	PLAN COMMISSION AGENDA ITEM EXECUTIVE SUMMARY				
	Project Title/Address:	Corporate Reserve Lot 8 – Woodward Dr. at Corporate Reserve Blvd. and Cardinal Dr.			
	City Staff:	Ellen Johnson, Planner			
SINCE 1834	PUBLIC HEARING 11/1/16	X	MEETING 11/1/16	X	
APPLICATION	S:	Special Use (PUD Amendment)			
ATTACHMENT	S AND SUPPORTING D	OCUMENTS:			
Staff Report		Ordinance 20	16-Z-2		
Applications for S 9/30/16)	Applications for Special Use (received 9/30/16)				
SUMMARY:					

The subject property, a 22.6 acre vacant parcel, is Lot 8 of the Corporate Reserve of St. Charles, located on the north side of Woodward Dr. at Corporate Reserve Blvd. and Cardinal Dr. In January 2016, City Council approved Ordinance 2016-Z-2, which approved residential zoning for the property and established PUD standards for development of a 78-lot single-family subdivision.

CalAtlantic Homes is under contract to purchase the property. They plan to build the development as previously approved. However, some of the home models CalAtlantic plans to offer to buyers have deeper footprints than the smaller lots in the development can accommodate due to the building setback requirements.

In order to accommodate the deeper models, the developer is requesting to reduce the front and rear yard building setback requirements for lots 105 ft. deep and under, as follows:

- 1. Reduce the front yard setback requirement from 20 ft. to 18 ft.
- 2. Reduce the rear yard setback requirement from 30 ft. to 27 ft.

The reduced setbacks would apply to 38 out of the 78 total lots.

No other changes to the approved PUD Preliminary Plan are proposed.

## **SUGGESTED ACTION:**

Conduct the public hearing on the Special Use and close if all testimony has been taken.

Staff has placed this item on the meeting portion of the agenda for a vote should the Plan Commission feel that they have enough information to make a recommendation.

Staff has found the application materials to be complete.

## INFO / PROCEDURE ON APPLICATIONS:

(See next page)

## SPECIAL USE FOR PUD AMENDMENT

- Approval of development project with specific deviations from the Zoning Ordinance standards. (Establishes a PUD ordinance with unique zoning or subdivision standards that apply to a single development site)
- Public hearing is required, with a mailed notice to surrounding property owners.
- Single finding Is the PUD in the public interest? Criteria are considered in reaching a decision. Responses to the criteria need not be in the affirmative to recommend approval of a PUD or PUD Amendment.
- The Plan Commission may recommend conditions and restrictions upon the establishment, location, design, layout, height, density, construction, maintenance, aesthetics, operation and other elements of the PUD as deemed necessary to secure compliance with the standards specified in the Zoning Ordinance.
- The Plan Commission may recommend exceptions and deviations from the requirements of the Zoning and Subdivision Codes requested by the applicant, to the extent that it finds such exceptions and deviations are supportive of the standards and purposes for PUDs.

Community & Economic Development Planning Division

Phone: (630) 377-4443 Fax: (630) 377-4062



## **Staff Report**

TO: Chairman Todd Wallace And Members of the Plan Commission

**FROM:** Ellen Johnson, Planner

**RE:** Corporate Reserve Lot 8 – PUD Amendment

**DATE:** October 28, 2016

## I. APPLICATION INFORMATION:

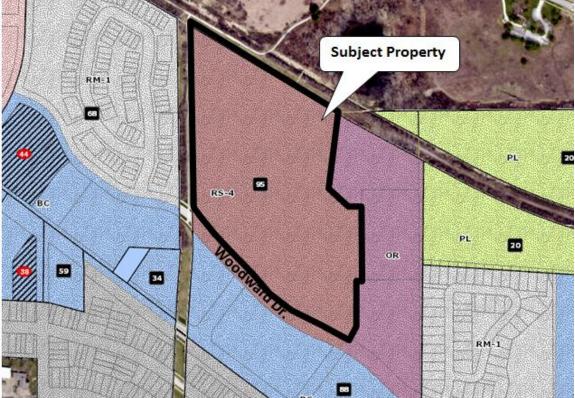
Project Name:	Corporate Reserve Lot 8
Applicant:	CalAtlantic Homes
Purpose:	Reduce the front and rear yard building setback requirement

General Information:				
	Site Information			
Location Woodward Dr. at Corporate Reserve Blvd. and Cardinal Dr. (north side of				
	Woodward Dr.)			
Acres	22.6 acres (985,724 sf)			
Application:	Special Use (PUD Amendment)			
Applicable	Title 17, Chapter 17.12 - Residential Districts	5		
City Code	Ordinance No. 2016-Z- 2 "An Ordinance Am	nending Ordinance No. 2008-Z-18		
Sections and	(Corporate Reserve of St. Charles PUD) and	Granting Approval of a Map		
PUD	Amendment, New Special Use for Planned U			
Ordinance Plan, and Final Plat of Subdivision for Lot 8 – Corporate Reserve of St. Charles"				
	Existing Conditions			
Land Use Vacant				
Zoning RS-4 Suburban Single-Family Residential & PUD (Lot 8 – Corporate Reserve of				
St. Charles)				
	Zoning Summary			
North	N/A – unincorporated	Kane County Forest Preserve		
East	O/R- Office/Research District & PUD	Stormwater detention area, two		
2000	(Corporate Reserve of St. Charles)	office buildings, vacant parcel		
South	BC- Community Business & PUD	Vacant parcels		
	(Corporate Reserve of St. Charles)	1		
West	RM-1- Mixed Medium Density Residential	Townhome development		
	& PUD (Remington Glen)	*		
	•			
	Comprehensive Plan Desigr	nation		
Industrial/Business Park w/Residential Option				

Staff Memo – Corporate Reserve Lot 8 – PUD Amendment 10/28/16 Page 2

Aerial





Staff Memo – Corporate Reserve Lot 8 – PUD Amendment 10/28/16 Page 3

## II. BACKGROUND

## A. PROPERTY HISTORY

The subject property, a 22.6 acre vacant parcel, is Lot 8 of the Corporate Reserve of St. Charles. The Corporate Reserve of St. Charles PUD was originally approved in 2008 under Ordinance No. 2008-Z-18, "An Ordinance Rezoning Property and Granting a Special Use as a Planned Unit Development for Corporate Reserve of St. Charles PUD (A Portion of the West Gateway PUD)." A total of eight (8) lots initially encompassed the PUD.

In 2015, the property owner submitted zoning applications to amend the Corporate Reserve PUD to allow for a single-family residential subdivision on Lot 8. This past January, City Council approved Ordinance No. 2016-Z-2 "An Ordinance Amending Ordinance No. 2008-Z-18 (Corporate Reserve of St. Charles PUD) and Granting Approval of a Map Amendment, New Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Lot 8 – Corporate Reserve of St. Charles". This ordinance rezoned the property to the RS-4 zoning district and established PUD standards for development of a 78-lot single-family subdivision.

### B. PROPOSAL

CalAtlantic Homes is under contract to purchase Lot 8 of the Corporate Reserve of St. Charles. They plan to build the development as previously approved. However, some of the home models CalAtlantic plans to offer to buyers have deeper footprints than the smaller lots in the development can accommodate due to the building setback requirements.

Specifically, the PUD ordinance requires a 20 ft. front yard setback and a 30 ft. rear yard setback. The smallest lots in the development are 100 ft. deep. This allows for a building depth of up to 50 ft. CalAtlantic's home models range from 43 to 55 ft. deep.

In order to accommodate the deeper models, the developer is requesting to reduce the front and rear yard setback requirements for lots 105 ft. deep and under, as follows:

- 1. Reduce the front yard setback requirement from 20 ft. to 18 ft.
- 2. Reduce the rear yard setback requirement from 30 ft. to 27 ft.

The reduced setbacks would apply to 38 out of the 78 total lots.

No other changes to the approved PUD Preliminary Plan are proposed.

## III. ANALYSIS

A. ZONING

The table below compares the zoning standards for the underlying RS-4 zoning district, the standards approved under the Lot 8 – Corporate Reserve of St. Charles PUD Ordinance, and the proposed standards under the requested PUD Amendment. The requested reductions in the front and rear yard setbacks constitute deviations from the underlying RS-4 zoning district.

	RS-4 District	Approved PUD Ordinance	Proposed Amendment
Min. Lot Area	6,600 sf	5,200 sf	5,200 sf
Min. Lot Width	60 ft.	43.65 ft. (Lot 16) (Typical lot width: 52 ft.)	43.65 ft. (Lot 16) (Typical lot width: 52 ft.)
Max. Building Coverage	30%	38.5%	38.5%
Max. Building Height	34 ft. or 2 stories, whichever is less	TBD	TBD
Min. Front Yard	20 ft.	20 ft.	18 ft. for lots under 105' in depth only (38 total lots)
Min. Interior Side Yard	Combined width of 14 ft., neither less than 5 ft.	6 ft.	6 ft.
Min. Exterior Side Yard	15 ft.	25 ft.	25 ft.
Min. Rear Yard	30 ft.	30 ft.	27 ft. for lots under 105' in depth only (38 total lots)

The reduced setbacks will apply to all lots under 105 ft. in depth. This constitutes 38 of the 78 total single-family lots. The attached exhibit illustrates the location of these lots (shown in red and orange). The existing 20 ft. front and 30 ft. rear setbacks will continue to be required for the 40 lots that are 105 ft. in depth or more.

Based on the existing front yard (20 ft.) and rear yard (30 ft.) setback requirements, the maximum building depth that would be permitted on a 100 ft. lot would be 50 ft. The developer has provided eight (8) home plans they wish to offer to buyers for this development. The building footprints range from 43 ft. to 55 ft. in depth. The proposed reduced setbacks for the smaller lots would allow for flexibility in the home models that can be constructed on a given lot. With the reduced setbacks, any of the 8 models could be constructed on any lot, subject to the building coverage limitation and monotony code standards established in the PUD Ordinance.

## IV. SUGGESTED ACTION

Conduct the public hearing and close if all testimony has been taken. The applicant has provided Criteria for PUD responses for the Plan Commission to consider.

Staff has placed the application on the meeting portion of the agenda should the Plan Commission determine there is adequate information to make a recommendation to City Council.

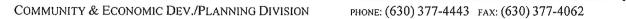
Staff has found the application materials to be complete.

## V. ATTACHMENTS

- Application for Special Use; received 9/30/16
- Exhibit of Impacted Lots
- Home Models
- Ordinance 2016-Z-2

## **CITY OF ST. CHARLES**

TWO EAST MAIN STREET ST. CHARLES, ILLINOIS 60174-1984



## SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment) VED

For City Use		St. Charles, IL Received Date
Project Name:	Corporate Beserve Lot 8 PUD Amendment	SEP 3 0 2016
Project Number:	2016 - PR-015	
Application Number:	2016 - AP-036	CDD Planning Division
5		Planning Division

To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1.	Property Information:	Location: 37W750 Route 64, St. Charles, IL 60175		
		Parcel Number (s): 09-29-326-001 (Lot 8)		
		Proposed Name: Lot 8 - The Corporate Reserve at St. Charles		
2.	Applicant Information:	Name CALATCANTIC	Phone 224-293.3100	
		Address 1411 EAST MAIN STREET	Fax	
		EAST DUNDEE, IL 60118	Email	
3.	Record Owner	Name Pinewood Capital, LLC	Phone 303-371-9000	
	Information:	Address 100 Saint Paul Street, #300 Denver, CO 80206	Fax	
			Email pete.tobin@paulscorp.com	

City of St. Charles Special Use Application

#### <u>Please check the type of application:</u>

	Specia Spec	al Use for Planned Unit Development - PUD Name: New PUD Amendment to existing PUD- Ordinance #: PUD Preliminary Plan filed concurrently	2016-Z-2
	Other	• Special Use (from list in the Zoning Ordinance): Newly established Special Use Amendment to an existing Special Use Ordinance #:	
<u>Inforn</u>	nation 1	Regarding Special Use:	
	Comp	rehensive Plan designation of the property: Industrial/Bu	usiness Park w/alternative for residential use
	Is the	property a designated Landmark or in a Historic District?	No

 What is the property currently used for?
 RS-4

 Undeveloped

What is the property currently used for?

If the proposed Special Use is approved, what improvements or construction are planned?

78 single family homes with supporting right-of way and park and open space.

### For Special Use Amendments only:

Why is the proposed change necessary?

In order to accommodate the depth of some of the models a devation from the front and

and rear yard set-backs will need to be altered on a lot by lot basis to accommodate the depth.

What are the proposed amendments? (Attach proposed language if necessary)

See attached

### Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

## Attachment Checklist:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

### **D** APPLICATION FEE:

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

#### **D** REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

### **D** REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the size:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

#### **D PROOF OF OWNERSHIP and DISCLOSURE:**

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

□ LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper

#### **D** PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

### **D** FINDINGS OF FACT:

Fill out the attached forms or submit responses on a separate sheet (Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.)

### □ LIST OF PROPERTY OWNERS WITHIN 250 FT.:

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

#### **GIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <u>http://www.kanedupageswcd.org/</u>

<u>Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District</u>. Provide a copy with this application.

#### **D** ENDANGERED SPECIES REPORT:

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <u>http://dnr.illinois.gov/EcoPublic/</u>

Fill out the online form, print the report and submit with this application.

### **TRAFFIC STUDY:** If requested by the Director of Community Development.

Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.

#### **D** PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

#### **Copies of Plans:**

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

### **SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**

A plan or plans showing the following information:

- 1. Accurate boundary lines with dimensions
- 2. Streets on and adjacent to the tract: Name and right-of-way width
- 3. Location, size, shape, height, and use of existing and proposed structures
- 4. Location and description of streets, sidewalks, and fences
- 5. Surrounding land uses
- 6. Date, north point, and scale
- 7. Ground elevation contour lines
- 8. Building/use setback lines
- 9. Location of any significant natural features
- 10. Location of any 100-year recurrence interval floodplain and floodway boundaries
- 11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
- 12. Existing zoning classification of property
- 13. Existing and proposed land use
- 14. Area of property in square feet and acres
- 15. Proposed off-street parking and loading areas
- 16. Number of parking spaces provided, and number required by ordinance
- 17. Angle of parking spaces
- 18. Parking space dimensions and aisle widths
- 19. Driveway radii at the street curb line
- 20. Width of driveways at sidewalk and street curb line

- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
  - a. Location, height, intensity and fixture type of all proposed exterior lighting
  - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

<u>9.29/6</u> Date <u>9/30/16</u> Ja **Record Owner** 1 Applicant or Authorized Agent

Corporate Reserve Attachment

Some of the homes that we will be offering for sale have a depth of between 51 and 55 feet, the typical lot has a building depth of 50 feet. There are 34 out of 78 lots that are considered typical, these lots will require a Deviation from the PUD for these models because the lot depth is not adequate to meet the set-back requirements.

## **CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDS)**

\*For Special Use for PUD or PUD Amendment applications.\*

The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.

As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.

(You may utilize this form or provide the responses on another sheet.)

Anthem Heights

PUD Name

Date

#### From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

## i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

- 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
- 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
- 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
- 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
- 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
- 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
- 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

No Change from original PUD approval under Ordinance 2016-Z-2.



	 	······································

- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:
  - A. Conforming to the requirements would inhibit creative design that serves community goals, or
  - **B.** Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

## Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public are, pedestrian and transit facilities.
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
- 3. The PUD will provide superior landscaping, buffering or screening.
- 4. The buildings within the PUD offer high quality architectural design.
- 5. The PUD provides for energy efficient building and site design.
- 6. The PUD provides for the use of innovative stormwater management techniques.
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
- 9. The PUD preserves historic buildings, sites or neighborhoods. No change from original PUD approval under ordinance 2016-Z-2, with one additional minimal variation from

the RS-4 standards, the development will still comply the spirit and intent of the above listed standards.

The variation that we are requesting on will allow for the ability to offer a wider variety of product in the development.

A.	Public Convenience: The Special Use will serve the public convenience at the proposed location.
	No change from original PUD approval under Ordinance 2016-Z-2.
B.	Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.
	No change from original PUD approval under Ordinance 2016-Z-2.
C.	Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.
	No change from original PUD approval under Ordinance 2016-Z-2.
D.	Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property fo uses permitted in the district.
	No change from original PUD approval under Ordinance 2016-Z-2.

No change from original PUD approval under Ordinance 2016-Z-2.

conformance with Codes: That the proposed Special Use conforms to all existing Federal, State nd local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.
The proposed Special Use for Anthem Heights conforms to all existing Federal, State, local legislation and regulations and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned
Unit Development.
proposed PUD will be beneficial to the physical development, diversity, tax base and omic well-being of the City.
nange from original PUD approval under Ordinance 2016-Z-2.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

No change from original PUD approval under Ordinance 2016-Z-2.

## OWNERSHIP DISCLOSURE FORM LIMITED LIABILITY COMPANY (L.L.C.)

STATE OF ILLINOIS ) ) SS. KANE COUNTY )
I, <u>Brian Pauls</u> , being first duly sworn on oath depose and say that I am Colorado Manager of <u>Pinewood Capital, LLC</u> , an <del>Illinois</del> Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:
PAULS REAL ESTATE OPPORTUNATES (PRED) 2014 Fund
By:, Manager
Subscribed and Sworn before me this <u>29th</u> day of <u>September</u> , 20 <u>16</u> .
- Behecca Deura Notery Public
REBECCA LEWIS Notary Public State of Colorado Notary ID 20144022746 My Commission Expires Jun 6, 2018

City of St. Charles Ownership Disclosure Forms



100 St Paul Street, Suite 300 Denver, CO 80206 303.371.9000 paulscorp.com

#### PINEWOOD CAPITAL, LLC

September 28, 2016

Mr. Russell Colby Planning Division Manager City of St. Charles 2 East Main Street St. Charles, IL 60174-1984

RE: Letter of Authorization for CalAtlantic Group, Inc. for Corporate Reserve Lot 8

Dear Mr. Colby,

CalAtlantic Group, Inc. has entered into a Purchase and Sale Agreement with Pinewood Capital, LLC to purchase Lot 8 in the Corporate Reserve of St. Charles. Pinewood Capital, LLC hereby authorizes CalAtlantic Group, Inc. to submit for approvals for residential development on Lot 8. CalAtlantic Group, Inc. shall be responsible for any fees associated with their submittals and final approval documents shall not be recorded until CalAtlantic Group, Inc. has closed on the sale of this property.

Thank you in advance for your assistance and please contact Pete Tobin at 303-912-8654 with questions or if you need any additional information from Pinewood.

Sincerely,

Brian Pauls Authorized Signatory

Cc: Pete Tobin Nate Hermes Bill Robinson

## **RESIDENTIAL ZONING COMPLIANCE TABLE**

Name of Development:

	Zoning District Requirement District: RS-4	Existing PUD Requirement (if applicable) Ordinance #:	Proposed
	K0-4	2016-2-2	
Minimum Lot Area	6,600 sf	5,200 sf	
Minimum Lot Width	60 ft	52 ft	
Maximum Building Coverage	30 %	38.5%	
Maximum Building Height	34 ft		
Minimum Front Yard	20 ft	20 ft	18 ft *
Interior Side Yard	Combined width of 14 ft, neither less than 5 ft	6 ft	
Exterior Side Yard	15ft		
Minimum Rear Yard	30 ft	30 ft	27 ft *
% Overall Landscape Area	n/a		n/a
Building Foundation Landscaping	n/a		n/a
% Interior Parking Lot Landscape	n/a		n/a
Landscape Buffer Yards <sup>1</sup>	n/a		n/a
# of Parking spaces	n/a		n/a

\* These lot set-backs will only apply when the Home is over 50 feet deep and the lot is less than 105 feet in depth.

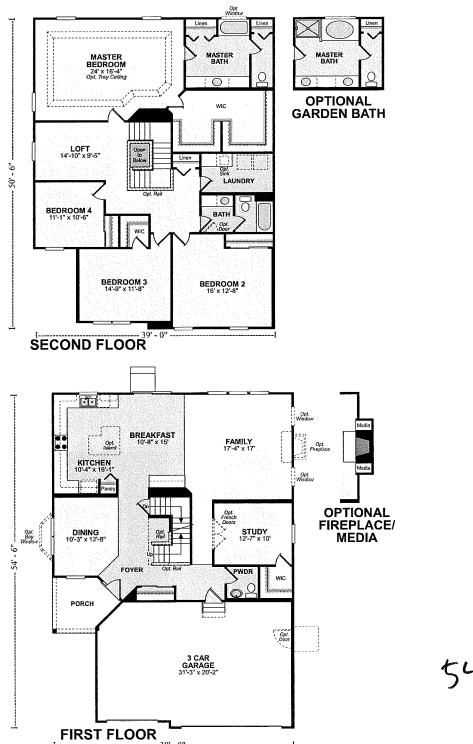
<sup>&</sup>lt;sup>1</sup> Within the zoning districts specified, a Landscape Buffer Yard shall be provided along any lot line that abuts or is across a street from property in any RE, RS, or RT District. See Chapter 17.26 for planting and screening requirements for Landscape Buffers. See Chapter 17.26 for planting and screening requirements for Landscape Buffers. Landscape Buffer Yards may include or overlap with other required yards.





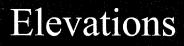
RYLAND HOMES<sup>®</sup>

> Savannah The Estates at Brookmere



54'6"





Savannah The Estates at Brookmere



ELEVATION B

RYLAND HOMES<sup>®</sup>



ELEVATION A



ELEVATION C

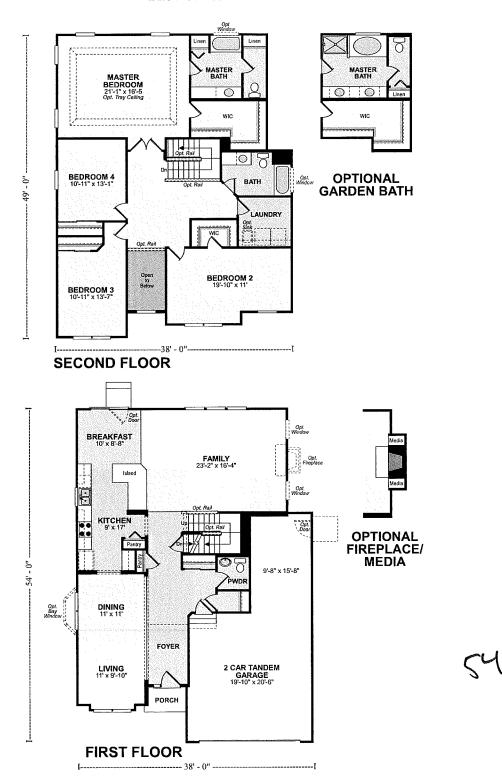
## RYLAND HOMES<sup>®</sup> ryland.com



# Floor Plan

RYLAND HOMES<sup>®</sup>

> Norfolk The Estates at Brookmere







# Elevations

Norfolk The Estates at Brookmere



ELEVATION B SHOWN W/ OPT. RAILS



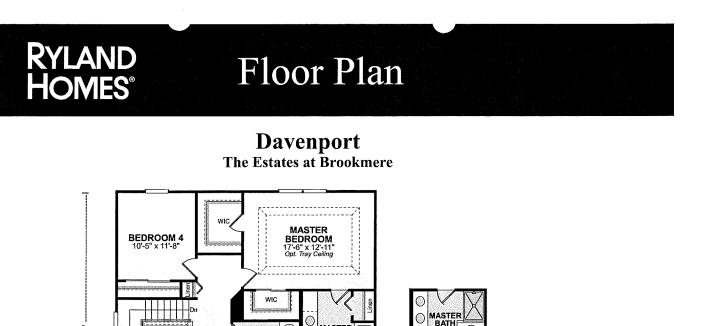
ELEVATION A



ELEVATION C SHOWN W/ OPT. RAILS

## RYLAND HOMES<sup>®</sup> ryland.com





MASTER BATH

Opt. Windov

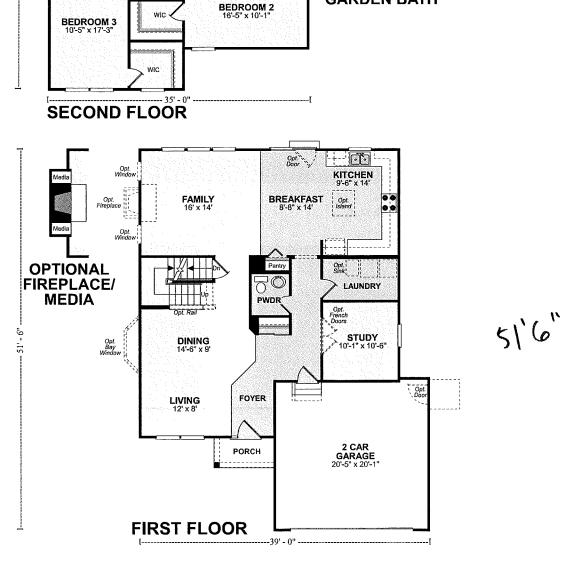
> OPTIONAL GARDEN BATH

BATH

 $\bigcirc$ 

С

Opt. Rail





39' - 0"



# Elevations

## **Davenport** The Estates at Brookmere



ELEVATION B SHOWN W/ OPT. RAILS



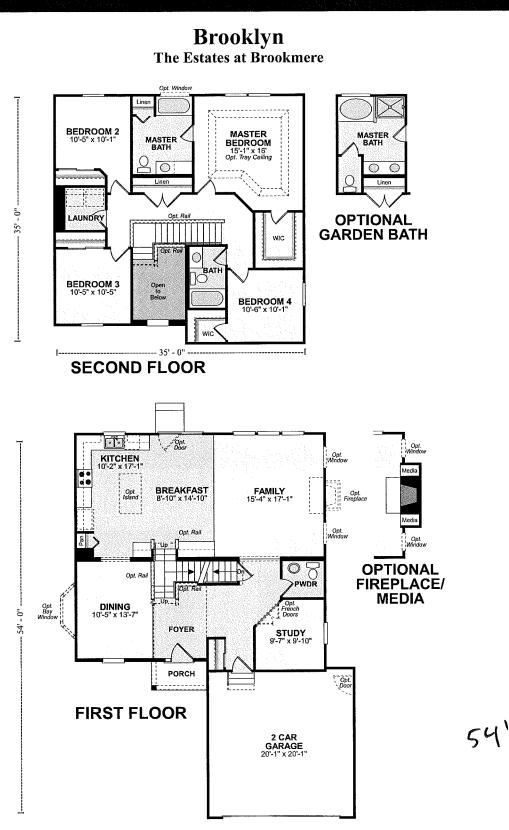
ELEVATION A



ELEVATION C SHOWN W/ OPT. RAILS

## RYLAND HOMES<sup>®</sup> ryland.com





Floor Plan

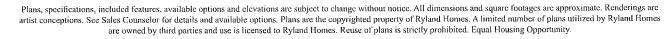
Ryland Homes<sup>®</sup>

------I

Ĩ.

í⊇

1/8/2016





# Elevations

**Brooklyn** The Estates at Brookmere



ELEVATION B

RYLAND HOMES<sup>®</sup>



ELEVATION A



ELEVATION C

## RYLAND HOMES<sup>®</sup> ryland.com

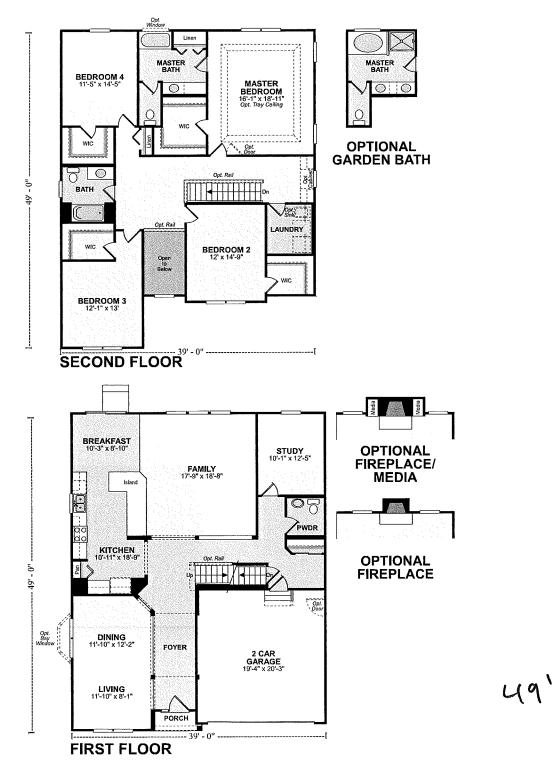




RYLAND HOMES<sup>®</sup>

# Rochester

The Estates at Brookmere







# Elevations

**Rochester** The Estates at Brookmere



ELEVATION C



ELEVATION A



ELEVATION B

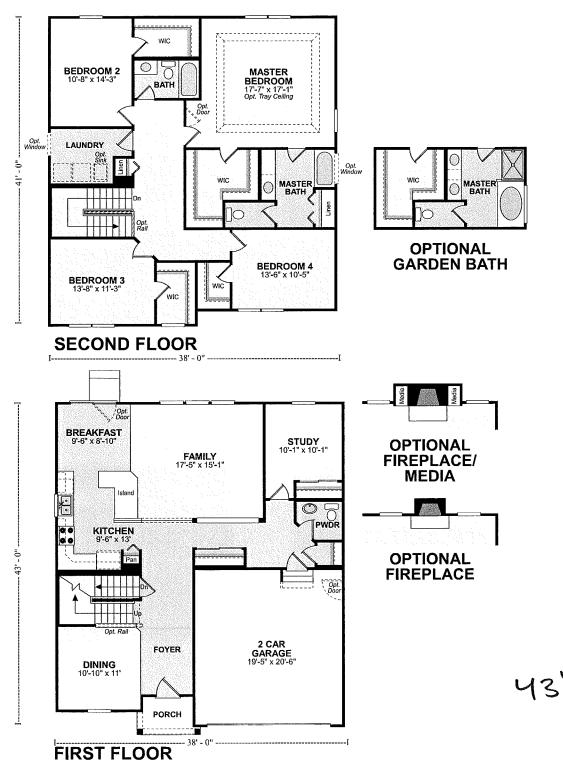
## RYLAND HOMES<sup>®</sup> ryland.com





# Floor Plan

Lafayette The Estates at Brookmere







# Elevations

Lafayette The Estates at Brookmere



ELEVATION C SHOWN W/ OPT. RAILS



ELEVATION A



ELEVATION B

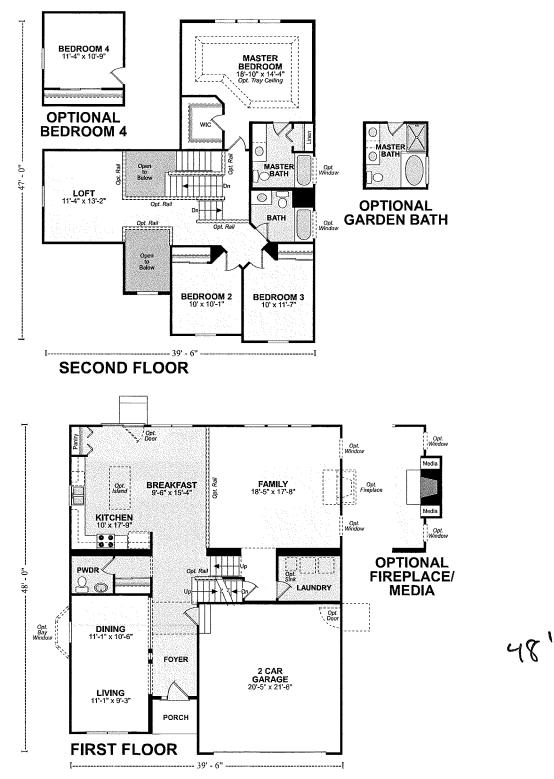






RYLAND HOMES<sup>®</sup>

> **Charleston** The Estates at Brookmere







**Charleston** The Estates at Brookmere



ELEVATION C SHOWN W/ OPT. RAILS

Ryland Homes<sup>®</sup>



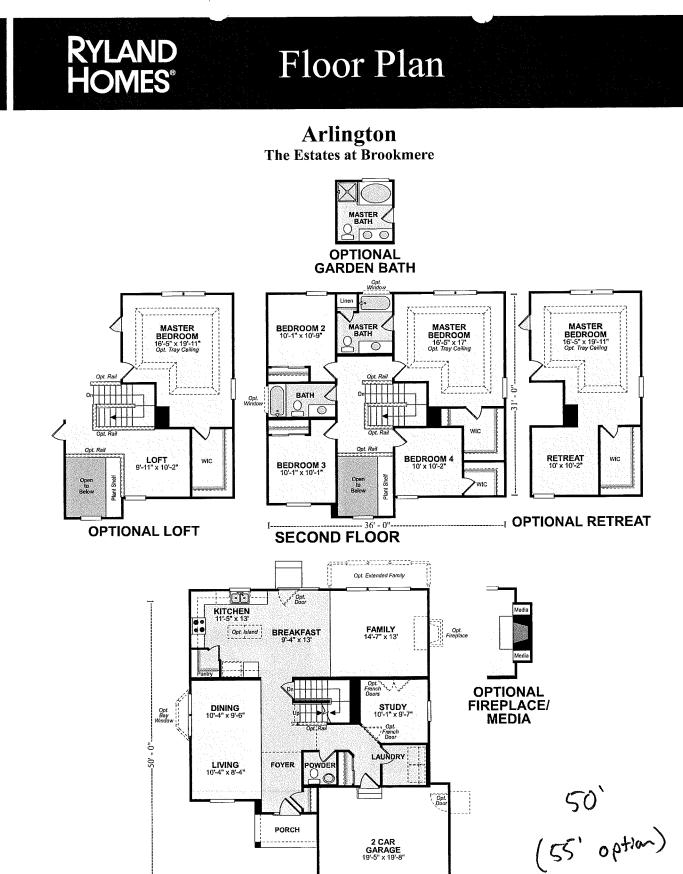
ELEVATION A



ELEVATION B

## RYLAND HOMES<sup>®</sup> ryland.com





ً। 1/15/2016

Plans, specifications, included features, available options and elevations are subject to change without notice. All dimensions and square footages are approximate. Renderings are artist conceptions. See Sales Counselor for details and available options. Plans are the copyrighted property of Ryland Homes. A limited number of plans utilized by Ryland Homes are owned by third parties and use is licensed to Ryland Homes. Reuse of plans is strictly prohibited. Equal Housing Opportunity.

