



**PLAN COMMISSION AGENDA ITEM EXECUTIVE SUMMARY**

<b>Project Title/Address:</b>	Generation Rescue - Tyler & 64 Business Park PUD, Lot 2		
<b>City Staff:</b>	Ellen Johnson, Planner		
<b>PUBLIC HEARING</b>		<b>MEETING</b> 5/2/17	X

**APPLICATIONS:** PUD Preliminary Plan

**ATTACHMENTS AND SUPPORTING DOCUMENTS:**

Staff Report	Ordinance 2004-Z-14
Application for PUD Preliminary Plan	

**SUMMARY:**

The subject property is part of Lot 2 of the Tyler and 64 Business Park PUD. City Council approved the PUD in 2004 under Ordinance 2004-Z-14. A PUD Preliminary Plan was also approved at that time.

Vincent Fiore of Fiore Builders, Inc. has applied for PUD Preliminary Plan approval to develop the remaining building pad on Lot 2 with a clinic for Generation Rescue, a non-profit advocacy organization. Details of the proposal are as follows:

- Construct a one-story, approx. 5,100 sf building.
- Sidewalk along the east and south sides of the building, leading to the two entrances.
- Foundation landscaping.
- Play area on the north side of the building.
- Open space east of the building to allow for construction of a parking lot in the future, if needed.

Approval of a new PUD Preliminary Plan for the subject property is required to accommodate the proposal.

**SUGGESTED ACTION:**

Review the PUD Preliminary Plan.

Staff has found the application materials to be complete and the plan to be in conformance with the PUD ordinance and the Zoning Ordinance.

**INFO / PROCEDURE ON APPLICATION – PUD PRELIMINARY PLAN**

- Approval of engineering plans for development of property within a PUD- includes site, landscape, and engineering plans. (Application may also involve a subdivision of land.)
- Recommendation is based on compliance with the previously (or concurrently) approved Special Use for PUD standards and other city code requirements (including Zoning and Subdivision codes).

Community and Economic Development  
 Planning Division

Phone: (630) 377-4443  
 Fax: (630) 377-4062



**Staff Report**

**TO:** Chairman Todd Wallace  
 And the Members of the Plan Commission

**FROM:** Ellen Johnson, Planner

**RE:** Generation Rescue – Tyler & 64 Business Park PUD, Lot 2

**DATE:** April 28, 2017

**I. APPLICATION INFORMATION:**

**Project Name:** Generation Rescue

**Applicant:** Vincent Fiore

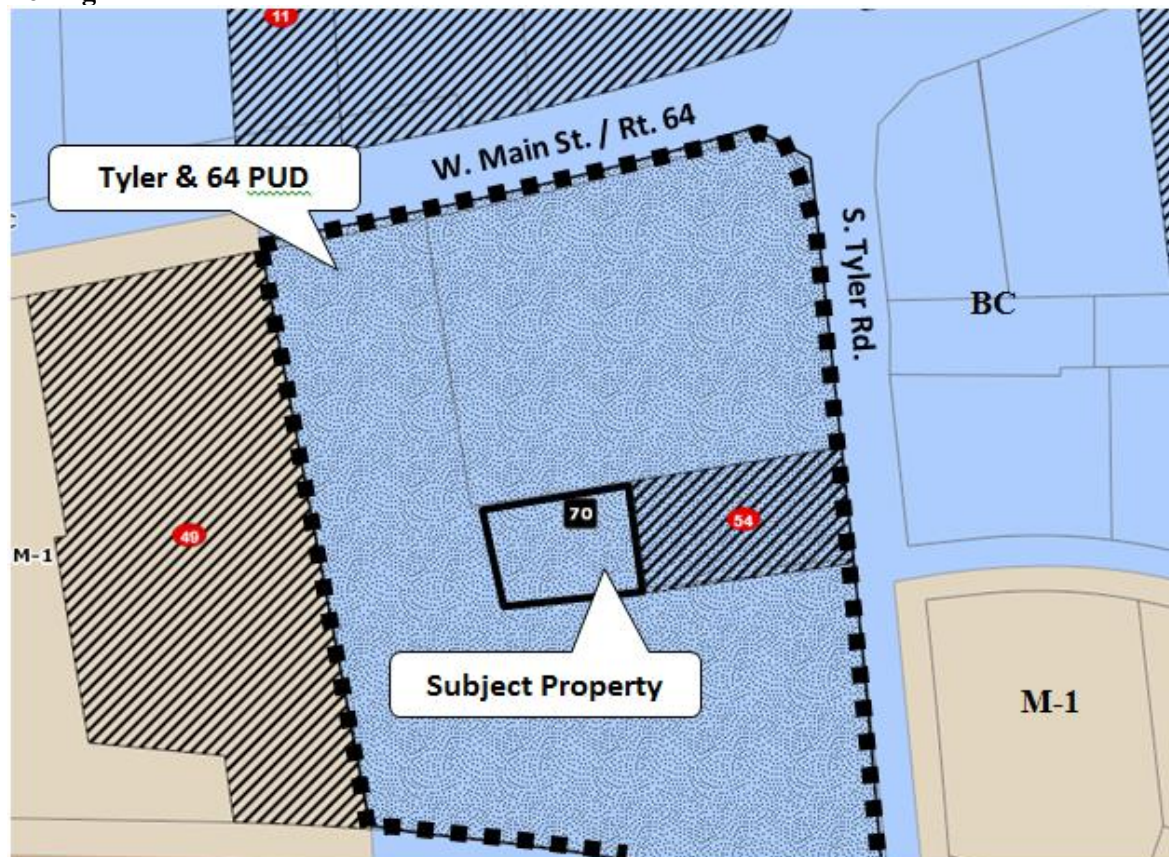
**Purpose:** Construct a clinic on the property

<b>General Information:</b>		
<b>Site Information</b>		
Location	<b>Unit 2 of Lot 2 in the Tyler &amp; 64 Business Park at the southwest corner of Tyler Rd. and Rt. 64</b>	
Acres	2.23 acres	
Applications	<b>PUD Preliminary Plan</b>	
Applicable Zoning Code	Ch. 17.14 Business and Mixed Use Districts	
Sections and PUD Ordinance	Ch. 17.24 Off-Street Parking, Loading & Access Ordinance 2004-Z-14 “An Ordinance Granting a Special Use as a Planned Unit Development (Tyler and 64 Business Park)”	
<b>Existing Conditions</b>		
Land Use	Vacant	
Zoning	BC- Community Business (PUD)	
<b>Zoning Summary</b>		
North	BC- Community Business (PUD)	Chrysler dealership
East	BC- Community Business (PUD)	Children of American daycare
South	BC- Community Business (PUD)	Stormwater detention area
West	BC- Community Business (PUD)	Office buildings
<b>Comprehensive Plan Designation</b>		
Neighborhood Commercial		

**Aerial**



**Zoning**



## **II. BACKGROUND**

### **A. PROPERTY HISTORY**

The subject property is part of Lot 2 of the Tyler and 64 Business Park PUD. City Council approved the PUD in 2004 under Ordinance 2004-Z-14 “An Ordinance Granting a Special Use as a Planned Unit Development (Tyler and 64 Business Park)”. A PUD Preliminary Plan was also approved with the ordinance.

The approved PUD includes two lots. Lot 1 was designated for development of the St. Charles Chrysler dealership, which was constructed in 2005. Lot 2 was approved for four (4) office buildings and a stormwater retention facility. Buildings #1 and #2 which are multi-tenant office buildings were constructed in 2006, along with the internal circulation system, shared parking lots, and stormwater facility per the approved PUD Preliminary Plan. Building #4 was constructed as a Children of American day care in 2012, upon a recommendation from Plan Commission and City Council approval of a Special Use for a Daycare Center, as well as a new PUD Preliminary Plan for the site.

### **B. PROPOSAL**

Vincent Fiore of Fiore Builders, Inc. has applied for PUD Preliminary Plan approval to develop the last remaining building pad on Lot 2, identified as Building #3, with a clinic for Generation Rescue, a non-profit advocacy organization. Details of the proposal are as follows:

- Construct a one-story, approx. 5,100 sf building.
- Sidewalk along the east and south sides of the building, leading to the two entrances.
- Foundation landscaping
- Play area on the north side of the building.
- Open space east of the building to allow for construction of a parking lot in the future, if needed.

Approval of a new PUD Preliminary Plan is required to accommodate the proposal because the plan differs from the approved PUD Preliminary Plan for the site. The following changes are the most significant:

- Building size has been reduced from 7,500 sf to 5,100 sf.
- The parking lot between Buildings #3 and #4 identified on the approved PUD Preliminary Plan will not be constructed at this time (see parking discussion below).

## **III. ANALYSIS**

Staff has performed an analysis of the submitted PUD Preliminary Plan to identify any deficiencies with the proposal as it relates to the standards established in the Tyler and 64 Business Park PUD and the Zoning Ordinance, City Code Title 17. The following is a description of staff’s analysis.

### **A. PROPOSED USE**

The applicant has stated that the building will serve two functions: a medical clinic for children with disabilities and a clinic for cosmetic surgery. The south entrance will be for the children’s clinic and the west entrance will be for the cosmetic surgery clinic.



Based on the information provided by the applicant and floor plan submitted for the proposed building, staff believes the use would be considered a Medical Clinic. Permitted uses in the Tyler and 64 PUD are listed in Exhibit III of the ordinance. “Medical and Dental Offices and Clinics” is identified as a permitted use. The Zoning Ordinance defines the use as follows:

***Medical/Dental Clinic.** A medical or dental office or clinic offering professional medical or dental services primarily on an out-patient basis. Such services may include examination and consultation, treatment, surgery, radiology, MRI, on-site testing laboratories, physical therapy, diagnostic services, training, administration, and other services to patients provided by licensed medical or dental professionals.*

**B. ZONING STANDARDS**

The table below compares the submitted plans with the applicable requirements of the Zoning Ordinance and the Tyler & 64 Business Park PUD. Because the subject property does not have public street frontage, all sides of the lot are considered interior side yards for the purpose of determining setback requirements. All applicable standards are met.

Category	Zoning Ordinance or PUD Standard	Proposed
<b>Min. Lot Area</b>	N/A	No Change
<b>Lot Width</b>	Layout approved as part of PUD	No Change
<b>FAR</b>	0.8	0.1 (includes all of Lot 2)
<b>Building Setbacks:</b>		
<i>North</i>	10 ft.	20.1 ft.
<i>East</i>	10 ft.	70.2 ft.
<i>South</i>	10 ft.	24.8 ft.
<i>West</i>	10 ft.	28.3 ft.
<b>Parking Requirement</b>	Medical Clinic: 5 spaces per 1,000 sf of net floor area @ 4,455 sf net floor area = 22 spaces	22 spaces (See discussion below)

The Tyler & 64 PUD ordinance contemplates a total of 188 parking spaces to be shared among the four buildings on Lot 2. Per the ordinance, this parking count would accommodate 45,560 sf total net floor area of professional/office uses. Out of the 45,560 sf, no more than 37,600 sf net floor area could be used as medical/dental clinics. The parking requirement for a professional/business office is 4 spaces per 1,000 sf of net floor area, and the parking requirement for medical/dental clinics is 5 spaces per 1,000 sf of net floor area.

Currently, a total of 169 parking spaces exist in the business park. The proposed plan adds two spaces, for a total of 171 shared spaces. The PUD ordinance contemplated an additional parking lot with 22 spaces to be constructed on the subject property, between the proposed building and Children of America. If constructed, this would equate to a total of 193 shared spaces. However, the applicant is not proposing to construct the additional parking lot at this time.

Staff examined the uses and net floor area of each existing use within the three buildings on Lot 2 to determine whether there is adequate parking to accommodate the proposed medical clinic without construction of the additional 22-space parking lot. Based on staff’s analysis, a total of 145 spaces are required for the current uses in the PUD. Including the proposed building, a total of 167 spaces are required, while 171 spaces are proposed.

Therefore, the parking count is adequate to accommodate the proposed use and other uses in the PUD, with 4 excess spaces.

If additional medical uses establish within the PUD in the future, it will need to be verified that the existing parking count is adequate. The planned parking lot on the subject property could be constructed in the future, if necessary. The proposed building has an unfinished basement. If the basement is ever finished, additional parking will need to be constructed.

#### C. LANDSCAPING

Specific landscaping requirements are not provided in the Tyler & 64 PUD ordinance. The ordinance states that the property is to be landscaped in conformance with the Landscape Plan approved as part of the PUD Preliminary Plan.

Staff has compared the planting areas, types and number of plantings illustrated on the proposed Landscape Plan with the approved Landscape Plan. The proposed plan is in general conformance with the approved plan, including foundation landscaping along the east, south, and west sides of the building, and a comparable amount of plantings and types of plantings. The proposed plan adds foundation landscaping along the north side of the building, and proposes a total of 27 more plantings than shown on the approved plan.

##### ***Staff Comment:***

- A portion of the lot is left vacant to allow for construction of a parking lot in the future. The Landscape Plan does not include this portion of the lot. This area should be maintained as turf grass. Based on aerial imagery, it appears that topsoil and seeding is needed in this area.

#### D. BUILDING DESIGN

The Tyler & 64 PUD ordinance does not provide building design requirements or guidelines for the subject property. The ordinance states, “Building elevations for Office Buildings Three and Four on Lot 2 must be approved by the City Council, upon recommendation by the Plan Commission, prior to issuance of any building permits for these buildings.” Therefore, building elevations will need to be approved as part of the PUD Preliminary Plan.

Building elevations have been submitted. The primary wall material is brick, in keeping with the rest of the buildings in the PUD. A hipped roof is proposed, also consistent with the existing buildings.

##### ***Staff Comments:***

- Divided pane windows are shown on the colored rendering, while double-hung windows are shown on the elevation drawings. The applicant should clarify the intention for the windows.
- The brick color shown on the colored rendering does not match that of the existing buildings in the PUD. The PUD ordinance does not require the buildings to match in color, however the Plan Commission may feel this is desirable.

E. ENGINEERING REVIEW

The subject property is served by existing utility infrastructure and stormwater detention. Development Engineering has provided the applicant with minor technical comments related to water service.

IV. **SUGGESTED ACTION**

Review the PUD Preliminary Plan.

Staff has found the application materials to be complete and the plan to be in conformance with the PUD ordinance and the Zoning Ordinance.

V. **ATTACHMENTS**

- Application for PUD Preliminary Plan; received 4/19/17
- PUD Preliminary Plans
- Ordinance 2004-Z-14

# CITY OF ST. CHARLES

TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

## PUD PRELIMINARY PLAN APPLICATION

<b>For City Use</b>	
Project Name:	Tyler + 64 PUD - Lot 2 Generation Rescue
Project Number:	2017 -PR- 008
Application Number:	2017 -AP- 015



To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

<b>1. Property Information:</b>	Location:	157 SOUTH TYLER ROAD ST CHARLES 60174	
	Parcel Number (s):	09-26-328-046-0000	
	Proposed PUD Name:	TYLER + 64 BUSINESS PARK PUD	
<b>2. Applicant Information:</b>	Name	VINCENT FIONE	Phone 312-969-9373
	Address	P.O Box 193 BARRINGTON ILLINOIS 60011	Fax 630-855-5803
			Email homes@fiorebuilders.net
<b>3. Record Owner Information:</b>	Name	GOOD FELLOWS, LLC	Phone 310-699-6311
	Address	10719 NONWALK BOULEVARD SANTA FE SPRINGS, CALIFORNIA 90670	Fax
			Email CANDACE.MCDONALD@ generationrescue.org



**Please check the type of application:**

- New proposed PUD- Planned Unit Development (Special Use Application filed concurrently)
- Existing PUD-Planned Unit Development
- PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

**Subdivision of land:**

- Proposed lot has already been platted and a new subdivision is not required.
- New subdivision of property required:
  - Final Plat of Subdivision Application filed concurrently
  - Final Plat of Subdivision Application to be filed later

**Attachment Checklist:**

*If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

*Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.*

**APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

**REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**PROOF OF OWNERSHIP and DISCLOSURE:**

a) a current title policy report; or

b) a deed and a current title search.

*(SEE ATTACHED AUTHORIZATION LETTER)*

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

**LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

**PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

**SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

N/A

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

**ENDANGERED SPECIES REPORT:**

N/A

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

**PLANS:** (ELEVATIONS INCLUDED)

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

**SITE/ENGINEERING PLAN:** (INCLUDED)

**PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with

the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
  - Location, height, intensity and fixture type of all proposed exterior lighting
  - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

**SKETCH PLAN FOR LATER PHASES OF PUD:**

N/A For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

**ARCHITECTURAL PLANS:** (ELEVATIONS INCLUDED)

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

**TREE PRESERVATION PLAN:**

N/A Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

**LANDSCAPE PLAN:** (INCLUDED)

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

**STORMWATER MANAGEMENT:** (INCLUDED)

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

**SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

N/A If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.



❑ **PUBLIC BENEFITS, DEPARTURES FROM CODE:** (N/A)

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

❑ **SCHEDULE:** Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

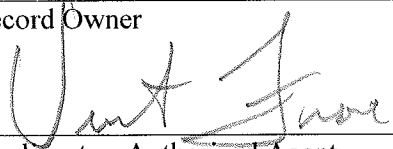
❑ **PARK AND SCHOOL LAND/CASH WORKSHEETS**

N/A For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

❑ **INCLUSIONARY HOUSING SUMMARY**

N/A For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

Record Owner	Date
	4/18/2017
Applicant or Authorized Agent	Date

OWNERSHIP DISCLOSURE FORM  
LIMITED LIABILITY COMPANY (L.L.C.)

STATE OF ILLINOIS )  
 ) SS.  
KANE COUNTY )

I, Candace McDonald being first duly sworn on oath depose and say that I am  
Manager of Goodfellows LLC, an Illinois Limited Liability  
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

- Samir Patel \_\_\_\_\_
- Candace McDonald \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

By: Candace McDonald Manager

*S-e-e attached CA Jurat 7/10*

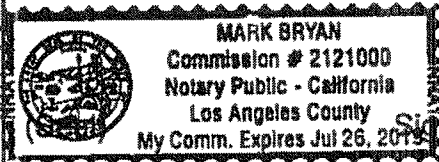
Subscribed and Sworn before me this \_\_\_\_\_ day of  
\_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Notary Public

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Los Angeles

Subscribed and sworn to (or affirmed) before me on this 19th  
day of April, 2017, by Candace Anne  
McDonald  
proved to me on the basis of satisfactory evidence to be the  
person(s) who appeared before me.



Signature

A handwritten signature in black ink, appearing to read "Candace Anne McDonald", written over a horizontal line.

**GOODFELLOWS, LLC  
10719 NORWALK BOULEVARD  
SANTE FE SPRINGS, CALIFORNIA 90670**

City of St. Charles  
2 East Main Street  
St. Charles, Illinois 60174-1984

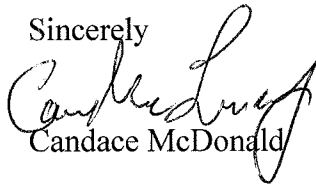
April 18<sup>th</sup> 2017

Subject: Generation Rescue, 157 S. South Tyler Road St. Charles 60174

Planning Commission:

Please accept this letter as written permission to authorize Vincent Fiore to be the Applicant for the PUD Preliminary Plan Application for the above referenced property.

Sincerely



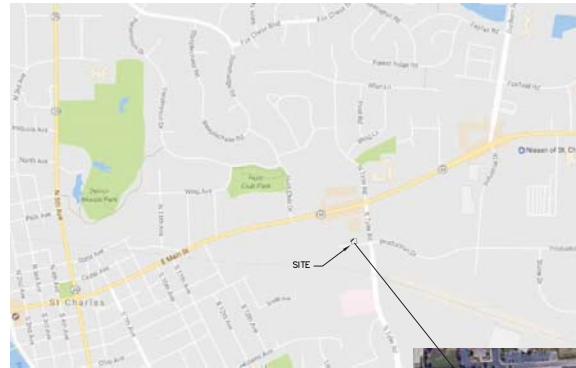
Candace McDonald



# Site Improvement Plans Generation Rescue St. Charles, IL

**SITE BENCH MARKS**

Benchmark #1  
"X" cut in back of curb at southwest corner of site.  
Elev=740.27 (NAVD 88)



LOCATION MAP  
NTS



INDEX OF SHEETS

1. Cover Sheet
2. General Notes and Specifications
3. Existing Conditions/Erosion Control
4. Site Geometry/Grading Plan
5. Construction Details

**LEGEND**

Existing    Proposed

- |  |  |                   |
|--|--|-------------------|
|  |  | Manhole           |
|  |  | Catchbasin        |
|  |  | Storm Inlet       |
|  |  | Curb Inlet        |
|  |  | Water Valve Vault |
|  |  | Fire Hydrant      |
|  |  | Watermain         |
|  |  | Sanitary Sewer    |
|  |  | Storm Sewer       |
|  |  | Flared End Sec.   |
|  |  | Contours          |
|  |  | Drainage Flows    |
|  |  | Street Light      |

State of Illinois    )  
                                  )SS  
County of Kane     )

I, Raymond G. Ulrich, do hereby certify that to the best of my knowledge and belief, that these plans have been prepared in accordance with the requirements of the City of St. Charles.

Dated at St. Charles, Illinois this 18th day of April, 2017.

Raymond G. Ulrich, IL Licensed Professional Engineer  
Engineer No. 052-040213, Expires 11/30/2017



TOPOGRAPHIC SURVEY BY:

Taurus Engineering LLC

Dated: April 18, 2017



DATE	REVISION

PREPARED FOR: JV Construction Enterprises P.O. Box 193 Barrington, IL 60011 (312) 969-9373
PREPARED BY: TAURUS ENGINEERING L.L.C. 3N655 E. Laura Ingalls Wilder Road St. Charles, IL 60175 (630) 377-3997 tauruseng@sbcglobal.net

**EARTHWORK, PAVING**

1. The Contractor shall familiarize himself with the plans and shall notify the engineer at once of any discrepancies. The contractor shall examine the drainage patterns shown on the plans and make certain that all gutter floors are pitched properly to achieve the drainage pattern.

**GENERAL**

- All work shall be performed in accordance with the current edition of the Illinois Department of Transportation's "Standard Specifications for Road and Bridge Construction."
- Pavement, curb and gutter, sidewalks, and storm sewer shall conform to Standard Specifications for Road and Bridge Construction, IDOT.
- The Contractor shall be responsible for providing safe and healthful working conditions throughout the construction of the proposed improvements.
- The contractor will be responsible for notifying each of the utility companies before any work is started. All utilities must be staked prior to construction.
- The Engineer will be given seventy-two (72) hours notice for any staking that is to be done. Each of the various items of work covered by this contract will be staked once. Additional staking required due to the contractor negligence shall be paid for by the Contractor at the current hourly rate.
- No construction or ground disturbance shall commence prior to pre-construction meeting. The Contractor shall inform the City Public Works Department Seventy-two (72) hours before work commences on each category of construction, i.e. water main, sanitary, street and drainage improvement. A 72 hour notice shall be given for any road closure and any item that requires field testing and inspection such as water main testing, roadway shut-downs, or sanitary sewers air or mounded testing.
- The Contractor is responsible for water main construction, sanitary sewer construction and drainage improvements (underground work) shall dispose of all surplus excavated material from trenches or structure excavations and shall deposit said surplus materials on the site as directed by the Engineer. No additional compensation shall be paid and soil work is incidental to the other items of construction.
- The underground contractor shall be responsible to place on grade and coordinate with other Contractors all underground structure frames such as catch basins, inlets, manholes, hydrants, Buffalo boxes, valves, etc. No additional compensation will be paid and soil adjustments shall be considered incidental to other items of construction.
- The Owner will furnish the Contractor with lines and grades necessary to the proper prosecution and control of the work. The contractor shall call the attention of the Engineer's representative to any errors of discrepancies which may be suspected in lines and grades which are established by the Owner and shall not proceed with the work until any lines and grades which are believed to be in error have been verified or corrected by the Owner's representative.
- Contractors shall keep public street pavements clean of dirt and debris and when necessary, clean pavements on a daily basis.

**Engineers/Surveyors to rod iron pipe at all property corners.**

- All subgrade and base course shall be inspected and tested in the presence of the City Engineer or City Public Works representative. The Developer's representative shall be present at road tests to determine the suitability of the subgrade and base course. Compaction tests are required on binder, B1M and surface courses. All reports including curbs and gutter cylinder tests shall be submitted within 7 days of completion.
- All on-site and off-site improvements shall be constructed in accordance with the requirements of the "City of St. Charles".
- Permits shall be obtained from all governmental agencies having jurisdiction prior to the initiation of construction activity.
- City Public Works Department, City Police Department, and the Fire District shall be notified a minimum of seventy-two (72) hours prior to road or water main shut-downs, all in accordance with pre-construction meeting coordination.

**16. An electronic copy, and a reproducible mylar set (signed and sealed by a professional engineer) and two (2) paper copies of "Record Drawings" shall be submitted to the City prior to any final acceptance. Said "Record Drawings" shall indicate the exact final location and layout of all improvements, including verification of all invert and invert elevations and shall include all field design changes.**

- ALL PUBLIC AND/OR PRIVATE ROADS THAT ARE ADJACENT TO THE SITE AND USED FOR HORSES AND CARRIAGES, SHALL BE MONITORED AND STAKED WITHIN 24 HOURS OF THE COMMENCEMENT OF CONSTRUCTION.**
- SEWERAGE SHALL BE INSTALLED AND MAINTAINED IN ALL WETLAND AREAS (I.E. INLETS, CATCH BASINS) AS SHOWN ON THE PLAN.**
- STOOPILES OF EARTH MATERIAL WILL BE PLACED AT LOCATIONS AS INDICATED ON THE PLANS. A SIX FOOT FENCE WILL BE PLACED AROUND THE BASE OF THE STOOPILE WHERE INDICATED.**
- STOOPILES NOT BEING ACTIVELY MONITORED AND TO REMAIN IN PLACE FOR 14 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.**
- WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION OPERATIONS SHALL BE REUSED.**
- AT THE END OF EACH WORK DAY, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT NEWLY CONSTRUCTED INLET LOCATIONS AND AT OTHER LOCATIONS SUSCEPTIBLE TO EROSION TO MINIMIZE THE AMOUNT OF SEDIMENT WHICH NORMALLY ACCUMULATES IN THE SEWER SYSTEM.**
- TEMPORARY OVERSEED STRIPS AND SEDIMENT TRAPS MAY BE REQUIRED BASED ON THE CONSTRUCTION PHASING AND SHALL BE INSTALLED PRIOR TO UPSTREAM TRENCH REMOVAL AS DETERMINED BY THE CITY ENGINEER.**

**17. IN AREAS WHERE WORK IS COMPLETE, PERMANENT STABILIZATION SHALL OCCUR WITHIN 7 DAYS OF COMPLETION, AND IN AREAS WHERE WORK HAS TEMPORARILY CEASED FOR 14 DAYS OR MORE, TEMPORARY STABILIZATION SHALL OCCUR BY THE 7TH DAY AFTER WORK HAS CEASED.**

**SOIL EROSION AND SEDIMENTATION SPECIFICATIONS**

- STANDARDS**
  - THE FOLLOWING STANDARDS SHALL GOVERN THE CONSTRUCTIONS
  - THE "PROCEDURES AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" PREPARED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION, IN NORTHWESTERN ILLINOIS EROSION AND SEDIMENTATION CONTROL, STREAMING COMMITTEE.
  - THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PREPARED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION, IN NORTHWESTERN ILLINOIS, THE MOST RECENT EDITION PREPARED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY.
  - STANDARDS SPECIFICATIONS FOR "ROAD AND INFRASTRUCTURE CONSTRUCTION", LATEST EDITION, PREPARED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
  - UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS STREAM MAINTENANCE LATEST EDITION.
  - GENERAL
    - THE CITY SHALL BE NOTIFIED ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES, AND ONE WEEK PRIOR TO THE FINAL EROSION CONTROL MEASURES.
    - A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
    - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES.
    - SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL. EXPOSED LAND IS CHEMICALLY DESTROYED ON THE SITE.
    - THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY REASONABLE ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION.
    - THE BUILDER, OR A REPRESENTATIVE OF THE BUILDER, SHALL BE RESPONSIBLE FOR INSPECTION OF EROSION CONTROL PRACTICES.
    - PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS, THE CONTRACTOR SHALL SUBMIT ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS SUPPLEMENTING EROSION CONTROL PLAN SHALL BE SUBMITTED FOR REVIEW BY THE CITY.
    - IT IS THE RESPONSIBILITY OF THE LANDOWNER AND/OR GENERAL CONTRACTOR TO INFORM ANY SUB-CONTRACTORS WHO MAY PERFORM WORK ON THE PROJECT OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS EPA.
- IMPLEMENTATION**
  - BEFORE STARTING CLEANING AND SITE GRADING WORK, A CONSTRUCTION ENTRANCE AND SIX FOOT FENCE SHALL BE INSTALLED AS SPECIFIED ON THE PLAN. THE FENCE SHALL BE MAINTAINED THROUGHOUT THE WORKER SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF EACH WORKING CLASSIFICATION. THE AREAS TO BE MONITORED BEYOND THE END OF GRADING SEASON MUST INCORPORATE SEDIMENTATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.
  - DURING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS, OVERFLOWING DIRECTLY INTO FIELD TILES OR STORM WATER STRUCTURES IS PROHIBITED.
  - GRAVEL ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH, AND VEHICLE WASH DOWN FACILITIES BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS, AN SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED IMMEDIATELY AND AGAIN BEFORE THE END OF EACH WORKDAY.
  - ANY PUBLIC AND/OR PRIVATE ROADS THAT ARE ADJACENT TO THE SITE AND USED FOR HORSES AND CARRIAGES, SHALL BE MONITORED AND STAKED WITHIN 24 HOURS OF THE COMMENCEMENT OF CONSTRUCTION.
  - SEWERAGE SHALL BE INSTALLED AND MAINTAINED IN ALL WETLAND AREAS (I.E. INLETS, CATCH BASINS) AS SHOWN ON THE PLAN.
  - STOOPILES OF EARTH MATERIAL WILL BE PLACED AT LOCATIONS AS INDICATED ON THE PLANS. A SIX FOOT FENCE WILL BE PLACED AROUND THE BASE OF THE STOOPILE WHERE INDICATED.
  - STOOPILES NOT BEING ACTIVELY MONITORED AND TO REMAIN IN PLACE FOR 14 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.
  - WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION OPERATIONS SHALL BE REUSED.
  - AT THE END OF EACH WORK DAY, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT NEWLY CONSTRUCTED INLET LOCATIONS AND AT OTHER LOCATIONS SUSCEPTIBLE TO EROSION TO MINIMIZE THE AMOUNT OF SEDIMENT WHICH NORMALLY ACCUMULATES IN THE SEWER SYSTEM.
  - TEMPORARY OVERSEED STRIPS AND SEDIMENT TRAPS MAY BE REQUIRED BASED ON THE CONSTRUCTION PHASING AND SHALL BE INSTALLED PRIOR TO UPSTREAM TRENCH REMOVAL AS DETERMINED BY THE CITY ENGINEER.
  - IN AREAS WHERE WORK IS COMPLETE, PERMANENT STABILIZATION SHALL OCCUR WITHIN 7 DAYS OF COMPLETION, AND IN AREAS WHERE WORK HAS TEMPORARILY CEASED FOR 14 DAYS OR MORE, TEMPORARY STABILIZATION SHALL OCCUR BY THE 7TH DAY AFTER WORK HAS CEASED.

**PROTECTION OF WATER MAIN AND WATER SERVICE LINES**

Water mains and water service lines shall be protected from sanitary sewers, storm sewers, combined sewers, house sewer service connections and drains as follows:

- Water Main**
  - Horizontal separation:
    - Water mains shall be laid at least 10' (feet) horizontally from any existing or proposed drain, storm sewer, sanitary sewer, combined sewer or sewer service connection.
    - Water mains may be laid closer than 10' (feet) to a sewer line when:
      - Local conditions prevent a lateral separation of ten feet.
      - The water main invert is at least 18" (inches) above the crown of the sewer, and
      - The water main is either in a separate trench or in the same trench on an undisturbed earth shell located to one side of the sewer.
    - When it is impossible to meet (a) or (b) above, both the water main and drain or sewer shall be constructed of slip-on or mechanical joint ductile iron pipe, or the drain or sewer shall be sleeved with steel pipe or constructed of PVC pipe (meeting water main standards, ASTM D2241) with elastomeric joints per ASTM D3139. The drain or sewer shall be pressure tested to the maximum expected surcharge head before backfilling.
  - Vertical Separation:
    - A water main shall be laid so that its invert is 18" (inches) above the crown of the drain or sewer whenever water mains cross storm sewers, sanitary sewers or sewer service connections. The vertical separation shall be maintained for the portion of the water main located within 10' (feet) horizontally of any sewer or drain crossed. A length of water main pipe shall be centered over the sewer to be crossed with joints equivalent from the sewer or drain.
      - Both the water and drain or sewer shall be constructed of slip-on mechanical joint ductile iron pipe or constructed of PVC pipe (meeting water main standards ASTM D2241) with elastomeric joints per ASTM D3139 or reinforced concrete pipe with C-361 joints (Storm sewers) when:
        - It is impossible to obtain the proper vertical separation as described in (a) above; or
        - The water main passes under a sewer or drain.
      - Alternatively to item (b) above, when the water main passes under a sewer or drain, the water main shall be encased in steel sleeve extending 10' from the edge of the pipe on each side of the crossing and an 18" (inch) vertical separation shall be maintained between the invert of the sewer or drain and the crown of the water main. The drain or sewer shall be pressure tested to the maximum expected surcharge head before backfilling.
  - Water Service Lines**
    - The horizontal and vertical separation between water service lines and all storm sewers, sanitary sewers, combined sewers or any drain or sewer service connection, shall be the same as water main separation described in (A) above.
    - Water pipe described in (A) above shall be used for sewer service lines when minimum horizontal and vertical separation cannot be maintained.
  - Special conditions**
    - Alternate solutions shall be presented to the agency when extreme topographical, geological or existing structural conditions make strict compliance with (A) and (B) above technically and economically impractical. Alternate solutions will be approved provided watertight construction structurally equivalent to approved water main materials is proposed.
    - Water mains shall be separated from septic tanks, disposal fields and seepage beds by a minimum of 25' (feet).
    - Water mains and water service lines shall be protected against entrance of hydrocarbons through diffusion through any material used in construction of the line.

**SANITARY SEWER, STORM SEWER, WATER MAIN**

All sanitary sewer and water main work shall be constructed in accordance with the latest edition of the applicable Standard Specifications for Water and Sewer Main Construction in Illinois and the City Ordinances. If a conflict arises, the strictest standard shall govern.

- The Contractor shall notify all utility companies prior to construction to verify in the field all existing and proposed utilities adjacent to the project and be responsible for protection of same. The Contractor shall call JULIE, (1-800-892-0123) 48 hours prior to construction.
- The Contractor shall beware of potential conflicts with existing utilities as indicated on the plans. The Contractor shall excavate around utilities to determine elevations before beginning construction.
- The Contractor shall provide to the Engineer, as-built locations of all water and sewer services, with ties-in to fixed objects and/or property lines.
- All existing field drainage tile identified on these plans shall be removed or crushed. The Engineer and City Inspector shall be notified if any other field tiles are encountered during construction. These shall be removed, crushed or properly rerouted and/or connected to the storm sewer system as determined by the Engineer and the City Inspector. All locations of encountered field drainage tile which are rerouted shall be properly indicated on the record set of as-built drawings.
- Any existing utility structures requiring adjustment are to be adjusted (up to 8" total adjustment) or reconstructed by the Contractor. Adjustments or reconstructions not called for on the plans shall be considered incidental to the contract.
- Where shown on the plans or directed by the engineer, existing drainage structures and systems shall be cleaned of debris and patched as necessary to assure integrity of the structure. This work will be paid for at the contract unit price each for structures and contract unit price per lined foot for systems which shall be payment in full for cleaning, patching, removal and disposal of debris and dirt. Drainage structure and systems constructed as part of this project shall be maintained by the contractor at his expense. No payment will be made for cleaning structures or systems constructed as part of this project.
- Connections to the existing sanitary, storm and water systems shall be considered incidental to the contract.
- All existing utilities or improvements, including walls, curbs, pavement and parkways damaged or removed during construction shall be promptly restored to their respective original condition.
- Sanitary sewers and water main services shall have a minimum of 5.0' (feet) of cover and shall be installed in a trench as specified on the plans.
- All utility trenches under proposed or existing improved surfaces shall be water jetted or mechanically compacted.
- Granular trench backfill, CA 6 shall be used in all locations where the proposed underground utility is to be constructed under permanent type pavements, in any utility trench over which another utility will pass or as directed by the engineer. Trench backfill shall be extended 2' (feet) on each side of the permanent type surface.
- All manhole, valve vault, or catch basin adjustment of frames shall be made with precast concrete adjustable rings set in preformed built mastic rubber-nek approved seal, and no more than 8" of adjusting rings will be permitted.
- All water mains shall be cement lined ductile iron pipe, class 52 conforming to AWWA C-150 with push-on or mechanical joints, conforming to ASTM 216, AWWA C-111 and C-600. All water mains to have minimum 5.0' (feet) cover.
- Water services shall include the necessary length of type "C" Copper water tube of the size shown on the plans, corporation stop, curb stop, and service box, all as required by the municipality, and all necessary labor, tools, equipment, excavation and backfill, for a complete installation as shown on the plans.
- All ductile iron watermain, including fire hydrant leads shall be encased in polyethylene film in accordance with AWWA C-105-82.
- All water mains shall be pressure tested and disinfected in accordance with standards and procedures meeting the approval of the municipality. Cost to be included in the various water main items.
- All watermain shall be chlorinated in accordance with Section 41-214 of the Standard Specifications for Water and Sewer Main Construction in Illinois.
- The testing and sterilization of all new water distribution facilities shall be completed prior to making water service taps.
- P.V.C. sanitary sewers shall be SDR 26, conforming to ASTM D3034 for pipe with flexible elastomeric seats conforming with ASTM F477 and joints conforming with ASTM D3212.
- All new sanitary sewers shall have wyes for proposed building services. All connections to existing sanitary sewers not having wyes shall be made with a "sewer tee" for building services and with a manhole for sewer extensions. All taps shall include a properly installed hub wye saddle.
- "Band Saw" or similar couplings shall be used when joining sewer pipes of dissimilar materials.
- Sanitary sewer structures shall be assembled, adjusted, and water tight sealed with bitumastic "Toys Siks" or approved equal.
- P.V.C. sanitary sewers and services shall be subject to deflection testing in accordance with the Illinois Recommended Standards for Sewerage Works, Current Edition.
- All sanitary sewers shall pass a low pressure air test conforming to section 31-111B of the Standard Specifications for Water and Sewer Main Construction in Illinois and meet the approval of the municipality.
- All sanitary manholes shall be vacuum tested in accordance with per ASTM D1244.
- All sanitary sewers shall be video taped. Video tapes and logs shall be provided to the City.
- Storm sewer shall be reinforced concrete pipes conforming to ASTM C-76 classes 1-5 with joints conforming to ASTM C361 or ASTM C443.
- All storm sewers shall be constructed with a minimum granular bedding of 4" (inches) in accordance with Section 500.04 of the I.D.O.T. Standard Specifications for Road and Bridge Construction.
- All drainage structures to have poured inverts conforming to the shape of the pipe.
- Trench backfill will be paid for in accordance with IDOT'S 2002 edition of the Illinois Department of Transportation's "Standard Specifications for Road and Bridge Construction."

