILL

TYPE OF STRUCTURE	STRUCTURE NUMBER	TYPE OF FRAME & LID	RM ELEVATION
B = FLAT TOP	MH-10	48" x 48"	748.50
DIAMETER SIZE			INVERT ELEVATION AND DIRECTION

- NOTES:**
- RM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.
  - ALL SANITARY SEWERS SHALL BE 8" DIA PVC SDR 35 UNLESS NOTED OTHERWISE ON PLANS. ALL SANITARY MANHOLES TO BE 48" DIAMETER WITH NEENAH R-1713 FRAME AND CLOSED LID. PROVIDE EXTERNAL CHIMNEY SEALS AFTER FINAL GRADE ADJUSTMENT.
  - ALL WATERMAIN TO BE 8" DIA, DWP CL. S2 UNLESS NOTED OTHERWISE ON PLANS.
  - SEE PLAT OF SUBDIVISION FOR ALL UTILITY EASEMENTS.
  - ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER WILL BE OWNED BY THE CITY OF ST. CHARLES UNLESS NOTED OTHERWISE ON THE PLANS.
  - WATER SERVICE TO EACH UNIT SHALL BE 1" MINIMUM TYPE K COPPER PIPE AND WILL CONFORM TO CITY STANDARDS.
  - CONTRACTORS TO PROVIDE ADDITIONAL FITTINGS AS NECESSARY TO (NO 90 DEGREE FITTINGS WILL BE ALLOWED) DEFLECT WATERMAIN ALONG STREET CURVES WITHOUT EXCEEDING MANUFACTURER'S RECOMMENDED MAXIMUM COLLECTION AT PIPE JOINTS (MINIMUM RADIUS OF CURVATURE TO BE OBTAINED BY PIPE JOINTS ONLY-250'-.)
  - TRENCH BACKFILL SHOWN FOR MANLINE, SANITARY, STORM AND WATER ONLY. TRENCH BACKFILL REQUIRED FOR SANITARY AND WATER SERVICES AND CONDUITS THAT CROSS PROPOSED PAVEMENT EVEN THOUGH IT IS NOT SHOWN.
  - SOME SANITARY SERVICE CONNECTIONS WILL REQUIRE RISER TO AVOID CONFLICT WITH OTHER UTILITIES.
  - ALL STORM SEWER SHALL BE REINFORCED CONCRETE PIPE AND A MINIMUM OF 12" IN DIAMETER. THE CLASS OF STORM SEWER PIPE SHALL CONFORM TO THE CHART IN SECTION 550 OF THE SDR30 FOR TYPE I OR TYPE II CONSTRUCTION. ALL FLARED END SECTIONS SHALL BE REINFORCED CONCRETE.
  - ALL SUMP CONNECTIONS ARE 10"-6" PVC SCH 40.

TITLE  
**CORPORATE RESERVE SUBDIVISION OF LOT 8**

UTILITY PLAN

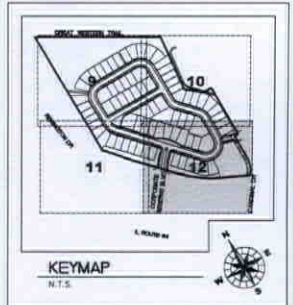
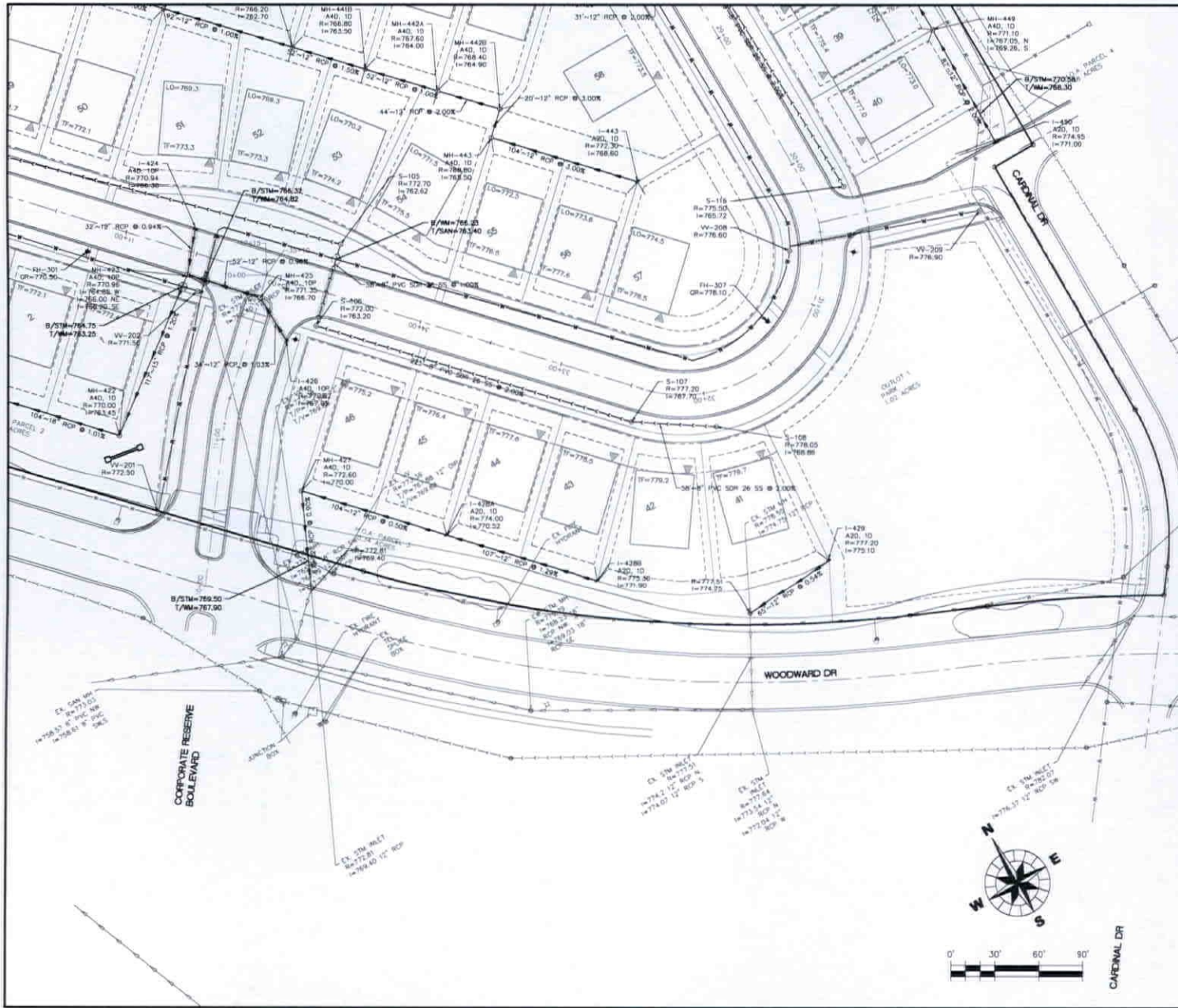
NO.	DATE	DESCRIPTION	BY	SCALE
1				1" = 30'

CLIENT  
**CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC  
1115 WEST MAIN STREET, SUITE 201  
ST. CHARLES, ILLINOIS 60174  
PHONE NUMBER (630) 443-7755**

DESIGNER  
**WILLS BURKE KELSEY ASSOCIATES LTD.  
118 West Main Street, Suite 201  
St. Charles, Illinois 60174  
(630) 443-7755**

PROJECT NO. 140256  
DATE: 03-08-2015  
DRAWING NO. 110P-30  
SHEET

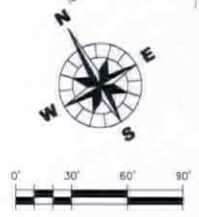
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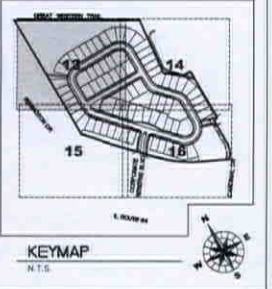
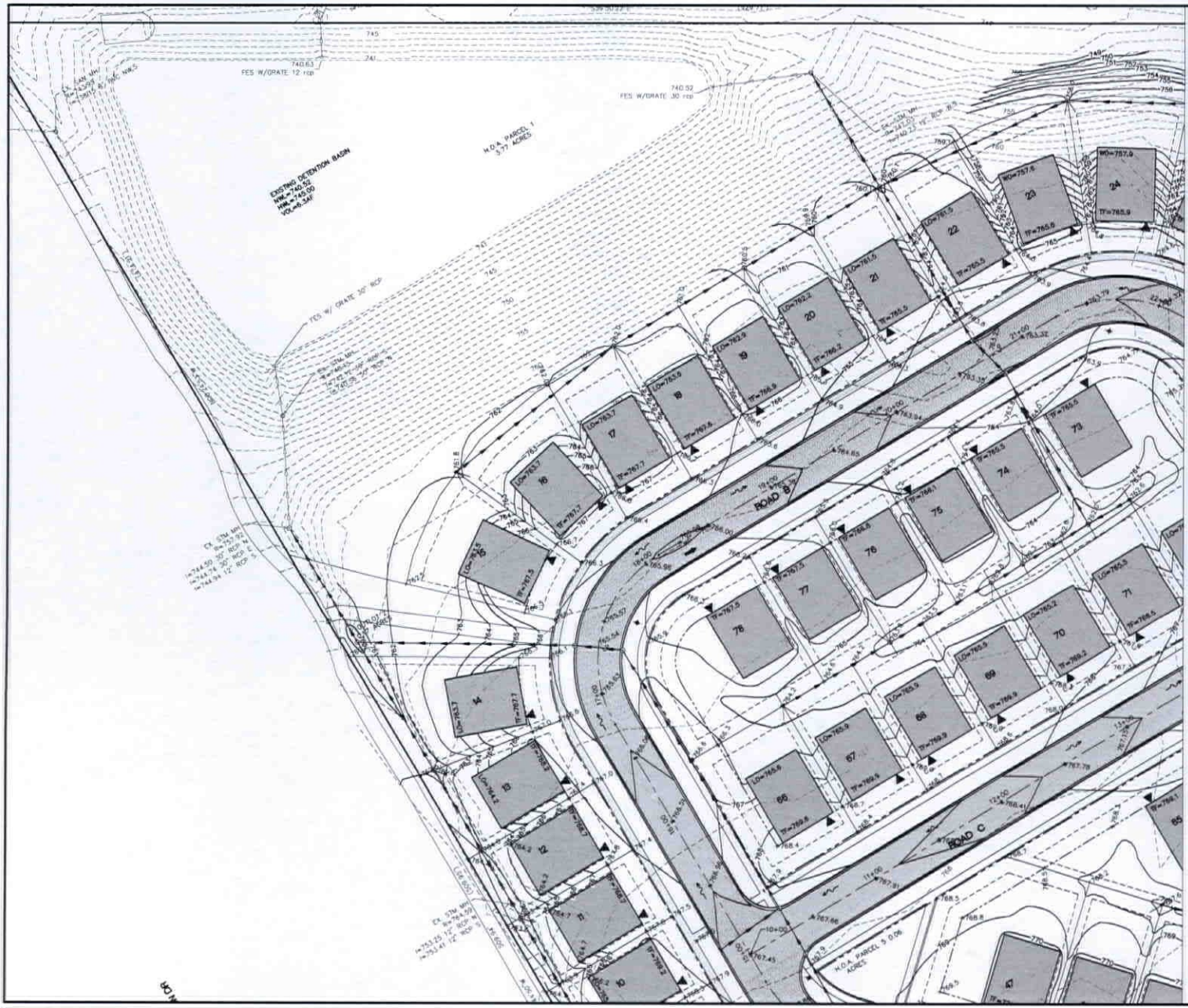
- LEGEND**
- MH = MANHOLE
  - CB = CATCH BASIN
  - E = FLARED END SECTION
  - S = SANITARY MANHOLE
  - PH = FIRE HYDRANT
  - VV = VALVE VAULT
  - I = INLET
- 10P = NEENAH R-3281-A CURB FRAME AND GRATE FOR B.612  
 11P = NEENAH R-3508-A2 CURB FRAME AND GRATE DEPRESSED  
 1C = NEENAH R-1713-C FRAME WITH CLOSED LID  
 1D = NEENAH R-1713 FRAME AND GRATE, (OPEN LID)
- INDICATES PIPE CONFLICT  
 ○ INDICATES PIPE CROSSING
- ▬ WATER MAIN LOWERING  
 ▬ TRENCH BACKFILL

TYPE OF STRUCTURE	STRUCTURE NUMBER	TYPE OF FRAME & LID
MH-10	A40, 10	RM ELEVATION
B	740.50	INVERT ELEVATION AND DIRECTION
DIAMETER SIZE OF STRUCTURE		

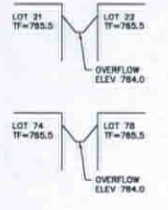
- NOTES:**
1. RIM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.
  2. ALL SANITARY SEWERS SHALL BE 8" DIA PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS. ALL SANITARY MANHOLES TO BE 48" DIAMETER WITH NEENAH (H-1713) FRAME AND CLOSED LID. PROVIDE EXTERNAL CHIMNEY SEALS AFTER FINAL GRADE ADJUSTMENT.
  3. ALL WATERMAIN TO BE 8" DIA. DIP CL. 52 UNLESS NOTED OTHERWISE ON PLANS.
  4. SEE PLAT OF SUBDIVISION FOR ALL UTILITY EASEMENTS.
  5. ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER WILL BE OWNED BY THE CITY OF ST. CHARLES UNLESS NOTED OTHERWISE ON THE PLANS.
  6. WATER SERVICE TO EACH UNIT SHALL BE 1" MINIMUM TYPE K COPPER PIPE AND WILL CONFORM TO CITY STANDARDS.
  7. CONTRACTORS TO PROVIDE ADDITIONAL FITTINGS AS NECESSARY TO (NO 90 DEGREE FITTINGS WILL BE ALLOWED) DEFLECT WATERMAIN ALONG STREET CURVES WITHOUT EXCEEDING MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION AT PIPE JOINTS (MINIMUM RADIUS OF CURVATURE TO BE OBTAINED BY PIPE JOINTS ONLY-260.4).
  8. TRENCH BACKFILL SHOWN FOR MAINLINE SANITARY, STORM AND WATER ONLY. TRENCH BACKFILL REQUIRED FOR SANITARY AND WATER SERVICES AND CONDUITS THAT CROSS PROPOSED PAVEMENT EVEN THOUGH IT IS NOT SHOWN.
  9. SOME SANITARY SERVICE CONNECTIONS WILL REQUIRE RISER TO AVOID CONFLICT WITH OTHER UTILITIES.
  10. ALL STORM SEWER SHALL BE REINFORCED CONCRETE PIPE AND A MINIMUM OF 12" IN DIAMETER. THE CLASS OF STORM SEWER PIPE SHALL CONFORM TO THE CHART IN SECTION 550 OF THE OSBRC FOR TYPE I OR TYPE II CONSTRUCTION. ALL FLARED END SECTIONS SHALL BE REINFORCED CONCRETE.
  11. ALL SUMP CONNECTIONS ARE 10"-6" PVC SDY 40.



<b>CORPORATE RESERVE SUBDIVISION OF LOT 8 UTILITY PLAN</b>																					
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">PERSON</td> <td style="width: 25%;">DATE</td> <td style="width: 25%;">REVISION</td> <td style="width: 25%;">BY</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	PERSON	DATE	REVISION	BY					<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;"><b>CORPORATE RESERVE ASSOCIATES LTD.</b></td> </tr> <tr> <td colspan="2" style="text-align: center;">DEVELOPMENT PARTNERS, LLC</td> </tr> <tr> <td colspan="2" style="text-align: center;">270 ST. PAUL STREET, SUITE 100</td> </tr> <tr> <td colspan="2" style="text-align: center;">DENVER, CO 80206</td> </tr> <tr> <td colspan="2" style="text-align: center;">PHONE NUMBER</td> </tr> <tr> <td colspan="2" style="text-align: center;">(303) 443-7755</td> </tr> </table>	<b>CORPORATE RESERVE ASSOCIATES LTD.</b>		DEVELOPMENT PARTNERS, LLC		270 ST. PAUL STREET, SUITE 100		DENVER, CO 80206		PHONE NUMBER		(303) 443-7755	
PERSON	DATE	REVISION	BY																		
<b>CORPORATE RESERVE ASSOCIATES LTD.</b>																					
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(303) 443-7755																					
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">CLIENT</td> <td style="width: 50%;">PROJECT NO.</td> </tr> <tr> <td>WILLS BURVE KELSEY ASSOCIATES LTD.</td> <td>140236</td> </tr> <tr> <td>1145 West Main Street, Suite 201</td> <td>DATE: 10-08-2015</td> </tr> <tr> <td>St. Charles, Illinois 60174</td> <td>DRAWING NO. 120938</td> </tr> <tr> <td>(630) 443-7755</td> <td>SHEET:</td> </tr> </table>		CLIENT	PROJECT NO.	WILLS BURVE KELSEY ASSOCIATES LTD.	140236	1145 West Main Street, Suite 201	DATE: 10-08-2015	St. Charles, Illinois 60174	DRAWING NO. 120938	(630) 443-7755	SHEET:										
CLIENT	PROJECT NO.																				
WILLS BURVE KELSEY ASSOCIATES LTD.	140236																				
1145 West Main Street, Suite 201	DATE: 10-08-2015																				
St. Charles, Illinois 60174	DRAWING NO. 120938																				
(630) 443-7755	SHEET:																				
<b>UT4</b>																					



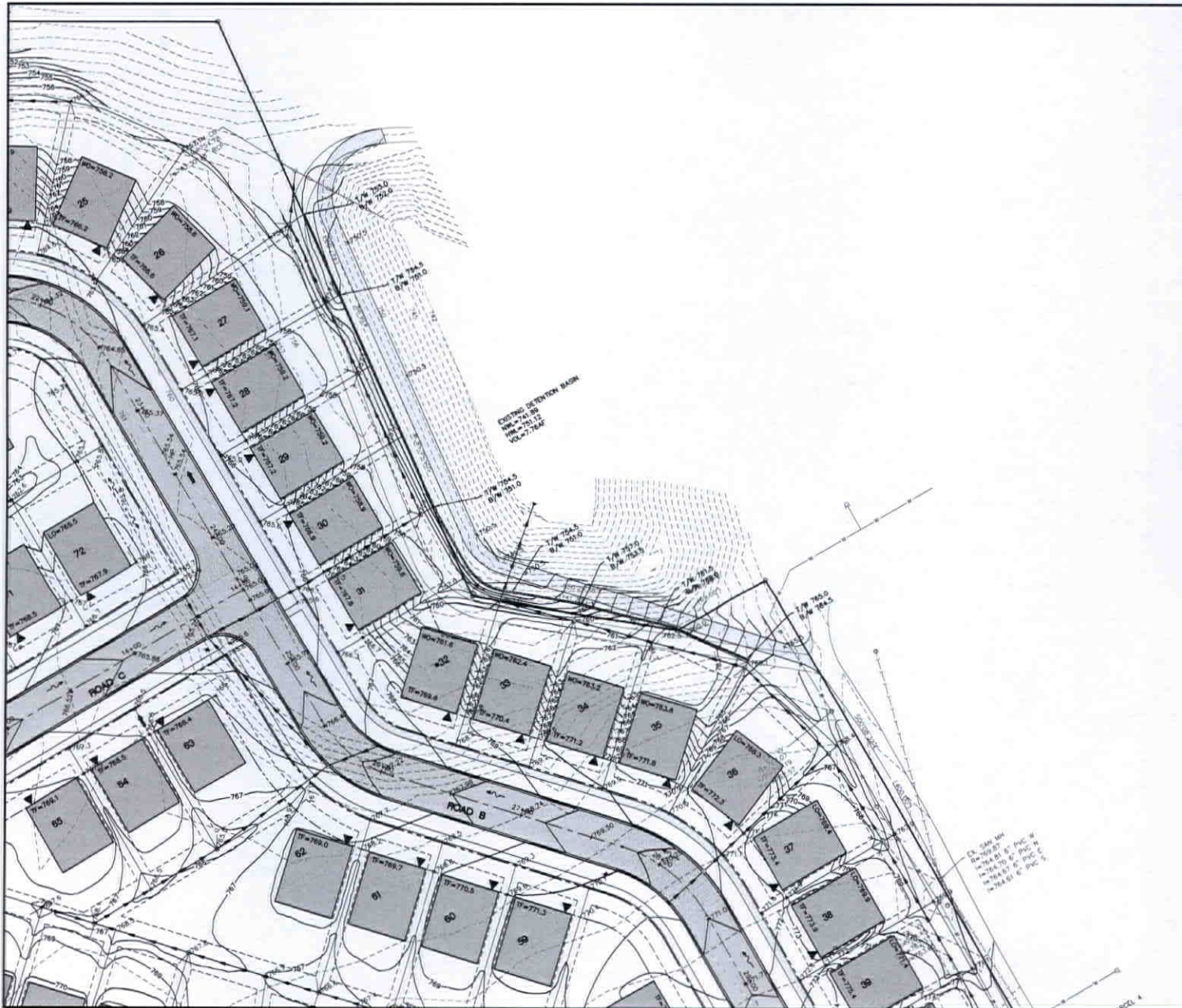
- NOTES:**
1. ALL UNPAVED AREAS WITHIN THE STREET RIGHT-OF-WAY SHALL BE SEEDED.
  2. REFER TO DETAIL SHEETS FOR TYPICAL PAVEMENT SECTION AND TYPICAL LOT GRADING.
  3. MAXIMUM SIDE SLOPES OF DETENTION BASIN ARE 4:1.
  4. SEE SHEET SP1 FOR SPECIFICATIONS.
  5. OVERFLOW ROUTE:
  6. FLOW DIRECTION:
  7. SPOT GRADE: 3/4" MIN.
- ALL SPOT GRADES REPRESENT FINISHED GRADE, OR BACK OF CURB FINISHED GRADE UNLESS OTHERWISE NOTED.
8. EF = EDGE OF PAVEMENT GRADE  
 IF = FIN GRADING/SPOT GRADES FOR STORM STRUCTURE  
 IN THE CURB REPRESENT THE FLOW LINE OF THE SLUTTER.  
 TF = PROPOSED TOP OF FOUNDATION ELEVATION  
 LO = PROPOSED LOOK-OUT ELEVATION  
 WC = PROPOSED WALK-OUT ELEVATION  
 PLO = PROPOSED PARTIAL LOOK-OUT ELEVATION  
 GF = PROPOSED GARAGE FLOOR ELEVATION  
 DS = PROPOSED DROP SIDING
9. FINISHED GRADE SHALL BE 4" BELOW TF UNLESS NOTED.
  10. RESURFAC 6" TOPSOIL IN ALL DISTURBED GRASS AREAS.
  11. APPROXIMATE DRIVEWAY LOCATION:
  12. FOR DEMOLITION OF EXISTING STRUCTURES SEE ECI.
  13. GARAGE FLOOR IS 0.5' BELOW TF UNLESS NOTED.
  14. MAX ROADWAY CENTERLINE SLOPE IS 2.00%. ALL SIDEWALKS AND SIDEWALK RAMPS SHALL CONFORM TO ADA/PROWAG STANDARDS.



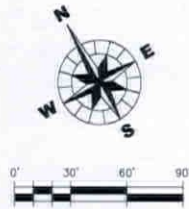
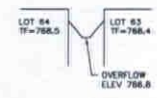
CORPORATE RESERVE SUBDIVISION OF LOT 8		GRADING AND DRAINAGE PLAN	
NO. 1	DATE	BY	CHECKED
NO. 2	DATE	BY	CHECKED
NO. 3	DATE	BY	CHECKED
NO. 4	DATE	BY	CHECKED
NO. 5	DATE	BY	CHECKED
NO. 6	DATE	BY	CHECKED
NO. 7	DATE	BY	CHECKED
NO. 8	DATE	BY	CHECKED
NO. 9	DATE	BY	CHECKED
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NO. 11	DATE	BY	CHECKED
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NO. 200	DATE	BY	CHECKED

**CLIENT:** CORP. RESERVE PARTNERS, LLC  
 DEVELOPMENT PARTNERS, LLC  
 270 ST. PAUL STREET, SUITE 201  
 DENVER, COLORADO 80206  
 PHONE NUMBER: (303) 443-7755

**PROJECT NO. 14039**  
**DATE: 05-08-2015**  
**DRAWING NO. 130738**  
**SHEET: GR1**



- NOTES:**
1. ALL UNPAVED AREAS WITHIN THE STREET RIGHT-OF-WAY SHALL BE SEEDED.
  2. REFER TO DETAIL SHEETS FOR TYPICAL PAVEMENT SECTION AND TYPICAL LOT GRADING.
  3. MAXIMUM SIDE SLOPES OF DETENTION BASIN ARE 4:1.
  4. SEE SHEET SP1 FOR SPECIFICATIONS.
  5. OVERFLOW ROUTE:
  6. FLOW DIRECTION:
  7. SPOT GRADE: \*+11.88
- ALL SPOT GRADES REPRESENT FINISHED GRADE, OR BACK OF CURB FINISHED GRADE UNLESS OTHERWISE NOTED.
8. EP = EDGE OF PAVEMENT GRADE  
 R = ROW GRADE-ROW GRADES FOR STORM STRUCTURE IN THE CURB REPRESENT THE FLOW LINE OF THE SUTTER  
 TF = PROPOSED TOP OF FOUNDATION ELEVATION  
 LD = PROPOSED LOBBY-OUT ELEVATION  
 WC = PROPOSED WALK-OUT ELEVATION  
 PLD = PROPOSED PARTIAL LOBBY-OUT  
 GF = PROPOSED GARAGE FLOOR ELEVATION  
 DS = PROPOSED DROP SIDING
9. FINISHED GRADE SHALL BE 4" BELOW TF UNLESS NOTED.
  10. REGRADE 6" TOPSOIL IN ALL DISTURBED GRASS AREAS.
  11. APPROXIMATE DRIVEWAY LOCATION:
  12. FOR DEMOLITION OF EXISTING STRUCTURES SEE ECI.
  13. GARAGE FLOOR IS 0.5' BELOW TF UNLESS NOTED.
  14. MAX ROADWAY CENTERLINE SLOPE IS 3.00%. ALL SIDEWALKS AND SIDEWALK RAMP SHALL CONFORM TO ADA/PROWAG STANDARDS.