2 CAR GARAGE 19'-5" x 19'-8'

--ľ

PORCH

---- 39' - 0"--

**FIRST FLOOR** 



# Elevations

## Arlington The Estates at Brookmere



ELEVATION C SHOWN W/ OPT. RAILS



ELEVATION A



ELEVATION B SHOWN W/ OPT. RAILS

## RYLAND HOMES<sup>®</sup> ryland.com



## City of St. Charles, Illinois

Refer to: Minutes\_1-19-16 Page\_\_\_\_\_

Ordinance No. 2016-Z-2

Motion to approve an Ordinance Amending Ordinance No. 2008-Z-18 (Corporate Reserve of St. Charles PUD) and Granting Approval of a Map Amendment, New Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Lot 8 – The Corporate Reserve of St. Charles.

> Adopted by the City Council of the City of St. Charles January 19, 2016

Published in pamphlet form by authority of the City Council of the City of St. Charles, Kane and Du Page Counties, Illinois, January 25, 2016

Nancy James City Clerk



(S E A L)

## City of St. Charles, Illinois Ordinance No. 2016-Z-<sup>2</sup>

π(5

## An Ordinance Amending Ordinance No. 2008-Z-18 (Corporate Reserve of St. Charles PUD) and Granting Approval of a Map Amendment, New Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Lot 8 - The Corporate Reserve of St. Charles

WHEREAS, on or about October 15, 2015, Corporate Reserve Development Partners, LLC, (the "Applicant" and "Record Owner"), filed petitions for 1) Map Amendment from O-R Office/Research District to the RS-4 Suburban Single Family Residential District, 2) Amendment to Special Use for Planned Unit Development Ordinance No. 2008-Z-18 "An Ordinance Rezoning Property and Granting a Special Use as a Planned Unit Development for Corporate Reserve of St. Charles PUD (A Portion of the West Gateway PUD)", 3) PUD Preliminary Plan, and 4) Final Plat of Subdivision, all for the real estate legally described on Exhibit "A" attached hereto and incorporated herein (the "Subject Property"), for the purpose of constructing 78 single-family homes; and,

WHEREAS, on or about May 5, 2008, the City Council passed and approved Ordinance No. 2008-Z-18 "An Ordinance Rezoning Property and Granting a Special Use as a Planned Unit Development for Corporate Reserve of St. Charles PUD (A Portion of the West Gateway PUD)" which ordinance approved a planned unit development named Corporate Reserve of St. Charles PUD, of which the Subject Property is a part; and,

WHEREAS, from and after the date of passage and approval of this Ordinance, Ordinance No. 2008-Z-18 shall be null, void and of no further force or effect with respect to the Subject Property; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Amendment to Special Use for Planned Unit Development was published on or about October 31, 2015 in a newspaper having general circulation within the City, to-wit, the Kane County Chronicle newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about November 17, 2015 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision petitions on or about November 17, 2015; and, Ordinance No. 2016-Z- 2 Page 2

WHEREAS, the Planning & Development Committee of the City Council recommended approval of said petitions on or about December 14, 2015; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the O-R Office/Research District to the RS-4 Suburban Single Family Residential District, and the Findings of Fact for Map Amendment attached hereto and incorporated herein as Exhibit "B" are expressly adopted by the corporate authorities of the City.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant's petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit "C", which is attached hereto and incorporated herein.

4. That the Special Use for Planned Unit Development heretofore granted with respect to the Subject Property by Ordinance No. 2008-Z-18 "An Ordinance Rezoning Property and Granting a Special Use as a Planned Unit Development for Corporate Reserve of St. Charles PUD (A Portion of the West Gateway PUD)", which ordinance approved a planned unit development, shall be null, void and of no further force or effect with respect to the Subject Property.

5. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit "D", and Final Plat of Subdivision, incorporated herein as Exhibit "E", such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- PUD Preliminary Plan
  - o Site Improvement Plans; Wills Burke Kelsey Associates, LTD; dated 1/7/2016
  - o Catchment Area Map; Wills Burke Kelsey Associates, LTD; dated 9/29/2015
  - Topography Maps; Wills Burke Kelsey Associates, LTD; dated 9/30/2015 and 9/29/2015
  - o Preliminary Plat; Wills Burke Kelsey Associates, LTD; dated 12/21/2015
- Final Plat of Subdivision; Control Point Engineering, LLC; dated 9/19/2015

Ordinance No. 2016-Z- 2 Page 3

6. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. Zoning: The Subject Property shall be subject to the requirements of the RS-4 Suburban Single Family Residential District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the "PUD Deviations" attached hereto and incorporated herein as Exhibit "F".
- b. Fence: The fence along the rear property lines of lots backing up to Woodward Dr. (Lots 1-7 and Lots 41-46) shall be of a uniform height and design, as show on the PUD Preliminary Plan.
- c. Owners' Association: The Applicant shall create one or more Owners' Associations and create a Declaration of Covenants, Conditions & Restrictions that clearly identifies all responsibilities of the Owners Associations with respect to the use, maintenance and continued protection of common open space and improvements in the Subject Property, including, but not limited to, stormwater management facilities. The Declaration shall also include a "monotony code" that regulates the building architecture and modifications to the building architecture following the initial construction of the development. Such "monotony code" shall include the types of regulations listed in the "Summary of Monotony Code Regulations" attached hereto and incorporated herein as Exhibit "G". Such Declaration shall be in a form reasonably acceptable to the City and shall be recorded immediately following the recording of the Final Plat of Subdivision for the Subject Property.
- d. Special Service Area: Following a recording of the Final Plat of Subdivision, the City shall initiate the formation of a Special Service Area for the purpose of maintaining and repairing stormwater management facilities and other facilities serving the Subject Property. The Record Owner shall not sell or transfer ownership of any individual single-family lots within the Subject Property until such Special Service Area has been established. Such Special Service Area shall be of perpetual duration with a maximum rate sufficient to provide for maintenance, repair, and reconstruction of such facilities. Such Special Service Area may provide for maintenance by the City in the event that stormwater management facilities or other facilities are not adequately maintained by the Owner or successors.
- e. School and Park Contributions: The Applicant has agreed to convey, and the St. Charles Park District has agreed to accept, the 1.02 acre parcel at the southeast corner of the Subject Property, shown as "Outlot 1" on the Final Plat of Subdivision, and the 0.17 acre parcel providing a trail connection at the west side of the Subject Property, shown as "Outlot 2" on the Final Plat of Subdivision. The remainder of the Park and School contribution shall be provided as cash in lieu of

land contribution in accordance with the provisions of Title 16 of the St. Charles Municipal Code, as the same may be amended from time to time.

f. Inclusionary Housing: The Applicant shall not be required to provide Affordable Units or a fee in-lieu thereof, due to the suspension of the Inclusionary Housing Ordinance, Ch. 17.18 of the St. Charles Zoning Ordinance, Title 17 of the St. Charles Municipal Code, as of the date of passage of this Ordinance.

7. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 19th day of January, 2016.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 19th day of January, 2016.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 19th day of January, 2016.

Raymond P. Rogina, Mayor

Attest:

Nancy Garrison

Vote: Ayes: 10 Nays: 0 Absent: () Abstain:() Date:

**APPROVED AS TO FORM:** 

City Attorney

DATE: \_\_\_\_\_



## EXHIBIT "A"

## **LEGAL DESCRIPTION**

LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 28, 2009 AS DOCUMENT NUMBER 2009K005931, IN KANE COUNTY, ILLINOIS.

## EXHIBIT "B"

## FINDINGS OF FACT FOR MAP AMENDMENT

## 1. The existing uses and zoning of nearby property.

The existing uses of nearby property include single family attached residential, open space, industrial business park, and undeveloped land. Zoning of nearby properties include RM-1 Mixed Medium Density Residential, PL Public Land, O-R Office/Research, and BC Community Business.

# 2. The extent to which property values are diminished by the existing zoning restrictions.

The subject property value is diminished under the current zoning and will increase in value if the proposed zoning within the jurisdiction of the City of St. Charles is granted. Values of surrounding properties will not be diminished based on the proposed zoning amendment.

# 3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

The current zoning of the subject property does not produce any perceptible public benefits.

# 4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

The property is currently zoned O-R Office/Research under the jurisdiction of the City of St. Charles. The development of the property under the O-R Office/Research zoning classification is physically feasible; however, the applicant finds current market conditions to be more favorable to the development of single family homes rather than office/industrial use.

## 5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

Corporate Reserve north of Woodward Drive was rezoned from BC Community Business to O-R Office/Research in 2008, when the PUD for the site was approved.

# 6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district.

Market analyses of the subject property have determined that single-family housing would be a viable and desirable use for the property.

## 7. The consistency of the proposed amendment with the City's Comprehensive Plan.

The City's Comprehensive Plan calls out Industrial/Business Park for the Subject Property, however, it also lists Single Family Detached Residential as an alternative land use to Industrial/Business Park, which is consistent with the proposed amendment.

# 8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

The proposed amendment does not correct an error or omission in the Zoning Map.

## 9. The extent to which the proposed amendment creates nonconformities.

The proposed amendment will create minor nonconformities with the new zoning.

## 10. The trend of development, if any, in the general area of the property in question.

The frontage between IL Route 64 and Woodward Drive, from Peck Road to Oak Street, has been slow to develop. To the west of the site, north of Woodward Drive, is Remington Glen, a townhome development, approved as RM-1 zoning in 2004. To the east of the site, north of Woodward Drive, is Regency Estates. Regency Estates was originally approved in 2006 as a townhome development, however, construction of the townhomes units halted. The development was then acquired by a new homebuilder and a PUD change to single family was approved in 2011 (the zoning district remained RM-1). The home builder executed a complete buildout of small lot residential with minimum lot sizes of 5,000 square feet. Remington Glen, however, still has remaining lots where townhomes have not been built. The most recent and successful trend of development in the area is for small lot single family residential homes.

## EXHIBIT "C"

## **CRITERIA FOR PLANNED UNIT DEVELOPMENTS**

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.

The proposed Corporate Reserve neighborhood has a strong sense of place with welldefined boundaries including open space, trails and Woodard Drive. The public park creates an active meeting location for neighbors. The proposed Corporate Reserve neighborhood is also well connected to adjacent and nearby residential communities and other community amenities via a regional trail system that borders the south and west edges. The proposed neighborhood is connected to the nearby Great Western Trail and to the Peck Road trail that terminates at James O. Breen Community Park.

# 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.

Lot 8 of the Corporate Reserve provides a sidewalk network on both sides of internal streets to promote connection and walkability within the development. Trail connections are provided at strategic locations to provide pedestrian connections from the development to the external sidewalk and trail network. A trail connection is provided between lots 14 and 15 for access to the existing north-south (Nicor) trail which connects to the Great Western Trail to the north of the property. An additional path is provided north of the proposed public neighborhood park to provide access to the sidewalk/path system along Woodward Drive, making other open space and recreational facilities, such as Renaux Manor Park and James O. Breen Community Park, easily accessible to Lot 8 residents.

Additionally, a 1.02 acre public park site is located along Woodward Drive at the southeast corner of Lot 8. The park is intentionally placed at an exterior location of the site in order to best serve residents of adjacent neighborhoods.

# 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.

Lot 8 of the Corporate Reserve will provide single family homes whose character is harmonious with existing surrounding land uses.

4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.

There are no environmentally sensitive areas that exist on Lot 8 of the Corporate Reserve. The subject site has been previously mass graded and improved with stormwater management basins and utilities.

# 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.

Lot 8 of the Corporate Reserve will bring an increased density of residents to a concentration of retailers and commercial establishments in the City. This new neighborhood will provide a great deal of additional revenue opportunities for local businesses to help invigorate local retailers in the area as well as increase future tax revenue to the City.

Lot 8 of the Corporate Reserve effectively utilizes existing infrastructure. Proposed utilities for the development will tie into existing infrastructure along Woodward and Cardinal Drive. Stormwater drainage from the site will be carried to existing detention basins either on or adjacent to the property. Street improvements for the development will be continued from existing curb cuts off of Woodward and Cardinal Drives.

# 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.

The proposed Lot 8 development will establish a desirable land use on an otherwise underutilized property. The development is highly favored by nearby homeowners as evidenced in a petition from residents of the Remington Glen and Regency Estates neighborhoods submitted to the City in June 2015.

# 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.

Corporate Reserve Development Partners has prioritized working positively and collaboratively with community stakeholders, including residents from the Remington Glen and Regency Estates adjacent neighborhoods, the St. Charles Park District, and various departments, boards, and commissions from the City of St. Charles from the beginning of the development process. Efforts such as resident meetings, site visits with the Park District, and collaboration meetings with staff were held to ensure all parties are satisfied with the end product of the development process.

# ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

A. Conforming to the requirements would inhibit creative design that serves community goals, or

B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public are, pedestrian and transit facilities.
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
- 3. The PUD will provide superior landscaping, buffering or screening.
- 4. The buildings within the PUD offer high quality architectural design.
- 5. The PUD provides for energy efficient building and site design.
- 6. The PUD provides for the use of innovative stormwater management techniques.
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
- 9. The PUD preserves historic buildings, sites or neighborhoods.

Lot 8 of the Corporate Reserve provides a 1.02 acre community park space, landscaping, buffering, and screening, and efficient site design that conforms to the standards listed above. With the requested minimal variations from a few of the RS-4 standards, the development will still comply with the spirit and intent of the above listed standards. The residential development as proposed provides usable internal open space and access to nearby off-site amenities via reginal trail connections.

# iii. The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):

# A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The proposed Special Use will serve the public convenience through the addition of community park space. The proposed Lot 8 of the Corporate Reserve will provide a 1.02 acre park as part of the site improvements. The park is intentionally located at the southeast corner of the site, exterior to the proposed street network, to allow residents from nearby subdivisions, such as Remington Glen and Regency Estates, to easily access the proposed park.

## B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Adequate and sufficient utilities, access roads, drainage, and other necessary facilities will be provided as part of the site improvements to the property.

# C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity. Values of surrounding properties will not be diminished based on the proposed Special Use.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. The establishment of the proposed Special Use will not impede the normal and orderly development and improvement of the surrounding property.

# E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The establishment, maintenance, and operation of the proposed Special Use will not be detrimental to or endanger the public health, safety, comfort, or general welfare.

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed Special Use conforms to all existing Federal, State, and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

## iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

Lot 8 of the Corporate Reserve brings an increased density of residents to a concentration of retailers and commercial establishments in the City. This provides a great deal of additional revenue opportunities for local businesses to help invigorate local retailers in the area as well as increased future tax revenue to the City.

## v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

.

The City's Comprehensive Plan calls out Industrial/Business Park for the subject property, however, lists Single Family Detached Residential as an alternative land use to Industrial/Business Park, which is consistent with the proposed amendment.

## EXHIBIT "D"

PUD PRELIMINARY PLAN (42 pages)

.

SITE IMPROVEMENT PLANS FOR

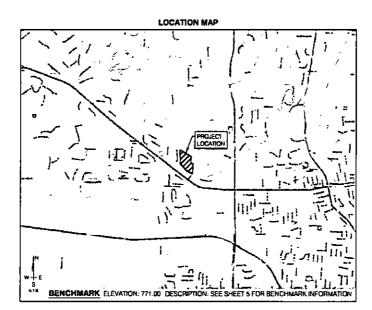
## **CORPORATE RESERVE SUBDIVISION OF LOT 8**

ST CHARLES, ILLINOIS WBK PROJECT NO. 140256

PLAN LEGEND

EXISTING	LINETYPES	PROPOSED
	(BAN TLL	
	STORN MINUT	
	SAMETARY TENER	
	WATER HANN (W/ BAT)	
	THE INCIDENT MONTHLE	The second s
· — · · — · · — · ·	RAS LIAN	
	TELEPHINE LINES	
	OLCOPIC:UNK	
	<b>FENCE</b>	
	REPT-OF-MAY	I — — I
mmmmm	EAR WENT	immono a
	PROFESSION LINE	
	REPORT AND A	
	CONTO IN	
	CLINED ALL	
•	Stephant and a dist	•
•	510mm means ()	•
0	CATCH BASE	•
-	PL IT	1 -
	BLAP SIRUCIUM	-
α	Falls, erygnopert	•
	PERSONAL CONNECTION	[ •
•	VIEW AT A VIEW T, WALLE	
•	CLANCE CALL ACCIDENT	•
. =	STREET LISE OF	N N
1 🕺	LUBELT & POLIS	+
	Contract, Prost	
I	heis-	1 1
NUMERON A	SPICE ELEVATION	160,10
	ONE REARD FLOW FROM	-
	DRAMACIE GLOPE	~~~
I 00		<b>15</b> 21
ן יש ו	PACE IN REMARKE	12 <b>1</b>

PERMITS						
AGENCY	DATE	PERMIT #				
		<u> </u>				
		1				
		+				
	_	11				
		1				







### WILLS BURKE KELSEY ASSOCIATES LTD.

116 WEST MAIN STREET, SUITE 201, ST. CHARLES, ILLINOIS 60174 P: 630.443.7755 F: 630.443.0533 WWW.WBKENGINEERING.COM

PROFESSIONAL DESIGN FIRM NO. 184-002097 EXPIRATION DATE: 04/30/2017

	10142	CERCITY THEY
1	CVI	COVER SHEET
2-4	GN1-GN3	GENERAL NOTES AND SPECIFICATIONS
5	EC1	EXISTING CONDITIONS AND DEMOLITION PLAN
6-7	GM1-GM2	GEOMETRIC PLAN
8	OVI	OVERALL UTILITY PLAN
B-12	GM1-GM2	UTILITY PLAN
13-16	GR1-GR4	GRADING AND DRAINAGE PLAN
17-23	PP1 PP7	PLAN AND PROFILES
24	SP1	SIGNAGE LIGHTING AND PAVEMENT MARKING PLAN
25-27	LP1-LP3	LANDSCAPING PLAN
28-29	SW1-SW2	STORNWATER POLLUTION PREVENTION PLAN
30-32	SEI-SEJ	SOIL EROSION SEDIMENTATION CONTROL PLAN
33-37	011-015	DETAILS

SHEET INDEX

REVISIONS

OPEGINAL PLAN DATE: 10-08-2015			
+	SHEET #	DESCRIPTION	DATE
1	ALL	PER CITY REVIEW LETTER DATED 11-13-15	1-7-16
			+
	-	· · <u>-</u> · · ·	

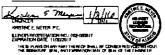
### CLIENT

. .

TIDE

CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC 270 ST. PAUL STREET, #300 DENVER, COLORADO 80208

### CIVIL ENGINEER



## LANDSCAPE ARCHITECT



#### GENERAL ROTES DETERMINED IN COLUMN AND IN A

- тик в ней-нар интотускладна при полод мно (народи сроктикална), и наме доругар интотуска и дани и на питалити и тустура прави и на на изализиета и буда, на питали и тикита и на питали на питали и на питали и рад и сапати и тикита и на питали и на питали и на питали и на питали рад и сапати и тикита и на питали и на питали и на питали и на питали рад и сапати и питали и на питали и на питали и на питали и на питали рад и сапати и питали и на питали и рад и сапати и на питали и питали и на питали и питали и на питали A. THE ELEMENTED SPECTREATIONS FOR ADAD AND IS
- R, C, THE STANDARD BURGHCARDAS FOR WATER AND BUYER CONSTRUCTION IN LUNCES. 2014, 7<sup>M</sup> Edition, Except as Monthed Harday or by Art Public Address Virginia (B ISSUED FOR THIS WORK.
- D. BLINDER DERING BY AND ADDRESS FOR SEVERAL VICTOR, LATEST VERSIONS
- E. TECHNICH, POLICY BIATEMENTS OF THE REAL DARMON OF PUBLIC WATCH SUPPLIES AND DARMON OF WATCH POLICIES CONTROL LATERY VEHICLES.
- . TECHNICAL BYANDANDS FOR WATER WORKS, 87 YNG OREAT LANGS LIFTER MIDDIG HIVER BOARD OF STATE SAMTARY ENGINEERS ("In gYATER BYANDARDI"), LATERT
- O. MANUAL OF UNITORIA TRAFFIC CONTROL MINICES, LATEST VERSION
- N, THE AMERICANS WITH COLARS, THEN ACT, THE NAMES ACCESSING, ITY OLD CARD THE PAPE NEX SHID ACT, LATEST VERSIONS.
- THE ALLWOR PROCEEDING & AND STANDARDS FOR LINAN MEX. ENGINE AND SCOMMETATION CONTROL, AND STANDARDS AND SPECIFICATIONS FOR YOU ENGINE AND RECOMPRETATION CONTROL, LATER'S VERSIONS.
- U.B. IKIL COMBÉRIATION SERVICE RELO CHORDERIO HANDROOM, LATEST VERSION.
- K. ALL CODES AND ORGINANCES OF KANE COUNTY AND THE CITY OF \$1, DWHLES.
- L. ALL REQUIREMENTS OF THE OCCUPATIONAL BARATY MONEAUTH ADMINISTRATION M. THE CITED STANDARD SPECIFICATIONS, CODES MID PERMITTS, WITH THESE CONTRACTOR PLANS AND DETAILS, AND ALL TO BE CONSIDERED PART OF THE INCODENTAL FITTING OF ACCESSIONED INCODENTS OF CONTRACT, THE REPORT AND APCORDALLY NOTED ON A CONTRACT, CONTRACTOR THE DE INFORMATION IS. T CE 114 MIL
- N. CITY OF MT. CHARLES ENGINEERING (E-MAR AND INSPECTION POLICY NAME). LATENT
- U IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVIDEN SHALL APPLY

#### 2. UTBUTY LOCATIONS

- A. TO THE BEST OF DURINGONLEDGE, EAREMENTE FOR THE EXPIRING UTILITIES. BOTH Multic and PRIVATE, AND UTILITIES WITHIN PURING INVERTIGATION AND ANOMAL ON PLAYS ACCORDING TO HYMEADLE RECORDS.
- 8. IT IS INCCOMP IT IS IN CONTRACTORS REPORTING ITY TO CONSISTENCE CETABLES THE SARTERS OF ALL EXERTING UTALITY FACULTIES AND THEM ERACT LOCATIONS, AND TO MARKY SEMEDULE ALL UTALITY RELOCATIONS. THE CONTRACTOR WALL BE REPORTED FOR HANNES THE UTELTY COMPARIES LOCATE THERE FACELTIES IN THE FIELD PROP TO CONSTRUCTION AND INVELTAND BE REPORTING FOR THE MANTENANCE AND HANNES THE UTELTY COMPARIES LOCATE THERE OUTER HIT THE FIELD PROPERTY HANT THE LOCATED PRIMARY MATE OF THE OF A REFINEL. THE BRANDER DOLE NOT KNOWN AT THE LOCATION OF ANY REBIN OF ULTITES REFINE AN OF A REFINEL THE CONTACT OF A REAL CALL JULLE AT RESERVICE AND THE AREAN THANKS AND AND A REFINEL AND A REFINE ADDITION OF A REFINEL AND A REFINEL AND A REFINEL AND A REFINE ADDITION AND A REFINEL AND A REFINE ANY REFORMATION. THE ADDITION AND A REFINEL ANY REFORMATION.
- C. IF EXEMPTING USE/IT USES OF ANY MARKET AND RECOVERED WHICH COMPLETE WITH LOCATIONS OF THE NEW CONSTRUCTION. THE CONSTRUCTOR WHILL BRIED MARKET WITH Y

#### 1. UTLITY COCHONATION

- Owner while of tan easiments and permits necessary to pace tate construction of the proposed utilities. The contraction shall purpose all A. OWNER BHALL OBTAIN BA REQUIRED BOMER AND EVIDENCE OF INS MANCE OF COMMENT TO DECLED THE CA PERMITS.
- В. ТНЕ СОМПИНАТІОН НІ ВЕЛІГІЧНИК Е РОПИЧНИКУТИЦІ ТНЕ КАТИНЕ КАТИНЕ ОТ АЦІ. ИТВІЛУ НЕСКЛАТЕНИ НОРИ РИДИН ТО ТНЕ Д'ЯРИ ОБ СОНЦІЛЬНОТІСЯ, ГЛЕ СОНТИНИЯ. SHALL THE APPROPRIATE ADVISOR OF TO CHEVE THAT CONTINUE THAT CONTINUE THAT THE REAL PROPERTY IN THE REAL PROPERTY INTERNATION PROPERTY NOT INTERVERSE WITH UTLETY PACEFIES AND NET OCATION WORK. THE SCHEDUL SHOULD REFLECT CERTIFICATION SEALENCING WHEN COMPLETE WITH ALL аноци, иштерст сравникатион насни насни унисн соспативлен итникац или пт Падоратион иони. Тне соотплаторя инна, ве не славето то лодине тне славето от имаке иска прех то тиве, то соопозната в маке унти или птер така состато и чото на лаб изнац. Раблава периато за составляето соотплановато состато и чото на лаб изнац. Раблава периато за составляето соотплановато состато и чото изнац. Раблава периато за составляето соотплановато состато на поло изнац. Раблава периато за состато состато состато на поло
- C. THE OWNER, ENGINEER, ALL COVERING ADDITION OF UTILITY COMPANIES SHALL BE INTERED IN WITTING BY THE COMPANIES AND LARGE 49 HOURS PERDING TO THE START OF TH OTHER BEL

#### considering condition of the

A PRICE TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERY AL нежи то средоватия на то совется со то совется и советс 

TRUE MEANING OF THE CONSTRUCTION PLAYS OR SPECIFICATIONS. THE DECISION OF THE NORTHING BRAND BE FINAL AND CONCLUSING

- THE CONTRACTOR INVESTIGATION OF RECEIVENTY, ALL TEXTING ACCREDING AN CONTRACTED BY THE COUNTY, FORMER OR ON O HER. WATTCHITLY IN ADVINCE OF CONSTRUCTION, ALL MATERIAL TESTING SHALL BE THE RESPONDENTLY AND EXPENSE OF THE DOWTRACTOR, ALL TESTING ADDIDIES MALL MEET THE ATTRONY, OF THE COMPANY AND ANY OF CONTRACTORS OF ALL ON ADDRESS ADDRESS ADDRESS AND THAT THAT WANTED CHARLE, FAILURE OF CONTRACTOR TO ALLOW INCOMES MOTIFICATION THM WHAT REALTAIN TRANSPORT AND AND ALLOW INCOMES THE WAY AND ALLOW INCOMES CONTRACTOR ELEPERATION OF RATIONS OF INTERNAL OF WORK TO BE ROAM OF RATIONS CAN BE COMPLETED, CORT OF INSTRACTOR OF WORK TO BE ROAMS CONTRACTOR.
- 1/4] CONTRACTOR BANK, WANTAN PETERTINAN ARC VEHICLE AN ACCESS AT ALL TREES. AT NO THE BANK ACCESS IN CONSULT TO PROPERTIES SUPPORT IN STREET.
- THE CONTRACTOR INVELTIGATION OF CONTRACTOR STREET WITH THE VALUE AD CONDER RELEDED. ANY STAKES DESTRUTED OR DETURBED BY THE CONTRACTOR HERR TO THOR USE WALL BE RESET BY THE DEVELOPENT EDGREET AT CONTRACTOR MEDIA.
- E. MY LIGHTING BOOK, USHT STANDARDS AND UTURT PELES WARCH INTERPORE WIT Аму садатно водая, цоят этикомода мой отцету челев инсут ителение или и содатицители опералиса на или или потер гоба облася, выды ще в полоко от ледат уу тру сонгластова на или отим научение на около от нае еконо Вено Ралко от на опестер ну тик оруга собек. Аму самале то тикая пера была била, ще прамато операнасто и у не основатьства и на обла области то тика прамато операнасто и у не основатьства и на обла и работе то тика SATERACIES OF THE CROSS, ANY INCREMENT RECLINED TO BE RESELF, BHALL RE DELIVERED TO THE RESPECTIVE OWNERS.
- F. ITEMS SPECIFIED FOR REMOVAL WELKING BUT NOT LIMPED TO PRVINCET, MONYAUX CLUB, CLUB AND DUTTER, CLUVENTE, ETC. BOAL HE LEGALLY DEPENDED OF OPY-STEE IN THE CONTRACTOR AT HIS OWNERWOOD. THE CONTRACTOR & RESIDENCE FOR ANY
- THE CONTRACTOR IS BOLELY REMPONINGLE FOR BAFETY ON THE ADD
- H THE CONTRACTOR NAME COLLECT AND BUILDON ALL CONSTRUCTION OF THE EXCESS. тие сотиматия вни саллет наказания на соетниство бала в соетниство бала и соетника и соетник На соетника и соетна и соетника и
- ALL CARTING UTRATES ON REPEARENTLINGLIGHE WALLS. CLIMB, PARMENT PARAMINE DAMAGED OR REPEARED DURING CONSTRUCTION WALL IN PARMITLY REPEARED TO THEN REPECTIVE ON/GRAD, CONSTRUCTION, THIS WORK BALL OR THE REPORT AND A THE CONTRACT USERS SPECIFICALLY NOTED ON THE

4. ORIGINAL BREAMATION ATTLETY ROTES

- A. CORT FOR SHOPPING AND INACING, INCENT PLANS, UPWEISHTS, STRENGEN: OROSE SHADES, ITC, SHALL IN CONSUMERING INCOMENTAL TO THE COST OF THE WORK, NO ADDITIONAL COMPENSATION WILL BE ALLOWING.
- THE CONTRACTOR BHELL PREVENT SURFACE WATER AND BUBBURFACE OR GROUNDWATER FROM FLOWING INTO EXCANDIGHT REMOVE WATER TO PREVEN BOFTSHING OF FOUNDATION BOTTORS, UNDERCOTTING FOUTINGS, AND SEE CHA OR TRIMENTAL TO STARLITY OF BURGHADER AND POUNDATIONS, PROVIDE AND MAINTAIL PLINER INJURY, WATCHIS AND DEVONAGE LINER AND DIVISE DEVIATERING SYNTEM EVENING RECEASERY TO COMPLY WATER MAKY FROM EXCAVATIONS, COMPLY TER NUMBER FROM EXCAVATIONS AND INFORMATER TO COLLECTING ON REPLOT TRAIL D нила с правода у нари разлика на реконски раконски с нарисски раконски раконски нарисски нарисски нарисски с по нарисски са след нарисски с нарисски нарисски с нарис Нарисски с нарисски TOMPORTATIV DRAMMAGE DITCHES.
- BANEDATELY REPORT CONCIDENT THAT MAY CAUDE UNROUND BEARING TO THE OWNER ON OWNERS ADDRT.
- undernarding fyraid Symle Acquire Trendfynd, Nytallandyn of Prys, Castinos, Ryngymaer, Radsfyliad o'r trendfyr rad compartern and terthy ag Bygyn o'r The Origithul Plans Fifthag and Acquiresties Michestant o'r comparter da Radin May o'r Be yncyffer o'r fanll reg Comparter da Syccertar Na Comp
- F. IN THE EVENT THAT BORT MATERIALS ARE ENCOUNTERED, THE CONTRACTOR BRAIL NOTIFY THE OWNER OR OWNERS ADENT MAKEDATELY.
- PERMITTER.
- N. THE CONTRACTOR BARLI METALL A "X 4" X F (COMMAL) POTT AT THE TERMINES OF THE INNERTATE AND THE BOOKED, HARTWARD (THOSE MAYNED, E. CATON BAILING), NET TO AND HART DE VARIE. THE POINT MALL RETURN A ADVECTING COMMENT. HE TOP (IF OF THE MEDT (MALL IN POINTED AS FOLLOWS: SAMETART RED INATERIAAN BLAL, STORE).
- ALL TOP OF FRAMES FOR STORM AND SANTIARY INVERSIONS WAVE WALL COVERS AND ALL THE OF PARAMET PLATTICEMENT AND THE THE REAL AND THE THE REAL AND THE TO BE ADALTED TO BE ADALTED TO BE ADALTED THE ADALTED AND THE ADALTED ADALTED THE ADALTED ADALTE THERE ACLASTIMENTS TO FINANCED GRACE WILL NOT ALLEMATE THE CONTRACTOR FILE ANY AQUITERNAL ADJACETIMENTS AN REQUIRED BY THE CITY OF S1, CHARLES WICH FINA INTERCORD OF THE ORD STY

- THE CONTRACTOR SHALL VERIENT THE BUS AND INVERTIGUES IN AN ALL CONNECTIONS TO ANOLE ANY CONFLICTS INFORM STARTING MORE, MOTION ON-MER (P. 2019)
- но инстримовано чиски вница в соманиести и ник иссле интридово ругие Лавист нимине дарадствии, америана, то просего ишат не отпоред нити не содиту нио топивно рикон 10 иштациото америски власе, рибое, фил лес, ало писат си плабиа иму сонистет и итали отмы имие всем вст.
- AT THE CLOBE OF EACH WEINING DAY AND AT THE CONCLURION OF CONTRACTION OPERATIONS, ALL OWNINATE STRUCTURES AND FLOW UNCE SHALL BE PROVE FROM DIRT L. AT THE CLOBE OF EACH WE ARC D1(19)

A RECEIPTION

1 (1997)

- HELD HANNELSES. THE CONTRACTOR, AS A CONDITION OF THE CONTINUET, HEREIN ADDRESS TO ADDRESS THE ENTITIE INSTRUMENTLY AND LANSLITY FOR AND DEFINITION AND TO PAY AND REDEMARY AND HOLD THE OWNER THE ENDINEER, THE OTT, THEM INCOMPERS. ADDITOR AND CHIEVE NORTH HARRING BAS FREN ALL CLASSE FREM ADDITION OF IN ANY IOR DEATH REBUILTING THERETHORY TO ANY AND ALL PERSONS INCLUDING KNAR DYNER DRI ACCENTE OR ANY PERSION DRI FRANKWARD FRANKLARE IN WORK LINDA FRE PROJECT, ARRING OUT OF THE CONDUCT OF THE CONTRACTOR ARRIVED OUT OF NOTE THE THEY ARE ENT OR ANY WORK RELEVANT THERE TO ON AN ia ou DE ANY FEDID MANUE OF THE ANDREMENT ANALY FROM RELEYANT PREMITY FEDERAL, STATE OR LOCAL STATUTE, PLAS, REGULATION OF MA IN MUST REFE TO THE PROVINCES OF THE OCCUPATIONA STANDARDS ACT VIEWAL WAL BAPETY AND HEALTH STAR
- DATE: No.
- C. THE CONTRACTOR(S) SHALL MANE WILLS BURKE FILLS: VARIOC, LTD, CT) Y OF BT. Driveling and Control Taint Origin Construction (Despination FOR In the CTY an ADDITIONAL MANED PASSIFIED OF AN LLIGHTLY PRESERVATION FOR IN THE CTY AN ADDITIONAL MANED PASSIFIED OF AN LLIGHTLY PRESERVATION FOR THE CTY AND ADDITIONAL MANED PASSIFIED OF AN ADDITION FOR THE CTY AND ADDITIONAL MANED PASSIFIED OF ADDITIONAL CONSTRUCTION (DESPINATION FOR INTEGER). PROMIDE THE CITY AND HER WITH CENTRICATES OF RELEVANCE PARLIN TO COMMUNICATION OF ANY PROMIN.

