



## PLAN COMMISSION AGENDA ITEM EXECUTIVE SUMMARY

<b>Project Title/Address:</b>	Meijer Drive-Thru, Parking, Signage – 855 S. Randall Rd.		
<b>City Staff:</b>	Ellen Johnson, Planner		
<b>PUBLIC HEARING 5/8/18</b>	X	<b>MEETING 5/8/18</b>	X

**APPLICATIONS:** Special Use (PUD Amendment)  
PUD Preliminary Plan

**ATTACHMENTS AND SUPPORTING DOCUMENTS:**

Staff Report	Plans
Applications, received 4/4/18	PUD Ordinances/Resolution

**SUMMARY:**

The subject property is the site of the Meijer store, which is part of the Meijer PUD approved under Ordinance 1999-M-24.

Craig M. Armstrong of Elevatus Architecture, on behalf of Meijer, Inc., is requesting approvals related to the following:

1. Pharmacy Drive-Thru – Change the location of the pharmacy drive-thru from the approved location at the north side of the store to the northeast corner of the store along the front of the building.
2. Parking Requirement – Reduce the parking requirement for the store from 831 spaces to 792 spaces to allow for an outlot development at the northeast corner of the parking lot.
3. Signage – Modify the permitted signage for the Meijer property.

The proposal requires a PUD Amendment to change the approved location of the pharmacy drive-thru, reduce the parking requirement, and change the permitted signage.

A PUD Preliminary Plan pertaining to the drive-thru related improvements has also been submitted.

**SUGGESTED ACTION:**

Conduct the public hearing on the Special Use and close if all the testimony has been taken.

Staff has found the application materials to be complete. Staff has placed this item on the meeting portion of the agenda for a vote along with the PUD Preliminary Plan should the Plan Commission determine that they have enough information to make a recommendation. The applicant has provided responses to the Criteria for PUD in support of their proposal as part of the Special Use application.

Staff recommends that any recommendation include a condition requiring resolution of all staff comments prior to City Council action.

**INFO / PROCEDURE ON APPLICATIONS *continued on next page***

**SPECIAL USE FOR PUD**

- Approval of development project with specific deviations from the Zoning Ordinance standards. (Establishes a PUD ordinance with unique zoning or subdivision standards that apply to a single development site)
- Public hearing is required, with a mailed notice to surrounding property owners.
- Single finding – Is the PUD in the public interest? Criteria are considered in reaching a decision. Responses to the criteria need not be in the affirmative to recommend approval of a PUD or PUD Amendment.
- The Plan Commission may recommend conditions and restrictions upon the establishment, location, design, layout, height, density, construction, maintenance, aesthetics, operation and other elements of the PUD as deemed necessary to secure compliance with the standards specified in the Zoning Ordinance.

- The Plan Commission may recommend exceptions and deviations from the requirements of the Zoning and Subdivision Codes requested by the applicant, to the extent that it finds such exceptions and deviations are supportive of the standards and purposes for PUDs.

PUD PRELIMINARY PLAN

- Approval of plans for development of property within a PUD- includes site and engineering plans.
- Recommendation is based on compliance with the previously (or concurrently) approved Special Use for PUD standards and other city code requirements (including Zoning and Subdivision codes).

Community & Economic Development  
 Planning Division

Phone: (630) 377-4443  
 Fax: (630) 377-4062



**Staff Report**

**TO:** Chairman Todd Wallace  
 And Members of the Plan Commission

**FROM:** Ellen Johnson, Planner

**RE:** Amendment to Special Use for Planned Unit Development & PUD Preliminary Plan –  
 Meijer PUD (855 S. Randall Rd.)