**CORPORATE RESERVE SUBDIVISION  
OF LOT 8**

NO.	DATE	BY	CHKD	SCALE	DESCRIPTION

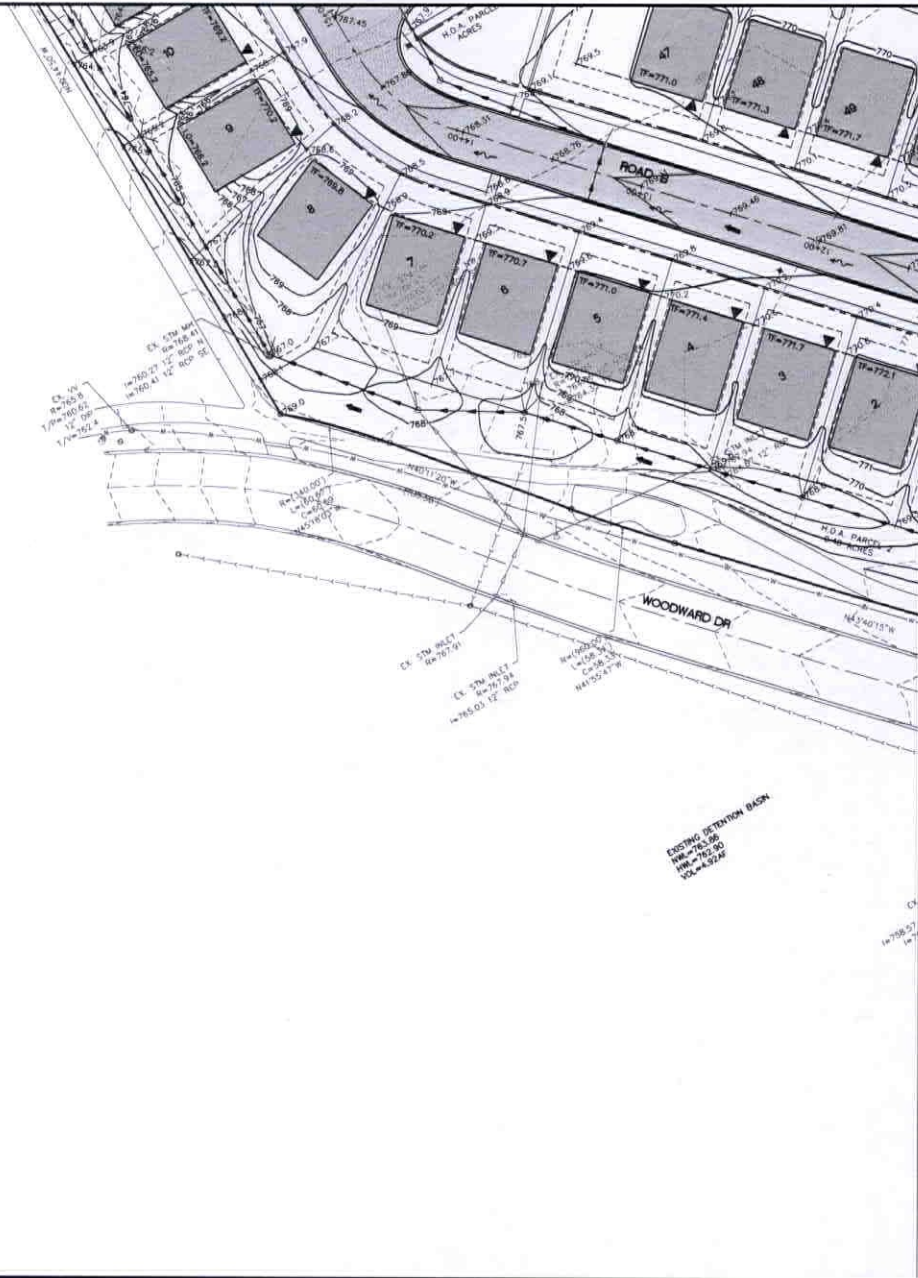
CLIENT: **CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**  
 270 ST. PAUL STREET, #300  
 DENVER, COLORADO 80206  
 PHONE NUMBER

CLIENT: **WILLS BURKE KELSEY ASSOCIATES LTD**  
 116 West Main Street, Suite 201  
 St. Charles, Illinois 60114  
 (630) 463-7755

PROJECT NO. 140256  
 DATE: 10-28-2015  
 DRAWING NO. 140P 38  
 SHEET: **GR2**



10' DIMENSION



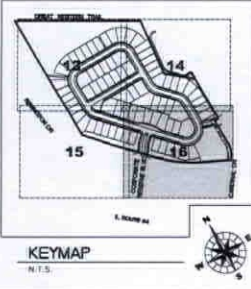
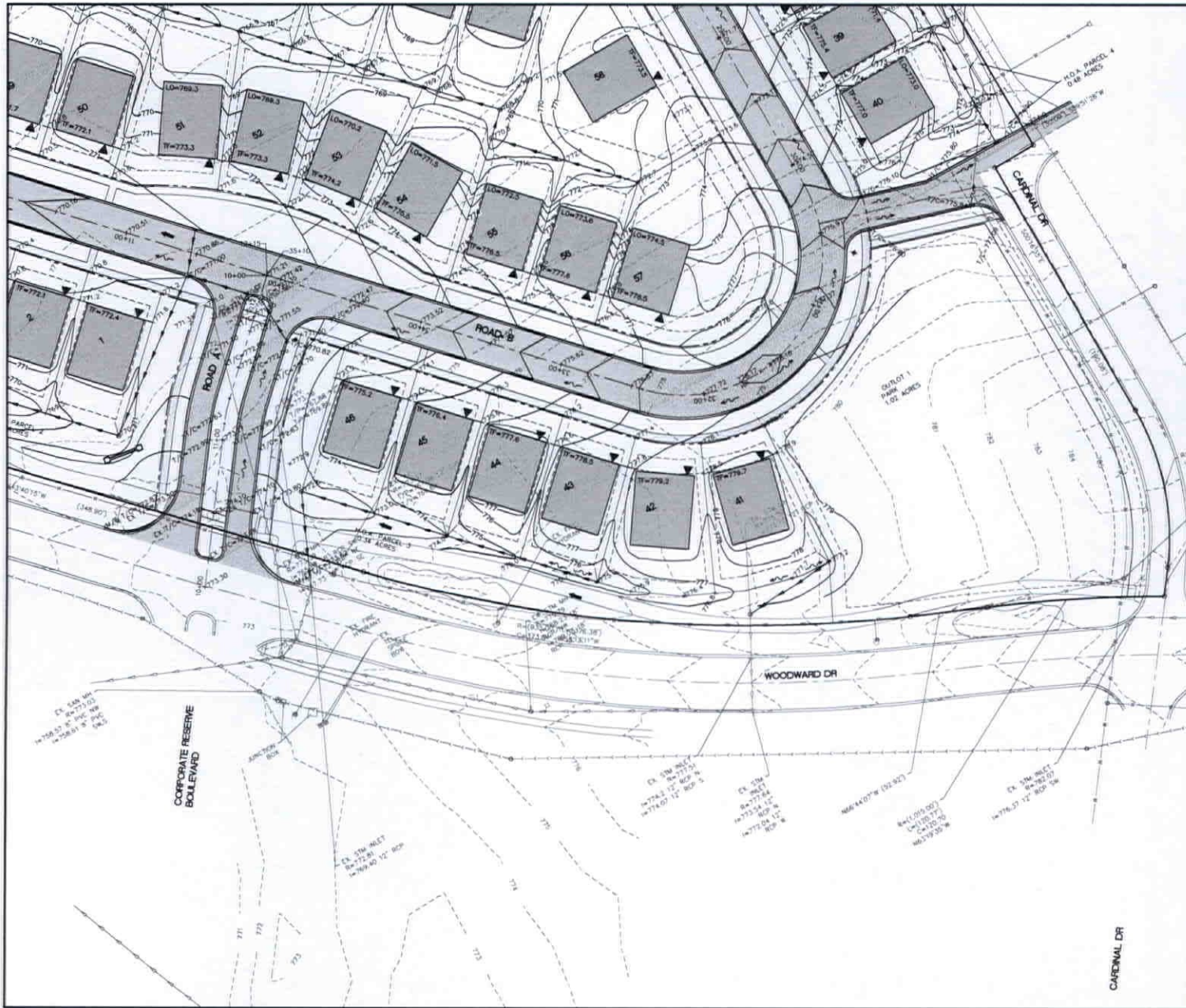
KEYMAP  
N.T.S.

- NOTES:**
1. ALL UNPAVED AREAS WITHIN THE STREET RIGHT-OF-WAY SHALL BE SEEDED.
  2. REFER TO DETAIL SHEETS FOR TYPICAL PAVEMENT SECTION AND TYPICAL LOT GRADING.
  3. MAXIMUM SIDE SLOPES OF DETENTION BASIN ARE 4:1.
  4. SEE SHEET SPM FOR SPECIFICATIONS.
  5. OVERFLOW ROUTE →
  6. FLOW DIRECTION —
  7. SPOT GRADE = 770.00  
ALL SPOT GRADES REPRESENT FINISHED GRADE, OR BACK OF CURB FINISHED GRADE UNLESS OTHERWISE NOTED.
  8. EP = EDGE OF PAVEMENT GRADE  
R = FIN GRADE-3/8" GRADES FOR STORM STRUCTURE IN THE CURB REPRESENT THE FLOW LINE OF THE GUTTER.  
TF = PROPOSED TOP OF FOUNDATION ELEVATION  
LO = PROPOSED LOOK-OUT ELEVATION  
MO = PROPOSED MULK-OUT ELEVATION  
PLO = PROPOSED PARTIAL LOOK-OUT  
GF = PROPOSED GARAGE FLOOR ELEVATION  
DS = PROPOSED DROP SIDING
  9. FINISHED GRADE SHALL BE 4" BELOW TF UNLESS NOTED.
  10. RESPAVED 6" TOPSOIL IN ALL DISTURBED GRASS AREAS.
  11. APPROXIMATE DRIVEWAY LOCATION ▲
  12. FOR DEMOLITION OF EXISTING STRUCTURES SEE ECI.
  13. GARAGE FLOOR IS 0.5' BELOW TF UNLESS NOTED.
  14. MAX ROADWAY CENTERLINE SLOPE IS 2.00%. ALL SIDEWALKS AND SIDEWALK RAMPS SHALL CONFORM TO ADA/PROWAG STANDARDS.

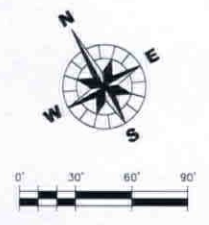


<b>CORPORATE RESERVE SUBDIVISION OF LOT 8</b> <b>GRADING AND DRAINAGE PLAN</b>	DATE	SCALE	SHEET NO. 18 OF 38 SHEET
	DESIGN DRAWN CHECKED IN CHARGE	DATE SCALE DATE	
<b>CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC</b> 116 West Main Street, Suite 201 Denver, Colorado 80202 PHONE NUMBER	CLIENT <b>WILLS BURKE KELSEY ASSOCIATES LTD</b> 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755	PROJECT NO. 140250 DATE: 10-09-2015 DRAWING NO. 18 OF 38 SHEET	SHEET NO. 18 OF 38 SHEET

GR3



- NOTES:**
1. ALL UNPAVED AREAS WITHIN THE STREET RIGHT-OF-WAY SHALL BE SEEDED.
  2. REFER TO DETAIL SHEETS FOR TYPICAL PAVEMENT SECTION AND TYPICAL LOT GRADING.
  3. MAXIMUM SIDE SLOPES OF DETENTION BASIN ARE 4:1.
  4. SEE SHEET SPT FOR SPECIFICATIONS.
  5. OVERFLOW ROUTE  $\rightarrow$
  6. FLOW DIRECTION  $\rightarrow$
  7. SPOT GRADE = FINISH
  8. ALL SPOT GRADES REPRESENT FINISHED GRADE, OR BACK OF CURB FINISHED GRADE UNLESS OTHERWISE NOTED.
  9. EP = EDGE OF PAVEMENT GRADE  
R = RIM GRADE-RIM GRADES FOR STORM STRUCTURE IN THE CURB REPRESENT THE FLOW LINE OF THE GUTTER.  
LD = PROPOSED TOP OF FOUNDATION ELEVATION  
LO = PROPOSED LOOK-OUT ELEVATION  
MO = PROPOSED MAIN-OUT ELEVATION  
PLO = PROPOSED PARTIAL LOOK-OUT  
GF = PROPOSED GARAGE FLOOR ELEVATION  
DS = PROPOSED DROOP SOING
  10. FINISHED GRADE SHALL BE 4" BELOW IF UNLESS NOTED.
  11. REDSEAL 6" TOPSOIL IN ALL DISTURBED GRASS AREAS.
  12. APPROXIMATE DRIVEWAY LOCATION  $\blacktriangle$
  13. FOR DEMOLITION OF EXISTING STRUCTURES SEE ECI.
  14. GARAGE FLOOR IS 0.5' BELOW IF UNLESS NOTED.
  15. MAX ROADWAY CENTERLINE SLOPE IS 2.00%. ALL SIDEWALKS AND SIDEWALK RAMPS SHALL CONFORM TO ADA/PROWAG STANDARDS.



**CORPORATE RESERVE SUBDIVISION OF LOT 8 GRADING AND DRAINAGE PLAN**

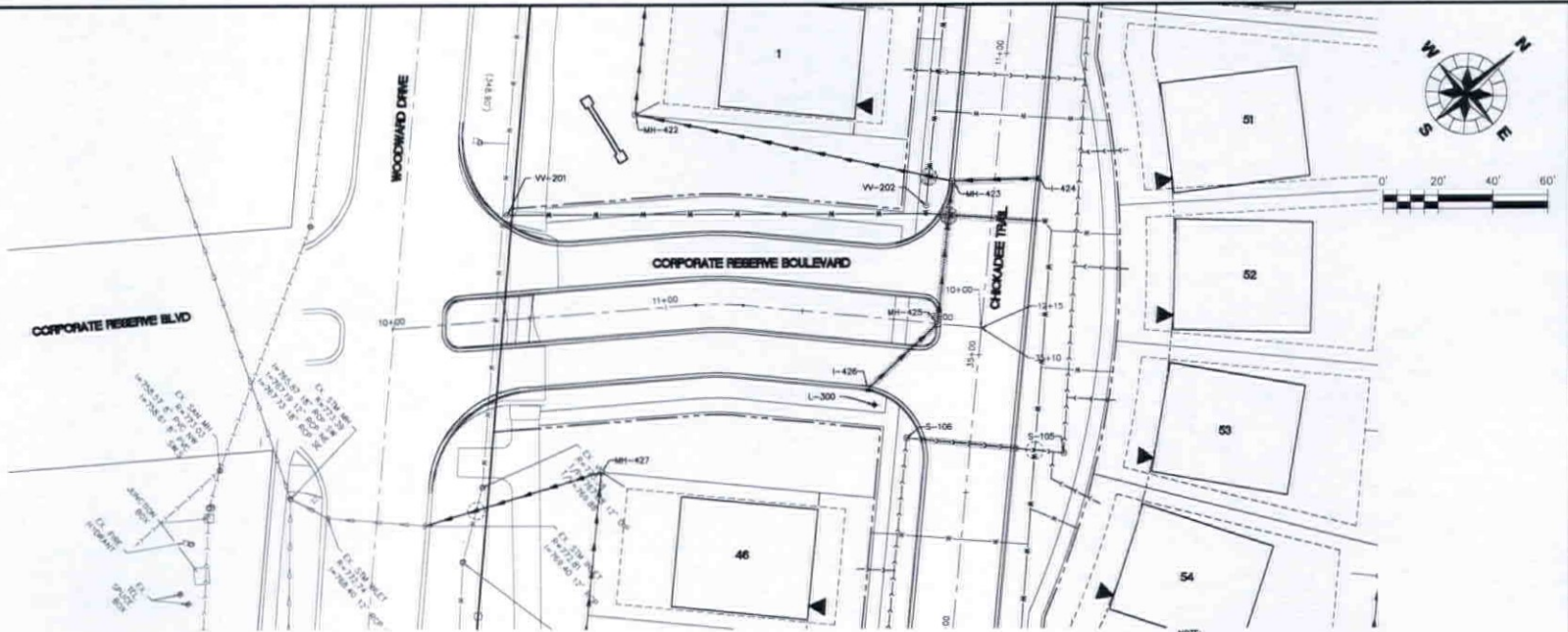
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**CLIENT:** CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC  
270 ST. PAUL STREET, #2006 DENVER, CO 80206  
PHONE NUMBER

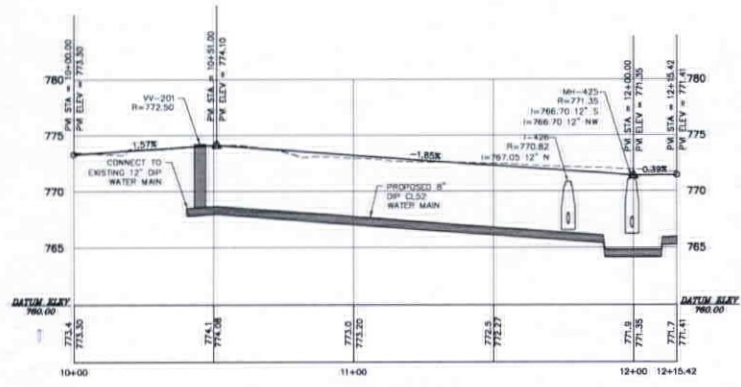
**CLIENT:** WILLS BURKE KESEY ASSOCIATES LTD.  
114 West 14th Street, Suite 201  
St. Charles, Illinois 60174  
(630) 443-7755

**PROJECT NO. 140256**  
**DATE 10/04/2015**  
**DRAWING NO. 4.00P.08**  
**SHEET**

**GR4**



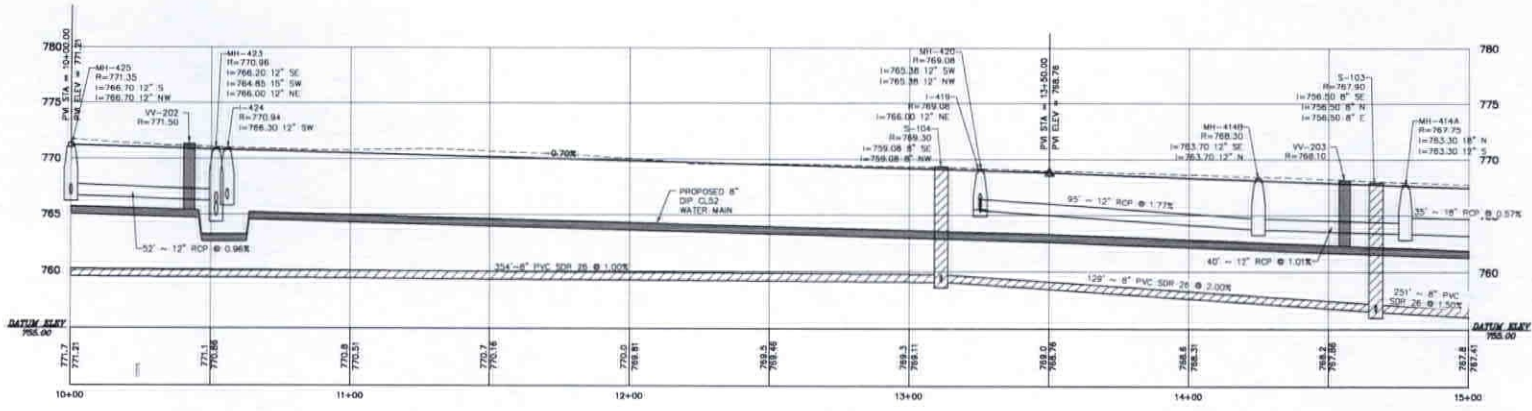
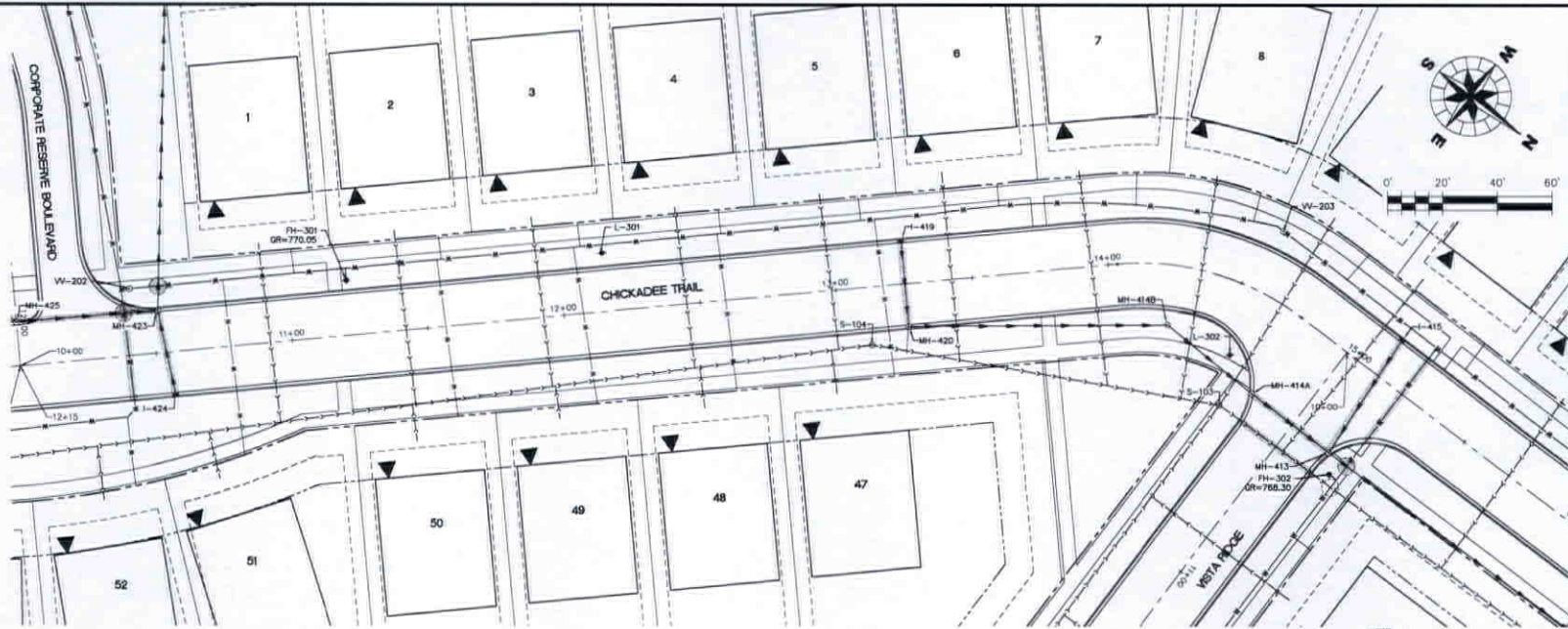
NOTE:  
 1. RM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.



**CORPORATE RESERVE BOULEVARD**  
 (STA. 10+00-12+14.42)  
 VERTICAL SCALE: 1" = 5'  
 HORIZONTAL SCALE: 1" = 20'

	<b>TITLE</b>			
<b>CORPORATE RESERVE SUBDIVISION OF LOT 8</b>				
<b>PLAN AND PROFILES</b>				
DATE	DRAWN	CHECKED	SCALE	AS NOTED
12-11-13	[Signature]	[Signature]	AS NOTED	PP-1025-DWG
CLIENT: <b>CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC</b> 270 ST. PAUL STREET, #300 DENVER, CO 80206 PHONE NUMBER: [Redacted]				
PROJECT NO. 14024 DATE: 10-08-2013 DRAWING NO. 170734 SHEET:				
<b>PP1</b>				

**WILLIS BURKE KESEY ASSOCIATES LTD**  
 115 West Madison Street, Suite 201  
 St. Charles, Illinois 60174  
 (833) 443-7755



CHICKADEE TRAIL  
(STA. 10+00-15+80)

VERTICAL SCALE: 1" = 5'  
HORIZONTAL SCALE: 1" = 30'

NOTE:  
1. RIM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.

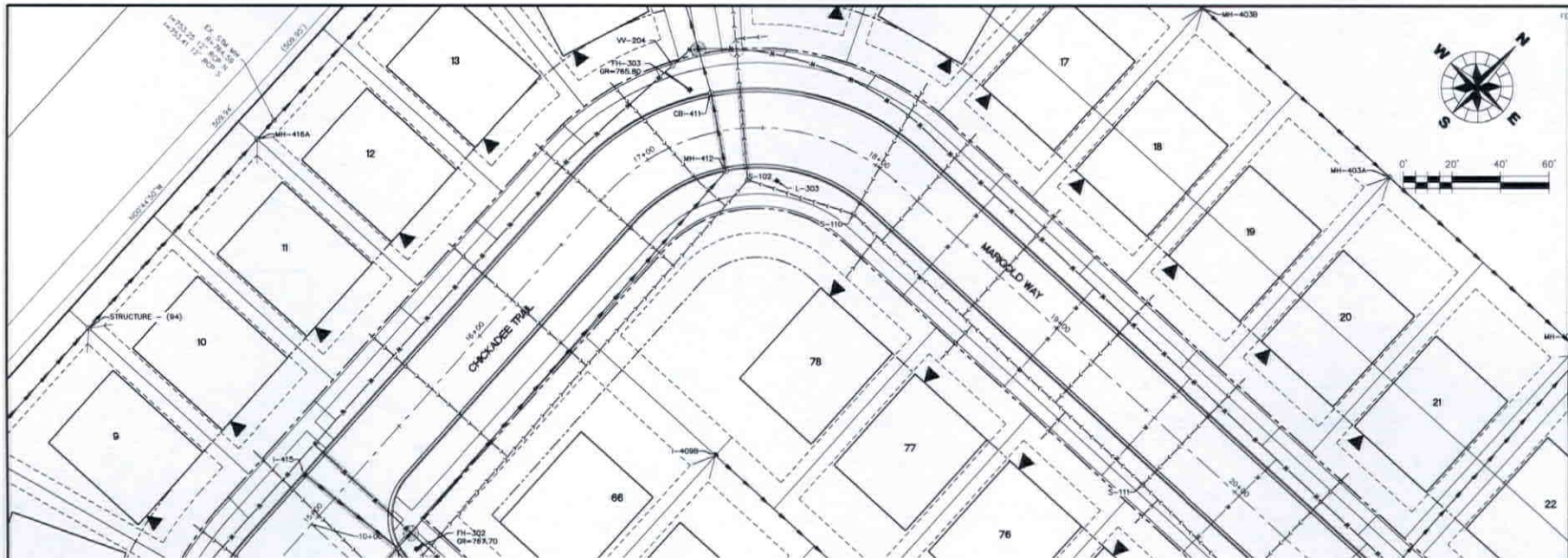
**CORPORATE RESERVE SUBDIVISION OF LOT 8 PLAN AND PROFILES**

CLIENT: **WILLS BURKE KESEY ASSOCIATES LTD.**  
114 North Main Street, Suite 201  
St. Charles, Illinois 60174  
(630) 443-7755

PROJECT NO. 140256  
DATE: 10-08-2016  
DRAWING NO. 1809P 38  
SHEET: **PP2**

DATE: 10/11/16  
SCALE: AS NOTED  
PROJECT NO. 140256  
SHEET NO. 38 OF 38  
DATE: 10/11/16  
SCALE: AS NOTED  
PROJECT NO. 140256  
SHEET NO. 38 OF 38

DATE: 10/11/16  
SCALE: AS NOTED  
PROJECT NO. 140256  
SHEET NO. 38 OF 38

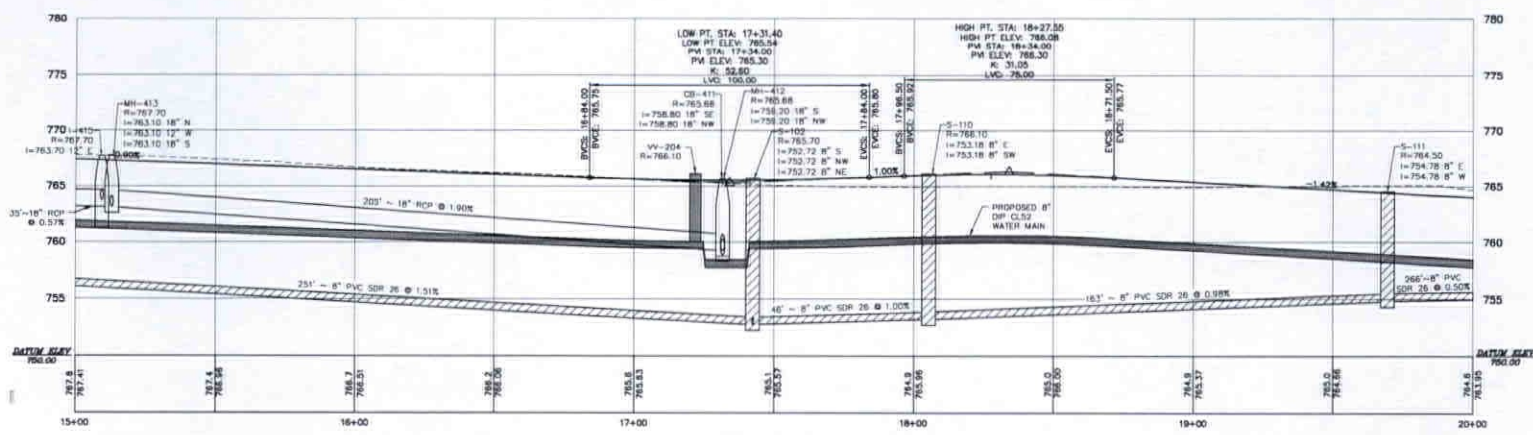


**CORPORATE RESERVE SUBDIVISION OF LOT 8**

**PLAN AND PROFILES**

NO.	DATE	DESCRIPTION	BY	CHKD.	SCALE	NOTED
1		PREPARED FOR THESE SHEETS				
2		AS NOTED				
3		AS NOTED				
4		AS NOTED				
5		AS NOTED				
6		AS NOTED				
7		AS NOTED				
8		AS NOTED				
9		AS NOTED				
10		AS NOTED				
11		AS NOTED				
12		AS NOTED				
13		AS NOTED				
14		AS NOTED				
15		AS NOTED				
16		AS NOTED				
17		AS NOTED				
18		AS NOTED				
19		AS NOTED				
20		AS NOTED				
21		AS NOTED				
22		AS NOTED				

NOTE: 1. RM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.