#### EASTINGTON RUTER

- If IS THE CONTRACTORS RESPONDENT TO UNLEXITAND THE BOL AND ORDUNOWATER CONDITIONS AT THE MTC.
- B. THE CONTRACTOR SHALL HARTAIN POINTING ORAMAGE DURING CONJUNCTION, AND PREVENT STORAMENTER PROM PLUMING OFFERE AND INTO OR STANDING IN EXCANDED. -
- C. THE CONTRACTOR REALL OF RESPONDING FOR MARKEMENTATION OF THE SOL EXCENDER NO RECOMPARTMENT CONTRAL VEALINGET, THE STATULE TATALETING TO BE CREEDED CONTRAL FOR DESCRIPTION OF THE PLACEMENT OF OR RECORDER CONTRAL ADVISOR ADVISOR FOR THE STATULE OF DESCRIPTION OF ADVISOR FOR THE PROPERTY, WEILARDS, ETC. SHALL DODG, PROCE TO ANY STATULE OF DESCRIPTION OF ADVISOR FOR THE PROPERTY, WEILARDS, ETC. SHALL DODG, PROCE TO ANY
- D. EXCERNING A MOTIVALE OF MOTIVALIZED AN PLU BHALLIKE COMPLETELY REMOVED FROM THE Excertifications are not provided at an information of a provided of a provided of a provided of a provided of a CONSTRUCTION SITE AND PROF PREVIOUS, F APPRICADED SITE.
- GEOTEXTEZ FARTIC: F ACTIVITED BY THE OWER, SHELL & TARANT OF OR BELIEF. MEDINERALED FER MARKETURGES RECOMMENDATIONS.
- TOPICS, GREAVATION INCLUSES.
- A. EXCAVATION OF TOPSOL, AND OTHER STRUCTURALLY UMBLITABLE MATERIALS WITHIN THOSE AREAS THAT WILL INSTANDE RATTINE REALY AT MANAGED ANTERNAL WITHIN ANTERNAL, RESERVICE OF ATTEM SHALL BE REMOVED PRIOR TO STRUMENT OTHERS, OF ALLING AREAS.
- YOU BTOCKED F
- C. TOPSOL STOCKPAED FOR RESPIRENCE SHALL BE FIRE OF CLAY AND REALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL SHALL BE INFORMED THE TOPSOL AND CART, THE TRANSITIONAL MATERIAL SHALL BE LARD IN NOR-STRUCTURAL FILL AND AS ON PROPERLY DESPIRED OF 07-015.
- numerie and place topson, built, for local and and spreading p of approved Topson, over anexes to be landscaped whithe builting of the places or interacted OT THE PROPERTY.
- E. HERVETHER, FELLANDAR BRAIL ME CONFACTED AS PER (SERIES) ANTICLE 2014

### CARDA CARAMETER STREET

- A. EXCAVATION OF CLAY AND DIVER MATERIAL INVICTIANCE SUSTAILE FOR UNE AS RYRACTING, FIL, THE EXCAVATION SHALL NO TO WITHIN A TOLERANCE OF 0,1 FEST OF The FLAM BLIDGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINING. THE I CLERANCE WITHIN PAVENENT MICAS SHALL BE SUCH THAT THE EARTH MATERIALS INVELTIGATION CLARGE THE FIRE CRACIES DEPARTOR.
- I. PLACEMENT OF THE CLAY AND STHERE BUT ADDLE MATERIALS BHALL BE ANNO ADDLETES THE STRUCTURE, PLU IN COURSE TO A CREWE THE FLAM INSTRUME: (LIVATION YOUTHAN A TRUETWARK OF DI A TRUET ADDLETES) ANATORIAL BUAL DE PLACED IN COME UPTE THAT SHALL HAT EXCED SCHIT (2) INCRESS IN TRUETWEEKS, AND THE INCOME UPTE THAT SHALL HAT EXCED SCHIT (2) INCRESS IN TRUETWEEKS, AND THE

WATER CONTENT SHALL BE ADJUSTED IN DROCH TO ACHEVE REDURED CONPACTOR STRUCTURE, FLL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE 1212 NOT REQUIRES STRUCTURE ALL TO WITHIN SUMMERS OF THE ALMONDUC DURING STRUCTURE ALL TO BE AL THE WORK THE COMPLEXEMENTS IN THE COM ED BY A SUES ENG

- COMPACTNON OF THE CLAT AND CONER BUT ADLE MATERIAL & BHALL BE ADDIRED (STREE) ANTICLE 201,00.
- UNBLITHING BUTTERN, RIVAL BE CONSIDERED AS MANTERN, WHICH IS NOT BUTTARK FOR THE SUPPORT OF PARSENT HAVE BUT DATE CONSIDERTING THE NOT BUTTARK FOR THE MOREAL TOPOLE. DIFYING AND THE PARSENTING THE NAME OF THE DECEMBER TO READONE BUT DATESME, AND THE PARSENTING THE BUTTERN AND REAL STREAM TO READONE BUT DATESME, AND THE PARSENTING THE BUTTERN AND REAL STREAM TO READONE BUT DATESME, AND THE PARSENTING THE BUTTERN AND REAL STREAM TO READONE BUT DATESME, AND THE PARSENTING THE BUTTERN AND REAL STREAM TO READONE BUTTERNE, AND THE PARSENTING THE BUTTERN AND REAL STREAM TO READONE BUTTERNE, AND THE PARSENTING THE BUTTERN AND REAL STREAM TO READONE BUTTERNE, AND THE PARSENTING THE BUTTERN AND READONE BUTTERN. WITH THE CONCUMPTING OF THE DRIVE

- ВАРТНАНСКИ, ГОЛ РАСПОВЕЛ РАУДИВНИ ШИКЛАДЕ ШИЦЦ НЕ РАМЛИЕЛ ТО ИТНАН О. FOOT, РАЛО СА НАПИД, О РАЛИ ЕЗИКИТОК, ТИЕ СОШТИКАТОТИ БИАЦ, КАТИТУ ТИКУЦЕ THAT THE BUILDEALE HAB BUILK PROFILE AN FUNCTION BUILT DE FORMET TOP ENGELINGE ELEVATION HAB REEN GRANED WITHIN YOLZAMICES AL OWNED IN TRADE SPECIFICATIONS UNLESS THE CONTRACTOR ADVISES THE SMORELIN IN WRITERS PROCE TO FINE CHARMENE FOR ACCEPTION FE BASE COLORE CONSTRUCTION. IT IS UNDERSTOOT THAT HE HAR APPROVED AND ACCOUNTS IN EXCEPTIONS IT / CONTHE BUILDING
- нена то п.е. предокато то на слав ана дитота нао одередата наме развез на сооткастота вода предоста и да намезната и п.е. и совото так-нета плавата на сооткастота вода предоста да намезната паста и совото так-нета плавата на така предоста да на совота на намезната на наста на совото по на подавата от на совото колита на оделествата на накота на на базото на така така подата подата и совото совота на накота на накота на настоя на колита на колита на совото на накота на накота на накота на настоя на колита на колита на подата на подата на настоя на колита на колита на колита на колита на накота на подата на накота на накота на колита на колита на накота на колита на колита на накота на подата на накота накота на накота на накота на накота накота на накота на накота на накота накота на накота на накота SUBGRACE IS ENCOUNTERED. IT SHALL BE CONRECTED THIS MAY INCLUDE ONE OR ACTION OF THE FOR LOWING METHODAL

- II ВСАЯТУ СВСАНО АБЛАТЕ. 21 ПШКОТЕ АНО ИТЕЛАСЕ ИНТЕРПИСТИМА СLAY FRIL. 21 ПШКОТЕ ДО ПЕТАЛОЕ ИНТЕРПИСТИМА САТЕЛИИ. 31 ОШЕ ОТ ОСОТЕПИЕ ГАНИСТ, МИДИАН ОСЕЦИСТИИ АСПЛЕЦ И СОСАТЕЛ АНЕЛА 44 ПЕ И ТО СТОТЕПИЕ ГАНИСТ, И И СЕЛАТИИ ОСЕШИКО ОТИ ПОЙ ПОЙ ПО ПО АЛЕЛА.
- MICH TO INF CONTRUCTION OF THE OURS AND CUTTER AND THE PLACEMENT IN THE sale: Material, the provident and a much de provident to within 100 pter (127) DF FINI, Subgrade Elevation, to a population of pret metodo the back of 1360. о рато иншинати властични, на историти индирева на сили на водат со славата и на состати на состати и на соста В состати иншинати состати и на состати со состати со состати со состати на состати на состати на состати на со В состати и на состати со состати со состати со состати со состати на состати на состати на состати на состати
- D. FRICH TO PLACEMENT OF THE ADDREASTE BADE COURSE, THE BURDLADE BURTLES APPRICATE BY THE SCILLS COMMAN FAIL FAIL FAIL FAIL OF \$1, CHARLES SHOPPERS.
- ALL MATERIAL & BRIDG VER VER VER FOR TOPICS, OR VELICED IN LANDSCATING PRACTICS, INVAL NAL MENDERED MARKEN OFFICIENT OF INFORMATION CONTINUED IN CONTINUED IN THE CASE. MARKEN BIL COMBINIERT OF A MONACCIPITALIANATED CONTINUE AS DESCRIPTION FOR CASE. ACTEGORIZATION: ALL MATHIAN BACT MERINA IN THE AND MENDEMARK WITH DESCRIPTION REMAIN DIA MERINA DALL DE STREAMCALT MARKEN DATA DE DAMA DE DAMA DE DALL AND MENDE IN THE CASE.

#### 7. ANICALLANEOUS THE CONTRACTOR SHALL

- SPREAD AND COMPACT UNFORMENT TO THE DEGREE SPECIFICD ALL EXCLUS TRENCH SPECIFIC TERM COMPLETENCY OF THE UNDERWOOD METROPOLYMPITE
- REARDY, COME, AND ADDRESS. TO THE DECREES SPECIFIED, THE UPPER SPECIFIC ALL ADDRESS OF THE SUPPORT ADDRESS AND THE SUPPORT ADDRESS FO EXCESS WORTHING CONTENT, THIS APPLIES TO CUT APPLAS AS WELL AS FILL AVEAR.
- 5. PROMOS WATER TO AND TO ORY MATERIAL IN ORDER TO ADAUST THE MODITURE CONTERT FOR THE PURPORE OF ACCEPTION THE REPORTED CONFACTED

CORPORATE RESERVE DEVELOPMENT PARTMERS, ILC 278 51, PAUL BREET, 9500 DENVER, COLORADO 80206 PHONE NUMBER Ē -Į į ILLS OURCE EELSIY 5 Week Main Street, Suita Chartes, Illinola 60174 0) 443-7755 × PROJECT NO. W0756 CATE : 10-08-2015 NINCING, 2 CHIEF GN1

NOIS

LOT 8 LOT 8

CORPORATE

\* \* 4

2 IN 19

GENERAL NOTES AND BPECIFICATIONS

<u>Волого с со станарала тиристра сил ответя во 1. Али верти и интератора во 11 дие братов и траника сил ответа. 1.</u> Околя воз перти са силаната и и долуга праков, оказа от са сила сил ответа. THE CITY OF ST. CHARLES SPECIFICATION

2. Sign's Broke Braul BE Constructed of 9,000 (NCH THEOK FLAT ALLBANKUP PARELS WITH Replectorized lacate on the face of allocationade with (Sense) Signification 75% Legendo Shall be in a Constructe of the face of the signification of the si

1. POSTS SIGN POSTS SHALL BE A HEAVY DUTY STEEL "L" SHAPED CHARGE, NEXTHAND 1.0 POLICEPTOT WITH AN ATTING & METAL, POLICEPTOTATION, SECTION 775 (DL 2) POLICEPATED STREET, THE PERSONNEL SECTION FOR

, 1984 and fights 1944. He installed in accordance with the 48042 (2018), Bections

PANEMENT MARKARSE ALL PANEMENT MARKARSE IN THE REACHTRY LIMITE, BUCH AS STOP SAF LIMIT, DENISSILIER, CRUSSMARSE AND DENISTRIAL ANNOLES SHALL BE REFLECTORIZED THERMOND ANTOT PERISTRIC BECTOR FOL

IL PAREMENT MAINTINGS ON THE PARTY PAREMENT OF STALLS, AND SHEAR LOW WEAT

7. COLOR WITTH STAFF AND SIZE OF ALL MADERIES INVALUE IN ACCOUNTING WITH MUTCH.

THERMORY.AITC MARKINGS GROUL BE INSTALLED RETWEEN AFRI, 1911 & ADVENUER 1917 AND THEIR THE PAYSBORT TEAPERATURE IS 16'1' AND REPAR AND THE AND RETRIES MAY BE NETALLED WART FOR AN THEORY OF PAYS INSTALLED.

#### PAVING NOTES

- GRIERAL A RANNEL HOLE BLAND BLAND BARNEL BARNEL BARNEL AR AND A COMPLETER A RANNEL HOLE BLAND HARD HARD AND COMPLETER PARTICIPATION OF STANDARDS HARDING HARD COMPLETE PARTICIPAT, CARRIE AND HARD COMPLETER PARTICIPATION AND CLARGE CONTRETE PARTICIPAT, CARRIE AND HARDS, HID FRAN CLARMF HOD ALL
- COMPACTED REGISTERATION FOR TO PLACEMENT OF THE MOTION ADDRESS.
   COMPACTED REGISTERATION BALL PROVACE, AS A MEMORY A TABLES ADDRESS MADE TRUCK LOADED TO A MEMORY ADDRESS MEMORY OF FORE UP, PHODE PLOURT PROCEEDINGS. LOAGED TO A MHALLIAL ORDER MELLANT OF 40 MILLING, PHOLE NOLLING PROCEDURE MALL COMPOSITIO (SIMILI) ATTOLE MALLING, WINNUTAKLE MURIPASE IN ENCOUNTERE IT MALL BE CONSECTED OF REMOVING AND REPLACEMENTING REMAINING THE MATERIAL OF COMPLET BY THE PREMIER, HOTMER ADMANT SHALL BE COMPLETED ACCORDING T (STREES) ARTICLE ARLIN
- C. HOT-BER ASPINEL BURKLE BE PLACED ON A CLEAN DRY BASE. THE HIT-BER ASPINELT BASE COLORS SHALL BE PLACED ACCOMPANY TO DESIGN ANTICLE SILUE. THE HIT-BER ASPINELT SPOOR COURSE, LEVELAR ANDER, AND REPACE COURSE SHALL BE PLACED ACCORDING

D. THE HIM MALL BE DELIVERED AT A TEMPERATURE OF 75/75 MID 20/75.

E. IT ISHALL BE THE CONTRACTORS BOLD REPORTED.ITY 10 FROMDE PROPER BARREADING, WARRING DEVICES AND THE SAFE SAMADDIMENT OF TRAFFIC WITHIN THE AREA OF CONTRACTORS, ALL BUILD REPORT AND THERE INSTALLATED SHALL CONFORM TO THE ELEVER MANUEL OF UNIVERSITY AND THE CONTROL CONFORM AND IN CONTRACT, DEVICE, AND IN CONTROL CONFORM AND INC. ACCORDANCE WITH THE CITY OF ALL CHARLES CITY

- במאלים ול שימושי. א אנג גדולוסוגית במאליבוית שיאונג של אלילוגיות כבאליליר במאנגליד בעולם שיווים שיאונגים שימוע בעולם שיא קסק השולנים בכולבוית יובעים איזורא איז בלולוסוגיות במאנגלים ביו איזור בבא זוראנים ביו איזור לאלך היא כולו גבוסו היאונגים באיזור ואיזוגים ביו איזור איזור בא איזור איזור בא איזור בא איזור בא גדווים בא גדווים בא גדווים בא גדו בעולבוים בא גדווים בא בעולבוים בא גדווים ב בא גדווים בא גדוויים בא גדוויים בא גדווים בא גדווים בא גדוויים בא גדווים בא גדווים בא גדווים בא גדווים בא גדווים בא גדוויים בא גדוויים בא גדווים בא גדוויים בא גדו
- IL CONCRETE CURE AND/OR COMBINATION CURE AND CUTTER SMALL BE. OF THE TYPE INFORM ON THE PLANE. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION BY AND AND THE PAYEMENT CROSS-BECTER TO DETERMINE THE GATTER FLAG INFOMINE AND THE ASSAULTE BASE COURSE TROUGED BEACH THE GARA AND Indicates And the Addressive same courses backath the Quite and outries, "requestions rear conversion Addressive territories and and extensionalize and all full cost and particular structures that and the contractance metallicity and and commentation and the addressive and addressive and and successive addressive and addressive and addressive contractance metallicity and addressive addressive and addressive addressive addressive addressive addressive and addressive and addressive addressive
- C. CURUS INVAL, SE DEPRESSED AT LOCATIONS WHERE PUBLIC WALKAPEDESTRIAN P Intercent Carde Lance, at Distribute Locations, and at other locations. Interface on the plane or as directed by the ensured of oth, for the planeous of involving accession. The control of the planeous of the planeous of

B. THE CHARGE WHAT HE RECEIPT AN ACCORDING TO COMPLEX ACTUAL FIRM 13.

- e, concrete indemand, have admits incomed at 5 foot intervals, and up produced purch expansion joints at 56 foot intervals, and admicent to complete carbo, devenys, foundations, etc.
- F, CONCRETE (ЛИКЧИМАТ АНКОНА ВИАЦ, МИУЕ И" 3. 6" НО, В ИКЕДЕО ИМЙЕ ИЕМ И (АЦ) (Соланистика) (Ликуичка, инитура и/и инисисскот окаки визиалася) То силана или осносность с портимул, инитура выятер он голанер соиталствая дият А мери-струг анд тем (пр. исот мадамая).
- CONCRETS CAREND AND PROTECTION SHALL BE IN ACCORDANCE WITH (STRENC) NETHOD A. R. OR C. TWO O) COATS OF BOOSED LINEED OIL IN CONFORMANCE WITH (STRENC) SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURVACES.

#### I. FLEZING PAYEMENT

A THE PANEMENT MATERIALS FOR HOT-WIN ASPHALT STREETS, PARAME LOTS, ORIVERATS, 

BLARMACE, MAR 107, MOR OF 145 THOUSEDS AND MATERIALS SPECIFIED DV THE PLANS, THEOREGIES SPECIFIED BANK, HE CONSIDERED TO BE THE MEMORYAL COMPACTED

IL ALL TRAFFIC BAALL OF REPT OFF THE COMPLETED ADDREGATE BARE UNTIL THE NOT-MIN AGRINALT DARE COURSE IN PLACED THE ADDREEDATE BASE SHALL BE UNROBBLY PROME EXAMPLY AT A RATE OF 0.25 TO 0.00 GALLONG PER SELANE YARD PRICE TO PLACING THE ADDRESS 7 STATES OF STATE OF STATE OF A STATE OF A DRESS ADDRESS A

C. PRICE TO PLACEMENT OF THE HOTAKE ADDREST BRIDER CONFILM AND THE HOTAKE ANDREST BERARDE CONFILMENT AND ADDRESTING HOTAKE ADDREST, SAVIL BE OLEMENT TO THE SATURACITOR OF THE ENDINEER AND PHASE CONFEL. ALL DAMANCE ANDREST TO THE SATURACITOR OF THE ENDINEER AND PHASE CONFILME ADDRESS OF THE ANDREST AND ADDRESS AND ADDRESS OF ADDRESS OF THE ADDRESS OF THE еничностя ана ситу ичася то наложе тися натична абтичка влаговали несебание. По Сонтакатов вида инограс иналучия социальст нас выячалися несебание, нас цонка по иза с точка вклаги и несебание. PROPAGE THE PAYMENT FOR APPERATION OF THE MITCHIE APPEALT SUPPACE COURSE. инделивания и полнати на предоктати и полнати и полнати водителя водителя водителя водителя на полнати на предок на приме ноглав на приме то полнати на приме со то тике полнати каритали баба соотдете на при на полнати на приме то полнати на приме полнати на приме полнати на полнати на полнати на приме то полна пациания на полнати на приме то полнати на приме полнати на полнати на полнати на полнати на полнати на полнати

2. FOR NEW TIRGETS THE CONTRACTOR BANK PERMIT THE INTERMENT MEMORY COURSE TO MEADER CHE (1) COMPLETE WATER BASEN FROM 10 THE WETRICATED OF THE ROTAGE ADVIALT SUPPORT COURSE OULERS OTHERWISE SECOND OF THE CITY OF THE ROTAGE ADVIALT SUPPORT COURSE OULERS OTHERWISE SECOND OF THE CITY OF IT Dealer an

E. ORIVERNAY BLOPES SHALL BE A BERBAUM OF TWO (2) AND NOT OREATER THAN EXAMPLE BERCOM, DEMENDING WALL BE CONTINUCTED TO AN NOT TO REFERE BARRAGE

ALL WATER, SAMTANY, AND STORE BEVER DERVICES SHALL BE MANUED OF THE CLUB WITH A W, II, ST RESPECTIVELY AS DENTIFIED BY THE ENGINE FRIING DE SON AND REPECTION MANAM.

RESTING AND REAL ACCEPTAINCE A 1941 COMPACTOR MALL FOLLOW THE GUALITY CONTROL, TESTING PROGRAM F COMPAREMENT AND HAR PORTAGENT INTERMALE EXTABLEMED BY THE CITY OF ST CHARGES. B. FREEN TO FLACEMENT OF THE HISTARIA ANTHAL'I SUBTACE COMPACT, THE CONTINUETOR WHEN RECAMBLE BY THE CITY OF \$1, CHARGED, BANKLI GRAM REPORTED OF THE HIGTARIA ANTHALY I MIDERI COLUMNES WITH A COMPACT ONLY AND REPORTED FOR THE FUNCTIONS OF THE STATE OF THE STATE

THE THE VERY CALLON

C. WHEN RECLARED BY THE ETY OF BY, CHARLES, THE CONTRACTOR MALL OBTAIN SPECIMENTS OF THE FILL DEPTH NOTABLA SAMALE PARIMENT REMOTING WITH A CODE ONL, WHERE DIRECTED, IN ORDER TO CONTRAL THE FLAN THOMSES DEFORMED ON INCOMES DAVIA. BY ANALES AND AND TO BY THE METHOD OF SOMED IN REPRISE. ANTICLE

D, FRAN, ACCEPTANCE OF THE TOTAL PANDAGAT INSTALLATION MALL OF BUBLECT TO THE TE IT THIS AND CHECKING RECLIPTEMENT'S CITED ABOVE.

#### BANKTARY BEWER HOLES

MANUFARY BEVER POPE DUAL OF PAY AND YONYL CHLOREFF PLANTIC POPE CONFO ARTIN DAGA OR ASTN FOR WITH PURMON JOINTE DEPERTMENT TO ABIN D-3012 AND A ITANDARD CRAINSING RATIO (MOR) OF 25 BACKET MERCE ACTED

2. SAMPARY SERVER PAR FOR BOWERS HANNED A FRENCHES BUREL DEFTH TO AMENT GREATER THAN IN SMILL BE PAC (FOLYMAN, CHUMDE) PLASTIC PIPE CONFORMED TO DATE ATMAN

A. ALL BARTANT SERVER FITTINGS SHALL BE PVC SOR IN HEAVY WALL UNLESS PIPE IN CIVE.

NON-BRAN COUNTINGS ON CITY OF BT, CHARLES APPROVED EQUAL BHALL OF UNED WHEN CONFECTING ICHER THE OF DESIGNAR MATERIALS.

. Bédomo: Bédomo Shull be completed mer the dity of by, charter endingerind detail For part recome shown or dity.

. All underfacted exaternal source de fictioned below the proposed sampary bener and Referenced with compacted car writer compact large to large to

1. ALL THENCHES MEDICATH INSPIRED ON EXEMPTING VITUATING PANDAMINTA, HONOMAY SECTIONAL AND FOR A LIGENSEL OF THEME (T) FEET ON ETHEMA AND DA AMAR WIGHE MONTH ON THE FUNCE, NAVLA 28 ADJOILLOS HIM SELECT OWNER/AN RULDAL LIGENSEL WIGHD OUTSING LIMESTATING; MO THEOREMAY MESSAME LIGENSEL/ALL DEALERS IN THE CODE MARANEWIS(LINER), AND THEOREMAY MESSAME INTO THE ATTEMPT 20 DOME MARANEWIS(LINER), AND THEOREMAY MESSAME INTO THE ATTEMPT 20 DOME MARANEWIS(LINER), AND THEOREMAY MESSAME INTO THE ATTEMPT 20 DOME MARANEWIS(LINER), AND THEOREMAY MESSAME INTO THE ATTEMPT 20 DOME MARANEWIS(LINER), AND THEOREMAY MESSAME INTO THE ATTEMPT 20 DOME MARANEWIS(LINER), AND THEOREMAN INTO THE ATTEMPT 20 DOME MARANEWIS(LINER), AND THEOREMAN AND THE ATTEMPT 20 DOME MARANEWIS(LINER), AND THEOREMANY MESSAME INTO THE ATTEMPT 20 DOME MARANEWIS(LINER), AND THEOREMANY MESSAME 20 DOME MARANEWIS(LINER), AND THE ATTEMPT AT THE ATTEMPT 20 DOME MARANEWIS(LINER), AND THE AT THE

l bantary rewers are to be constructed using a large mithument to maintain

L ALL FLOOR DRAMS MALL CONNECT TO THE MANIFARY NEWER.

• CONSECTORS TO EXPLORE RANGE ANY ADDRESS ADDRESS AND ANY ADDRESS AND ADDRESS ADDRES ADDRESS ADDRES BY THE CIFY OF ST. CHARLES.

IS WATERLAND, MARY IN STRABATED PROF RANGEAUX SERVICE AND REGISTER PROFILE. ACCURATE WITH FEW REQUIREMENTS AS SPECIFICD IN TWATER NAME SECTION.

II NO WATCH LINE GHALL BE PLACED IN THE GAME THENCH AS A DEVICE LINE EASEPT UPDER. REFORM CHECK MATCHINGS AND THEN ON Y UNDER THE FOLLOWING PLUT

A PERMANANAN INVALL BE DISTAINED PROM THE CITY OF ST. CHARLES IN WRITING PRICE TO

8. THE BUTYON OF A WATER LIVE INVELTIBLE ON A DEELF A MEMORY OF IT ADOVE THE TOP OF THE REVER AND IT HERECOMPLEY AND THE EXCEL OF THE REVER.

12 WANNELES MANNELES SHALL CONTONN TO THE CITY OF ST. CHARLES STATISHING CONTRACTORS OF THE DRIVEN OF OTS

13 PRAMER AND LIDS ALL SAMETARY DEPORT MANUFALS PRAMES AND LIDS INVALL OF NEURAN 8-1713 A DESCRIPTION OF THE PROPERTY OF THE PARK. THE LIGS BHALL HAVE RECERCE DEFORMATION OF THE WORD THE WORD THE PROPERTY OF THE WORD A BARNEL RECTORS INVEL BE SEALED UPING TWO (2) JULYA, RUMARE ATTACH FER TORCES AND GROOME DECTION. THIS INCLUDED THE JOINT DETWEEN THE PRIME AND CONCRETE 

B. PER CITY OF ST. CHARLES STANDARD DETAILS, INTERNAL, CHARLES ARE YORE USED IN FRANCI AREAS MANUACTURED BY "CRETER" OR AN INGAL, APEROAD OF PURIO WORKS, EXTERNAL, CHARLES VERAL, AND TO BE USED IN ANDIMALY MARCAL.

A MARKAGA OF EIGHT (8) SACRES OF COMPRETE ADJUSTING SINGLY BE USED TO ADJUST FRAME ELEVATIONS, REACH BARKA OF SEALED TOGETHER WITH MORTAN.

18. CLEANNIG, ALL MANNELLES AND PEYS BUALL BE THOROUGHLY CLEANED OF DIRT AND DEDRIG AND ALL MILLE LEANNEE ELLINGUITED, BEFORE FAM, WERE CHON AND ACCEPTANCE.

IT TESTING, DEFLECTION AND LEAVAGE TESTING VILL BE REQUIRED THE PROJECTION AND ALLOWARE TESTING UNITS BOAL BE AN ARCATED IN THE TRANSMO BEFOREARCH FOR WATCH AND REVEA WAR CONSTRUCTION OF LURIST, OR CITY OF \$1, DVALUE CODEX

IS TESTING THE ALEXAMPHYRITAGENTINESS (FIGL) IN ACCOMMANCE WITH THE CITY OF \$1.

IN A CURRENT COLOR MODU RECORD AND A TYPE WITTEN TRANSCRIPTION OF THE INTERNAL REPLICTION OF THE NEWLY CONSTRUCTED DRIVES SYSTEM INVAL OF INJUNITED PRIOR TO REPLINETING OF SITE BARROYEMENT BACROW RETENTION MONES IN THE OTY OF IST. OWNERS ALL PARLIC MARKS GHALL BE VIDEOTAPED. THE CONTRACTOR MULT ROTATE THE LEVIS OF THE CAMPRA TO LOOK AT ALL PERMITS. THE REPORT COMPACTURE MUST BE MOTED IN DR TELEVISION REPORT WARN THE PROPOSED BANKARY SERVER BYSTEM IS TO COMMENT TO M INTERNATIONAL STATES AND ADDRESS OF A DESCRIPTION OF A DESCRIPTION AND A DESCRIPTION A DESCRIPTION AND A DESCRIPTION AND A DESCRIPTION A DESCRIPTION AND A DESCRIPANTA A DESCRIPTION AND A DESCR A BO BY TO EVERAL AND REPO

TRATEST REPLATE OF THE SAMITARY GENERAL RETAILATED FALS TO MEET THE TEST REQUIREMENTS PERSONNE AND CONTINUE (THE RETAIL DETERMINE THE GAUGE OF CAUSE OF THE GENERATE AND RETAILS AND RETAILS AND RETAILSTOCK BY TO COMPANY WITH THE TREE BECLEREWONTS.

3) сантибалное сонтикацие выд. Вали сонтикто сонтако от яд, велитать от таля заподкатов и на военноски наколистии изполь витольство и точе па лаще таче та на выяц, на сонциалная наколистии изпольной ватьско от тазя года тактатича, саколе наиротите от наколе наче тиченаца, кала со сонтака со тазя года изполько саколе наиротите от наколе наче тиченаца, кала со сонтака со сонтака со сонтака со сонтака со тече то и целе наколе наче та наколе на сонтака со сонтака со со сонтака со сонтака со со со сонтака сонтака сонтака сонтака со сонтака со сонтака со сонтака со сонтака со сонтака сонтака сонтака со сонтака CONTRACTOR OF THE DESIGN

PROCESS DEVELOPMENTS THE CONTRACTOR SHALL PROVIDE ALL INCOMMENTS TO PROPAGE RECORD DUMMINGS THE CONTINUETIN BALL INCOME ALL INCOMPANY IN MOMINE RECORD DUMMINGS INCLUDING BERNES ETH COLORING, ICI HE ROCHERN HICH BALL INFERME RECORD DRAWINGS AND BUBBLIT D APPROPRIATE FULLY ADDRESS F FIDU MEASUREMENTS INCOME SERVICE IN CONTINUED, INC CONTINUED AND OFFICIARE CONCELL IN FULL ANAMOLES ADDRESS SERVICE IN OFFICIER LEXATIDOS AND OFFICIARE CONCELL IN FULLY ANAMOLES ADDRESS SERVICE IN OFFICIER LEXATIDOS AND OFFICIERE CONCELL IN

<u>STORE DEVER NOTES</u> 1. FORE EXERTINE ALL ROBE AND BELLER THAT IS BOOKS IN DANS THE MELT IN PARLELY OFFICE ALL ROBE AND BALL OF PACIFIC ROBE AND ALL PACIFIC ALL SO CANTES, ALL STORE SEVEN IS ROBEL AND GRATER SHALL OF FROM ALLS NOTED ON THE PLANS. IN ACCOUNT ANCE WITH THE FOLLOW

ПЕЛИГОНОСОВ ССИГСИЕТЕ РИК (АЛТЫ С-И) ТУТЕ 1, С.А.44 и РОВ Валиса засствой на., Отной вода и ист. ГИТЕ С.А. на и иние гла ( 7 года т. года на.), Отной вода и ист. ГИТЕ С.А. на иние гла ( 7 года т. года на.) Соматти строй, чие сала и на иние водати с вода строи и иние на иние соматти строй, чие сала и на иние сала и и иние на иние на иние на иние соматти. .....

netronilly definition of the cover even the city of st. Charles eveloped and definit For the accord and the city of the

A DENSTRUCTION ALL BIORN SERVERS ARE TO BE CONSTRUCTED USING A LABOR INSTRUMENT

5. DOVER. THE CONTRACTOR SHALL MARTAIN AT LEAST ONE (1) FRET OF COVER OVER THE TOP OF SMALLON PRESAT ALL THREE BURNES CONSTRUCTION. THE CONTRACTOR SHALL MOUND DVCH ANY PRES WHICH HAVE LEAST DHAN (1) FRET OF COVER BURNES CONSTRUCTION UNTRA DHE MELLA SHALL QUALED OF RANKEL.

IL INTRECLUSES, NAMESING CATCH BASING AND MLETS WALL CONFORM TO THE CITY OF ST. CAMPLES STANDARD ENGINEERING DETAILS INFORM ON DT1.

A CONDRETE BEACH TO DIRECT FLOWS INALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND INCOME.

THE FRAME GRATE AND/ON CLOSED LID INVAL HE CAST INDU OF THE BEYLE INCOME ON THE

Inversely (Les Invel) ar inverse survives), with received design. The closed less stall have the works "st, charles storig" gait in the Les. The gait's retrief complete INCOME ADARESTING NES, AND PARAL SHALL BE SEALED WITH WHETE COMPOUND

I, GLANDIG THE STORM SEVER INTEL GALL BE THOROUGHLY CLAMED PARTY TO PRO-INVESTIGATION AND TEXTING

a. A CHARGAT COLUR. MOSO NECORD AND A TYPE WRITTEN TRANSCOPT OF THE INTERNAL INSPECTION OF THE NEWLY CONSTRUCTED BANKIN BYSTEM SHALL MA SUBMITTED PHONE TO

Restorand of size an anomaliant experiment extention manual in the City of 31, CM-RLS, AL, PARLE MARS SHALL M PLISHHITLARTI CLEANED PRICH 1D VIOLUTAPINO.