*Construction Specifications & General Notes*

**Generation Rescue  
St. Charles, Illinois**

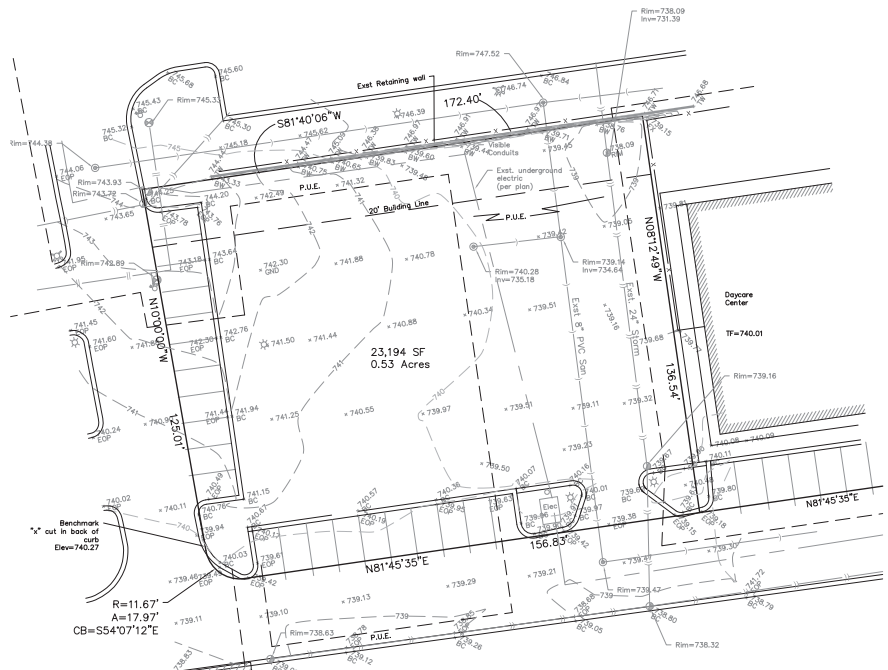
DATE: 4-18-2017  
SCALE: NTS  
SHEET NUMBER 2 OF 5

NO.	DATE	DESCRIPTION	BY

**SITE BENCHMARKS**

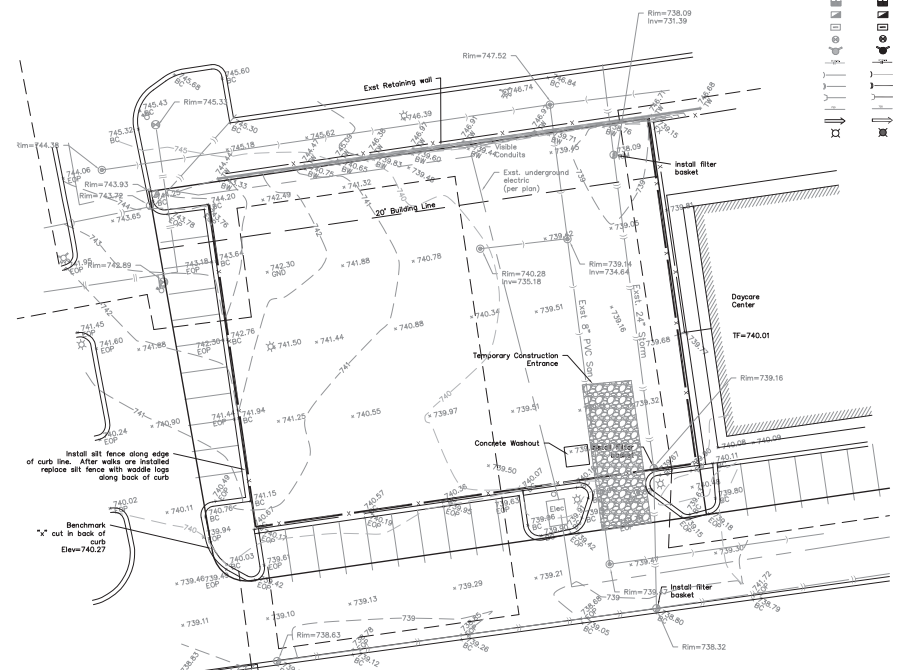
Benchmark #  
"x" cut in back of curb at  
southwest corner of site.  
Elev=740.27 (NAVD 88)

**Existing Conditions**



**Stormwater Management Facility**  
Stormwater Detention Provided in Basin south of access road.  
Detention Volume: 23.31 Ac-FT  
Normal Water = 720.0  
High Water = 736.5

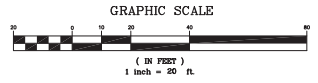
**Erosion Control**



**Erosion Control Notes**  
1. Filter baskets shall be installed in all open grates within the vicinity of the work area.  
2. Any disturbed areas shall be seeded and blanketed or sodded.

**LEGEND**

- | Existing | Proposed | Description       |
|----------|----------|-------------------|
| ○        | ○        | Manhole           |
| ○        | ○        | Catchbasin        |
| ○        | ○        | Storm Inlet       |
| ○        | ○        | Curb Inlet        |
| ○        | ○        | Curb Catchbasin   |
| ○        | ○        | Curb Manhole      |
| ○        | ○        | Water Valve Vault |
| ○        | ○        | Fire Hydrant      |
| ○        | ○        | Watermain         |
| ○        | ○        | Sanitary Sewer    |
| ○        | ○        | Storm Sewer       |
| ○        | ○        | Flared End Sec.   |
| ○        | ○        | Contours          |
| ○        | ○        | Drainage Flow     |
| ○        | ○        | Street Light      |



Existing Conditions & Erosion Control Plan

**Generation Rescue**

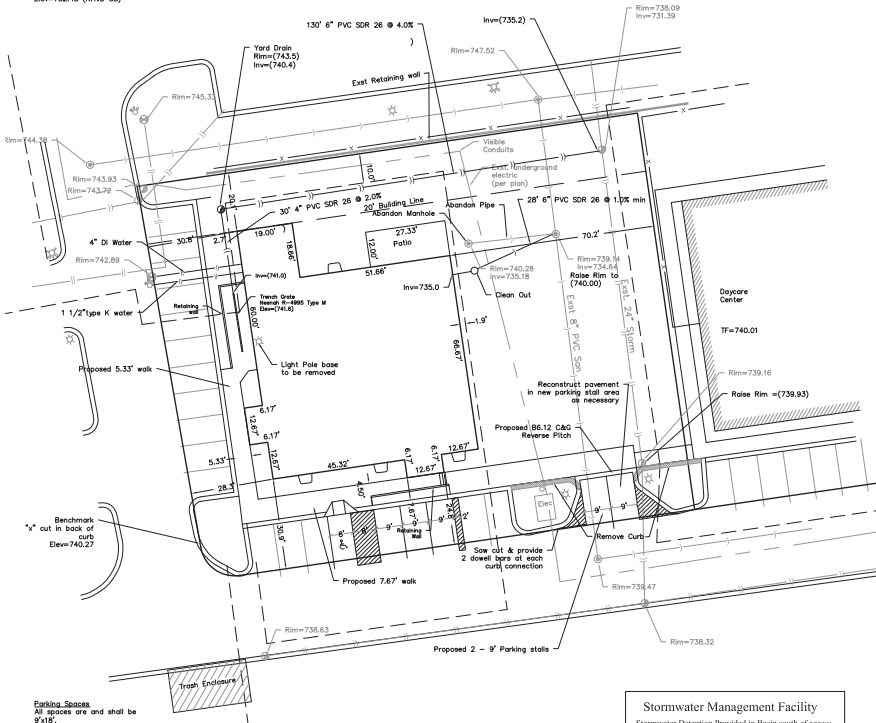
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SCALE: NTS  
SHEET NUMBER 3 OF 5


# Utility & Geometry Plan

# Grading Plan

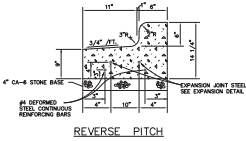
### SITE BENCH MARKS

Benchmark #1  
 "X" cut in back of curb at southwest corner of site.  
 Elev=752.48 (NAVD 88)

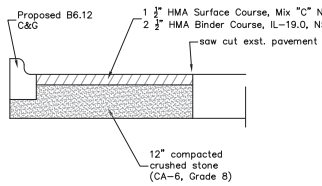


Parking Spaces  
 All spaces are and shall be 9'x18'  
 21 regular parking stalls  
 1 handicap stall

**Stormwater Management Facility**  
 Stormwater Detention Provided in Basin south of access road.  
 Detention Volume: 27.31 Ac-FT  
 Normal Water = 738.8  
 High Water = 736.5



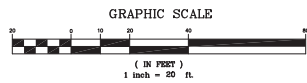
REVERSE PITCH



Pavement Section

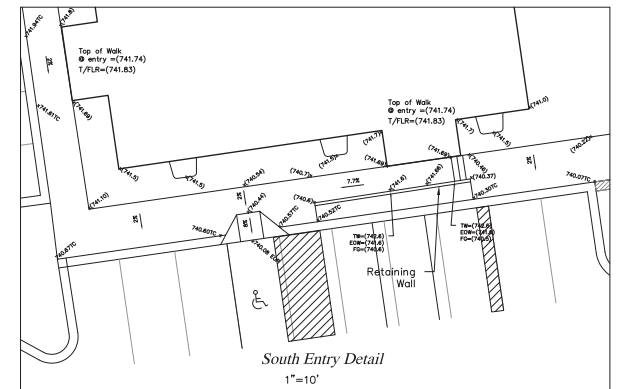
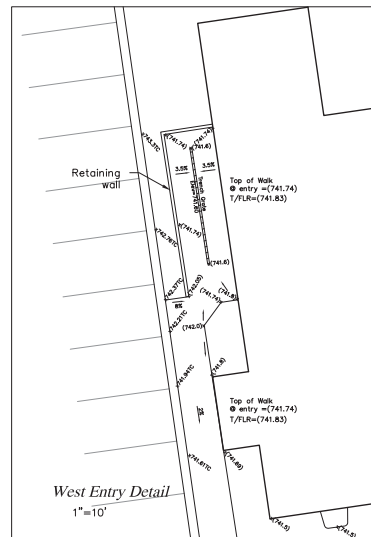
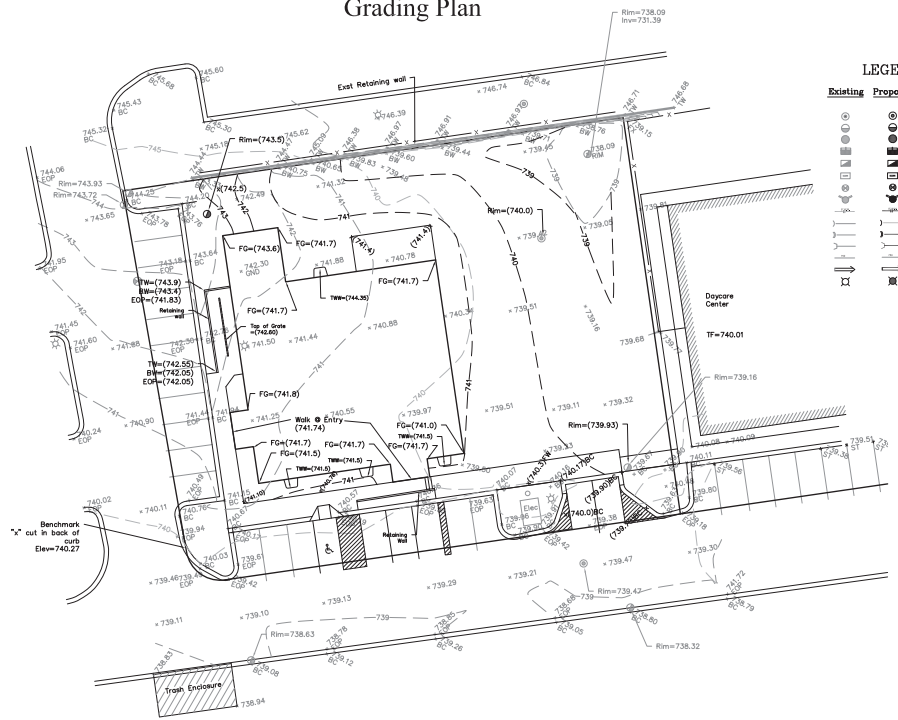
- NOTE:
1. SET EXPANSION JOINTS AT ALL P.C.'S, P.T.'S, FIVE FEET ON EITHER SIDE OF ANY FRAMES, AND AT 45' MAX. INTERVALS.
  2. SAW CUT CONTRACTION JOINTS FULL FACE AND TOP, AT LEAST 2 INCHES IN DEPTH AND AT 15' MAXIMUM INTERVALS WITHIN 24 HOURS OF POURING.
  3. CURING COMPOUND REQUIRED.

### B6.12 CURB & GUTTER



### LEGEND

- | Existing | Proposed | Description       |
|----------|----------|-------------------|
| ○        | ○        | Manhole           |
| ⊙        | ⊙        | Catchbasin        |
| ⊕        | ⊕        | Storm Inlet       |
| ⊖        | ⊖        | Curb Inlet        |
| ⊗        | ⊗        | Curb Catchbasin   |
| ⊘        | ⊘        | Curb Manhole      |
| ⊙        | ⊙        | Water Valve Vault |
| ⊕        | ⊕        | Fire Hydrant      |
| ⊖        | ⊖        | Watermain         |
| ⊗        | ⊗        | Sanitary Sewer    |
| ⊘        | ⊘        | Storm Sewer       |
| ⊙        | ⊙        | Flared End Sec.   |
| ⊕        | ⊕        | Contours          |
| ⊖        | ⊖        | Drainage Flows    |
| ⊗        | ⊗        | street light      |



### Utility & Grading Plan

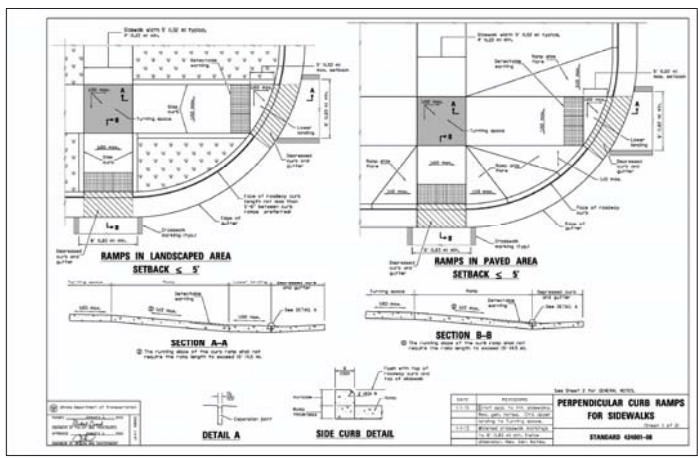
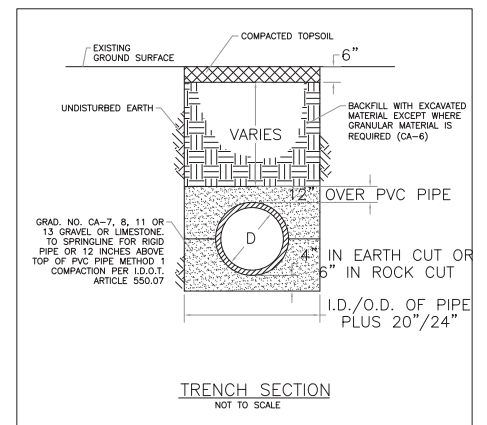
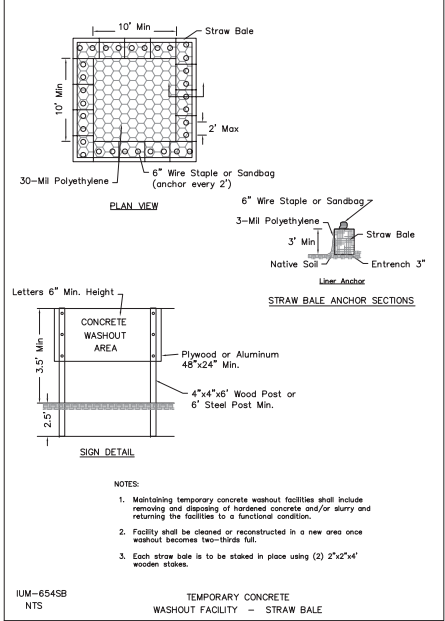
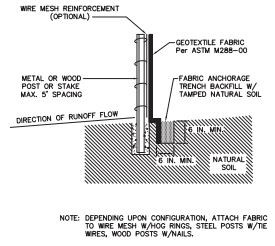
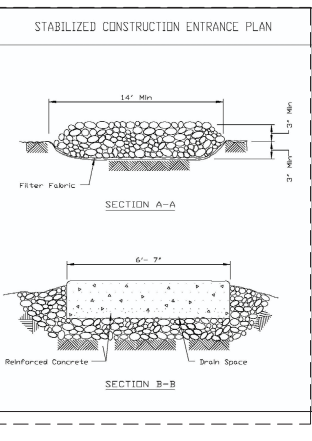
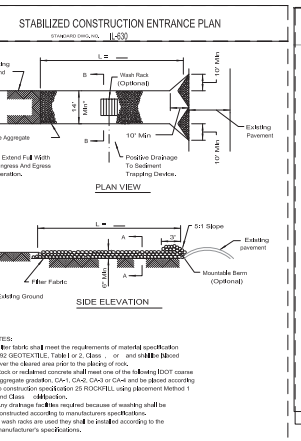
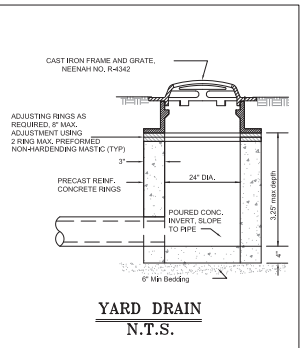
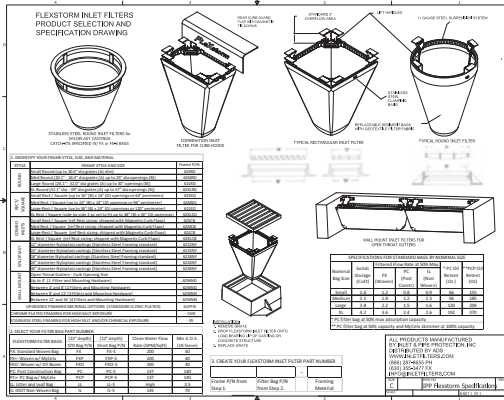
### Generation Rescue

DATE: 4-18-2017

SHEET NUMBER 4 OF 5

SCALE: NTS



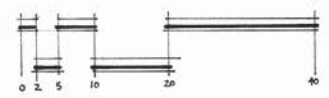
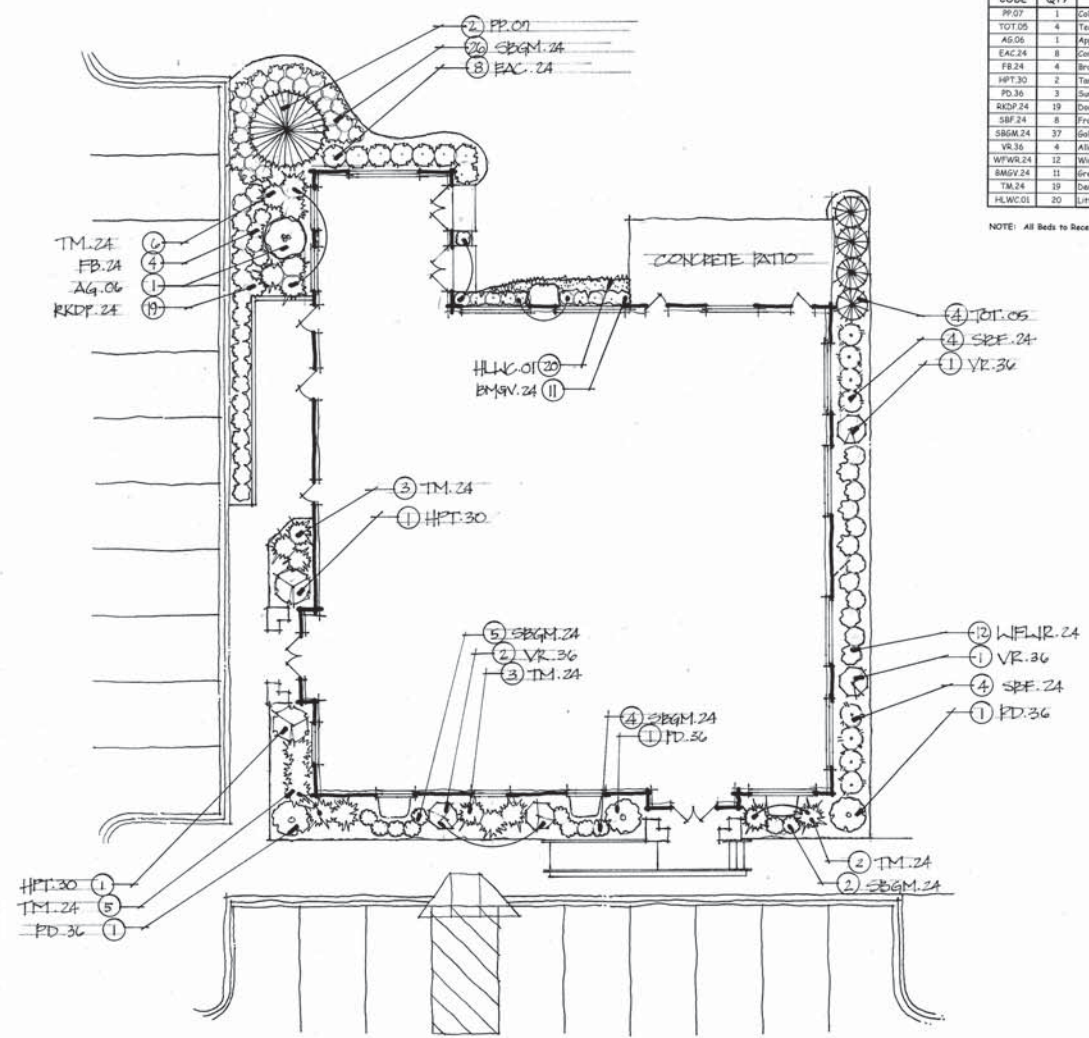


PROJECT: **GENERATION RESCUE**  
**ST. CHARLES, IL**  
 TITLE: **LANDSCAPE PLAN**

PLANT LIST

CODE	QTY	MATERIAL	SIZE
PP.07	1	Colorado Spruce	7'
TOT.05	4	Techy Arborvitae	5'
AG.05	1	Apple Serviceberry	6'
AC.24	8	Compact Burning Bush	24"
FB.24	4	Bronx Forsythia	24"
HPT.30	2	Tandiva Hydrangea	30"
PD.36	3	Summer Wine Nandina	36"
RKDP.24	19	Double Pink Knockout Rose	24"
SFB.24	8	Froebel Spruce	24"
SSGM.24	37	Goldhound Spirea	24"
VR.36	4	Alphonsa Leatherleaf Viburnum	36"
WFWR.24	12	Wine & Roses Weigela	24"
BMGV.24	11	Green Velvet Boxwood	24"
TM.24	19	Dense Yew	24"
HLWC.01	20	Little Wine Cup Daylily	1 Gal.

NOTE: All Beds to Receive a 4-6 Layer of Premium Shredded Hardwood Mulch



Use owner's approval to construct  
 these and other landscape features and  
 install the plants, unless otherwise  
 noted. The owner shall be responsible for  
 the maintenance of these plants or the  
 replacement of any plants that die.  
 2017  
 © COPYRIGHT  
 LAND SHAPERS, INC.  
 South Barr, IL 60118



306 E. 3rd STREET  
 EAST DUNDEE, IL 60118  
 PH: 847-551-9883  
 FX: 847-551-9884  
 WWW.THELANDSHAPERSINC.COM

DATE:  
 4-10-17  
 SHEET NO:  
 L-1

RECEIVED  
St. Charles, IL

APR 19 2017

CDD  
Planning Division



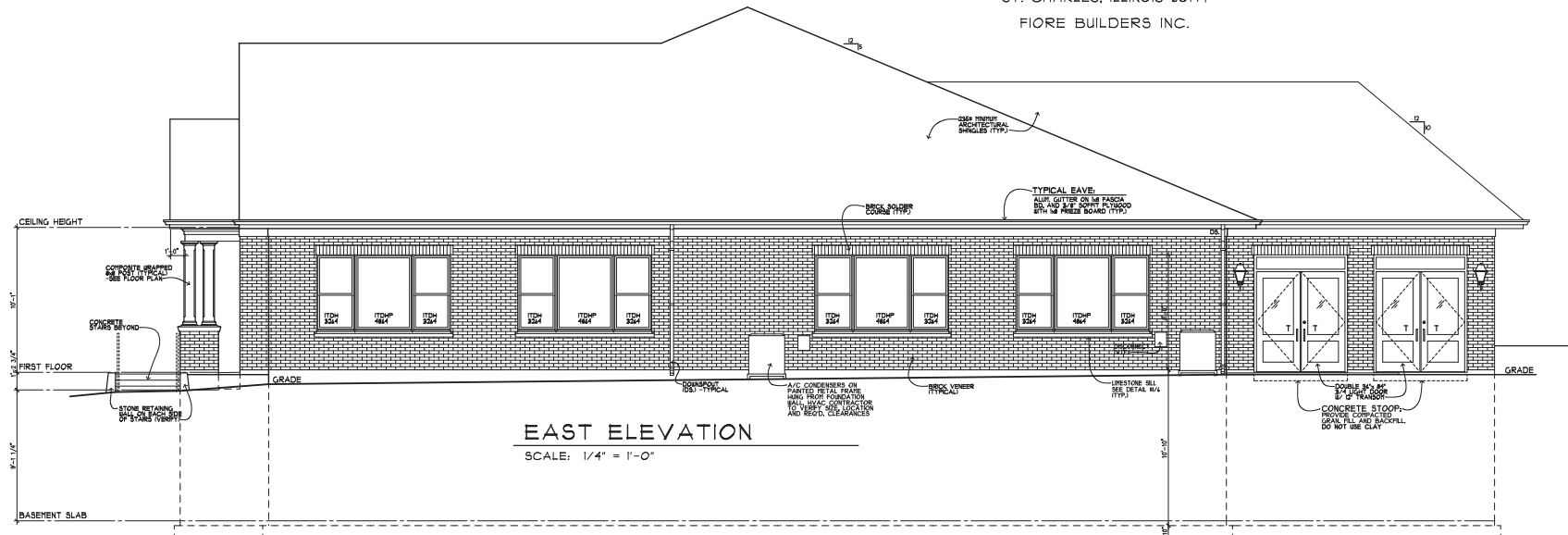


PROPOSED NEW OFFICE BUILDING:  
**GENERATION RESCUE**

PLOTTED: 4/19/2017

ST. CHARLES, ILLINOIS 60174

FIGURE BUILDERS INC.

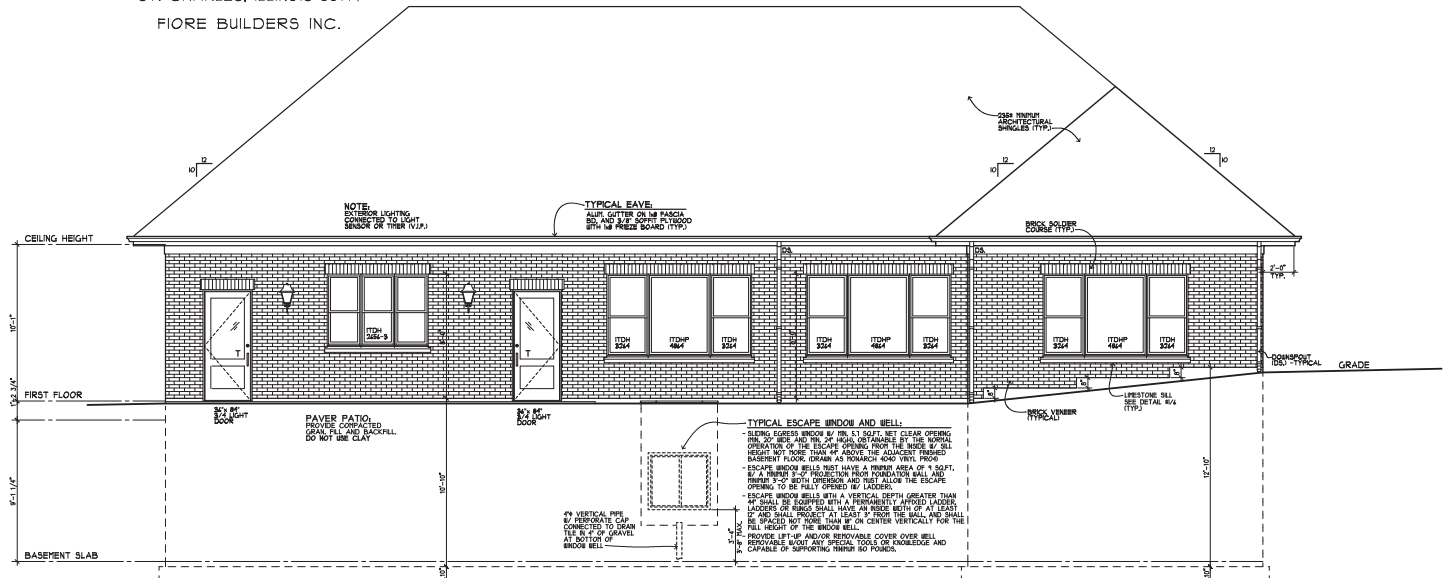


PROPOSED NEW OFFICE BUILDING:  
**GENERATION RESCUE**

PLOTTED: 4/19/2017

ST. CHARLES, ILLINOIS 60114

FIORE BUILDERS INC.



**NORTH ELEVATION**

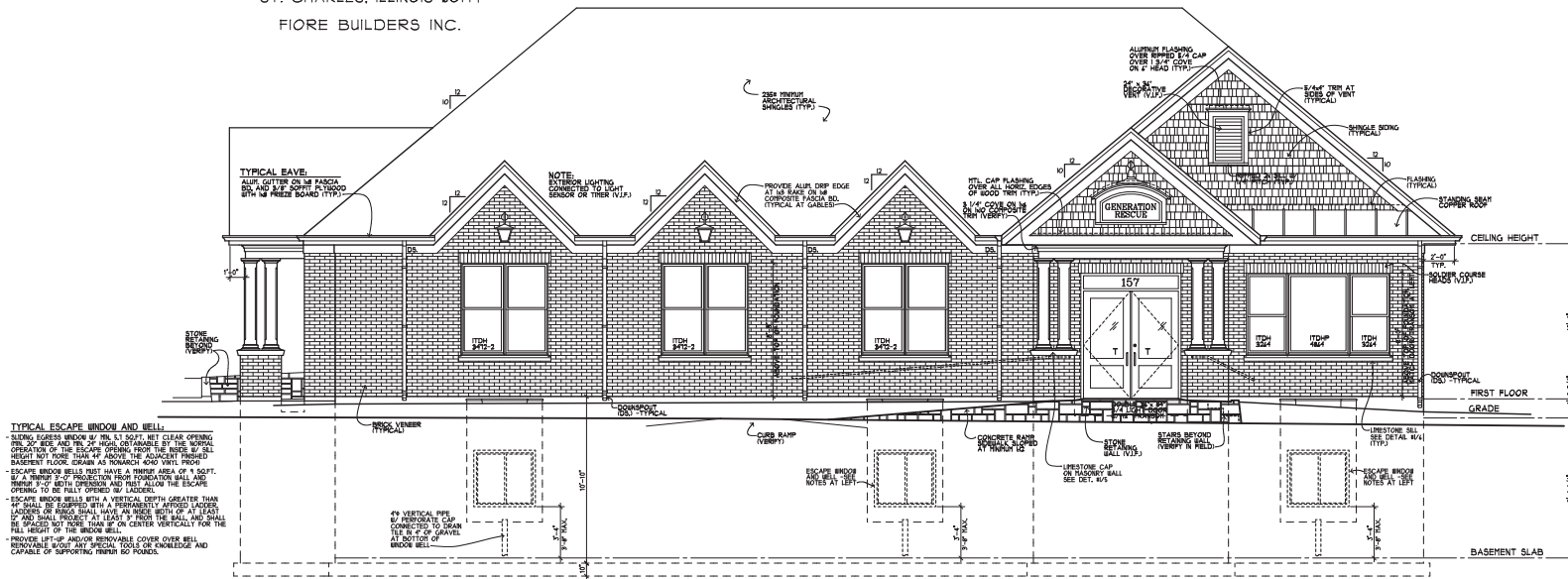
SCALE: 1/4" = 1'-0"

PROPOSED NEW OFFICE BUILDING:  
**GENERATION RESCUE**

PLOTTED: 4/19/2011

ST. CHARLES, ILLINOIS 60174

FIORE BUILDERS INC.



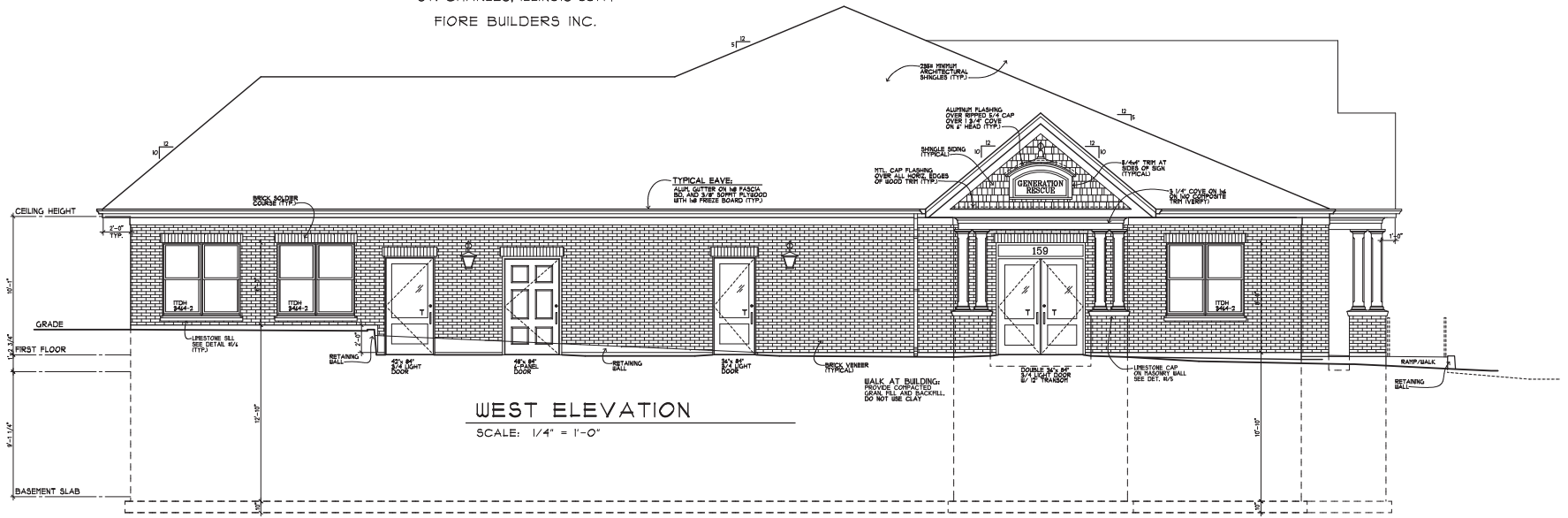
**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

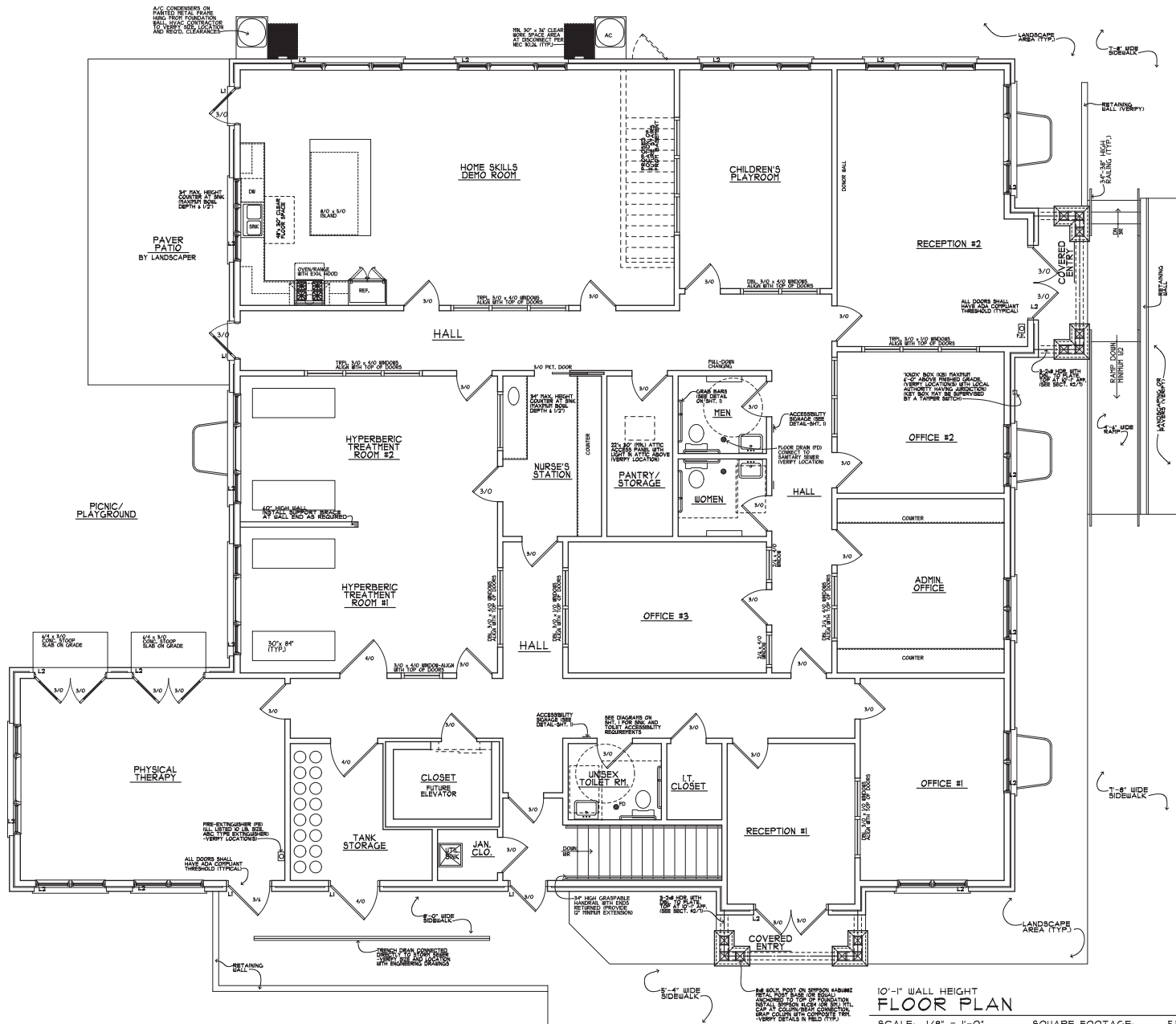
PROPOSED NEW OFFICE BUILDING:  
**GENERATION RESCUE**

PLOTTED: 4/19/2011

ST. CHARLES, ILLINOIS 60114  
FIORE BUILDERS INC.



LINTEL SCHEDULE			
LVL TYPICAL			
L1	L 3 1/2" X 3 1/2" X 1/4"	4" BEARING	
L2	L 4" X 3 1/2" X 5/16"	4" BEARING	
L3	L 7" X 4" X 3/8"	6" BEARING	



NOTE: SERVICE DISCONNECTS PROVIDE SERVICE DISCONNECTING MEANS EITHER OUTSIDE THE BUILDING OR IN SERVICE CONTROL LOCATED BY THE SERVICE CONTROL PANEL OR OTHER APPROVED LOCATION WITH ACCESS TO ALLOW THE SERVICE TO BE LOCATED OPEN. EACH BUILDING TRIMM SPACE SHALL HAVE A SERVICE DISCONNECT INDICATED WITH THE MAIN DISTRIBUTION PANEL. BEHIND THE SPACE. NOTE: THE TYPE, SIZE, OR KIND AND SIZE OF THE TRIMM SHALL BE DETERMINED BY THE CONTRACTOR WITH THE SERVICE PROVIDER. THE SERVICE PROVIDER SHALL BE RESPONSIBLE FOR THE DISCONNECT AND SHALL BE RESPONSIBLE FOR THE DISCONNECT TO BE INSTALLED IN ACCORDANCE WITH THE SERVICE PROVIDER'S REQUIREMENTS. DISCONNECTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SERVICE PROVIDER'S REQUIREMENTS. DISCONNECTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SERVICE PROVIDER'S REQUIREMENTS.

10'-0" WALL HEIGHT  
**FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

SQUARE FOOTAGE: 5,114  
 COVERED ENTRIES: 104  
 TOTAL AREA: 5,222



APR. 20, 2017 - BID/REVIEW SET - NOT FOR CONSTRUCTION



STATE OF ILLINOIS  
 DESIGN PROFESSIONAL REGISTRATION NUMBER  
 184002451

PROPOSED NEW OFFICE BUILDING FOR:  
**GENERATION RESCUE**  
 ST. CHARLES, ILLINOIS 40114

Revisions:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Commission: 2551  
 Issue Date:  
 Drawn By: CDZ  
 FLOOR PLAN

Sheet:  
**3**  
 of 8




**City of St. Charles, Illinois**

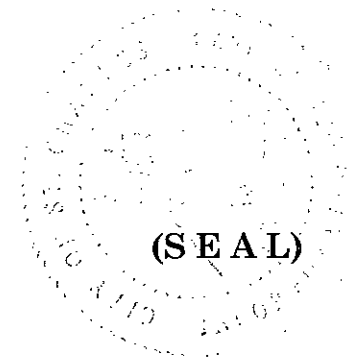
**Ordinance No. 2004-Z-14**

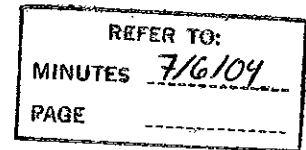
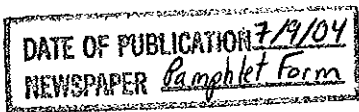
**An Ordinance Granting a Special Use as a  
Planned Unit Development  
(Tyler and 64 Business Park)**

**Adopted by the  
City Council  
of the  
City of St. Charles  
July 6, 2004**

**Published in pamphlet form by  
authority of the City Council  
of the City of St. Charles,  
Kane and Du Page Counties,  
Illinois, July 9, 2004**

  
\_\_\_\_\_  
City Clerk





ORDINANCE NO. 2004-Z-14

PRESENTED AND PASSED BY CITY COUNCIL ON  
July 6, 2004

AN ORDINANCE GRANTING A SPECIAL USE  
AS A PLANNED UNIT DEVELOPMENT  
(TYLER AND 64 BUSINESS PARK)

WHEREAS, a petition for granting a Special Use as a Planned Unit Development for the real estate described in "Exhibit I" attached hereto and made a part hereof (hereinafter sometimes referred to as the "Subject Realty") has been filed by Tyler and 64 LLC, an Illinois Limited Liability Company, record owner of the Subject Realty, hereinafter sometimes referred to as "Owner";

WHEREAS, the Plan Commission has held a public hearing on said petition in accordance with law; and

WHEREAS, the City Council of the City of St. Charles has received the recommendation of the Plan Commission and has considered the same; and

WHEREAS, the City Council of the City of St. Charles hereby makes the following findings of fact regarding the granting of a Special Use as a Planned Unit Development for the Subject Realty:

**FINDINGS OF FACT FOR SPECIAL USE FOR A PUD:**

1. **That the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The proposed redevelopment of the subject property will be a tremendous improvement to the area. The subject property was previously used as an obsolete

manufacturing facility, which had been vacant for several years. It lacked maintenance and was an eyesore from Route 64. The current owner has entered into a redevelopment agreement with the City to ensure that redevelopment of the site will promote and foster public health, safety and general welfare. The proposed development of the auto dealership and the office buildings through the special use for the PUD will therefore not be detrimental to or endanger the public health, safety or general welfare.