**DATE:** May 4, 2018

**I. APPLICATION INFORMATION**

**Project Name:** Meijer Pharmacy Drive-Through, Parking, Signage

**Applicant:** Craig M. Armstrong, Elevatus Architecture

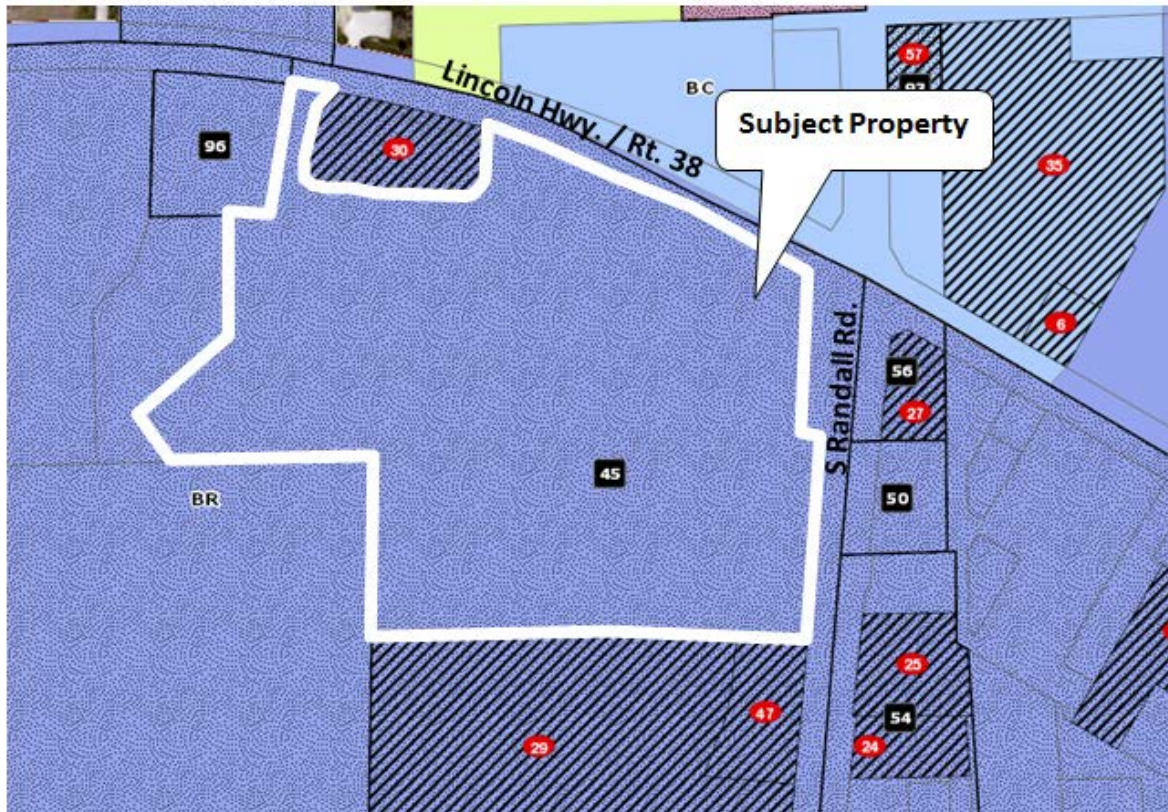
**Purpose:** To amend the location of the pharmacy drive-thru, reduce the parking requirement, and modify the permitted signage

<b>General Information:</b>		
<b>Site Information</b>		
Location	855 S. Randall Rd.	
Acres	27.8 acres	
Applications	<b>1) Special Use (PUD Amendment)</b> <b>2) PUD Preliminary Plan</b>	
Applicable Ordinances and Zoning Code Sections	17.04 Administration Ordinance No. 1999-M-24 “An Ordinance Granting a Special Use as a Planned Unit Development (Meijer PUD)” Ordinance No. 2017-Z-11 “An Ordinance Amending Ordinance No. 1999-M-24 to Modify the Permitted Wall Signage for Meijer, 855 S. Randall Road”	
<b>Existing Conditions</b>		
Land Use	Commercial- Meijer store	
Zoning	BR Regional Business & PUD (Meijer PUD)	
<b>Zoning Summary</b>		
North	BC Community Business PL Public Lands	Retail strip center, Moose Lodge, Fair Grounds
East	BR Regional Business & PUD (Randall Road Commercial PUDs)	Commercial uses
South	BR Regional Business & PUD (Meijer PUD)	Lowe’s
West	BR Regional Business & PUD (Bricher Commons PUD & Metro Storage PUD)	Metro Storage facility, vacant land
<b>Comprehensive Plan Designation</b>		
Corridor/Regional Commercial		

**Aerial**



**Zoning**



## II. BACKGROUND

The subject property is the site of the Meijer store, located at the southwest corner of Randall Rd. and Lincoln Hwy. The property is 27.8 acres in size and contains the Meijer building and adjacent parking lot, Meijer gas station, and two detention ponds.

The Meijer store was constructed in 2000. Development of the property was approved under Ordinance 1999-M-24 “An Ordinance Granting a Special Use as a Planned Unit Development (Meijer PUD)”. The PUD Preliminary Plan for the property was approved under Resolution 1999-24 “Resolution Approving a Preliminary Plan for the Meijer PUD”.

A PUD Amendment for changes to the wall signage was approved in 2017 under Ordinance 2017-Z-11 “An Ordinance Amending Ordinance No. 1999-M-24 to Modify the Permitted Wall Signage for Meijer, 855 S. Randall Road”. That amendment brought wall signage that existed on the building into compliance with the PUD ordinance and allowed for an additional sign for a future pharmacy drive-thru.

## III. PROPOSAL

Craig M. Armstrong of Elevatus Architecture, on behalf of Meijer, Inc., is requesting approvals related to the following:

1. Pharmacy Drive-Thru – Change the location of the pharmacy drive-thru from the approved location at the north side of the store to the northeast corner of the store along the front of the building.
2. Parking Requirement – Reduce the parking requirement for the store from 831 spaces to 792 spaces.
3. Signage – Modify the permitted signage for the Meijer property.

The following zoning applications were submitted in support of this project:

- **Special Use (PUD Amendment)** – To change the approved location of the pharmacy drive-thru, reduce the parking requirement, and change the permitted signage.
- **PUD Preliminary Plan** – Approval of the site plan showing the layout of the pharmacy drive-thru and parking lot and architectural elevations. [Note the architectural elevations depict a number of cosmetic changes related to painting of the building. These types of changes do not require review/approval by Plan Commission.]