S. ALL CONNECTIONS MADE TO THE EXISTING OTOMIC SERVER WED TO BE MADE BY A CORE AND

#### SOL EROSION & REDRIGHTATION CONTINUE, INTEGRICATIONS

- n the work shall be the under a accordance with all applicable pr THE CITY OF ST, CHARLES CODE, THE ILLINGS PRICEDURIES AND STANDARDS FOR URBAN SOIL SPORCH AND SECRETIATION DISTINCT, AND IEFA STANDARDS AND SPECIFICATIONS BOIL BROSICH AND SECHMENTATION DENTING, AND REAL STANDARDS AND SPECIFICATIONS FOR BOIL ENDROR AND MEDIMENTATION CONTINUE, AND MAY OTHER APPLICABLE IN OLLATIONS OF MUTROPULATIONS.
- 8. THE CONTRICTOR SHOLL BE REPORTED FOR THE PROPER INSTALLATED AND INVESTIGATED AND INVESTIGATION CONTROL MEASURES.

niment and grandly control, devices grave at purchical, getang law 40 Narade Ceturney of the \$11

#### INFLEMENTATION

- A DEFORE STATING (XKADING AND BUE (PADING WORK, ICH, PROSER AND DECIMENT CONTROL MEASURES BALL DE INITALED AS SHOWN DN THE PLANS AND APPEDVED BY THE CITY, IF DRECTOD BY THE REDUCEN OR THE CITY, THE CONTRACTOR SHALL METALL
- CONTRACTOR INCOMENTATION
- C ORANGERT REACHER ACCESS DERVER INVESTIGATION AND A DE SUPPORTE MEDIA AND I PROTVI аналиссы палак, ассезя отност, расная алекая от палуческих морти ма ризних, мая урабые токовойний гасаниев, и ресезяалий, ваасы ве учаровать то ризнечения зац. Поль волю трасово окто разши си ризнате правлания, али вой, правонны а расце он регультате правляют владь ве кололисо версине тих емы от еасн известат он на отнества и тихе отношеских он стут.

D. THEEN HAT MANDED FOR HEMOVIL GIVEL & CONSIDERED AS DEMEMATED TO BE MAND SIVEL BE PROTECTED WIDER THE MANDELES OF ARTICLE 2013D OF THE STARE ------**MECORCATIONS** 

E. LOS PELNING DALL IN PERFORMED UNDER THE INFERMEDIA OF AN APPROVED Lab развити воду, в приобава и челота на приоба с и следните и приоба с и на приоб напрадона последнота со на средска и на приобата на приобата на приобата напрадона последната с на приобата и на после на приобата на приобата на приобата приобата и на после на после на приобата на приобата на приобата и приобата и на после на приобата на приобата на приобата на приобата и приобата и на после на после на приобата и приобата и приобата на приобата и приобата и на после на приобата и приобата и приобата и на приобата и приобата и приобата и приобата и приобата и приобата и на приобата и приобата и приобата и приобата и приобата и приобата и на приобата и приобата и приобата и приобата и приобата и приобата и на приобата и приобата и приобата и приобата и приобата и приобата и на приобата и приобата и приобата и приобата и приобата и приобата и на приобата и приобата и приобата и приобата и приобата и приобата и на приобата и приобата и приобата и приобата и приобата и приобата и на приобата и приобата и приобата и приобата и приобата и приобата и на приобата и приобата и приобата и приобата и приобата и приобата и на приобата и приобата и приобата и приобата и приобата и приобата и на приобата и приобата и приобата и приобата и приобата и приобата и на приобата и на приобата и на приобата и на приобата и приобата

F. DEGROW CONTROL BARNER (MALL RE METALLED AND WARTARED AVELING PLANE STRUCTURES SEE, PLETS CATCH (MARK) MARKOL(S) AS SHOWN ON THE BOX, PROSEN AND RECEIPTATION CONTROL PLAN.

- EL & A STODICPLE IS TO RETAIN IN PLACE FOR MORE THAN 3 DAYS SECTION AND EXCESSION CONTRUCT, MARLING PROVIDED ANALAND NACH STOCHTLE, PROME THAN 10 DAYS, THAN 11 IS REQUERED THAT THE STOCKTLE RE DESIDENCE OF AN 21 DAMBALL 30 DAYS. THAN 11 DAYS, THAN 11 WHID AND WATER
- H THE BLIEFACE OF STREPTED AREAS SHALL BE FERD ENTLY ON TEMPORANILY PROTECTED HOME SOL, ENDISINE WITHIN 7 SAYS AFTER FINAL GRADE IS NEAROOD. STREND AND A NOT AT FINAL CRADE FINAT HILL RESIDENT UNDER THE STREET HAN 14 DAYS AFTER ANTAL CRITILISIANCE BALL BE INVESTIGATED ECONOMIC WITHIN 7 DAYS OF WORK STOPPALE, ENDITORIANT COMES SHILL BE MAININGD CONTRACULT VITIL PERMINENT MARL & ETTABLISHED.

#### L REPECTION AND NAME IN AND

- , THE TEMPERATY ERORIDH CONTROL NEARURES SHALL BE IN PLACE AND WORK Effectively unit, all the persimplent enough control. Iters are fully informal
- 8 THE CONTRACTOR ISHALL INDECT EROSION CONTROL MEASURES EVERY 7 DAYS INCO WITHIN 24 HOURD OF ANY STORM EVENT IN EXCESS OF 12 1, ANY DEFICIENCIES BHALL BE CONSECTED BIOLOGAPHILY.
- C, AT THE EXAMPLETION OF THE PRODUCT, ALL STORMS SERVED FPES AND STRUCTURES SHALL be classed and the server of the server structure the structure that is creatived productive structure server structure on sublement out in the structure server.



8UB0IVI8

ERVE LOT B

۳

8

n in ai

NOTES AND ICATIONS

GENERAL I SPECIFI 128

MA CITY REVEN LETTER DATED IT 15 10 WATURE OF REVENUE

1 1 1 5

U

DATA CORPORATE REGERVE DEVELOPMENT PARTNERS, LLC 270 51, PAUL BTREET, \$300 DENVER, COLORADO \$208 PHONE NUMBER

Ë

2

S R



NITINGS ALL FITTINGS SHALL BE OF QUOTILE VERY WITH CEMERT MORTAR LINKS, AND INCOMMENT, JOINT CONFORMED TO AND ADDI-TRAINING C-118.

. MAYER BERNELES, WATER SERVICE PER, F IN ONALTER SHALL DI OUCTLE INDU PER, CEMENT LINER, CLARE III, CONFORMING MAR A.P. SI JAWAN (181).

3. VALVES GATE VALVES SHALL GE LIEED DY ALL MATERIANAN, A' THAICHGH HE DRIMETEH SHIEL Be Redithand Clobing Regilter (Medic Gate Valves, Component to Anna Stangued) Cabl St Manifectures of the Clobe Componenter. National Clobing Standard Component

8. VALVE VALUE. VALVE VALUES BHALL DE PRECAST CONCRETE STRUCTURES PER THE OTY OF BT, DAVALUE EXCINCENTRE DETAIL BROWN ON UT2. THE FRANK AND UD BHALL DE MEMORIAN HATTIS, OR EQUIAL, WITH "ST, CHAFLE & WATER" RANKDERED ON THE UD.

PHOYOE AND HIS HILL FOUR NEIGALUG JOINT RESTRICTE AT EACH JOINT FROM THE MANUAR TEE TO THE AUGULARY VALVE, AND RETRIEN THE AUGULARY VALVE AND HYDRART BARREL.

ALL HYDRANTS SHALL HAVE & MICHANICAL JOINT CONNECTION & IN YALVE OPENING & COVER OVER INTERANT LATERAL, If VALVE ON THE LATERAL, INTERANCEUM STANDARD INTERANT LOCATOR, INSTALLED, VALVE BOX INVL) HAVE A WALVE BOX INTAILUER INSTALLED, OVER THE BOX ADA TOR \$2. TYPE A AS MADE BY ADAPTOR, INC. OF

I. COMPARADIN STOPS - CORPORATION STOPS SHELL OF COMPRISION FITTINGS MARLEN B-20004-1 (37), 11, 1-107, 27, 1080 Fittight-Gui, 17, FORD Fittight-Gold, 1-117, FORD Fittight-Gui, P. A.Y. McOdeku, 21(7):100 (7, 1-107, 21 ORG) MINES-MARL.

I, CUMB ITOPS. CLIRE STOPS INHOL BE COMPRESSION FITTINGS INVELTER BARINGS (1), 14/7, 12, 7080, 34444408, 17, 5080, 3444844046, 14/87, 5080, 344771-048, 27, 47, MICOMMONTHERIN, 11, 14/7, 27, 05 0, MIRES 60455.

10. CURRINGS MINISAPOLIS PATTERN, UD MARKED WATER

11. BLEFALD TYPE BUE FOR IT THEU IT, BUBLER H-1000 COPPER BERMER, MID A.Y. MORNAD 4015 1-1HT.

12. NAVIDANI DEFLECTION AT FORE JOINTS SHALL BE IN ACCURDING WITH FORE NAME/ACTURGETS CARDENT INCOMENDATIONS AND AREAS (PROVIDENTIONS)

13. BÉDÜING - ALL WATERMANN BHALL BE BEDED ON 1" ANN BOT CA-7 VIRON CRUSHED LIVETITONI INCOMUNICATION PER THE CITY OF \$1, CHARLES \$7440440 (RE14), ON D10

14. GRANILAR BRIDDING MATERIAL OR GRANILAR BACTURE NATIRUA. SMALL RE GARGALLY PLACED to 1P OVER THE TOP OF THE FOR DEFORE FINAL BADGELLING AND COMPACTION.

15. A SARABULAN DEPTIN OF COVERT OF FIVE (5) JEET SHALL OF MARCHARED ENGR THE WATER LINES. In a manifest cover shall be true (47) peet. Water Ergs fried here i findlater free acquire arrithm. (5) - 5), covered that and cover that is findlater free.

14. MANUNAT CONCRETE THREAT ALCOWING INVALL BE REITALED ON WATZINGERS AT ALL BENDS, OF 23 1/2 MANULARDER.

17 IEEE WATERMAN PROTECTION

A HORIZONIAL REPARATION

IN, VANTERNARDIG MANY DE LAND CLAUDER THAN THE PERT TO A MEMORY AND HERE

LODAL CONDITIONS INSTANCES A LATTER OF MERICAN AND THE MARK
 LODAL CONDITIONS INSTANCES A LATTER AND A LATTER AND

4. BOTH THE WATERDARK AND DRAWN OR SERVER SHALL BE CONSTRUCTED WITH PRE COUNALINT TO WATERDARK STANDARDS IN THE CONSTRUCTED WITH TIS INFORMED TO DRIVE IN ON THE OWNER THE USE OF WEREINER TOPICS TO THE MAXIMUM EXERCISED BUILDARDS HEAD DEFORE CALARY LINE.

#### · WITTER REPARATER

BOTH THE WATERALINE AND BETWEN SHALL BE CONSTRUCTED WITH PEPE EXCENSION ENT TO MATERALINE STANDARDS OF CONSTRUCTION WHEN.

IT 16 ІнфОбібіці в то облані тиб мідици чултіса, тремаліци ал Переский и са авоче оп.
 Тне натрівани рабоче оп.

c. A VERTIERAL BEPARATER OF 10 MEDIER BATTWEET THAT, UNVERT OF THE SEWER OR DEVEN AND THE ORDER OF THE WATERmann BANAL BE AMERICANED MARKE A WATERMAN DEVENSE UNDER ASWARD, BATTONET THE SEWER OR DANN LINKS TO PREVENT BITLING AND DEVENING THE WATERMAN.

E, CONSTRUCTION SHALL EXTEND ON EACH BRE OF THE CROSSING UNTEL THE NOTULAL DISTANCE FROM THE WATERBARY TO THE MAYER OR DRAM IS AT LEAST THE THE THE

18, ALL WATERSAM THAT REEDA TO BE BERTOOMS FOR ANY READON MUT ITS COORDINATED INTO THE COORDI



RESERVE SUBDIVISION OF LOT 8

CORPORATE

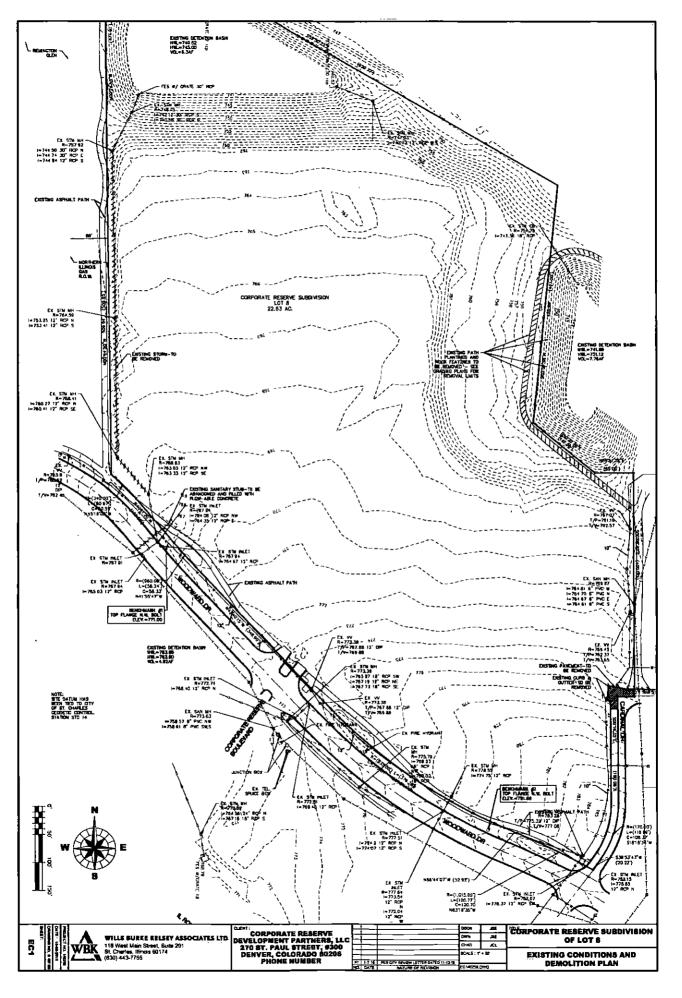
\* \* 4

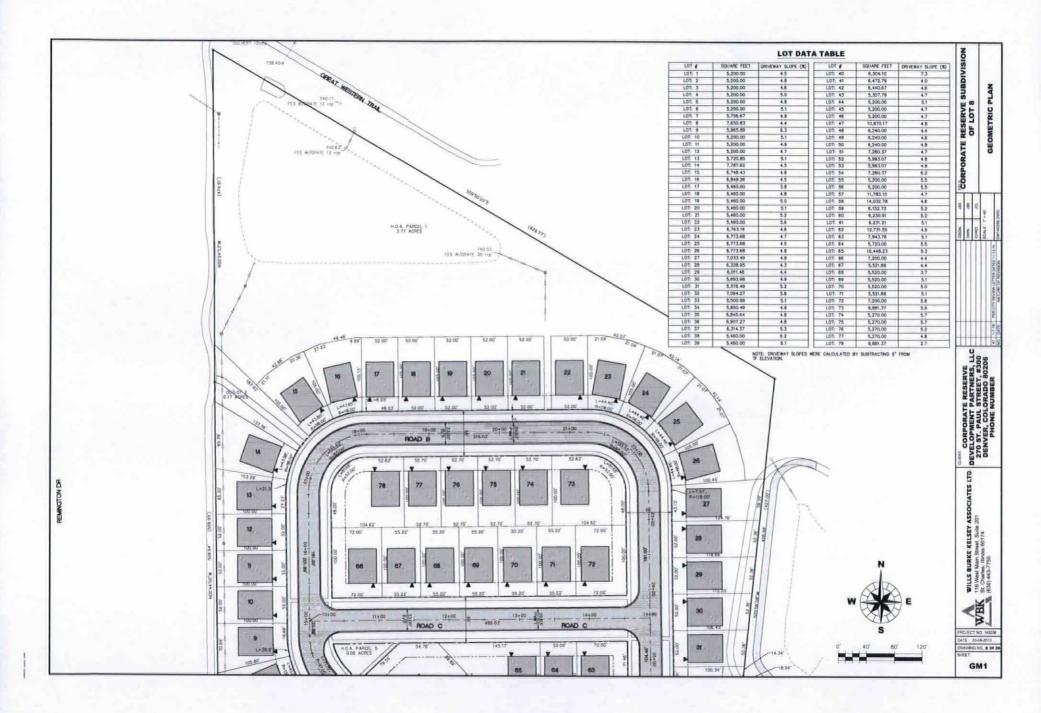
PEA COTY AGINEM LÀ TREA CATRO 11-12-13 - MARINE OF ADINGUON

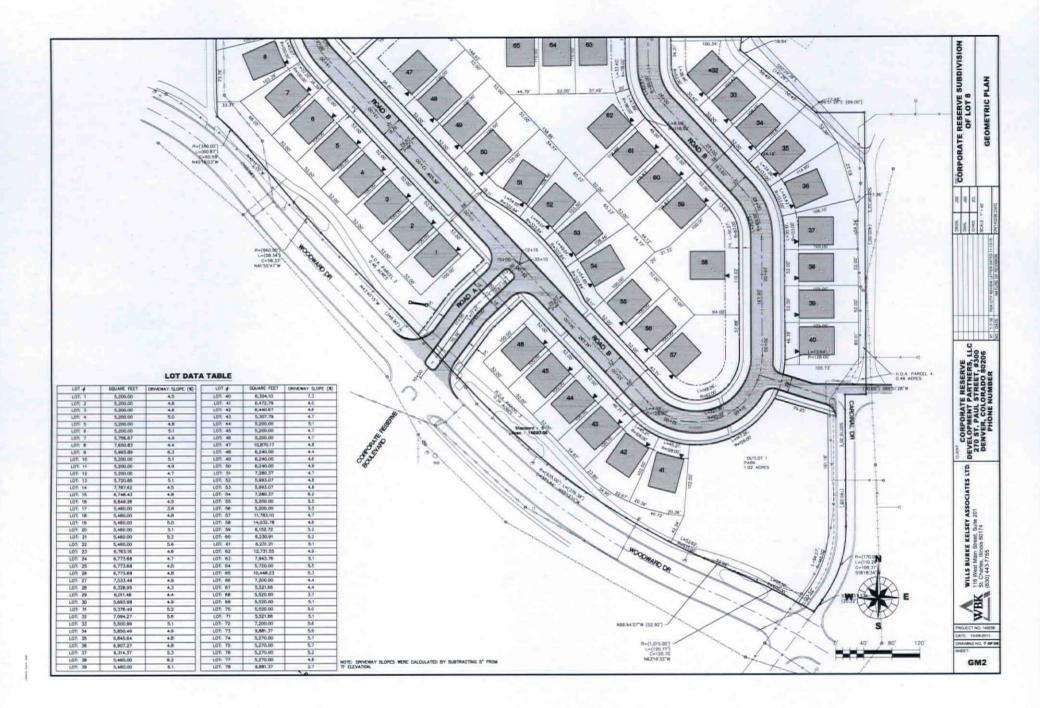
GENERAL NOTES AND SPECIFICATIONS

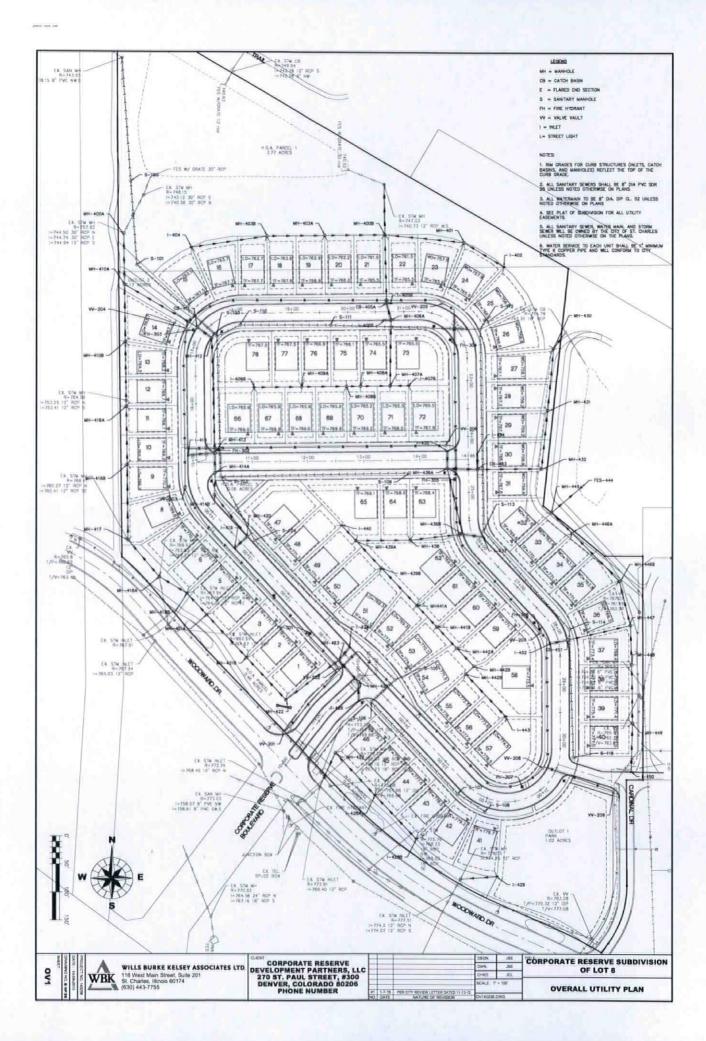
GN3

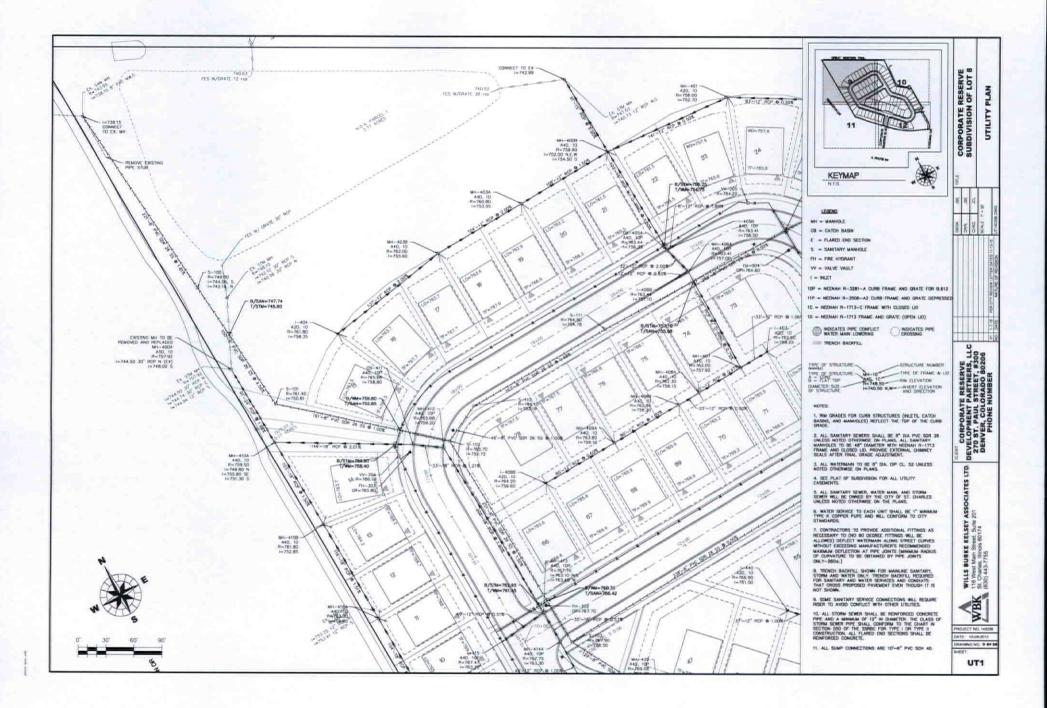
WILLS BURKE KELSEY A 118 West Main Streel, Sule 28 St. Cherles, litingle 60(174 1, (630) 443-7755