2. **That the special use will not be injurious to the use and enjoyment of the property in the immediate vicinity for the purpose already permitted, nor substantially diminish or impair property values within the neighborhood.**

The redevelopment will enhance the subject property. The surrounding properties are commercial uses, which are compatible with the proposed uses. The special use for the PUD will not be injurious to the use and enjoyment of the property in the immediate vicinity for the purpose already permitted, nor substantially diminish or impair property values within the neighborhood.

3. **That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The surrounding properties are already developed.

4. **That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

The PUD process requires a complete review of engineering plans to ensure that adequate utilities are provided on the site. The access points off of Route 64 and Tyler Road as shown on the plans are acceptable. The IEPA designated area on the southwest side of the property is to remain capped and will not be disturbed due to the development.

5. **That adequate measures have been made, or will be, taken to provide ingress and egress so designed as to minimize traffic congestion in public streets.**

The curb cut off of Route 64 is being restricted to a right-in, right-out only. The applicant has taken into consideration IDOT's future plans for Route 64 road improvements in designing access to the site.

6. **That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission.**

The Special Use conforms to the applicable regulations of the M-1 zoning districts in which it is proposed to be located, with the exception of the requested variations.

**NOW, THEREFORE,** BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

**SECTION 1.** That Section 17.02.180 of Title 17 of the St. Charles Municipal Code, as amended, and as set forth in the Zoning District Map as described therein and on file in the Office of the City Clerk, is hereby amended by granting of a Special Use as a Planned Unit Development for the entire Subject Realty, pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, all of the Subject Realty being subject to the additional conditions, variations, and restrictions hereinafter set forth.

**SECTION 2.** That the Subject Realty may be developed only in accordance with all ordinances of the City as now in effect or hereafter amended (except as specifically varied herein), and in accordance with the following additional definitions, uses, procedures, and restrictions contained herein.

**A. PRELIMINARY PLAN APPROVAL**

The Preliminary Plan for the Subject Realty, consisting of a plan set entitled "Preliminary/Final Engineering Plan Tyler and 64 Business Park" prepared by Robert H. Anderson & Associates dated June 18, 2004; building elevations for Al Piemonte Cadillac dated February 27, 2004; building elevations for office buildings "Building One" and "Building Two" prepared by Marshall Architects dated May 4, 2004; landscape plans prepared by Gary Weber Associates Inc. dated 1/26/04, revised 6/3/04, received June 7, 2004; signage for Al Piemonte prepared by Image Point dated March 8, 2004; a reduced copy of which is attached hereto as Exhibit "II", is hereby approved.

Building elevations for Office Buildings Three and Four on Lot 2 must be approved by the City Council, upon recommendation by the Plan Commission, prior to issuance of any building permits for these buildings.

Changes to the Preliminary Plan may be approved by resolution of the City Council without amending this Ordinance, if such changes conform to the provisions hereof and do not constitute a Major Change as defined in Section 17.42.080 C of the St. Charles Municipal Code, as determined by the City Council.

**B. ZONING REQUIREMENTS AND STANDARDS**

1. The provisions set forth in the St. Charles Zoning Ordinance for property in the M-1 Limited Manufacturing District in effect as of the date of this agreement shall apply to the Subject Realty, except as specifically provided in this Section.
2. **Permitted Uses:** Motor vehicle sales shall be allowed as an additional permitted use.
3. **Maximum net floor area for office use on Lot 2:**

On the attached preliminary plan, 188 parking spaces have been shown on Lot 2. This parking would accommodate 45,560 square feet total net floor area of professional/business office use on Lot 2. Out of the 45,560 square feet, only 37,600 square feet net floor area can be used for medical/dental office use, in order to comply with the parking requirement.

If additional parking is provided to comply with the City's zoning ordinance, then additional floor area may be used for medical/dental offices.

“Net floor area” shall be as defined in Section 17.04.210 A and B of Title 17 of the St. Charles Municipal Code.

4. **Parking setback:** The northeast corner of the parking lot on Lot 1, as measured at a distance of approximately 60 feet from the proposed ROW intersection at Route 64 and Tyler Road shall be setback 3 feet from the proposed ROW line. A fifteen foot parking setback shall be provided along the northernmost 240 feet of the Tyler Road frontage, as shown generally on the attached preliminary plan.
5. **Building setback for office buildings “D” and “E”:** A ten foot side yard setback shall be provided for office buildings “D” and “E”, as measured from the northern property line between Lots 1 and 2 ( as shown on the preliminary plan).

**C. PRELIMINARY PLAN, ENGINEERING PLANS & FINAL PLAT**

No final engineering plans or final plat for any part of the Subject Realty shall be approved prior to City Council approval of a preliminary plan for the entire Subject Realty conforming to the provisions hereof and the applicable provisions of the St. Charles Municipal Code. The foregoing notwithstanding, Owner may submit revised preliminary plans and final plat, provided that such submittal shall include a revised preliminary plan for the entire Subject Realty conforming to the provisions hereof and the St. Charles Municipal Code, and may include final plans and plat for all or any part thereof. Review of final plans and plat shall not be required if the revised preliminary plan fails to conform with the City ordinances (except as varied herein). Such determination shall be first made by

the Director of Public Works and the Director of Community Development, subject to confirmation by the City Council. Final development plans and plats which are hereafter submitted by Owner shall be approved by the City Council provided same conform with the applicable provisions, of the St. Charles Municipal Code and the provisions hereof, and substantially conform with the approved Preliminary Plan, and practices and policies of the City, all as determined by the City Council.

No final plat for any part of the Subject Realty shall be approved prior to approval of engineering plans for the unit or phase being developed and it's related offsite improvements as reasonably determined by the City. No final plat for any part of the Subject Realty shall be recorded prior to issuance of all third party approvals including but not limited to IDOT, IEPA, United States Army Corps of Engineers and prior to City Council approval and receipt of the guarantee for completion of the Land Improvements (as defined in Title 16 of the St. Charles Municipal Code). Such guarantee shall be in the form of a financial guarantee conforming with the provisions of Paragraph 16.12.220 (C) of the St. Charles Municipal Code.

**D. BUILDING PERMIT TIMING**

No building permit shall be issued for construction of any structure on the Subject Realty until after the engineering plans and a final plat have been approved and a final plat has been recorded for all of the Subject Realty.

**E. COMPLETION OF LAND IMPROVEMENTS PRIOR TO OCCUPANCY**

No occupancy permit shall be issued for any building until the Land Improvements for the Subject Realty have been accepted by the City Council; however, the following need not be completed prior to issuance of an occupancy permit: a) public sidewalks, street trees and parkway seeding. At all times during construction the Owner shall be responsible for removal of construction debris and waste related to the Subject Realty.

**F. SOIL EROSION CONTROL**

Upon five (5) days notice to Owner, the City shall have the right to stop any construction of Land Improvements, buildings and other structures if the City Engineer determines that the erosion control measures shown on the approved erosion control plan and as field modified are not being adequately maintained. A stop work order may be issued on these grounds against the then-owner of the property on which the violation occurs and will not be lifted until all violations are corrected. The then-owner shall indemnify and hold harmless the City from any and all losses, claims, expenses and penalties, including attorneys' fees, arising out of the City's issuance of a stop work order on these grounds.

**G. SPECIAL SERVICE AREAS**

Any stormwater management facilities, retaining walls and pump stations related to stormwater management facilities, wetlands, which are not accepted by the CITY shall be owned and maintained by the landowner. Developer and Owner



shall not object to the formation of an amendment to one or more Special Service Areas, encompassing all or part of the Subject Realty for the purpose of maintaining and repairing drainage facilities and other facilities. Such Special Service Area shall be of perpetual duration with a maximum rate per State statute. Such Special Service Area or Areas may provide for maintenance by the City in the event that drainage facilities are not adequately maintained by the Owner or successors.

#### **H. LANDSCAPING**

The Subject Realty shall be landscaped in substantial conformance with the approved Preliminary Plan and the approved Landscape Plan. Landscaping for a building or phase shall be completed prior to occupancy of that building.

However, if conditions beyond the control of the Developer prohibit the installation of the landscaping prior to a request for occupancy of a structure, a temporary certificate of occupancy may be issued for a period not to exceed six months, subject to posting of a letter of credit or cash for 115% of a registered landscape architect's estimate for incomplete landscape work. If the landscaping is not completed as of the expiration of the temporary certificate of occupancy, the Building Commissioner shall not be required to issue a final certificate of occupancy or any additional temporary certificates of occupancy, but may do so in his discretion as governed by the St. Charles Municipal Code, and the City may utilize funds to complete said landscape work.

#### **I. FACILITIES TO BE UNDERGROUND**

All utility and communication facilities to be installed within the Subject Realty, including, but not limited to, telephone, electric, and cable television, shall be underground. Utilities to be installed by the City within the Subject Realty, if any, shall be installed underground. This does not include facilities installed in and along the rights-of-way of Main Street, Tyler Road and the existing UPRR railroad tracks.

**J. ELECTRIC UTILITY SERVICE**

The Owner may connect to the existing municipal electrical distribution system which adjoins the property line of the Subject Realty, and such connection shall be permitted upon payment of the City's normal connection fees consistent with the City's ordinances and policy in effect at the time of final plat approval.

**K. NATIONAL ELECTRIC SAFETY CODE**

The existing site structures and the proposed site structures must comply with the 2002 National Electric Safety Code. Further, all construction activities must adhere to the safety guidelines and clearances within the 2002 National Electric Safety Code.

**L. EASEMENTS**

An easement or easements over, under and upon that portion of the Subject Realty reasonably determined by the City to be necessary for the benefit of the Subject Realty for access by emergency vehicles or for access for maintenance, repair, replacement and customary servicing of all electricity lines, sanitary sewer, storm drainage, storm water detention and retention, water main systems, telephone lines, natural gas supply systems, communication facilities and other utilities, shall be provided at the City's request on all

final plats in favor of the City. Such easements shall also be provided for all of the involved utility and communications companies, now or in the future receiving a City franchise, their respective officers, employees, and agents, together with related emergency and service vehicles and equipment, in locations consistent with the location of said utilities as identified on the final engineering plans and electric utility plans for the Subject Realty.

**SECTION 3. HOLD HARMLESS AND INDEMNIFICATION**

In the event a claim is made against the City, its officers, other officials, agents and employees or any of them, or if any is made a party-defendant in any proceeding arising out of or in connection with the approval and issuance of a Special Use Permit for a Planned Unit Development for the Subject Realty, or the development of the Subject Realty, including matters pertaining to hazardous materials and other environmental matters, the Developer and Owner shall defend and hold the City and such officers, other officials, agents and employees harmless from all claims, liabilities, losses, taxes, judgements, costs and fees, including expenses and reasonable attorney's fees, in connection therewith. The City and such officers, other officials, agents and employees shall reasonably cooperate in the defense of such proceedings.

**SECTION 4.** That this ordinance shall become effective from and after its passage and approval in accordance with law.

**PRESENTED** to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 6th day of July, 2004

**PASSED** by the City Council of the City of St. Charles, Kane and DuPage  
Counties, Illinois this 6th day of July, 2004

**APPROVED** by the Mayor of the City of St. Charles, Kane and DuPage  
Counties, Illinois this 6th day of July, 2004

  
Susan L. Klinkhamer, Mayor

Attest:

  
City Clerk/Recording Secretary

Voice Vote:

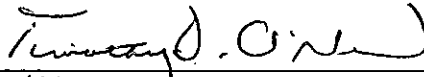
Ayes: 9

Nays: 0

Absent: 1

Abstain: 0

Approved as to form:

  
City Attorney

Date: 7/6/04

**EXHIBIT "I"**  
**LEGAL DESCRIPTION OF PROPERTY**

**Legal Description for  
Tyler & 64 Business Park**

THAT PART OF THE SOUTHWEST ¼ OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST ¼; THENCE EASTERLY ALONG THE SOUTH LINE OF SAID SOUTHWEST ¼ 749.80 FEET; THENCE NORTH 61 DEGREES, 45 MINUTES, 0 SECONDS EAST 75.40 FEET TO THE SOUTHEAST CORNER OF W.H. WILCOX'S SECOND ADDITION TO THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS; THENCE NORTH 27 DEGREES, 20 MINUTES, 0 SECONDS WEST ALONG THE EAST LINE OF SAID SECOND ADDITION 800.00 FEET TO THE NORTHEAST CORNER OF BLOCK 3 OF SAID SECOND ADDITION; THENCE NORTH 62 DEGREES, 08 MINUTES, 0 SECONDS EAST ALONG THE SOUTHERLY LINE OF INDIANA AVENUE EXTENDED 71.60 FEET; THENCE NORTH 17 DEGREES, 09 MINUTES, 0 SECONDS WEST ALONG AN OLD CLAIM LINE 683.38 FEET TO THE SOUTHERLY LINE OF EAST MAIN STREET; THENCE EASTERLY ALONG SAID SOUTHERLY LINE 658.50 FEET TO A POINT OF CURVATURE; THENCE NORTH 78 DEGREES, 18 MINUTES, 0 SECONDS EAST ALONG SAID SOUTHERLY LINE 676.50 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH 11 DEGREES, 42 MINUTES, 0 SECONDS EAST 706.33 FEET TO THE NORTHERLY LINE OF THE CHICAGO AND NORTHWESTERN TRANSPORTATION COMPANY; THENCE EASTERLY ALONG SAID NORTHERLY LINE 634.10 FEET TO THE WESTERLY LINE OF TYLER ROAD AS ESTABLISHED BY DOCUMENT 1651703; THENCE NORTH 05 DEGREES, 44 MINUTES, 36 SECONDS WEST ALONG SAID WESTERLY LINE 105.21 FEET TO A POINT OF CURVATURE IN SAID WESTERLY LINE; THENCE NORTHERLY ALONG SAID WESTERLY LINE, BEING A CURVE TO THE LEFT HAVING A RADIUS OF 7960.0 FEET TANGENT TO THE LAST DESCRIBED COURSE, 243.12 FEET; THENCE NORTH 82 DEGREES, 30 MINUTES, 24 SECONDS EAST RADIAL TO THE LAST DESCRIBED CURVE AT THE LAST DESCRIBED POINT 33.0 FEET TO THE ORIGINAL CENTER LINE OF SAID TYLER ROAD; THENCE NORTH 7 DEGREES, 29 MINUTES, 36 SECONDS WEST ALONG SAID ORIGINAL CENTER LINE 530.24 FEET TO THE MOST SOUTHERLY CORNER OF A TRACT OF LAND DESCRIBED IN DOCUMENT 1541226; THENCE NORTH 62 DEGREES, 58 MINUTES, 42 SECONDS WEST ALONG THEE SOUTHWESTERLY LINE OF SAID TRACT 117.56 FEET TO THE MOST WESTERLY CORNER OF SAID TRACT; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF SAID EAST MAIN STREET 607.14 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

**EXHIBIT "II"**  
**PRELIMINARY PLAN**

PRELIMINARY / FINAL ENGINEERING PLANS FOR  
**TYLER & 64 BUSINESS PARK**

CIVIL / SITE WORK IMPROVEMENTS

City of St. Charles Kane County Illinois

2003

RECEIVED  
 JUN 2 2 2004  
 PLANNING OFFICE

CURRENT ZONING: M1 (LIMITED MANUFACTURING DISTRICT)  
 PROPOSED ZONING: PUD (PLANNED UNIT DEVELOPMENT)

PROJECT LOCATION  
 EXISTING SITE AREA IS  
 APPROX. 12.285 ACRES

**OWNER**

TYLER & 64, LLC.  
 P.O. BOX 3970  
 ST. CHARLES, IL 60714  
 630-443-9395

**DEVELOPER**

JRD DEVELOPMENT, INC.  
 P.O. BOX 3970  
 ST. CHARLES, ILLINOIS 60174  
 630-443-9393

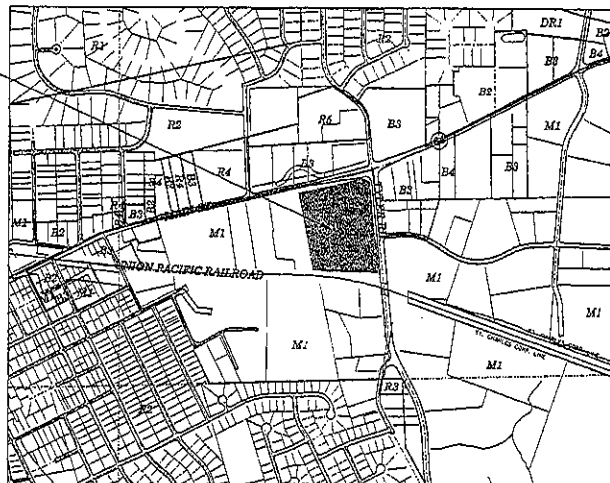
**ENGINEER**

ROBERT H. ANDERSON AND ASSOC., INC.  
 220 WEST RIVER DRIVE  
 ST. CHARLES, ILLINOIS 60174  
 630-684-3530

**BENCHMARKS**

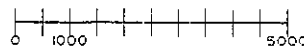
PRIMARY BENCHMARK  
 KANE COUNTY BENCHMARK 3-68  
 ELEV. = 773.41

SITE BENCHMARK  
 NW FLANGE BOLT ON HYDRANT NEAR  
 NW CORNER OF SUBJECT PARCEL  
 ELEV. = 787.82



LOCATION MAP

1" APPROX. 1600'



THAT PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE EASTERLY ALONG THE SOUTH LINE OF SAID SOUTHWEST 1/4 749.50 FEET; THENCE NORTH 61 DEGREES, 45 MINUTES, 0 SECONDS EAST 75.40 FEET TO THE SOUTHEAST CORNER OF WM. WILCOX'S SECOND ADDITION TO THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS; THENCE NORTH 27 DEGREES, 20 MINUTES, 0 SECONDS WEST ALONG THE EAST LINE OF SAID SECOND ADDITION 800.00 FEET TO THE NORTHEAST CORNER OF BLOCK 3 OF SAID SECOND ADDITION; THENCE NORTH 62 DEGREES, 53 MINUTES, 0 SECONDS EAST ALONG THE SOUTHERLY LINE OF INDIANA AVENUE EXTENDED 71.40 FEET; THENCE NORTH 17 DEGREES, 09 MINUTES, 0 SECONDS WEST ALONG AN OLD CLAM LINE 853.35 FEET TO THE SOUTHERLY LINE OF EAST MAIN STREET; THENCE EASTERLY ALONG SAID SOUTHERLY LINE 650.50 FEET TO A POINT OF CURVATURE; THENCE NORTH 78 DEGREES, 18 MINUTES, 0 SECONDS EAST ALONG SAID SOUTHERLY LINE 876.50 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH 11 DEGREES, 42 MINUTES, 0 SECONDS EAST 706.33 FEET TO THE NORTHERLY LINE OF THE UNION PACIFIC RAILROAD PROPERTY OF THE UNION PACIFIC RAILROAD AND NORTHWESTERN TRANSPORTATION COMPANY; THENCE EASTERLY ALONG SAID NORTHERLY LINE 634.10 FEET TO THE WESTERLY LINE OF TYLER ROAD AS ESTABLISHED BY DOCUMENT 1661700; THENCE NORTH 88 DEGREES, 44 MINUTES, 38 SECONDS WEST ALONG SAID WESTERLY LINE 105.21 FEET TO A POINT OF CURVATURE IN SAID WESTERLY LINE; THENCE NORTHERLY ALONG SAID WESTERLY LINE, BEING A CURVE OF 157.90 FEET RADIUS AND 7960.0 FEET TANGENT TO THE LAST DESCRIBED COURSE, 243.12 FEET; THENCE NORTH 62 DEGREES, 30 MINUTES, 24 SECONDS EAST RADIAL TO THE LAST DESCRIBED CURVE AT THE LAST DESCRIBED POINT 33.0 FEET TO THE ORIGINAL CENTER LINE OF SAID TYLER ROAD; THENCE NORTH 7 DEGREES, 29 MINUTES, 38 SECONDS WEST ALONG SAID ORIGINAL CENTER LINE 630.24 FEET TO THE MOST SOUTHERLY CORNER OF SAID TRACT OF LAND DESCRIBED IN DOCUMENT 1641220; THENCE NORTH 82 DEGREES, 58 MINUTES, 42 SECONDS WEST ALONG THE SOUTHWESTERLY LINE OF SAID TRACT 117.56 FEET TO THE MOST WESTERLY CORNER OF SAID TRACT; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF SAID EAST MAIN STREET 697.14 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

**RHA&A**  
 Robert H. Anderson & Associates, Inc.  
 Consulting Engineers  
 220 West River Drive, St. Charles, Illinois 60714  
 Phone: 630-684-3530 Fax: 630-684-3041  
 Email: rha@rhaand.com  
 ILLINOIS DEPARTMENT OF PROFESSIONAL REGULATION REGISTRATION NO. 044-090613

- ▲ REVISED: JUNE 17, 2004
- ▲ REVISED: JUNE 2, 2004
- ▲ REVISED: MAY 12, 2004
- ▲ REVISED: APRIL 16, 2004
- ▲ REVISED: MARCH 17, 2004
- ▲ REVISED: MARCH 8, 2004
- ▲ REVISED: JANUARY 26, 2004
- ▲ REVISED: JANUARY 16, 2004
- ▲ REVISED: DECEMBER 1, 2003
- ▲ REVISED: OCTOBER 31, 2003
- DATE: SEPTEMBER 30, 2003

**INDEX OF SHEETS**

1. TITLE SHEET
2. GENERAL NOTES
3. DEMOLITION PLAN
4. TREE SURVEY & TREE REMOVAL PLAN
5. OVERALL SITE PLAN
6. LOT #1 GEOMETRIC PLAN
7. LOT #2 GEOMETRIC PLAN
8. REGIONAL STORMWATER MANAGEMENT FACILITY PLAN
9. STORMWATER LIFT STATION PLAN & DETAILS
10. STORMWATER LIFT STATION SPECIFICATIONS
11. STORM SEWER & EROSION CONTROL PLAN
12. UTILITY PLAN
- 12A. ELECTRICAL LAYOUT
13. SANITARY SEWER PROFILE
14. STRUCTURE SCHEDULE
15. GRADING PLAN
16. PROPOSED ROAD PROFILE
17. RETAINING WALL PLAN
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27. WATER SYSTEM DETAILS
28. PAVING DETAILS
29. IDOT DISTRICT 1 PAVEMENT MARKING DETAILS
30. IDOT DISTRICT 1 PAVEMENT MARKING DETAILS
31. ROUTE 64 CROSS SECTIONS
32. ROUTE 64 CROSS SECTIONS

**ENGINEERING PLAN SUBMITTAL**

THESE ENGINEERING PLANS AND SUPPORTING DOCUMENTS ARE ISSUED FOR THE FOLLOWING PURPOSE ONLY.

<input type="checkbox"/>	PRELIMINARY PLAN REVIEW NO.
<input type="checkbox"/>	FINAL PLAN REVIEW NO.
<input checked="" type="checkbox"/>	PERMIT APPLICATION
<input type="checkbox"/>	BIDDING
<input type="checkbox"/>	CONSTRUCTION

ROBERT H. ANDERSON & ASSOCIATES  
 By: *RH* DATE: 6/10/04



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION  
 DATED AT ST. CHARLES, ILLINOIS THIS 10th DAY OF June 2004  
*Robert H. Anderson*  
 REGISTERED PROFESSIONAL ENGINEER NO. 044-090613 EXPIRATION DATE 11-30-2005



SCHEDULE OF STRUCTURE - SEE SHEET 14

GENERAL CONSTRUCTION NOTES

- ALL GRADING AND STREET CONSTRUCTION WITHIN THE LIMITS OF THE PROJECT SHALL BE DONE IN ACCORDANCE WITH THE ISSUED STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS, CURRENT EDITION AND ALL SUPPLEMENTS & REVISIONS THEREWITH WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION WITH THE STANDARD SPECIFICATIONS OF THE AGENCY HAVING JURISDICTION OVER THE PROJECT.
- ALL SEWER AND WATER MAIN CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION AND ALL SUPPLEMENTS & REVISIONS THEREWITH WITH THE STANDARD SPECIFICATIONS OF THE AGENCY HAVING JURISDICTION OVER THE PROJECT.
- A COPY OF THE ABOVE SPECIFICATIONS SHALL BE IN THE POSSESSION OF THE CONTRACTOR ON THE PROJECT AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER GRADING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAY SURFACE CONSTRUCTION SURFACES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF SIGNALS, SIGNS AND WARNING DEVICES TO WARN AND PROTECT THE PUBLIC.
- EXISTING UTILITIES AND UTILITY EASEMENTS, BOTH PUBLIC AND PRIVATE, SHOWN ON THE PLANS ACCORDING TO INFORMATION AVAILABLE TO THE ENGINEER AND ARE ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDING. THE OWNER ACCEPTS THE LIABILITY AND RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF ALL UTILITY LINES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH THE CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- ALL FIELD TO BE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE COMPENSATED TO THE PROPOSED STORM SEWER SYSTEM IF THIS SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE ENGINEER.
- BEFORE FINAL APPROVAL BY THE OWNER AND THE AGENCY HAVING JURISDICTION OVER THE PROJECT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE AND A REPRESENTATIVE OF THE AGENCY HAVING JURISDICTION OVER THE PROJECT. THE FINAL PAYMENT WILL BE MADE AFTER ALL OF THE CONTRACTOR'S WORK HAS BEEN APPROVED AND CERTIFIED COMPLETELY.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE ON THE COMPLETION OF CONSTRUCTION AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THIS PERIOD.
- PUBLIC WATER MAIN FACILITIES MAY BE OPERATED ONLY BY CITY OF ST. CHARLES PERSONNEL. THE CONTRACTOR IS NOT PERMITTED TO OPERATE OR ADJUST ANY PUBLIC WATER VALVE FOR ANY REASON. IF AN EMERGENCY SITUATION ARISES, THE CONTRACTOR SHALL CONTACT THE CITY OF ST. CHARLES PUBLIC WORKS DEPARTMENT IMMEDIATELY.

SITE GRADING AND PAVING

- GRAVEY EXCAVATION SHALL INCLUDE CLEANING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTION OF STRUCTURAL PILES AND THIS SHALING AND FINISHING TO THE UNDERLAYS AND CROSS-SECTIONS SHOWN ON THE PLANS. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE PARAGRAPHS OF SECTION 200 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS.
- THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS, THE REMOVAL AND BACKFILL OF UNSUITABLE MATERIAL SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE FOR UNSUITABLE SOIL REMOVAL WITH THE QUANTITY DETERMINED BY FIELD MEASUREMENT.
- THE CONTRACTOR SHALL STOCKPILE EXCAVATED TOPSOIL AND CLAY ON THE SITE AT SEPARATE LOCATION DESIGNATED BY THE OWNER AND IN ACCORDANCE WITH THE SPECIFICATIONS. EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO NOT CAUSE ANY REBOUNDING OR OTHER MOVEMENTS BY THE CONTRACTOR. EFFORTS TO PREVENT SUCH MOVEMENTS SHALL NOT CONSTITUTE A CLAIM FOR ADDITIONAL COMPENSATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL EXCAVATED MATERIAL, INCLUDING PAVEMENT, CONCRETE, ETC., FROM THE SITE.
- CONTRACTOR MUST PROVIDE OWNER WITH RECORD DRAWINGS.

SPECIFICATIONS: STORM SEWER

ITEM	DESCRIPTION	SPECIFICATION	MANUFACTURER	COMMENTS
STORM SEWER	REINFORCED CONCRETE PIPE	ASTM C-77		WITHIN 10 FT FROM WATERMAIN PROVIDE FLE-IBLE CASSETS IN ACCORDANCE WITH ASTM C-443 OR C-581
PIPE CULVERT	REINFORCED CONCRETE PIPE	ASTM C-77		100% STANDARD SPECIFICATIONS
PIPE DRAINS	R.V.C. 50# 2# OF 75	ASTM D-3014		6" DIAMETER
INLET FRAME, HIGH BASIN	CAST IRON	ASTM A-48	NEENAH	NO. R-2501-A OR 3116-1
INLET GRATE, DEPRESSSED	CAST IRON	ASTM A-48	NEENAH	NO. R-1555-2
MANHOLES, TYPE A	PRECAST REINFORCED CONCRETE	ASTM C-478	NEENAH	NO. R-1712
MANHOLE FRAME, TYPE 1	CAST IRON	ASTM A-48	NEENAH	TYPE B (SEE DETAIL ON SHEET 22 FOR SPECIFICATIONS)
MANHOLE LIDS (CLOSED)	CAST IRON	ASTM A-48	NEENAH	NO. R-1270-1 OR R-1281-1
C.O. FRAME, HIGHBACK	CAST IRON	ASTM A-48	NEENAH	NO. R-1500-2
C.O. GRATE, DEPRESSSED	CAST IRON	ASTM A-48	NEENAH	NO. R-1500-2
C.O. FRAME, TYPE 0	CAST IRON	ASTM A-48	NEENAH	NO. R-1500-2
TRENCH BACKFILL	CA-6 OR FA-6			PER CITY STANDARD (COMPACTED TO 95% MODIFIED PROCTOR DENSITY)

SPECIFICATIONS: SANITARY SEWER

ITEM	DESCRIPTION	SPECIFICATION	MANUFACTURER	COMMENTS
MAINS	DUCTILE IRON PIPE	ASTM A-151	CLOW CORP.	ASTM D-1182 FOR INSTALLATION
FORCE MAIN	DUCTILE IRON PIPE	ASTM A-151	CLOW CORP.	BY POLY WRAP OR PVC SOCS
MANHOLES, TYPE A	PRECAST REINFORCED CONCRETE	ASTM C-478	NEENAH	BY FLE-IBLE RUBBER BOOTS
FRAME	CAST IRON	ASTM A-48	NEENAH	NO. R-1712 OR R-1713
LIDS	CAST IRON	ASTM A-48	NEENAH	TYPE B (SEE DETAIL ON SHEET 26 FOR SPECIFICATIONS); SELF SEALING
SEWERS	R.V.C. 50# 2#	ASTM D-3014		TYPE B (SEE DETAIL ON SHEET 26 FOR SPECIFICATIONS); SELF SEALING
JOINTS	CA-6 OR FA-6	ASTM D-3014		FLE-IBLE SEAL
TRENCH BACKFILL	CA-6 OR FA-6			STANDARD SPECIFICATIONS (INDIVIDUAL)
AIR TEST	METHOD C			STANDARD SPECIFICATIONS (INDIVIDUAL)
TELEVISION	METHOD C			STANDARD SPECIFICATIONS (INDIVIDUAL)
DEFLECTION TEST	MANHOLE TEST			STANDARD SPECIFICATIONS (INDIVIDUAL)

SPECIFICATIONS: WATER MAIN

ITEM	DESCRIPTION	SPECIFICATION	MANUFACTURER	COMMENTS
MAINS	DUCTILE IRON PIPE	ASTM A-151	CLOW CORP.	CEMENT LINED ANNA C-104
POLYETHYLENE ENCASEMENT	DUCTILE IRON PIPE	ASTM A-151	CLOW CORP.	WATERBURY OR WITH 3/8" SS TRIM
GATE VALVE	CAST IRON	ASTM A-151	NEENAH	R-1500
RESILIENT WEDGE	CAST IRON	ASTM A-48	NEENAH	TYPE B (SEE DETAIL ON SHEET 27 FOR SPECIFICATIONS)
VAULT FRAME	CAST IRON	ASTM A-48	NEENAH	NO. R-1712 OR R-1713
VAULT LID	CAST IRON	ASTM A-48	NEENAH	TYPE B (SEE DETAIL ON SHEET 27 FOR SPECIFICATIONS); SELF SEALING
STANDARD	CAST IRON	ASTM A-48	NEENAH	NO. R-1500-2
SPECIAL HYDRANTS	DUCTILE IRON	ASTM A-151	CLOW CORP.	WATERBURY OR WITH 3/8" SS TRIM
FITTINGS	DUCTILE IRON	ASTM A-151	CLOW CORP.	WATERBURY OR WITH 3/8" SS TRIM
SEWER STOP	CA-6 OR FA-6			NO. R-1500-2
COOPERATION STOP	CA-6 OR FA-6			NO. R-1500-2
CURB STOP	CA-6 OR FA-6			NO. R-1500-2
JOINTS	CA-6 OR FA-6			NO. R-1500-2
JOINT RESTRAINTS	CA-6 OR FA-6			NO. R-1500-2
TRENCH BACKFILL	CA-6 OR FA-6			NO. R-1500-2

LEGEND

-----	EXISTING HINDR CONTOUR	-----	PROMISED HINDR CONTOUR
-----	EXISTING HANSA CONTOUR	-----	PROMISED HANSA CONTOUR
-----	EXISTING 100 YEAR FLOODPLAIN	-----	PROMISED 100 YEAR FLOODPLAIN
-----	EXISTING 10 YEAR FLOODPLAIN	-----	PROMISED 10 YEAR FLOODPLAIN
-----	CONTAMINATED SOIL BARRIER	-----	PROMISED PROPERTY LINE
-----	VEGETATED SOIL BARRIER	-----	PROMISED 100' W-40'
-----	EXISTING WETLAND AREA	-----	PROMISED CHAINLINK FENCE
-----	EXISTING STORM SEWER	-----	PROMISED STEEL JOURNAL
-----	EXISTING STORM MANHOLE	-----	PROMISED STORM SEWER
-----	EXISTING CATCH BASIN	-----	PROMISED STORM MANHOLE
-----	EXISTING STORM INLET	-----	PROMISED CATCH BASIN
-----	EXISTING GROUND ELEVATION	-----	PROMISED STORM INLET
-----	EXISTING WATERMAIN	-----	PROMISED PLACED END SECTION
-----	EXISTING VALVE VAULT	-----	PROMISED CLEANOUT
-----	EXISTING FIRE HYDRANT	-----	PROMISED CLEANOUT
-----	EXISTING SANITARY SEWER	-----	PROMISED SPOT ELEVATION
-----	EXISTING SANITARY MANHOLE	-----	PROMISED WATERMAIN
-----	EXISTING OVERHEAD ELECTRIC	-----	PROMISED FIRE B SENICE
-----	EXISTING POWER POLE	-----	PROMISED VALVE VAULT
-----	EXISTING ELECTRIC MANHOLE	-----	PROMISED FIRE M-DRANT
-----	EXISTING COMMUNICATION LINE	-----	PROMISED SANITARY SEWER
-----	EXISTING STREET LIGHT	-----	PROMISED SANITARY SERVICE
-----	EXISTING UTILITY SPACE BOX	-----	PROMISED SANITARY MANHOLE
-----	EXISTING HANDHOLE	-----	PROMISED OVERHEAD ELECTRIC
-----	EXISTING GAS VALVE	-----	PROMISED UNDERGROUND ELECTRIC
-----	EXISTING STREET SIGN	-----	PROMISED POWER POLE
-----	EXISTING MONUMENT STONE	-----	PROMISED TRANSFORMER
-----	EXISTING TREE	-----	PROMISED TRANSFORMER
-----	PROMISED STREET SIGN	-----	PROMISED STREET LIGHT
-----		-----	PROMISED MANHOLE

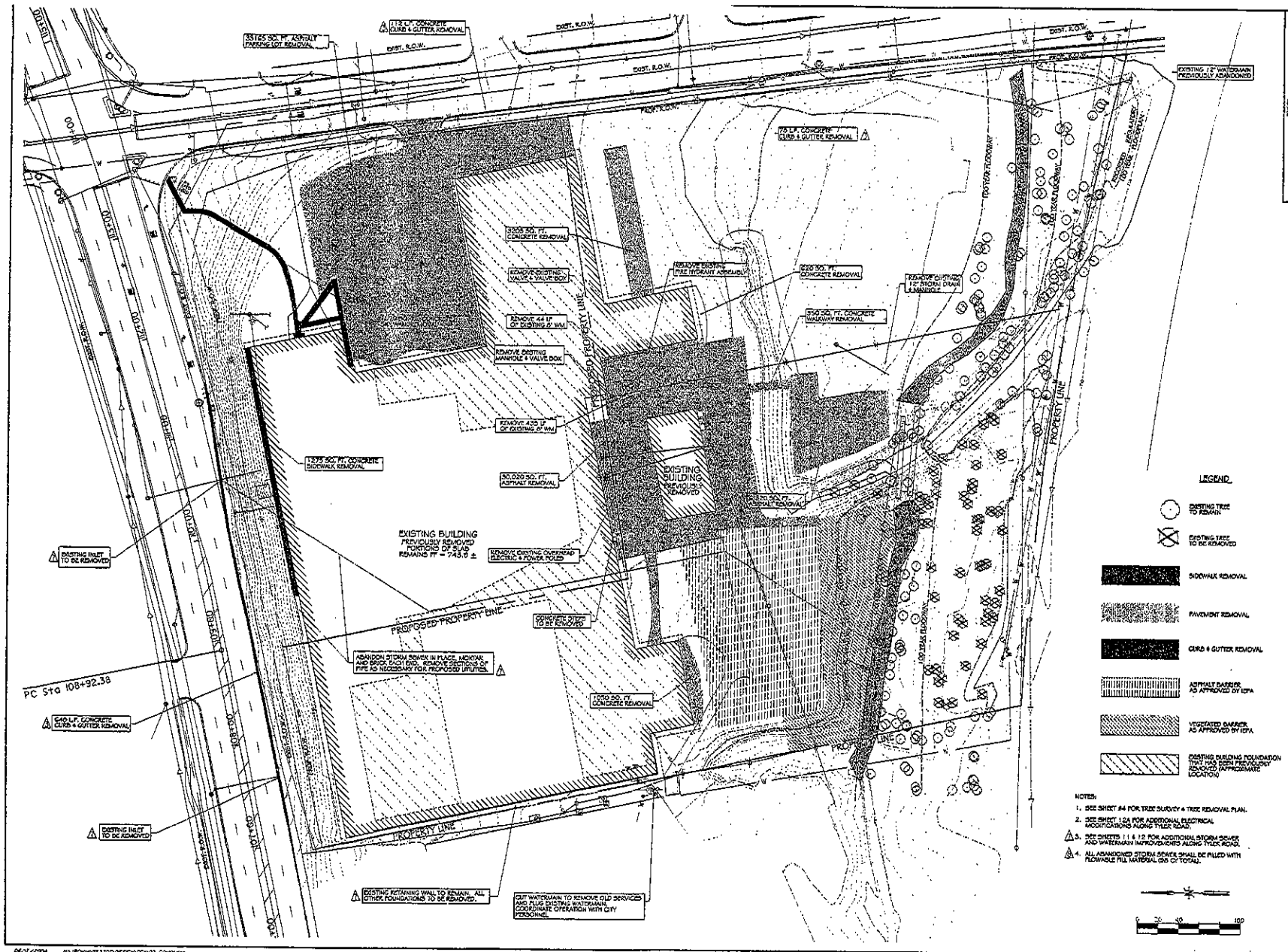
NOTE:  
RETAINING WALL SHOP DRAWINGS SIGNED AND SEALED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF ILLINOIS MUST BE SUBMITTED 30 DAYS PRIOR TO THE START OF CONSTRUCTION.