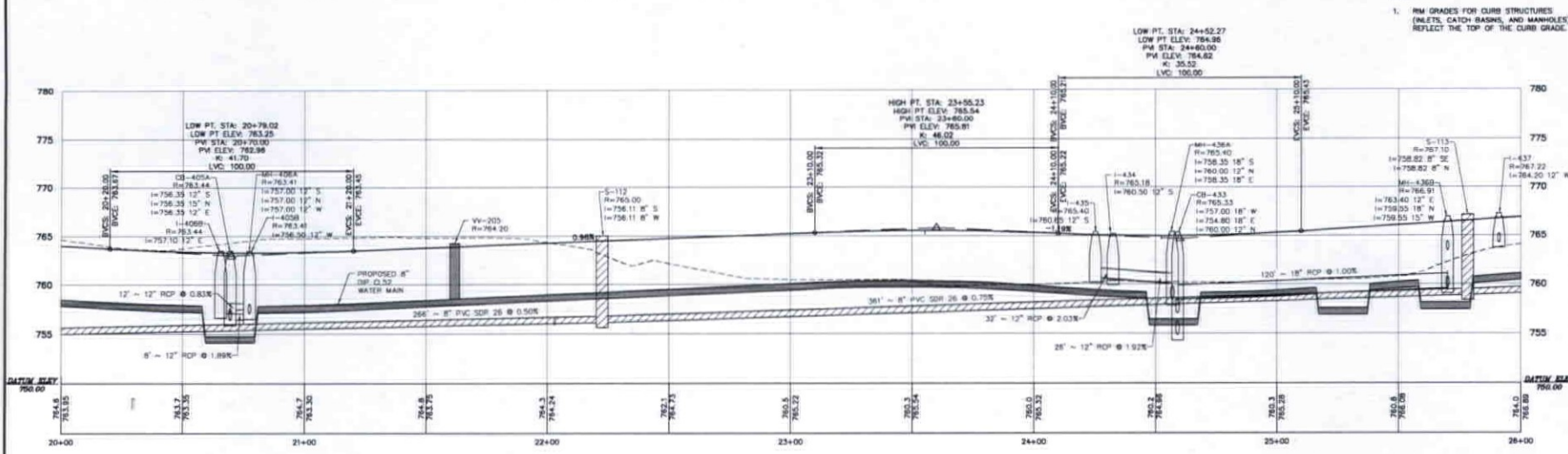
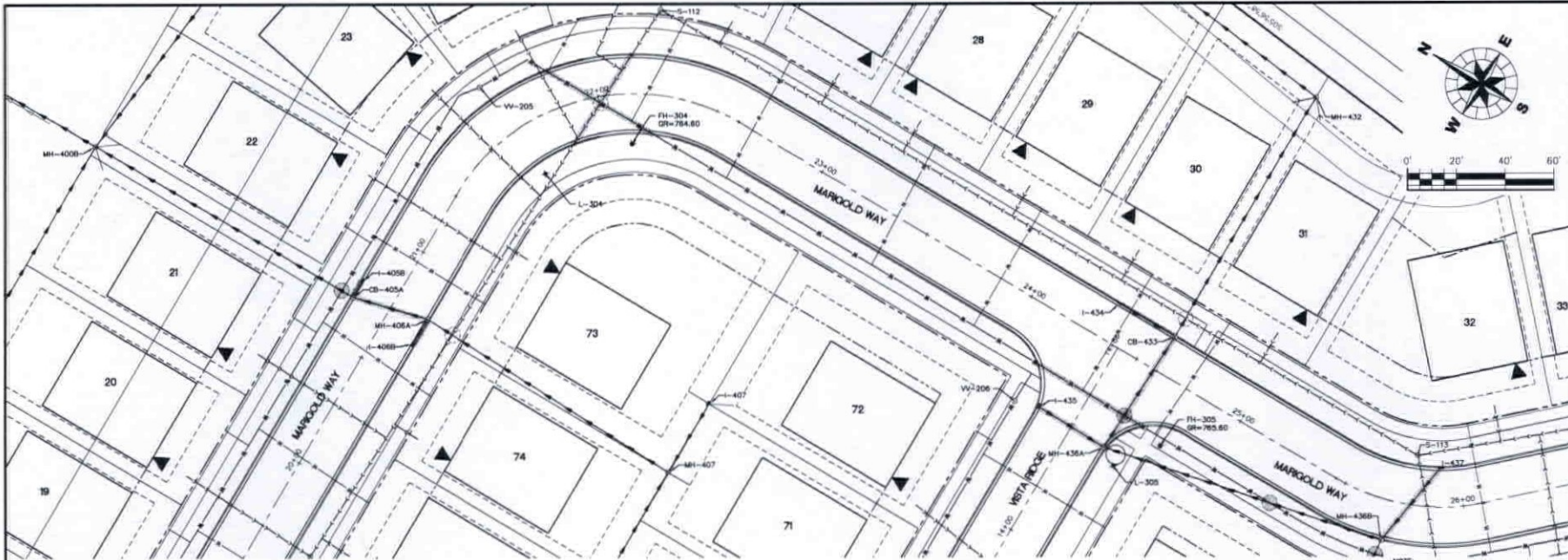
**CHICKADEE TRAIL - MARIGOLD WAY**  
(STA. 15+00-20+00)

VERTICAL SCALE: 1" = 8'  
 HORIZONTAL SCALE: 1" = 30'

**CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**  
 270 ST. PAUL AVENUE, SUITE 10206  
 DENVER, COLORADO 80202  
 PHONE NUMBER

**CLIENT:**  
**WILLS BURKE KELSEY ASSOCIATES LTD.**  
 116 West Main Street, Suite 201  
 St. Charles, Illinois 60174  
 (630) 443-7755

PROJECT NO. 140298  
 DATE: 03/26/2015  
 DRAWING NO. 190P-28  
 SHEET:



**MARIGOLD WAY**  
(STA. 20+00-26+00)

VERTICAL SCALE: 1" = 8'  
HORIZONTAL SCALE: 1" = 20'

**CORPORATE RESERVE SUBDIVISION OF LOT 8**

**PLAN AND PROFILES**

DATE: 10-08-2013  
DRAWING NO: 2007-38  
SHEET: PP4

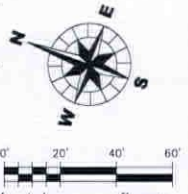
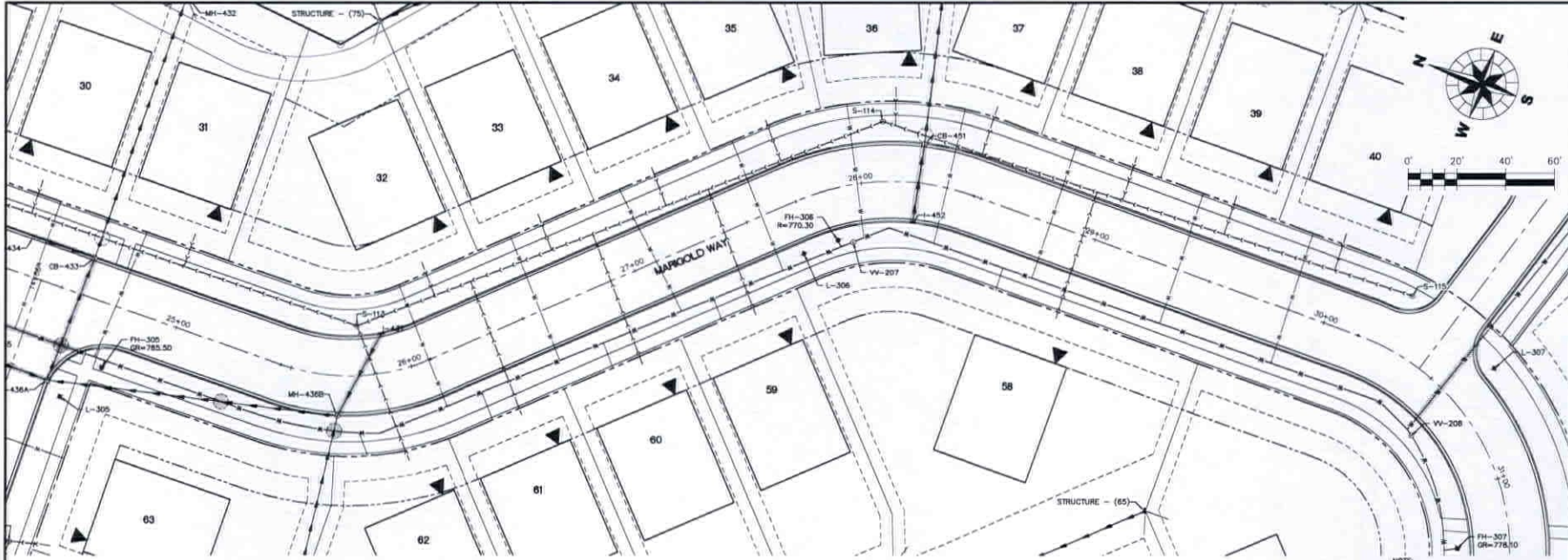
CLIENT: **WILLS BURKE KESEY ASSOCIATES LTD.**  
10 Capital Mall, Suite 201  
55 Chiswick Road, Suite 10174  
DENVER, COLORADO 80206  
(303) 443-7755

PROJECT NO: 140236

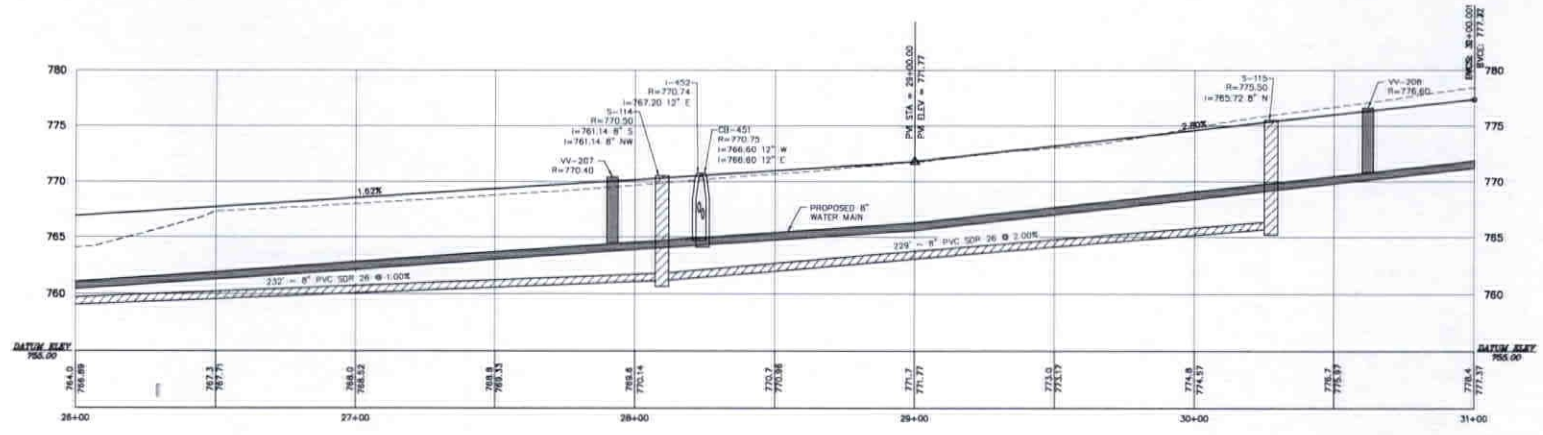
DATE: 10-08-2013

DRAWING NO: 2007-38

SHEET: PP4



NOTE:  
1. RIM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.



**MARIGOLD WAY**  
(STA. 26+00 - 31+00)

VERTICAL SCALE: 1" = 5'  
HORIZONTAL SCALE: 1" = 20'

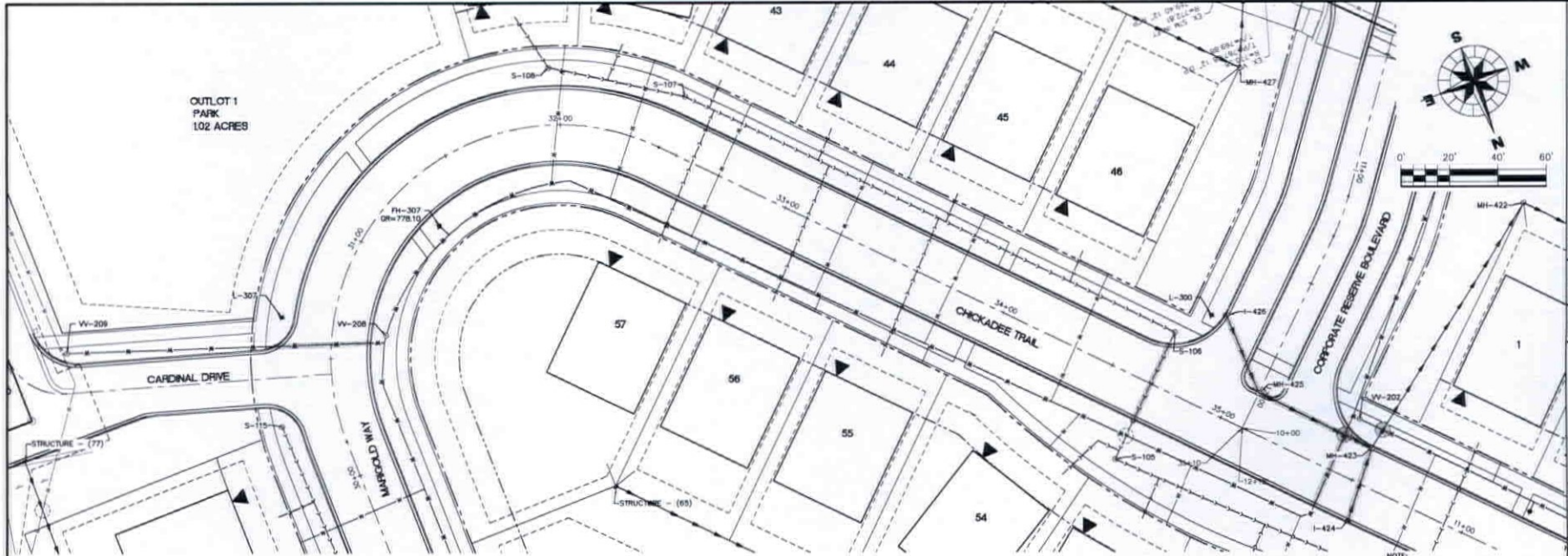
**CORPORATE RESERVE SUBDIVISION OF LOT 8**  
**PLAN AND PROFILES**

NO.	DATE	BY	CHKD.	APP.	SCALE	NOTED
1	11/13/12	JES	JES	JES	AS NOTED	
2	11/13/12	JES	JES	JES	AS NOTED	
3	11/13/12	JES	JES	JES	AS NOTED	

**CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**  
270 ST. PAUL STREET, #300  
DENVER, COLORADO 80206  
PHONE NUMBER

**WILLS BURKE KESEY ASSOCIATES LTD.**  
1111 CHERRY STREET, SUITE 201  
DENVER, COLORADO 80202  
PHONE NUMBER

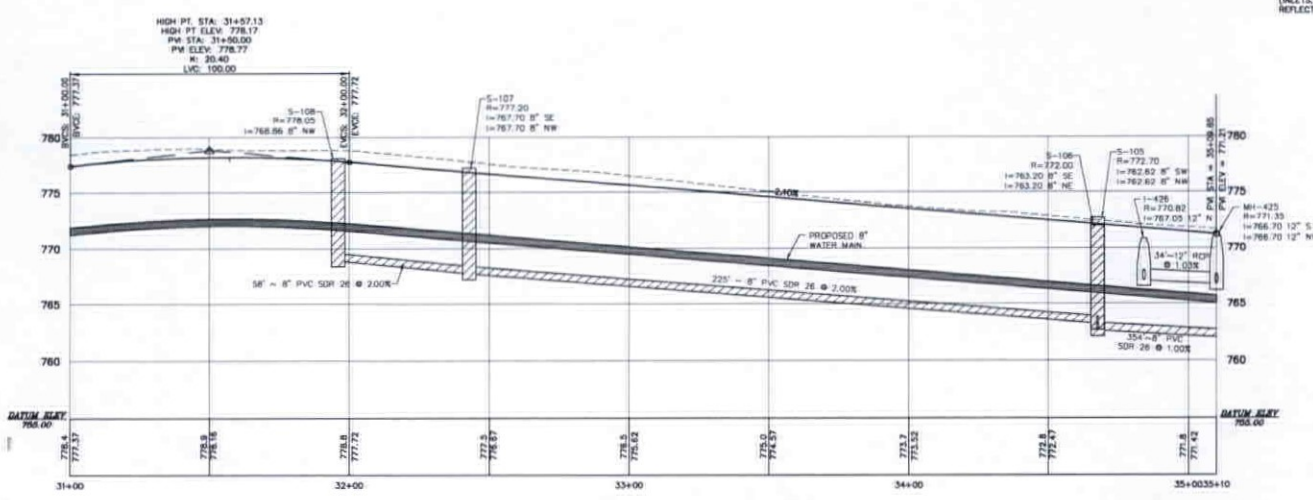
**PROJECT NO. 14029K**  
**DATE: 11-08-2015**  
**DRAWING NO. 210P-34**  
**SHEET:**  
**PP5**



**CORPORATE RESERVE SUBDIVISION  
OF LOT B**

**PLAN AND PROFILES**

NO.	DATE	PROJECT NUMBER	LETTER	DESCRIPTION	BY	SCALE
1				PRELIMINARY PLAN AND PROFILES		AS NOTED
2				REVISED PLAN AND PROFILES		AS NOTED



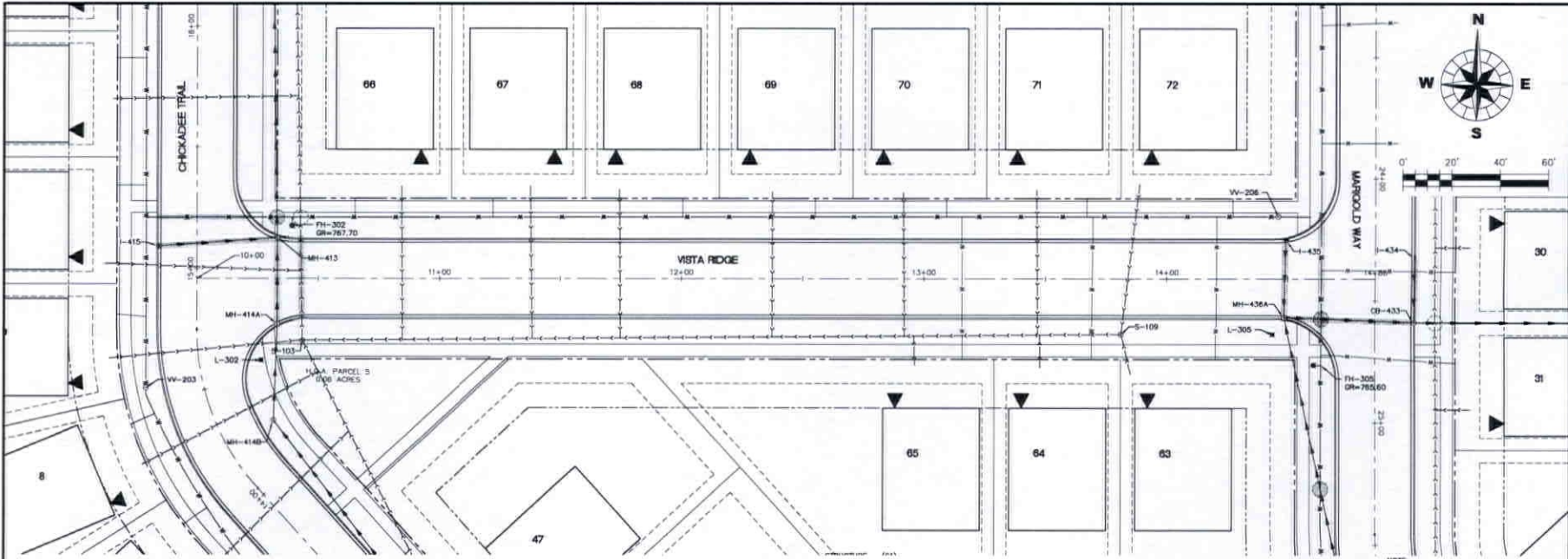
**MARIGOLD WAY - CHICKADEE TRAIL**  
(STA. 31+00 - 35+10)

VERTICAL SCALE: 1" = 5'  
HORIZONTAL SCALE: 1" = 20'

**WILLS BURKE KESEY ASSOCIATES LTD.**  
270 ST. PAUL STREET, #300  
DENVER, COLORADO 80205

**CORPORATE RESERVE  
DEVELOPMENT PARTNERS, LLC**  
270 ST. PAUL STREET, #300  
DENVER, COLORADO 80205



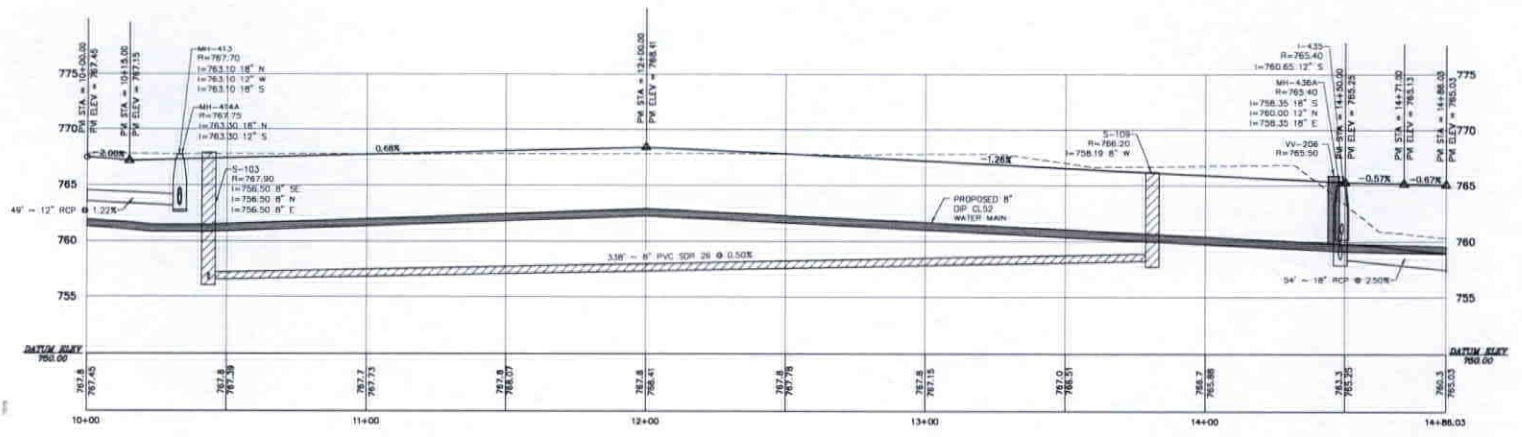


CORPORATE RESERVE SUBDIVISION OF LOT 8  
PLAN AND PROFILES

NO.	DATE	BY	CHKD.	APP.	SCALE
1	12/13/11	PKS	CWS		AS NOTED
2	1/13/12	PKS	CWS		AS NOTED
3	1/13/12	PKS	CWS		AS NOTED

SCALE: AS NOTED  
DATE: 12/13/11

NOTE:  
1. RIM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.