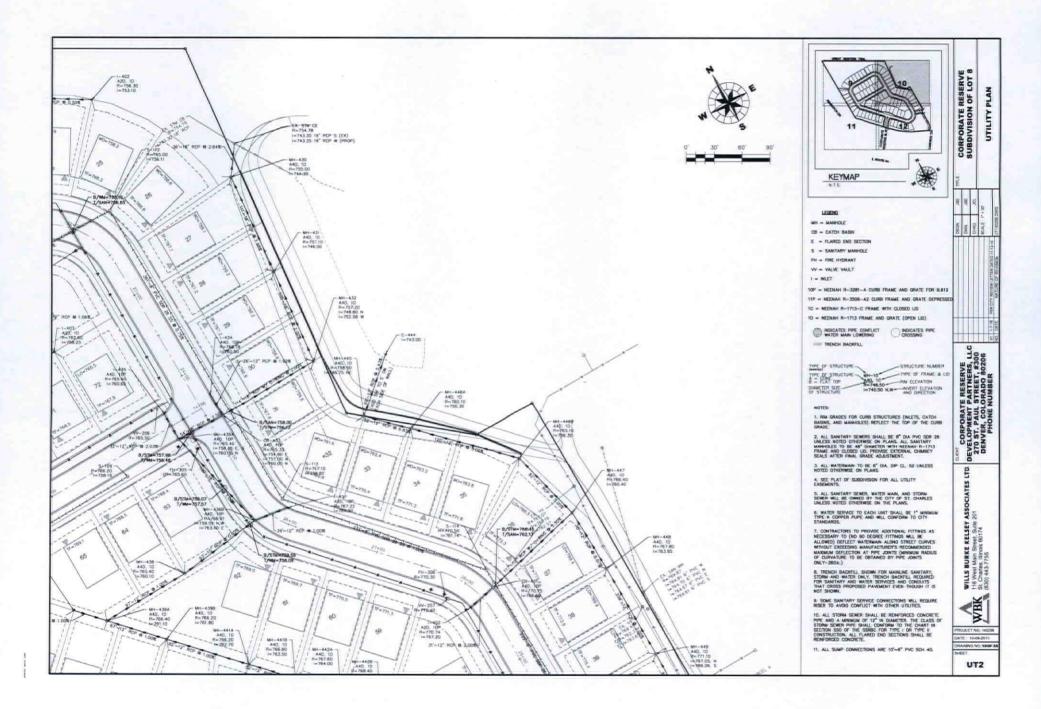


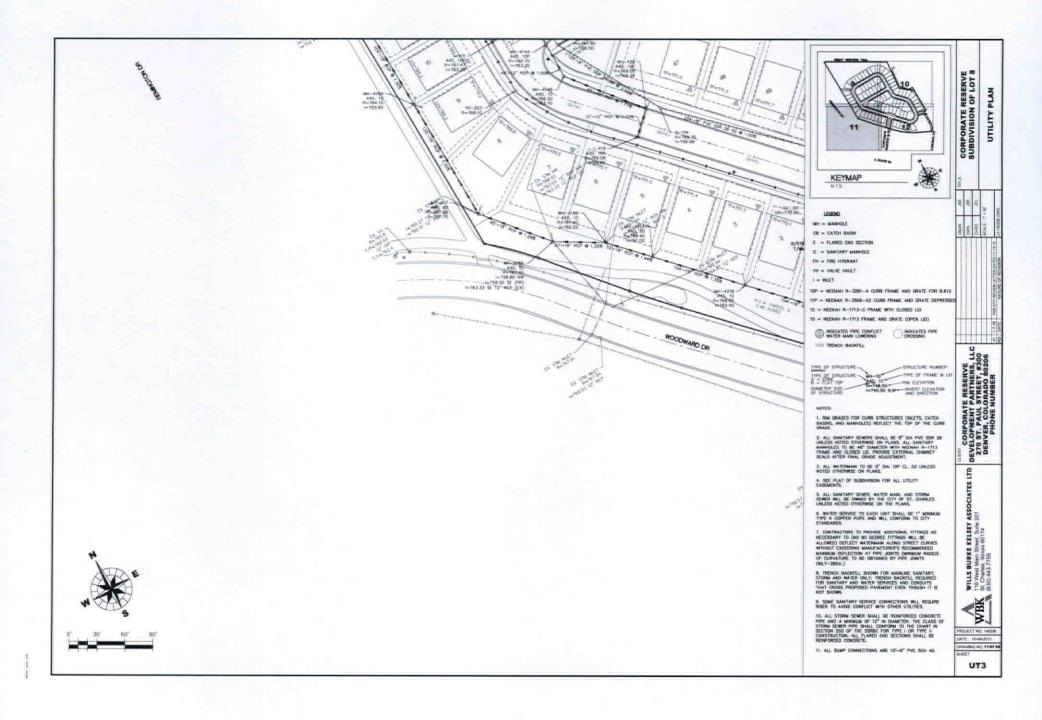


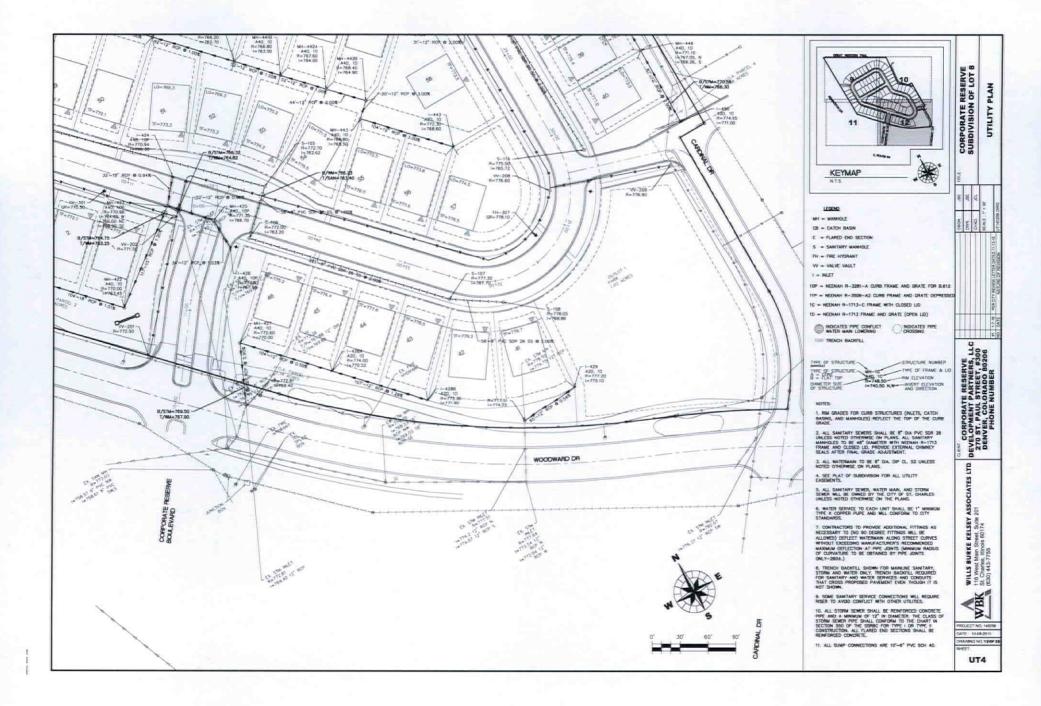


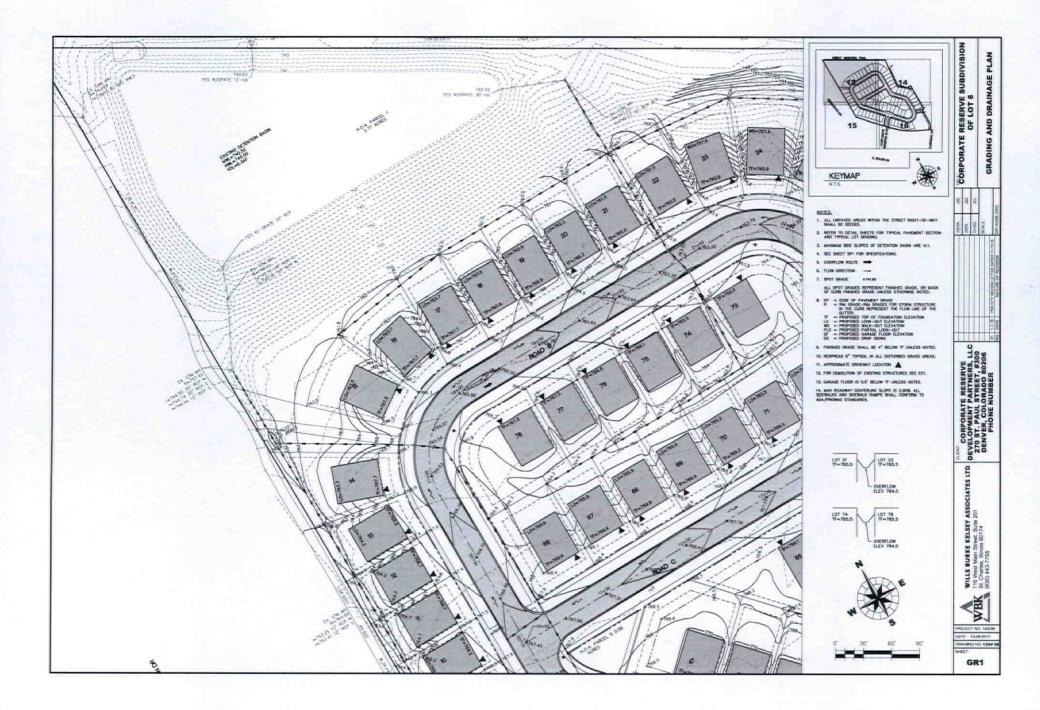


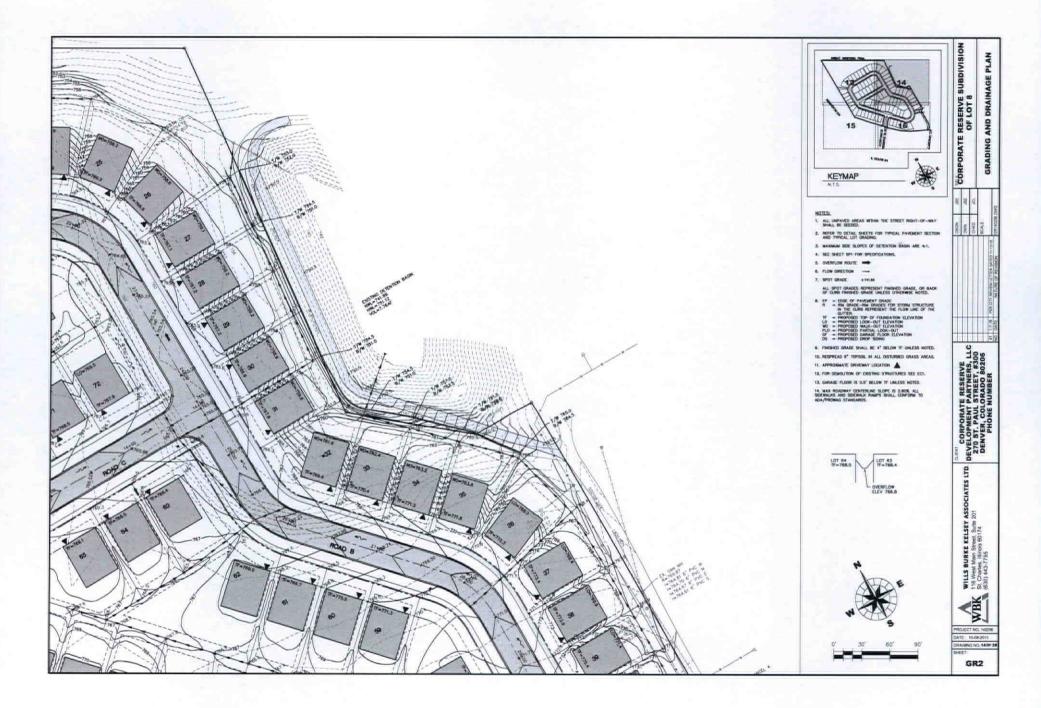


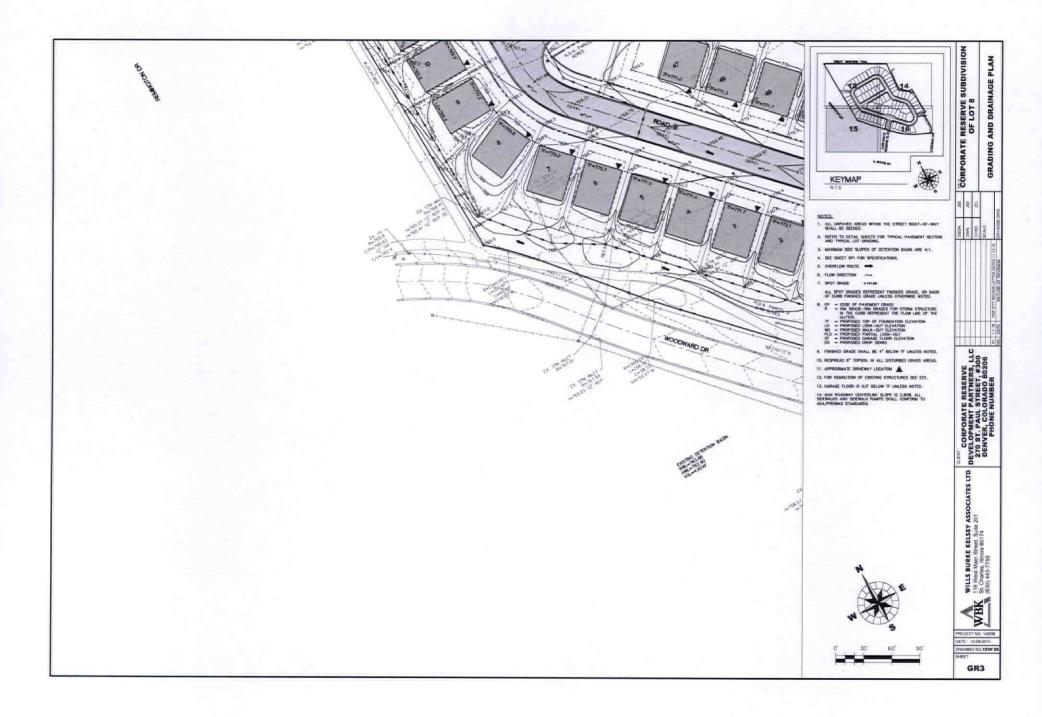


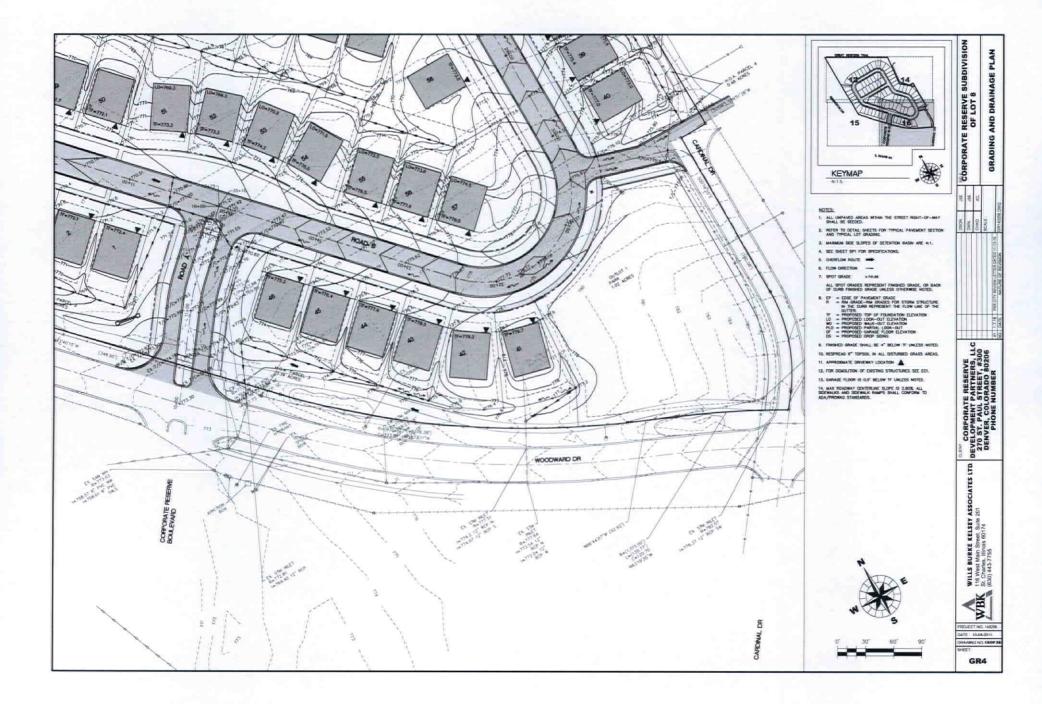


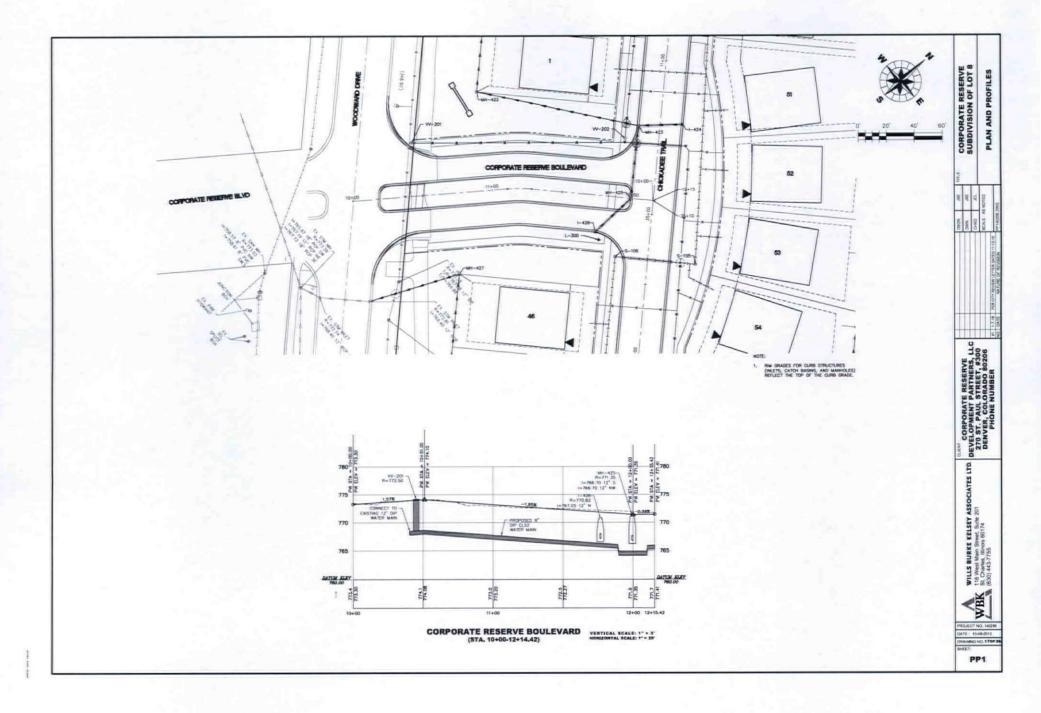


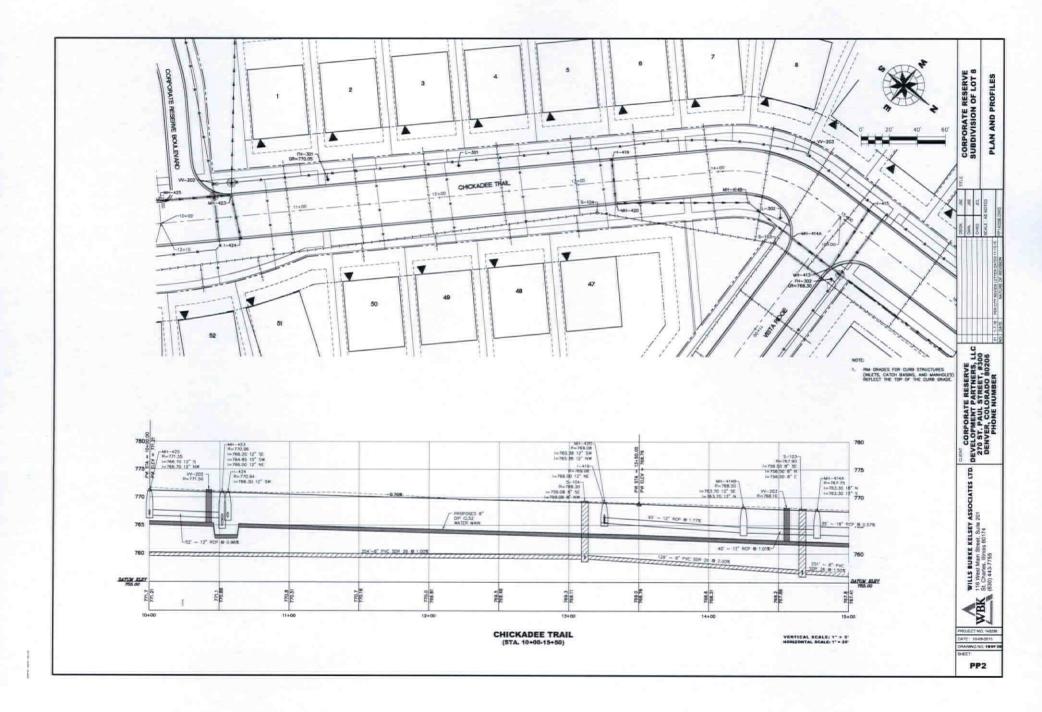


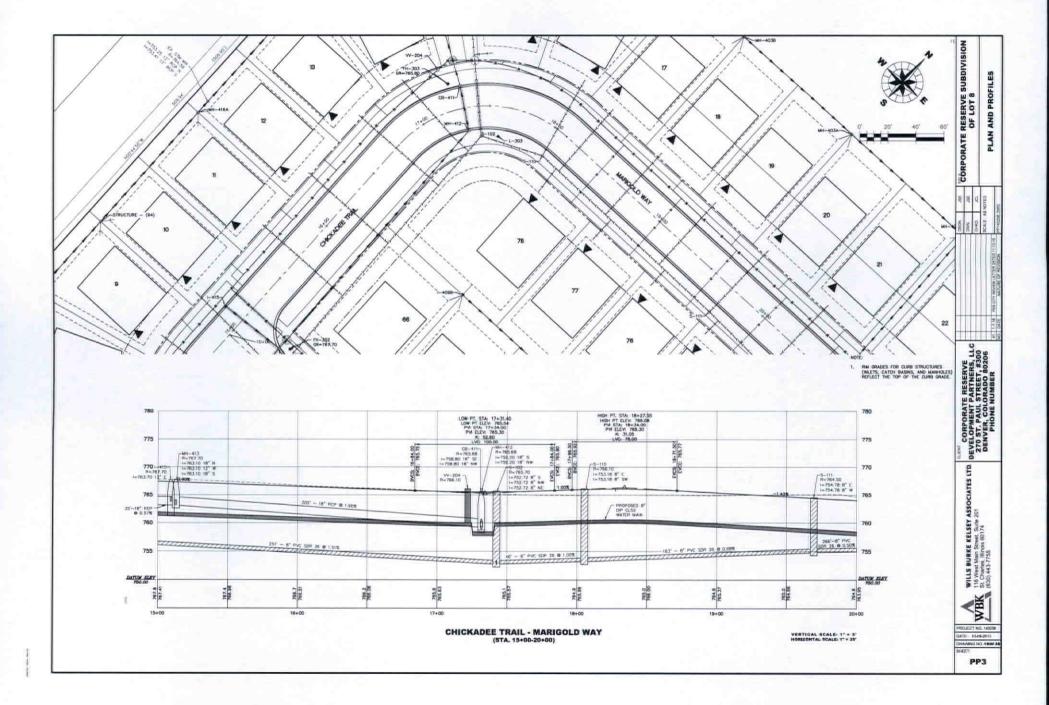


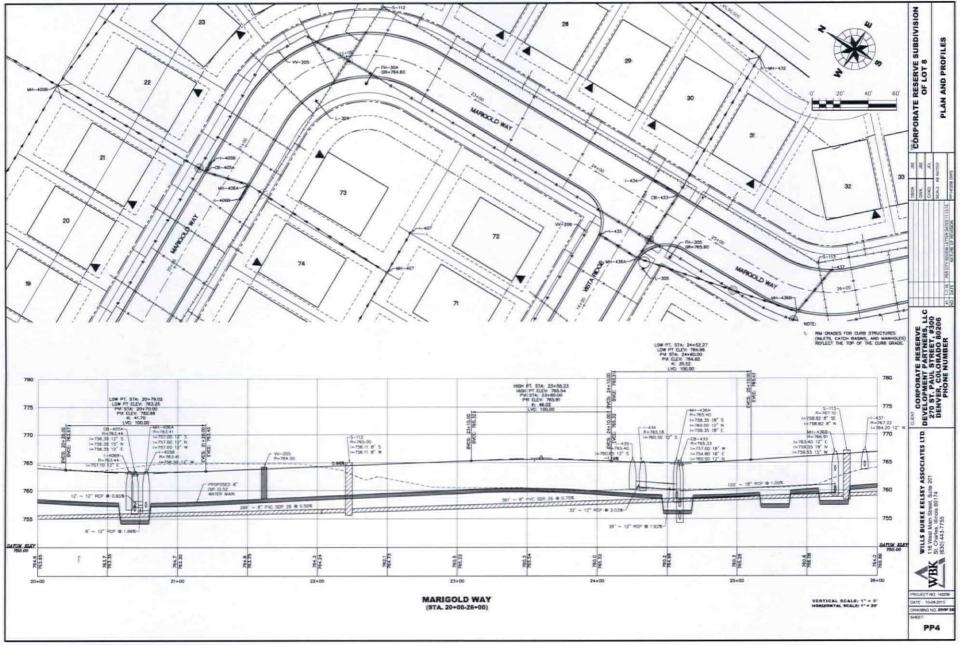


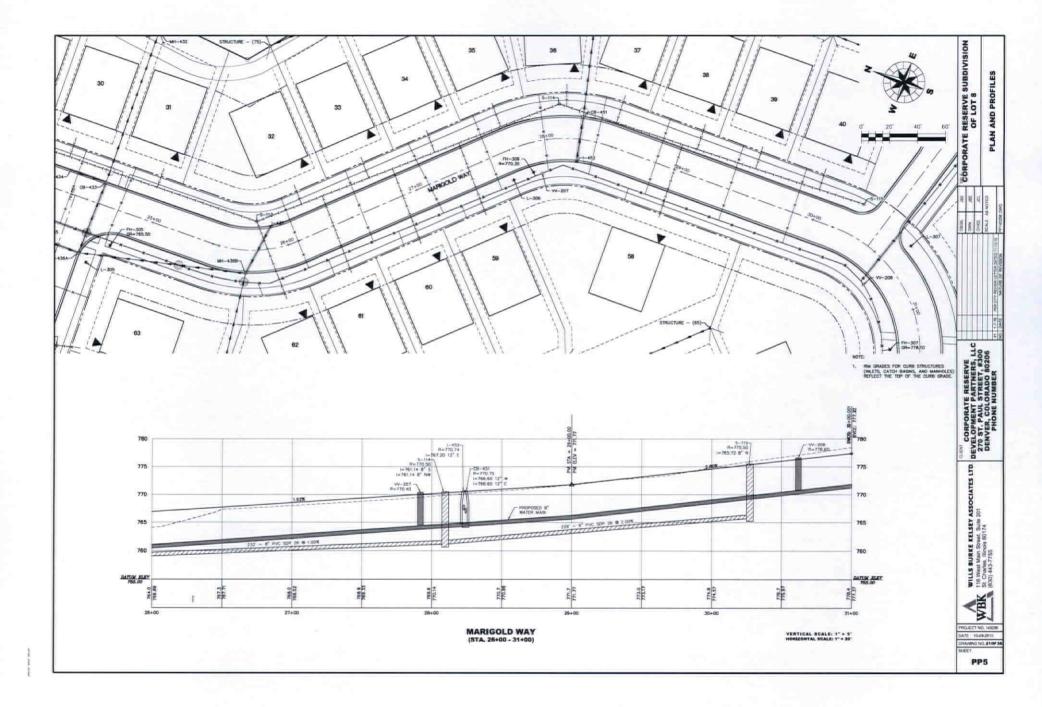


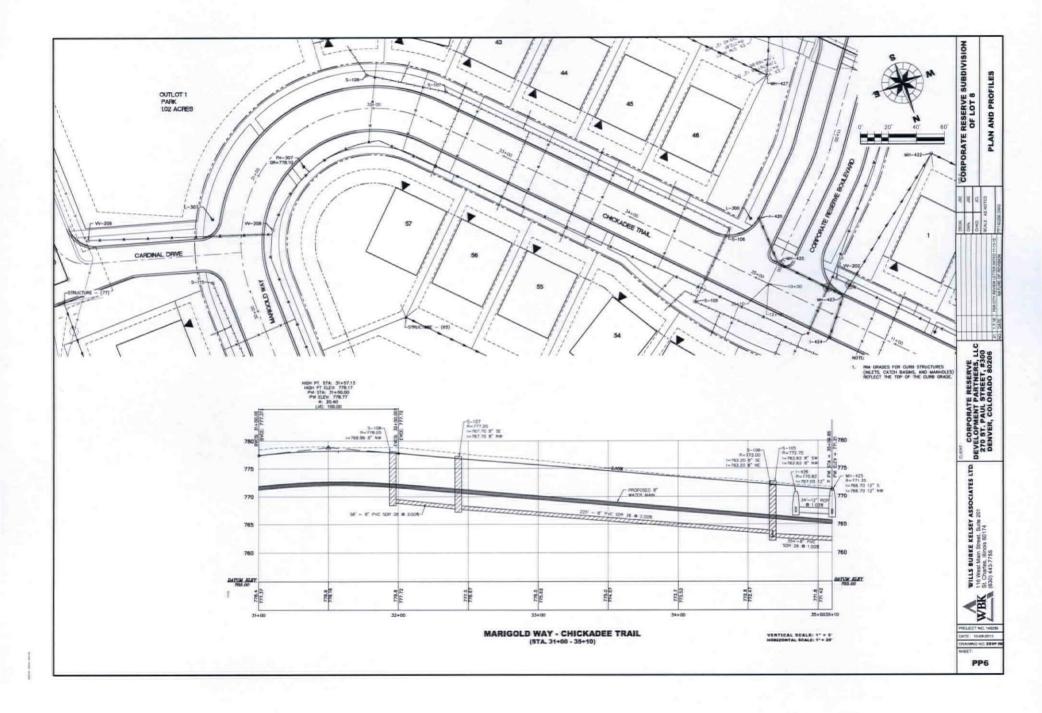


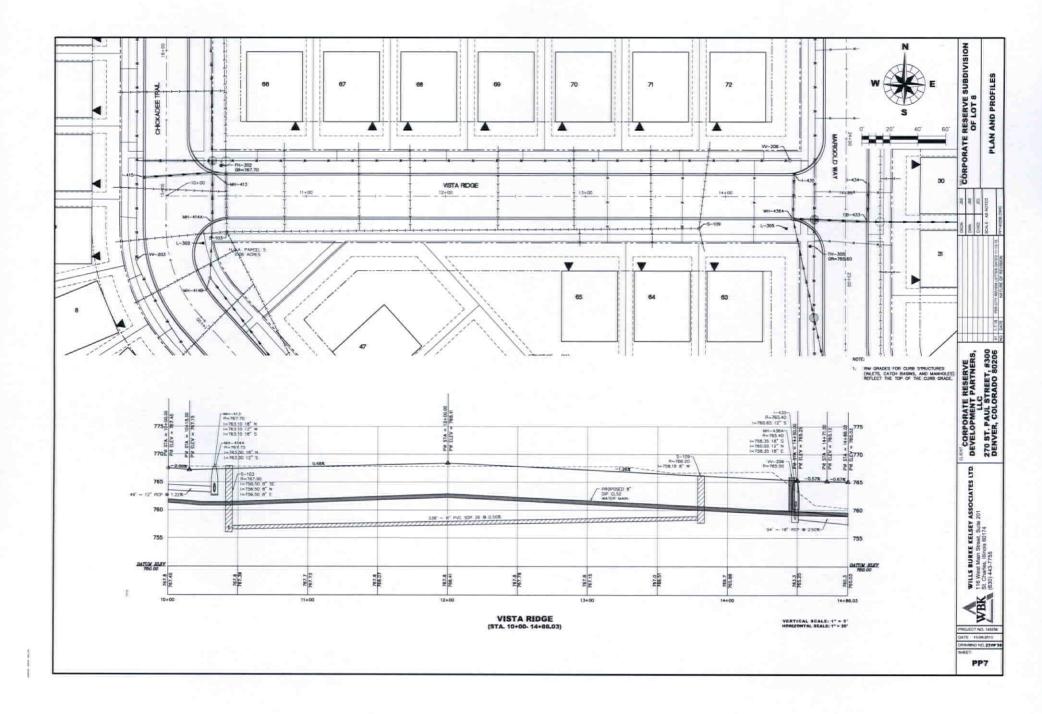


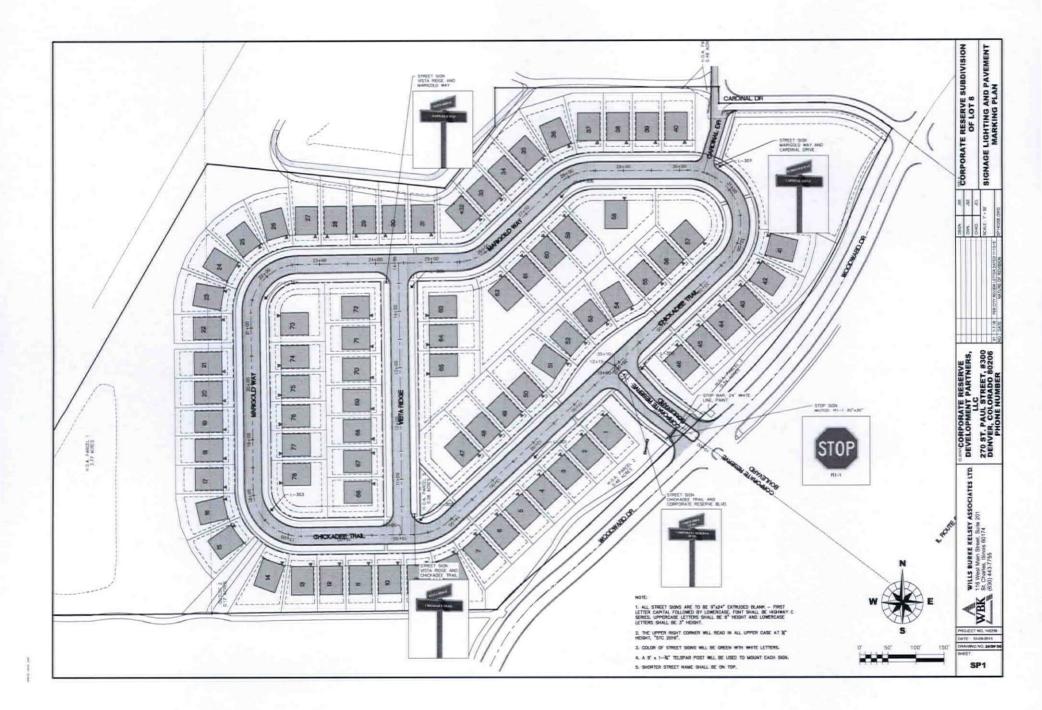


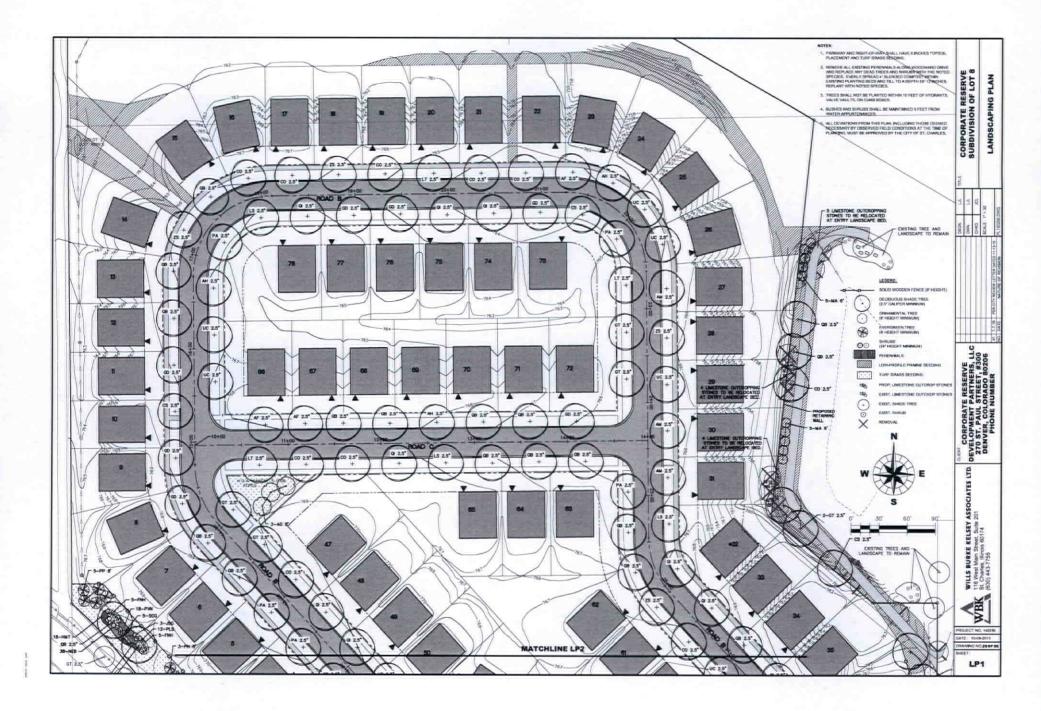


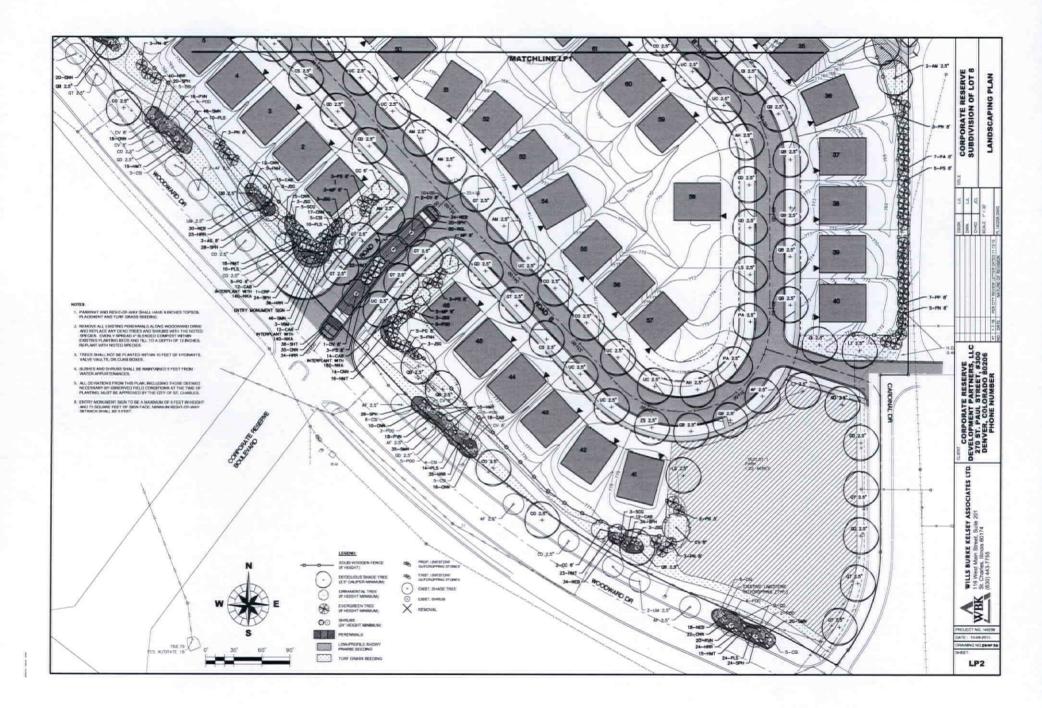














- A. ALL PLANTS INVALID CONFORM IN SIZE AND GRADE IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERI 570CK
- A.L. IPLANTS WILL BE IMMOLED AND PLANTED IN ACCORDANCE WITH ACCEPTED HORTIDUL TURAL PRACTICES AND PROFESSIONAL STANDARDS AS PURITINED BY THE LL ROBIL AND ECAPE CONTRACTORS ASSOCIATION IN "A UNFORM SET OF WORKMANNERS IN TAXABLES IN ADDRESS ASSOCIATION FOR ADDRESS AND UNFORM SET.
- UNITION BY CONVERSION AND A DEVELOPED AND ADDRESS AND AND
- CONTRACT AT SUMME, IN ADDIVING, Y BTHANDHT INFINO, AND A WELL DEPIDED SINGLE LEADER. OL THERE SIMAL AR INVISION ORDINA WITH A CODIO COMPACT, FLUX CENSE OPED REPOSE ROOT SYSTEM WHICH HAS BEEN REVEL OPED BY PROPER CLUTURAL TREATMENT AND IS SUFFICIENT ENDUCH TO INSURE PLANT ORDINDA.
- CIRCUMPS. CIRCUMPS.
- F. AFTER WATERING, THE FELING SHALL BE COMPLETED AND THE SOIL THOROUGHLY TAPPED, AFTER PLANTING, A FOUR INCH HARDWOOD BARK MULCH OR AN APPROVED EQUAL SHALL BE APPLIED OVER THE DRITURBED GROUND AND A BHALLOW WATERING BASIN PROVIDED AROUND THE TREE.
- G. ALL DIGGING OF THEIRS IN THE NURSERY AND ALL IS ANTING SHALL OF DONE DURING THE PROPERT SEASON H. ALL TREES SHALL BE MAINTAINED UNTE, ESTABLISHED, ALL TREES NOT IN A VIGOROUS GROWING CONCITION AFTER ONE GROWING SEASON SHALL BE REPLACED AT THE BEGINNING OF THE NEXT SUCCEEDING PLANTING
- SEADON. THEE PITS SHALL BE AT LEAST EIGHTEEN INCHES WOER THAN THE DAMETER OF THE BALL HAVE VERTICAL INCHS.
- AND A DEPTH OF AT LEAST TWENTY FOUR INCHES BELOW FINISHED GRADE.
- 3. ALL TREES SHALL BE WRAPPED WITHIN BEVENTY TWO HOURS AFTER PLANTING. TRUNKS OF THE TREES BHALL BE WRAPPED BINALLY FROM TOP TO BOTTOM WITH WATER/ROOF CREEF PAPEN AND SHALL BE SECURELY TRO WITH HEMP CORD AT TOP AND DOTTON AND AT TWELVENCH INTERVALS ALONG THE TRUNK THE WILP SHALL COVER THE TRUNK FIND THE GROUND TO THE HEST MANICH AND SHALL BE HAT AND INUG.