REVISION	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
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10			

**RH&A**  
Robert H. Anderson & Associates, Inc.  
Professional Engineers  
1000 N. W. 10th St., Ft. Lauderdale, FL 33304  
(305) 546-1000

**TYLER & 64 BUSINESS PARK**  
GENERAL NOTES & LEGEND  
KANE COUNTY ILLINOIS  
CITY OF ST. CHARLES

PROJECT NO. 875-001  
DATE: 10/15/00  
SCALE: NONE  
SHEET 2 OF 32



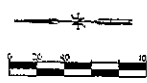
NO.	DESCRIPTION	AMOUNT	UNIT
1	REMOVE 1875 SQ. FT. CONCRETE SIDEWALK	1875	SQ. FT.
2	REMOVE 1875 SQ. FT. CONCRETE SIDEWALK	1875	SQ. FT.
3	REMOVE 1875 SQ. FT. CONCRETE SIDEWALK	1875	SQ. FT.
4	REMOVE 1875 SQ. FT. CONCRETE SIDEWALK	1875	SQ. FT.
5	REMOVE 1875 SQ. FT. CONCRETE SIDEWALK	1875	SQ. FT.
6	REMOVE 1875 SQ. FT. CONCRETE SIDEWALK	1875	SQ. FT.
7	REMOVE 1875 SQ. FT. CONCRETE SIDEWALK	1875	SQ. FT.
8	REMOVE 1875 SQ. FT. CONCRETE SIDEWALK	1875	SQ. FT.
9	REMOVE 1875 SQ. FT. CONCRETE SIDEWALK	1875	SQ. FT.
10	REMOVE 1875 SQ. FT. CONCRETE SIDEWALK	1875	SQ. FT.

**RH&A**  
 Robert E. Anderson & Associates, Inc.  
 1000 W. 10th Street, Suite 100  
 Des Moines, IA 50319  
 Phone: 515-281-3333  
 Fax: 515-281-3334

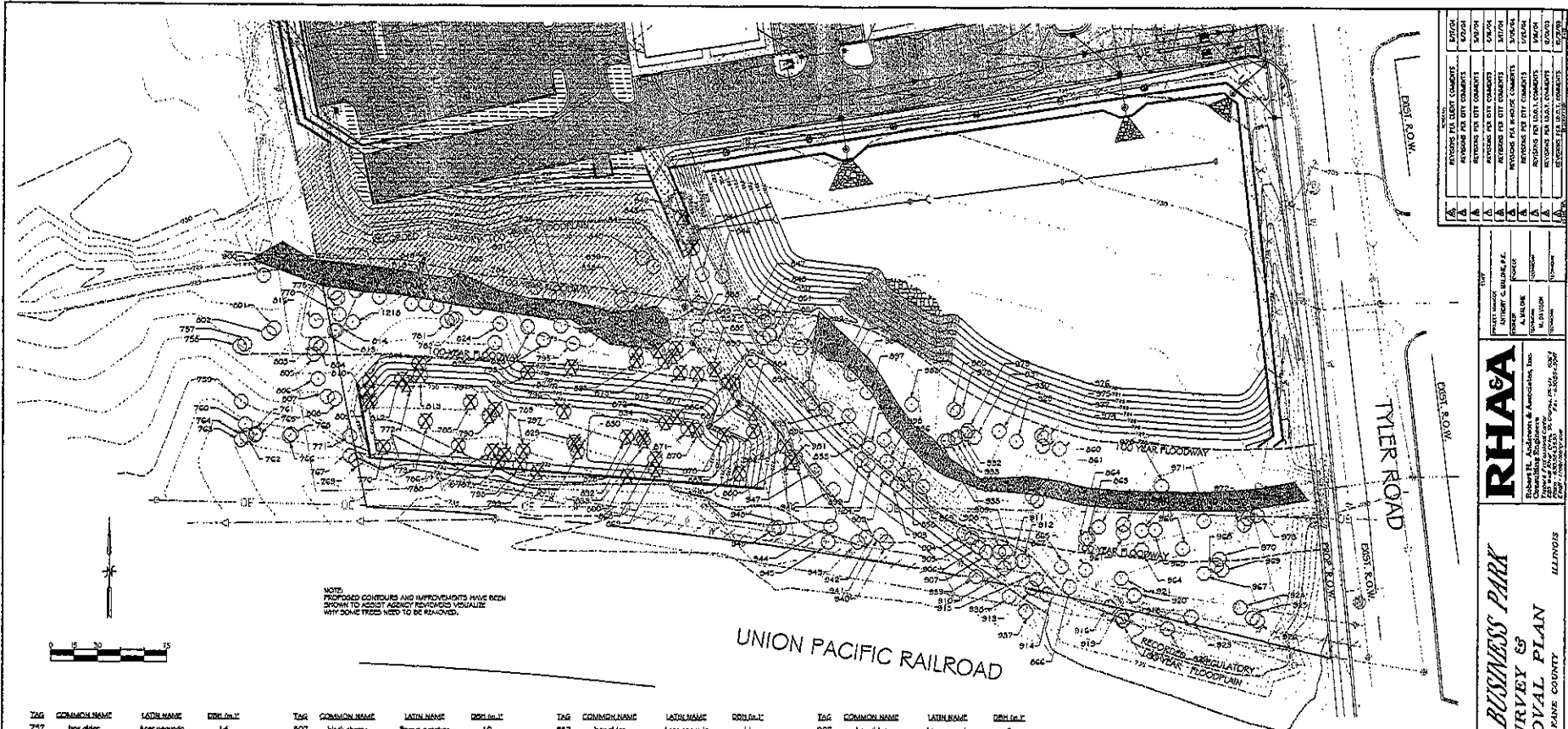
**TYLER & 64 BUSINESS PARK**  
 DEMOLITION PLAN  
 RANKS COUNTY, IOWA  
 CITY OF ST. CHARLES

- LEGEND**
- EXISTING TREE TO REMAIN
  - EXISTING TREE TO BE REMOVED
  - SIDEWALK REMOVAL
  - PAVEMENT REMOVAL
  - CURB & GUTTER REMOVAL
  - ASPHALT BARRELS AS APPROVED BY IDTA
  - VENTILATED DAMBERS AS APPROVED BY IDTA
  - EXISTING BUILDING FOUNDATION THAT HAS BEEN PREVIOUSLY REMOVED (APPROXIMATE LOCATION)

- NOTES**
1. SEE SHEET #4 FOR TREE SURVEY & TREE REMOVAL PLAN.
  2. SEE SHEET #2A FOR ADDITIONAL ELECTRICAL INFORMATION ALONG TYLER ROAD.
  3. SEE SHEETS 1 & 12 FOR ADDITIONAL STORM SEWER AND WATERMAIN IMPROVEMENTS ALONG TYLER ROAD.
  4. ALL ABANDONED SYSTEM SINKS SHALL BE FILLED WITH FLOWABLE FILL MATERIAL (50% OF TOTAL).



PROJECT NO.	373-102
DATE	MARCH 16, 2003
SCALE	AS SHOWN
DRAWN BY	JD-SC/2003/03/16/03/03
CHECKED BY	JD-SC/2003/03/16/03/03
SHEET	3 OF 32



NOTE: PROPOSED CONTOURS AND IMPROVEMENTS HAVE BEEN SHOWN TO ASSIST AGENCY REVIEWERS VISUALIZE WHY SOME TREES NEED TO BE REMOVED.

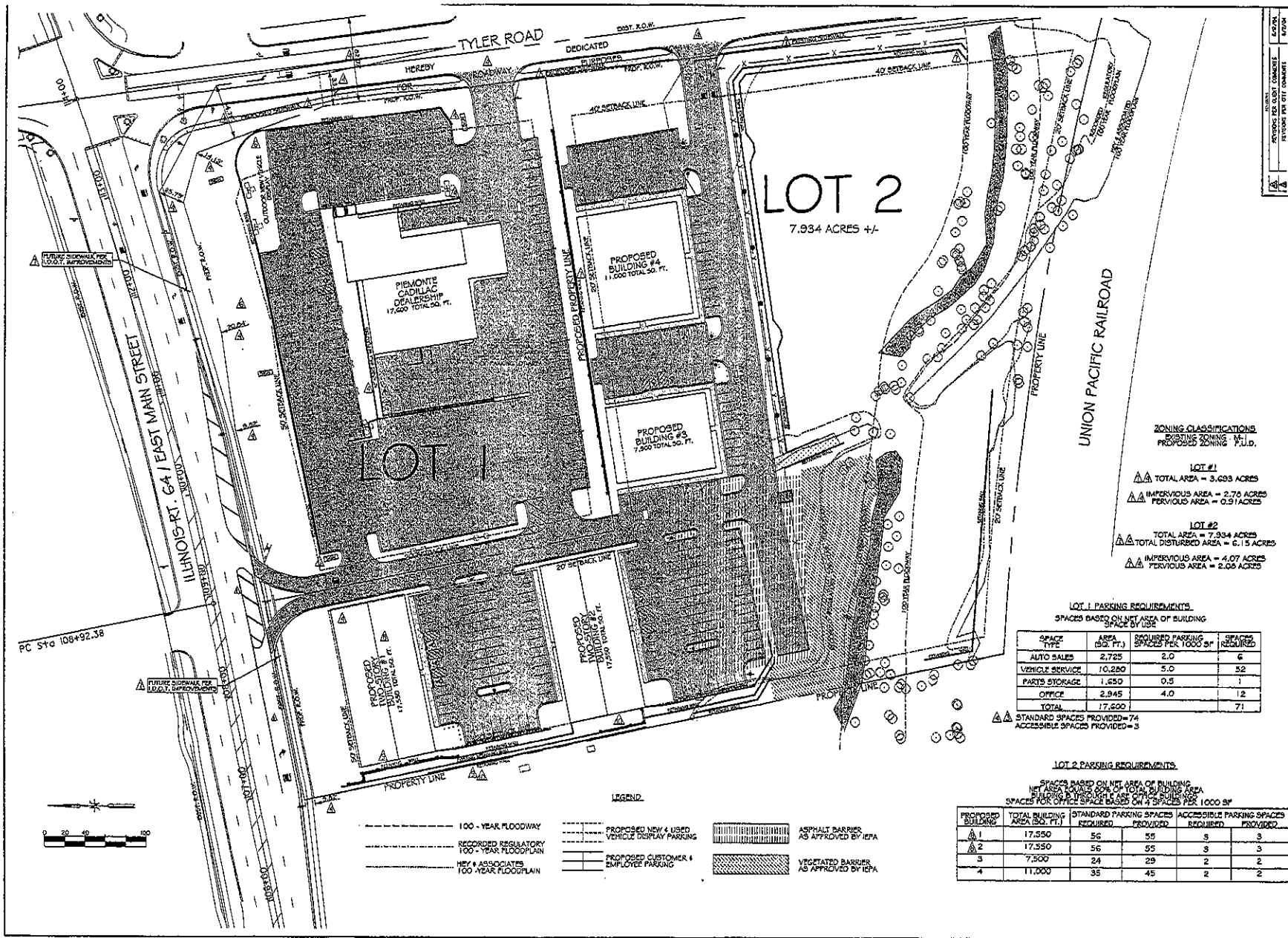
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738	sawery elm	Ulmus americana	9	008	box elder	Acer negundo	10	008	box elder	Acer negundo	9
739	box elder	Acer negundo	11	009	box elder	Acer negundo	12	009	box elder	Acer negundo	10
740	hackberry	Celtis occidentalis	21	010	box elder	Acer negundo	12	010	box elder	Acer negundo	10
741	box elder	Acer negundo	11	011	shagbark elm	Ulmus rufus	6	011	box elder	Acer negundo	10
742	sawery elm	Ulmus americana	10	012	box elder	Acer negundo	13	012	box elder	Acer negundo	10
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749	sawery elm	Ulmus americana	14	019	box elder	Acer negundo	14	019	box elder	Acer negundo	10
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789	box elder	Acer negundo	15	059	black cherry	Prunus serotina	18	059	box elder	Acer negundo	10
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792	box elder	Acer negundo	15	062	black cherry	Prunus serotina	18	062	box elder	Acer negundo	10
793	box elder	Acer negundo	15	063	black cherry	Prunus serotina	18	063	box elder	Acer negundo	10
794	box elder	Acer negundo	15	064	black cherry	Prunus serotina	18	064	box elder	Acer negundo	10
795	box elder	Acer negundo	15	065	black cherry	Prunus serotina	18	065	box elder	Acer negundo	10
796	box elder	Acer negundo	15	066	black cherry	Prunus serotina	18	066	box elder	Acer negundo	10
797	box elder	Acer negundo	15	067	black cherry	Prunus serotina	18	067	box elder	Acer negundo	10
798	box elder	Acer negundo	15	068	black cherry	Prunus serotina	18	068	box elder	Acer negundo	10
799	box elder	Acer negundo	15	069	black cherry	Prunus serotina	18	069	box elder	Acer negundo	10
800	box elder	Acer negundo	15	070	black cherry	Prunus serotina	18	070	box elder	Acer negundo	10
801	box elder	Acer negundo	15	071	black cherry	Prunus serotina	18	071	box elder	Acer negundo	10
802	box elder	Acer negundo	15	072	black cherry	Prunus serotina	18	072	box elder	Acer negundo	10
803	box elder	Acer negundo	15	073	black cherry	Prunus serotina	18	073	box elder	Acer negundo	10
804	box elder	Acer negundo	15	074	black cherry	Prunus serotina	18	074	box elder	Acer negundo	10
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807	box elder	Acer negundo	15	077	black cherry	Prunus serotina	18	077	box elder	Acer negundo	10
808	box elder	Acer negundo	15	078	black cherry	Prunus serotina	18	078	box elder	Acer negundo	10
809	box elder	Acer negundo	15	079	black cherry	Prunus serotina	18	079	box elder	Acer negundo	10
810	box elder	Acer negundo	15	080	black cherry	Prunus serotina	18	080	box elder	Acer negundo	10
811	box elder	Acer negundo	15	081	black cherry	Prunus serotina	18	081	box elder	Acer negundo	10
812	box elder	Acer negundo	15	082	black cherry	Prunus serotina	18	082	box elder	Acer negundo	10
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816	box elder	Acer negundo	15	086	black cherry	Prunus serotina	18	086	box elder	Acer negundo	10
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818	box elder	Acer negundo	15	088	black cherry	Prunus serotina	18	088	box elder	Acer negundo	10
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820	box elder	Acer negundo	15	090	black cherry	Prunus serotina	18	090	box elder	Acer negundo	10
821	box elder	Acer negundo	15	091	black cherry	Prunus serotina	18	091	box elder	Acer negundo	10
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830	box elder	Acer negundo	15	100	black cherry	Prunus serotina	18	100	box elder	Acer negundo	10

\*Diameter at Breast Height  
\*Number of stems greater than 6 inches at breast height. The DBH is the combined inches of all stems greater than 6 inches.

REVISION	DATE	BY
REVISION FOR CLIENT COMMENTS		
REVISION FOR CITY COMMENTS		
REVISION FOR TREE REMOVAL		
REVISION FOR LOCAL COMMENTS		
REVISION FOR STATE COMMENTS		
REVISION FOR FEDERAL COMMENTS		
REVISION FOR OTHER COMMENTS		

**RH&A**  
RHOADS & ASSOCIATES, INC.  
215 W. WASHINGTON ST. SUITE 1000  
CHICAGO, IL 60604  
TEL: (312) 527-0800

**TYLER & 64 BUSINESS PARK  
TREE SURVEY AND  
TREE REMOVAL PLAN**  
PLANNING  
PAGE COUNTY  
ILLINOIS  
CITY OF ST. CHARLES



REVISION	DATE	BY	DESCRIPTION
1			ISSUED FOR PERMITS
2			ISSUED FOR PERMITS
3			ISSUED FOR PERMITS
4			ISSUED FOR PERMITS
5			ISSUED FOR PERMITS
6			ISSUED FOR PERMITS
7			ISSUED FOR PERMITS
8			ISSUED FOR PERMITS
9			ISSUED FOR PERMITS
10			ISSUED FOR PERMITS

**RH&A**  
 RICHARDSON & ASSOCIATES, INC.  
 2221 W. 10th St., Suite 200, Ft. Worth, TX 76102  
 Phone: (817) 335-1100  
 Fax: (817) 335-1101

**TYLER & 64 BUSINESS PARK**  
 SITE PLAN  
 CITY OF ST. CHARLES  
 KANE COUNTY  
 ILLINOIS

ZONING CLASSIFICATIONS  
 EXISTING ZONING: M-1  
 PROPOSED ZONING: P.U.D.

**LOT #1**  
 TOTAL AREA = 3.633 ACRES  
 IMPERVIOUS AREA = 2.70 ACRES  
 PERVIOUS AREA = 0.93 ACRES

**LOT #2**  
 TOTAL AREA = 7.934 ACRES  
 TOTAL DISTURBED AREA = 6.13 ACRES  
 IMPERVIOUS AREA = 4.07 ACRES  
 PERVIOUS AREA = 2.06 ACRES

**LOT 1 PARKING REQUIREMENTS**  
 SPACES BASED ON NET AREA OF BUILDING  
 SPACES PER 1,000 SF

SPACE TYPE	AREA (SQ. FT.)	REQUIRED PARKING SPACES PER 1,000 SF	SPACES PROVIDED
AUTO SALES	2,725	2.0	6
VEHICLE SERVICE	10,280	5.0	52
PARTS STORAGE	1,650	0.5	1
OFFICE	2,945	4.0	12
TOTAL	17,600		71

STANDARD SPACES PROVIDED = 74  
 ACCESSIBLE SPACES PROVIDED = 3

**LOT 2 PARKING REQUIREMENTS**  
 SPACES BASED ON NET AREA OF BUILDING  
 SPACES PER 1,000 SF

PROPOSED BUILDING	TOTAL BUILDING AREA (SQ. FT.)	STANDARD PARKING SPACES REQUIRED	STANDARD PARKING SPACES PROVIDED	ACCESSIBLE PARKING SPACES REQUIRED	ACCESSIBLE PARKING SPACES PROVIDED
1	17,550	56	55	5	3
2	17,350	56	55	3	3
3	7,500	24	29	2	2
4	11,200	35	45	2	2

**LEGEND**

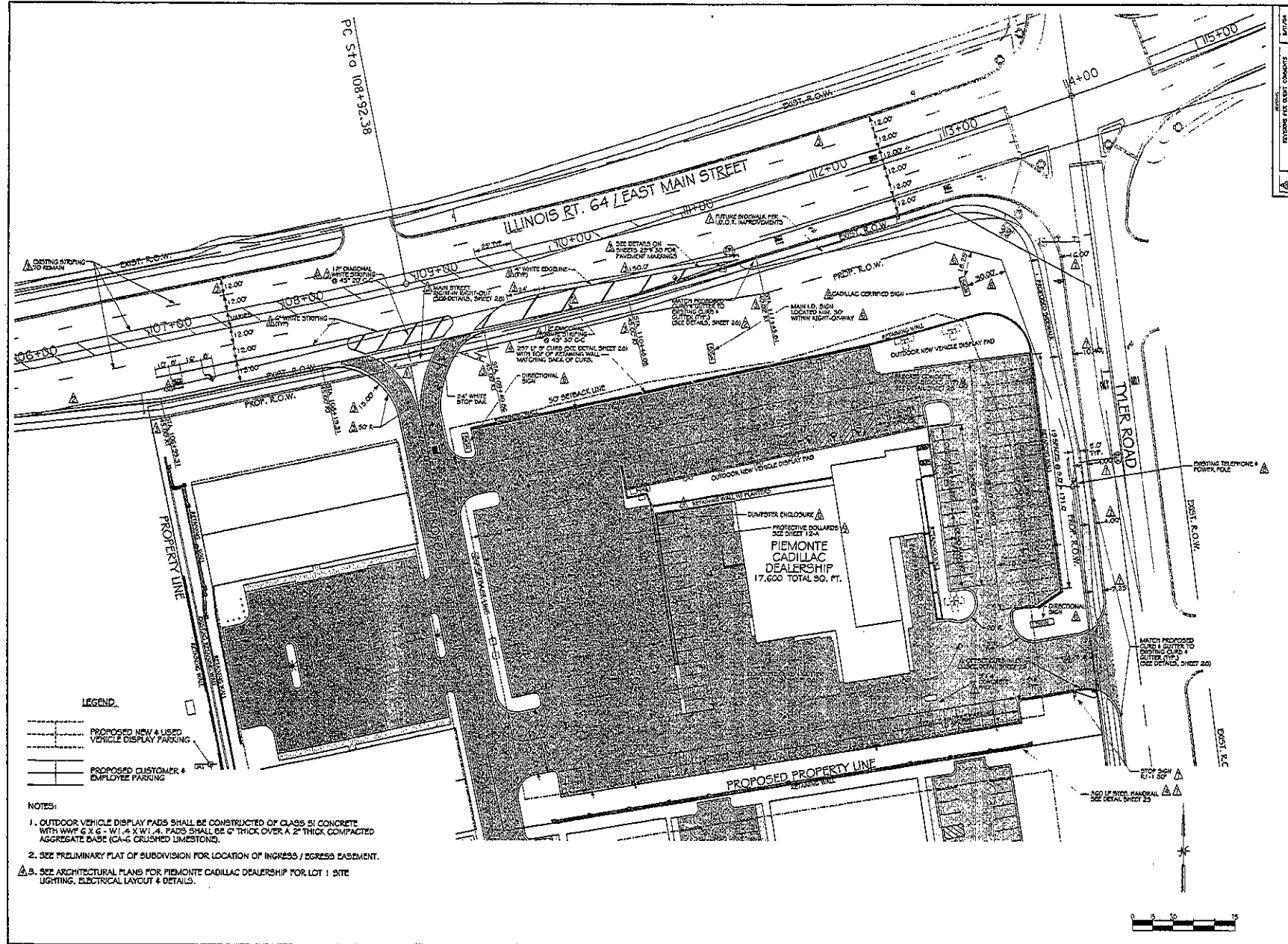
- 100-YEAR FLOODWAY
- - - - - RECORDED REGULATORY 100-YEAR FLOODPLAIN
- - - - - MEY & ASSOCIATES 100-YEAR FLOODPLAIN
- PROPOSED NEW & USED VEHICLE DISPLAY PARKING
- PROPOSED CUSTOMER & EMPLOYEE PARKING
- [Hatched Box] ASPHALT BARRIER AS APPROVED BY IEPA
- [Hatched Box] VEGETATED BARRIER AS APPROVED BY IEPA

REVISION	DATE	DESCRIPTION
1		ISSUED FOR PERMITS
2		ISSUED FOR PERMITS
3		ISSUED FOR PERMITS
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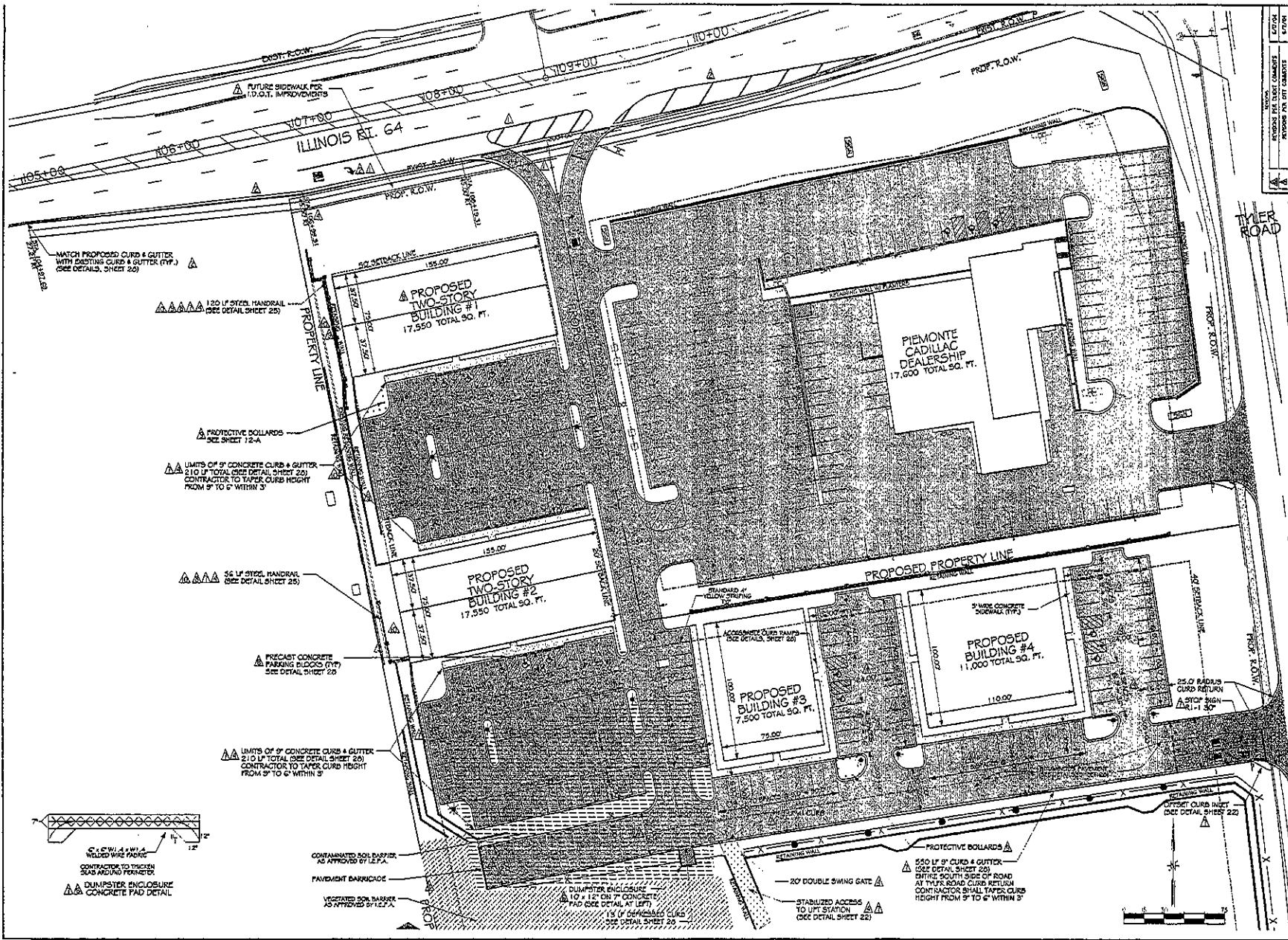
**RH&A**  
 Robert H. Anderson & Associates, Inc.  
 1000 N. W. 10th St., Ft. Lauderdale, FL 33304  
 Phone: (305) 555-1111  
 Fax: (305) 555-1112

**TYLER & 64 BUSINESS PARK**  
**LOT #1 GEOMETRIC PLAN**  
 CITY OF ST. CHARLES KANE COUNTY ILLINOIS

PROJECT NO.: 075-002  
 DATE: MARCH 28, 2003  
 SCALE: AS SHOWN  
 FOR FILE: ST. CHARLES CITY ENGINEERING DEPARTMENT  
 SHEET 6 OF 32







SECTION	DESCRIPTION	DATE
A-1	REVISION FOR LOT COMMENTS	11/20/04
A-2	REVISION FOR DET COMMENTS	11/20/04
A-3	REVISION FOR DET COMMENTS	11/20/04
A-4	REVISION FOR DET COMMENTS	11/20/04
A-5	REVISION FOR DET COMMENTS	11/20/04
A-6	REVISION FOR DET COMMENTS	11/20/04
A-7	REVISION FOR DET COMMENTS	11/20/04
A-8	REVISION FOR DET COMMENTS	11/20/04
A-9	REVISION FOR DET COMMENTS	11/20/04
A-10	REVISION FOR DET COMMENTS	11/20/04
A-11	REVISION FOR DET COMMENTS	11/20/04
A-12	REVISION FOR DET COMMENTS	11/20/04
A-13	REVISION FOR DET COMMENTS	11/20/04
A-14	REVISION FOR DET COMMENTS	11/20/04
A-15	REVISION FOR DET COMMENTS	11/20/04

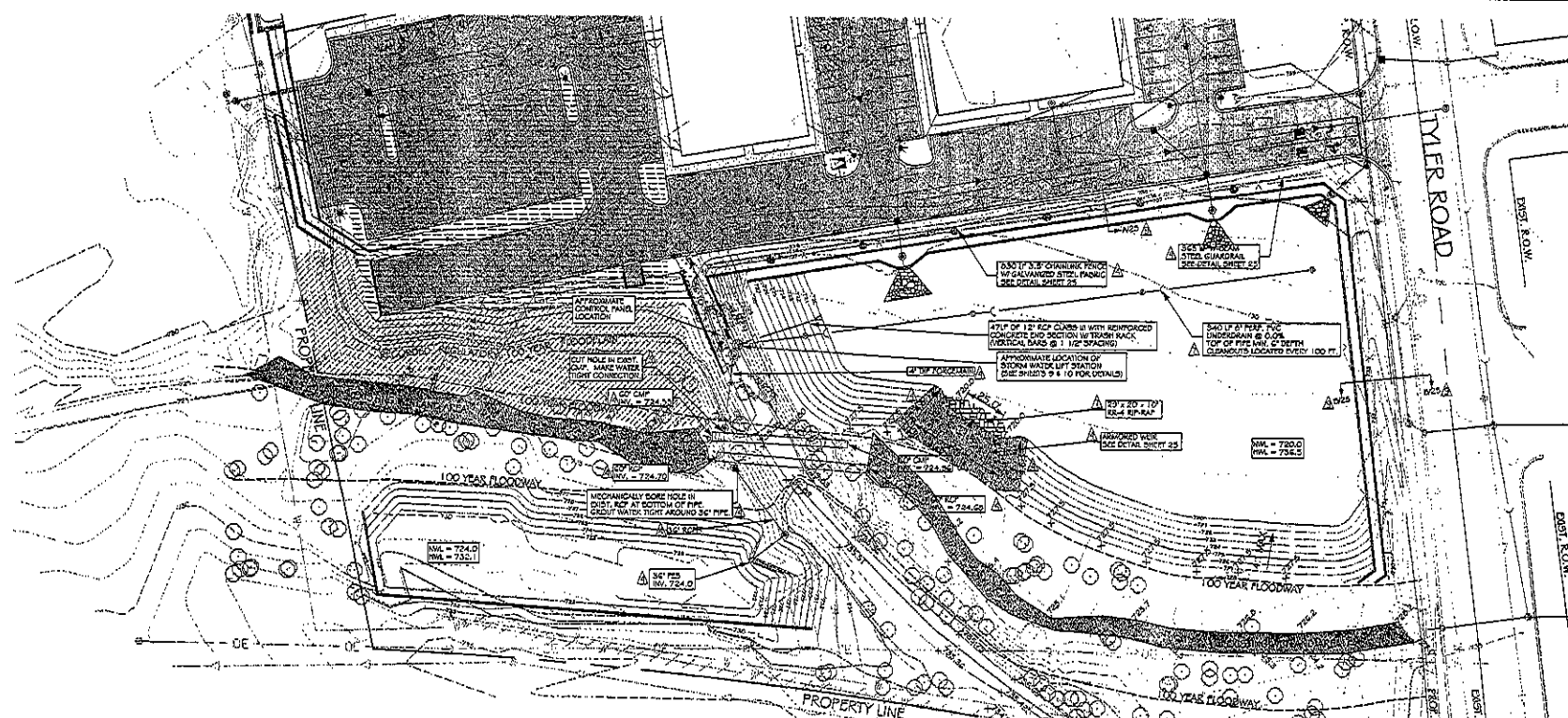
**RHA&A**  
 Robert H. Anderson & Associates, Inc.  
 1111 North 1st Street, Suite 200  
 Chicago, IL 60610  
 Phone: (773) 462-1000  
 Fax: (773) 462-1001  
 Website: www.rhaa.com

**TYLER & 64 BUSINESS PARK**  
**LOT #2 GEOMETRIC PLAN**  
 CITY OF ST. CHARLES ILLINOIS  
 KANE COUNTY

DATE: MARCH 28, 2004  
 DRAWN BY: AS SHORS  
 CHECKED BY: [Signature]  
 SHEET 7 OF 32

06/17/2004 H:\R\m\023309\023309.dwg 02/28/04 11:00:00 AM

NO. 1	REVISIONS
NO. 2	REVISIONS
NO. 3	REVISIONS
NO. 4	REVISIONS
NO. 5	REVISIONS
NO. 6	REVISIONS
NO. 7	REVISIONS
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NO. 27	REVISIONS
NO. 28	REVISIONS
NO. 29	REVISIONS
NO. 30	REVISIONS



**RH&A**  
 Robert H. Anderson & Associates, Inc.  
 1000 N. W. 10th St., Suite 100  
 Ft. Lauderdale, FL 33304  
 Phone: (305) 555-1000  
 Fax: (305) 555-1001

**TYLER & 64 BUSINESS PARK**  
 REGIONAL STORMWATER  
 MANAGEMENT FACILITY  
 ILLINOIS  
 KANE COUNTY  
 CITY OF STICHLER

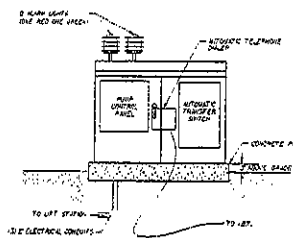
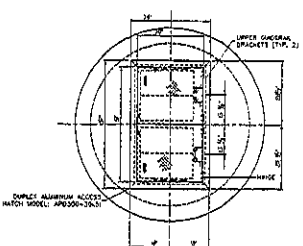
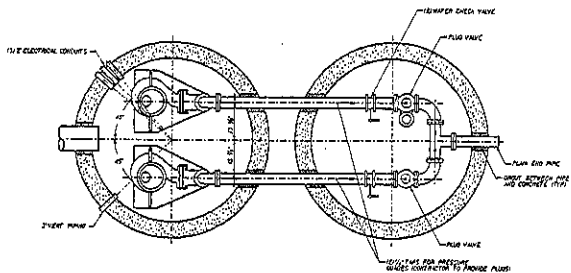
- NOTE:
1. SEE PRELIMINARY PLAN OF SUBDIVISION FOR LOCATION OF STORMWATER DRAINAGE AND DETENTION EASEMENT AND STORM EASEMENT.
  2. SEE SHEET 25 FOR TYPICAL SECTIONS A - A & B - B.
  3. SEE SHEET 11 FOR STORM SEWER AND EROSION CONTROL INFORMATION.

INCREMENTAL DETENTION STORAGE VOLUMES

EAST DETENTION BASIN				WEST DETENTION BASIN			
ELEV.	TOTAL VOLUME (cu yd)	TOTAL VOLUME (ac ft)	INCREMENTAL VOLUME (ac ft)	ELEV.	TOTAL VOLUME (cu yd)	TOTAL VOLUME (ac ft)	INCREMENTAL VOLUME (ac ft)
720	0.00	0.00	0.00	724	0.00	0.00	0.00
721	1555.73	0.96	0.96	725	2429.86	0.27	0.27
722	3172.35	1.97	1.00	726	1076.14	0.67	0.40
723	4650.47	3.01	1.04	726.5	1455.04	0.50	0.23
724	6530.21	4.09	1.08	727	1877.18	1.16	0.26
725	8394.05	5.20	1.12	728	2510.20	1.50	0.64
726	10277.09	6.37	1.17	729	3155.63	2.58	0.77
726.5	11326.57	7.02	0.65	730	4513.00	3.42	0.24
727	12492.89	7.74	0.72	731	6955.01	4.31	0.89
728	15130.67	9.36	1.63	732	8489.59	5.26	0.95
729	18084.50	11.21	1.85	732.1	9647.59	5.56	0.10
730	21276.52	13.19	1.99				
731	24562.85	15.22	2.04				
732	27916.68	17.50	2.28				
733	31352.24	19.43	2.13				
734	34865.29	21.62	2.19				
735	38450.63	23.66	2.23				
736	42122.31	26.15	2.29				
736.5	44065.38	27.31	1.16				

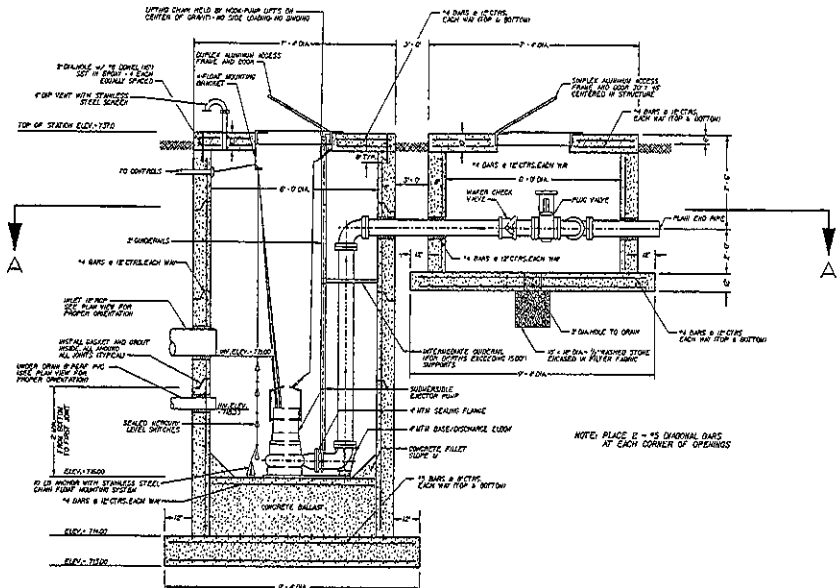
EXISTING DEPRESSIONAL STORAGE VOLUME = 21.87 Acft <sup>(1)</sup> Δ  
 COMPENSATORY STORAGE VOLUME = 0.26 Acft <sup>(1)</sup> Δ Δ  
 REQUIRED DETENTION = (EXISTING DEPRESSIONAL STORAGE) + (COMPENSATORY STORAGE x 1.5) + (REQUIRED ON-SITE DETENTION)  
 REQUIRED DETENTION = (21.87 Acft) + (1.44 Acft) + (4.6 Acft) Δ Δ Δ  
 REQUIRED DETENTION VOLUME = 28.11 Acft Δ Δ Δ  
 PROPOSED DETENTION PROVIDED = 32.67 Acft Δ Δ Δ Δ  
 (1) VOLUME BASED ON H&V & ASSOC. 100-YEAR FLOODPLAIN



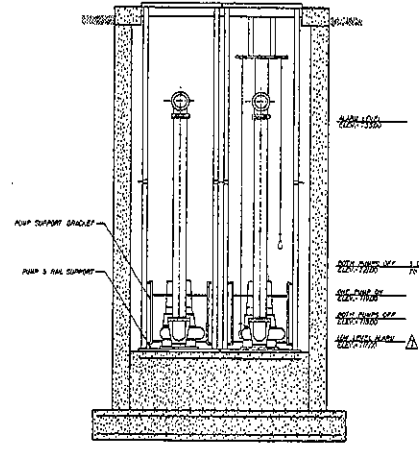


- NOTES
- CONTRACTOR TO OBTAIN CONTRACT & POWER COORDS OF SUPPLIER. LENGTH TO BEIN CONTROL PANEL FROM POINT OF ORIGIN ON PAPER TO BE DETERMINED.
  - ALL PIPING & TUBES ARE TO BE PROVIDED BY CONTRACTOR UNLESS OTHERWISE NOTED.
  - ALL CONDUITS MUST BE THE RESPONSIBILITY OF CONTRACTOR.
  - LIFT STATION TO BE INSTALLED BY AN EXPERIENCED & QUALIFIED CONTRACTOR.
  - CONDUITS ARE AS FOLLOWS:
    - 1" FOR LEVEL CONTROLS AND WIPER EACH PUMP POWER COIL.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PANEL LAYOUT, AND ORIENTATION OF INLETS, DRAINAGE AND CONDUITS.



PROVIDE WATERPROOF SEAL OR WRAP WITH STEEL CLAMP AROUND EXTERIOR OF STRUCTURE AT JOINTS. SEE SPECIFICATION ON SHEET NO.



CONTROLS TO BE LOCATED AT POINT THROUGH PRESSURE TRANSDUCER CLEAR TWO HOURS IF ELEVATION INCREASES BY 4" OR MORE THERE IS NECESS. IF ELEVATION DIFFERENCE IS LESS THAN 4" ON INCREASE THAT IS ON THE DOWNWARD SIDE THE 5 DWS IS ELAPSED. THE 5 HOURS TURN ON AND PUMP OPER. ELEVATION 1000 IS REACHED. THE 4" ELEVATION DIFFERENCE IS COMPLETE OVER THE 5 ON PERIOD.

REVISION	DATE	BY	CHKD BY
1			
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**RH&A**  
Robert T. Anderson & Associates, Inc.  
1000 W. 10th Street, Suite 100  
Tulsa, Oklahoma 74103  
(918) 438-1111

**TYLER & 64 BUSINESS PARK**  
STORMWATER LIFT STATION  
PLAN & DETAILS  
ILLINOIS  
KANE COUNTY

PROJECT NO.	075-202
DATE	MARCH 08, 2005
SCALE	AS SHOWN
SHEET	9 OF 32



STANDARD SPECIFICATIONS: DUPLEX PRECAST CONCRETE LIFT STATION WITH VALVE VAULT

GENERAL
FURNISH AND INSTALL A COMPLETE FACTORY-BUILT SEMI-FINISHED PUMP STATION AS MANUFACTURED BY THE MANUFACTURER'S NAME AND MODEL NUMBER...