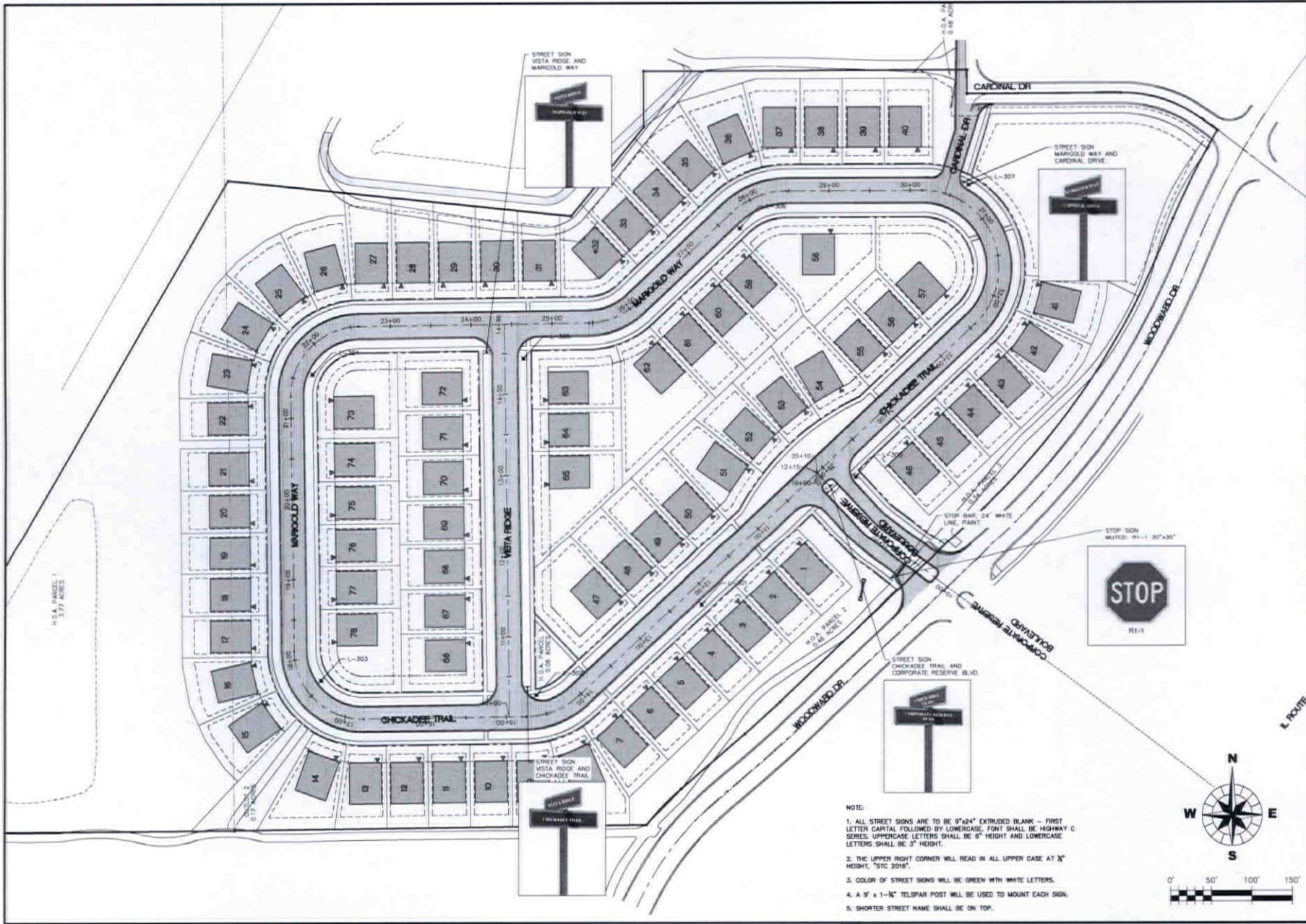


VISTA RIDGE  
(STA. 10+00- 14+86.03)

VERTICAL SCALE: 1" = 5'  
HORIZONTAL SCALE: 1" = 20'

WILLS BURKE KELSEY ASSOCIATES LTD.  
1155 N. 201st St., Aurora, Illinois 60174  
(830) 443-7755

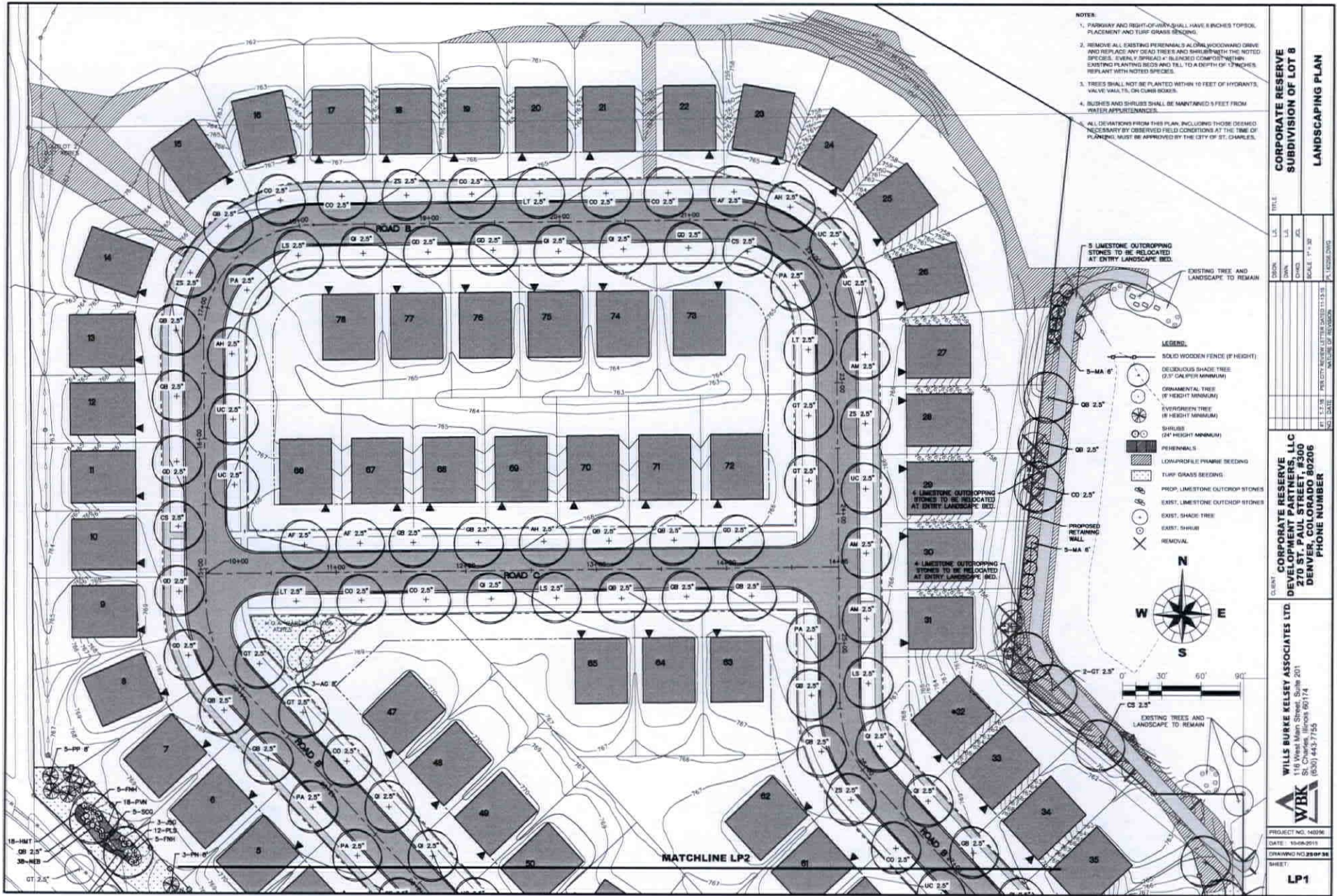
PROJECT NO.	140296
DATE	15-08-2011
DRAWING NO.	230P 30
SHEET	PP7



- NOTE:
1. ALL STREET SIGNS ARE TO BE 9"x24" EXTRUDED BLANK - FIRST LETTER CAPITAL FOLLOWED BY LOWERCASE. FONT SHALL BE HIGHWAY G SERIES. UPPERCASE LETTERS SHALL BE 6" HEIGHT AND LOWERCASE LETTERS SHALL BE 3" HEIGHT.
  2. THE UPPER RIGHT CORNER WILL READ IN ALL UPPER CASE AT X" HEIGHT, "STC 2016".
  3. COLOR OF STREET SIGNS WILL BE GREEN WITH WHITE LETTERS.
  4. A 9' x 1-3/4" TELSIPAR POST WILL BE USED TO MOUNT EACH SIGN.
  5. SHORTER STREET NAME SHALL BE ON TOP.

<b>WILLS BURKE KESEY ASSOCIATES LTD.</b> 118 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755		<b>WILLIS TOWERS WATSON</b> 118 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755	
CLIENT: CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206 PHONE NUMBER	PROJECT NO. 140206 DATE: 10-08-2015 DRAWING NO. 3409-34 SHEET:	OWNER: ARE DESIGN: ARE CHECK: ARE DATE: 11-10-15 SCALE: 1" = 30' BY: KODR/DWD	CORPORATE RESERVE SUBDIVISION OF LOT 8 SIGNAGE LIGHTING AND PAVEMENT MARKING PLAN

SP1



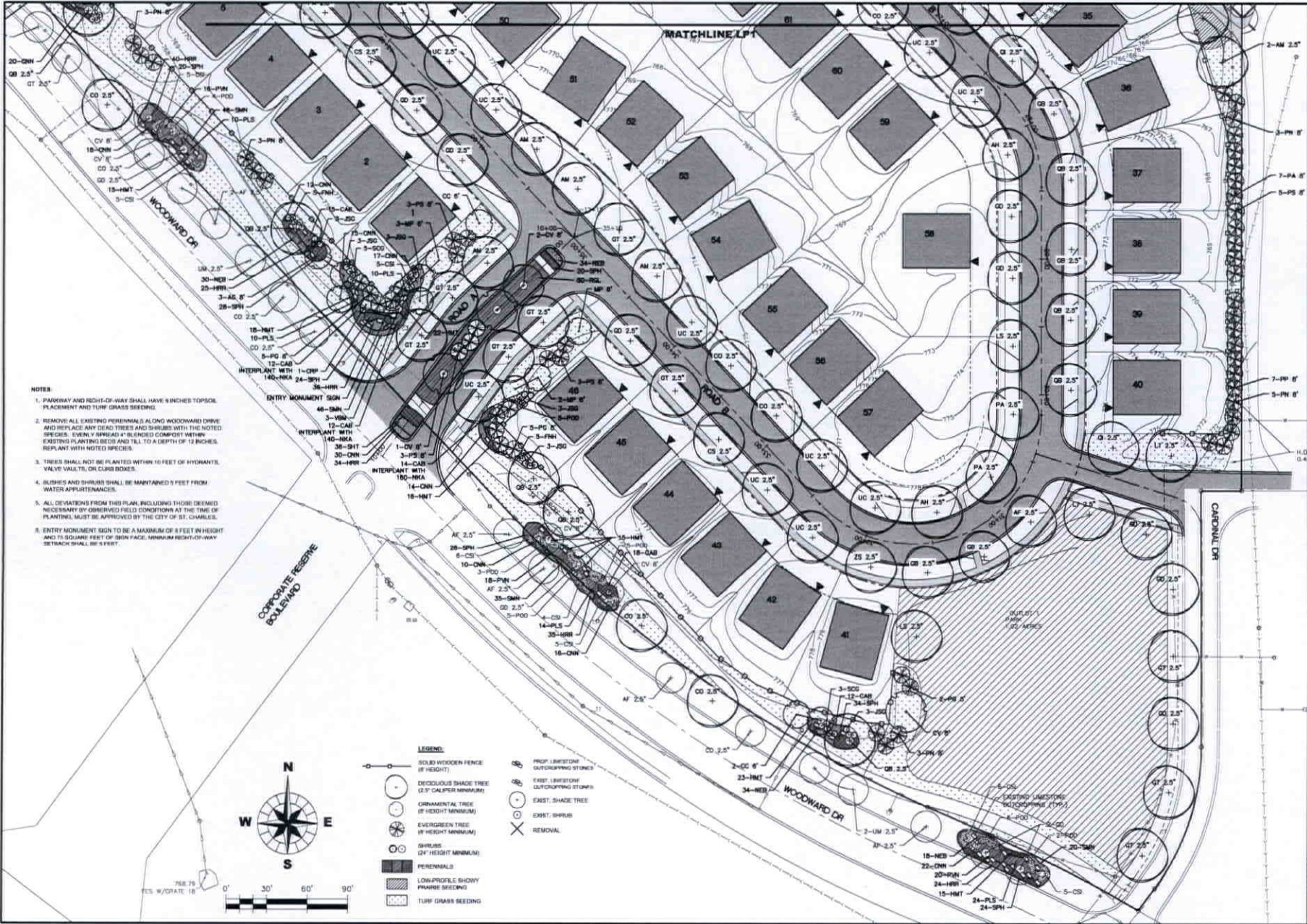
**CORPORATE RESERVE  
SUBDIVISION OF LOT B  
LANDSCAPING PLAN**

NO.	DATE	BY	SCALE
1	05/06/2015	W.B.K.	1" = 30'

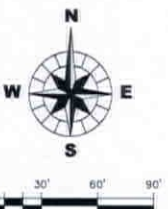
**CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**  
270 ST. PAUL STREET, #300  
DENVER, CO 80206  
PHONE NUMBER

**WILLS BURKE KELSEY ASSOCIATES LTD.**  
118 West Main Street, Suite 201  
St. Charles, Illinois 60174  
(630) 443-7755

**PROJECT NO. 14096**  
**DATE:** 05/06/2015  
**DRAWING NO. 2509 LP 35**  
**SHEET:** LP1



- NOTES:**
1. PAVEMENT AND RIGHT-OF-WAY SHALL HAVE 6 INCHES TOPSOIL PLACEMENT AND TURF GRASS SEEDING.
  2. REMOVE ALL EXISTING PERENNIALS ALONG WOODWARD DRIVE AND REPLACE ANY DEAD TREES AND SHRUBS WITH THE NOTED SPECIES. EVENLY BREAK 4" BLENDED COMPOST WITH EXISTING PLANTING BEDS AND TILL TO A DEPTH OF 12 INCHES. REPLANT WITH NOTED SPECIES.
  3. TREES SHALL NOT BE PLANTED WITHIN 10 FEET OF HYDRANTS, VALVE VAULTS, OR CURB BOWES.
  4. BUSHES AND SHRUBS SHALL BE MARKED 5 FEET FROM WATER APPURTENANCES.
  5. ALL DEVIATIONS FROM THIS PLAN INCLUDING THOSE DEEMED NECESSARY BY OBSERVED FIELD CONDITIONS AT THE TIME OF PLANTING MUST BE APPROVED BY THE CITY OF ST. CHARLES.
  6. ENTRY MONUMENT SIGN TO BE A MAXIMUM OF 8 FEET IN HEIGHT AND 15 SQUARE FEET OF SIGN FACE. MINIMUM RIGHT-OF-WAY SETBACK SHALL BE 5 FEET.



- LEGEND:**
- SOLID WOODEN FENCE (IF HEIGHT)
  - DECIDUOUS SHADE TREE (3" CALIPER MINIMUM)
  - ORNAMENTAL TREE (IF HEIGHT MINIMUM)
  - EVERGREEN TREE (IF HEIGHT MINIMUM)
  - SHRUBS (IF HEIGHT MINIMUM)
  - PERENNIALS
  - LOW-PROFILE SHOWY PRUNED SEEDING
  - TURF GRASS SEEDING
  - PROP. LIMB/STEM OUTCROPPING STONES
  - EXIST. LIMB/STEM OUTCROPPING STONES
  - EXIST. SHADE TREE
  - EXIST. SHRUB
  - REMOVAL

<b>TITLE</b> CORPORATE RESERVE SUBDIVISION OF LOT 8 LANDSCAPING PLAN	
<b>CLIENT</b> WILLS BURKE KELSEY ASSOCIATES LTD. DEVELOPMENT PARTNERS, LLC 200 S. W. 10th Street DENVER, COLORADO 80202 PHONE NUMBER	<b>DATE</b> 10/24/2011
<b>PROJECT NO.</b> 140298	<b>DRAWING NO.</b> 24-HP-36
<b>SCALE</b> 1" = 20'	<b>SHEET</b> LP2





CONTROL MEASURE GROUP	CONTROL MEASURE	APPL.	KEY	CONTROL MEASURE CHARACTERISTICS	TEMP.	PERM.
VEGETATIVE SOIL COVER	TEMPORARY SEEDING	X	TS	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.	X	
	PERMANENT SEEDING	X	PS	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.		X
	DORMANT SEEDING	X	DS	SAME AS PERMANENT SEEDING EXCEPT IS DONE DURING DORMANT SEASON. HIGHER RATES OF SEED APPLICATION ARE REQUIRED.	X	X
	SODDING	X	SO	QUICK PERMANENT COVER TO CONTROL EROSION. "CORROW WAY" TO ESTABLISH VEGETATION FILTER STRIP. CAN BE USED ON STEEP SLOPES OR IN DRAINAGEWAYS WHERE SEEDING MAY BE DIFFICULT.		X
NON VEGETATIVE SOIL COVER	PLANTS, TREES, & SHRUBS	X	GC	PROVIDES GROUNDCOVER, SHRUBS AND TREES IN ADDITION TO PERMANENT VEGETATION. MAY BE USED AS PART OF A FINAL LANDSCAPE PLAN ALONG WITH SHRUBS AND TREES.		X
	MULCHING	X	M	KEEPS SURFACE OF A SUCCESSFUL TEMPORARY OR PERMANENT SEEDING. CONTROLS UNWANTED VEGETATION AND PRESERVES MOISTURE. PROVIDES COVER WHERE VEGETATION CANNOT BE ESTABLISHED.	X	
	EROSION CONTROL BLANKET	X	EB	PROTECTS AND PRESERVES MOISTURE FOR PERMANENT SEEDING ON STEEP SLOPES, AREAS OF PERIODIC CONCENTRATED RUNOFF (DITCHES) OR IN AREAS THAT MAY BE DAMAGED BY FREQUENT TRAFFIC.	X	
	AGGREGATE COVER	X	AD	PROVIDES SOIL COVER ON GRASS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.	X	X
DIVERSIONS	PAVING	X	P	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.	X	X
	RIDGE DIVERSION		RD	TYPICALLY USED ABOVE SLOPES. USED WHERE AN EXCESS OF SOIL IS AVAILABLE.		
	CHANNEL DIVERSION		CD	TYPICALLY USED AT TOP OR BASE OF SLOPES. USED WHEN EXCESS SOIL IS NOT AVAILABLE.		
	COMBINATION DIVERSION		DC	TYPICALLY USED ANYWHERE ON A SLOPE. SOIL TAKEN OUT OF CHANNEL IS USED TO BUILD THE RIDGE.		
WATERWAYS	CURB AND GUTTER	X	CG	SPECIAL CASE OF DIVERSION USED IN CONJUNCTION WITH A STREET TO DIVERT WATER FROM DRIVEWAYS AND SIDEWALKS.	X	X
	BENCHES		B	SPECIAL CASE OF DIVERSION CONSTRUCTED WHEN WORKING ON CUT SLOPES TO SHORTEN LENGTH OF SLOPE AND ADD SLOPE STABILITY.		
	BARE CHANNEL		BC	PROVIDES MEANS OF CONVEYING RUNOFF TO DESIRED LOCATION. MAY BE USED TO DIVERT DEPRESSION AREAS. ONLY APPLICABLE WHEN VELOCITY OF FLOW IS VERY LOW.		
	STRUCTURAL STREAMBANK STABILIZATION		SS	PROTECTS STREAMBANKS FROM EROSION FORCE OF FLOWING WATER.		
ENCLOSED DRAINAGE	VEGETATIVE CHANNEL		VC	PROVIDES ADDED STABILITY TO CHANNEL. USED WHEN VELOCITY OF FLOW IS NOT EXTREMELY FAST.		
	VEGETATIVE STREAMBANK STABILIZATION		VS	PROTECTS STREAMBANKS FROM EROSION FORCE OF FLOWING WATER AND PROVIDES NATURAL PLEASING APPEARANCE.		
	LINED CHANNEL	X	LC	USED WHEN VEGETATION WILL NOT PROTECT THE CHANNEL AGAINST HIGH VELOCITIES OF FLOW OR WHERE VEGETATION CANNOT BE ESTABLISHED.	X	X
	DITCH CHECKS		DC	USED IN DITCHES TO RETARD THE VELOCITY OF WATER IN A DITCH TO MINIMIZE SOIL EROSION INSIDE TO THE DITCH BEING VEGETATED.		
SPILLWAYS	STORM SCHEM	X	ST	CAN BE USED TO CONVEY SEDIMENT LOADED WATER TO SEDIMENT BASIN OR IN CONJUNCTION WITH A WATERWAY.	X	X
	UNDERDRY		UD	USED TO LOWER WATER TABLE AND INTERCEPT GROUNDWATER FOR BETTER VEGETATION GROWTH AND SLOPE STABILITY. USED TO CARRY BASE FLOW IN WATERWAYS AND TO DEWATER SEDIMENT BASINS.		
	STRAIGHT PIPE SPILLWAY		SP	USED FOR RELATIVELY SMALL VERTICAL DROPS AND SMALL FLOWS OF WATER.		
	DROP INLET SPILLWAY		DS	SAME AS PIPE SPILLWAY EXCEPT LARGER FLOWS AND LARGE VERTICAL DROPS CAN BE ACCOMMODATED.		
OUTLETS	WEIR SPILLWAY		W	USED FOR RELATIVELY SMALL VERTICAL DROPS AND FLOWS MUCH GREATER THAN PIPE STRUCTURES.		
	BOX INLET WEIR SPILLWAY		BS	RANGE AS WEIR SPILLWAY EXCEPT LARGER FLOWS CAN BE ACCOMMODATED BECAUSE OF LOWER WEIR LENGTH.		
	LINED APRON	X	LA	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURES.	X	X
	EMBANKMENT SEDIMENT BASIN		ES	USED WHERE TOPOGRAPHY LENDS ITSELF TO CONSTRUCTING A DAM AND EARTH FILL IS AVAILABLE.		
SEDIMENT BASINS	EXCAVATED SEDIMENT BASIN		XS	USED WHERE EMBANKMENT COULD CAUSE A HAZARD DOWNSTREAM IN CASE OF FAILURE AND WHEN EXCESS EARTH FILL IS NOT AVAILABLE.		
	COMBINATION SEDIMENT BASIN		CS	USED WHEN TOPOGRAPHY IS SUITABLE BUT ADDITIONAL CAPACITY IS NEEDED.		
	BARRIER FILTER	X	BF	USED TO FILTER SEDIMENT FROM RUNOFF.	X	
	VEGETATIVE FILTER		VF	USED ALONG DRAINAGEWAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF. SIZE MUST BE INCREASED IN PROPORTION TO DRAINAGE AREA.		
SEDIMENT FILTERS	FILTER FABRIC	X	FF	USED FOR ROADWAY CURB INLETS.	X	
	SILT FENCE	X	SF	USED ALONG DRAINAGEWAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF.	X	
	STABILIZED CONVEYANCE	X	SC	PREVENTS MUD FROM BEING PICKED UP AND CARRIED OFF-SITE.	X	
MUD AND DUST CONTROL	DUST AND TRAFFIC CONTROL	X	DT	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.	X	

**CONSTRUCTION STAGING  
CORPORATE RESERVE  
PRE-CONSTRUCTION**

INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WITHIN THE CONSTRUCTION AND STAGING AREA. STABILIZE CONSTRUCTION ENTRANCE AND SALT FENCE.

**STAGE 1**

- GRADE BARRIERS FOR SEDIMENT STORAGE
- MASS GRADE REMAINING SITE
- ADD DITCH CHECKS
- INSTALL STORM SEWERS AND OTHER UTILITIES
- INSTALL LINED APRONS AND INLET PROTECTION

**STAGE 2**

- INITIATE STABILIZATION WHERE APPLICABLE
- PAVE AND INSTALL CURBS AND GUTTERS, SIDEWALKS, AND ALL OTHER IMPERVIOUS SURFACES

**STAGE 3**

- REMOVE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES WHICH ARE NO LONGER REQUIRED

**CONSTRUCTION STAGING NOTES:**

THE CONTRACTOR WILL NOT BE ALLOWED TO CLEAR MORE THAN ONE STAGE AT A TIME. SOIL STABILIZATION (TEMPORARY OR PERMANENT) MUST BE COMPLETED WITHIN 48 HOURS OF OPENING THE SOIL TO THE ELEMENTS. PERMANENT SOIL STABILIZATION WILL BE INSTALLED PRIOR TO STARTING THE NEXT STAGE OF CONSTRUCTION.

WINTER SHUT DOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPER AND OTHER BARE AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER TO PROMOTE PROPER SOIL EROSION AND SEDIMENT CONTROL. ALL OPEN AREAS THAT ARE TO REMAIN SOLE THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEYOND THE END OF THE GROWING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET, HEAVY MULCH, OR HYDRO MULCH.

**CONTRACTOR CERTIFICATION**

**CONTRACTOR CERTIFICATION**

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (LUR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

**GENERAL CONTRACTOR**

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

**SUB-CONTRACTOR RESPONSIBLE FOR**

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

**WITNESSED BY OWNER**

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

**COMPANY**

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

**COMPANY**

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

**COMPANY**

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL GENERAL AND SPECIAL REQUIREMENTS, CONDITIONS, AND PROVISIONS ON ALL APPLICABLE LOCAL, STATE, AND FEDERAL PERMITS ISSUED FOR THIS PROJECT.

WILLS BURKE KELSEY ASSOCIATES, LTD. IS NOT RESPONSIBLE FOR IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN, INCLUDING MAINTENANCE AND/OR REPAIR OF SOIL EROSION AND SEDIMENT CONTROL MEASURES, OR FOR COMPLIANCE OF THE CONTRACTORS (AND SUBCONTRACTORS) WITH THE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.

**INSPECTION AND MAINTENANCE TABLE**

ACTIVITY	RESPONSIBLE PARTY	DURATION
MAINTENANCE OF STABILIZATION DURING CONSTRUCTION		DURING CONSTRUCTION AS NEEDED
OBSERVATION OF STABILIZATION DURING CONSTRUCTION		WEEKLY AND WITH 24 HRS AFTER RAINFALL EVENT OF 0.5" OR GREATER
VEGETATION MAINTENANCE		1 YEAR FROM COMPLETION
VEGETATION AND STABILIZATION MAINTENANCE		ONGOING FROM PROJECT COMPLETION

**SOIL PROTECTION SCHEDULE**

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A									
DORMANT SEEDING											B	
TEMPORARY SEEDING			C			D						
SODDING			E**									
MULCHING	F											

- A. SEE LANDSCAPE PLAN
- B. SEE LANDSCAPE PLAN
- C. SPRING DATS 100 LBS/ACRE
- D. WHEAT OR GENERAL RYE 150 LBS/ACRE
- E. 500
- F. STRAW MULCH 2 TONS/ACRE

\* IRRIGATION NEEDED DURING JUNE AND JULY  
\*\* IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING 500.

**CORPORATE RESERVE SUBDIVISION  
OF LOT 8  
STORMWATER POLLUTION  
PREVENTION PLAN**

DESIGN	DATE
DRAWN	DATE
CHECKED	DATE
SCALE	1" = 50'
DATE	11.12.18
BY	WILLS BURKE KELSEY ASSOCIATES, LTD.