AN AND	
50112	DO NOT PRUNE CENTRAL LEADER
	POSITION 20% ABOVE FINISHED GRADE
REMOVE EXCESS SOL FROM	MULCH TO A DEPTH OF 4" WITH DOUBLE PROCESSED HARDWOOD MULCH KEEP MULCH PULLED AWAY FROM DIE TRUNK.
DRAINAGE SWALE	PREPARE A WATER SAUGER TO A DEPTH OF 4" AROUND PLANTING PIT.
No.	BACKINLL PLANTING PT WTH EXISTING SOL & WELD CONTROL, PRE-EMERGEN1
ROUTIAL TO DE BET OF UNDSTURBED SUBGRADE PLANTED FOR THE ROUTIAL WHEN PLANTED THE PADRWAY	REMOVE COPOL BUREAF OF ROGERAG FROM AROUND THE TREE TRUNK REMOVE WIRE BASKETS FROM THE USPER   OF THE PLANTING HAIL
TREE PLANTING DETAIL	
the the shi	HARDWOOD MULCH
K W W	-2" MUSHROOM COMPOST AND WEED CONTROL, PRE-EMERICENT TILED INTO EWSTING SOL TO A MININUM DEPTH OF 8"

		LANDSCAPE			
QUANTITY	CODE	SCIENTIFIC NAME	CONWON NAME	TYPE	MZE
		SHADE 1			
5.0	N	ACER FREEMANU LEFTERBRED	ALTUMN BLAZE MAPLE	16.6.0	2.1 CALIFER
8.05	AM	ACER MAYBEL MORTON	STATE STREET MARLE	848	2.5" CALIFER
5.0	811	AESOLUS HIPPOCASTANUM	HORSE CHESTNUT	RAU	2.5" CALIPER
7,0	68	CATALPA SPECIOSA	CATALPA TREE	11.6.17	2,0° CAUPER
18.0	00	CELTIS OCCIDENTALIS	HADKBERRY	848	2.1° CALPER
15,8	:QB	GINKGO BLOBA TRINCETON SENTRY	MAIDENHAR TREE	BAB	2.5" CAUPER
15.0	(61)	GLEDITISIA TRIACANTHOS SKYLANE	HONKYLOCUET	19.68	205* CALIPPIN
15.0	QD	GYMNOCLADUS DIGICUS ESPRESSO	KENTUCKY COFFEE TREE	BAB	2.5" DALIPER
6.0	1.5	LIQUIDAMBAR STYRACIFULA	AMERICAN SWEETGUM	94.0	2.9" CALEPER
15.0	LT	LINICOENDRON TULIPIFERA	TULNTREE	548	2.5* CALIPEN
5.0	PA	PLATANUS & ACERIFOLIA MORTON EVOLO	OVATION PLANETREE	848	2.1" CAUPER
18,8	90	QUERCUS INCOLOR	SWAMP WHITE DAK	0.6.0	2.5* CALIPER
10.0	01	QUERCUS IMBRICARIA	BHINGLE OAM	BAB	2.5" CALIPER
15.0	00	ULMUS MORTON	ADDOLADE ELM	114.8	2.5" CALIPER
15.0	- <b>2</b> 8	2ELKOVA SERRATA	JAPANESE ZELKOVA	0.6.0	2.5* CALIFER
		ORNAMENTA	AL TREES		
6.0	AG	AMELANCHERI & GRANOFLORA 'AUTUMN BRILLIANCE	APPLE SERVICEBERRY	UAR	# HURSTHY
3.0	00	CERCES CANADENDES	EASTERN REDBUD	11 & 81	# HEIGHT
4.0	CV	CRATAEGUS VIRIDES WINTER KING	GREEN HAWTHORN	BAB	THERANT
10.8	MA	MALUS ADBRONDACK	ADIRONDACK CRABAPPLE	RAD	E HEIGHT
4.0	ме	MALUS TRAIRE FIRE	CRADATTLE	BAB.	IF HEAGHT
		EVERGREE	TREES		
12.0	PG	PICEA ELAUCA DENSATA	BLACK HILLS SPRUCE	11410	# HENCHY
5.0	140-	IDCEA PUNCEND	COLORADO DREEN BPRUCE	0.5.0	#"HEIGHT
3.0	2164	PINUS NICRA	040	#"HEXDHT	
9.0	112	PANUS STROBUS	AUSTRIAN PINE	0.6.0	# HEIGHT
204.5	TOTAL TR	EE PLANTING			
		SHRU	18	_	
5.0	C19	CORNUS SERICEA INSANTE	REDOSER ODGWOOD	CONTAINER	34" HEROHT
1.0	CRP	COTINUS COODYGRIA ROYAL PURPLE	PURPLE SMOKEBUSH	CONTAINER	2017 HAEHEBHT
20.0	if these	FORSYTHIA X INTERMEDIA NEW HAMPSHORE GOLD	NEW HAMPSHILE COLD FORSYTHIA	CONTAINER	24" ##E8CHIT
71.0	180	UNITER X PETTZERIANA SEA CREEN	DIA CREEN AINERS	CONTAINEN	28" HERONT
50	POD	PROTOCARDUS OPTILIS OLARID	PURPLED EAT NEW DATE	CONTAINED	24*14537347
#1.0	PEG.	BIND ABOMATICA UBOLOW	CHOLOW SUMAC	CONTAINER	12" HERDHT - 3NT CL
35.0	500	SPRIARA X CONTRA CONTRACTOR	FIRST SHOW SPREA	CONTAINER	24" HEIGHT
3.0	VRM	VIRURAUM CENTATUM IN LE MOTTRY	BLUE MUFFIN VIBURNUM	CONTAINER	in the second second
150.0	- 77	RUB PLANTING	INCOME MORE MANAGEMENT	CONTRINET	THREEH THE
196.0	TOTAL	PERENN			
10.0	CAB	CALAMADROETIS ARUNDINACEA VAR. BRACHYTRICHA		CONTAINER	3 GALLON - 38" O.D
124.0	CNN	CALAMINTHA NEPTTA SPP, NEPETA	LESSER CALAMINTHA	CONTAINER	1 GALLON - 34" 0.0
142.0	HMT		MARY TOOD	-	
142.0	TMH	HEMEROCALLIS WARY TODOT	MARY TODD	CONTAINER	1 GALLON - 24' 0.2
104.0	NER	NEPETA RACEMOSA EARLY BIRD	EARLY BERD CATMINT	CONTAINER	
72.0	Putt				1 GALLON - 18" 0.0
P2.0				CONTAINER	5 GALLON - 10° D.
	PLS	PEROVARIA ATRIPLICIFICIA	RUSSIAN SALE	CONTAINER	3 GALLON - 361 G.S
102.0		SPOKOBOLUS HETEROLEPIS	PRAIRIE DROPSEED	CONTAINER	1 GALLON - 24" 0.0
149.0	SMN	SALVIA NEMEROSA 'MAY NIGHT'	MAY NIGHT SALVIA	CONTAINER	1 GALLON - 18" 0.0
	TOTAL PE	RENNIAL PLANTING			
1198.6		8018	8		
1150,0	NKA	NARCISSUS NING ALFRED	HING ALFRED DAFFOOR	(MXB)	INTERPLANT W/ CA

RATE (LBS/A)	CRE:	COMMO				
80.0		PARK KENTUCKY BLUE GRASS				
61.0		DAWSON CREEPING	NED FERCU			
81.0		PULTERPUCCINELLE				
20.0	_	PENNEDIE PERENDAA				
298.8	_	TOTAL RATE PER AD				
(alcola		[ Permit Permit Permit	the fearing (			
cm		ST. CHARLES - LAN				
-	DERCH	RIPTION	REQUIR	ENENT		
TOTA	PLAN	IC SITE AREA	481.90	13.4 BOFT		
		RVIDUS AREA		7.5 NOFT		
PERCENTA	GE OF	IMPERVIOUS AREA		54,2%		
TOTA	LIAND	ISCAPE ANILA	316,98	15.9 5GFT		
		LANDSCAPE AREA		35.8%		
PARKW	AYLAN	IDSCAPE AREA	18,71	19.8 (NGP(T))		
			_			
	. 1	OW-PROFILE SHO	WY PRAIR	E SEEDH	NG	
RATE (LIISIACRE)		SCIENTIFIC NAME	e -		ONNOH NAME	
1.000	ADP	OPYHON TRACHTCAU	UM	SLENCER WHEAT DRASS		
3,000	AND	ROPOGON SCOPARIUS		LITTLE BU	UE OTEM	
1,000	BOI/	TELOUA CURTIPUNCKA	A	SIDE GATS GRAMA		
1,000	EL.Y	KUS CANADENSIS		CANADA WED RVE		
1.000	EL.Y	NUS VIRONICUS		VIRGINIA WED RYE		
0.125	JUN	CUS TENUIS		SLENDER PATH RUSH		
0.175	ASC	EPSAS TUNIROSA	-	BUTTERFLY WEED		
0.125	AST	ERLAEVES		SMOOTH BLUE ASTER		
0.290	AST	ER NOVAE-ANGLINE		NEW ENGLAND ASTER		
0,250	CAS	SIA FASCICULATA	-	PARTFIDGE PEA		
1.000	COR	EOPHIS LANCEOLATA	_	SAND COP	HOPSIS.	
0.625	DES	MANTHUD ILLINDENDI	e i	LINOIS B	UNGLE FLOWER	
0.625	ECH	NACEA PURPUREA		PLNEPLEC	ONEFLOWER	
0.250	1001	OPSIS HELIANTHOIDES	1. I	OR-EYE D	INFLOWER	
0.250	LIAT	RIS ASPERA		BUTTON	ADNG STAR	
0.125	LIAT	RIS SPICATA		NPIKED DA	ATTEATHER	
0.250	LUP	NUS PERENNE OCCUP	ENTALIS	LUPWE		
1.063	MDN	ARDA FISTULOSA		WELD BER	CANNOT	
0,188	PEN	STEMON DIGITALIS		FOXGLOW	EMEARDTOUNG	
0,500	PET	ALOSTEMUM PURPURE	UM .	PURPLEP	RAINE CLOVER	
0.063	PYC	MANTHEMUM VIRGING	ANUM	COMMON	MOUNTAIN MINT	
0.625	RATI	BEJA PININATA		YELLOW C	ONEFLOWER	
0.750	-	BECHIA HITTA		and the survey of the survey o	ED BUSAN	
0.125	SOU	CAGO RIGICIA		STIFF GOLDENROO		
9.083	THA	DESCANTIA OHIUNIHI	_	()+=() SPE	EHWORT	
	1				*****	

TURF GRASS SEEDING

DATE & BRIACHES

0,125

13.502

VERSENA STRICTA

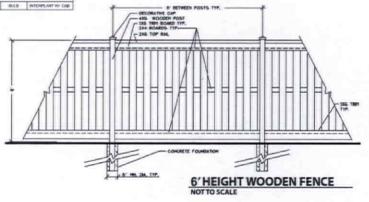
TOTAL RATE PER ACRE (LIM

PLANTING HOLE 2X THE DIAMETER

SHRUB PLANTING DETAIL



SET ROOTBALL ON UNDISTURBED SUBGRADE. IF THE PLANTING HOLE IS DUG TOD DEEP, ADD AND COMPACT ADDITIONAL FULL BEFORE SETTING SHRUB



HOARY VERYAM

\* INNOCULANT RED



TYPICAL PLANT SPACING D=DIMENSION OF PLANT SPACING AS INDICATED ON THE PLANS AND THE SPECIAL PROVISIONS.

#### STORM WATER POLLUTION PREVENTION PLAN (SWPPP): CORPORATE RESERVE

THE STORWARTER POLICION PREVENTION PLAN HAS BEEN PREVMEED TO COMPLY WITH THE INFOMMONG OF THE PREVENTION PLAN HAS READ PLAN THE LANCE INFOMMATION PLAN CONSTRUCT OF THE SYMME MARKING HAS ONESTIC THE SYMME TAXABUTER THE RECLEMENT AND OFF-THE CONTROLS AND THE SHAPPY DETAILS. THEN PLAN IS DRAY COMPLETE WHEN THE CONTROLS FOR THE RECLEMENT.

#### 1. SITE DESCRIPTION

- A, THE WORK UNDER THIS CONTRACT WILL BE COMPLETED ON PROPERTY OWNED BY CORPORATE RESERVE TO DEVELOP THE SUBDIVISION OF LOT 8.
- B. THE FOLLOWING IS A DESCRIPTION OF THE INTENDED AEDURINCE OF THE MAJOR ACTIVITIES WHICH WILL DISTURIE SOIL FOR MAJOR PORTIONS OF THE CONSTRUCTION SITE, BUCH AS EXCAUNTION AND ORADING SEQUENCE OF THE CONSTRUCTION ACTIVITIES MAY BE AS FOLLOWS
- 4. INSTALL SOL ERDSION AND SEDMENTATION CONTROL MEASURES
- E. CLEAR AND GRUE SITE MASS GRACE
- 4. INSTALL UTLITES
- . INSTALL IMPERVIOUS SURFACES
- T. STABLIZE SITE
- C. THE TOTAL ADEA OF THE CONSTRUCTION SITE IS ESTIMATED TO BE 20 ACRES THE TOTAL THE TOTAL AREA OF THE LODGETHICTION HERE IS ESTIMATED TO BE AVAILABLE. THE TARGET OF THE STEETHART IS ESTIMATED TO BE DISTURBED BY EXCAVATION, DRACING ON O ACTIVITIES IS 20 ACRES.
- D. THE ESTMANED RUNCE-COSPECIENT FOR THE PROPOSED PROJECT IN COLFOR & ACRE LOTS AND END FOR THE PROPOSED ROADWAY, INFORMATION DESCRIBING THE SOLE AT THE BITL IS CONTAINED IN THE SOLE REPORT FOR THE "MOJECT, WHICH IS HEREIT INCOMPOSITION FOR REFERENCE.
- E. THE SITE DRAMS TO EXISTING DETENTION BAMING WHICH ARE DIRECTLY TRIBUTARY TO THE

#### 2. CONTROLS

THIS SECTION OF THE PLAN ADDRESSIES THE VARIOUS CONTROLS THAT WELL BE IMPLEMENTED FOR EACH OF THE MADE CONTRACTOR WILL BE TREADED TO THE MADE THAT THE MELTING THE ACCOUNT OF THE ACCO TO AND ARE A PART OF THE PLAN

THE SCIL ERCISION AND BEDIMENT CONTROL PLAN ORAMINGS INCLUDED, DEFINE THE SIZE AND LOCATION OF THE MEASURES TO IN INSTALLED DURING THE CON

- A SDLEROSEN AND SEDMENT CONTROLS
- 8. STAIR STATION PHACTICES

PROVIDED BELOW IS A DESCRIPTION OF INTERIM AND PERMANENT STAIR LIZATION PRACTICES INCLUDING SITE-SPECIFIC SCHEDULING OF THE IMPLEMENTATION OF THE PRACTICES, SITE PLANS WILL ENTERE THAT EXECUTING VEGETATION IN PRESERVED WHERE ATTAINABLE AND DISTURBED PORTIONS OF THE SETE WELL BE STARE IZED

EXCEPT AS PROVIDED IN 2.4.1 AND 2.8. STABILIZATION MEASURES SHALL BE INSTATED ON A 14 OR MORE CALENDARI DAVE.

WHERE THE INDIATION OF STABILIZATION MEASURES BY THE 7<sup>54</sup> DAY ANTEH CONSTRUCTION ACTIVITY TEMPORANKY ON PERMANENTLY CEASES IS PRECLUDED BY SNOW CONSTABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE THEREAFTER. DESCRIPTION OF STARLIZATION PRACTICES.

- · DUST CONTROL MEL BE ACCOMPUMED USING WATERING TRUCKS AN DIRECTED BY THE FROMETO
- ENORION CONTROL BLANKET ITEMPORARY, ENDERON CONTROL BLANKET HEAVY DUTY (TEMPORARY) AND HOLED EXCELSION LODS WILL BE USED TO STABILIZE THE CONSTRUCTION AREAS WHERE THE FINAL GRADE HAS BEEN REACHED BUT CANNOT BE PERMANENTLY STABLIZED DUE TO THE PLANTING BEARON RESTRICTIONS.
- . THEFT FLOWS EXTING THE SITE WILL ENCOUNTER PERMITTER EROSION BARRIER. BTAILEDE CONSTRUCTION ENTRANCES WILL BE CONSTRUCTED AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC ENTERS ON EXISTS THE SITE.
- STOCKPLES THAT ARE TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL HAVE SOR. EROSION AND SEDMENT CONTROL PROVIDED, AT A MINIMUM PERMITTIN EROSION BANNER WILL BE PLACED AROUND THE BOTTOM OF THE STOCKPLE. · STOCKPLES TO REMAIN IN PLACE LONGER THAN 14 DAYS ARE TO BE TEMPORARIE.

#### A STRUCTURAL ORACTICES

PROVIDED BELOW IS A DEBONITION OF STRUCTURAL PRACTICES THAT WILL BE INPREMENTED. TO THE DEGREE ATTAINABLE TO DEVERT FLOWS FROM EXHORED SOLD STORE FLOWS, LIMIT RUNOFF AND THE DEGREADED OF POLLUTIANTS FROM EXHORED AREA OF THE STEL. THE INSTRULTION OF THESE DEVICES MAY HIS SUBJECT TO BECTION HOL OF THE CLEAN WATER ACT

- · INSTALLATION OF TEMPORARY SCIL STAIRLIZATION EROSION CONTROL ILLANCE ITEMPORARY EROSION CONTROL & ANNET HEAVY DUTY (TEMPORARY) AND EXTER BIOM | DATE
- · DITCH CHECKS
- · MAINTENANCE OF VERETATION AND IS ANTIMUS
- . ROCK LINED CHANELS

#### B. STORALWATER MANAGEMENT

PROVIDED BELOW IS A DESCRIPTION OF MEASURES THAT WELL BE INSTALLED DURING THE

CONSTRUCTON PROCESS TO CONTROL THE POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER THE CONSTRUCTION DIFFARTORY HAVE BEEN COMPLETED. THE METALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT.

- \* THE PRACTICES SELECTED FOR IMPLEMENTATION WERE DETERMINED ON THE BASIS OF THE PRACTICES DELECTORY AND BE AND A CONTRACT AND A DELECTORY MASURES SHALL INCLUDE
- . BUT PENCE
- · INLET INIOTECTION
- NTABLIZED CONSTRUCTION ENTRANCE
- IN VELOCITY DISSIPATION DEVICES WILL BE PLACED AT DISCHARGE LOCATIONS AND ALONG

THE LIDENT ION ANY OWTALL OWNER, AN RECEIVENT TO MODIFIE A VIBERODIEN VICIDITY ION MONTHE INTERTION TO A VISIET CONTENT OF ANY OWNER OWNER MONTENES, AND RECORDER DIMANCINETIES AND FANCTINES AND MANYTHEO AND POTOTETE 12, MANTENNES OF INFORMATION FROM TO THE INTERIOR OF INTERTITY OF ANY OWNER STORM AND ANY OWNER TO THE INTERIOR OF DESTINICION AND INTERESTION WATER AND ANY TO THE INTERIOR OF DESTINICION ANY OWNERS AND ANY OWNER AND TO THE INTERIOR OF DESTINICION ANY OWNERS AND ANY OWNER AND ANY OWNER AND ANY OWNER ANY OWNERS AND ANY OWNER AND ANY OWNER AND ANY OWNER ANY OW · DITCHORCH

· LINED ADDON · PRET PROTECTION

- . SECONENT BASES
- C. OTHER CONTROLS . NON HAZARDOUS WASTE DESPOSAL. THE SOLID WASTE MATERIALS INCLUDING TRAS-CONSTRUCTOR DEBHS EXCESS CONSTRUCTION MATERIALS MACHINERY, TOGLE AND OTHER ITEMS WAL BE COLLECTED AND DEPOSED OF OF-SITE BY THE CONTACTOR THE CONTACTOR IS HESTORIBLE TO ACCURE ANY PERMIT RELARED FOR BLC-
- POBAL BURNING ON-BITE WALL NOT BE PERMITTED. NO NOLIO MATERIALS, INC UDING MATERIALS SHALL BE DISCHARGED INTO WATERS OF THE L.S., EXC INCRUZEE BY A SECTION HAR PERMIT. WIGED INTO WATERS OF THE U.S. EXCEPT A IN HAZARDOUS WASTE DISPOSAL. SHALL CONFORM TO THE IDOT SPECIAL PROVISION
- C. SANITARY WASTE DEPOSAL. THE PROVEINAS OF THIS PLAN SHALL EASURE AND DEMONSTRATE COMPLANCE WITH THE APRICABLE STATE AND/OR LOCAL, WASTE DEMONSTRATE STATE SURVEY, OR SERVIC SYSTEM REQULATIONS, THE CONTRACTOR SHALL NOT DEFAILS AND OR UNADAVIEW CONCIDENCE, STRAATE AUTHORIZATION IS RECOMPLOYING INSTALLING OF GARANTYE SERVER ON BEFORE SYSTEMS. несолиестоти напазналатоко газианат се екисно от вслос отатома. 6. оп/нате тупериса типоски, как на почи се на почи се пак от имоте така, как на почи сокаталисток контакисата и сокнотника от ими точки сък се пак имоте така сокаталистока контаки са отклютната от ими точкатоко по на типисата сокаталистока съконачена от отклита от ими точкатоко по на типисата сокаталистока и съконачи со контака со на коласски то по на почисата контакастов кака. Съкона коот съконачество на контака контакастов кака. Съкона коот съконачество на контака на сована за те съко съкона съкона съкона со на контаката и съконата на то съконачески в тот се консекти,
- DIVATENDE DEVICES # DEVALUES DEVICES ANE USED, DECHARGE LOCATIONS SHALL RE INSTRUCTORES FINDS SEE ENDERN. ALL PLANED DECHARGES SHALL BE ROUTED THROUGH A SUMP FIT IND A SET TLANENT BASE. ALL BANKED DECHARGES TO WATERS DET HE US BHALL BE PERMITTED BY THE USACE PRIOR TO INSTRATION.
- BITE CLEARLP: TRAFFED BEDWENT AND OTHER OBTURBED SOLD REBULTING FROM THE ORFORMED OF TRAFFORMET SOL, EXCIDENT AND SEDMENT CONTROL MEASURES THUS BE PERMANETLY STRAFFED TO THEFTER FURTHER SOLD. ENDING NO BEDWENTATION. APPROVED COUNTY: STATE OF LOCAL PLANE

THE MANAGEMENT PRACTICES, CONTRESS, AND OTHER PROVISIONS CONTAINED IN THIS FLAM ANE AT LLAAT AS INDUCTIONS AS THE REQUIREMENTS CONTAINED IN THE CURRENT VISION OF LUNCE EVANOMENTIAL PROJECTION ADDRETS - LLANDE VIEWA MEMAL, STANALASSI AND SPROHENTSKE, PROJECTION ADDRETS - LLANDE VIEWA MEMAL, STANALASSI ADDRETSKE VIEWANT, CONTROL, TAKES ON STORE WATER MANAGEMENT, AVAL APPROXEME SECOND AND SERVICE TOTTOM, FLAND ON THE OTHER MANAGEMENT, AVAL APPROXEME SECOND AND SERVICE TOTTOM, FLAND ON THE OTHER MANAGEMENT, AND APPROXEMENT ADDRETSKE VIEWANT, CONTROL, TAKES ON THE OTHER MANAGEMENT, AVAL APPROXEMENT ADDRETSKE VIEWANT, CONTROL, TAKES ON THE OTHER MANAGEMENT, AVAL APPROXEMENT ADDRETSKE VIEWANT, CONTROL, TAKES ON THE OTHER MANAGEMENT ADDRETSKE VIEWANT, CONTROL, TAKES ON THE OTHER MANAGEMENT ADDRETSKE VIEWANT, CONTROL, TAKES ON THE OTHER VIEWANT ADDRETSKE VIEWANT, CONTROL, TAKES ON THE VIEWANT ADDRETSKE VIEWANT ADDRETSKE VIEWANT, CONTROL, TAKES ON THE VIEWANT ADDRETSKE VIEWANT ADDRETSKE VIEWANT, CONTROL, TAKES ON THE VIEWANT ADDRETSKE VIEWANT ADDRETSKE VIEWANT, VIEWANT, VIEWANT, VIEWAN BY LOCAL OFFICIALS SHALL BE DESCRIBED OR INCORPORATED BY REFERENCE BELOW REQUIREMENTS SPECIFIED IN SOR. EROSION AND SECIMENT CONTROL PLANS. SITE PERMITS STORM WATER MANAGEMENT SITE PLANE. OR SITE PERMITS APPROVED BY COUNTY, STATE, OF LOCAL OFFICIALS THAT ARE APPLICABLE TO PROTECTING SUBVACE WATER RESOURCES ARE UPON SUBNITIAL OF A NOTICE OF INTENT (NOI), INCORPORATED AND ENFORCEMELE UNDER. THIS PERMIT EVEN IF THEY ARE NOT SPECIFICALLY INCLUDED IN THE PLAN. THE SOL EROSION AND SEDMENT CONTROL FOR THIS SITE MUST MEET THE REQUIREMENTS

OF THE FOLLOWING ADENCIES CITY OF ST. CHARLES

THE FOLLOWING IS A DESCRIPTION OF PROCEDURES THAT WILL BE USED TO MAINTAIN, IN GOOD WID EFFECTIVE OPENATING CONCETIONS, VEDETATION, SOIL EHORISON AND REDMENT CONTINU, MARAINEEL, AND OTHER INFOTECTIVE MEABURES (DENTIFIED IN THIS PLAN AND BEAMAND REPORTACIONE

THE CONTRACTOR VALLASSION A SOL ENGISION AND SEDMENT CONTROL MANAGER (SESON) TO THE INVOLECT, HIS CUTIES WILL BE TO SUPERVISE THE MAINTENANCE OF THE SOL EROSION AND SEDMENT CONTROL MEASURE AND INVESTIGATION OF THIS PLAN.

#### THE FOLLOWING SHALL BE THE MINIMUM MAINTENANCE REQUIRED.

A VEDETATIVE BOR EROSION MEASURES - THE VEDETATIVE GROWTH OF TEMPONANT AND PRIMAMENT SECOND, VEDETATIVE FLITERS, ETC., SHALL BE MANTANED PERIODOLLY AND SUMPLIED ADECANTE WATERING AND PERIODOL ENCIVED AND RESERVED AS NECESSAR

PERIMETER ERDINON BARRIER AND HOLLED EXCELINGE LOGS WILL BE EXAMINED REGULARLY AND REPARTED AS RECEMBARY, SEDWINT INVEL BE REMOVED WHEN IT REACHES A HEIGHT EQUALTO BOY, D'THE HEIGHT OF THE IMARER.

C. STABLEZED ACCESS ROAD AND STABLEZED CONSTRUCTION ENTRANCES SHALL HAVE

A INSPECTIONS.

THE EXAMPLET MULTER HERPORTER FOR CONCULTING DOLE BIOLOGY AND SECIMENT CONTINUE. HIMPETOTON, HER CONTRACTORS SERIES SHALL BE FORTED MULTER HERPETONA REFERENCES HIMPETONE HERPETON REFERENCES AND ALL BE CONTRACTORS SERIES AND HIMPETONE HERPETON HERPETON AND STORED CHARTE WITH A CONY ONEN TO THE CONTRACTOR. THE ENGINEERS WILL BE REPORTED FOR CONDUCTING NOR EXCERCING AND RECEIPTED CONTINUES.

CONTINUETOR: THE INTEREMENTATION SHALL INCLUDE ALL DISTURBED AREAS OF THE CONSTRUCTION SITE WHICH HAVE NOT HERN FRALLY STARKARD, THE STRUCTURAL CONTING, MEADUREL LOCATIONS WHERI WHICH SERVICES SHOTE ON SITE THE STEL AND ALL MARKED OF UTALLS. BUCK THE INSERTION SHALL BIC OFFICIENT SHOTE ON SITE OFFICIENT SHOTE ALL HARD DATE AND WITHIN 24 HOURS OF THE BIC OF AND AND SHOTE ON SUPERIOR SHOTE AND ALL MARKED SHOTE AND ALL MARKED OF THE BIC OF AND AND SHOTE OUT AND ALL SHOTE ALL MARKED AND ALL MARKED OF THE BIC OF AND AND SHOTE OUT AND ALL MARKED OF THE INSERTION SHALL BE ADDRESS OF MARKED. SHALL HERAD THE MARK AND ALL MALL BIC DETERMINED OF AN OLD MARKED AND ALL MARKED AND THE MARK AND ALL MALL BIC DETERMINED OF AN OLD MARKED AND ALL MARKED AND THE MARK AND ALL MALL BIC DETERMINED OF AN OLD MARKED AND ALL MARKED. SHALL HERAD THE MARK AND ALL MARKED AND AND ALL MARKED AND ALL MARKED AND THE ADDRESS AND THE MARK AND ALL MARKED AND ALL MARKED AND ALL MARKED AND ALL MARKED AND THE MARK AND ALL MARKED AND ALL MARKED AND ALL MARKED AND ALL MARKED AND THE MARK AND ALL MARKED AND AND ALL MARKED AND ALL MARKED AND ALL MARKED AND ALL MARKED AND THE MARK AND ALL MARKED AND AND ALL MARKED A

A DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO

PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR POLLUTANTS Interlation (HE DINH) ARE STITLE AND WATERWAYS, SILE LINDIDGN AND SECRET? CONTRO-MARINES, ISONYATERIO IT HE (HAN HALL, HE DOBSYNCH DO SECRET? CONTRO-NAMINES, ISONYATERIO IT HE (HAN HALL, HE DOBSYNCH DO SECRET. THEY ARE OPERATING DORBITCHY, HERPARIS INSECSIONY, (17 VILL BE INTERTION WITHIN A HADRIS OF HEL COMPLETION OF THE INSECTION TO ACCEPTANT WIETHING THE MADURES AND FEETOTEME IN HERVITCHING BERNICHTON TO ACCEPTANT WIETHING THE MADURES AND FEETOTEME IN HERVITCHING BERNICHTON TO ACCEPTANT WIETHING THE MADURES AND FEETOTEME IN HERVITCHING BERNICHTON TO ACCEPTANT WIETHING HADRIS OFFIC VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE

II, BASED ON THE RESULTS OF THE INSPECTION, THE DESCRIPTION OF POTENTIAL POLLUTAN BOURCES IDENTIFIED IN SECTION 1 ABOVE AND POLLUTION PREVENTION MEASURES IDENTIFIED IN BECTION 2 ABOVE. THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE REVISED AS APPROPRIATE AS SOON AS PRACTICABLE AFTER SUCH INSPECTION CHANGES TO THIS PLAN RESULTING FROM THE REQUIRED INSPECTION SHALL BE IMPLEMENTED WITHIN NEVEN CALENDAR DAY'S FOLLOWING THE INSPECTION

C. A REPORT BUNANESDING THE SCOPE OF THE INSPECTION, NAMES) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION. THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPECMENTATION OF THE STORM WATER POLLUTION PERVINTIONS RELATING TO THE IMPECMENT ALL DRIVES WITH SECTION 4.3 SINGLI BEI MADE AND RETAINED AD PART OF THE PLAN FOR AT LEAST THREE YEARD AFTER THE DATE O INSPECTION. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART VLG OF TH DENERA PERMIT

D. IF ANY VIOLATIONS OF THE PROVASIONS OF THIS PLAN ARE IDENTIFIED DURING THE CONDUCT OF THE CONSTRUCTION WORK COVERED BY THIS PLAN. THE ENDINEER SHALL COMPLETE AN FILE AN INCIDENCE OF NONCOMPLIANCE (ON) REPORT FOR THE DENTIFIED WOLATION, THE INVERSE BHALL USE FORME PROVIDED BY THE LLINGE ENVERONMENTAL PROTECTION ENGINEE THAL USE FORMER PROVIDED IF THE LUNGE DOWNWRENTAL PROTECTION ARROY AND SHALLOLER BEYCKEY PROMITION AND THE CAUSE OF NEWCOMENNEL. ARTINGS WINCH WINC THE TARK TO PROVIDE THE AND THE CAUSE OF NEWCOMENNEL. ARTINGS WINCH WINC THE TARK TO PROVIDE THE AND THE AND THE AND THE THE AND THE DEDOCETOR OF THE NOTICE IF WINCH AND THE AND THE AND THE AND THE DEDOCETOR OF THE NOTICE IF WINCE AND THE AND THE AND THE AND THE DEDOCETOR OF THE NOTICE IF WINCE AND THE AND THE AND THE AND THE DEDOCETOR OF THE NOTICE IF WINCE AND THE AND THE AND THE AND THE DEDOCETOR OF THE NOTICE IF WINCE AND THE AND THE AND THE AND THE DEDOCETOR OF THE NOTICE IF WINCE AND THE AND THE AND THE AND THE DEDOCETOR OF THE NOTICE IF WINCE AND THE AND THE AND THE AND THE DEDOCETOR OF THE NOTICE IF WINCE AND THE AND THE AND THE AND THE DEDOCETOR OF THE NOTICE IF WINCE AND THE AND THE AND THE AND THE DEDOCETOR OF THE NOTICE IF WINCE AND THE AND THE AND THE AND THE DEDOCETOR OF THE NOTICE IF WINCE AND THE AND THE AND THE AND THE DEDOCETOR OF THE NOTICE IF WINCE AND THE AND THE AND THE AND THE AND THE DEDOCETOR OF THE NOTICE IF WINCE AND THE AND THE AND THE AND THE AND THE DEDOCETOR OF THE NOTICE IF WINCE AND THE DEDOCETOR OF THE NOTICE IF WINCE AND THE AND TH

ILLINGIS ENVIRONMENTAL PROTECTION AGENCY DIVISION OF WATER POLLUTION CONTROL

COMPLIANCE ASSURANCE SECTION IT NORTH GRAND EAS P.C. HESA 19279 SPRINGERS D. E. ATTIMUTTE

#### L NON-STORM WATER DESCHARGES

EXCEPT FOR THE FLOWS FROM FIRE FRONTING ACTIVITIES. BOUNCES OF NON-STORM WATER THAT MAY BE COMBINED WITH STORM WATER DISCHARGES ARE T INCLUDED IN THESE PLANS. THESE SOURCES INCLUDE THE FOLLOW IFT ANY THEATER BY THE MEATING

- WATER USED TO WASH VEHICLES
- · WATER USED TO CONTROL OUST
- PAVEMENT WASH WATERS WHERE SPELS OF LEAKS OF TOXIC OF HAZAHOOUS MATERIALS HAVE NOT DOCUMED UNLESS SPELED MATERIALS HAVE BEEN REMOVED. · INRIGATION OF CHES
- . UNCONTAMINATED GROUND WATER
- FOUNDATION OR FOOTING DRAMS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS SUCH AS SOLVENTS

#### TORY FOR POLLUTION PREVENTION PLAN

THE WATERNALS ON SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PREDENT ON SHE DURING CONSTRUCTION, (TABLE TO BE FILLED IN HY CONTRACTOR).