SET WALL AND VALVE VAULT
GENERAL
THE SET WALL AND VALVE VAULT SHALL HAVE AN INSIDE DIAMETER OF 6 FEET AND AN INSIDE HEIGHT AS SHOWN ON THE PLANS... THE SET WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 8" THICK CONCRETE...

STRUCTURES MAY BE INSTALLED USING ANY ACCREDITED CONSTRUCTION METHOD IN GENERAL USE IN THE AREA... THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

REPAIRS TO THE SET WALL SHALL BE MADE BY THE CONTRACTOR... THE CONTRACTOR SHALL MAINTAIN THE LAST OUTPUT VALVE UNTIL IT IS INSTALLED...

GENERAL
THE OPERATOR INTERFERENCE SHALL SHOW STATION STAINS AND SHALL PROTECT THE OPERATOR WITH EQUIVALENT THROUGHOUT THE LIFE OF THE PUMP STATION...

GENERAL
THE OPERATOR INTERFERENCE SHALL CONSIST OF A 1 1/2 X 2 1/4 PANEL, 20 CHARACTERS X 18 LINE, 18 LINE SPOKEN LETTER, 20 POINT TYPE, 20 POINT FONT, 20 POINT SPACING...

GENERAL
A CABLE ALARM LIGHT SHALL BE MOUNTED ON THE SWANEL... THE ALARM LIGHT SHALL GLOW RED AT ALL TIMES EXCEPT UNDER NORMAL OPERATING CONDITIONS...

GENERAL
EQUIPMENT RESPONSIBILITY
ALL PUMPERS, PUMPS AND ACCESSORIES SHALL BE FURNISHED BY THE EQUIPMENT SUPPLIER... THE EQUIPMENT SUPPLIER SHALL BE RESPONSIBLE FOR THE EQUIPMENT...

GENERAL
SHOP DRAWINGS
THE CONTRACTOR SHALL FURNISH A MINIMUM OF SIX (6) COPIES OF ALL DRAWINGS TO THE ENGINEER FOR APPROVAL... THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHOP DRAWINGS...

GENERAL
WARRANTY
THE MANUFACTURER SHALL WARRANT HIS PRODUCT TO BE FREE FROM DEFECTS IF NORMAL USE FOR A PERIOD OF ONE (1) YEAR... THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WARRANTY...

GENERAL
EQUIPMENT MANUFACTURER
THE ENGINEER SHALL ESTABLISH A STANDARD OF QUALITY AND TO INSURE A SUFFICIENT BASIS OF RECORDING PUMP STATION EQUIPMENT SHALL BE COMPLETED AND APPROVED...

GENERAL
WHEN THE EXECUTION OF THE CONTRACT, SUBSTITUTION OF NON-SPECIFIED EQUIPMENT WILL BE CONSIDERED... THE CONTRACTOR SHALL PROVIDE CERTIFIED COPIES OF THE EQUIPMENT PROPOSALS FROM THE MANUFACTURER.

GENERAL
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... THE CONTRACTOR SHALL MAINTAIN THE LAST OUTPUT VALVE UNTIL IT IS INSTALLED...

GENERAL
THE OPERATOR INTERFERENCE SHALL SHOW STATION STAINS AND SHALL PROTECT THE OPERATOR WITH EQUIVALENT THROUGHOUT THE LIFE OF THE PUMP STATION... THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTERFERENCE...

GENERAL
THE OPERATOR INTERFERENCE SHALL CONSIST OF A 1 1/2 X 2 1/4 PANEL, 20 CHARACTERS X 18 LINE, 18 LINE SPOKEN LETTER, 20 POINT TYPE, 20 POINT FONT, 20 POINT SPACING... THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTERFERENCE...

GENERAL
A CABLE ALARM LIGHT SHALL BE MOUNTED ON THE SWANEL... THE ALARM LIGHT SHALL GLOW RED AT ALL TIMES EXCEPT UNDER NORMAL OPERATING CONDITIONS... THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ALARM...

GENERAL
EQUIPMENT RESPONSIBILITY
ALL PUMPERS, PUMPS AND ACCESSORIES SHALL BE FURNISHED BY THE EQUIPMENT SUPPLIER... THE EQUIPMENT SUPPLIER SHALL BE RESPONSIBLE FOR THE EQUIPMENT...

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GENERAL
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Table with 12 columns: EVIDENCE, REVISIONS, COMMENTS, DATE, and multiple columns for revision numbers (1 through 12).

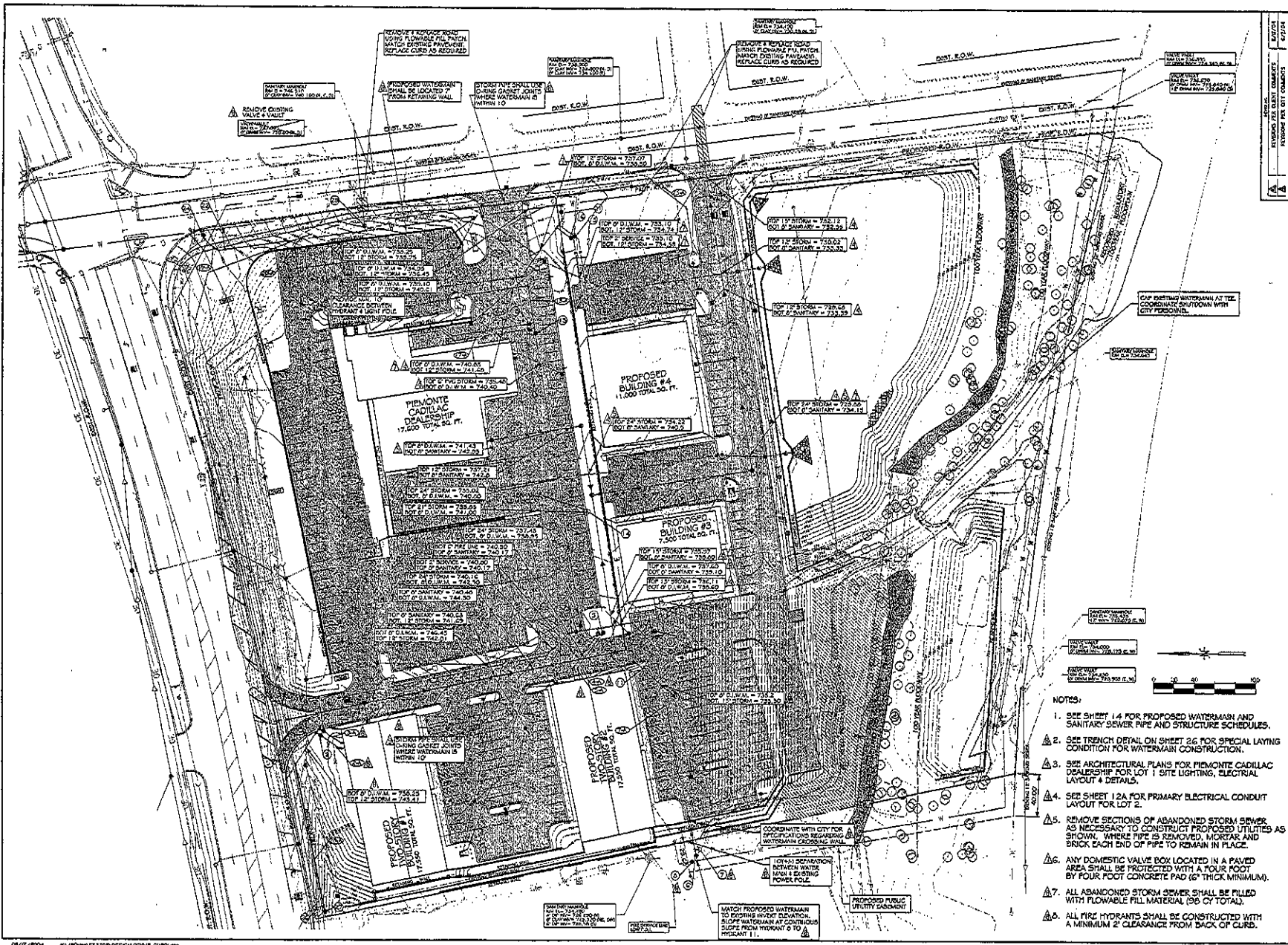
RHA&A logo and contact information for Robert H. Anderson & Associates, Inc., a MAJOR CONSULTING ENGINEERING FIRM, located at 300 W. 10th St., Kansas City, MO 64108.

TYLER & 64 BUSINESS PARK
STORMWATER LIFT STATION
SPECIFICATIONS
KANSAS COUNTY
REVISIONS

Table with 3 columns: NO., DATE, and DESCRIPTION. Contains revision entries for the specifications.

Form for drawing identification: DRAWING NO. ST-10000, DATE: MARCH 8, 2001, SHEET 1 OF 3, and a large '10 32' in the bottom right corner.





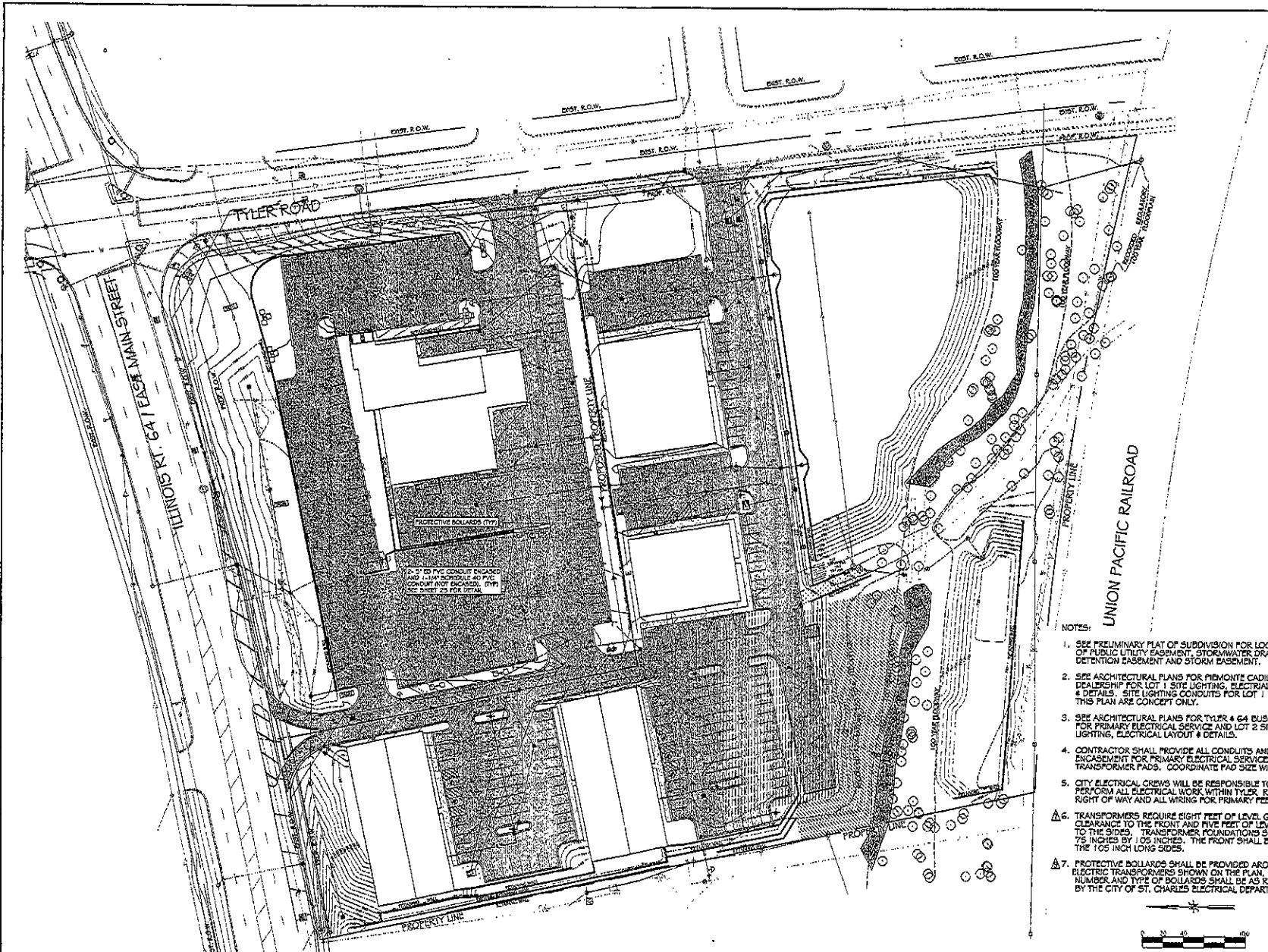
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8	ISSUED FOR PERMITS	03/20/05
9	ISSUED FOR PERMITS	03/20/05
10	ISSUED FOR PERMITS	03/20/05

**RHA&A**  
 Robert H. Anderson & Associates, Inc.  
 1000 N. W. 10th St., Suite 100  
 Ft. Lauderdale, FL 33304  
 Phone: (954) 562-1100  
 Fax: (954) 562-1101

**TYLER & 64 BUSINESS PARK**  
 UTILITY PLAN  
 CITY OF ST. CHARLES  
 KANE COUNTY  
 ILLINOIS

DATE: 03/20/05  
 SCALE: AS SHOWN  
 SHEET 12 OF 32

- NOTES:
- SEE SHEET 14 FOR PROPOSED WATERMAIN AND SANITARY SEWER PIPE AND STRUCTURE SCHEDULES.
  - SEE TRENCH DETAIL ON SHEET 26 FOR SPECIAL LAYING CONDITION FOR WATERMAIN CONSTRUCTION.
  - SEE ARCHITECTURAL PLANS FOR PIEMONTE CADILLAC DEALERSHIP FOR LOT 1 SITE LIGHTING, ELECTRICAL LAYOUT & DETAILS.
  - SEE SHEET 12A FOR PRIMARY ELECTRICAL CONDUIT LAYOUT FOR LOT 2.
  - REMOVE SECTIONS OF ABANDONED STORM SEWER AS NECESSARY TO CONSTRUCT PROPOSED UTILITIES AS SHOWN. WHERE PIPE IS REMOVED, MORTAR AND BRICK EACH END OF PIPE TO REMAIN IN PLACE.
  - ANY DOMESTIC VALVE BOX LOCATED IN A PAVED AREA SHALL BE PROTECTED WITH A FOUR FOOT BY FOUR FOOT CONCRETE PAD (6" THICK MINIMUM).
  - ALL ABANDONED STORM SEWER SHALL BE FILLED WITH FLOWABLE FILL MATERIAL (90 CY TOTAL).
  - ALL FIRE HYDRANTS SHALL BE CONSTRUCTED WITH A MINIMUM 2' CLEARANCE FROM BACK OF CURB.



REVISIONS	DATE	BY	DESCRIPTION
1			ISSUED FOR PERMITS
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10			ISSUED FOR PERMITS

**RH&A**  
 Robert H. Anderson & Associates, Inc.  
 1000 W. WASHINGTON ST., SUITE 100  
 ST. CHARLES, MO 63301  
 TEL: (636) 947-1000  
 FAX: (636) 947-1001

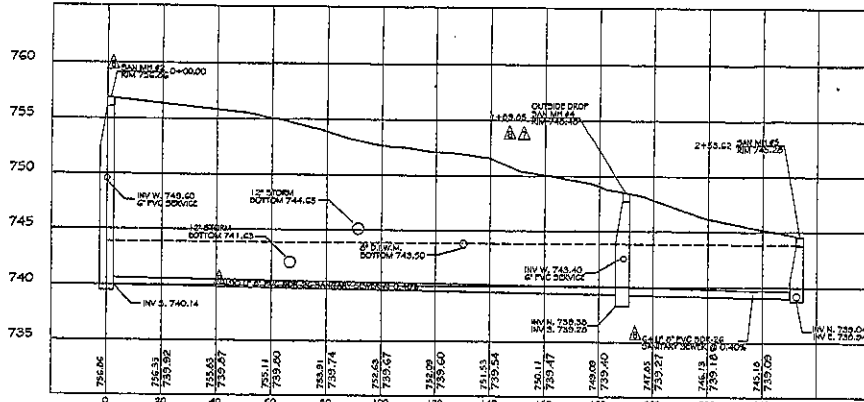
**TYLER & 64 BUSINESS PARK  
 ELECTRIC LAYOUT**

PROJECT NO. 03-01  
 SHEET NO. 12A.32  
 DATE: MARCH 16, 2003  
 DRAWN BY: AS  
 CHECKED BY:  
 CITY OF ST. CHARLES, MISSOURI  
 KANE COUNTY, ILLINOIS

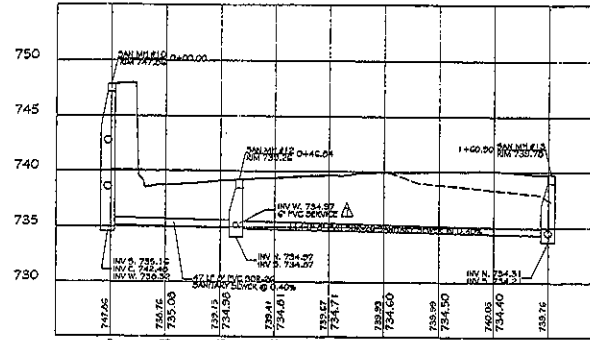
**NOTES:**

1. SEE PRELIMINARY FEAT OF SUBDIVISION FOR LOCATIONS OF PUBLIC UTILITY EASIMENT, STORMWATER DRAINAGE & DETENTION EASEMENT AND STORM EASEMENT.
2. SEE ARCHITECTURAL PLANS FOR PIONEER CADILLAC DEALERSHIP FOR LOT 1 SITE LIGHTING, ELECTRICAL LAYOUT & DETAILS. SITE LIGHTING CONDUITS FOR LOT 1 SHOWN ON THIS PLAN ARE CONCEPT ONLY.
3. SEE ARCHITECTURAL PLANS FOR TYLER & 64 BUSINESS PARK FOR PRIMARY ELECTRICAL SERVICE AND LOT 2 SITE LIGHTING, ELECTRICAL LAYOUT & DETAILS.
4. CONTRACTOR SHALL PROVIDE ALL CONDUITS AND CONCRETE ENCASMENT FOR PRIMARY ELECTRICAL SERVICES AND TRANSFORMER PADS. COORDINATE PAD SIZE WITH UTILITY.
5. CITY ELECTRICAL CREWS WILL BE RESPONSIBLE TO PERFORM ALL ELECTRICAL WORK WITHIN TYLER ROAD RIGHT OF WAY AND ALL WIRING FOR PRIMARY FEEDS.
6. TRANSFORMERS REQUIRE EIGHT FEET OF LEVEL GROUND CLEARANCE TO THE FRONT AND FIVE FEET OF LEVEL GROUND TO THE SIDES. TRANSFORMER FOUNDATIONS SHALL BE 75 INCHES BY 105 INCHES. THE FRONT SHALL BE ONE OF THE 105 INCH LONG SIDES.
7. PROTECTIVE BOLLARDS SHALL BE PROVIDED AROUND ELECTRIC TRANSFORMERS SHOWN ON THE PLAN. SPACING, NUMBER AND TYPE OF BOLLARDS SHALL BE AS REQUESTED BY THE CITY OF ST. CHARLES ELECTRICAL DEPARTMENT.

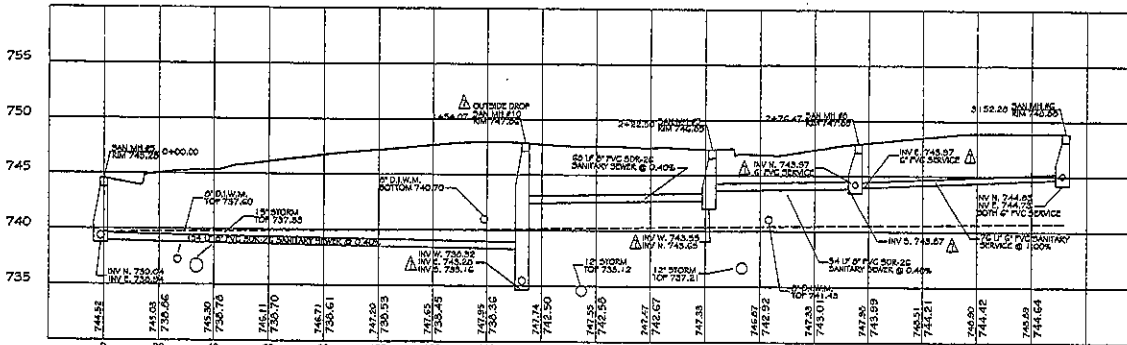




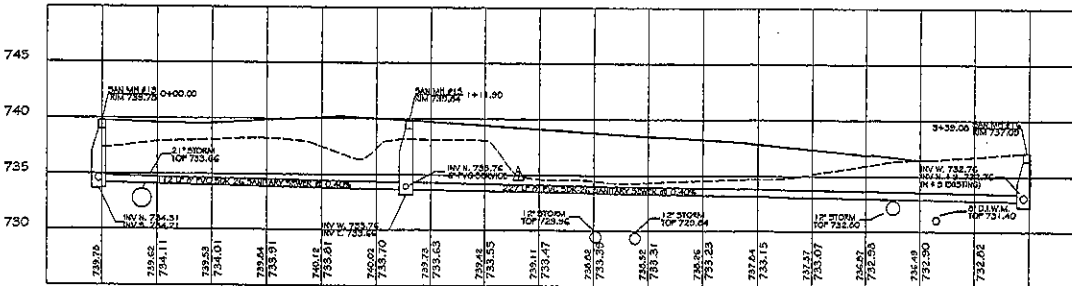
▲ SANITARY SEWER - PROFILE "A"  
HORIZONTAL 1" = 20' VERTICAL 1" = 5'



▲ SANITARY SEWER - PROFILE "C"  
HORIZONTAL 1" = 20' VERTICAL 1" = 5'

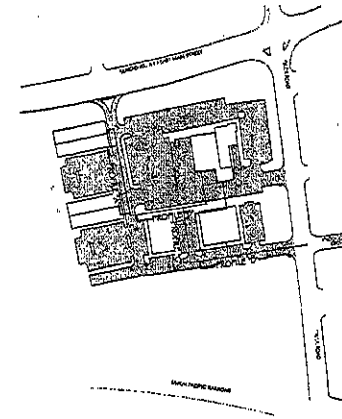
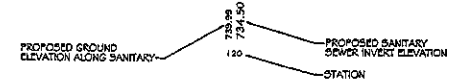


▲ SANITARY SEWER - PROFILE "B"  
HORIZONTAL 1" = 20' VERTICAL 1" = 5'



▲ SANITARY SEWER - PROFILE "D"  
HORIZONTAL 1" = 20' VERTICAL 1" = 5'

▲ PROFILE LEGEND



NOTES:

1. DEPENDING ON FIELD CONDITIONS, EXISTING WATERMAIN MAY NEED TO BE LOWERED BELOW PROPOSED SANITARY SEWER. CONTRACTOR SHALL USE DETAIL FOR CONFLICT WITH WATERMAIN AS SHOWN ON SHEET 27.

REVISION	DATE	BY	CHKD
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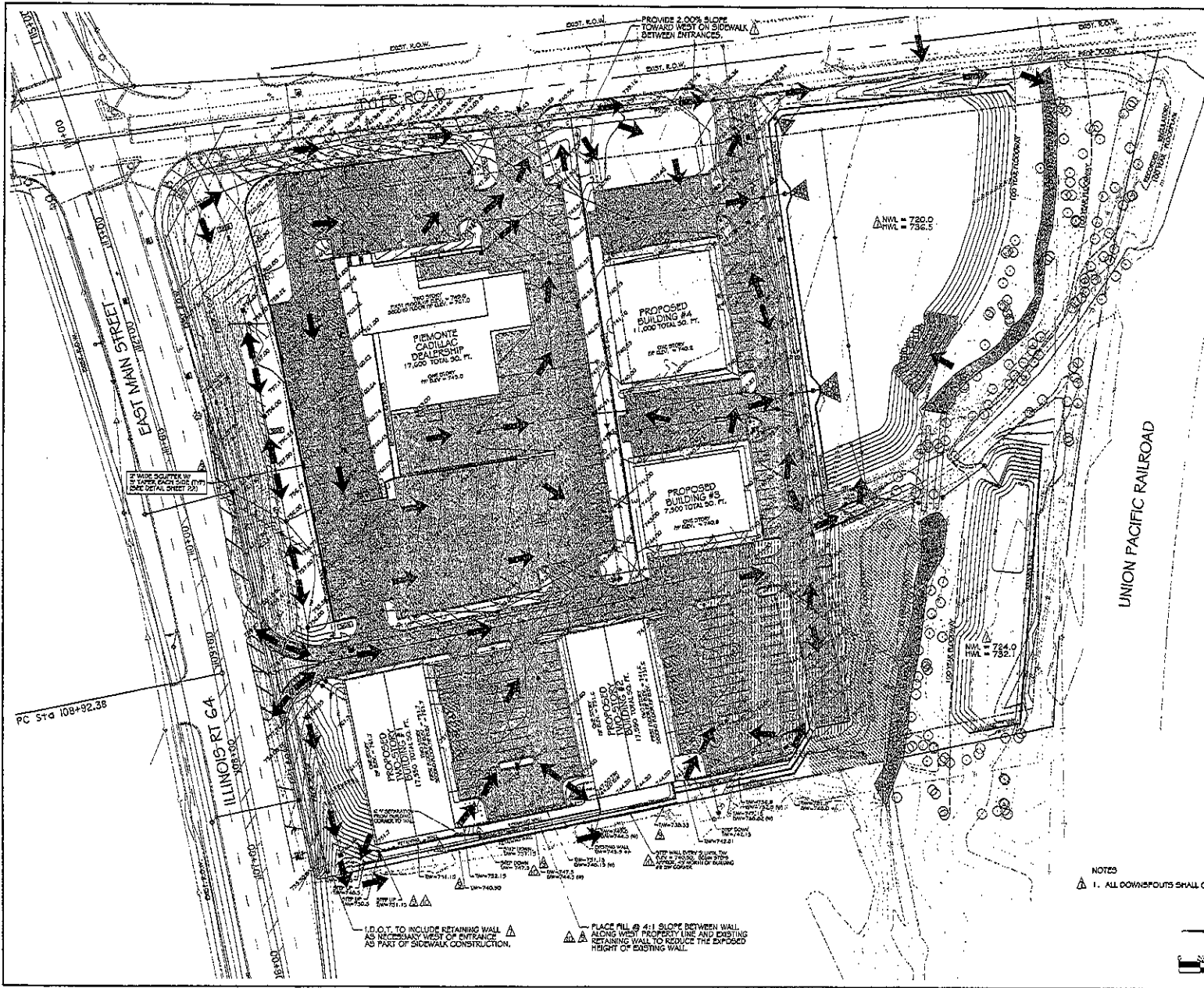
**RH&A**  
Robert H. Anderson & Associates, Inc.  
1000 N. W. 10th St., Ft. Lauderdale, FL 33304  
Tel: (305) 555-1000

**TYLER & 64 BUSINESS PARK**  
SANITARY SEWER PROFILE  
ILLINOIS  
KANE COUNTY  
CITY OF ST. CHARLES

DATE	3/17/2000
SCALE	AS SHOWN
PROJECT NO.	017-2000
SHEET	13 OF 32





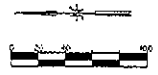


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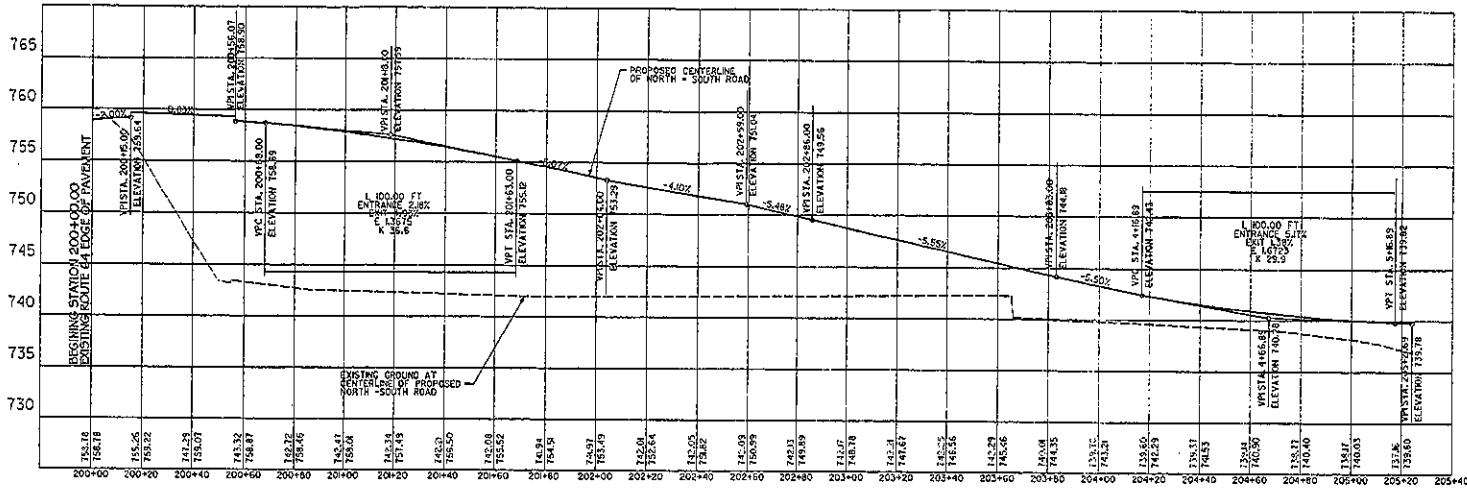
**RH&A**  
 Robert H. Anderson & Associates, Inc.  
 1000 North 10th Street, Suite 200  
 St. Charles, MO 63301  
 Phone: (636) 261-1100  
 Fax: (636) 261-1101  
 E-Mail: rh@aol.com

**TYLER & 64 BUSINESS PARK**  
**GRADING PLAN**  
 CITY OF ST. CHARLES  
 SAINT CHARLES COUNTY  
 MISSOURI

NOTES  
 1. ALL DOWNSPOUTS SHALL CONNECT INTO DRAINAGE STRUCTURES.

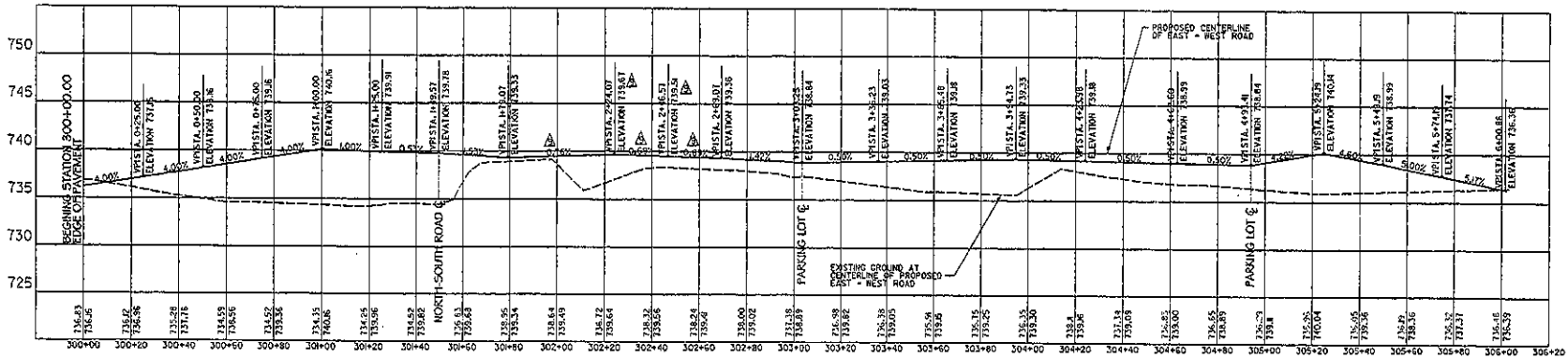


DATE: MARCH 16, 2015  
 SCALE: AS SHOWN  
 SHEET 15 OF 32



PROPOSED NORTH - SOUTH ROAD

HORIZONTAL 1" = 20' VERTICAL 1" = 5'  
SEE SHEET 7 FOR BASING LOCATION & STATIONING



PROPOSED EAST - WEST ROAD

HORIZONTAL 1" = 20' VERTICAL 1" = 5'  
SEE SHEET 7 FOR BASING LOCATION & STATIONING

REVISION	DATE	BY	CHKD	APP'D
1				
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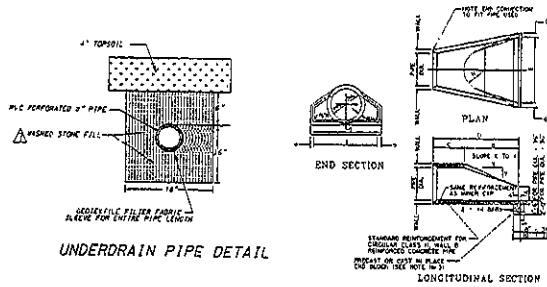


TYLER & 64 BUSINESS PARK  
PROPOSED ROAD PROFILES

CITY OF ST. CHARLES  
KANE COUNTY  
ILLINOIS

PROJECT NO.	ST-07
DATE	MARCH 16, 2010
SHEET	16 OF 32
DESIGNED BY	CHAS. W. HARRIS
CHECKED BY	DAVID L. HARRIS
APP'D BY	DAVID L. HARRIS
SCALE	AS SHOWN
DATE	NOVEMBER 2009
PROJECT	ST. CHARLES, ILL. - TYLER & 64 BUSINESS PARK

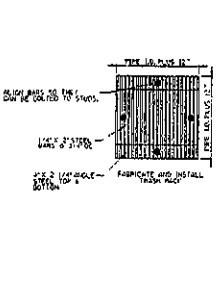




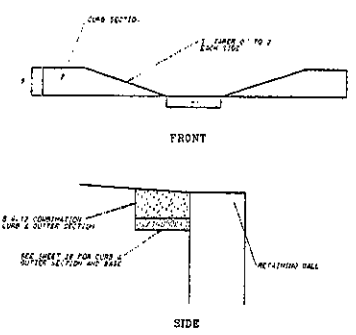
UNDERDRAIN PIPE DETAIL

NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	PRECAST CONCRETE FLARED END SECTION	1	EA	
2	PRECAST CONCRETE FLARED END SECTION	1	EA	
3	PRECAST CONCRETE FLARED END SECTION	1	EA	
4	PRECAST CONCRETE FLARED END SECTION	1	EA	
5	PRECAST CONCRETE FLARED END SECTION	1	EA	
6	PRECAST CONCRETE FLARED END SECTION	1	EA	
7	PRECAST CONCRETE FLARED END SECTION	1	EA	
8	PRECAST CONCRETE FLARED END SECTION	1	EA	
9	PRECAST CONCRETE FLARED END SECTION	1	EA	
10	PRECAST CONCRETE FLARED END SECTION	1	EA	
11	PRECAST CONCRETE FLARED END SECTION	1	EA	
12	PRECAST CONCRETE FLARED END SECTION	1	EA	
13	PRECAST CONCRETE FLARED END SECTION	1	EA	
14	PRECAST CONCRETE FLARED END SECTION	1	EA	
15	PRECAST CONCRETE FLARED END SECTION	1	EA	
16	PRECAST CONCRETE FLARED END SECTION	1	EA	
17	PRECAST CONCRETE FLARED END SECTION	1	EA	
18	PRECAST CONCRETE FLARED END SECTION	1	EA	
19	PRECAST CONCRETE FLARED END SECTION	1	EA	
20	PRECAST CONCRETE FLARED END SECTION	1	EA	

- NOTES:
- PRECAST CONCRETE FLARED END SECTIONS SHALL CONFORM WITH CLASS III WALL & REINFORCED CONCRETE PER SECTION 05100.
  - INSTALL CONCRETE FLARED END SECTION FOR EACH MANHOLE TO BE INSTALLED IN FIELD.
  - THE END BRICK SHALL BE PLACED PRIOR TO THE INSTALLATION OF THE CONCRETE FLARED END SECTION. THE BRICK SHALL BE PLACED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR BRICKWORK, PART 05200, SECTION 05200-10.
  - IF PLACED END SECTIONS 10\"/>



RETAINING WALL TRASH RACK DETAIL

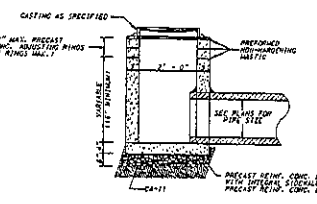


TYPICAL SCUPPER DETAILS

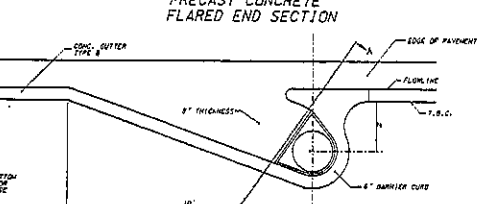
SECTION	REMARKS	DATE	BY	CHECKED
SECTION 05100	REINFORCED CONCRETE			
SECTION 05200	BRICKWORK			
SECTION 05300	MASS CONCRETE			
SECTION 05400	MASS CONCRETE			
SECTION 05500	MASS CONCRETE			
SECTION 05600	MASS CONCRETE			
SECTION 05700	MASS CONCRETE			
SECTION 05800	MASS CONCRETE			
SECTION 05900	MASS CONCRETE			
SECTION 06000	MASS CONCRETE			
SECTION 06100	MASS CONCRETE			
SECTION 06200	MASS CONCRETE			
SECTION 06300	MASS CONCRETE			
SECTION 06400	MASS CONCRETE			
SECTION 06500	MASS CONCRETE			
SECTION 06600	MASS CONCRETE			
SECTION 06700	MASS CONCRETE			
SECTION 06800	MASS CONCRETE			
SECTION 06900	MASS CONCRETE			
SECTION 07000	MASS CONCRETE			

**RH&A**  
 RICHARD H. ANDERSON & ASSOCIATES, INC.  
 1000 W. WASHINGTON ST., SUITE 200  
 CHICAGO, ILL. 60606  
 TEL: 312/467-1000  
 FAX: 312/467-1001

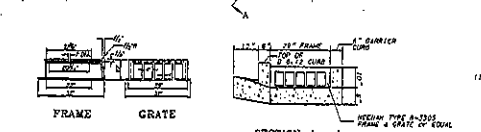
**TYLER & 64 BUSINESS PARK**  
**STORM SEWER DETAILS**  
 CITY OF ST. CHARLES  
 ILLINOIS  
 HANCOCK COUNTY



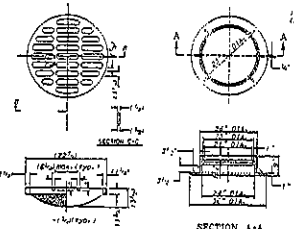
INLET TYPE A



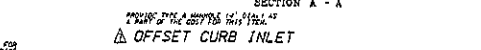
PRECAST CONCRETE FLARED END SECTION



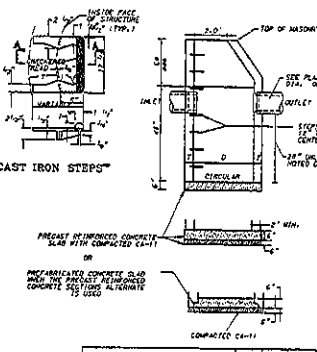
FRAME GRATE



SECTION A-A CAST FRAME ONLY  
 SECTION B-B CAST OPEN LID  
 SECTION C-C CAST CLOSED LID



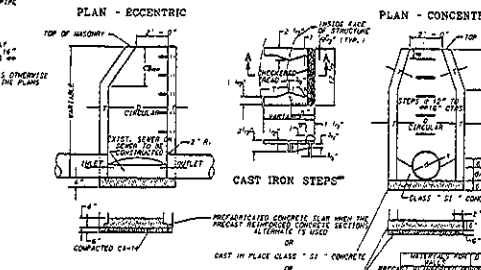
OFFSET CURB INLET



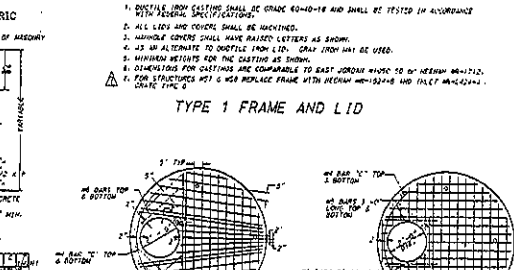
MATERIAL FOR RAILS	D	C	T
PRECAST REINFORCED CONCRETE SECTIONS	2 1/2"	2 1/2"	2"
COMPACTED CA-11	2 1/2"	2 1/2"	2"

- NOTES:
- STEPS SHALL BE EMBEDDED INTO WALL A MINIMUM OF 3" INCHES. STEPS SHALL NOT BE EXTENDED ON THE OUTSIDE.
  - ALL COMPLETE SECTIONS, INCLUDING BRICKS AND CASTINGS SHALL BE STRENGTH TESTED WITH SUITS PIPE JOINT MATERIAL.
  - IN ADDITION TO THE REQUIREMENTS OF ART. 812.13 OF THE STANDARD SPECIFICATIONS, THE COMPLETE CAST IRON STEPS FOR MANHOLES, TYPE 8 SHALL INCLUDE THE COMPACTED GRAVEL OR CRUSHED STONE UNDER REQUIRED AND COMPACTED TO THE SPECIFIED DENSITIES, AND FURNISHING THE SPECIFIED DENSITIES MATERIAL.
  - DIMENSION "C" FOR PRECAST REINFORCED CONCRETE SECTIONS MAY VARY FROM THE DIMENSION GIVEN TO PLUS 1/8 INCHES.
  - THE CAST IRON STEPS AS DETAIL HEREON ARE PREPARED. STEPS OF OTHER DESIGN AND MATERIAL THAT WILL CONFORM TO THE STANDARD REQUIREMENTS OF THE STATE SPECIFICATIONS MAY BE USED WHEN APPROVED BY THE ENGINEER.
  - FOR AN ORIGINAL PRECAST CONCRETE SLAB TOP SEE FOOT 510. 402001 OR DETAIL HEREON.