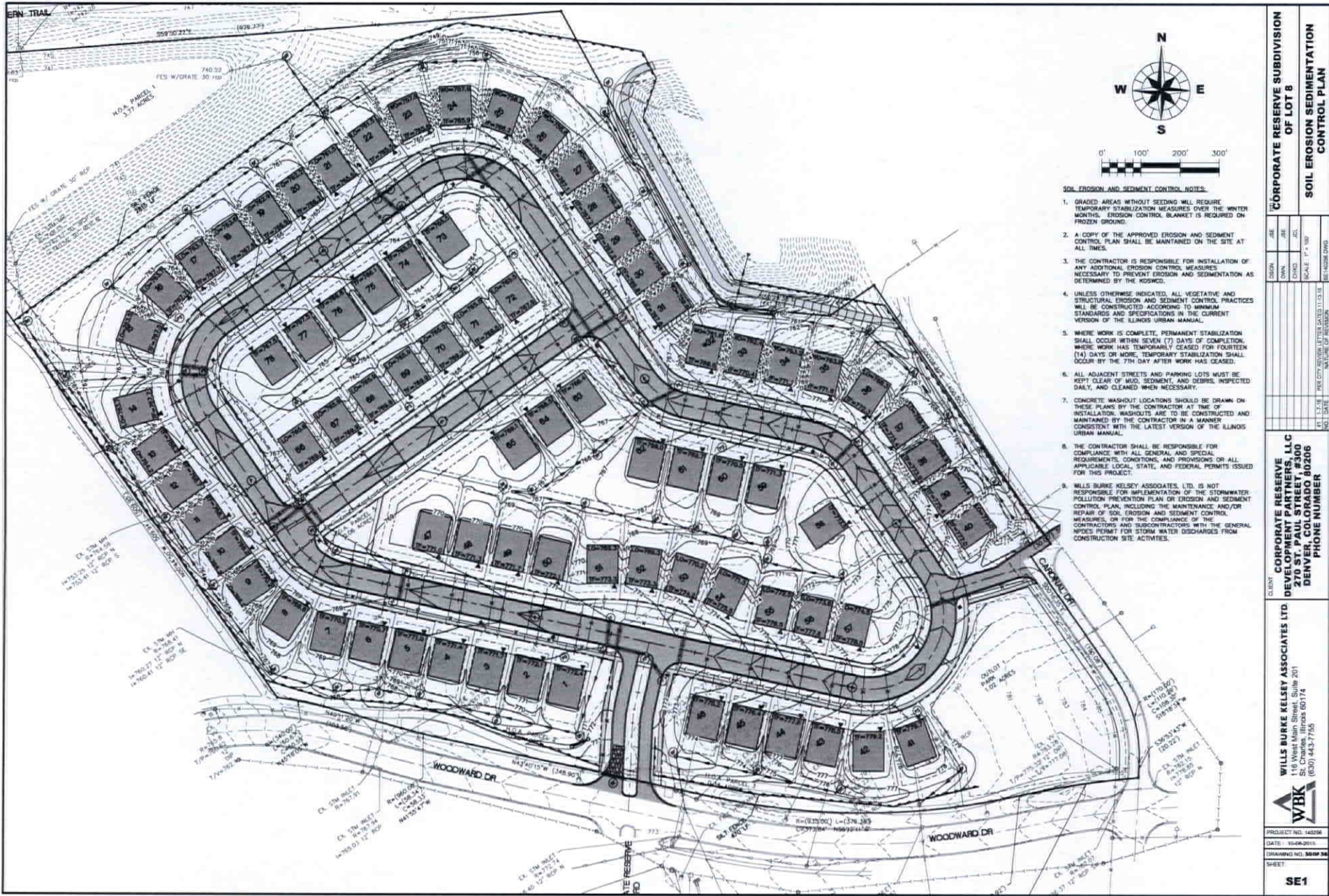
**CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC  
270 ST. PAUL STREET, #300  
DENVER, COLORADO 80206  
PHONE NUMBER**

**WILLS BURKE KELSEY ASSOCIATES, LTD.**  
118 West Main Street, Suite 201  
Denver, Colorado 80202  
(303) 443-7755



PROJECT NO. 140296  
DATE: 10-08-2018  
DRAWING NO. 23007-30  
SHEET

**SW2**



SOIL EROSION AND SEDIMENT CONTROL NOTES:

1. GRADED AREAS WITHOUT SEEDING WILL REQUIRE TEMPORARY STABILIZATION MEASURES OVER THE WINTER MONTHS. EROSION CONTROL BLANKET IS REQUIRED ON FROZEN GROUND.
2. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
3. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE KOSOWSKI.
4. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE CURRENT VERSION OF THE ILLINOIS MANUAL.
5. WHERE WORK IS COMPLETE, PERMANENT STABILIZATION SHALL OCCUR WITHIN SEVEN (7) DAYS OF COMPLETION, WHERE WORK HAS TEMPORARILY CEASED FOR FOURTEEN (14) DAYS OR MORE, TEMPORARY STABILIZATION SHALL OCCUR BY THE 7TH DAY AFTER WORK HAS CEASED.
6. ALL ADJACENT STREETS AND PARKING LOTS MUST BE KEPT CLEAR OF MUD, SEDIMENT AND DEBRIS, INSPECTED DAILY, AND CLEANED WHEN NECESSARY.
7. CONCRETE WASHOUT LOCATIONS SHOULD BE DRAWN ON THESE PLANS BY THE CONTRACTOR AT TIME OF INSTALLATION. WASHOUTS ARE TO BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN A MANNER CONSISTENT WITH THE LATEST VERSION OF THE ILLINOIS MANUAL.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL GENERAL AND SPECIAL REQUIREMENTS, CONDITIONS, AND PROVISIONS OR ALL APPLICABLE LOCAL, STATE, AND FEDERAL PERMITS ISSUED FOR THIS PROJECT.
9. MILLS BURKE KELSEY ASSOCIATES, LTD. IS NOT RESPONSIBLE FOR IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN OR EROSION AND SEDIMENT CONTROL PLAN, INCLUDING THE MAINTENANCE AND/OR REPAIR OF SOIL EROSION AND SEDIMENT CONTROL MEASURES, OR FOR THE COMPLIANCE OF THE CONTRACTORS AND SUBCONTRACTORS WITH THE GENERAL NOTES PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.

**CORPORATE RESERVE SUBDIVISION  
OF LOT 8  
SOIL EROSION SEDIMENTATION  
CONTROL PLAN**

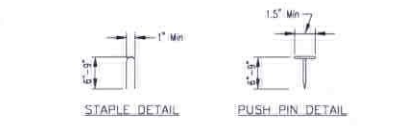
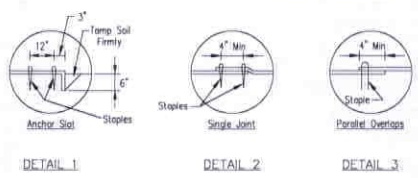
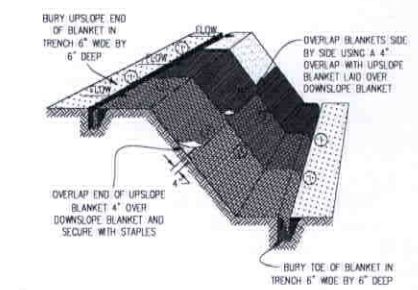
NO.	DATE	REVISION

**CLIENT**  
CORPORATE RESERVE  
DEVELOPMENT PARTNERS, LLC  
118 WEST MAIN STREET, SUITE 201  
DENVER, COLORADO 80202  
PHONE NUMBER

**PROJECT**  
WILLS BURKE KELSEY ASSOCIATES LTD  
118 West Main Street, Suite 201  
St. Charles, Illinois 60174  
(630) 443-7756

PROJECT NO. 140358
DATE: 10-06-2015
DRAWING NO. 503P 38
SHEET
<b>SE1</b>



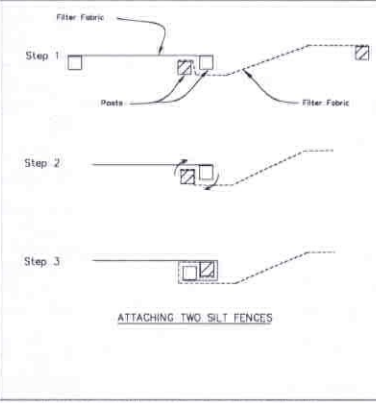


- NOTES**
1. Staples shall be placed in a diamond pattern at 2 per sq. yd. for stiched blankets. Non-stiched shall use 4 staples per sq. yd. of material. This equates to 200 staples with stiched blanket and 400 staples with non-stiched blanket per 100 sq. yd. of material.
  2. Staple or push pin lengths shall be selected based on soil type and conditions. (minimum staple length is 6")
  3. Erosion control material shall be placed in contact with the soil over a prepared seedbed
  4. All anchor slots shall be stapled at approximately 12" intervals

PROJECT NO.	140396
DATE	10/08/2015
DRAWING NO.	3 OF 36
SHEET NO.	1 OF 3

**EROSION CONTROL BLANKET INSTALLATION DETAILS**

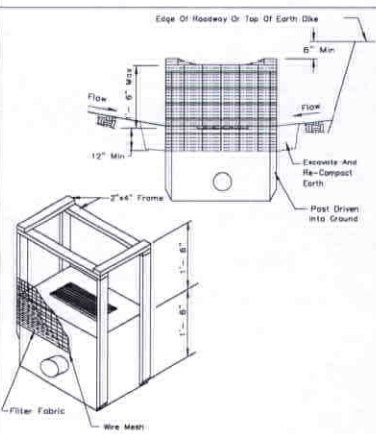
**SILT FENCE - SPLICING TWO FENCES**



1. Place the end post of the second fence inside the end post of the first fence.
2. Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
3. Cut the fabric near the bottom of the stakes to accommodate the 6" gap.
4. Drive both posts a minimum of 18 inches into the ground and bury the top.
5. Compact backfill (particularly at splices) completely to prevent stormwater pooling.

REFERENCE	Project: _____	DATE: _____	APPROVED: _____
DESIGNED	_____	DATE: _____	_____
CHECKED	_____	DATE: _____	_____
STANDARD OMC NO.	IL-620(W)	DATE	8-18-03

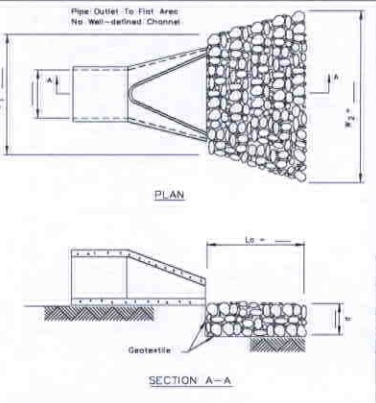
**INLET PROTECTION - FABRIC DROP PLAN**



- NOTES**
1. Filter fabric shall meet the requirement of material specification 592 GEOTEXTILE Table 1 or 2, class \_\_\_\_\_, with an EOS of at least 30 for non-woven and 50 for woven.
  2. The wire mesh shall have a maximum opening of at least 6 inches.
  3. Limit drainage area to the inlet protection to 1 acre.

REFERENCE	Project: _____	DATE: _____	APPROVED: _____
DESIGNED	_____	DATE: _____	_____
CHECKED	_____	DATE: _____	_____
STANDARD OMC NO.	IL-560	DATE	8-28-03

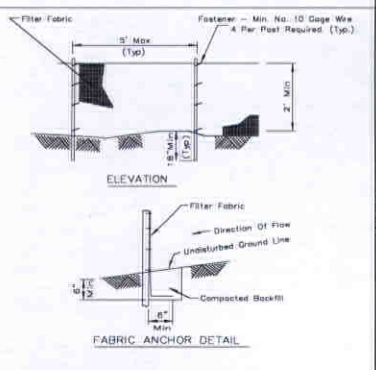
**PIPE OUTLET TO FLAT AREA**



- NOTES**
1. The filter fabric shall meet the requirements in material specifications 592 GEOTEXTILE Table 1 or 2, class \_\_\_\_\_, # 11 \_\_\_\_\_.
  2. The rock riprap shall meet the DOT requirements for the following gradation: #11 \_\_\_\_\_ Quality \_\_\_\_\_.
  3. The riprap shall be placed according to construction specification 61 LODGE ROCK RMPRAP. The rock may be equipment placed.

REFERENCE	Project: _____	DATE: _____	APPROVED: _____
DESIGNED	_____	DATE: _____	_____
CHECKED	_____	DATE: _____	_____
STANDARD OMC NO.	IL-610	DATE	8-18-03

**SILT FENCE PLAN**



- NOTES**
1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
  2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class \_\_\_\_\_ with equivalent opening size of at least 30 for non-woven and 50 for woven.
  3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE	Project: _____	DATE: _____	APPROVED: _____
DESIGNED	_____	DATE: _____	_____
CHECKED	_____	DATE: _____	_____
STANDARD OMC NO.	IL-620	DATE	11-28-03

**CORPORATE RESERVE SUBDIVISION OF LOT 6**

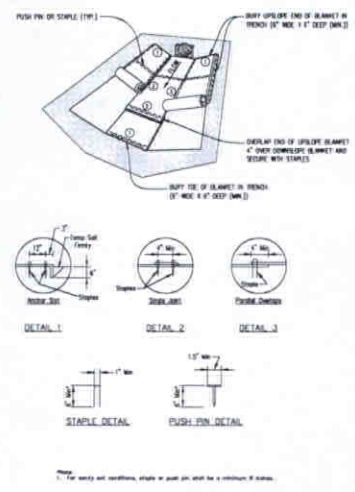
**SOIL EROSION SEDIMENTATION CONTROL PLAN DETAILS**

PROJECT NO. 140396  
DATE: 10/08/2015  
DRAWING NO. 3 OF 36  
SHEET: SE2

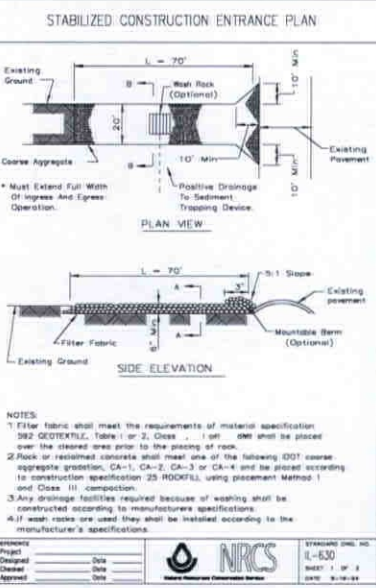
CLIENT: **WILLS BURKE KELSEY ASSOCIATES LTD**  
118 West Main Street, Suite 201  
St. Charles, Illinois 60174  
(830) 443-7756

DESIGNER: **DEVELOPMENT PARTNERS, LLC**  
270 ST. PAUL STREET, #500  
DENVER, COLORADO 80208  
PHONE NUMBER

SCALE: 1" = 30'  
DATE: 8-18-03  
PROJECT NUMBER: 140396  
SHEET NO.: 3 OF 36  
SHEET: SE2



Project	Date	STANDARD DWG. NO.
Designed	Date	IL-630
Checked	Date	SHEET 1 OF 2
Approved	Date	DATE 6-18-04

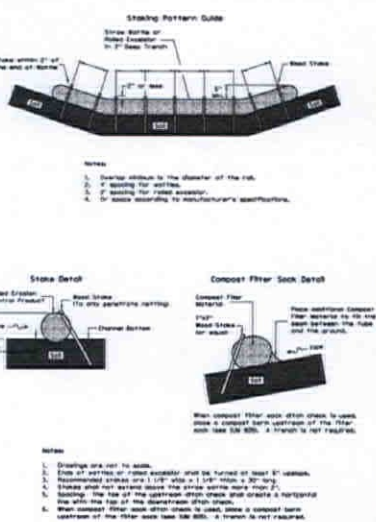


**NOTES:**

1. Filter fabric shall meet the requirements of material specification 202 GEOTECHNICAL, Table 1 or 2, Class 1 or 2. The filter fabric shall be placed over the cleared area prior to the placing of rock.
2. Rock or retained concrete shall meet one of the following DOT course aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 23 ROCKFILL, using placement Method 1 and Class III compaction.
3. Any drainage facilities required because of washing shall be constructed according to manufacturer's specifications.
4. If wash racks are used they shall be installed according to the manufacturer's specifications.

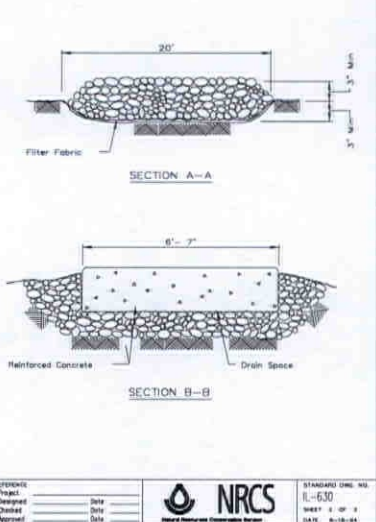
Project	Date	STANDARD DWG. NO.
Designed	Date	IL-630
Checked	Date	SHEET 1 OF 2
Approved	Date	DATE 6-18-04

**ROLLED EROSION CONTROL PRODUCTS**



Project	Date	STANDARD DWG. NO.
Designed	Date	ILM-514
Checked	Date	SHEET 1 OF 1
Approved	Date	DATE 8-18-11

**STABILIZED CONSTRUCTION ENTRANCE PLAN**



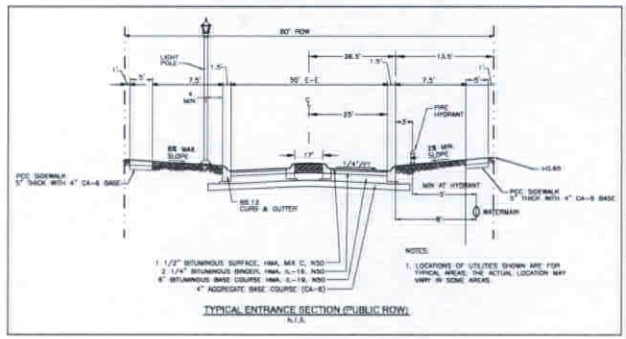
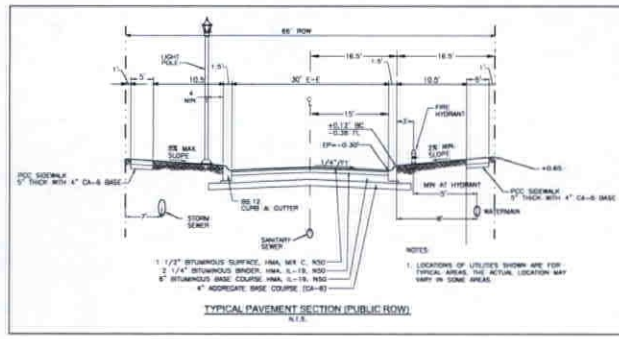
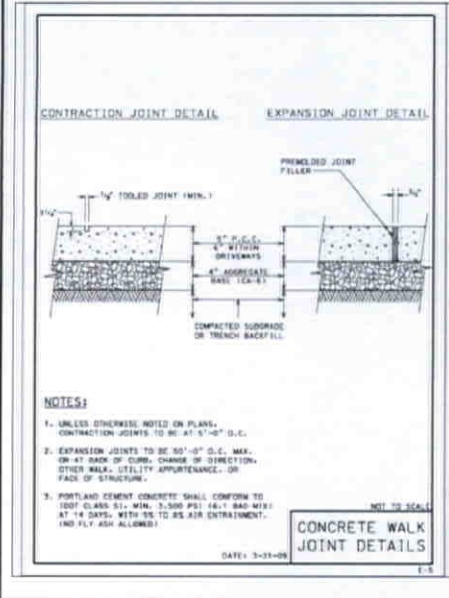
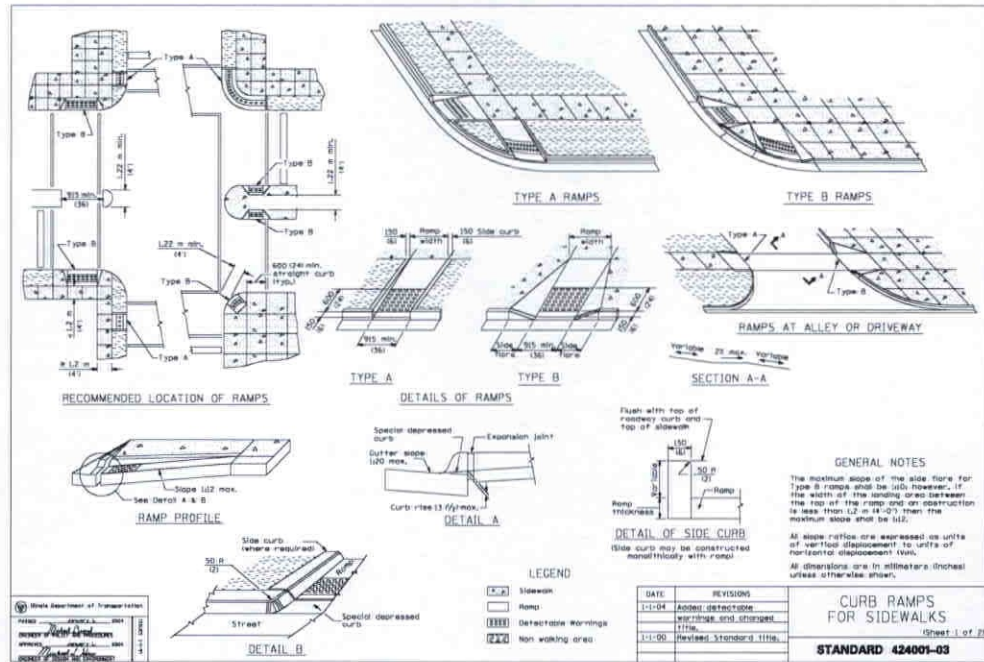
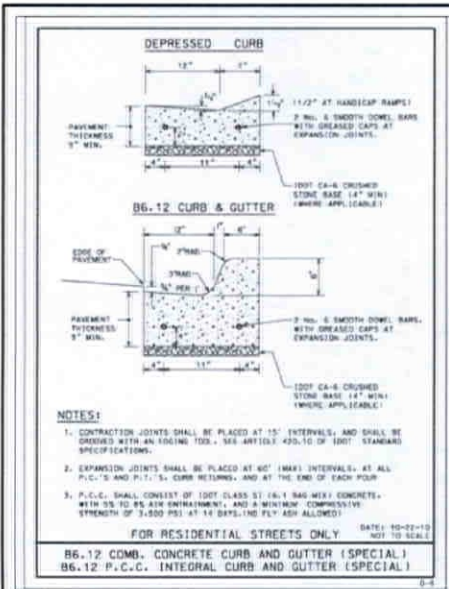
Project	Date	STANDARD DWG. NO.
Designed	Date	IL-630
Checked	Date	SHEET 1 OF 2
Approved	Date	DATE 6-18-04

**CORPORATE RESERVE SUBDIVISION OF LOT 8**

**SOIL EROSION SEDIMENTATION CONTROL PLAN**

**WILLS BURKE KELSEY ASSOCIATES LTD.**  
118 West Main Street, Suite 201  
St. Charles, Illinois 60174  
(630) 443-7755

**PROJECT NO. 14026**  
DATE: 05-08-2010  
DRAWING NO. 33DF34  
SHEET



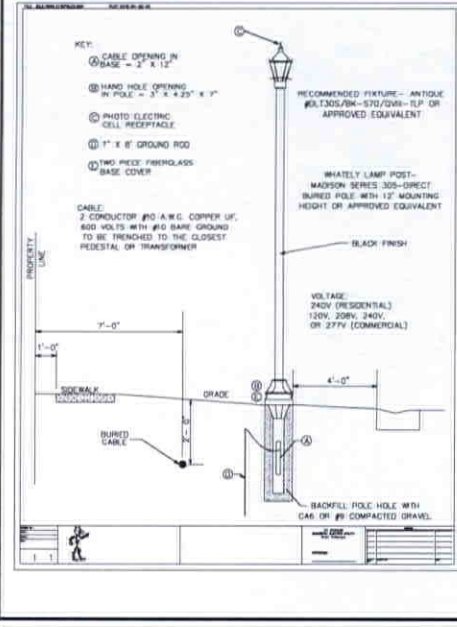
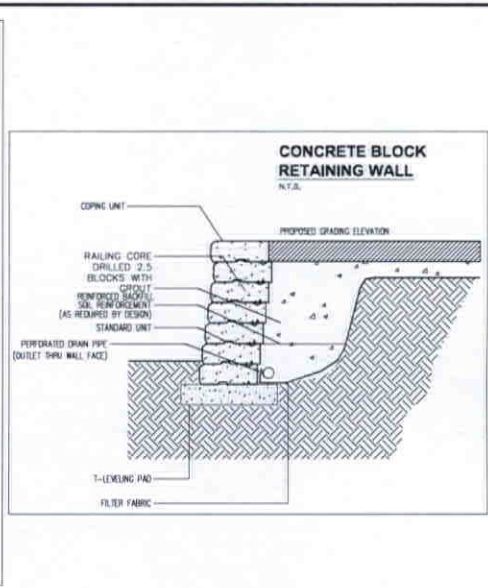
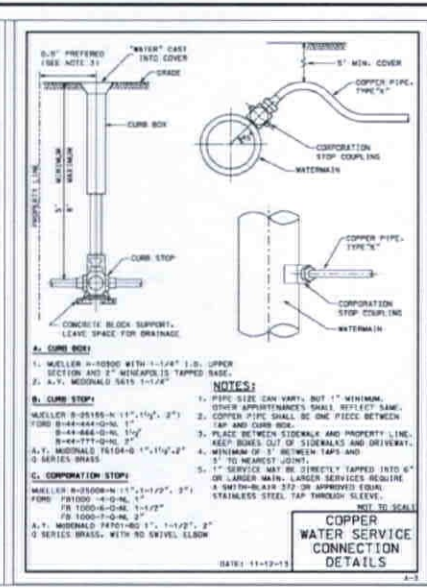
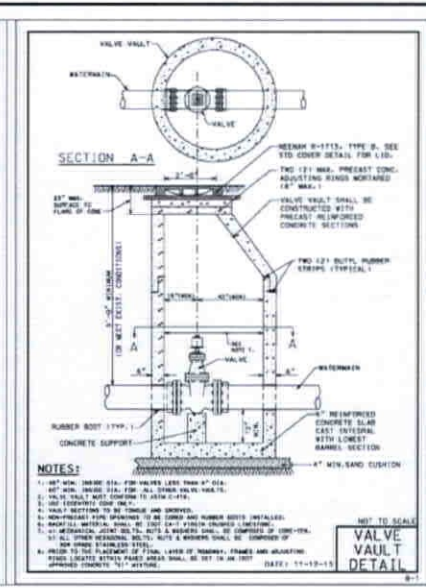
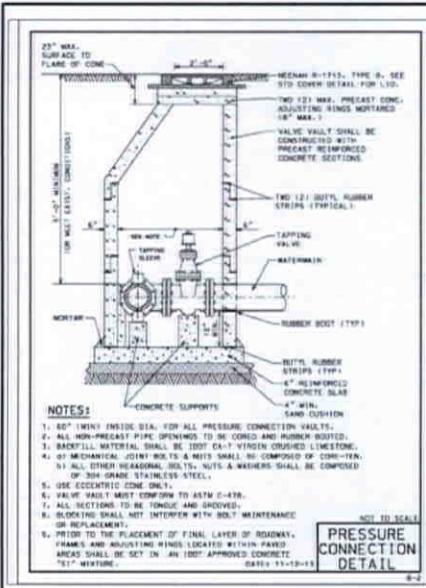
**CORPORATE RESERVE SUBDIVISION OF LOT 8**

**CLIENT:** WILLS BURKE KELSEY ASSOCIATES LTD. 114 West Main Street, Suite 201, St. Charles, Illinois 60174 (630) 443-7755

**DEVELOPMENT PARTNERS, LLC**  
270 ST. PAUL STREET, #300  
DENVER CO, 80206  
PHONE NUMBER

**DETAILS**

DATE: 10-22-10  
DRAWING NO. 3307-38  
SHEET: DT1



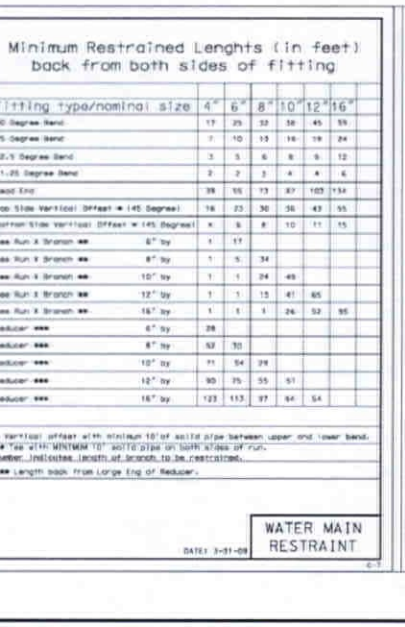
**Minimum Restrained Lengths (in feet) back from both sides of fitting**

Fitting type/nominal size	4"	6"	8"	10"	12"	16"
90 Degree Bend	17	20	22	26	30	36
45 Degree Bend	7	10	12	14	16	24
22.5 Degree Bend	3	3	6	6	6	12
Flange End	18	18	18	27	102	134
Top Side Vertical Offset = 145 Degree	18	23	30	36	43	55
Bottom Side Vertical Offset = 145 Degree	8	8	8	10	11	15
Tee Run X Branch 90	8"	1	11			
Tee Run X Branch 45	8"	1	5	34		
Tee Run X Branch 22.5	10"	1	1	24	49	
Tee Run X Branch 90	12"	1	1	15	41	85
Tee Run X Branch 45	16"	1	1	1	24	52
Reducer 90	6"	1	28			
Reducer 45	8"	1	52	70		
Reducer 22.5	10"	1	11	24	29	
Reducer 90	12"	1	1	15	55	51
Reducer 45	16"	1	1	13	13	94

**NOTE:**

- \* Vertical offset with minimum 10" of solid pipe between upper and lower bend.
- \*\* Tee with minimum 10" notch depth on upper side of run.
- \*\*\* Includes thickness of branch to be restricted.
- \*\*\*\* Length back from large end of Reducer.