#### 7, SPILL PREVENTION - MATTRIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE HE NEW OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFT

#### GOOD HOUSE KEEPING

- THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE
- · AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE
- ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THESH, APPROPRIATE CONTAINERS AND IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE DRIGINAL
- MANUFACTURER'S LABEL
- SUBSTANCES WILL NOT HE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANOFACTURER
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE.
- . WHENEVER POSSIBLE, ALL OF A PRODUCT WILL HE USED UP HEFORE DISPOSING OF
- MANUFACTURERY RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE

#### AZARDOUS PRODUCTI

THESE PRACTICES ARE USED TO REQUCE THE RENUL ADDOCIATED WITH HAZARDOUG MATERIAL B

NO

RESERVE SUBDIVISI OF LOT 8

CORPORATE

국 왕 석

MAN MAN

C

CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206 PHONE NUMBER

Ę

ASSOCIATES | 201

SET SET

KEL BOT

BURKE I t Main Stru es, Illinois 3-7755

West Ma West Ma Charles, 1 (143-77

VILI 51 C1 (630)

WBK

PROJECTINO, 140256

RAWING NO. 280F2

SW1

DATE: 10-06-2017

NO

STORMWATER POLLUTI PREVENTION PLAN

· PRODUCTS WILL BE REFT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESERVANCE IF SURPLIS PRODUCT WHIT BE DISPOSED OF, MANUFACTURERS OR LOCAL AND STATE RECOMMENDED NETHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

IN ACCITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES

LOSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE POLLOWING PRACTICES INC. LOWED FOR SPILL PREVENTION AND CLEANUP.

· MANUFACTURERED RECOMMENDED INFORCED FOR 1991 CLEANUP WALL BE DUTATES

· MATERIALS AND EQUIPMENT NECESSARY FOR SPAL CLEANUP WELL BE KEPT IN THE

MATERIALS AND COMPARENT INCREMANY FOR SPILL CLEANAR WALL BE REFT IN TH MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE, BUT NOT BE LIMPED TO, BROOMS, DUIT: FAND, MORE, INADE, CONTER, CONTER, CONTER, UTTER, SAND, SANDUST, AND PLASTIC AND METAL THASH CONTAINERS SPECIFICALLY UTTER, SAND, SANDUST, AND PLASTIC AND METAL THASH CONTAINERS SPECIFICALLY

THE SPEL AREA WILL BE REPT WELL VENTRATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INLIRY FIRM CONTACT WITH HARAMODUS SUBSTANCES.

1. UNLESS OTHERWISE INCICATED, ALL VECETATIVE AND STRUCTURIN, ENOSION AND SEDMENT

CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINDIS URBAN MANUAL (CURRENT VERSION).

2. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN EHALL HE MAINTAINED ON

X-FRICH TO COMMINCING LANS/DESTURIENC ACTIVITIES IN AREAS DIVER THAN INCIDATED ON

THESE PLANS INCLOSING BUT AND LIMITED TO ADDITIONAL THROUGH CONTROL PLAN SHALL BE SUBMITTED TO THE OWNER FOR REVEW.

4. THE CONTRACTOR IS RESPONSELE FOR INSTALLATION OF ANY ADDITIONAL EXDBION CONTROL

S. OUTING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASING OF SILT

6.IT IS THE RESPONSIBILITY OF THE LANDOWNER AND/OR GENERAL CONTRACTOR TO INFORM ANY This the response of the cardinal and the response of the resp

7.NO WORK SHALL BE VERFORMED IN FLOWING WATER. WORK IN AND NEAR ORTICAL AREAS

IS THE COMPLETED IS OFES SHALL BE SEEDED AND MULDIED, OR BLANKETED IF APPLICABLE AS

3, ALL DISTURBED AREAN SHALL BE COVERED IN AN ACCEPTABLE OR APPROVED TYPE OF PERMANENT SEEDING UNLESS OTHERWISE INDICATED.

10. WHERE WORK IS COMPLETE, PERMANENT STARLIZATION BHALL OCCUR WITHIN SEVEN (7) DAYS OF COMPLETION, WHERE WORK HAS TRANSMARKY CEASED FOR FOURTEEN (14) DAYS OR MORE TEMPOLARY STARLIZATION INFALL OCCUR IN THE YITEOTH CAN TERM WORK HAS CEASED.

11. ALL ADJACENT STREETS AND PARKING LOTS MUST BE KEPT CLEAR OF DEBRIS, INTERCITED

THE COMMETTED SCHEED DHAL BE SECTED AND MULDIED, DR SUMMETTED IF APPLICABLY THE SECANATION PROCEEDS TO THE EXTERT CONSTRUCTED DESTABLE. WAS PRACT PRIMAMENT SECTION DIALL BE USED WHEIN YER POSIBLE. UNDER NO DECLASTANCES IN THE CONTRACTOR PROC (INC PRACT, BROWN AND SHAPPING SIG THAT THE ENTITIE PROJECT BE PERMANENTLY RECED AT ONE THE!

NEW ONE THEN

POSTED AND STE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

· ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY

ORIGINAL LABELS AND MATERIAL SAFETY DATA WELL BE RETAINED

SPE & CONTROL PHACTICES

THES PRIMPOSE

THESE IS AND AND ADDRESS BUT NOT ADDRESS TO ADDRESS

MEASURES NECESSARY TO PREVENT EROSION AND BEDIMENTA

DEWATERING DRECTLY INTO HELD TILES OR STO

D BE ISOLATED FROM CONCENTRATED FLOWS OR STREAM FLO

FROMION AND RECEIVENT CONTROL NOTES

DAY Y AND DI KANED MUCH MEDICARAN

THE RITE AT ALL TIMES.

CONTROL MEASURE GROUP	CONTROL MEASURE	APPL	KEY	CONTROL MEASURE CHARACTERISTICS	100	De Bww		
	TEMPORARY SEEDING	x	(15)	PROVIDES QUICK TEMPORARY COVEN TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.	х			
	PERMANENT SEEDING	x	PS	PROVIDES PERMANENT VEGETATIVE GOVER TO CONTROL EROSION. FILTERS SEDMENT FROM WATER, MAY HE PART OF FINAL LANDBCAPE PLAN.		)		
VEGETATIVE SOL. DORMANT SEEDING		x	(DS)	SAME AS PERMANENT SEEDING EXCEPT IS DONE OURING DORMANT SEASON. HIGHER RATES OF SEED APPLICATION ARE REQUIRED.	х	)		
	SODDING	x	60	OURCH PERMANENT COVER TO CONTROL EROSION, OURCH WAY TO ESTABLISH VEDETATION FRUTER STRIP, CAN BE USED ON STREP SLOPED ON IN DRAMADEWAYS WHERE SEEDING MAY BE OFFICIALT.		)		
	PLANTS, TREES, & SHRUBS	x	6	PROVIDES GROUND COVER, SHRUBS AND TREES IN ADDITION TO PERMANENT VEGETATION, MAY BE USED AS PART OF A FINAL LANDSCARE PLAN ALONG WITH SHRUBS AND TREES.		>		
	MULCHING	×	۲	ASIRED INSUMANCE OF A SUCCESSFUL TEMPORARY OR PERMANENT SEEDING. CONTROLS UNWANTED VEGETATION AND PRESERVES MORTURE. IMPOUNDES COVER WHERE VEGETATION CANNOT BE ETTAILISHED.	x			
NON VEGETATIVE SOR, COVER	EROSION CONTROL BLANKET	x	(1)	PROTECTS AND PRESERVES MOISTURE FOR PERMANENT SEEDING ON INTERP SLOPES, MEAS OF PERIODIC CONCENTRATED RUNOFF. UNICHESI DR IN MEAS THAT MAY BE DAMAGED BY PEDERTRIAN TRAFFIC.	x			
	AGGREGATE COVER	X		PROVIDES BOIL COVER ON READS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLEHED, PREVENTS AND FROM BEING PICKED UP AND TRANSPORTED DIFFAMTE.				
	PAVING	х	O	PROVIDES PERMANENT COVER ON PARIONGLOTS AND ROADS OR OTHER ANEAS WHERE VEGETATION CANNOT BE ESTABLISHED.	х	)		
	MOGE DIVERSION		RD	TYPICALLY USED ABOVE SLOPES, USED WHERE AN EXCESS OF 101, IS AVAILABLE.				
	CHANNEL DEVERSION		0	TYPICALLY USED AT TOP OR BASE OF BLOPES. USED WHEN EACESS SOL IS NOT AVAILABLE.				
DIVERSIONS	COMBINATION DIVERSION		00	TVPRCALLY USED ANYWHERE ON A SLOPE. SOR. TAKEN OUT OF CHANNEL IS USED TO BUILD THE RECE.				
	CURB AND GUTTER	ITTER X (0) SPECIAL CASE OF DIVERSION USED IN CONJUNCTION WITH A STREET. TO DIVERT WATER FROM AN AMERICAN DIPOLITIC TION.				)		
	BENCHET		()	SPECIAL CASE OF DWERSION CONSTRUCTED WHEN WORKING ON CUT SCOPES TO SHORTEN LENGTH OF SLOPE AND ADD SLOPE STABILITY.		T		
	BARE DUANNEL		(BC)	PROVIDES MEANS OF CONVEYING RUNOFF TO DESIRED LOCATION. MAY BE USED TO DRAW DEPRESSIONAL AREAS. ONLY APPLICABLE WHEN VELOCITY OF FLOW IS VERY LOW.				
	STRUCTURAL STREAMBANK			PROTECTS STREAMBANKS FROM EROSEVE FORCE OF FLOWING WATER		F		
	VEGETATIVE CHANNEL		(vc)	PROVIDED ADDED STATILITY TO CHANNEL. USED WHEN VELOCITY OF 5.0W IS NOT EXTREMELY FAIL.				
WATERWAYS	VEGETATIVE STREAMBANK		(%)	PROTECTS STREAMBANKE FROM EROBINE FORCE OF FLOWING WATER- AND PROVIDES NATURAL PLEABING APPEARANCE.		T		
	UNED CHANNEL	x	6	USED WHEN VEGETATION WELLNOT PROTECT THE CHANNEL AGAINST HIGH VELOCITIES OF FLOW OK WHERE VEGETATION CANNOT BE ESTABLISHED.	х	)		
	OFTCH CHECKS		60	USED IN DITCHES TO RETARD THE VELOCITY OF WATER IN A LITCH TO MINIMIZE SOL, EROSION INICOLTO THE DITCH BEING VEGETATED.				
	STORM SEWER	X	ST	CAN BE USED TO CONVEY SEDIMENT LACEN WATER TO SEDIMENT BASIN OR IN ODMUNICTION WITH A WATERWAY,	х	>		
ENCLOSED DRANAGE	UNDERDALAIN		00	LIBED TO LOWER WATER TABLE AND INTERCEPT OROUNDWATER FOR HETTER VEGETATION GROWTH AND IS OPE STARLITY. USED TO CARGIN INARE INDW IN WATERWAYS AND TO DEWATER SEDMENT MADRIS.				
	STRAIGHT PIPE SPILLWAY		(55)	USED FOR RELATIVELY SMALL VERTICAL DROPS AND SMALL FLOWS OF WATER.				
SPELWAYS	DROP INCE! SPELWAY		05	SAME AS PROF SPELWAY EACEPT LARGER FLOWS AND LARGE VERTICAL DROPE CAN BE ACCOMMODATED.				
BARTMALE	WEIR BPILLWAY		۲	USED FOR RELATIVELY SMALL VERTICAL DRIPS AND FLOWS MUCH GREATER THAN PIPE STRUCTURES.				
	BOX INLET WER SPELWAY		85	RAME AS WER REALWAY EXCEPT LARGER FLOWS CAN BE ACCOMMODATED BECAUSE OF LOWER WEELLENGTH.				
OUTLETS	LINED APRON	х	6	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARDING FROM STRUCTURES.	х	)		
	EMBANKMENT SEDIMENT BASIN		(13)	USED WHERE TOPOGRAPHY LENDS ITSELF TO CONSTRUCTING A DAM. AND EARTH FR.L IS AVAILABLE.				
SECONENT BASINS	EXCAVATED SEDIMENT BASIN		(*)	UBED WHERE EMBANKMENT COULD CAUSE A HAZARD DOWNSTREAM IN CASE: OF FAILURE AND WHEN EXCESS EARTH FILLIS NOT AVAILADLE.				
	COMBINATION SEDMENT		cs	USED WHEN TOPOGHAPHY IS SUITABLE BUT ADDITIONAL CAPACITY IS NEEDED.				
	BARREN FILTER	х	۲	USES TO FILTER SEGMENT FROM BUNGEP.	х			
SECAMENT	VEGETATIVE FILTER		ø	USED ALONG DRAINAGEWAYS OR PROPERTY LINES TO FILTER SEDMENT FROM RUNOFF. SIZE MUST HE INCREASED IN PROPORTION TO DRAINAGE WREA.				
FLIERS	FILTER FABRIC	х	T	USED FOR RDADWAY CURB INLETS,	х			
	SA,T FENCE	х	98)	USED ALOHIS DRAMASE WAYS OR PROPERTY LINES TO FRITER SEDIMENT FROM RUNOFF.	х			
MUC AND DUST	STARE SZED CONST. ENTRANCE	х	۲	PREVENTS MUD FROM BEING PICKED UP AND CAURED OFF-SITE.	X			
CONTROL	DUST AND TRAFFIC CONTROL	X	(TO)	PREVENTS OUST FROM LEAVING CONSTRUCTION SITE.	x			

### CONSTRUCTION STAGING

#### PRE-CONSTRUCTION

INSTALL SDR. EROSION AND SEDIMENT CONTINUE MEASURES WITHIN THE CONSTRUCTION AND STADING AREA STABILIZE CONSTRUCTION ENTRANCE AND SR.T.FENCE.

#### STAGE !

1. GRACE BASINS FOR SEDIMENT STORAGE 2. MASS GRACE REMAINING SITE

- 3. ADD DITCH CHECKS
- 4. INSTALL STORM SEWERN AND OTHER UTLITIES
- 5. INSTALL LINED APRONS AND INLET PROTECTION

#### STAGE 2

1. INITIATILISTAIILLEATION WHERE APPLICABLE 2. PAVE AND INSTALL CURB AND GUTTERS, SIDOWALKS, AND ALL OTHER IMPERVIOUS SURFACES

STAGE 3

1. REMOVE SOL EROSION AND SEDIMENTATION CONTROL MEASURES WHICH ARE NO LONGER REDURED.

#### CONSTRUCTION STAGING NOTES

THE CONTRACTION WILL NOT BE ALLOWED TO CLEAN MORE THEN ONE STADIL AT A TIME. SDIL STARILZATION (TEMPORARY OR PERMANENT) NUTTIES COMMENTED WHEN 48 HOURD OF OPENING. THE SOL TO THE ELEMENTS, TERMINIENT SOL, STARILZATION WILL BE INSTALLED FINIOR TO STARTING THE NEXT STADE OF CONSTRUCTION.

CONSTRUCTION. WHITE BALL BE ADDRESSED EARLY IN THE FALL DROWING BRASDY 3D THAT BLORES AND OTHER BARE AREAS MAY BE STARLED. WITH TEMPORATY AROUNT PRIMAMENT VICENTATIVE CONST TO THE TRANSPORT OF THE ADDRESS OF THE AD

	CONTRACTOR CER	PICATION	
<b>OISCHARGE ELIMINATION BYS</b>	DF LAW THAT IUNDERSTAND TTEM (NPOES) PERMIT (JURIO)	THE TERME AND CONSTITUNE OF THE GENERAL THAT AUTHORIZES THE GROWN WATER GEC WITHED AN PART OF THIS CENTIFICATION*	
GENERAL CONTRACTOR			
BENATURH	une	DATE	
COMPANY			
SUB-CONTRACTOR RESPO	NSIBLE FOR		
MONATURE	TILE	DATE	
COMPANY		·	
WITHERSED BY OWNER			
SIGNATURE	tm.r.	DATE	
COMPANY	_		

THE CONTRACTOR BHALL BE RESPONSIBLE FOR COMPLANCE WITH ALL GENERAL AND SPECIAL REQUIREMENTS, CONDITIONS, AND PROVIDENS OF ALL APPLICABLE LOCAL, STATE, AND FEDERAL FRIMATE BISINED FOR THE POLICET.

WILD BURKE RELEVY ARROGATES, LTD. IE NOT NERPONTBLE FON INFLEMENTATION OF THE STORMANTER POLUTION INFORMATION PLAN REQLIDING MARTINANCE ARROFT REMOVE TO RENDER'N AN EXEMPTI CONTINUE ARRAINERS OF FOR COMPLIANCE OF THE CONTINUETORS INFO SUBJECTIVILETORS) WITH THE GENERAL INFERS FEMILY FOR STORM WATER DECIMALES FROM CONSTRUCTORS INTO ACCOUNTS.

#### INSPECTION AND MAINTENANCE TABLE

ACTIVITY	RESPONSIBLE PARTY	DURATION
MAINTENANCE OF STABLIZATION DURING CONSTRUCTION		DURING CONSTRUCTION AS NEEDED
OBSERVATION OF ETABLIZATION DUPING CONSTRUCTION		WEEKLY AND WIN 24 HRS AFTER RANFALL EVENT OF 0.5" OR OREATER
VEGETATION MAINTENANCE		TYEAR FROM COMPLETION
VEGETATION AND STABLIZATION MAINTENANCE		ONGOING FROM PROJECT

#### SGR. PROTECTION SCHEDULE



· SRRGATION NEEDED DURING JUNE AND JULY ··· PRICATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOO.