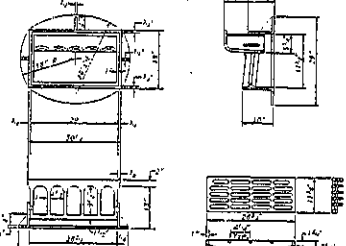
CATCH BASIN TYPE A



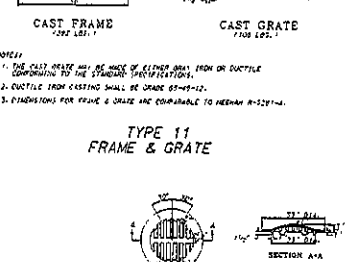
MANHOLE TYPE A



TYPE 1 FRAME AND LID



TYPE 11 FRAME & GRATE



TYPE 8 GRATE NEENAH NO. R-4340-B

PRECAST REINFORCED CONCRETE FLAT SLAB TOP

STABILIZED LIFT STATION ACCESS DETAIL

**SOIL EROSION AND SEDIMENT CONTROL**

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND THE FOLLOWING STANDARD SPECIFICATIONS:

A. THE ILLINOIS URBAN MANUAL, USDA NATURAL RESOURCES CONSERVATION SERVICE LATEST EDITION

B. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, ILLINOIS DEPARTMENT OF TRANSPORTATION LATEST EDITION

C. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES.

PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN THE CONSTRUCTION AREA, INCLUDING BUT NOT LIMITED TO ANY ADDITIONAL PHASES OF DEVELOPMENT AND/OR SITE EROSION OR SEDIMENT CONTROL, THE EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE CONTRACTOR TO THE COUNTY OF JEFFERSON COUNTY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT SOIL EROSION AND SEDIMENTATION AS DETERMINED BY THE COUNTY.

ADDITIONAL PERIMETER SILT FENCE MAY BE NEEDED IN AREAS NOT SHOWN ON PLAN. SUCH ADDITIONAL SILT FENCE SHALL BE PROJECTED ON A REGULAR BASIS DETERMINING OF SUCH AREAS EAST AND WEST OF THE PERIMETER SILT FENCE AS NEEDED.

RAMPED FROM DISTURBED AREAS SHALL NOT LEAVE THE SITE WITHOUT FIRST PASSING THROUGH EROSION SEDIMENT CONTROL MEASURES OR DEVICES.

ALL EROSION CONTROL MEASURES ARE TO BE IN PLACE BEFORE ANY WORK BEGINS ON THE SITE.

ALL EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE INSPECTED REGULARLY AND REPAIRED OR REPLACED TO KEEP THE MEASURES AND DEVICES FUNCTIONING PROPERLY.

THE SURFACE OF STRIPPED AREAS SHOULD BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN 15 DAYS AFTER STRIPPING IS COMPLETED. STRIPPED AREAS THAT WILL REMAIN UNDISTURBED FOR 90 DAYS OR MORE AFTER INITIAL STRIPPING SHOULD BE PROTECTED FROM SOIL EROSION, SOIL SEDIMENTATION, AND EROSION CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY UNTIL PERMANENT COVER IS ESTABLISHED.

STREPPED AREAS OF SOIL AND OTHER BUILDING MATERIALS (AGGREGATE, LIMESTONE, ETC.) TO REMAIN IN PLACE FOR MORE THAN 90 DAYS SHALL BE PROTECTED FROM SOIL EROSION, SOIL SEDIMENTATION, AND EROSION CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY UNTIL PERMANENT COVER IS ESTABLISHED.

ALL STORM DRAIN INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTERING DEVICES DURING CONSTRUCTION.

WATER DISCHARGED DURING CONSTRUCTION DEWATERING SHALL BE FILTERED AND DISCHARGED USING MEASURES OR DEVICES TO DISSIPATE ENERGY AND REDUCE THE EROSION POTENTIAL OF THE DISCHARGE.

STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED TO PREVENT SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADSWAYS. ANY TRACKED SOIL ON PUBLIC OR PRIVATE ROADSWAYS SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY. IF CONDITIONS ARE SUCH THAT THE HEAVIEST OF TRAFFIC IS NOT REMOVED WHEN VEHICLES TRAVEL OVER THE COURSE AGGREGATE, VEHICLE WASH DOWN FACILITIES SHALL BE PROVIDED.

**TABLE ONE: SEED MIXTURES FOR TEMPORARY SEEDING REMAINING IN PLACE FOR LESS THAN ONE YEAR**

Seed	Rate pounds/acre *ED	Soil Drainage WD SP PD	Planting Period
Timothy	24	X X X	Spring
Kentucky Blue Grass	5	X X X	Spring/Fall

With one of the following:

oats	10		Early spring - July 1st.
crabgrass	10		Early spring - October 15th.
spring or winter wheat	10		Early spring - October 15th.

Spring planting - early Spring to June 15th  
Fall planting - August 1st to October 15th

\*ED = excessively drained WD = well drained SP = somewhat poorly drained PD = poorly drained

**TABLE TWO: SEED MIXTURES FOR TEMPORARY OR PERMANENT SEEDING REMAINING IN PLACE FOR MORE THAN ONE YEAR**

No.	Seed	Rate pounds/acre *ED	Soil Drainage WD SP PD	Planting Period
1	Tall fescue	24	X X X	Spring/Fall/Dormant
2	Smooth brome	24	X X X	Spring/Fall/Dormant
3	Tall fescue or Smooth Brome and alfalfa	24	X X X	Spring/Dormant
4	Tall fescue and Timothy or Red top	14.5	X X X X	Spring/Fall/Dormant
5	Tall fescue and Red top and Alsike clover	14.5	X X X	Spring
6	Orchard grass and Alsike or Ladino clover	7	X X X	Spring
7	Timothy and Alsike or Ladino clover	2.5	X X X	Spring
<b>Hayland Mixtures</b>				
8	alfalfa	12	X	Spring/Dormant
9	alfalfa and Orchard grass	0	X	Spring/Dormant
10	alfalfa and Timothy	8	X X X	Spring/Dormant
11	alfalfa and Tall fescue or Smooth Brome	6	X X X	Spring/Dormant

With one of the following:

oats	30		Early spring - July 1st.
crabgrass	30		Early spring - October 15th.
spring or winter wheat	20		Early spring - October 15th.

Spring planting - early Spring to June 15th  
Fall planting - August 1st to October 15th

\*ED = excessively drained WD = well drained SP = somewhat poorly drained PD = poorly drained

PHASED CONSTRUCTION: WHEN SITE VEGETATION IS INADEQUATE TO STABILIZE AREAS NOT CURRENTLY BEING CONSTRUCTED IN A PHASED DEVELOPMENT, IMPLEMENT THE FOLLOWING OPTIONS:

A. IF CONSTRUCTION WILL OCCUR WITHIN ONE YEAR, PLANT THE AREAS TO BE STABILIZED WITH A SEED MIXTURE FOR TEMPORARY SEEDING SHOWN IN TABLE ONE.

B. IF CONSTRUCTION WILL OCCUR AFTER MORE THAN ONE YEAR, PLANT THE AREAS TO BE STABILIZED WITH A SEED MIXTURE FOR TEMPORARY OR PERMANENT SEEDING SHOWN IN TABLE TWO.

THE CONSTRUCTION SITE SHALL BE PREPARED FOR WINTER SHUTDOWN PERMIT IN THE FALL FURNISHING COVER TO THAT TEMPORARY AND/OR PERMANENT VEGETATION COVER CAN BE ESTABLISHED. ALL OPEN AREAS THAT WILL REMAIN OPEN THROUGH THE WINTER SHALL BE STABILIZED WITH SEEDING, MULCHING AND/OR EROSION CONTROL. ALLOW 14 DAYS TO THE END OF THE FALL PLANTING SEASON AREAS WORKED AFTER THE END OF THE PLANTING SEASON SHALL BE STABILIZED WITH MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET OR FACIRED HEAVY MULCHING.

**NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMITS FOR CONSTRUCTION SITE STORM WATER DISCHARGES**

ILLINOIS ENVIRONMENTAL PROTECTION AGENCY HAS ISSUED AN NPDES GENERAL PERMIT (NO. IL010) FOR DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES. MAJOR FEATURES OF THE ILLINOIS PERMIT ARE:

THE PERMIT CAN AUTHORIZE ALL DISCHARGES OF STORM WATER FROM CONSTRUCTION SITES ANYWHERE IN ILLINOIS REGARDLESS OF SIZE

THE PERMIT REQUIRES EAPN CONSTRUCTION SITE TO HAVE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND SEDIMENT CONTROL PLAN PRIOR TO START OF CONSTRUCTION.

A COPY OF THE PLAN MUST BE RETAINED AT THE CONSTRUCTION SITE FROM THE DATE OF BEGINNING TO THE DATE OF FINAL STABILIZATION.

PERMITTEE IS REQUIRED TO HAVE QUALIFIED PERSONNEL INSPECT DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED. STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OF RAIN OR GREATER OR AN EQUIVALENT SNOWFALL.

PERMITTEE IS REQUIRED TO SUBMIT WITHIN FIVE DAYS AN "INCIDENT OF NONCOMPLIANCE" (INOC) REPORT FOR ANY OBSERVED VIOLATION OF THE PLAN. SUBMISSIONS SHALL BE ON "10" FORM AND SHALL INCLUDE CAUSE OF NONCOMPLIANCE, ACTIONS TAKEN TO PREVENT FURTHER INCIDENTS OF NONCOMPLIANCE, AND A STATEMENT DETAILING ENVIRONMENTAL IMPACTS THAT MAY HAVE RESULTED FROM NONCOMPLIANCE.

THE STORM WATER POLLUTION PREVENTION PLAN, INSPECTION RECORD AND RELATED INFORMATION SHALL BE RETAINED FOR AT LEAST THREE YEARS FROM THE DATE OF FINAL STABILIZATION.

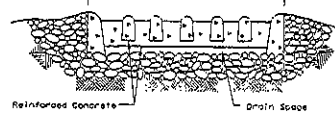
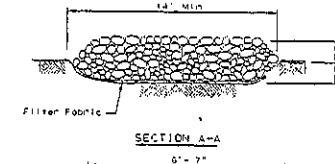
TO OBTAIN PERMIT COVERAGE, THE OPERATOR SHALL COMPLETE THE NOTICE OF INTENT (NOI) FORM, SIGN IT, AND SEND THE ORIGINAL SIGNED COPY TO ILLINOIS EPA. UNLESS NOTIFIED BY THE AGENCY, PERMIT COVERAGE IS AUTOMATIC AND OPERATORS ARE AUTHORIZED TO DISCHARGE STORM WATER FROM THE SITE UNDER TERMS AND CONDITIONS OF THE PERMIT LICENSE.

48 HOURS AFTER DATE "NOI" IS POSTMARKED, IF HISTORIC PRESERVATION AND ENDANGERED SPECIES COMPLIANCE HAS NOT ESTABLISHED PRIOR TO SUBMITTAL OF THE "NOI" OF

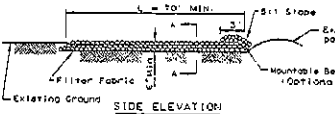
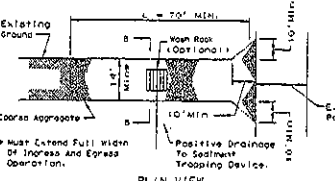
30 DAYS AFTER DATE "NOI" IS POSTMARKED, IF HISTORIC PRESERVATION AND ENDANGERED SPECIES COMPLIANCE HAS NOT ESTABLISHED PRIOR TO "NOI" SUBMITTAL.

THE AGENCY WILL CONFIRM PERMIT COVERAGE AND PERMIT NUMBER BY LETTER ABOUT ONE WEEK AFTER OPTIMIZED COVERAGE TAKES EFFECT. A COPY OF THE LETTER SHALL BE POSTED AT THE SITE IN A PROMINENT PLACE FOR PUBLIC VIEWING.

AFTER LAND DISTURBING ACTIVITIES ARE COMPLETE AND SITE HAS BEEN FINALLY STABILIZED, OPERATOR SHALL TERMINATE PERMIT COVERAGE BY COMPLETING A NOTICE OF TERMINATION (NOT) FORM AND SUBMITTING IT TO THE AGENCY. MPCA CONSIDERS A SITE FINALLY STABILIZED WHEN ALL LAND DISTURBING ACTIVITIES ARE COMPLETE AND A QUALIFIED PERSONNEL VEGETATION COVER OF 70% BENEFIT HAS BEEN ESTABLISHED OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN USED.

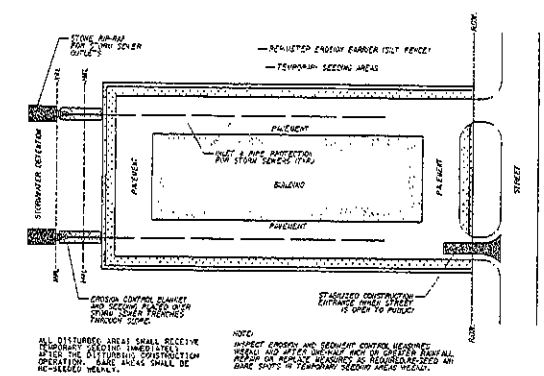


**STABILIZED CONSTRUCTION ENTRANCE PLAN**  
SHEET 2 OF 2

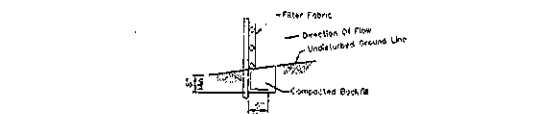
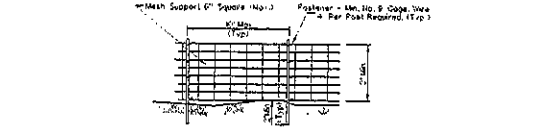


- NOTES:**
- Filter fabric shall meet the requirements of material specification 592 (DETAILS: Table 1 or 2, Class 1, 11) or 14 and shall be placed over the cleared area prior to the placing of roof.
  - Rock on precast concrete shall meet one of the following DOT course aggregate gradation: Class 2, 3 or Class 4 and be placed according to construction specification 25 (ROCKFILL Using placement method 1) and Class 1 11 compaction.
  - Any drainage facilities required because of watering shall be constructed according to manufacturer's specifications.
  - If man holes are used they shall be installed according to the manufacturer's specifications.

**STABILIZED CONSTRUCTION ENTRANCE PLAN**  
SHEET 1 OF 2



**EROSION AND SEDIMENT CONTROL PLAN FOR TYPICAL LOT**



- NOTES:**
- Top and bottom wires of mesh support shall be galvanized intermediate wires of mesh support shall be non-galvanized.
  - Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading.
  - Filter fabric shall meet the requirements of material specification 592 (DETAILS: Table 1 or 2, Class 1, 11) using placement method 1 and Class 1 11 compaction.
  - Frame cost bracket shall extend 24" above and 24" below with a minimum section 2.0" x 2.0" x 2.0".
  - The mesh support may be omitted if a minimum of 5% used for post to wall velocity.

**SILT FENCE DETAIL**

REVISION	DATE	BY	DESCRIPTION
1			REVISION PER CITY COMMENTS
2			REVISION PER CITY COMMENTS
3			REVISION PER CITY COMMENTS
4			REVISION PER CITY COMMENTS
5			REVISION PER CITY COMMENTS
6			REVISION PER CITY COMMENTS
7			REVISION PER CITY COMMENTS
8			REVISION PER CITY COMMENTS
9			REVISION PER CITY COMMENTS
10			REVISION PER CITY COMMENTS

**RH&A**  
Consulting & Engineering, Inc.  
2001 W. Parkland Ave., Suite 200  
Chicago, IL 60640  
Tel: 773-334-1100  
Fax: 773-334-1101

**TYLER & 64 BUSINESS PARK**  
EROSION CONTROL DETAILS  
ILLINOIS  
JEFFERSON COUNTY  
CITY OF ST. CHARLES

DATE	REVISION	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

**TABLE 1**  
ROCK RIPRAP SIZES AND THICKNESS  
(INCHES)

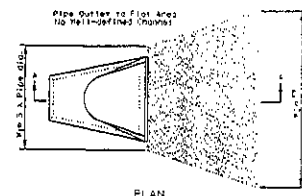
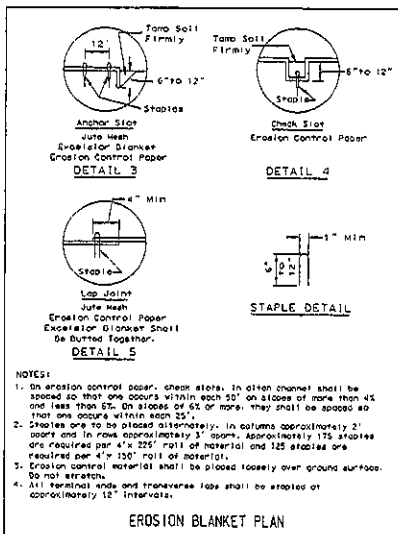
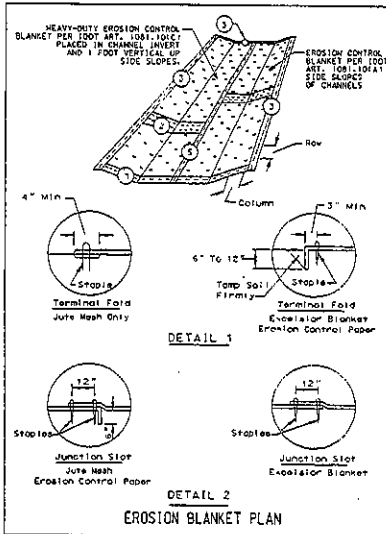
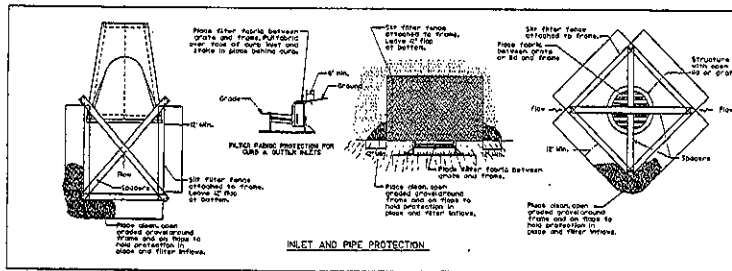
I.D.O.T. GRAD. NO.	D50	DMAX	MIN. BLANKET THICKNESS
RR-3	1 1/2	5	15
RR-4	2	7 1/2	20
RR-5	3	10	25
RR-6	4 1/2	15	30
RR-7	6	21	35

1/2 CONCRETE BLOCK MAY BE USED TO REPLACE RR-3.

**TABLE 2**  
MINIMUM I.D.O.T. ROCK SIZES AND APRON LENGTH (LA IN FEET)  
FOR MAXIMUM AND MINIMUM TAILWATER CONDITIONS.

CULVERT SIZE (INCHES)	MIN. TAILWATER		MAX. TAILWATER	
	5 FPS 1/2	10 FPS 1/2	5 FPS 1/2	10 FPS 1/2
12	RR-3	10	RR-3	12
18	RR-3	14	RR-3	16
24	RR-3	16	RR-3	17
30	RR-3	18	RR-3	19
36	RR-4	20	RR-3	20
48	RR-4	24	RR-4	24
60	RR-5	31	RR-4	26
72	RR-6	40	RR-5	28
96	RR-7	50	RR-5	30

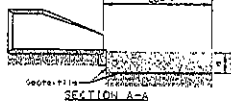
1/2 MAXIMUM CONDUIT VELOCITY FPS.



Apron length (L) shall be determined from table 2. For minimum tailwater (1.5 ft.) conditions or as directed by engineer.

Apron width (W) shall be equal to the pipe diameter plus apron length (L) for maximum tailwater (1.5 ft.) conditions plus 0.4 times the apron length (L) for maximum conditions.

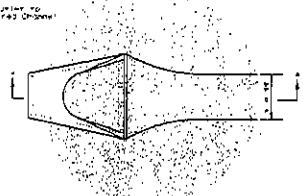
Thickness (T) shall be determined from table 1, for the I.D.O.T. condition indicated by table 2.



NOTES:

- The filter fabric shall meet the requirements in I.D.O.T. Article specification 1080.05.
- The rock riprap shall meet the requirements in I.D.O.T. Section 281.
- The riprap shall be placed according to I.D.O.T. specification 281.04.

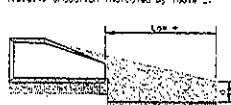
PIPE OUTLET TO FLAT AREA



Apron length (L) shall be determined from table 2. According to maximum (1.5 ft.) and velocity conditions or as directed by engineer.

Apron width (W) shall extend across the channel bottom and the channel banks one foot above maximum tailwater or 10 feet of bank whichever is less.

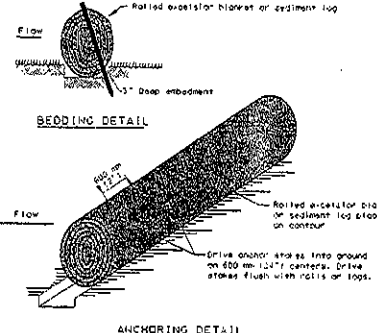
Thickness (T) shall be determined from table 1, for the I.D.O.T. condition indicated by table 2.



NOTES:

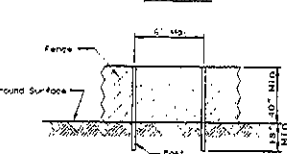
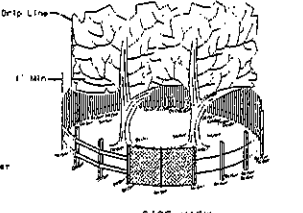
- The filter fabric shall meet the requirements in I.D.O.T. Article specification 1080.05.
- The rock riprap shall meet the requirements in I.D.O.T. Section 281.
- The riprap shall be placed according to I.D.O.T. specification 281.04.

PIPE OUTLET TO CHANNEL



NOTES:

- Each rolled excelsior blanket or sediment log shall be placed at the top of slope or on the contour.
- Each rolled excelsior blanket or sediment log shall be embedded in the soil a minimum of 3".
- Rolled excelsior blankets or sediment logs shall be securely anchored in place by wood or metal stakes extending with the direction of the flow. Wood stakes shall be 25 mm (1") square minimum. Metal stakes shall be 25 mm (1") diameter minimum. Anchor stakes shall be 1.2 m (4') minimum length. Drive stakes flush with rolls or logs on 400 mm (16") centers.
- Inspection shall be frequent and repair or replacement shall be made promptly as needed.
- Rolled excelsior blankets or sediment logs shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.



NOTES:

- The fence shall be located a minimum of 1 foot outside the drip line of the tree to be saved and in no case closer than 3 feet to the trunk of any tree.
- Fence posts shall be either standing steel posts or wood posts with a minimum cross-sectional area of 3.0 sq. in.
- The fence may be either 40" high and 40" diameter with fencing or any other material as approved by the engineer/inspector.

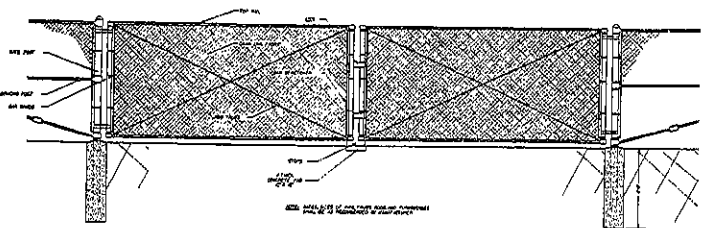
TREE PROTECTION - FENCING

REVISIONS FOR CLIENT COMMENTS	DATE	BY	REVISIONS FOR CITY COMMENTS	DATE	BY	REVISIONS FOR CITY COMMENTS	DATE	BY	REVISIONS FOR CITY COMMENTS	DATE	BY	REVISIONS FOR CITY COMMENTS	DATE	BY

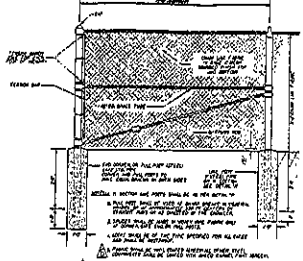
**RH&A**  
Robert E. Anderson & Associates, Inc.  
10000 10th Avenue S.W.  
Burien, Oregon 97149  
Phone: (503) 865-1500  
Fax: (503) 865-1505

**TYLER & 6A BUSINESS PARK**  
**EROSION CONTROL DETAILS**  
CITY OF SEASIDE  
CLATSOP COUNTY

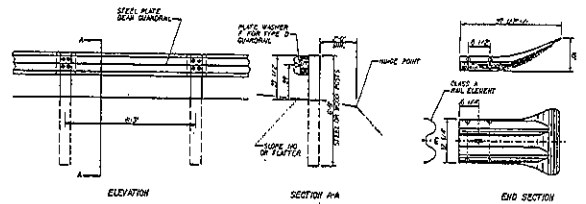
PROJECT NO. 879-302  
DATE: MARCH 16, 2000  
SCALE: NONE  
JOB NO. 073302/000101  
SHEET NO. 24 OF 32



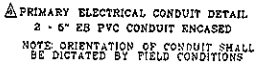
△ TYPICAL GATE DETAIL



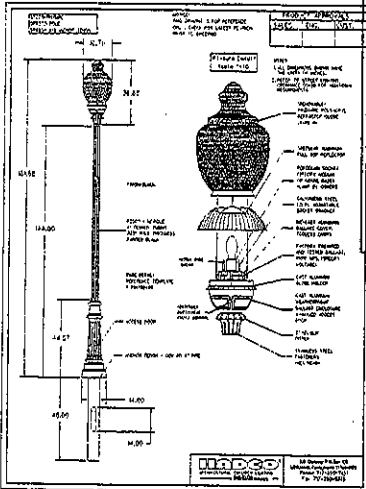
△ CHAIN LINK FENCE DETAIL



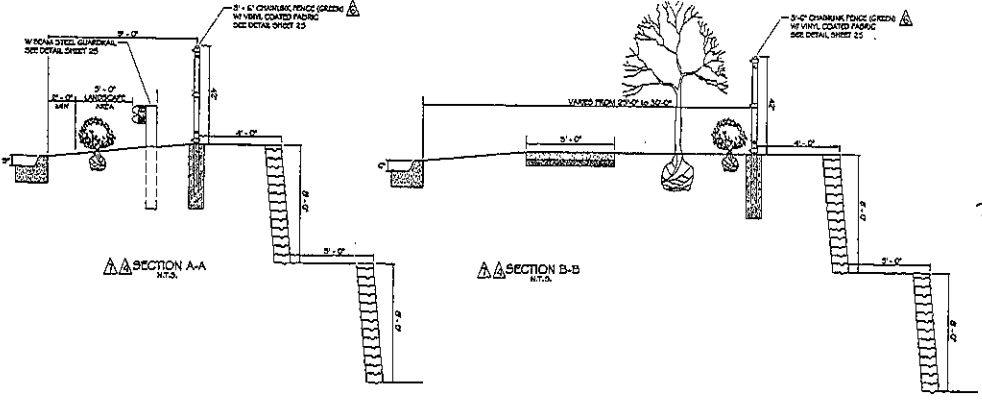
NOTES:  
 1. DIMENSIONS OF THIS DETAIL ARE IN ACCORDANCE WITH THE REQUIREMENTS OF  
 ILLINOIS DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, ALL DIMENSIONS TO BE  
 UNLESS OTHERWISE SPECIFIED.  
 ALL SHARP CORNERS SHALL BE ROUNDED SMOOTH.  
 ALL WOOD SHALL BE TREATED PER SECTION 0105 OF ILLINOIS STANDARD SPECIFICATIONS.  
 △ W-BEAM STEEL GUARD RAIL DETAIL



△ PRIMARY ELECTRICAL CONDUIT DETAIL  
 2 - 6" EBS PVC CONDUIT ENCASED  
 NOTE: ORIENTATION OF CONDUIT SHALL  
 BE DICTATED BY FIELD CONDITIONS

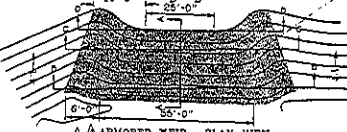
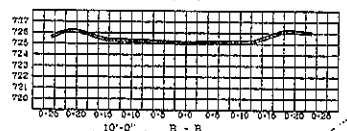
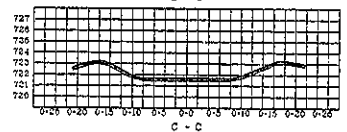
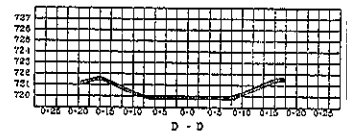


△ LIGHT POLE AND FIXTURE FOR LOT 2  
 NOTE: SEE ARCHITECTURAL PLANS FOR  
 LIGHTING ON LOT 2



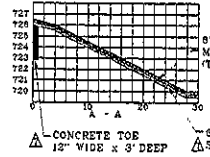
△ SECTION A-A  
 N.T.S.

△ SECTION B-B  
 N.T.S.

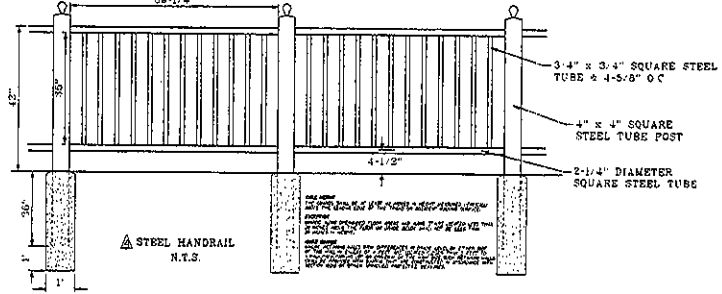


△ ARMORED WEIR - PLAN VIEW  
 N.T.S.  
 50'-11/4"

WITHIN SHADED AREA PROVIDE:  
 8" x 8" x 6" CONCRETE CELLS VERTICAL  
 MASONRY BLOCKS FILLED WITH TOPSOIL  
 AND DETENTION SEED MIXTURE AS  
 SPECIFIED ON LANDSCAPE PLANS.



△ CONCRETE TOB  
 12" WIDE x 3" DEEP  
 △ 8" x 8" x 6" CONCRETE  
 MASONRY BLOCKS  
 (TYP.)  
 △ 8" STONE BASE (TYP.)



△ STEEL HANDRAIL  
 N.T.S.

REVISION	DATE	BY	DESCRIPTION
1			ISSUED FOR PERMITS
2			ISSUED FOR PERMITS
3			ISSUED FOR PERMITS
4			ISSUED FOR PERMITS
5			ISSUED FOR PERMITS
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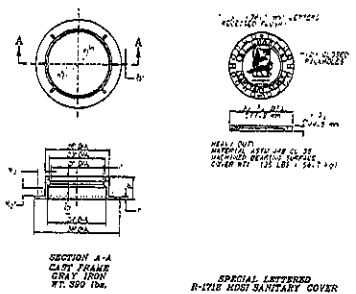
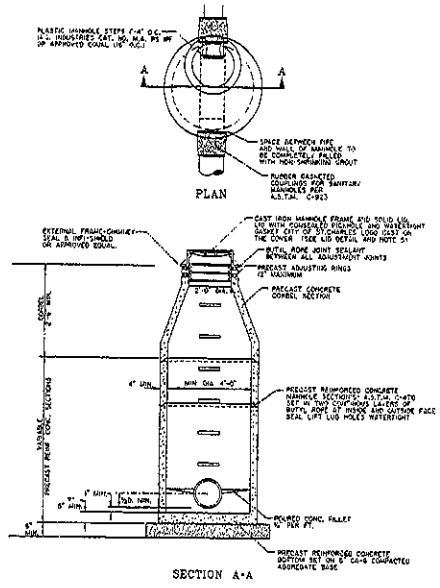
**RHA&A**  
 Robert H. Anderson & Associates, Inc.  
 1111 N. WINDY HILL DRIVE  
 CHICAGO, ILLINOIS 60610  
 PHONE: 773-334-1111  
 FAX: 773-334-1112

**TYLER & 64 BUSINESS PARK**  
 MISCELLANEOUS DETAILS  
 ILLINOIS  
 KANE COUNTY

DATE	07/20/04
PROJECT NO.	875-300
SHEET NO.	25 OF 32
SCALE	AS SHOWN
DESIGNED BY	W. J. HARRIS
CHECKED BY	W. J. HARRIS
DATE	07/20/04

**NOTES:**

- ALL SEWER CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION), AND ALL SUPPLEMENTS AND REVISIONS THEREON, WITH THE SPECIAL PROVISIONS SET FORTH IN THESE SPECIFICATIONS AND WITH THE STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS.
- GRANULAR FOUNDATION AND BACKFILL TRENCH SECTIONS FOR SANITARY SEWER ARE TO BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS.
- GRANULAR BEDDING, HAUNCHING, AND INITIAL BACKFILL ASTM D3321, CLASS 11, SHALL BE PROVIDED FOR THE ENTIRE LENGTH OF THE SANITARY SEWER AND SANITARY SEWER SERVICES. THE COST FOR THE BEDDING, HAUNCHING, AND INITIAL BACKFILL SHALL BE MERGED WITH THE COST OF THE SANITARY SEWER AND SANITARY SEWER SERVICES RESPECTIVELY AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
- ALL SANITARY SEWER PIPE SHALL BE DUCTILE IRON CLASS 52 OR POLYVINYL CHLORIDE (PVC) SEWER PIPE, 18" DIA. CONFORMING TO ASTM D2239 WITH FLEXIBLE ELASTOMERIC SEALED JOINTS CONFORMING TO ASTM D2239-2.
- STRUCTURES FOR SANITARY SEWERS SHALL BE IN ACCORDANCE WITH THESE UNIFORM PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS, WHERE GRANULAR TRENCH BACKFILL IS REQUIRED. THESE STRUCTURES, THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.
- EXCEPT WHERE INDICATED OTHERWISE IN THE PLANS, ALL MANHOLES SHALL HAVE A FRAME CONFORMING TO MECHAN R-1712 OR R-1510.  
ALL LIDS SHALL BE MECHAN R-1712 OF R-1510 TYPE "B" SELF SEALING WITH A CONCREDE PITCH HOLE AND "SANITARY" AND "CITY OF ST. CHARLES" CAST INTO THE TOP SURFACE TO IDENTIFY THE LINE.  
ALL TOPS OF FRAMES FOR SANITARY SEWERS ARE TO BE ADJUSTED TO MEET FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THE ADJUSTMENT SHALL NOT EXCEED 12 INCHES.  
STEPS SHALL BE INSTALLED IN ALL SANITARY MANHOLES ON 10" CENTERS (MECHAN R-1561-1 EACH IRON OR CAST IRON #3331).
- PROVIDE A BITUMINOUS JOINTING COMPOUND APPROVED BY THE CITY OF ST. CHARLES AND NON-SHRINK MORTAR AT ALL JOINTS TO PREVENT INFILTRATION IN ALL SANITARY MANHOLES.
- SANITARY SEWERS SHALL BE TESTED FOR ACCEPTANCE BY THE CONTRACTOR AND WITNESSED BY A REPRESENTATIVE OF THE PROJECT, IN ACCORDANCE WITH THE PROVISIONS OF SECTION 19-1.14 OF THE STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS WITH METHOD A. FOR INFILTRATION OF AIR UNDER PRESSURE, AND METHOD C1 DEFLECTION FOR FLEXIBLE THERMOPLASTIC PIPE TO BE USED. THE COST OF TESTING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR SANITARY SEWER AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
- ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH WILL BE PROPERLY DISPOSED OF BY THE CONTRACTOR AT HIS EXPENSE.
- THE CONTRACTOR SHALL MARK THE END OF ALL SANITARY SERVICE LINES WITH A 4" X 4" YELLOW PINE WOOD POST, AT LEAST 100 FEET FROM THE END OF THE PIPE. THE POST SHALL BE BURIED WITH THE SEWER END AT THE INVERT OF THE SEWER. THE EXPOSED PORTION SHALL BE PAINTED YELLOW.
- THE CONTRACTOR WILL MAINTAIN A RECORD OF THE LOCATION OF ALL SANITARY SEWER PIPE LOCATIONS ALONG SEWER MAINS BY MEASUREMENTS TO THE NEAREST SUBMERGED MANHOLE. THE CONTRACTOR WILL FILE IN THE LOCATION OF THE END OF ALL SANITARY SEWER SERVICE LINES BY MEASUREMENTS TO LOT CORNERS AND BY MEASURING THE APPROXIMATE DEPTH FROM THE GROUND LINE TO THE PIPE INVERT AND WILL FURNISH A COPY OF SUCH MEASUREMENTS TO THE ENGINEER.
- ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE BY CORING OR SAW-CUTTING THE EXISTING STRUCTURE. BREAKING INTO STRUCTURES WILL NOT BE PERMITTED.

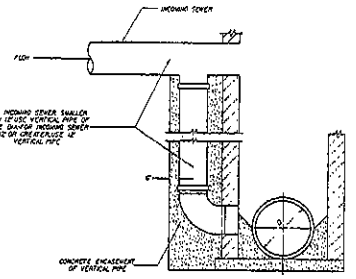


**TYPE A FRAME AND LID (SANITARY) CITY OF ST. CHARLES**

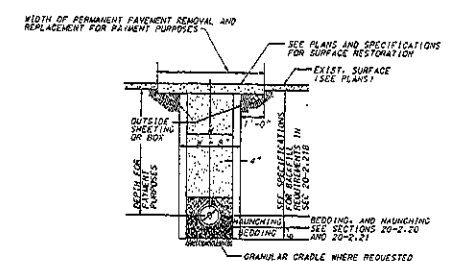
1. THE DOOR AND CASTING SHALL BE MADE ON-TH AND SHALL BE TESTED IN ACCORDANCE WITH FEDERAL SPECIFICATIONS.  
2. ALL LIDS AND DOORS SHALL BE PAINTED.  
3. MANHOLE COVERS SHALL HAVE BRASS LETTERS AS SHOWN.  
4. AS AN ALTERNATE TO DUCTILE IRON COVERS AND LIDS, CAST IRON SHALL BE USED.  
5. WHENEVER LETTERS FOR THE CASTING ARE SHOWN.  
6. DIMENSIONS FOR COVERS AND COVERS TO MECHAN MADE OR HOSE.

- PROVIDE CLASS 52 COMPACTED OR 7-7 SEGREGATE BACKFILL AROUND MANHOLE TO 30% BELOW ELEVATION IN PLACE PAES.
- CONCRETE FLECTS SHALL BE MADE WITH ADDITIONAL NOTCHES TO AVOID A SHARP TRANSITION BETWEEN THE CASTING AND ADJUSTING RUNS FOR TOP OF STRUCTURE.
- INSTALL MANHOLE IN ACCORDANCE WITH ASTM C900.
- MORTAR SHALL NOT BE USED TO DRESS UP INTERIOR JOISTS.
- MECHAN HOSING NO. 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
- WHEN MANHOLE IS 48" OR LESS, 1" x 1" x 10" MINIMUM DEPTH IS OK. IF 48" OR MORE, 2" x 2" x 10" MINIMUM DEPTH IS OK.