**WATER MAIN RESTRAINT**  
DATE: 3-31-09



**CORPORATE RESERVE SUBDIVISION OF LOT B**

**DETAILS**

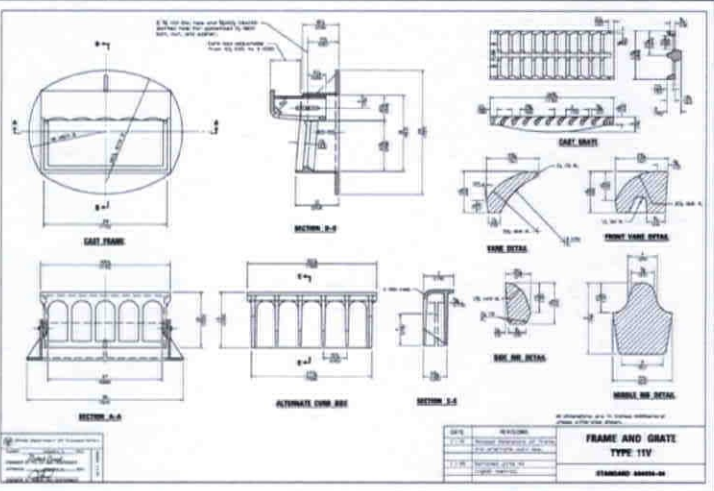
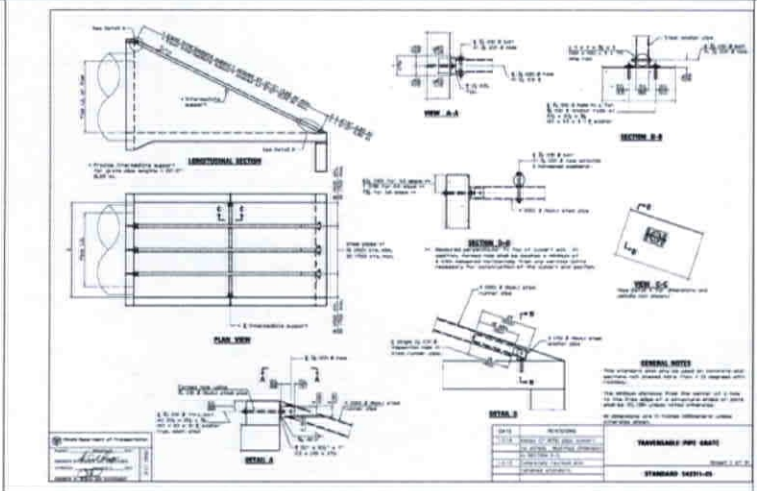
DESIGN	DATE	SCALE	BY	CHKD	DATE	SCALE	BY
		1" = 10'					

PER CITY MASTER PLAN DATED 11-13-13  
DATE: 11-13-13

**WILLS BURKE KESEY ASSOCIATES LTD**  
115 West Main Street, Suite 201  
DENVER, COLORADO 80202  
(303) 443-7755

**CORPORATE PARTNERS, LLC**  
270 ST. PAUL STREET, #300  
DENVER, COLORADO 80206  
PHONE NUMBER

PROJECT NO. 140296  
DATE: 10-06-2015  
DRAWING NO. 34 OF 36  
SHEET:

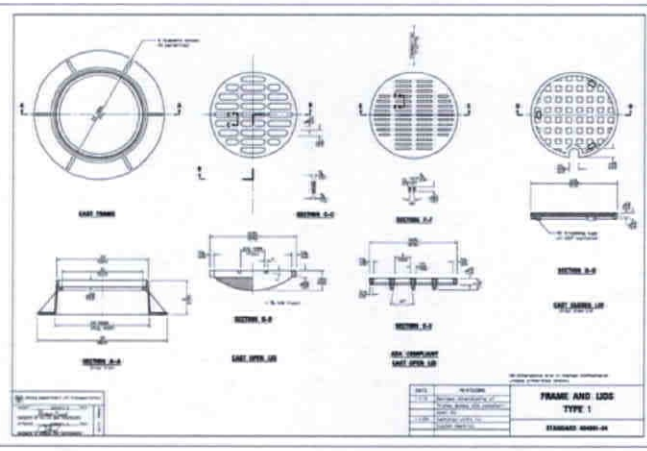
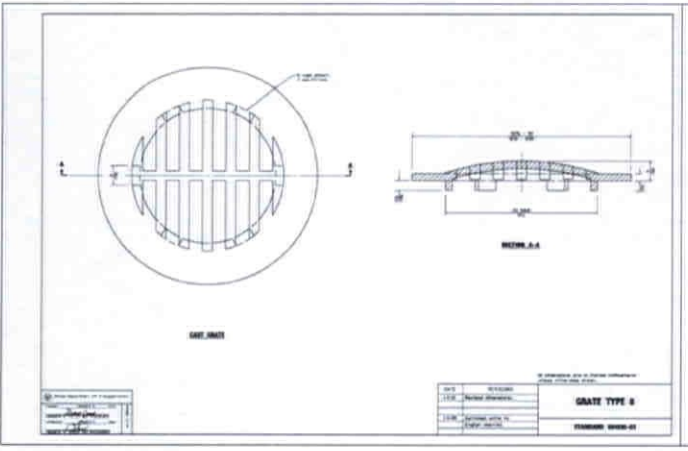


**PIPE-GRAZE SCHEDULE FOR ROUND PIPE CURVES AND SECTIONS**

ITEM	DESCRIPTION	STANDARD SPECIFICATION
1	MANUFACTURE PIPE GRATE	STANDARD SPEC-04
2	STANDARD 142P1-04	

**PIPE-GRAZE SCHEDULE FOR RECTANGULAR PIPE CURVES AND SECTIONS**

ITEM	DESCRIPTION	STANDARD SPECIFICATION
1	MANUFACTURE PIPE GRATE	STANDARD SPEC-04
2	STANDARD 142P1-04	

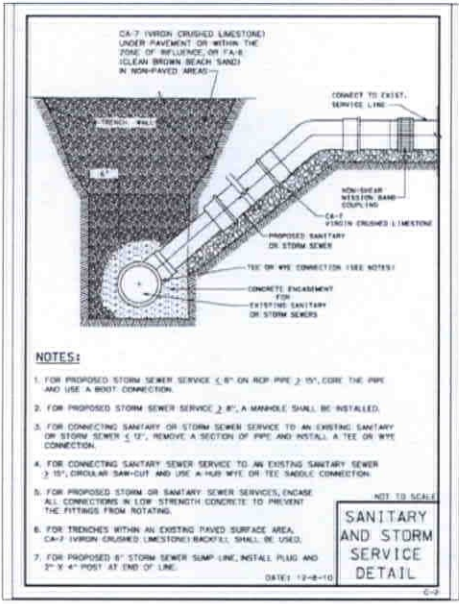


CORPORATE RESERVE SUBDIVISION OF LOT 8  
 DETAILS

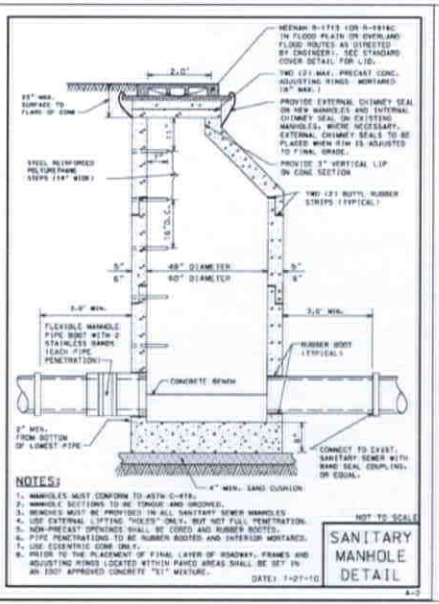
CORPORATE RESERVE PARTNERS, LLC  
 270 ST. PAUL STREET, #300  
 DENVER, COLORADO 80206  
 PHONE NUMBER

PROJECT NO. 140336  
 DATE: 10-08-2015  
 DRAWING NO. 350P-38  
 SHEET:

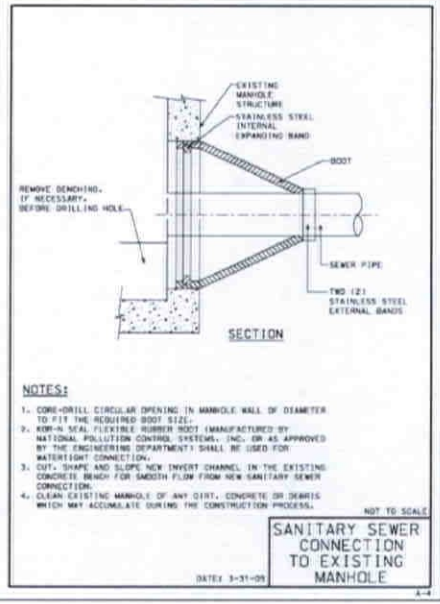
DT3



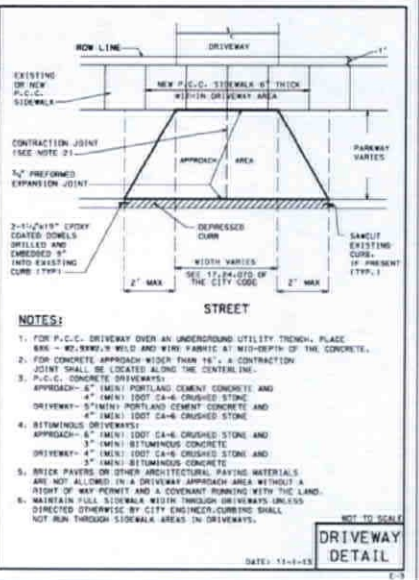
NOT TO SCALE  
**SANITARY AND STORM SERVICE DETAIL**  
G-2



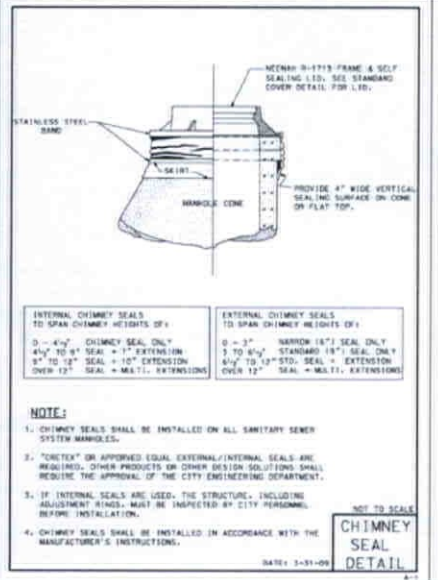
NOT TO SCALE  
**SANITARY MANHOLE DETAIL**  
A-3



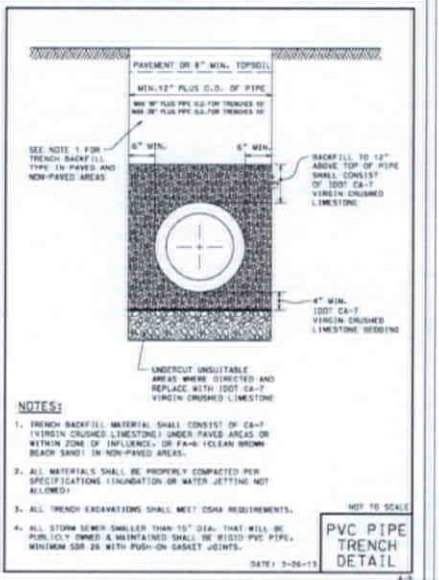
NOT TO SCALE  
**SANITARY SEWER CONNECTION TO EXISTING MANHOLE**  
A-4



NOT TO SCALE  
**DRIVEWAY DETAIL**  
E-3



NOT TO SCALE  
**CHIMNEY SEAL DETAIL**  
A-1



NOT TO SCALE  
**PVC PIPE TRENCH DETAIL**  
A-2

**CORPORATE RESERVE SUBDIVISION OF LOT 8**

**DETAILS**

NO.	DATE	BY	CHKD.	APP.
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				

SCALE: 1" = 10'

DATE: 12-18-10

PROJECT NO. 142236

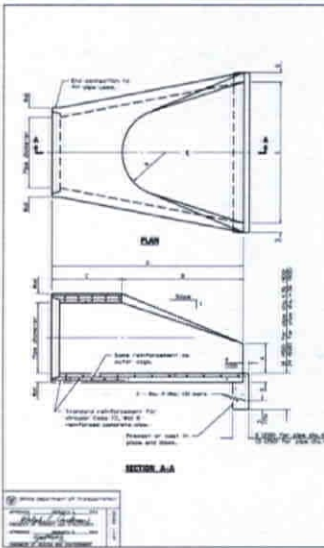
DRAWING NO. 380738

SHEET

**CLIENT:** WILLIS BURE KELSEY ASSOCIATES LTD.  
DEVELOPMENT PARTNERS, LLC  
270 ST. PAUL STREET, #300  
DENVER, COLORADO 80206  
PHONE NUMBER: (303) 443-7755

**PROJECT NO. 142236**  
**DATE: 10-28-2015**  
**DRAWING NO. 380738**  
**SHEET:**

**DT4**

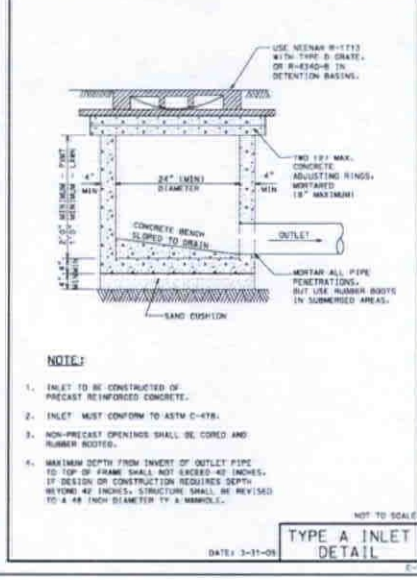
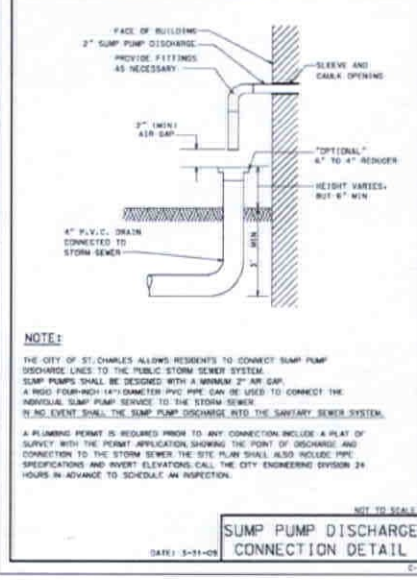
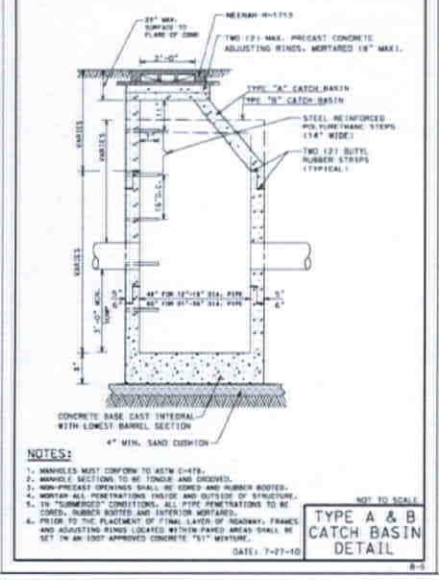
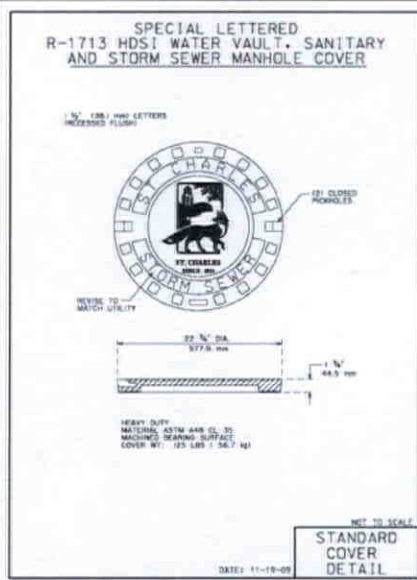
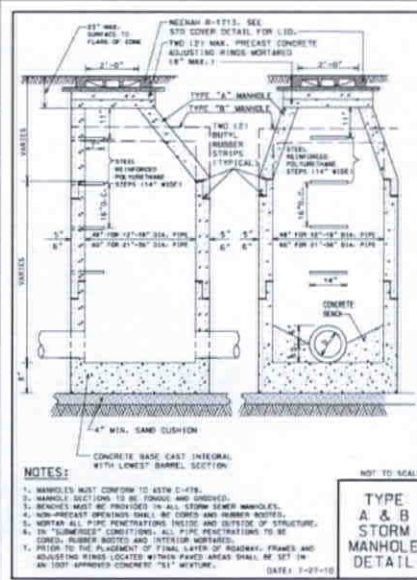


REV.	DATE	DESCRIPTION	BY	CHKD.
1	7-27-10	ISSUED FOR PERMIT	JL	JL
2	7-27-10	REVISED PER COMMENTS	JL	JL
3	7-27-10	REVISED PER COMMENTS	JL	JL
4	7-27-10	REVISED PER COMMENTS	JL	JL
5	7-27-10	REVISED PER COMMENTS	JL	JL
6	7-27-10	REVISED PER COMMENTS	JL	JL
7	7-27-10	REVISED PER COMMENTS	JL	JL
8	7-27-10	REVISED PER COMMENTS	JL	JL
9	7-27-10	REVISED PER COMMENTS	JL	JL
10	7-27-10	REVISED PER COMMENTS	JL	JL
11	7-27-10	REVISED PER COMMENTS	JL	JL
12	7-27-10	REVISED PER COMMENTS	JL	JL
13	7-27-10	REVISED PER COMMENTS	JL	JL
14	7-27-10	REVISED PER COMMENTS	JL	JL
15	7-27-10	REVISED PER COMMENTS	JL	JL
16	7-27-10	REVISED PER COMMENTS	JL	JL
17	7-27-10	REVISED PER COMMENTS	JL	JL
18	7-27-10	REVISED PER COMMENTS	JL	JL
19	7-27-10	REVISED PER COMMENTS	JL	JL
20	7-27-10	REVISED PER COMMENTS	JL	JL
21	7-27-10	REVISED PER COMMENTS	JL	JL
22	7-27-10	REVISED PER COMMENTS	JL	JL
23	7-27-10	REVISED PER COMMENTS	JL	JL
24	7-27-10	REVISED PER COMMENTS	JL	JL
25	7-27-10	REVISED PER COMMENTS	JL	JL
26	7-27-10	REVISED PER COMMENTS	JL	JL
27	7-27-10	REVISED PER COMMENTS	JL	JL
28	7-27-10	REVISED PER COMMENTS	JL	JL
29	7-27-10	REVISED PER COMMENTS	JL	JL
30	7-27-10	REVISED PER COMMENTS	JL	JL

**PRECAST REINFORCED CONCRETE FLARED END SECTION**  
STANDARD S4200-02

**GENERAL NOTES:**  
1. MANHOLES MUST CONFORM TO ASTM C-478.  
2. MANHOLE SECTIONS TO BE TONDED AND GROoved.  
3. RINGS MUST BE PROVIDED IN ALL STORM SEWER MANHOLES.  
4. NON-PRECAST OPENINGS SHALL BE CORED AND RUBBER BOOTED.  
5. MORTAR ALL PIPE PENETRATIONS INSIDE AND OUTSIDE OF STRUCTURE.  
6. IN "SUMMERSED" CONDITIONS, ALL PIPE PENETRATIONS TO BE CORED, RUBBER BOOTED AND INTERIOR MORTARED.  
7. PRIOR TO THE PLACEMENT OF FINAL LAYER OF ROADWAY, FRAMES AND ADJUSTING RINGS LOCATED WITHIN PAVED AREAS SHALL BE SET IN AN 100% APPROVED CONCRETE "51" MORTURE.

DATE: 7-27-10



**CORPORATE RESERVE SUBDIVISION OF LOT 8**

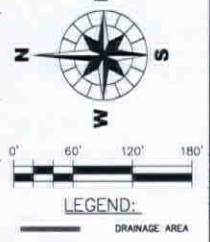
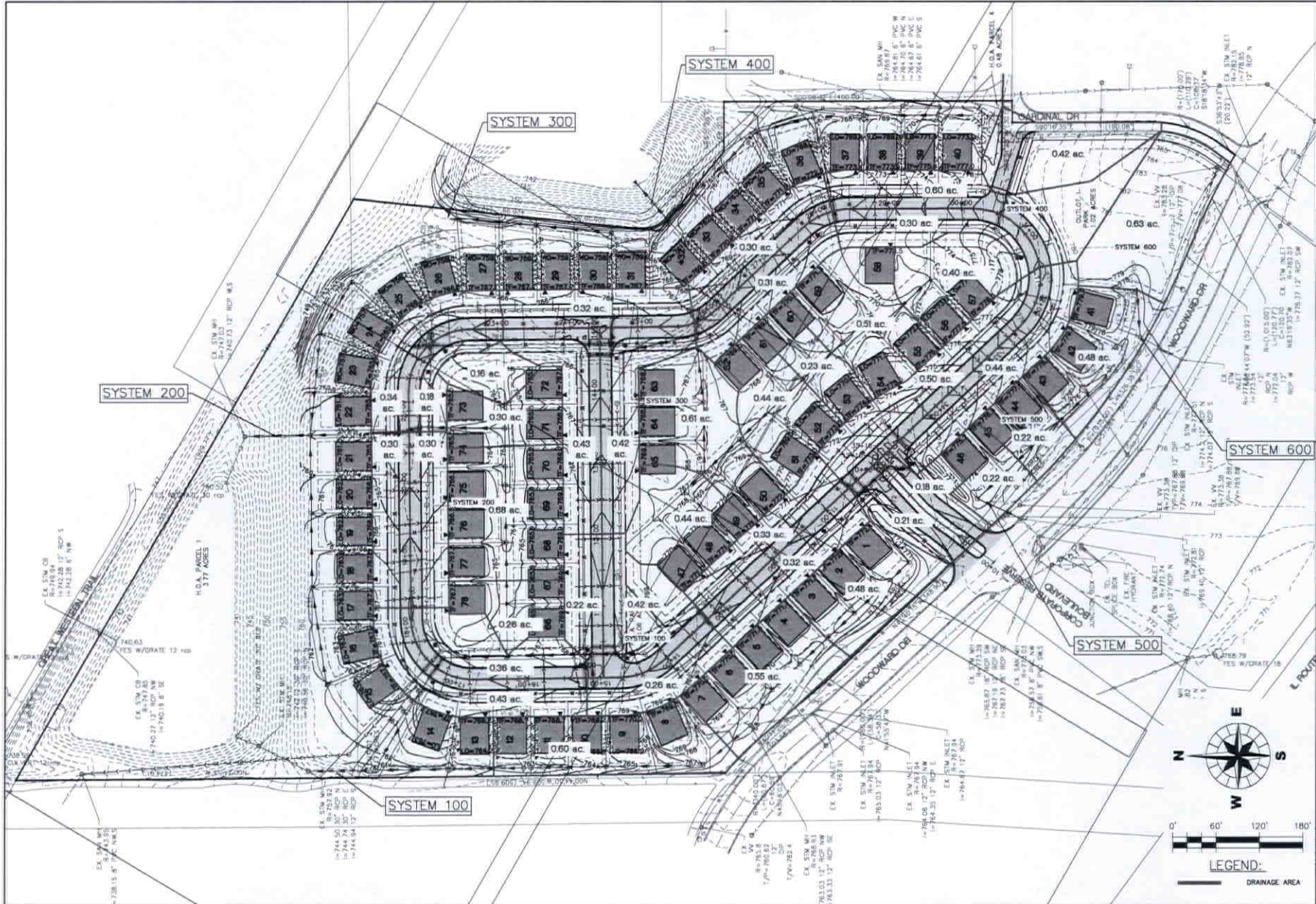
**WILLS BURKE KESEY ASSOCIATES LTD**  
118 West Main Street, Suite 201  
St. Charles, Illinois 60174  
(630) 443-7755