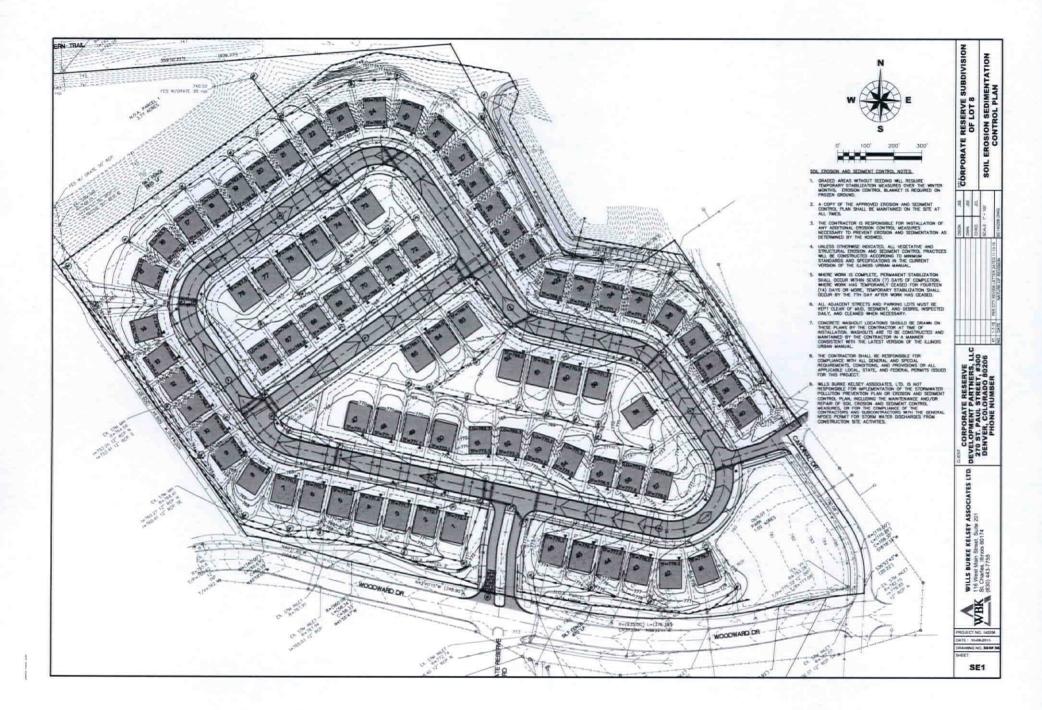
BRAMING NO. 1907 SHEET SW2

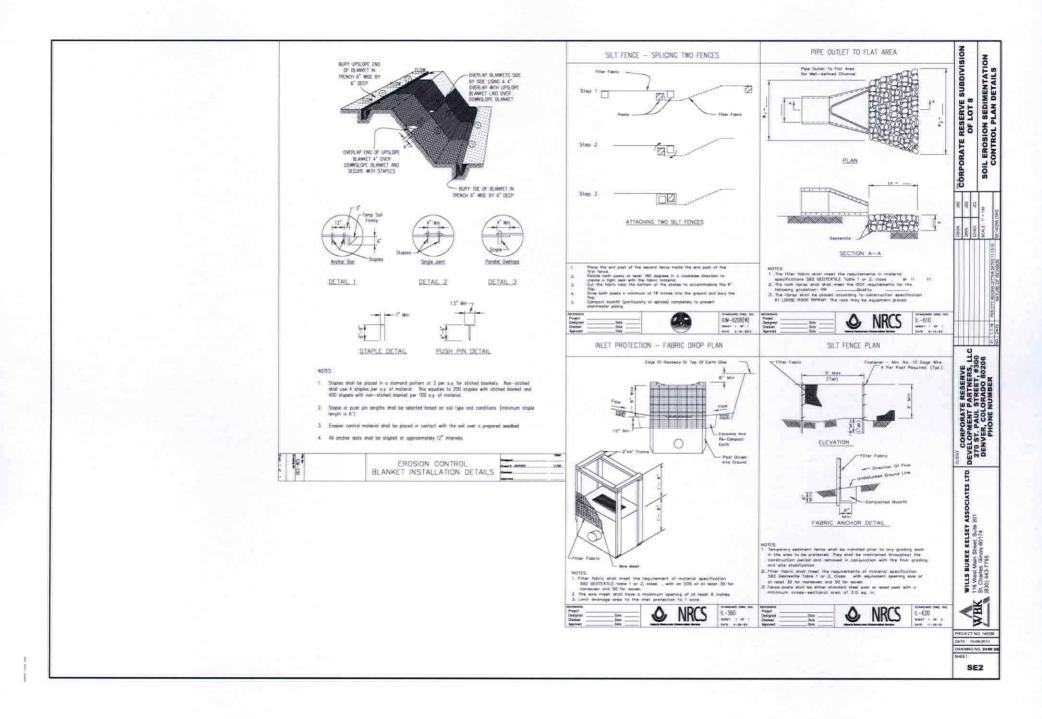
CORPORATE RESERVE SUBDIVISION OF LOT 8

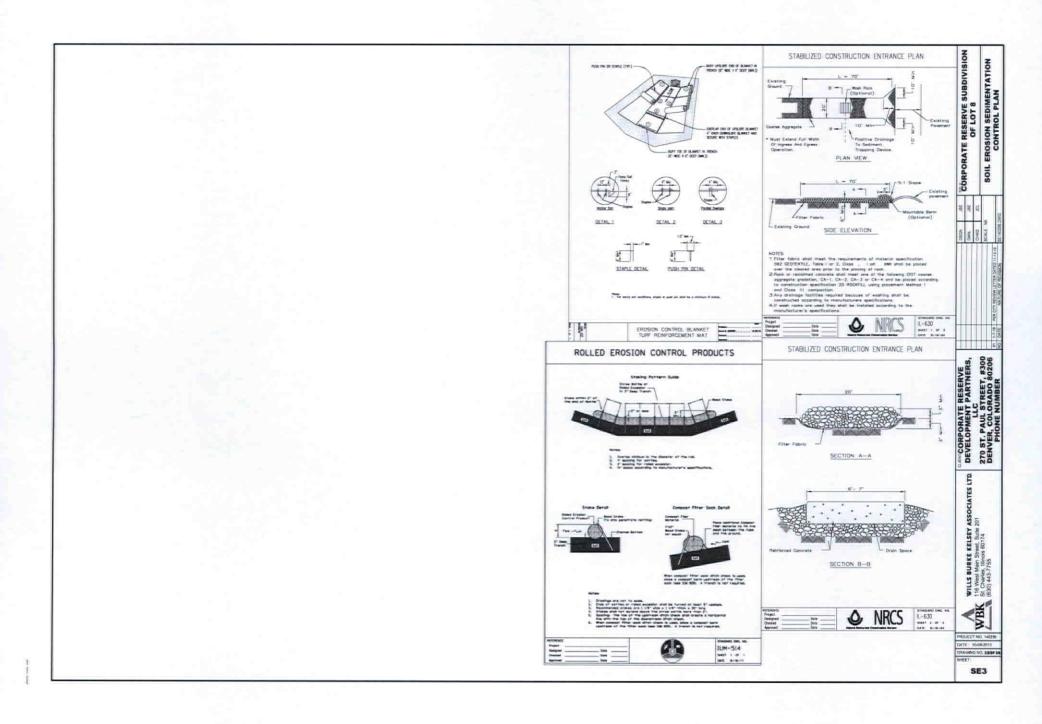
북 픽 도 용

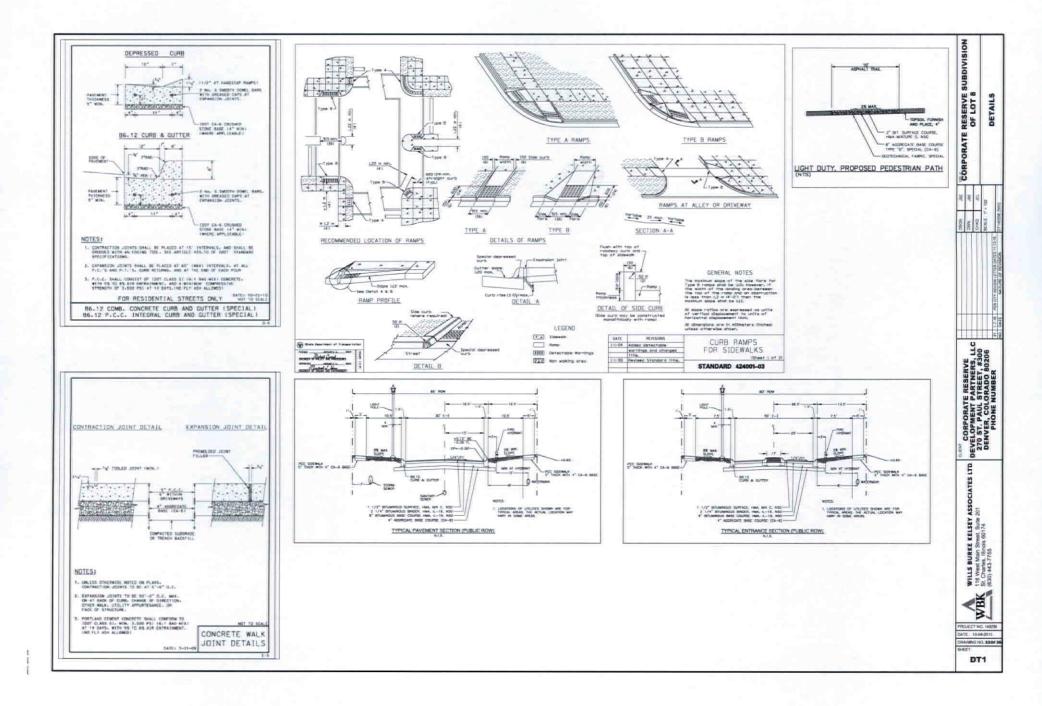
NMO DMND DMND

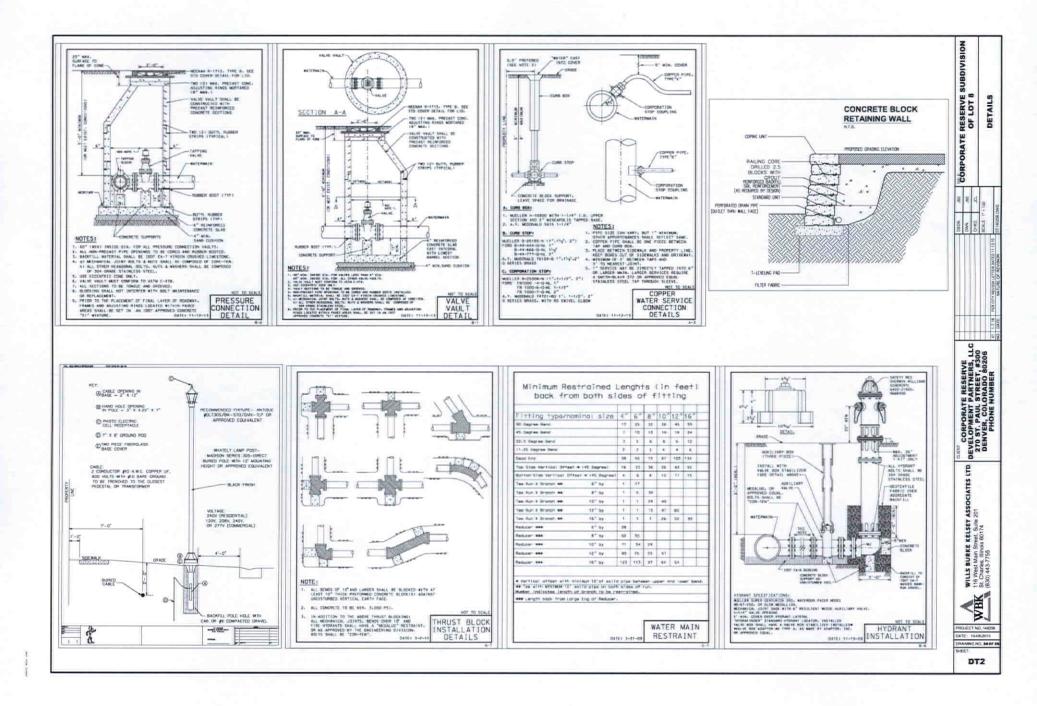
STORMWATER POLLUTION PREVENTION PLAN

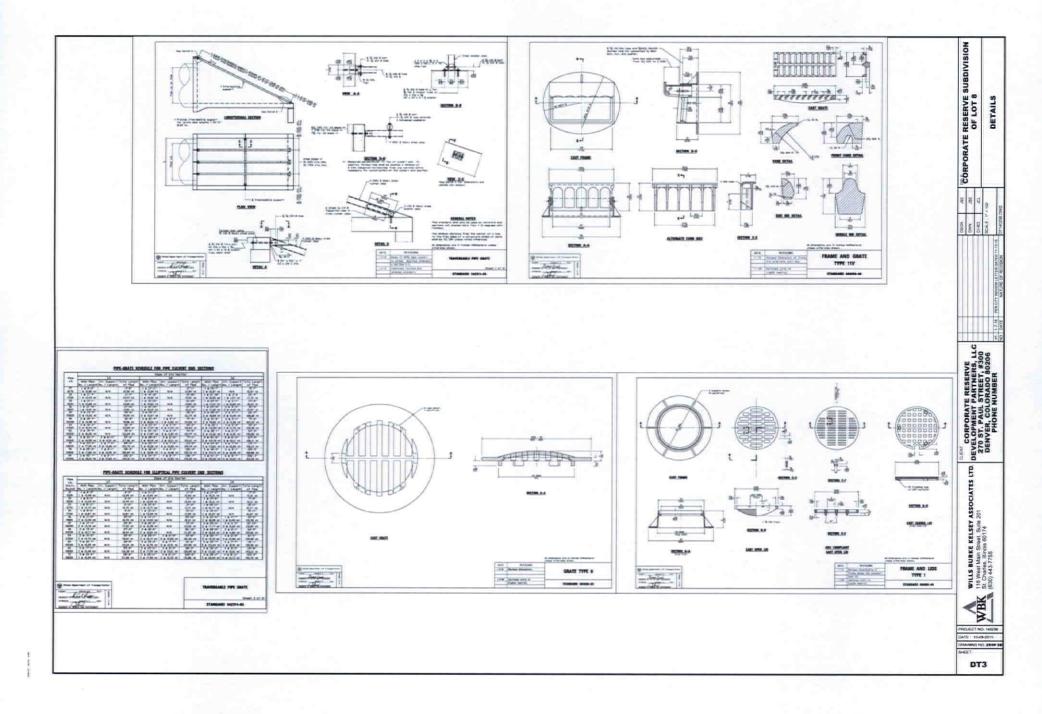


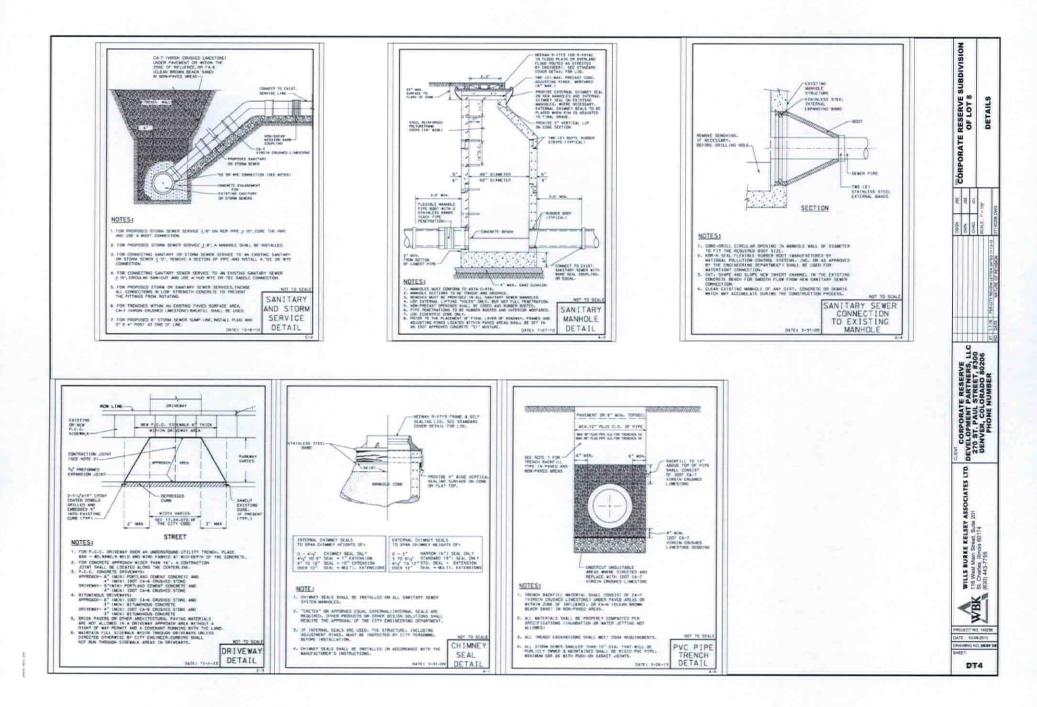


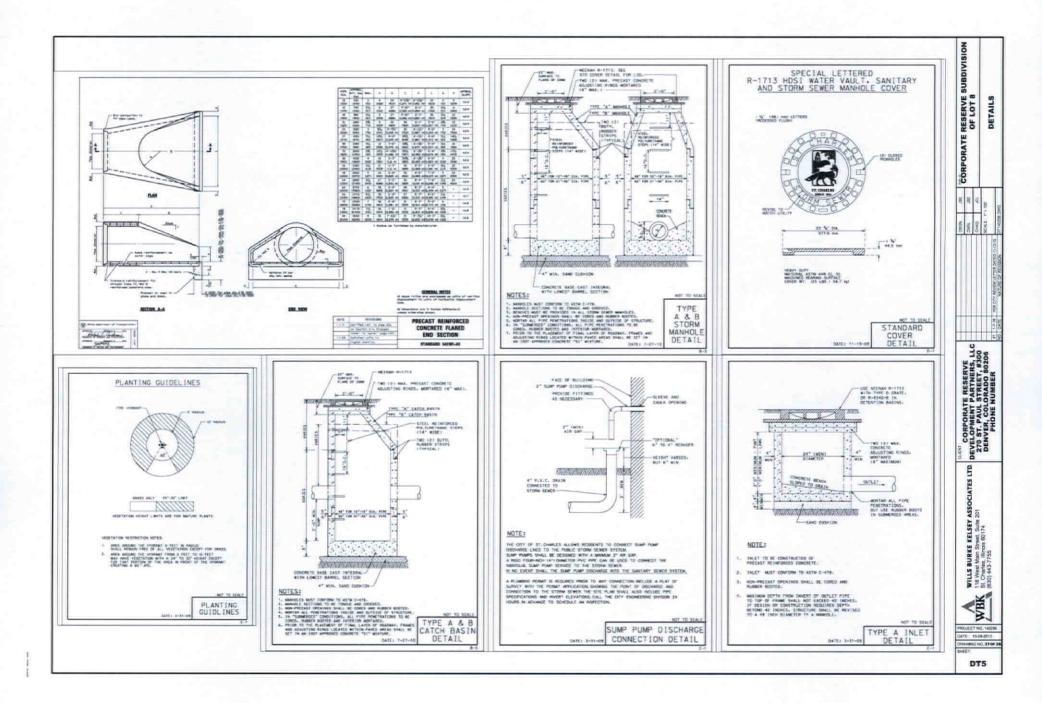


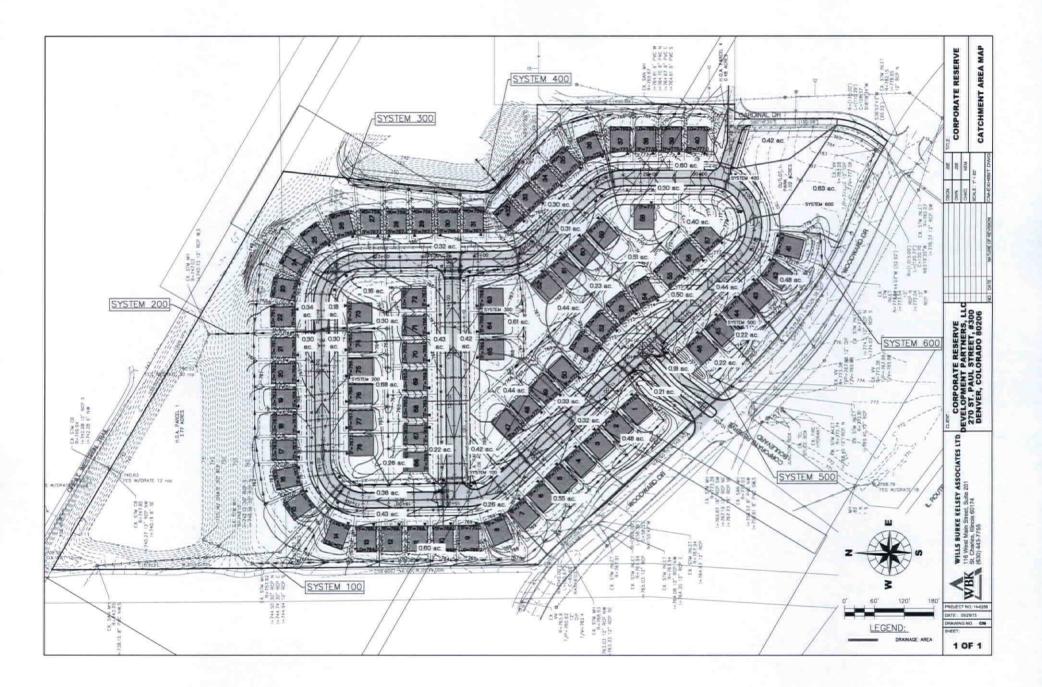


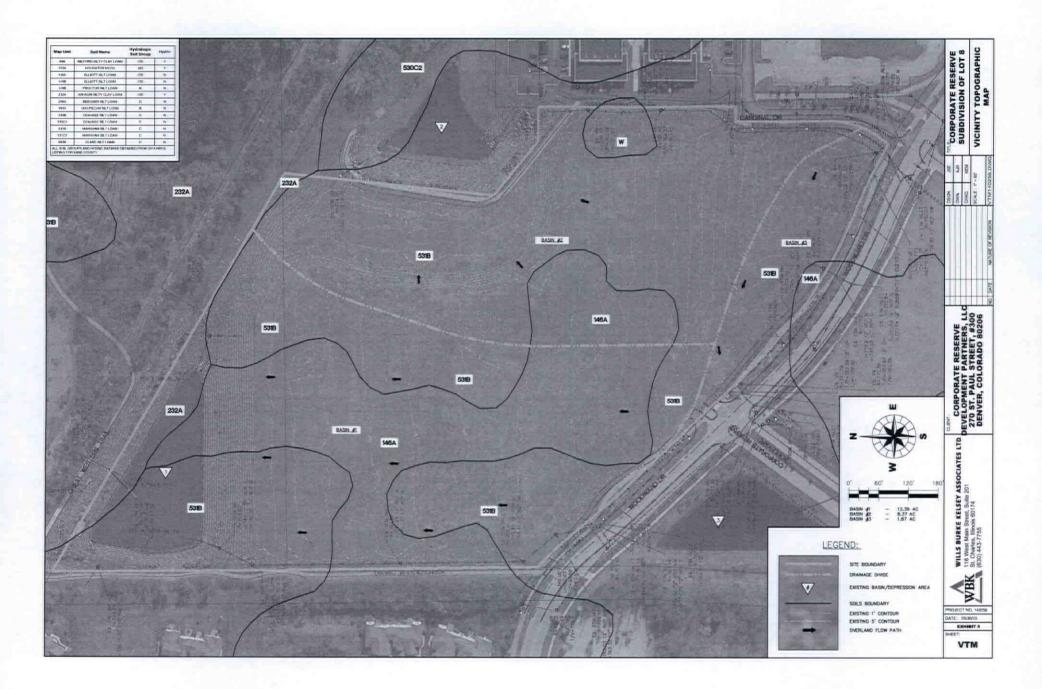


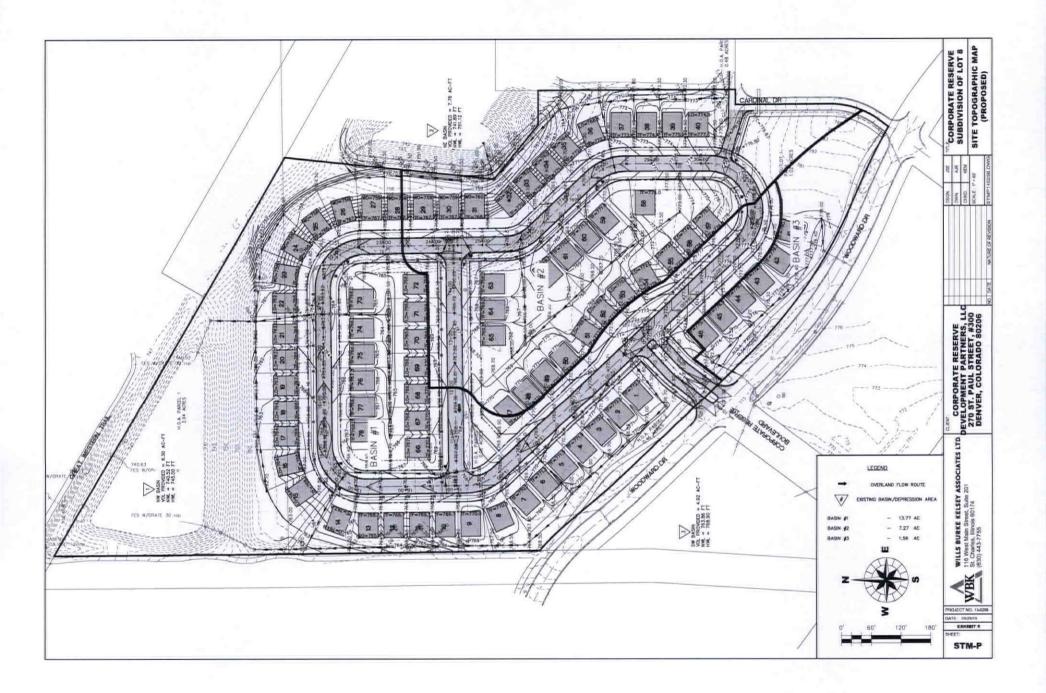


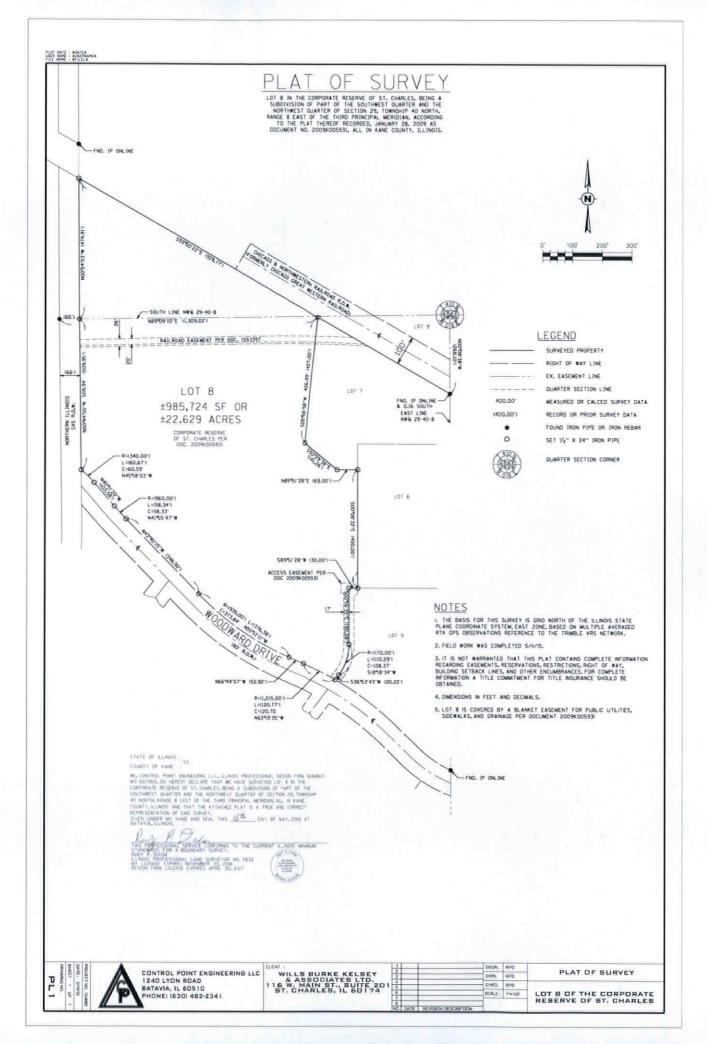


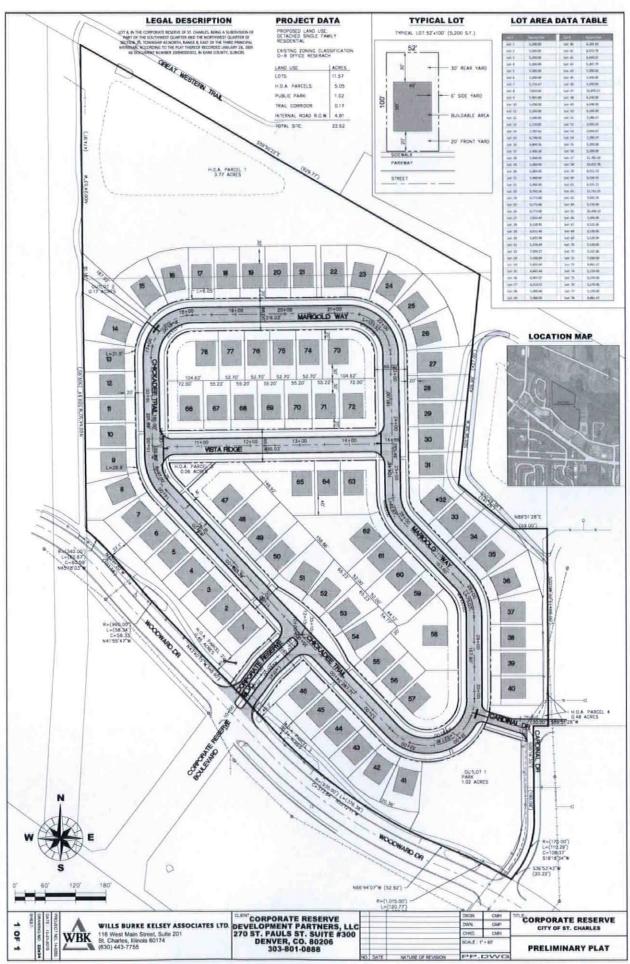












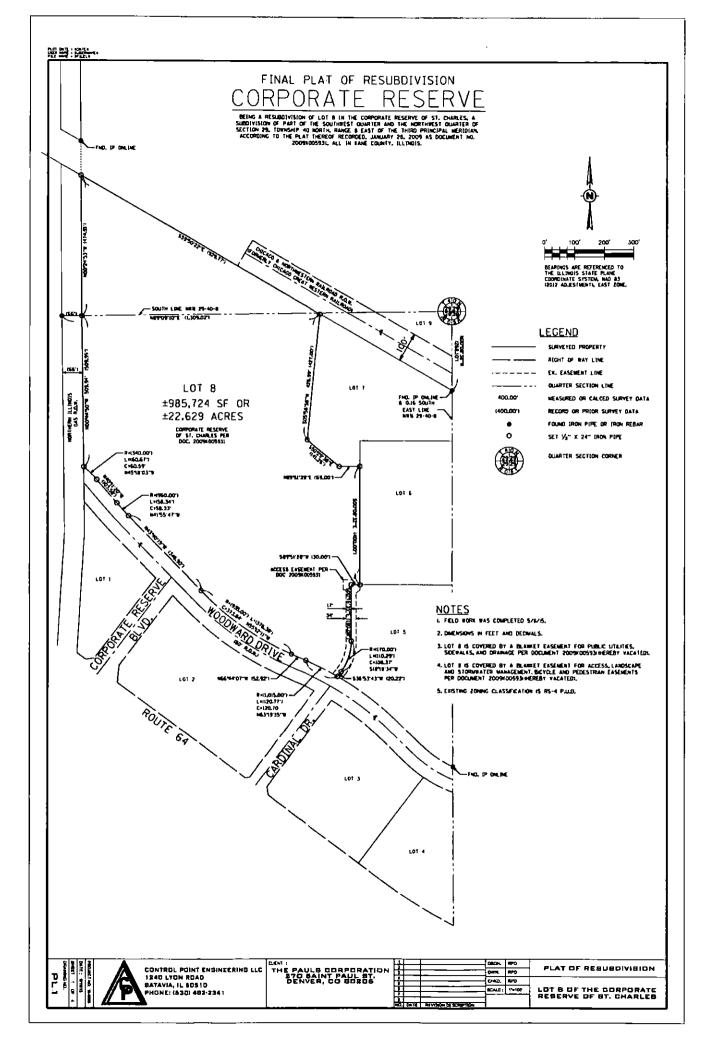
## EXHIBIT "E"

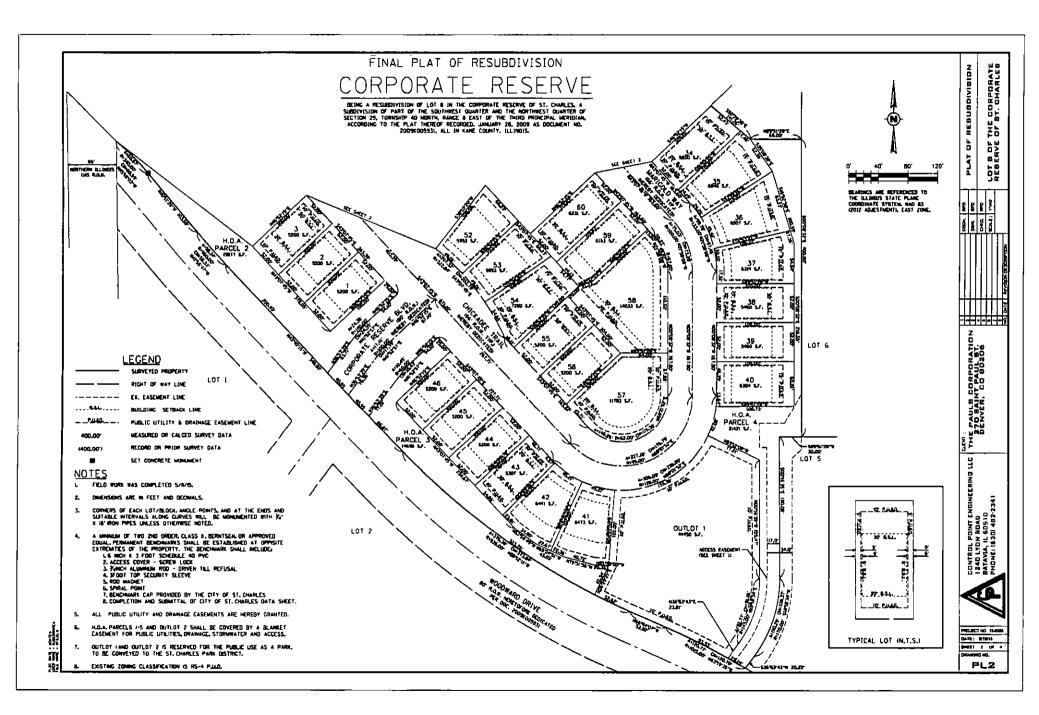
.

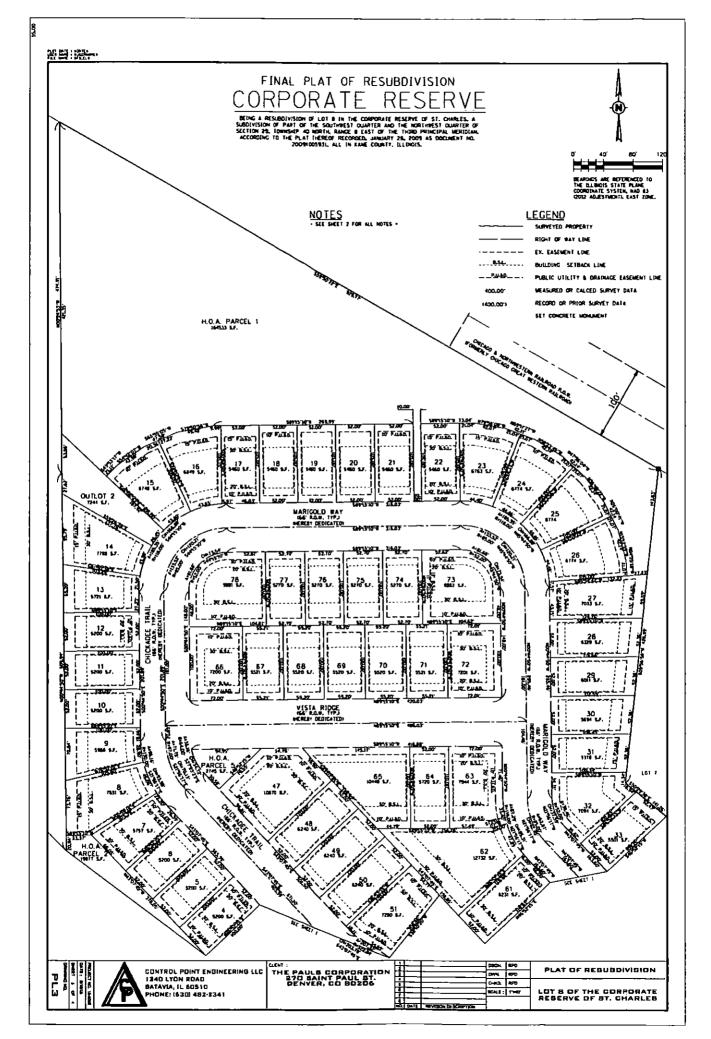
.

.

FINAL PLAT OF SUBDIVISION (4 pages)







### 2 St.

ARGENORY, CERTERATE

#### STATE OF BLOODS + COUNTY OF RANK 1 SS.

-THIS IS TO CERTOR THAT I, RUOT P, DIXON D, LINOIS LAND SUMPETOR NO. 1922, HAVE SUMPETED AND SUBDIVIDED THE FOLLOWING DESCRIMED PROFERTIO

LOT 0 IN THE CONFIGNATE RESERVE OF ST. CHARLES, BEIND A SUBDIVISION OF PAIT OF THE SOLUMEST CUARTER AND THE NORMATIS'S CANATISE OF SECTION 22. TORNEY, OR NORTH, ANALE 0 EAST OF THE THOSE PRINCIPAL NEXTOING, ACCORDING TO THE PLAT THEORY RECORDED, JOHNNY 72. 2007 AS DOCUMENT NO. 2009/00/0511 AL 19 FLAME CONFIL LINERS.

.....

### CONSTRUCTION CONTRACTOR

### STATE OF GLIMOIS I

COUNTY OF RAME 1 55.

"THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE DUNCH OF THE LAND DESCRIBED IN THE AMERICA PLATE, AND THAT HE HAS ELUCED THE SAME TO BUSINETIZE AND SUBJECTED AS INFOLATED FUBICA, FOR THE LISES AND FLAPTOSES THEREIN SET FORTH, AND DOES HEREIN ACCOMMENDER, AND ADD'T THE SAME UNDER THE STILL AND TITLE THEOR INDUSTION.

ALSO, FIN'S IS TO CONTENT THAT PROPERTY RELIES, SUBOTIONED argumentation, and to the dest of the owners executed and bolder, said subdivision lies entrafter within the limits of a content comments with subdivision to solve

DATED THIS \_\_\_\_ GAT OF \_\_\_\_\_ A.D. 20\_\_\_-

#### TALL TRATE

#### STATE OF ALLINOIS I COUNTY OF KINE I SS.

NOT OFT PLOLIC

#### COLORY CLOSE CORTINEASE

STATE OF RELIMOIS 1 COLINTY OF RANE 1 55

-----

#### PLAN CONVISSION CERTIFICATE

STATE OF ILLINDIS > CITY OF ST. CHARLES > 55

-AMMROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AL, 20\_\_\_\_ CITY OF ST. CHARLES PLAN COMMISSION

#### CHARGE MARK

PLEASE NETWON THE RECORDED WYLAR TO, CITY OF ST. CHARLES

### 

## FINAL PLAT OF RESUBDIVISION CORPORATE RÉSÉRVE

BEING A RESUBDIVISION OF LOT 8 IN THE CORPORATE RESERVE OF 51. CHARLES. A SUBDIVISION OF PART OF THE SOUTHREST QUARTER AND THE MOTHWEST QUARTER AND SECTION 23. TOWNSHIP 40 NORTH, RANCE & LAST OF THE THIND PRINCIPAL MERIDIAN. ACCORDING TO THE FLAT THEREOF RECORDED, JANUARY 28, 2009 AS DOCLMENT NO, 2009000331, ALL IN MARE COUNTY, LULINOIS.

#### CONTRACTOR ALL OF ALL AND A

### STATE OF LLDIOLS >

COLATY OF FAME > 25. "T DO HERGY CERTSY THAT THERE AND NO COLUMNERS OF ANY PHYSIC LARGENT OF FORTERS SPECIAL ASSESSMENTS OF ANY PHYSICS ACADIST INSTALLED IS THERE THAT HAVE NOT ANY ANY DOT ANY ANY OWN ACADIST THE TRACE OF LAND DECLORED IN THE PLAT.

COLLECTOR OF SPICIA, ASSESSMENTS
OATED AT \_\_\_\_\_\_ BLUNDIS, THIS \_\_\_\_ DAY OF \_\_\_\_\_
A.D. 20\_\_\_-

#### DIRECTOR OF COMPACITY OF MENT ON DESTINATE CERTIFICATE

#### STATE OF ALMOIS : COUNTY OF SAME 1 55.

T. , DO HEREBY CERTIFY THAT THE RECORDED DEPROVEMENTS HAVE BEEN INSTALLED, OF THE RECUIRED CLARANTEE BODD HAS BEED POSTED FOR THE COMPLETION OF ALL RECORDED LAND IMPOSTED.TS.

### 

DATED AT \_\_\_\_\_ DLUMDIS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, AQ, 20\_\_\_\_

#### CUTT COLOCE CERTIFICATE

"APPROVED and ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

CITY COLUCIL OF CITY OF ST. CHARLES, SILVINGS

MATCH ATTEST:

#### CITY CLERK

#### SPECIAL FLOOD HAZARD AREA CERTIFICATE

THIS IS TO CERTIFY THAT THE PARCES DELLOSD IN THIS RECORD OF GEED ARE NOT LOCATED IN THE SPECIAL FLOOD HARMON AREA MENTIFIED FOR THE CITY OF 51. CHARLES, BLUDO'S BY THE FLOODA. CHARGENET MANAGEMENT ACCOUNT ON THE FLOOD INSURANCE NATE NAP. PARE, NO, 1708/COCRAM DATED ACCOUNT, 2009.

#### ALLINOIS RECUSIONED LAND SURVEYOR NO. 3032

#### STORMATER OUTENTION EASEMENT PROVISIONS

NENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF \$7. CHARLES AND TO THEIR SUCCESSIONS AND ASSIGNS. IN. UPOR ACTIONS, OVER, UNDER, AND THROUGH THE AREAS SHORN BY DASHED LINES AND LABELED "STORWATER DETENTION EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING CONSTRUCTING, INSPECTING, OPERATING, SEPLACING, RENEWING, M. TENING, ENLANGING, REMOYING, REPAIRING, C. CANING, AND MAINTAINING STORM SEWERS, DRAINAGE BAYS, STORM WATER DETENTION AND RETENTION AND ANY AND ALL MANAGERS, FORTS, CONNECTIONS, CATCH BASINS, AND INTHOUT LIMITATION, SUCH 67-68 INSTALLATIONS AS WAY BE REDUCKED TO FURNESS STORAFFATER DETENTION. THE RIGHT OF ADDESS ACROSS THE REAL ESTATE PLATTED NEREIN FOR THE HELESSARY PERSONNEL AND ECOSPHERT TO MAKE ANY DR ALL OF INE ABOVE NORK. NO BUILDING SHALL BE PLACED ON SAID EASEMENT PREMISES WITHOUT PRIOR WRITTEN CONSENT FROM THE CITY OF ST. CHARLES. THE RESPONSIBILITY OF MAINTAINING THE DETENTION AREA EASEMENT SHALL BE BINDING OF THE HEIRS, ERECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGNS OF THE LANDOWNERS. NO PERSON SHALL DESTROY ON WOOITY SLOPES OR OTHERDISE AFFECT THE DETENTION WOLLDE DETENT HAVING FIRST RECEIVED WRITTEN APPROVAL FROM THE CITY OF ST. ONARLES. THE CETY SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO RESTORE ANY DETENTION VALUES LUSS I THREADY UNAUTHORIZED ACTIVITIES.

PORTS, MARY 1989 TRANSFE REPORTS, TRANSFER

A PERMINENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC LIBLITY COMPANIES OF ANY KIND OPERATING LINDER FRANCHISK GRANTING THEM EASEMENT FIGHTS FROM SAID CITY OF ST. CHARLES. INCLUDING BUT NOT LIMITED TO, AMERITEDN AND NOTOR AND TO THEIR SLECESSORS I ASSIGNS GEREIN COLLECTIVELY INTERNETS TO AS "CRANTEES"). IN. LIPON, ACROSS, OVER, LINCER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY AND DRADWACE EASEMENT" ON THE PLAT OF SUDDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, DEPECTING, OPERATORS, REPLACING, RENEWING, ALTERING, ENLANGING, RENOVING, REPAIRING, CLEARDIG, AND MADITATIONS ABOVE CROUND AND INDERCEDURD DECTRICE STREES, CARLE TELEVISION, COMMUNICATION, CAS, TELEPHONE OR OTHER LITELITY LINES ON APPLATEMANES, SANITARY AND STORM SEVERS, ORADINACE MAYS, STORM WATCH DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANNELES, HTDRAM'S, POPTS, COMPETITIONS, CATCH BASING, INJEVALD BODES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TODETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NEELESSARY PERSONNEL AND EQUIPMENT TO MAKE AN OF ALL OF THE ABOVE WORK. THE PERMANENT NON-EXOLUSIVE EASEMENT IS KINEDY BESERVED FOR AND GRANTED TO THE LITY OF ST. CHARLES AND THE RESPECTIVE BLOCESSORS AND ASSIGNS FOR MADITADIDAD THE UNINTERNATED AND UNINFEDED CONVEYANCE. FLOW AND REPORT OF SUFFACE STORE WATCH ACROSS AND LOCAL DIF AREAS DESIGNATED ON THIS PLAT AS DRAINING EASTMENT. THE RENT IS NEREBY GRANTED TO SAID GRANTEES TO CUT DOWN, THIN, OR REMOVE ANT TREES, SHRUBS, OR OTHER PLANTS THAT DRIENEDE BLIN TH DRADUAGE MAYS AND OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LOUTATION, DL. ON, LPON OF ACROSS. INCER. OR THROUGH SAID EASEMENTS.

NO FORMAGENT BUILDINGS, THESS, GARGUES, SHRARS, OR BEDRING SMALL BE PLACED ON ON IN SAID CASEGONT, BUT THE EASDBAT AIRSS MAY DE USED FOR PARKING, FRECESS, SDERAMES, AND ONES PLAPOSES THAT DO NOT DITERFERE WITH THE ADDRESAID USES AND RIGHTS, ONES WA BASEGONT IS USED FOR STORM OF SANDHIST SERDIS, OTHER UTALITY INSTALLATIONS SAID. STORM OF SANDHIST HERDER WITH THE CASEGONT IS USED FOR STORM OF SANDHIST INSTALLATERS, AND REAL AND THOSE MAINCED BY THE CITY OF ST, COMPLES, SAID CITY OF THE AND SCHED OF SERVICE OF ST, OWNES, SAME BE SAIDLECT TO THE PHOLOMOUSLE OF THE CITY OF ST, OWNES, SAME BE SAIDLECT TO THE OPDIMAMESS OF THE CITY OF ST, OWNES, SAME BE SAIDLECT TO THE OPDIMAMESS OF THE CITY OF ST, OWNES, SAME BE SAIDLECT TO THE OPDIMAMESS OF THE CITY OF ST, OWNES.

FOLLOWIDG ANY NORE TO BE POPPONDED BY THE GRANTERS IN THE DERIGIS OF 115 BASEMENT FIGHTS GRANTED HEREIN, THE GRATERS SHILL HARE NO DECENTION WITH RESPECT TO SUBFACE RESTORATION INCLUDING, BUT ANT LIMITED TO, THE RESTORATION, REPAIR, OS REPLACEDENT OF ANY LIMITED TO, THE RESTORATION, REPAIR, OS REPLACEDENT, BE OBJECTED FOLLOWING ANY SUCH TORE, TO BACKFLL AND MOUND SO AS TO RETAIN SUCH TORE, REMOVE GEBRIS, MO LEWE THE AREA IN GENERALLY CLEAN AND WORKMALLINE COMPILIES.

#### PUBLIC ACCESS

PERMISENT INCIDENTIAL EXCENTS AND INTERPENTION AND CAMPTED TO THE CITY OF 61, DUAL 15, DAL UNDER ACCOSS, OVER, MORE AND TREADLE THE AREAS 5-0000 BY DAVED LIVES AND TREADLE THE AREAS 5-0000 BY DAVED LIVES AND THE PLAT OF MADING THE PREDATE OF THE PLAT OF MADING THE THEORY AND OTHER PREDATE EXCENTION OF THE PLAT OF MADING AND THE THE OFFICIAL STATES AND OTHER OF ALL CITY ONE OF THE PLAT OF MADING ANT THESS SHOULD BE SAUGHTS THAT DO ALD DUAL STATES AND OTHER PLATORS AND THE PLATORS AND THE PLATORS AND THE PLATORS AND THE AREAS AND THE ALL CITY OF ALL DUALS. THE ALL OF ALL DUALS AND THE PLATORS AND ALL THE ALL CITY OF ALL

		THE PAULS CORPORATION	1 1V 7 .	1378		DSDN. DWN.	RP0 RP0	PLAT OF RESUBDIVISION
/P	1240 LYON ROAD BATAVIA, IL 60510 Phone: (630) 482-2341	DENVER, CO BUZOS			· · · · · · · · · · · · · · · · · · ·	CHRD. BCALE :		LOT 8 OF THE CORPORATE Reberve of 8t. Charles

## EXHIBIT "F"

### **PUD DEVIATIONS**

Table 17.12-2 Residential District Bulk Requirements – RS-4 District					
Minimum Lot Area     5,200 sq. ft.					
Minimum Lot Width	52 ft.				
Maximum Building Coverage	38.5%				
Minimum Interior Side Yard	6 ft.				

# EXHIBIT "G"

## SUMMARY OF MONOTONY CODE REGULATIONS

.

# **CORPORATE RESERVE ANTI-MONOTONY STANDARDS**

### I. Single Family Detached Community

a. No house shall have the same configuration or the same color package that is within two (2) houses on either side or on any of the three (3) houses most directly across the street from the subject house except in the event lot lines do not match up or are "staggered" across from a subject house, in which event only 2 lots directly across the street shall be restricted.

### **CORPORATE RESERVE MONOTONY RESTRICTIONS**

- II. Definitions:
- a. Configuration a combination of product type, elevation, exterior fenestration (siding or stone) and color package.
- b. Color Package a combination of siding, stone, trim/gutter, accent, and roof colors incorporated into the exterior color fenestration of a single house.

State of Illinois ) ) ss. Counties of Kane and DuPage )

# Certificate

I, NANCY GARRISON, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on January 19, 2016, the Corporate Authorities of such municipality passed and approved Ordinance No. 2016-Z-2, entitled

"Motion to approve an Ordinance Amending Ordinance No. 2008-Z-18 (Corporate Reserve of St. Charles PUD) and Granting Approval of a Map Amendment, New Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Lot 8 – The Corporate Reserve of St. Charles."

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2016-Z-2, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on January 25, 2016, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 19th day of January, 2016.



Nancy Gameson Municipal Clerk