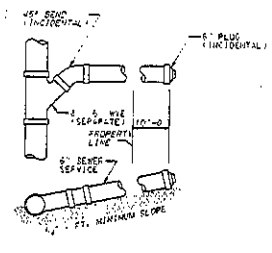
**TYPE A SANITARY MANHOLE CITY OF ST. CHARLES**



**DROP MANHOLE CONNECTION**



- NOTES:**
- FOR MAXIMUM TRENCH WIDTH "W" AT TOP OF CONDUIT SEE SECTION 20-2.03.
  - TRENCH BOX SHALL NOT EXTEND BELOW TOP OF PIPE UNLESS OTHERWISE SPECIFIED.
  - LIMITS FOR EXCAVATING FOR PAVEMENT PURPOSES ARE AS SHOWN. SEE TABLE NO. 1 ON STANDARD DRAWING NO. 9. ANY PLACE OF EXCAVATION BEYOND THESE LIMITS WILL BE BACKFILLED AS SPECIFIED AT THE EXPENSE OF THE CONTRACTOR.
  - ALL REFERENCES TO SECTION 20-2 ARE MADE TO THIS SECTION IN THE STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS (MAY 1986 EDITION).
  - ALL MATERIALS SHALL BE CONSTRUCTED WITH COMPACTED GRANULAR MATERIAL OR NATIVE SOIL EXCAVATED FROM THE TRENCH. FINE SAND, FOREIGN MATERIALS AND FILLING MATERIALS SHALL BE EXCLUDED FROM THE TRENCH. MATERIAL SHALL BE COMPACTED TO 90% OF THE STANDARD PROCTOR, ASTM D 1557.
- TYPICAL DETAIL OF CONDUIT INSTALLATION (SANITARY SEWER, STORM SEWER AND WATER MAIN)**



- NOTES:**
- ALL SERVICES SHALL BE PROVIDED BY THE CONTRACTOR TO THE NEAREST SUBMERGED MANHOLE AND SUCH INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR HIS USE IN PREPARING RECORD DRAWINGS AND PLANS.
  - ALL SEWER SERVICES SHALL TERMINATE AT A POINT 100 FEET INTO THE LOT. AT THE EXPOSED END OF THE SERVICE, A 6" BRASS SHALL BE PLACED AT THE POINT OF THE SERVICE AND A 2" x 4" YELLOW PINE POST SHALL BE SET FROM THE CENTER TO EXTEND FROM THE BOTTOM OF THE TRENCH TO 3 FEET ABOVE THE SURFACE.  
NO SADDLE TAPS ARE ALLOWED. ALL SERVICES TO EXISTING SEWERS SHALL BE CUT-IN W/IC OR TEE.

**SANITARY SERVICE**

REVISION	DATE	BY	DESCRIPTION
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**RHAA**

Robert H. Anderson & Associates, Inc.  
Consulting Engineers  
3660 N. ILWACO BLVD., STE. 100  
PORTLAND, OREGON 97201  
PH: 503-283-8321

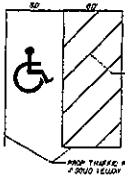
**TILER & 64 BUSINESS PARK**

**SANITARY SEWER DETAILS**

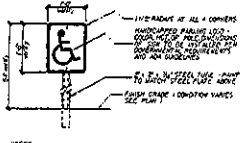
ILLINOIS  
MADE COUNTY  
CITY OF ST. CHARLES

PROJECT NO. ST3-082  
DATE MARCH 08, 2003  
SCALE 3/8" = 1'-0"  
RD NO. 29830/466/007  
SHEET 26 OF 32

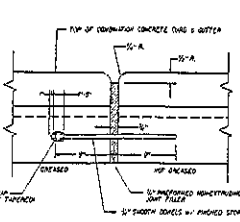




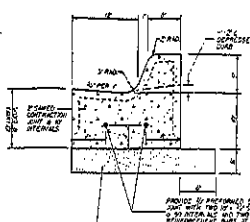
HANDICAPPED PARKING SPACE DETAIL



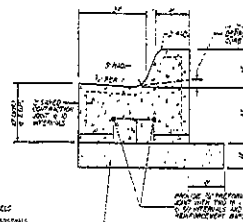
HANDICAPPED SIGN DETAIL



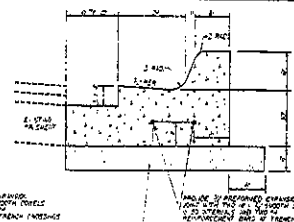
EXPANSION JOINT DETAIL



TYPE B 6.12 COMBINATION CONCRETE CURB & GUTTER 9" HEIGHT



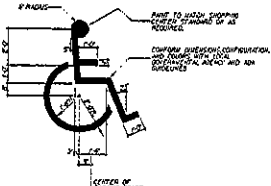
TYPE B 6.24 COMBINATION CONCRETE CURB & GUTTER



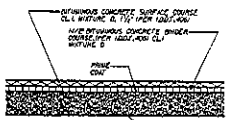
TYPE B - 6.24 (SPECIAL) CONCRETE CURB & GUTTER



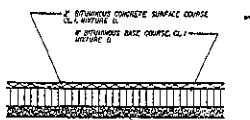
HANDICAPPED SIGN DETAIL



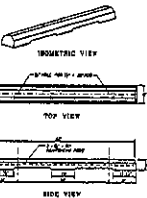
HANDICAPPED SYMBOL DETAIL



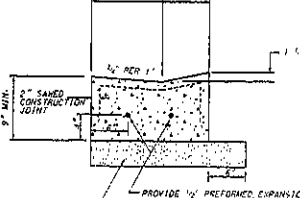
PROPOSED PARKING LOT AND TYLER ROAD ENTRANCE DRIVE PAVEMENT DETAIL



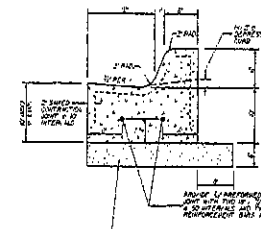
PROPOSED MAIN STREET ENTRANCE DRIVE PAVEMENT DETAIL (WITHIN IDOT ROW)



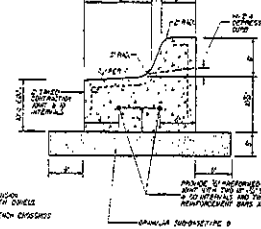
PRECAST CONCRETE PARKING BLOCK



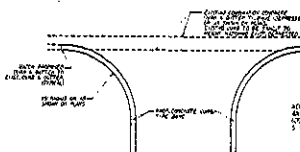
B-6.12 CURB & GUTTER (DEPRESSED)



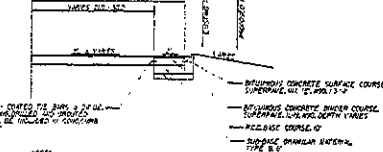
TYPE B 6.12 COMBINATION CONCRETE CURB & GUTTER



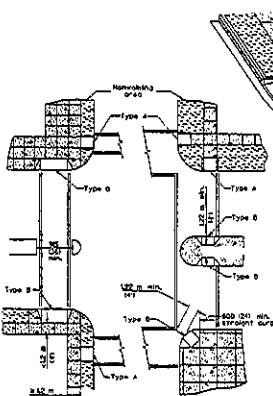
TYPE B 6.12 COMBINATION CONCRETE CURB & GUTTER (REVERSE PITCH GUTTER)



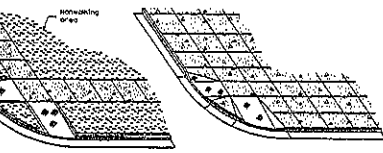
EAST COMMERCIAL ENTRANCE CURB DETAIL



TYPICAL PAVEMENT SECTION ILLINOIS ROUTE 64



RECOMMENDED LOCATION OF RAMPS

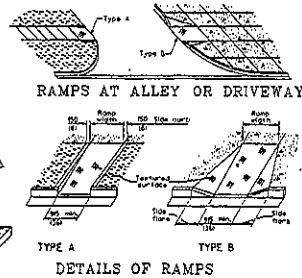


TYPE A RAMPS

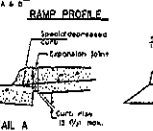
TYPE B RAMPS

RAMP TEXTURE DETAIL

DETAIL OF SIDE CURB



DETAILS OF RAMPS



CURB RAMPS ACCESSIBLE TO THE DISABLED

GENERAL NOTES

1. RAMP TEXTURE TO BE AS SHOWN WITH AN EXPANDED METAGRADE FILLER AND FINISHED WITH A FINISH TO MATCH THE ADJACENT DRIVEWAY OR DRIVEWAY SURFACE.

2. THE MINIMUM WIDTH OF THE SIDE CURB FOR TYPE B RAMPS SHALL BE 18 INCHES.

3. RAMPS SHALL BE CONSTRUCTED WITH A MINIMUM SLOPE OF 1:12.

4. DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SHOWN.

CONCRETE ISLAND NOTES

1. ISLAND TO BE 4 INCH CONCRETE OVER 4 INCH AGGREGATE FILL TO SUBGRADE.

2. ISLAND TO BE 18 INCH WITH 1/4 INCH EXPANDED JOINT FILLER BETWEEN CURB AND CONCRETE ISLAND.

MAIN STREET ENTRANCE RIGHT-IN RIGHT-OUT DRIVEWAY WITH SIGNAGE

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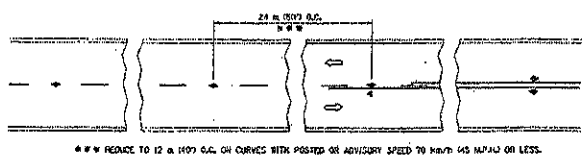
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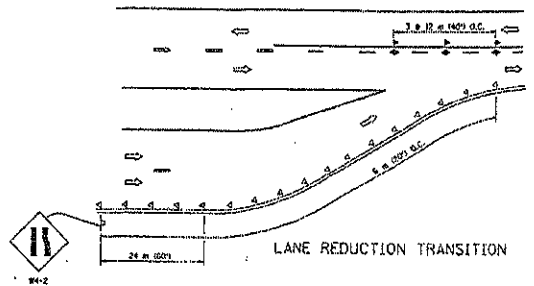
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NO.	DATE	BY	DESCRIPTION
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3			ISSUED FOR CONSTRUCTION
4			ISSUED FOR CONSTRUCTION
5			ISSUED FOR CONSTRUCTION
6			ISSUED FOR CONSTRUCTION
7			ISSUED FOR CONSTRUCTION
8			ISSUED FOR CONSTRUCTION
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10			ISSUED FOR CONSTRUCTION

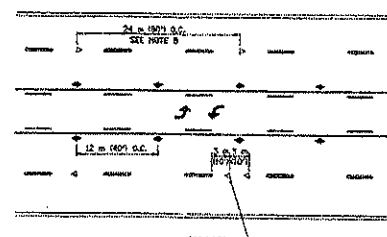
SECTION	COUNTY	DATE
11A	TO ETL	
11B	TO ETL	
11C	TO ETL	



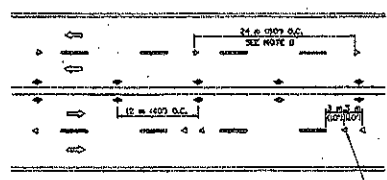
TWO-LANE/TWO-WAY



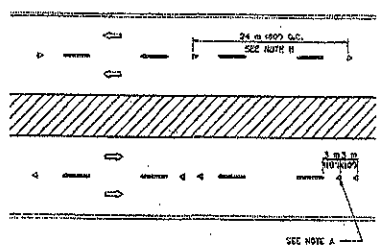
LANE REDUCTION TRANSITION



TWO-WAY LEFT TURN



MULTI-LANE/UNDIVIDED



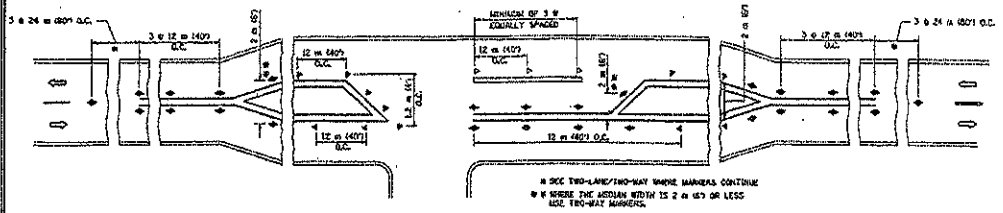
MULTI-LANE/DIVIDED

GENERAL NOTES

1. MARKERS USED WITH DASHED LINES SHALL BE CENTERED IN THE GAP BETWEEN SEGMENTS.
  2. MARKERS USED ADJACENT TO SOLID LINES SHALL BE OFFSET 50 TO 75 CM TO THE INSIDE TRAFFIC AS SHOWN.
  3. MARKERS THROUGH TANGENTS LESS THAN 100 m (300') IN LENGTH BETWEEN CURVES SHALL BE INSTALLED AT THE LESSER OF THE TWO CURVE SPACINGS.
- LANE MARKER NOTES
4. REDUCE TO 12 m (40') O.C. ON CURVES WHERE ADVISORY SPEEDS ARE 20 KM/H (10 MPH) LOWER THAN POSTED SPEEDS.
  5. USE DOUBLE LANE LINE MARKERS SPACED AS SHOWN.

SYMBOLS

- YELLOW STRIPE
- WHITE STRIPE
- 4 ONE-WAY ARROW MARKER
- ← ONE-WAY CRISTAL MARKER (R/W)
- ↔ TWO-WAY ARROW MARKER



LEFT TURN

All dimensions are in millimeters (unless unless otherwise shown).

ILLINOIS DEPARTMENT OF TRANSPORTATION  
TYPICAL APPLICATIONS  
RAISED REFLECTIVE PAVEMENT MARKERS  
(SNOW-PLOW RESISTANT)

REVISIONS	DATE	BY	DESCRIPTION
1	03-15-2000	AS	ISSUED FOR CONSTRUCTION
2	03-15-2000	AS	ISSUED FOR CONSTRUCTION
3	03-15-2000	AS	ISSUED FOR CONSTRUCTION
4	03-15-2000	AS	ISSUED FOR CONSTRUCTION

SCALE: NONE  
DATE: 12/18/2002  
DRAWN BY: CABD  
CHECKED BY:

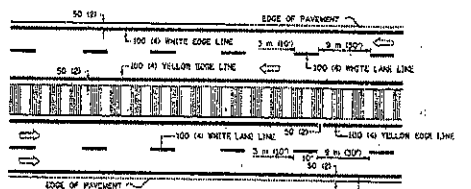
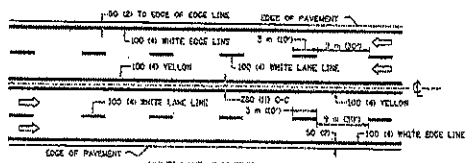
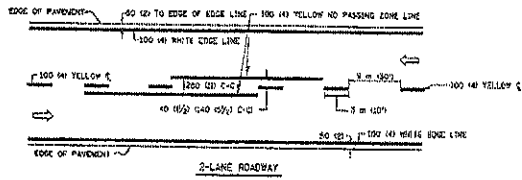
**RH&A**  
RHEA CONSULTANTS, INC.  
220 N. WASHINGTON ST., SUITE 200  
CHICAGO, ILL. 60601  
TEL: 312.467.8800  
FAX: 312.467.8801  
WWW.RH&A.COM

**TYLER & 64 BUSINESS PARK**  
**IDOT DISTRICT 1 PAVEMENT**  
**MARKING DETAILS**  
CITY OF ST. CHARLES ILLINOIS  
KANE COUNTY

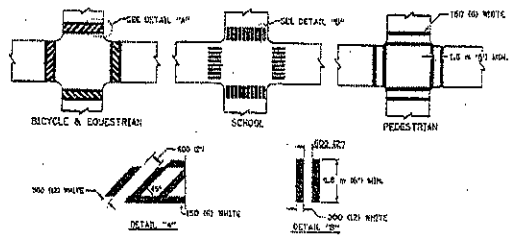
NO.	DATE	BY	DESCRIPTION
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2	03-15-2000	AS	ISSUED FOR CONSTRUCTION
3	03-15-2000	AS	ISSUED FOR CONSTRUCTION
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PROJECT NO.: 813-201  
DATE: MARCH 20, 2000  
SHEET NO.: 29 OF 32

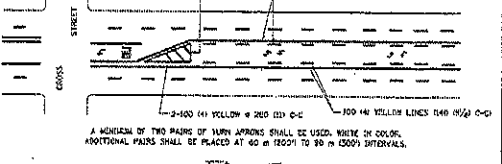
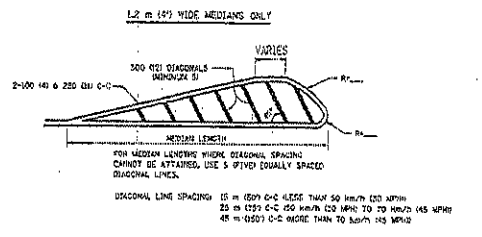
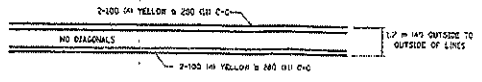




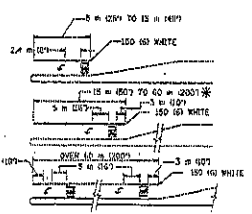
TYPICAL LANE AND EDGE LINE MARKING



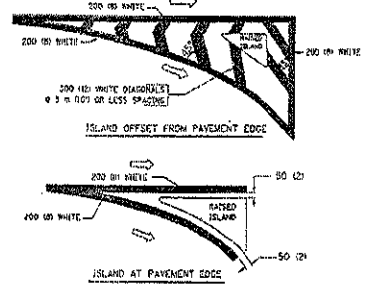
TYPICAL CROSSWALK MARKING



TYPICAL PAINTED MEDIAN MARKING



TYPICAL LEFT (OR RIGHT) TURN LANE



TYPICAL ISLAND MARKING

TYPE OF MARKING	WIDTH OF LINE	PATTERN	COLOR	SPACING / REMARKS
CONTINUING ON 2 LANE PAVEMENT	300 (10')	200-DASH	YELLOW	3 m (10') LINE WITH 9 m (30') SPACE
CENTERLINE ON MULTI-LANE UNDIVIDED PAVEMENT	2 & 100 (4')	SOLID	YELLOW	200 (10') C-C
NO PASSING ZONE LINES FOR ONE DIRECTION FOR BOTH DIRECTIONS	300 (10')	SOLID	YELLOW	140 (55') C-C FROM SWIP-DASH CENTERLINE; 200 (10') C-C SWIT SWIP-DASH CENTERLINE (BETWEEN)
LANE LINES	100 (4')	SWIP-DASH	WHITE	3 m (10') LINE WITH 9 m (30') SPACE
DOTTED LINES (SEPARATING OF CENTER LANE OR TURN LANE MARKINGS)	SHALL AS LANE WIDTH EXTENDED	SWIP-DASH	WHITE	3 m (10') LINE WITH 9 m (30') SPACE
EDGE LINES	100 (4')	SOLID	YELLOW-LEFT WHITE-RIGHT	SETLINE SLOTTABLE MARKING OR YELLOW EDGE LINES ARE NOT USED NEXT TO BARRIER CURB
TURN LANE MARKINGS	100 (4') LINE FULL SIDE LEFT/RIGHT STRIPES 2.4 m (8')	SOLID	WHITE	SEE TYPICAL TURN LANE MARKING DETAILS
TWO WAY LEFT TURN MARKING	2 & 100 (4') SWIP-DASH AND 200 (10')	SWIP-DASH AND 200 (10')	YELLOW	3 m (10') LINE WITH 9 m (30') SPACE FOR SCRAMBLING AND 500' C-C BETWEEN SOLID LINE AND SWIP-DASH LINE
	2.4 m (8') LEFT STRIPES	3X PAIRS	WHITE	SEE TYPICAL TWO-WAY LEFT TURN MARKING DETAILS
CROSSWALK LINES (PEDESTRIAN)	2 & 150 (4')	SOLID	WHITE	NOT LESS THAN 1.4 m (4') APART
A. DIAGONALS (BICYCLE & EQUINE)	300 (10') @ 45°	SOLID	WHITE	1000 (30') APART
B. LONGITUDINAL (BICYCLE & EQUINE)	300 (10') @ 90°	SOLID	WHITE	500 (15') APART
STOP LINES	600 (2')	SOLID	WHITE	PLACE 1.2 m (4') IN ADVANCE OF AND PARALLEL TO CROSSWALK. IMPROPERLY SPACED, PLACE AT WORKING STOPPING POINT. TURNABLE TO OPERATING STOPPING POINTS
PAINTED MEDIANS	2 & 100 (4') WITH 200 (10') DIAGONALS @ 45°	SOLID	YELLOW	200 (10') C-C FOR DOUBLE LANE; SEE TYPICAL PAINTED MEDIAN MARKING
CONE MARKING AND STABILIZING LINES	200 (10') WITH 200 (10') DIAGONALS @ 45°	SOLID	WHITE	DIAGONALS: 1.5 m (5') C-C UNLESS OTHERWISE SPECIFIED; 9 m (30') C-C UNLESS OTHERWISE SPECIFIED
RAILROAD CROSSING	1000 (30') TRANSVERSE LINES; 1000 (30') @ 45° (LETTERS: 400 (12') LINE FOR "X")	SOLID	WHITE	SEE 1146 STANDARD TYPICAL SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND STAKE PLACING 1146
SHOULDER DIAGONALS	300 (10') @ 45°	SOLID	WHITE - RIGHT YELLOW - LEFT	15 m (50') C-C UNLESS OTHERWISE SPECIFIED; 9 m (30') C-C UNLESS OTHERWISE SPECIFIED

FOR FURTHER DETAILS OF PAVEMENT MARKING REFER TO STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND STAKE PLACING 1146.

REVISIONS	DATE
1. REVISED	11/15/02
2. REVISED	11/15/02
3. REVISED	11/15/02
4. REVISED	11/15/02
5. REVISED	11/15/02
6. REVISED	11/15/02
7. REVISED	11/15/02
8. REVISED	11/15/02
9. REVISED	11/15/02
10. REVISED	11/15/02

ILLINOIS DEPARTMENT OF TRANSPORTATION  
DISTRICT ONE  
TYPICAL PAVEMENT MARKINGS

SCALE: NONE  
DATE: 4/26/02  
DRAWN BY: GARD  
CHECKED BY:

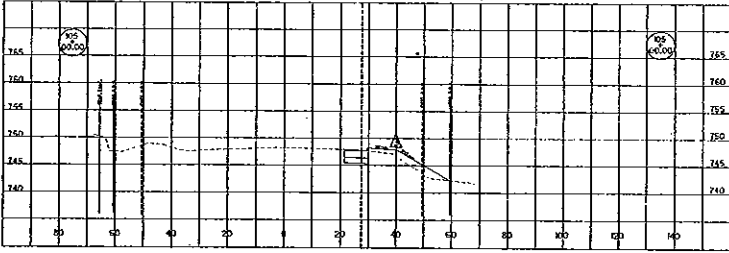
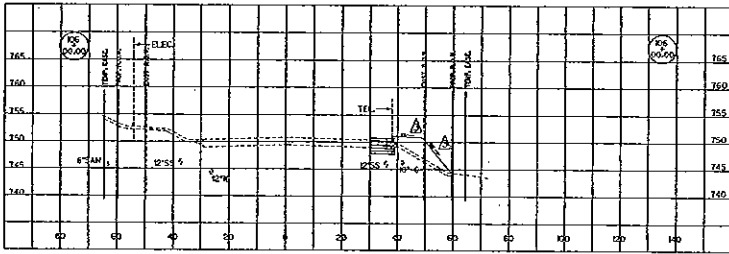
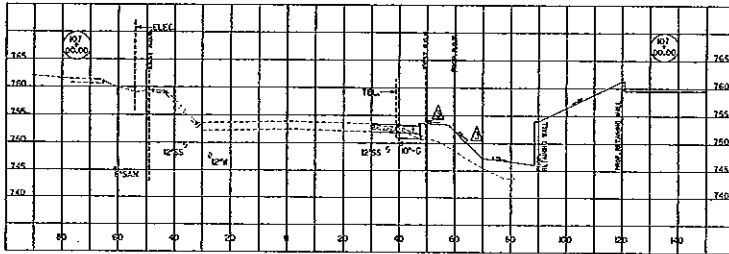
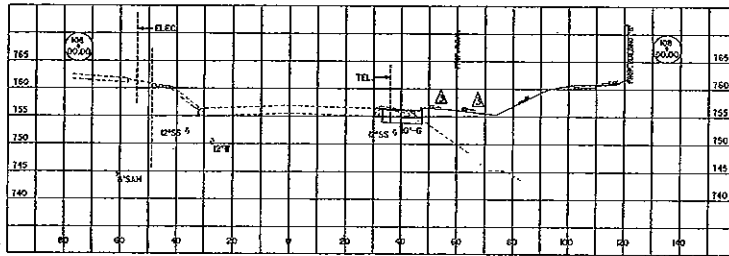
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4	NO. 4	11/15/02	GARD
5	NO. 5	11/15/02	GARD
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7	NO. 7	11/15/02	GARD
8	NO. 8	11/15/02	GARD
9	NO. 9	11/15/02	GARD
10	NO. 10	11/15/02	GARD

**RHAA**  
Robert H. Anderson & Associates, Inc.  
Professional Engineers  
1100 N. Wacker Drive, Suite 1000  
Chicago, IL 60606  
Tel: 312.467.1000  
Fax: 312.467.1001

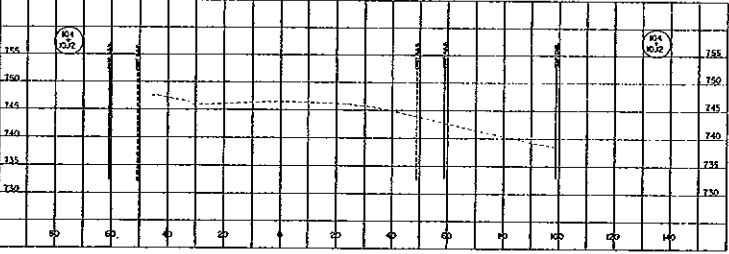
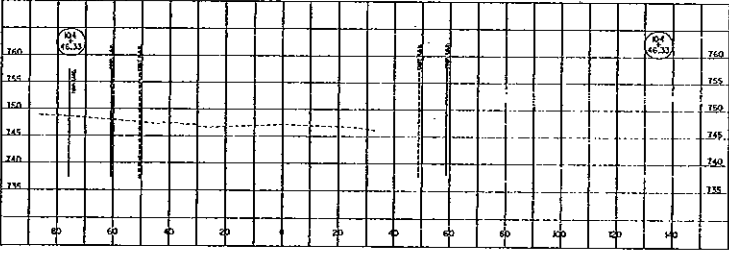
**TYLER & 64 BUSINESS PARK**  
IDOT DISTRICT 1 PAVEMENT  
MARKING DETAILS  
ILLINOIS  
KANE COUNTY  
CITY OF ST. CHARLES

DATE: 4/26/02  
DRAWN BY: GARD  
CHECKED BY:  
SCALE: NONE  
DATE: 4/26/02  
DRAWN BY: GARD  
CHECKED BY:

36" x 48" (914 x 1219) mm  
 1/4" = 10' (6.35 mm = 3.05 m)  
 1/8" = 20' (3.18 mm = 6.10 m)



BEGIN PROJECT STA. 104+97.69



- - - - - EXISTING  
 - - - - - PROPOSED

SCALE:  
 HORIZONTAL: 1" = 10'  
 VERTICAL: 1" = 20'

31 32

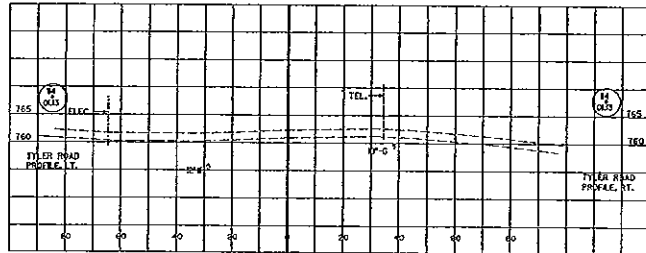
**TYLER & 64 BUSINESS PARK**  
**ROUTE 64 PROPOSED**  
**CROSS SECTIONS**  
 CITY OF ST. CHARLES      KANE COUNTY      ILLINOIS

**RHA&A**  
 Robert H. Anderson & Associates, Inc.  
 Consulting Engineers  
 225 West Olive Street, St. Charles, MO 63301  
 Phone: (314) 423-3333      Fax: (314) 423-3337  
 Email: rha@aol.com

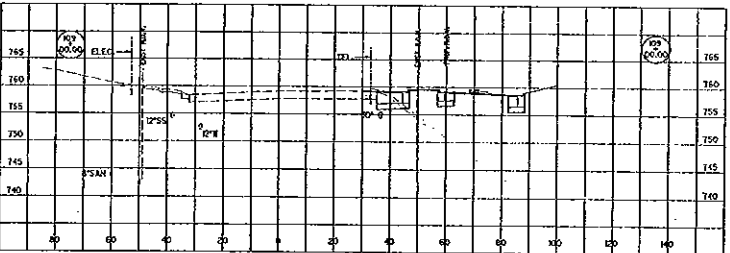
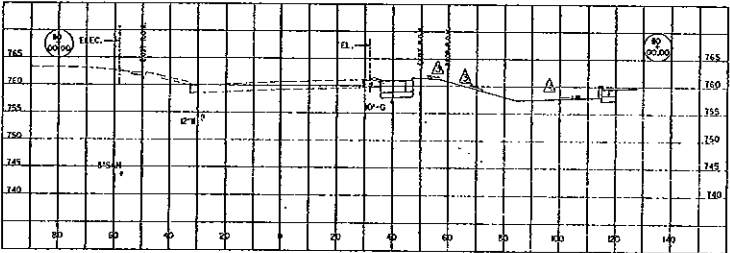
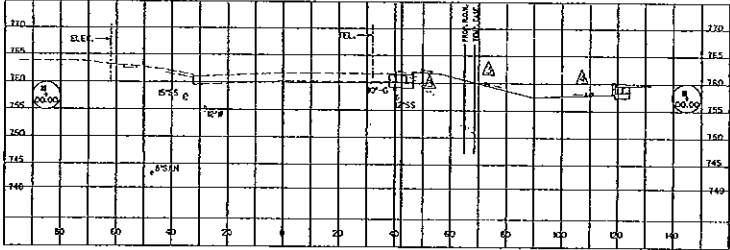
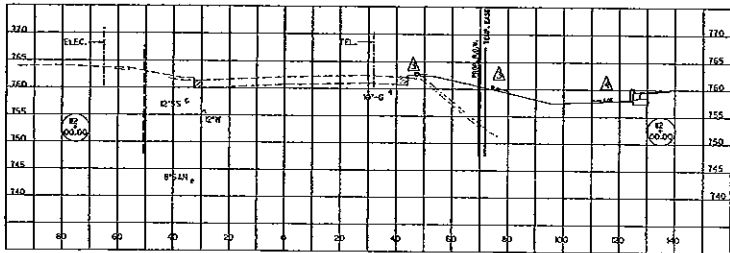
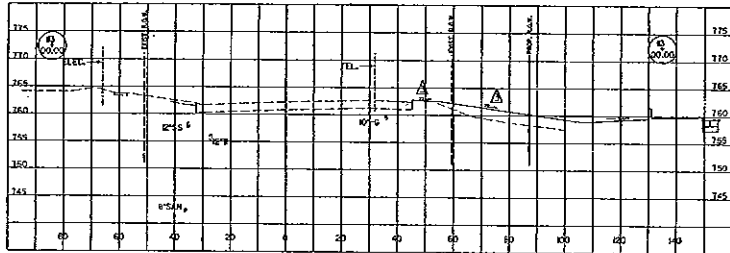
PROJECT	TYLER & 64 BUSINESS PARK
CLIENT	ANTHONY G. MALONE, P.E.
DESIGNER	A. MALONE
CHECKER	M. BAYDUM
DATE	07/25/04

NO.	REVISIONS	DATE
1	REVISIONS PER CLIENT COMMENTS	6/17/04
2	REVISIONS PER CITY COMMENTS	6/22/04
3	REVISIONS PER CITY COMMENTS	6/22/04
4	REVISIONS PER CITY COMMENTS	6/22/04
5	REVISIONS PER CITY COMMENTS	7/17/04
6	REVISIONS PER CITY COMMENTS	7/17/04
7	REVISIONS PER CITY COMMENTS	8/10/04
8	REVISIONS PER CITY COMMENTS	8/10/04
9	REVISIONS PER CITY COMMENTS	8/10/04
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18	REVISIONS PER CITY COMMENTS	8/10/04
19	REVISIONS PER CITY COMMENTS	8/10/04
20	REVISIONS PER CITY COMMENTS	8/10/04

RHS&A 3/23/22



END PROJECT STA. 113+79.12



--- EXISTING  
 --- PROPOSED

SCALE:  
 HORIZONTAL: 1" = 10'  
 VERTICAL: 1" = 20'

32 32  
 0'  
 10'  
 20'  
 30'  
 40'  
 50'  
 60'  
 70'  
 80'  
 90'  
 100'  
 110'  
 120'  
 130'  
 140'

# TYLER & 64 BUSINESS PARK

## ROUTE 64 PROPOSED GROSS SECTIONS

CITY OF ST. CHARLES     KANE COUNTY     ILLINOIS

**RHA&A**  
 Robert H. Anderson & Associates, Inc.  
 Consulting Engineers  
 1701 North 1st Street  
 St. Charles, IL 62250  
 Phone: (618) 326-2333 Fax: (618) 326-2337  
 Email: rha@rhaand.com

PROJECT NO. 113  
 CLIENT: CITY OF ST. CHARLES  
 DESIGNER: R. MALONE  
 CHECKER: M. BAYSON  
 DATE: 3/23/22

REVISION	REVISION PER	DATE
1	REVISIONS PER CLIENT COMMENTS	3/27/22
2	REVISIONS PER CITY COMMENTS	4/27/22
3	REVISIONS PER CITY COMMENTS	4/27/22
4	REVISIONS PER CITY COMMENTS	4/27/22
5	REVISIONS PER CITY COMMENTS	4/27/22
6	REVISIONS PER CITY COMMENTS	4/27/22
7	REVISIONS PER CITY COMMENTS	4/27/22
8	REVISIONS PER CITY COMMENTS	4/27/22
9	REVISIONS PER CITY COMMENTS	4/27/22
10	REVISIONS PER CLIENT COMMENTS	5/2/22
11	REVISIONS PER CLIENT COMMENTS	5/2/22

**RECEIVED**  
JUN 7 - 2004  
PLANNING OFFICE

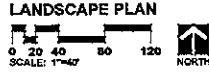
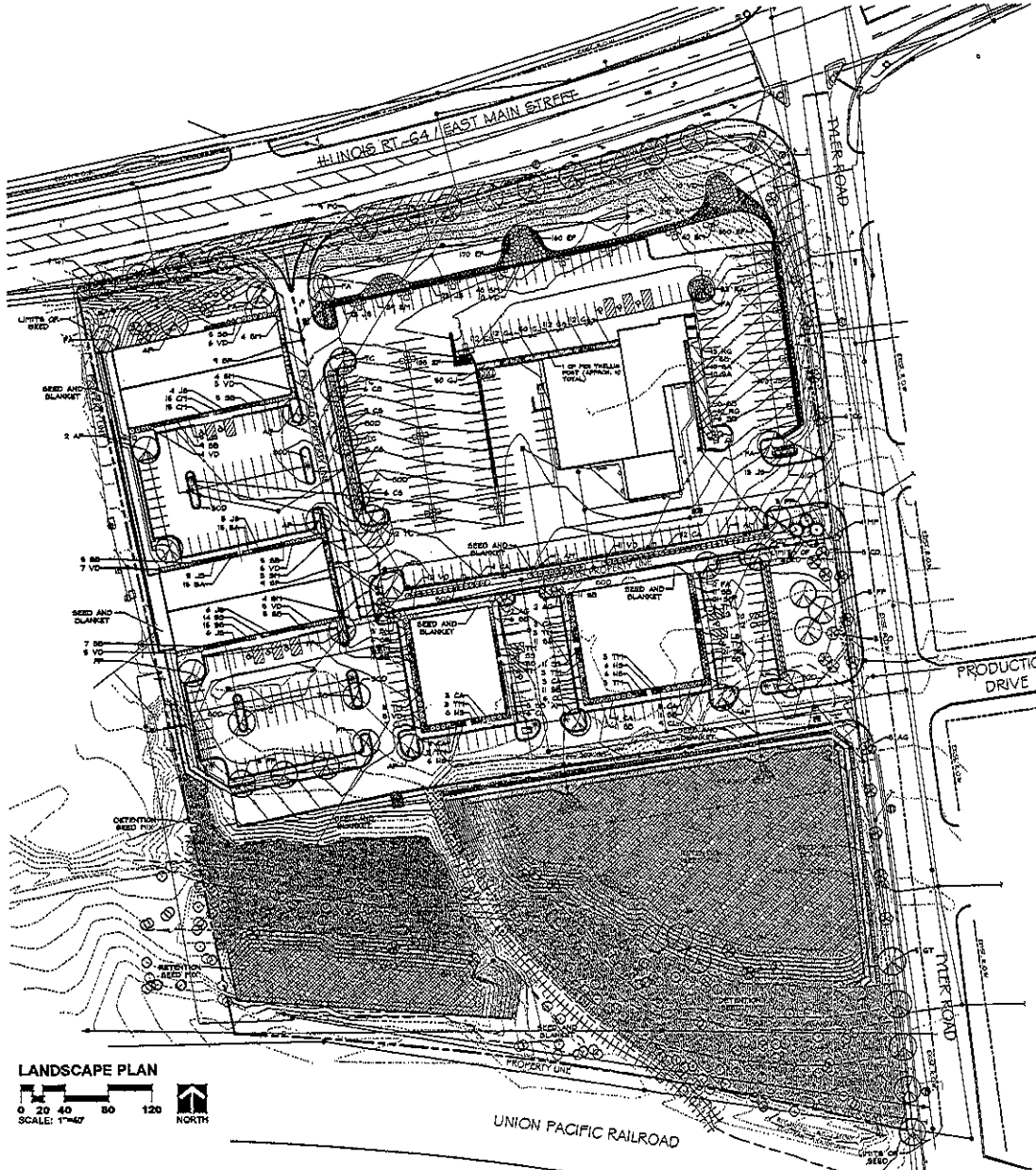
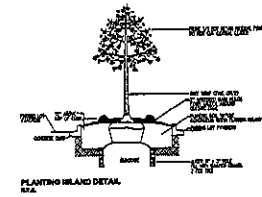
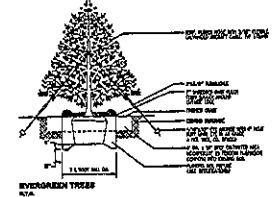
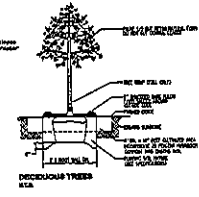
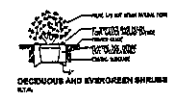
**ROUTE 64 & TYLER ROAD BUSINESS PARK**  
TYLER ROAD & ROUTE 64  
ST. CHARLES, ILLINOIS  
**LANDSCAPE PLAN**



DATE: 1/20/04  
PROJECT: BUSINESS PARK  
DRAWN: JTR  
CHECKED: GSW  
SHEET: 02/04

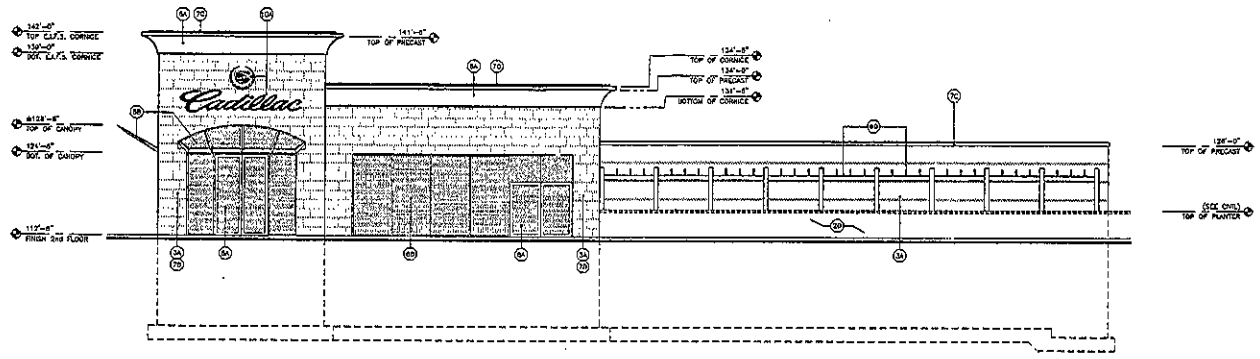
**PLANT LIST**

Key	Quantity	Botanical/Common Name	Size	Remarks
<b>SHADE TREES</b>				
AP	1	Aspen (Import)	8 1/2" CA.	
PA	8	Redwood (Import) (Native Plant)	8 1/2" CA.	
PP	4	Eastern White Pine	8 1/2" CA.	
AT	4	Golden Thread (Import) (Native Plant)	8 1/2" CA.	
PC	1	Redwood (Import)	8 1/2" CA.	
OB	8	Eastern White Pine	8 1/2" CA.	
TC	8	Golden Thread (Import) (Native Plant)	8 1/2" CA.	
<b>ORNAMENTAL TREES</b>				
AB	1	Andromeda (Import)	6" Tall	Clump Form
BA	8	Banksia (Import)	6" Tall	Clump Form
AL	8	Black Alder	6" Tall	Clump Form
CO	8	Common Yew	6" Tall	Clump Form
OE	1	Eastern White Pine	6" Tall	
PF	7	Redwood (Import) (Native Plant)	6" Tall	Clump Form
PP	8	Eastern White Pine	6" Tall	
<b>DECIDUOUS SHRUBS</b>				
AM	20	Amelanchier (Import)	30" Tall	6" O.C.
CA	48	Camellia (Import)	30" Tall	6" O.C.
CB	28	Common Yew	30" Tall	6" O.C.
BA	28	Banksia (Import)	30" Tall	6" O.C.
BB	197	Banksia (Import)	30" Tall	6" O.C.
BI	148	Banksia (Import)	30" Tall	6" O.C.
BP	18	Banksia (Import)	30" Tall	6" O.C.
BI	100	Banksia (Import)	30" Tall	6" O.C.
<b>EVERGREEN SHRUBS</b>				
AB	107	Andromeda (Import)	34" Tall	6" O.C.
TC	83	Golden Thread (Import) (Native Plant)	34" Tall	6" O.C.
<b>PERENNIALS AND ORNAMENTAL GRASSES</b>				
CL	38	Calluna (Import)	2 Gall.	6" O.C.
CH	82	Common Yew	1 Gall.	6" O.C.
CA	204	Camellia (Import)	1 Gall.	6" O.C.
CB	100	Common Yew	1 Gall.	6" O.C.
CC	254	Common Yew	1 Gall.	6" O.C.
CD	26	Common Yew	1 Gall.	6" O.C.
CE	14	Common Yew	1 Gall.	6" O.C.
CF	26	Common Yew	1 Gall.	6" O.C.
CG	14	Common Yew	1 Gall.	6" O.C.
CH	107	Common Yew	1 Gall.	6" O.C.
CI	30	Common Yew	1 Gall.	6" O.C.
CO	100	Common Yew	1 Gall.	6" O.C.
<b>HIC. MATERIALS</b>				
176		Flora	C.Y.	
7094		Soil	S.Y.	
8280		Soil and Mulch	S.Y.	
138		Ornamental Plant in the specifications	As	
139		Ornamental Plant in the specifications	As	
63		Plant in the specifications	As	
138		Plant in the specifications	As	
139		Plant in the specifications	S.Y.	