**CLIENT:** CORPORATE RESERVE PARTNERS, LLC  
270 ST. PAUL STREET, #500  
DENVILLE, TN 37026  
PHONE NUMBER

**PROJECT NO. 14226**  
DATE: 12-08-2015  
DRAWING NO. 3700-38

**DESIGNER:** JL  
**CHECKER:** JL  
**SCALE:** 1" = 8"  
**DATE:** 7-27-10  
**VALUE OF PROJECT:** \$1,000,000

**DT5**

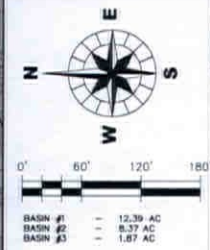
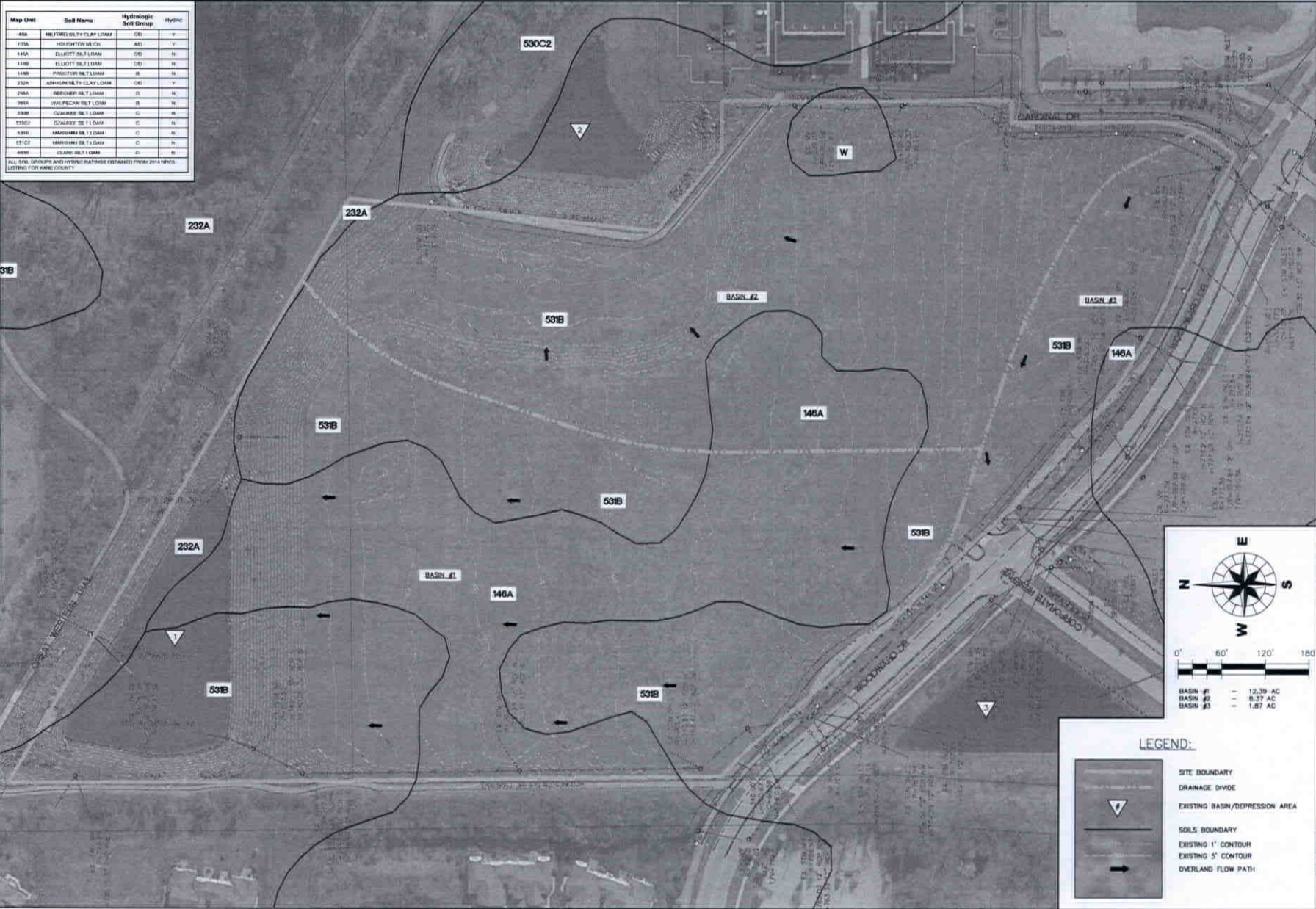


PROJECT NO. 14-0290	DATE: 08/26/15	DRAWING NO. 04	SHEET: 1 OF 1
PROJECT NAME: WILLS BURKE KELSEY ASSOCIATES LTD. 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755			
CLIENT: CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206			
TITLE: CORPORATE RESERVE CATCHMENT AREA MAP			
SCALE: 1" = 80'			
DATE: NO. DATE: NO. DATE: NO. DATE: NO. DATE: NO. DATE:			
DRAWN: _____			
CHECKED: _____			
DATE: _____			
NO. DATE: NO. DATE: NO. DATE: NO. DATE: NO. DATE: NO. DATE: NO. DATE:			



Map Unit	Soil Name	Hydrologic Soil Group	Hydric
45A	AMFIELD SILTY CLAY LOAM	DE	Y
105A	HOLSWATER MUDS	AD	Y
145A	ELLIOTT SILT LOAM	DE	N
145B	ELLIOTT SILT LOAM	DE	H
145C	PRESCOTT SILT LOAM	B	N
232A	ARROWBOW SILTY CLAY LOAM	DE	Y
265A	BREWER SILT LOAM	D	N
395A	WALPECAN SILT LOAM	B	N
395B	OSAGE SILT LOAM	C	N
590C	OSAGE SILT LOAM	C	N
591	MAHONIM SILT LOAM	C	N
591C	MAHONIM SILT LOAM	C	N
592	CLARK SILT LOAM	C	N

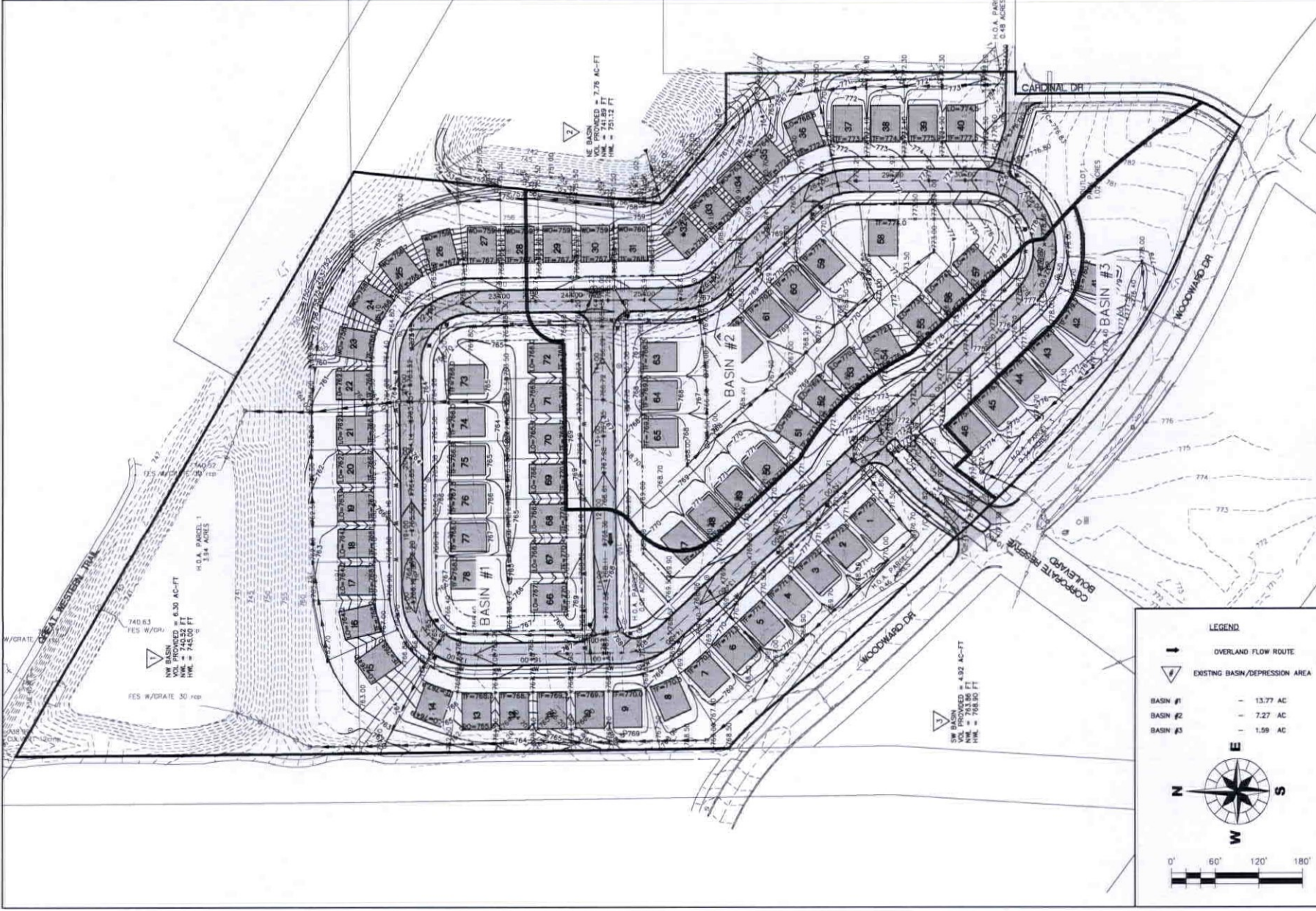
ALL SWL GROUPS AND HYDRIC RATINGS OBTAINED FROM 2014 NRCS LISTING FOR KANE COUNTY.



**LEGEND:**

	SITE BOUNDARY
	DRAINAGE DIVIDE
	EXISTING BASIN/DEPRESSION AREA
	SOILS BOUNDARY
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	OVERLAND FLOW PATH

<b>TITLE:</b> CORPORATE RESERVE SUBDIVISION OF LOT 8 VICINITY TOPOGRAPHIC MAP	
<b>DESIGNER:</b> WILLS BURKE KELSEY ASSOCIATES LTD. 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755	<b>CLIENT:</b> CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC 270 ST. PAUL STREET #300 DENVER, COLORADO 80206
<b>DATE:</b> 08/20/13	<b>PROJECT NO.:</b> 140298
<b>SCALE:</b> 1" = 60'	<b>DATE:</b> 08/20/13
<b>NO. DATE:</b> NATURE OF REVISION	<b>EXHIBIT #:</b> VTM



**LEGEND**

OVERLAND FLOW ROUTE  
 EXISTING BASIN/DEPRESSION AREA

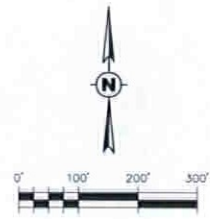
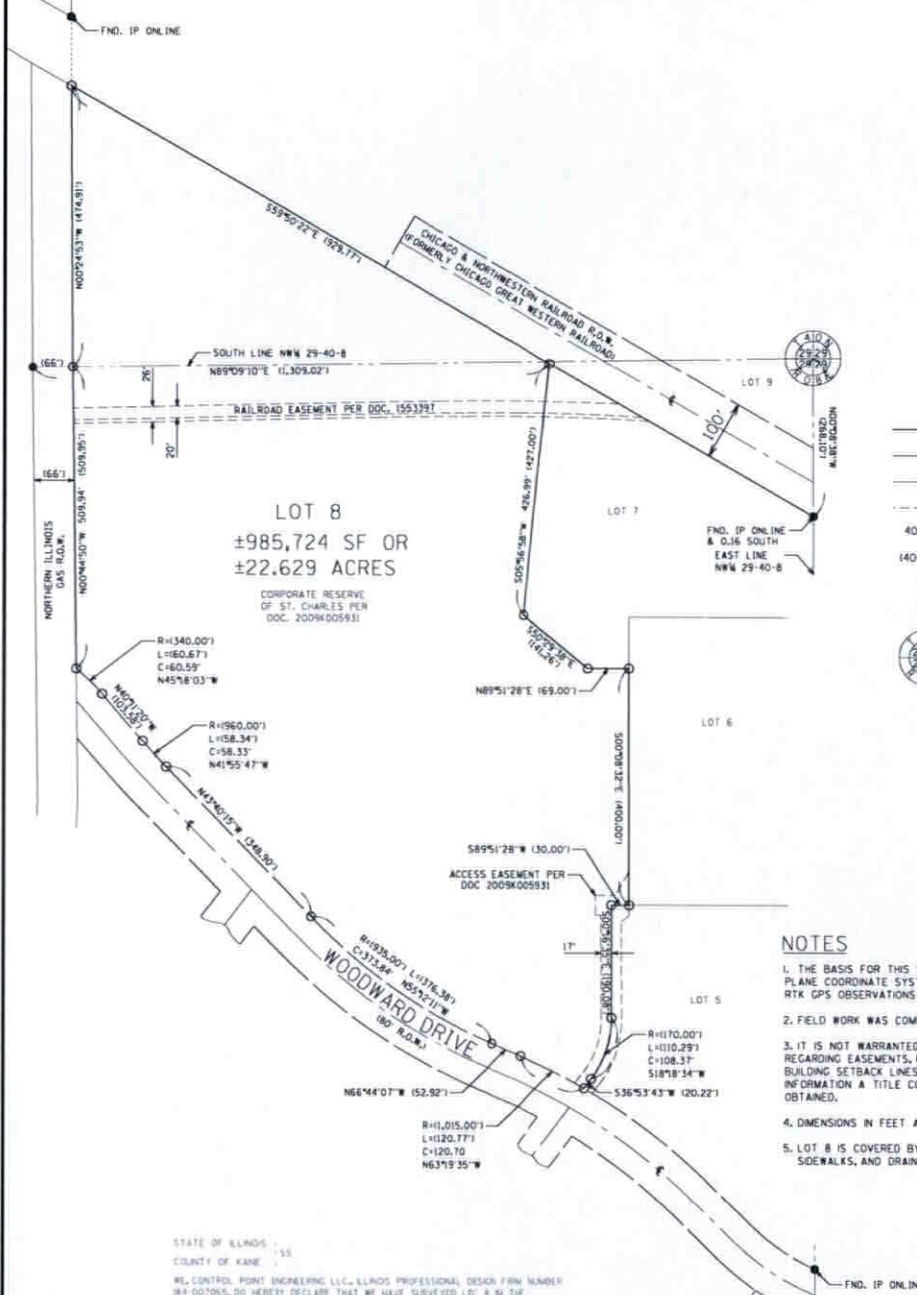
BASIN #1     13.77 AC  
 BASIN #2     7.27 AC  
 BASIN #3     1.59 AC

<b>WILLS BURKE KELSEY ASSOCIATES LTD.</b> 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755		<b>CLIENT:</b> <b>CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC</b> 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206		<b>TITLE:</b> <b>CORPORATE RESERVE SUBDIVISION OF LOT 8</b> <b>SITE TOPOGRAPHIC MAP (PROPOSED)</b>	
PROJECT NO. 13-028	DATE: 09/29/15	STAMP: 02/26 DWG	NO. DATE:	SCALE: P = 42	DATE OF REVISION:
<b>EXHIBIT #</b> <b>STM-P</b>					

PL1 DATE: 05/15/15  
 DRAWN BY: JPK/MLK  
 FILE NAME: 150515

# PLAT OF SURVEY

LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 28, 2009 AS DOCUMENT NO. 2009K005931, ALL IN KANE COUNTY, ILLINOIS.



### LEGEND

- SURVEYED PROPERTY
- RIGHT OF WAY LINE
- EX. EASEMENT LINE
- QUARTER SECTION LINE
- MEASURED OR CALCULATED SURVEY DATA
- RECORD OR PRIOR SURVEY DATA
- FOUND IRON PIPE OR IRON REBAR
- SET 1/2" X 24" IRON PIPE
- QUARTER SECTION CORNER

### NOTES

1. THE BASIS FOR THIS SURVEY IS GRID NORTH OF THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE, BASED ON MULTIPLE AVERAGED RTK GPS OBSERVATIONS REFERENCE TO THE TRIMBLE VRS NETWORK.
2. FIELD WORK WAS COMPLETED 5/11/15.
3. IT IS NOT WARRANTED THAT THIS PLAT CONTAINS COMPLETE INFORMATION REGARDING EASEMENTS, RESERVATIONS, RESTRICTIONS, RIGHT OF WAY, BUILDING SETBACK LINES, AND OTHER ENCUMBRANCES. FOR COMPLETE INFORMATION A TITLE COMMITMENT FOR TITLE INSURANCE SHOULD BE OBTAINED.
4. DIMENSIONS IN FEET AND DECIMALS.
5. LOT 8 IS COVERED BY A BLANKET EASEMENT FOR PUBLIC UTILITIES, SIDEWALKS, AND DRAINAGE PER DOCUMENT 2009K005931.

STATE OF ILLINOIS - 55  
 COUNTY OF KANE - 55

WE, CONTROL POINT ENGINEERING LLC, ILLINOIS PROFESSIONAL DESIGN FIRM NUMBER 984-007045, DO HEREBY DECLARE THAT WE HAVE SURVEYED LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ALL IN KANE COUNTY, ILLINOIS, AND THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS 15th DAY OF MAY, 2015 AT BATAVIA, ILLINOIS.

*J.P. Kelsey*  
 J.P. KELSEY  
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 5832  
 MY LICENSE EXPIRES NOVEMBER 30, 2017  
 DESIGN FIRM LICENSE EXPIRES APRIL 30, 2017

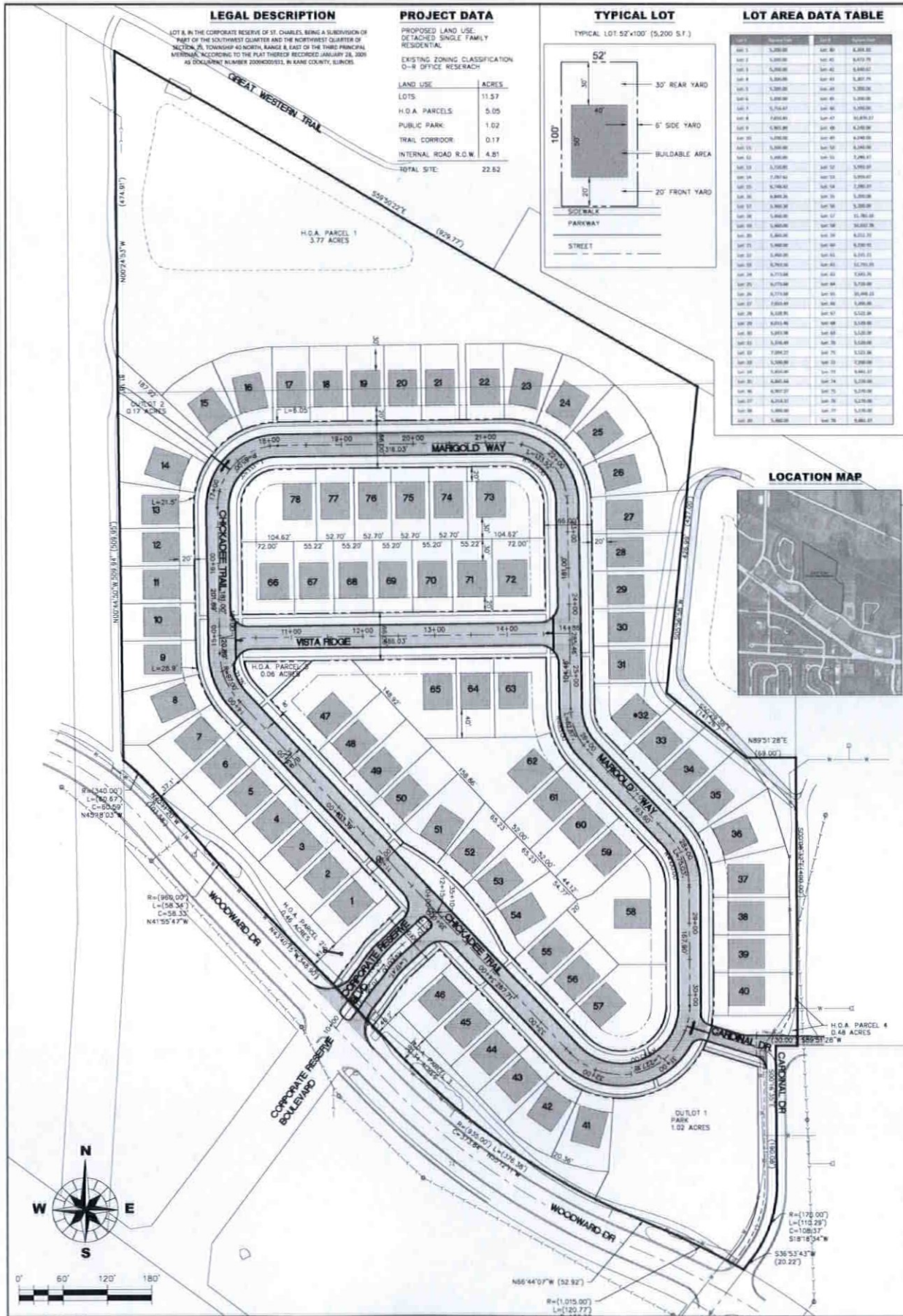
**CONTROL POINT ENGINEERING LLC**  
 1240 LYON ROAD  
 BATAVIA, IL 60510  
 PHONE: (630) 482-2341

CLIENT:  
**WILLS BURKE KELSEY & ASSOCIATES LTD.**  
 116 W. MAIN ST., SUITE 201  
 ST. CHARLES, IL 60174

1		OSGN	RPD
2		DWN	RPD
3		CHWD	RPD
4		SCALE:	1"=100'
5			
6			
7			
NO.	DATE	REVISION DESCRIPTION	

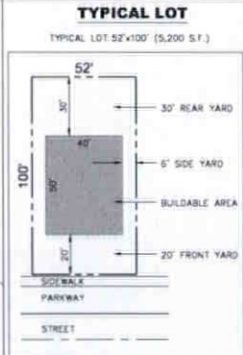
**PLAT OF SURVEY**  
 LOT 8 OF THE CORPORATE RESERVE OF ST. CHARLES

PROJECT NO. 150508  
 DATE: 5/15/15  
 SHEET 1 OF 1  
 DRAWING NO. PL1



**LEGAL DESCRIPTION**  
 LOT 8, IN THE CORPORATE RESERVE OF ST. CHARLES, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 45 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 28, 2008 AS DOCUMENT NUMBER 2008030531, IN KANE COUNTY, ILLINOIS.

**PROJECT DATA**  
 PROPOSED LAND USE: DETACHED SINGLE FAMILY RESIDENTIAL  
 EXISTING ZONING CLASSIFICATION: O-8 OFFICE RESEARCH  
 LAND USE: ACRES  
 LOTS: 11.57  
 H.O.A. PARCELS: 5.05  
 PUBLIC PARK: 1.02  
 TRAIL CORRIDOR: 0.17  
 INTERNAL ROAD R.O.W.: 4.81  
 TOTAL SITE: 22.62



**LOT AREA DATA TABLE**

Lot #	Area (S.F.)	Area (Acres)
LOT 1	5,200.00	0.189
LOT 2	5,200.00	0.189
LOT 3	5,200.00	0.189
LOT 4	5,200.00	0.189
LOT 5	5,200.00	0.189
LOT 6	5,200.00	0.189
LOT 7	5,200.00	0.189
LOT 8	5,200.00	0.189
LOT 9	5,200.00	0.189
LOT 10	5,200.00	0.189
LOT 11	5,200.00	0.189
LOT 12	5,200.00	0.189
LOT 13	5,200.00	0.189
LOT 14	5,200.00	0.189
LOT 15	5,200.00	0.189
LOT 16	5,200.00	0.189
LOT 17	5,200.00	0.189
LOT 18	5,200.00	0.189
LOT 19	5,200.00	0.189
LOT 20	5,200.00	0.189
LOT 21	5,200.00	0.189
LOT 22	5,200.00	0.189
LOT 23	5,200.00	0.189
LOT 24	5,200.00	0.189
LOT 25	5,200.00	0.189
LOT 26	5,200.00	0.189
LOT 27	5,200.00	0.189
LOT 28	5,200.00	0.189
LOT 29	5,200.00	0.189
LOT 30	5,200.00	0.189
LOT 31	5,200.00	0.189
LOT 32	5,200.00	0.189
LOT 33	5,200.00	0.189
LOT 34	5,200.00	0.189
LOT 35	5,200.00	0.189
LOT 36	5,200.00	0.189
LOT 37	5,200.00	0.189
LOT 38	5,200.00	0.189
LOT 39	5,200.00	0.189
LOT 40	5,200.00	0.189
LOT 41	5,200.00	0.189
LOT 42	5,200.00	0.189
LOT 43	5,200.00	0.189
LOT 44	5,200.00	0.189
LOT 45	5,200.00	0.189
LOT 46	5,200.00	0.189
LOT 47	5,200.00	0.189
LOT 48	5,200.00	0.189
LOT 49	5,200.00	0.189
LOT 50	5,200.00	0.189
LOT 51	5,200.00	0.189
LOT 52	5,200.00	0.189
LOT 53	5,200.00	0.189
LOT 54	5,200.00	0.189
LOT 55	5,200.00	0.189
LOT 56	5,200.00	0.189
LOT 57	5,200.00	0.189
LOT 58	5,200.00	0.189
LOT 59	5,200.00	0.189
LOT 60	5,200.00	0.189
LOT 61	5,200.00	0.189
LOT 62	5,200.00	0.189
LOT 63	5,200.00	0.189
LOT 64	5,200.00	0.189
LOT 65	5,200.00	0.189
LOT 66	5,200.00	0.189
LOT 67	5,200.00	0.189
LOT 68	5,200.00	0.189
LOT 69	5,200.00	0.189
LOT 70	5,200.00	0.189
LOT 71	5,200.00	0.189
LOT 72	5,200.00	0.189
LOT 73	5,200.00	0.189
LOT 74	5,200.00	0.189
LOT 75	5,200.00	0.189
LOT 76	5,200.00	0.189
LOT 77	5,200.00	0.189
LOT 78	5,200.00	0.189
LOT 79	5,200.00	0.189
LOT 80	5,200.00	0.189



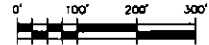
<p><b>WILLS BURKE KELSEY ASSOCIATES LTD.</b>                  116 West Main Street, Suite 201                  St. Charles, Illinois 60174                  (630) 443-7755</p>	<p><b>CLIENT</b>                  CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC                  270 ST. PAULS ST. SUITE #300                  DENVER, CO. 80206                  303-801-0888</p>	DESIGNED BY: CMR DRAWN BY: GMP CHECKED BY: CMR SCALE: 1" = 80' FILE: DWG	TITLE: <b>CORPORATE RESERVE</b> CITY OF ST. CHARLES PRELIMINARY PLAT	
		SHEET NO. 1 OF 1		DATE: _____
		REVISIONS:		NATURE OF REVISION:

**EXHIBIT "E"**

**FINAL PLAT OF SUBDIVISION  
(4 pages)**

# FINAL PLAT OF RESUBDIVISION CORPORATE RESERVE

BEING A RESUBDIVISION OF LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, A  
SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF  
SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN,  
ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 26, 2009 AS DOCUMENT NO.  
200900593L ALL IN TANE COUNTY, ILLINOIS.