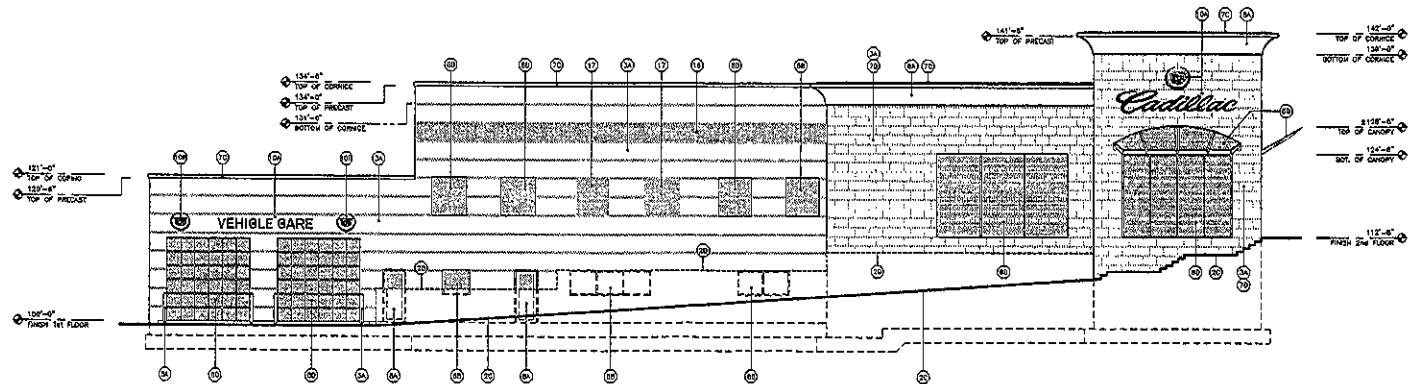


NOTE: ONLY STREET TREES (THOSE WITHIN THE PARKWAY) ARE TO BE IRRIGATED.





NORTH ELEVATION - ALTERNATE 2  
SCALE: 1/8"=1'-0"



EAST ELEVATION - ALTERNATE 2  
SCALE: 1/8"=1'-0"

**GENERAL NOTES:**  
 (2) PART A MATERIAL COLORS TO BE SELECTED PER ARCHITECTURAL FINISH BOOK REQUIREMENTS  
 (3) PRECAST PANEL JOINTS / BRACK POINTS SHALL BE OBTAINED BY PRECAST MANUFACTURER



**KEY NOTES:**

- (1) APPROX. LINE OF RETURNING WALL SYSTEM SEE CIVIL DRAWINGS
- (2) APPROX. JOIST OF RETURNING WALL SYSTEM & PLANTER. SEE CIVIL DRAWINGS
- (3) APPROX. LINE OF SITE CONC. OR GRADE. SEE CIVIL DRAWINGS
- (4) WALL PANELS PRECAST CONCRETE, 6" OR 12" THICK AND SEE FLOOR PLANS. INSULATED PANEL WITH 2" JOINT LOCATIONS AT 2' INTERVALS. 2" JOINT REINFORCED WITH 2" DIA. HORIZONTAL (ONCE BUILT)
- (5) 8" CONC. BLOCK WALL, PAINTED
- (6) STEEL REINFORCEMENT, 8" DIA. CONC. FILLED, PAINTED "YELLOW"
- (7) BRICK FINISH GLASS CHASSIS WITH STAINLESS STEEL ANGLE SUPPORTS
- (8) REINFORCED CONCRETE PLASTER ON EXTERIOR CORNICE
- (9) DECORATIVE WOOD TRIM
- (10) NOT USED
- (11) CHASSIS BRICK PANELS PER ARCHITECTURAL FINISH BOOK REQUIREMENTS. ALL SUPPLIED BY BRITAIN PANELS, INC. (www.britainpanels.com)
- (12) METAL CORNING SYSTEM
- (13) ROOFING - 12" x 8" CLEAR OPENING OVERHANG PRECAST. SEE CIVIL DRAWINGS. 12" x 8" ROOF OVERHANG SHALL BE NOT 2" ABOVE ROOF BRICK WALL AND NOT 4" ABOVE ROOF BRICK WALL. FIELD JOINTS OUTSIDE OF OPENING ROOF.
- (14) REINFORCEMENT JOINT SYSTEM. ALUMINUM FRAME AND DOOR WITH GLASS (SEE PLAN SHEETS)
- (15) JOINTS/SEAMS BETWEEN SYSTEM ALUMINUM FRAME AND GLASS (SEE PLAN SHEETS) HOLLOW METAL DOOR (SEE PLAN SHEETS)
- (16) HOLLOW METAL DOOR (SEE PLAN SHEETS)
- (17) ROOF OVERHANG (SEE PLAN SHEETS)
- (18) 8" x 8" CORNICE IN PRECAST - INFILLED WITH 8" x 8" CLEAR GLASS BLOCK
- (19) UNFINISHED BRICK PER ARCHITECTURAL FINISH BOOK REQUIREMENTS
- (20) ALL BRICK LAYOUT, SEE ARCHITECTURAL BOOK
- (21) DECORATIVE ACCENT COLOR HORIZONTAL BAND
- (22) DECORATIVE ACCENT COLOR HORIZONTAL BAND SEE ARCHITECTURAL FINISH BOOK

A NEW AUTO DEALERSHIP FACILITY FOR:

**AL PIEMONTE CADILLAC**

ST. CHARLES

ST. CHARLES, MISSOURI

A. L. V. ARCHITECTS

1125 S. 11TH ST. ST. CHARLES, MO 63304

TEL: 636.225.1111 FAX: 636.225.1112

WWW.ALVARCHITECTS.COM

DATE: 11/11/11

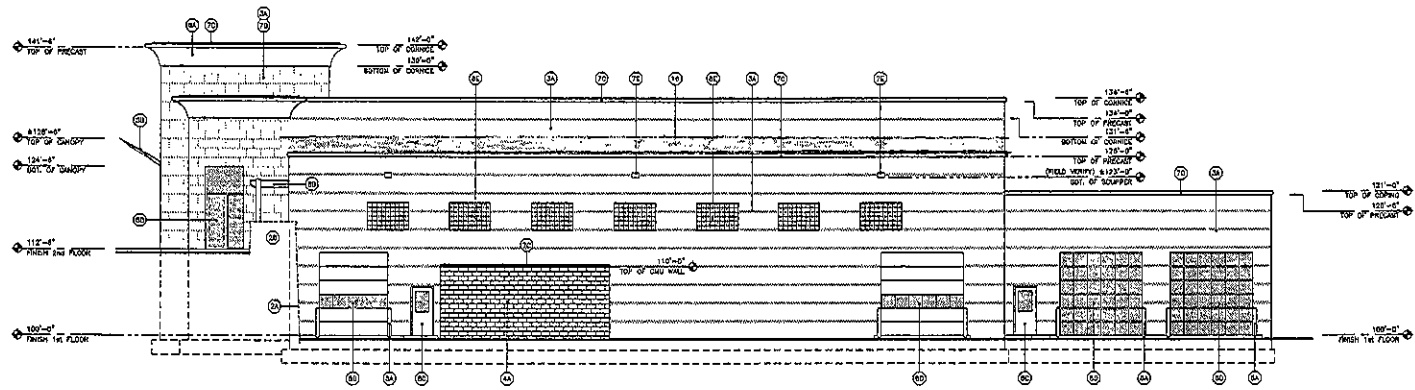
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PROJECT NO. 20110001

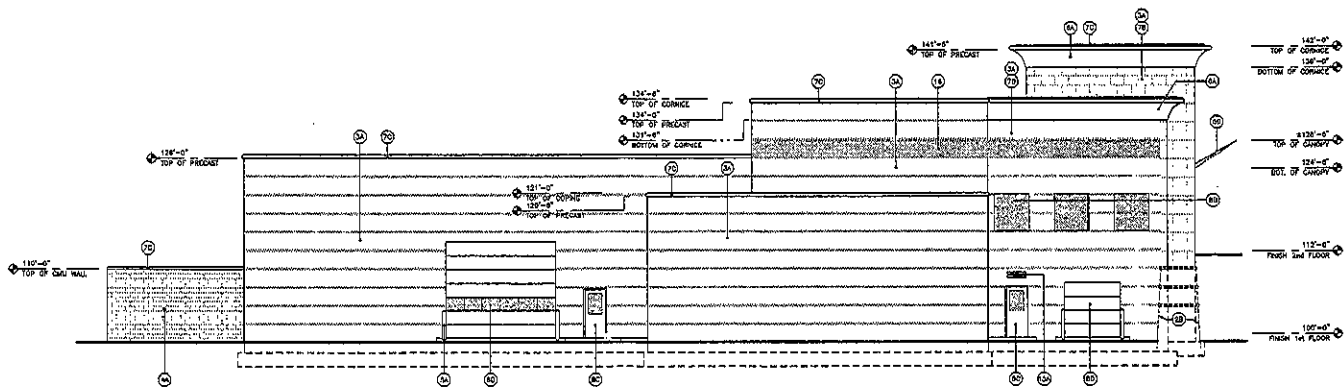
SHEET NO. 112

ELEVATIONS - EXTERIOR

**A211-2**



WEST ELEVATION - ALTERNATE 2  
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - ALTERNATE 2  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

- (1) PAINT & MATERIAL COLORS TO BE SELECTED AND INDICATED FACILITY WARE REQUIREMENTS.
- (2) PRECAST PANEL WIDTH / SPACING POINTS SHALL BE DETERMINED BY PRECAST SUPPLIER.

**KEY NOTES:**



- (1) OFFICIAL LINE OF RETAINING WALL. SPECIAL SEE CIVIL DRAWINGS.
- (2) OFFICIAL LINE OF RETAINING WALL. SPECIAL SEE CIVIL DRAWINGS.
- (3) OFFICIAL LINE OF SITE CONC. OR GRADE. SEE CIVIL DRAWINGS.
- (4) WALL FINISH: PRECAST CONCRETE, 4" OR 12" THICK. MAX. OVER FLOOR FINISH. INDICATED PANEL WIDTH & POINT LOCATIONS BY P.C. SUPPLIER. IF WIDE WALLS & JUMP WALLS, INDICATE (CHECK BACK).
- (5) 4" CONC. BLOCK WALL, PAINTED. PAINTED YELLOW.
- (6) STEEL BRACKETS, 4"x4" CONC. FILL. PAINTED YELLOW.
- (7) BRICK FINISH: GLASS BRICK OR WITH FINISHING STEEL BRACKETS.
- (8) POLYGLASS REINFORCED PLASTIC OR CLAY CONC.
- (9) DECORATIVE WOOD TRIM.
- (10) NOT USED.
- (11) COMPACT STONE PANELS FOR QUADRANT FACILITY WARE. RECOMMENDED AS SUPPLIED BY STONE PANELS, INC. (WWW.STONEPANELS.COM).
- (12) METAL CORNER SYSTEM.
- (13) SCUPPER - 12" x 8" CLEAR OPENING THROUGH PRECAST. SEE SEWER DRAINAGE. BOTTOM OF SCUPPER OPENING SHALL BE MIN. 1" ABOVE ROOF CHASSIS AND MAX. 1" ABOVE ROOF STRIP. FIELD VERIFY BOTTOM OF CHASSIS ROOF.
- (14) STOREFRONT DOOR SYSTEM. ALUMINUM FRAME AND GLASS (SEE ARCH SHEETS).
- (15) REFRIGERANT WINDOW SYSTEM. ALUMINUM FRAME AND GLASS (SEE ARCH SHEETS). HOLLOW METAL DOOR (SEE ARCH SHEETS).
- (16) HOLLOW METAL DOOR (SEE ARCH SHEETS).
- (17) DOOR, OVERHEAD (SEE ARCH SHEETS).
- (18) 4"x4" BRACKETS OR BRACKETS - AFFIXED WITH 4"x4" CLEAR GLASS BLOCK.
- (19) UNPAINTED BRICKS PER QUADRANT FACILITY WARE REQUIREMENTS.
- (20) NON-FERROUS BRACKETS FOR QUADRANT FACILITY WARE REQUIREMENTS.
- (21) AIR BRIDGE DETAIL. SEE MECHANICAL PLANS.
- (22) DECORATIVE ACCENT COLOR MONOGRAM. BRICK SIZE AS INDICATED WINDOWS.

ILLUSTRATIONS

ST. CHARLES

A NEW AUTO DEALERSHIP FACILITY FOR:

# AL PIEMONTE CADILLAC

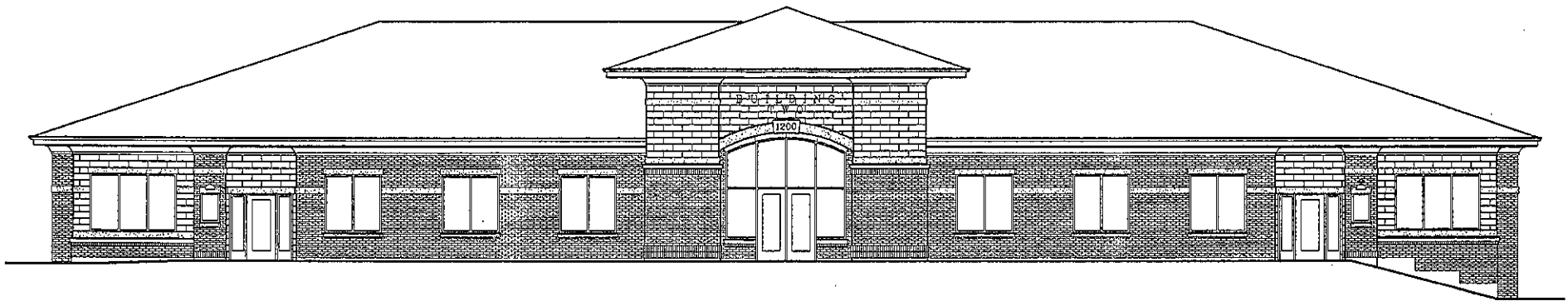



DATE: 08/20/24  
DRAWN BY: MJK  
CHECKED BY: MJK  
PROJECT NO.: 24-001  
SHEET NO.: 11-26-24

NO.	DATE	DESCRIPTION	BY	CHKD.
1	08/20/24	ISSUED FOR PERMIT	MJK	MJK
2	08/20/24	ISSUED FOR PERMIT	MJK	MJK
3	08/20/24	ISSUED FOR PERMIT	MJK	MJK
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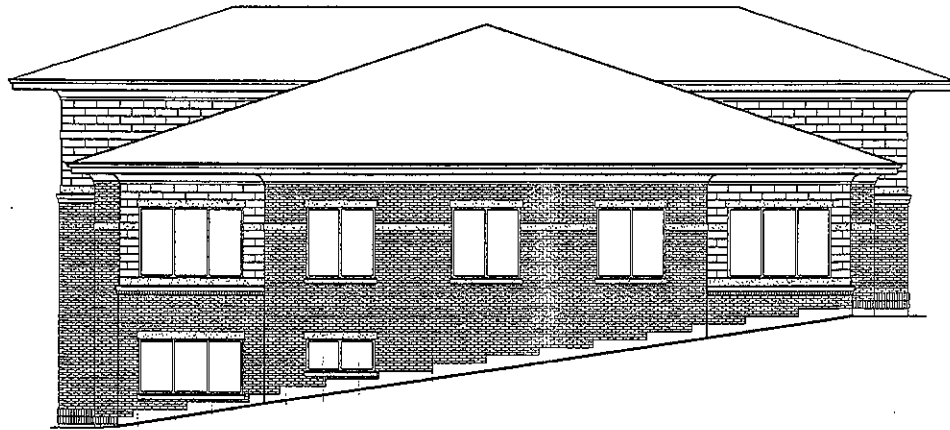
ELEVATIONS - EXTERIOR

## A212-2



**NORTH ELEVATION**

SCALE: 3/32" = 1'-0"



**EAST ELEVATION**

SCALE: 3/32" = 1'-0"

PLOTTED: 5/4/2004

**PROPOSED NEW OFFICE: "BUILDING TWO"**  
**TYLER & RT. 64 BUSINESS PARK**

SOUTHWEST CORNER OF ROUTE 44 & TYLER ROAD

FOR: JRD, INC. - BOB RASMUSSEN 430-443-9393

Revisions: \_\_\_\_\_

Commission: 1789

Sheet:

Issue Date: \_\_\_\_\_

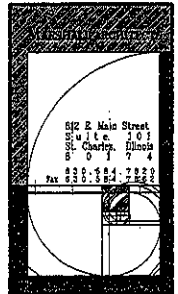
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Drawn By: CDZ

ELEVATIONS

of: 2

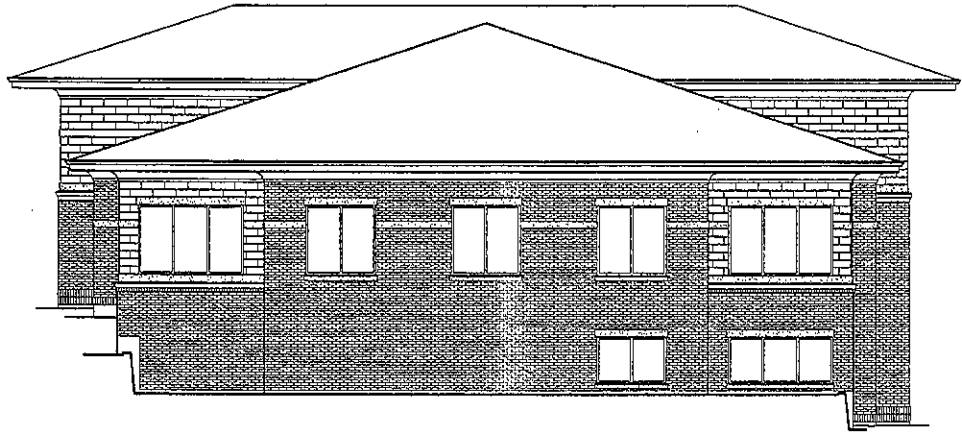
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**SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**WEST ELEVATION**  
SCALE: 3/32" = 1'-0"

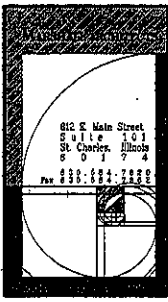
PLOTTED: 5/4/2004

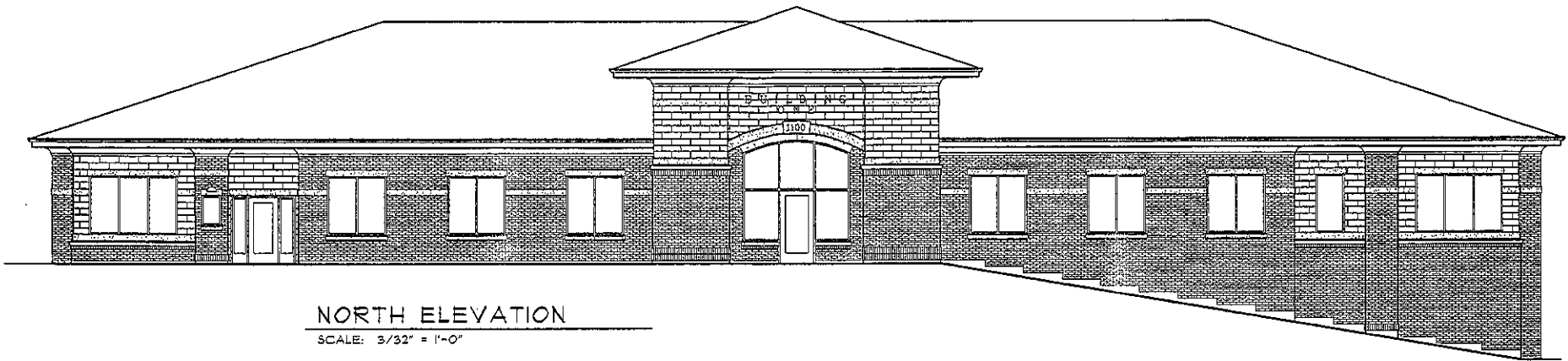
PROPOSED NEW OFFICE: "BUILDING TWO"  
TYLER & RT. 64 BUSINESS PARK  
SOUTHWEST CORNER OF ROUTE 64 & TYLER ROAD  
FOR: JRD, INC. - BOB RASHUSSEN 630-443-9393

Revisions: \_\_\_\_\_  
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Commission: 1789  
Issue Date: \_\_\_\_\_  
Drawn By: CDZ  
ELEVATIONS

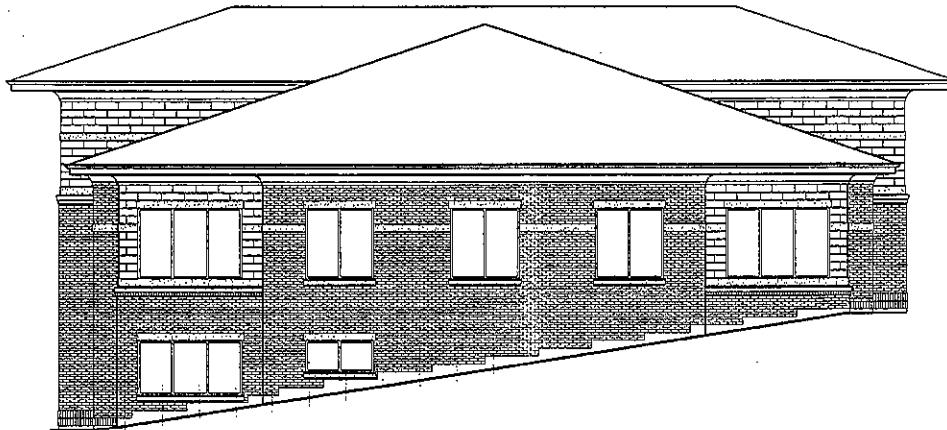
Sheet:  
**2**  
of 2





**NORTH ELEVATION**

SCALE: 3/32" = 1'-0"



**EAST ELEVATION**

SCALE: 3/32" = 1'-0"

PLOTTED: 5/4/2004

PROPOSED NEW OFFICE: "BUILDING ONE"

TYLER & RT. 64 BUSINESS PARK

SOUTHWEST CORNER OF ROUTE 64 & TYLER ROAD

FOR: JRD, INC. - BOB RASMUSSEN 430-443-9393

Revisions:

Commission: 1/88

Sheet:

Issue Date:

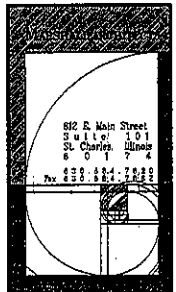
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Drawn By: CDZ

ELEVATIONS

of: 2

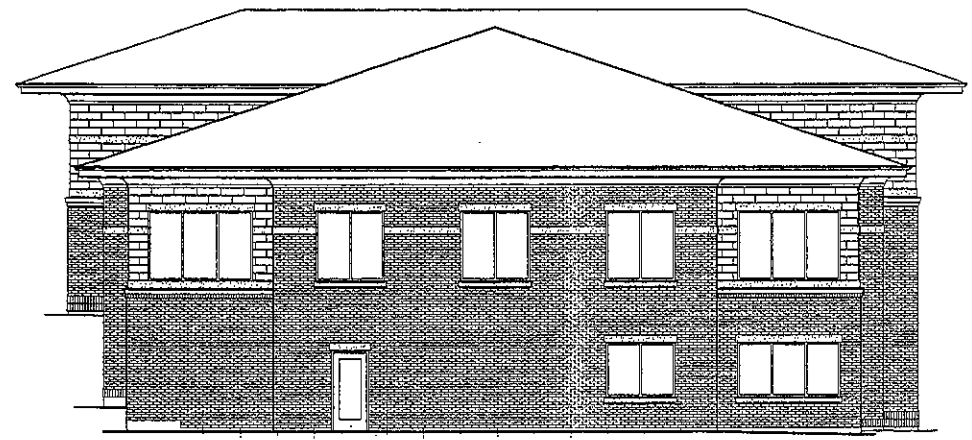
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CLM. FASCIA, SOFFIT  
& WINDOWS



**SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**WEST ELEVATION**  
SCALE: 3/32" = 1'-0"

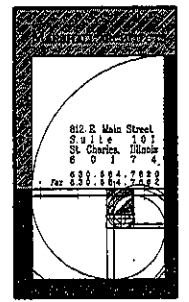
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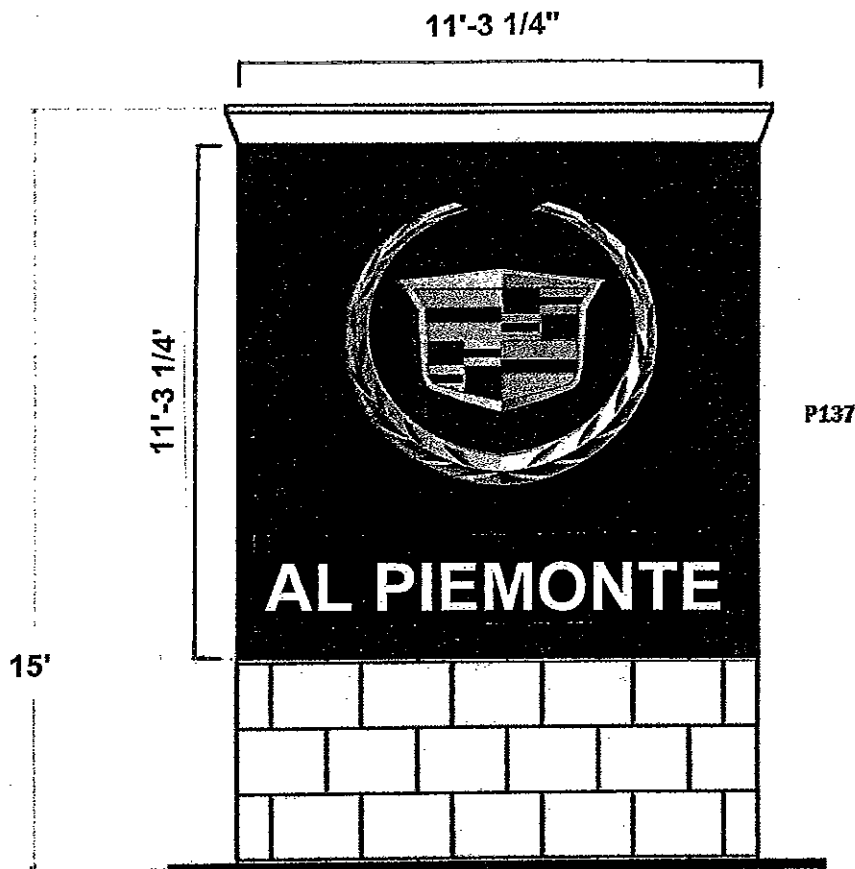
PROPOSED NEW OFFICE: "BUILDING ONE"  
TYLER & RT. 64 BUSINESS PARK  
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Commission: 1788  
Issue Date: \_\_\_\_\_  
Drawn By: CDZ  
ELEVATIONS

Sheet:  
**2**  
of: 2





Account **EN**

Project Title **04 P137 CAD  
029' SIGN WORK**

Scale **1:60**

Date Created **08 MAR 04**

Drawn By **R. RECK**

IP Rep. **L. WALLACE**

Approved By

Date Revised **XX.XXX.2002**

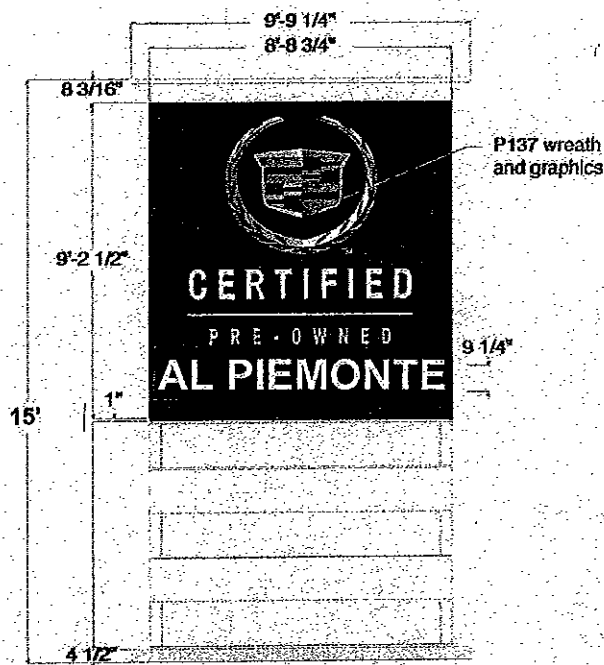
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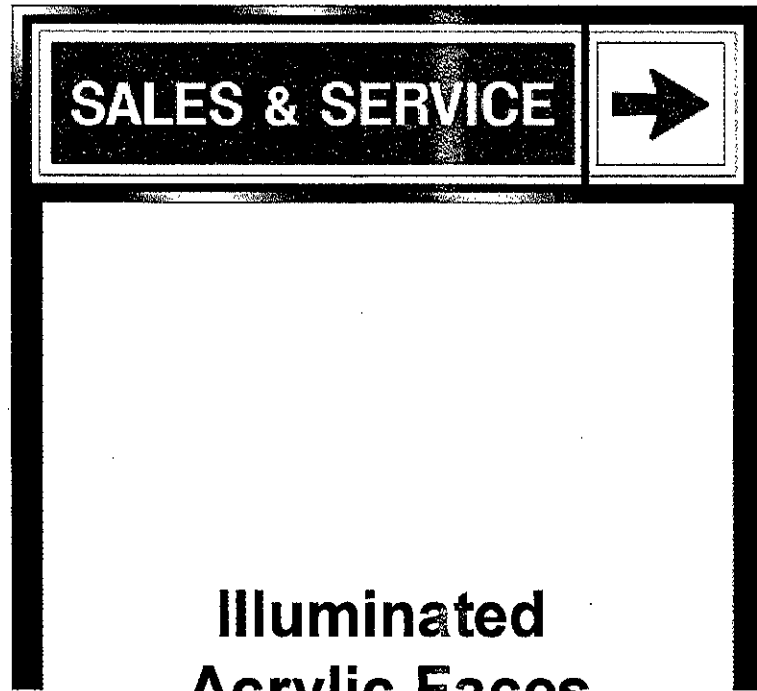
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Pg 1 of 1

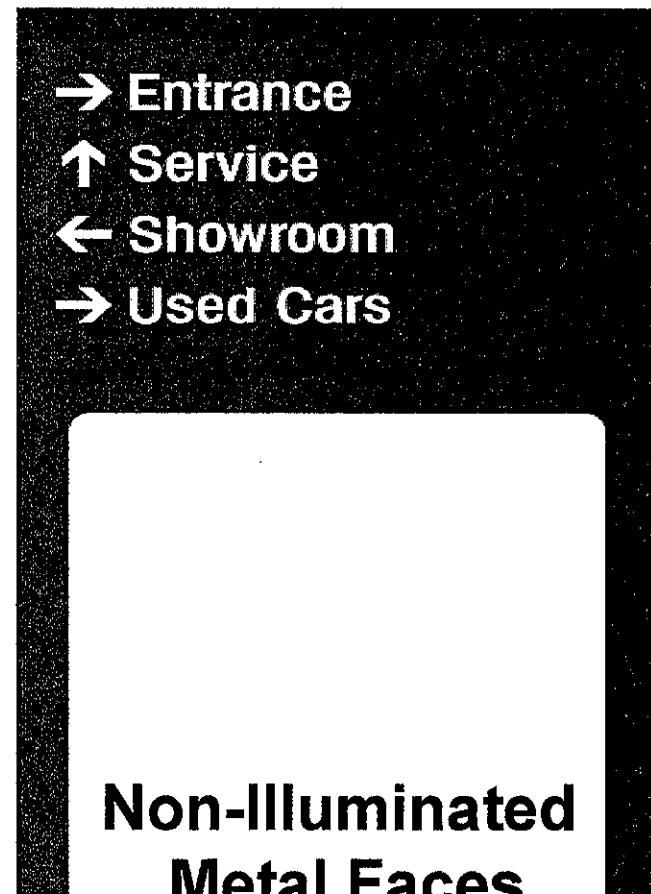


Account: 289	Drawn By: R. KECK	All ideas, plans or arrangements indicated in this drawing are copyrighted and owned by ImagePoint and shall not be reproduced, used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of ImagePoint.	 PG Box 59043 Knoxville, TN 37950-5043 1-800-444-7446 <a href="http://www.imagepoint.com">www.imagepoint.com</a>
Project Title: 201 PG2 Cas CNO #221 8401	IP Rep: M. IEE		
Scale: 1:22	Approved By:		
Date Created: 5 MAR 2004	Date Revised:		

# Directional Signs



**Illuminated  
Acrylic Faces**



**Non-Illuminated  
Metal Faces**

**EXHIBIT "III"**

**MANUFACTURING DISTRICTS**  
**CHAPTER 17.34 OF ZONING ORDINANCE**

## Chapter 17.36

**M-1 LIMITED MANUFACTURING DISTRICT****Sections:**

- 17.36.010 Permitted uses
- 17.36.020 Special uses
- 17.36.030 Floor area ratio
- 17.36.040 Yards
- 17.36.050 Signs, marquees and awnings
- 17.36.060 Off-street loading
- 17.36.070 Off-street parking

**17.36.010 Permitted uses.**

Permitted uses in an M1 district shall be as follows:

A. The following uses are permitted, provided they conform with regulations set forth in Chapter 17.20; when specifically required by the city council, they shall conform with applicable requirements set forth in general requirements of Chapter 17.34:

1. Accessory uses;
2. Animal hospitals;
3. Building material sales, with outside storage;
4. Business and professional offices;
5. Computer and data processing centers;
6. Contractors' shops, with outside storage;
7. Currency exchanges;
8. Frozen food lockers;
9. Fuel and ice sales, retail only with outside storage;
10. Greenhouses, wholesale, without restriction as to gross floor area; provided, heating plant operations conform with applicable performance standards set forth under the general requirements of Chapter 17.34;
11. Heliports, provided they conform with applicable federal, state, and other local governmental regulations;
12. Laboratories, offices and other facilities for engineering, testing, research and development;



13. Machinery and equipment sales and service;
14. Medical and dental offices and clinics;
15. Monument sales,
16. Motor vehicle service;
17. Outdoor sales areas;
18. Parking lots, commercial;
19. Parks and playgrounds;
20. Printing and publishing establishments;
21. Public utility and public service uses including:
  - a. Electric substations and distribution stations;
  - b. Railroad rights-of-way;
  - c. Telephone exchanges and telephone transmission equipment buildings;
  - d. Public transportation facilities, including shelters, terminals, parking areas, and service buildings;
  - e. Water filtration plants, pumping stations, reservoirs, and sewage treatment plants, public;
  - f. Fire stations.
  - g. Communication antennas.
22. Radio, television, and recording studios;
23. Vehicle Service Facilities;
24. Warehousing and distribution facilities, except motor freight terminals;
25. Wholesale establishments, specifically excluding the sale of goods to the general public.

(Ord. 1996-Z-12 § 14; Ord. 1995-Z-14 § 2.)

B. Manufacturing, fabricating, storing, cleaning, testing, assembling, repairing, or servicing establishments as determined by operations conforming with performance standards for M1 districts and other regulations as set forth in general requirements of Chapter 17.34.

(Ord. 1994-Z-7 § 1, 2; 1993-Z-19 § 5; Ord. 1987-Z-16 § 1; Ord. 1966-33 § 2; Ord. 1960-16 §

IX(B)(1.)

**17.36.020 Special uses.**

Special uses in an M1 district shall be as follows:

A. Automobile laundries

B. Motor vehicle sales

C. Boat, camper, and recreational vehicle sales and service;

D. Nursery schools and day care centers; (Ord. 1993-Z-4 § 1F.)

E. Mini-warehouses (self-storage);

F. Motels;

G. Motor freight terminals;

H. Planned unit developments;

I. Portland cement concrete mixing plants;

J. Private, membership only sport health clubs;

K. Public or private college, junior colleges, universities, professional training centers and trade, business, commercial and technical schools, not including dormitories;

L. Restaurants, but only within a building containing a permitted use or uses; the maximum floor area of any such restaurant shall be 25 percent (25%) of the floor area of the building;

M. The sale of goods and products to the general public as an accessory use to a manufacturing, wholesaling, or distribution use; the floor area devoted to such sales shall be limited to a maximum of 2,000 square feet or ten percent of the floor area of the building, whichever is less; customer parking for such retail use shall be provided in conformance with the off-street parking requirements for retail uses as set forth in this Title;

N. Dog Obedience Schools.

O. Open Sales Lots.

P. Communication towers.

Q. Churches.

R. Schools, elementary (non-boarding)

S. Auction facilities for the sale at auction of wholesale, secondhand, or retail goods. An auction facility may also include non-auction sales, which shall be limited to not more than 40% of the floor area of the auction facility. Parking and loading facilities shall be provided based on the

floor area of each allowable use within an auction facility (i.e., auction room, retail, storage). No building containing an auction facility shall be located within 300 feet of a property zoned for residential use.

Outdoor storage that would be visible from nearby residential or business uses or from public streets may be restricted by screening or by limiting its location within the site.

T. Indoor paintball marking facilities.

(Ord. 2003-Z-1 § 1; Ord. 1999-Z-8 § 1; Ord. 1997-Z-28 § 1; Ord. 1996-Z-12 § 14; Ord. 1995-Z-14 § 3; Ord. 1994-Z-17 § 1; Ord. 1994-Z-7 § 3; 1993-Z-1 § 1; Ord. 1987-Z-16 § 2; Ord. 1967-14(part); Ord. 1960-16 § IX(B)(2).)

#### **17.36.030 Floor area ratio.**

The floor area ratio in an M1 district shall not exceed 0.8. (Ord. 1960-16 § IX(B)(3).)

#### **17.36.040 Yards.**

Yard requirements in an M1 district shall be as follows:

A. Front Yard. The front yard shall not be less than forty feet in depth.

B. Side Yards. Side yards shall not be less than twenty feet in width; except, a side yard abutting a street shall be not less than forty feet in depth.

C. Rear Yard. The rear yard shall not be less than twenty feet in depth; except, a rear yard abutting an alley or railroad right-of-way may be reduced to ten feet in depth.

(Ord. 1960-16 § IX(B)(4).)

#### **17.36.050 Signs, marquees and awnings.**

Sign, marquee, and awning requirements in an M1 district shall be as in the B4 district. (Ord. 1968-32; Ord. 1960-16 § IX(B)(5).)

#### **17.36.060 Off-street loading.**

Off-street loading requirements in an M1 district shall be as follows: loading berths in accordance with provisions set forth in Chapter 17.38. (Ord. 1960-16 § IX(B)(6).)

#### **17.36.070 Off-street parking.**

Parking spaces shall be required in an M1 district in accordance with provisions set forth in Chapter 17.38. (Ord. 1960-16 § IX(B)(7).)

State of Illinois )  
 )  
 ) ss.  
Counties of Kane and DuPage )

## Certificate

I, KRISTIE A. NEPHEW, certify that I am the duly elected and acting Municipal Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on July 6, 2004, the Corporate Authorities of such municipality passed and approved Ordinance No. 2004-Z-14, entitled

"An Ordinance Granting a Special Use as a Planned Unit Development (Tyler and 64 Business Park),"

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2004-Z-14, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on July 9, 2004, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

**DATED** at St. Charles, Illinois, this 6th day of July, 2004.

  
\_\_\_\_\_  
Municipal Clerk

(SEAL)