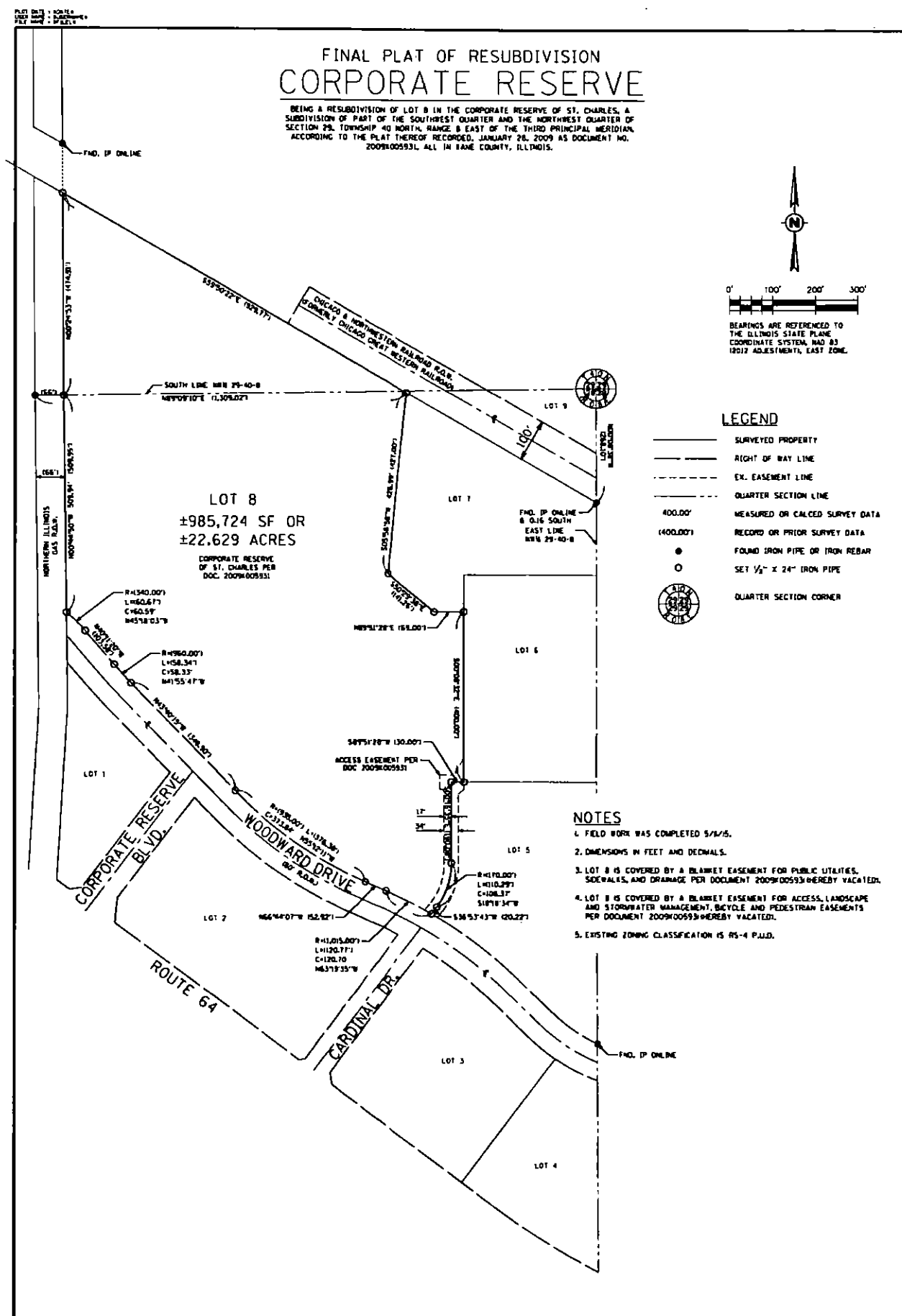
BEARINGS ARE REFERENCED TO  
THE ILLINOIS STATE PLANE  
COORDINATE SYSTEM, HAD 83  
1927 ADJUSTMENT, LAST ZONE.

### LEGEND

- SURVEYED PROPERTY
- RIGHT OF WAY LINE
- EX. EASEMENT LINE
- QUARTER SECTION LINE
- 400.00'  
(400.00')
- FOUND IRON PIPE OR IRON REBAR
- SET 1/2" X 24" IRON PIPE
- QUARTER SECTION CORNER

### NOTES

1. FIELD WORK WAS COMPLETED 5/11/15.
2. DIMENSIONS IN FEET AND DECIMALS.
3. LOT 8 IS COVERED BY A BLANKET EASEMENT FOR PUBLIC UTILITIES, SIDEWALKS, AND DRAINAGE PER DOCUMENT 200900593L HEREBY VACATED.
4. LOT 8 IS COVERED BY A BLANKET EASEMENT FOR ACCESS, LANDSCAPE AND STORMWATER MANAGEMENT, BICYCLE AND PEDESTRIAN EASEMENTS PER DOCUMENT 200900593L HEREBY VACATED.
5. EXISTING ZONING CLASSIFICATION IS RS-4 P.U.D.



PL1  
DATE: 5/11/15  
SCALE: 1"=100'



**CONTROL POINT ENGINEERING LLC**  
1240 LYON ROAD  
BATAVIA, IL 60510  
PHONE: (630) 482-2341

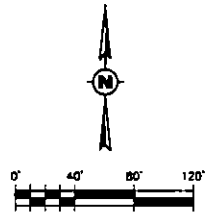
CLIENT:  
**THE PAULS CORPORATION**  
370 SAINT PAUL ST.  
DENVER, CO 80202

DATE	REVISION	DESCRIPTION

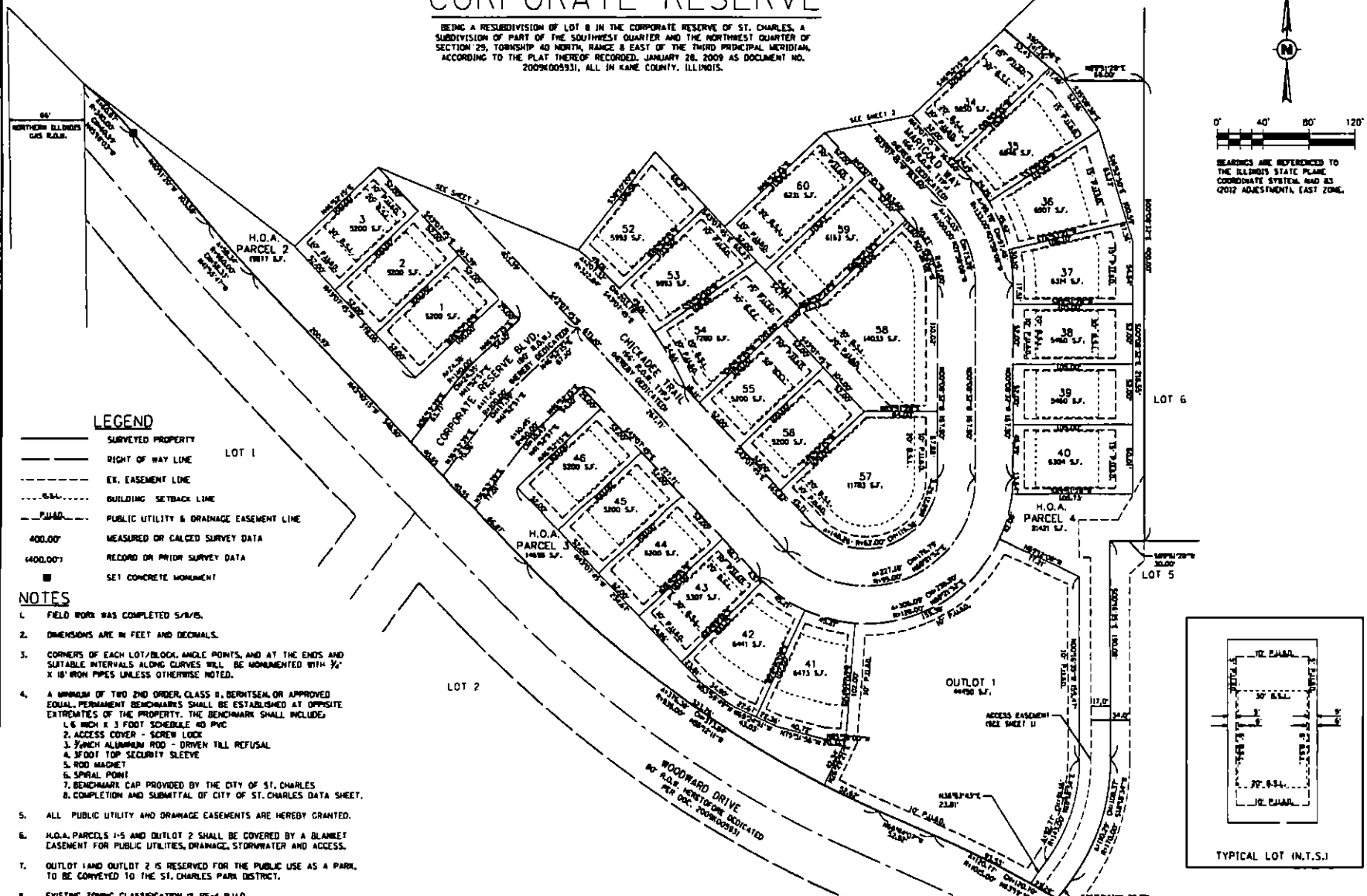
ORGN: RPO  
DWG: RPO  
CHKD: RPO  
SCALE: 1"=100'  
**PLAT OF RESUBDIVISION**  
**LOT 8 OF THE CORPORATE RESERVE OF ST. CHARLES**

# FINAL PLAT OF RESUBDIVISION CORPORATE RESERVE

BEING A RESUBDIVISION OF LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 28, 2009 AS DOCUMENT NO. 2009005931, ALL IN KANE COUNTY, ILLINOIS.



MEASUREMENTS ARE REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM, NAD 83 Q102 ADJUSTMENT, EAST ZONE.



### LEGEND

- SURVEYED PROPERTY
- RIGHT OF WAY LINE
- EX. EASEMENT LINE
- BUILDING SETBACK LINE
- PUBLIC UTILITY & DRAINAGE EASEMENT LINE
- 400.00' MEASURED OR CALCULATED SURVEY DATA
- (400.00') RECORD OR PRIOR SURVEY DATA
- SET CONCRETE MONUMENT

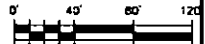
### NOTES

1. FIELD WORK WAS COMPLETED 5/15/15.
2. DIMENSIONS ARE IN FEET AND DECIMALS.
3. CORNERS OF EACH LOT/BLOCK, ANGLE POINTS, AND AT THE ENDS AND SUITABLE INTERVALS ALONG CURVES WILL BE MONUMENTED WITH 3/4" X 1" IRON PIPES UNLESS OTHERWISE NOTED.
4. A MINIMUM OF TWO 2ND ORDER, CLASS B, BERTHSEN OR APPROVED EQUAL PERMANENT BENCHMARKS SHALL BE ESTABLISHED AT OPPOSITE EXTREMITIES OF THE PROPERTY. THE BENCHMARK SHALL INCLUDE:
  1. 1/2" X 3/4" SCHEDULE 40 PVC
  2. ACCESS COVER - SCREW LOCK
  3. 3/4" ALUMINUM ROD - DRIVEN TILL REFUSAL
  4. 3 FOOT TOP SECURITY SLEEVE
  5. ROD MAGNET
  6. SPIRAL POINT
  7. BENCHMARK CAP PROVIDED BY THE CITY OF ST. CHARLES
  8. COMPLETION AND SUBMITTAL OF CITY OF ST. CHARLES DATA SHEET.
5. ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS ARE HEREBY GRANTED.
6. H.O.A. PARCELS 1-5 AND OUTLOT 2 SHALL BE COVERED BY A BLANKET EASEMENT FOR PUBLIC UTILITIES, DRAINAGE, STORMWATER AND ACCESS.
7. OUTLOT 1 AND OUTLOT 2 IS RESERVED FOR THE PUBLIC USE AS A PARK, TO BE CONVEYED TO THE ST. CHARLES PARK DISTRICT.
8. EXISTING ZONING CLASSIFICATION IS RS-4 P.L.D.

PLAT OF RESUBDIVISION																	
LOT 8 OF THE CORPORATE RESERVE OF ST. CHARLES																	
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>CONTRACT NO.</td> <td>DATE</td> <td>SCALE</td> <td>BY</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	CONTRACT NO.	DATE	SCALE	BY					<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>PROJECT NO.</td> <td>DATE</td> <td>SHEET NO.</td> <td>TOTAL SHEETS</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	PROJECT NO.	DATE	SHEET NO.	TOTAL SHEETS				
CONTRACT NO.	DATE	SCALE	BY														
PROJECT NO.	DATE	SHEET NO.	TOTAL SHEETS														
CLIENT: THE PAULS CORPORATION 200 MAIN ST. DENVER, CO 80206																	
CONTROL POINT ENGINEERING LLC 1240 LYON ROAD BATAVIA, IL 60510 PHONE: (630) 482-2341																	
PROJECT NO: 18-006 DATE: 8/15/15 SHEET 2 OF 4 DRAWING NO.																	
<b>PL2</b>																	

# FINAL PLAT OF RESUBDIVISION CORPORATE RESERVE

BEING A RESUBDIVISION OF LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, A  
SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF  
SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN,  
ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 28, 2009 AS DOCUMENT NO.  
2009-005931, ALL IN KANE COUNTY, ILLINOIS.



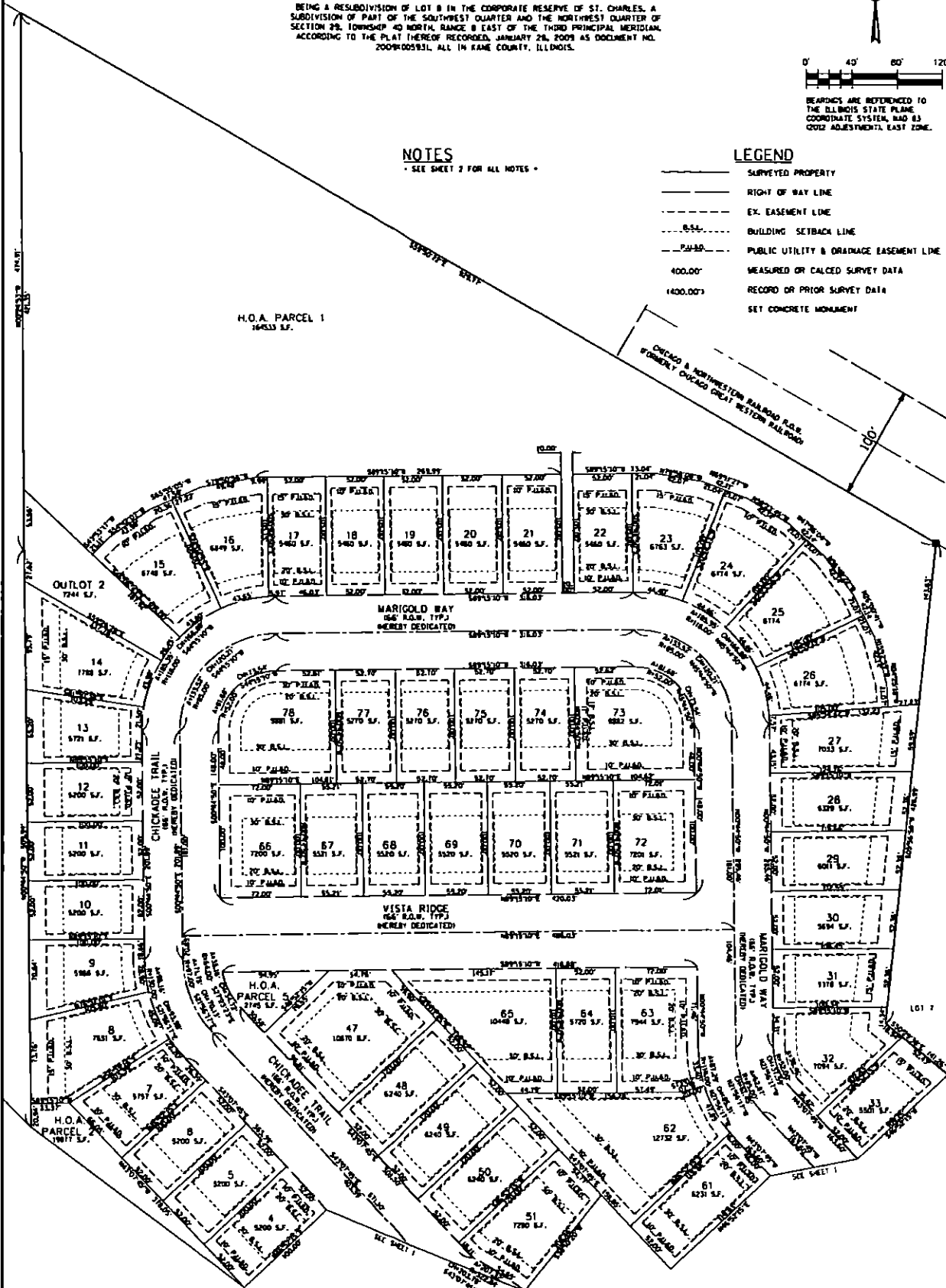
BEARINGS ARE REFERENCED TO  
THE ILLINOIS STATE PLANE  
COORDINATE SYSTEM, NAD 83  
GZ12 ADJUSTMENT, EAST ZONE.

### NOTES

SEE SHEET 2 FOR ALL NOTES.

### LEGEND

- SURVEYED PROPERTY
- RIGHT OF WAY LINE
- EX. EASEMENT LINE
- BUILDING SETBACK LINE
- PUBLIC UTILITY & ORDNANCE EASEMENT LINE
- 400.00' MEASURED OR CALCD SURVEY DATA
- 1400.00' RECORD OR PRIOR SURVEY DATA
- SET CONCRETE MONUMENT



PLS  
DATE: 11/11/11  
BY: [Signature]



**CONTROL POINT ENGINEERING LLC**  
1240 LYON ROAD  
BATAVIA, IL 60510  
PHONE: (630) 482-2341

CLIENT:  
**THE PAULS CORPORATION**  
270 SAINT PAUL ST.  
DENVER, CO 80206

NO.	DATE	REVISION BY	DESCRIPTION
1			DESIGN
2			BY
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**PLAT OF RESUBDIVISION**  
  
LOT 8 OF THE CORPORATE RESERVE OF ST. CHARLES



# FINAL PLAT OF RESUBDIVISION CORPORATE RESERVE

BEING A RESUBDIVISION OF LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 28, 2009 AS DOCUMENT NO. 2009K009931, ALL IN KANE COUNTY, ILLINOIS.

**SURVEYOR'S CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS.  
"THIS IS TO CERTIFY THAT I, RUDY P. BISH, ILLINOIS LAND SURVEYOR NO. 3832, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 28, 2009 AS DOCUMENT NO. 2009K009931, ALL IN KANE COUNTY, ILLINOIS.

"GIVEN UNDER MY HAND AND SEAL AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_,  
ILLINOIS REGISTERED LAND SURVEYOR  
NO. \_\_\_\_\_"

**OWNER'S CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS.  
"THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT PROPERTY BEING SUBDIVIDED HEREON, AND TO THE BEST OF THE OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_,

**NOTARY CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS.  
"I, \_\_\_\_\_, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

"GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, AT \_\_\_\_\_, ILLINOIS.

NOTARY PUBLIC

**COUNTY CLERK CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS.

"I, \_\_\_\_\_, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO UNPAID GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.  
"I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT."

"GIVEN UNDER MY HAND AND SEAL AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

COUNTY CLERK

**PLAN COMMISSION CERTIFICATE**

STATE OF ILLINOIS )  
CITY OF ST. CHARLES ) SS.

"APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_,  
CITY OF ST. CHARLES PLAN COMMISSION

CHAIRMAN

PLEASE RETURN THE RECORDED BYLAR TO:  
CITY OF ST. CHARLES  
2. E. MAIN STREET  
ST. CHARLES, IL 60114

**CONVEYANCE TO SPECIAL ASSESSMENTS**

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS.  
"I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS  
DATED AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

**DIRECTOR OF COMMUNITY DEVELOPMENT FOR RESTORED CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS.  
"I, \_\_\_\_\_, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY DEVELOPMENT  
DATED AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

**CITY COUNCIL CERTIFICATE**

"APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

CITY COUNCIL OF CITY OF  
ST. CHARLES, ILLINOIS

MAYOR  
ATTEST:

CITY CLERK

**SPECIAL FLOOD HAZARD AREA CERTIFICATE**

"THIS IS TO CERTIFY THAT THE PARCELS INCLUDED IN THIS RECORD OF DEED ARE NOT LOCATED IN THE SPECIAL FLOOD HAZARD AREA IDENTIFIED FOR THE CITY OF ST. CHARLES, ILLINOIS BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE FLOOD INSURANCE RATE MAP, PANEL NO. 170802002H DATED AUGUST 1, 2009.

ILLINOIS REGISTERED LAND SURVEYOR NO. 3832

**STORMWATER DETENTION EASEMENT PROVISIONS**

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO THEIR SUCCESSORS AND ASSIGNS, IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "STORMWATER DETENTION EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAIN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, REMOVING, ALTERING, ENLARGING, REPAIRING, CLEANING, MAINTAINING STORM SEWERS, DRAINAGE BAYS, STORM WATER DETENTION AND RETENTION AND ANY AND ALL MANHOLES, PIPES, CONNECTIONS, CATCH BASINS, AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH STORMWATER DETENTION. THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK, NO BUILDING SHALL BE PLACED ON SAID EASEMENT PREMISES WITHOUT PRIOR WRITTEN CONSENT FROM THE CITY OF ST. CHARLES. THE RESPONSIBILITY OF MAINTAINING THE DETENTION AREA EASEMENT SHALL BE BINDING ON THE HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGNS OF THE LANDOWNERS. NO PERSON SHALL DESTROY OR MODIFY SLOPES OR OTHERWISE AFFECT THE DETENTION VOLUME WITHOUT HAVING FIRST RECEIVED WRITTEN APPROVAL FROM THE CITY OF ST. CHARLES. THE CITY SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO RESTORE ANY DETENTION VOLUME LOST THROUGH UNAUTHORIZED ACTIVITIES.

**PUBLIC UTILITY AND TRAVELWAY EASEMENT PROVISIONS**

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO AMERICAN AND NICOR AND TO THEIR SUCCESSORS AND ASSIGNS HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES", IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY AND DRAINAGE EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAIN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, REMOVING, ALTERING, ENLARGING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE BAYS, STORM WATER DETENTION AND RETENTION, WATER BAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK. THE PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES AND THE RESPECTIVE SUCCESSORS AND ASSIGNS FOR MAINTAINING THE UNINTERRUPTED AND UNIMPEDED CONVEYANCE, FLOW AND RUNOFF OF SURFACE STORM WATER ACROSS AND UPON THE AREAS DESIGNATED ON THIS PLAT AS DRAINAGE EASEMENT. THE RIGHT IS HEREBY GRANTED TO SAID GRANTEE TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE DRAINAGE BAYS AND OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER OR THROUGH SAID EASEMENTS, NO PERMANENT BUILDINGS, TREES, GARAGES, SHRUBS, OR BERMS SHALL BE PLACED ON OR IN SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR PAVING, FENCES, SIDEWALKS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS. UTILITY INSTALLATIONS, OTHER THAN THOSE APPROVED BY THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES. FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEE IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREIN, THE GRANTEE SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEE SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SUSTAINABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION.

**PUBLIC ACCESS**

PERMANENT NON-EXCLUSIVE EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES, IN, UPON, ACROSS, OVER, UNDER AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC ACCESS EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAIN, FOR THE PURPOSE OF ACCESS TO CITY OWNED UTILITIES AND OTHER GRANTED EASEMENTS, AS DEEMED NECESSARY BY THE CITY OF ST. CHARLES. THE RIGHT IS ALSO HEREBY GRANTED TO SAID CITY TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SAID UTILITY OR EASEMENT. NO PERMANENT BUILDINGS SHALL BE PLACED IN SAID EASEMENT, BUT SAME MAY BE USED FOR SHRUBS, LANDSCAPING, AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES AND RIGHTS.  
ORD. 2012-09-05 523

**CONTROL POINT ENGINEERING LLC**  
1240 LYON ROAD  
BATAVIA, IL 60810  
PHONE: 6301 482-2341



CLIENT: **THE PAULS CORPORATION**  
270 SAINT PAUL ST.  
DENVER, CO 80202

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**PLAT OF RESUBDIVISION**  
LOT 8 OF THE CORPORATE RESERVE OF ST. CHARLES

**EXHIBIT "F"**

**PUD DEVIATIONS**

<b>Table 17.12-2 Residential District Bulk Requirements – RS-4 District</b>	
<b>Minimum Lot Area</b>	5,200 sq. ft.
<b>Minimum Lot Width</b>	52 ft.
<b>Maximum Building Coverage</b>	38.5%
<b>Minimum Interior Side Yard</b>	6 ft.

**EXHIBIT "G"**

**SUMMARY OF MONOTONY CODE REGULATIONS**

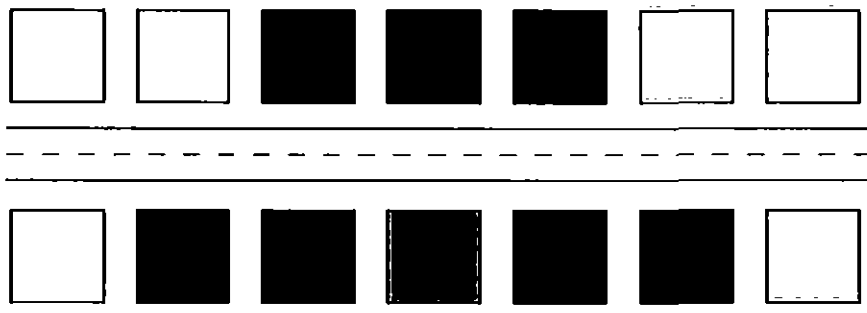


# CORPORATE RESERVE ANTI-MONOTONY STANDARDS

## I. Single Family Detached Community

- a. No house shall have the same configuration or the same color package that is within two (2) houses on either side or on any of the three (3) houses most directly across the street from the subject house except in the event lot lines do not match up or are "staggered" across from a subject house, in which event only 2 lots directly across the street shall be restricted.

### CORPORATE RESERVE MONOTONY RESTRICTIONS



## II. Definitions:

- a. Configuration - a combination of product type, elevation, exterior fenestration (siding or stone) and color package.
- b. Color Package - a combination of siding, stone, trim/gutter, accent, and roof colors incorporated into the exterior color fenestration of a single house.

State of Illinois )  
 )  
Counties of Kane and DuPage ) ss.

## Certificate

I, NANCY GARRISON, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

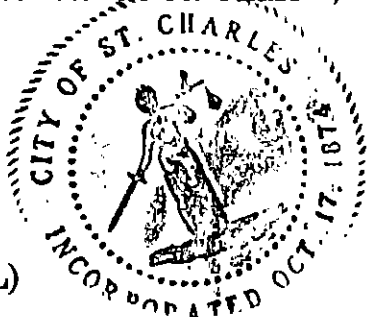
I further certify that on January 19, 2016, the Corporate Authorities of such municipality passed and approved Ordinance No. 2016-Z-2, entitled

"Motion to approve an Ordinance Amending Ordinance No. 2008-Z-18 (Corporate Reserve of St. Charles PUD) and Granting Approval of a Map Amendment, New Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Lot 8 – The Corporate Reserve of St. Charles."

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2016-Z-2, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on January 25, 2016, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 19<sup>th</sup> day of January, 2016.



(S E A L)

*Nancy Garrison*  
Municipal Clerk