## IV. ANALYSIS

### A. PHARMACY DRIVE-THRU

Exhibit III of the Meijer PUD Ordinance includes the following on the list of permitted uses for the Meijer property:

*“Drive-in Pharmacy (as shown on the Preliminary Plan)”*

The approved PUD Preliminary Plan shows the pharmacy drive-thru on the north side of the building, north of the garden center. The drive-thru was never constructed.

The applicant is proposing to locate the pharmacy drive-thru at the northeastern corner of the store, along the front of the Garden Center and building. Details of the drive-thru are as follows:

- The main north-south drive aisle along the front of the store will be shifted to the east to create the drive-thru lane. 18 parking spaces will be eliminated.
- The drive-thru will be oriented north to south, with stacking for five (5) vehicles.
- The drive-thru lane will be separated from the main drive aisle by a raised barrier median.
- Sidewalk along the Garden Center entrance will be straightened out and widened to the west edge of the drive-thru lane. A decorative fence will run between the sidewalk and drive-thru.
- A canopy is proposed over the drive-thru window.
- Pedestrian access to the Garden Center through the north end of the drive-thru lane.

The table below compares the plans with the standards of Section 17.24.100 “Drive-Through Facilities”. All standards are met.

Category	Zoning Ordinance Standard	Proposed
<b>Screened from Public Street</b>	Stacking spaces concealed from view from public streets to greatest extent possible by orientation, design or screening	Meets requirement based on location within the site
<b>Obstruction of Required Parking</b>	Stacking spaces cannot obstruct access to required parking spaces	Meets requirement
<b>Obstruction of Ingress/Egress</b>	Location of stacking spaces cannot obstruct ingress/egress to the site or interfere with vehicle circulation	Meets requirement
<b>Lane Configuration</b>	Stacking spaces must be placed in a single line up to point of service	Meets requirement
<b>Required Stacking Spaces</b>	5	5
<b>Required Stacking Space Size</b>	9' x 20'	9' x 20'

**Aerial of Proposed Drive-Thru Area**



### **Traffic Study**

A Traffic Study prepared by Gewalt Hamilton Associates, Inc. dated 4/2/18 was submitted by the applicant. The following information is a summary of the study's findings.

Traffic counts were conducted at the Oswego Meijer to provide a basis for projecting traffic at the St. Charles store. The study projects a total of 43 drive-thru transactions per day, with 6-10 transactions per hour during the peak periods.

Regarding vehicle stacking, observed stacking at the Oswego Meijer averaged just over 1 vehicle during the morning peak hour and almost 3 vehicles at the evening peak hour. No more than 4 vehicles were queued at one time during the observation period.

A capacity analysis was performed at the exit of the proposed drive-thru which shows, "the introduction of the drive-through traffic is expected to have a minimal impact on the operations along the main drive aisle fronting the store".

The study provides a number of recommendations regarding signage:

- Add signage at the Rt. 38 and Randall Rd. access points to direct patrons to arrive from the north for the pharmacy drive-thru.
- Add signage to restrict U-turns from the main drive aisle into the drive-thru.
- Add signage to restrict vehicles exiting the drive-thru to right-turns only.
- Add "Do Not Enter" signage at the exit end of the drive-thru lane.

### **Staff Comments**

- 1-2 trees should be added to the modified parking lot island.
- The crosswalk does not extend through the drive-thru. If a 5<sup>th</sup> vehicle is in the drive-thru lane, this will interfere with pedestrian traffic. Alternatives should be explored. One option is to shift the crosswalk to the north, behind the start of the drive-thru lane. Another option is to extend the drive-thru lane, providing room for a designated crossing.
- All signage recommended in the Traffic Study should be added, including signage restricting left turns for vehicles exiting the drive-thru.

## **B. PARKING**

A significant portion of the Meijer parking lot is proposed to be sold for an outlet development. The outlet is proposed at the northeast corner of the parking lot. Applications for the outlet development are also scheduled for review by the Plan Commission.

A total of 372 existing Meijer parking spaces are proposed to be removed, including the spaces eliminated for the pharmacy drive-thru and the outlet development.

The parking requirement for Meijer based on the PUD Ordinance is 5 spaces per 1,000 sf of net floor area of the building. Net floor area does not include stairs/elevators, mechanical/utility rooms, interior mezzanines, loading areas, restrooms, storage areas, or foyers.

Per the applicant, the net floor area of the building is 166,180 sf. This equates to a parking requirement of 831 spaces. There are currently 1,164 parking spaces for the store, which is 333 spaces in excess of the requirement.

Based on the site plan, a total of 792 spaces are proposed (372 spaces will be removed). This is **39 spaces** less than required under the PUD Ordinance. The applicant has requested to amend the PUD Ordinance to reduce the parking requirement.

According to the applicant, Meijer’s parking standard is 3.5 parking spaces per 1,000 sf of gross floor area. This equates to 773 spaces. The proposed parking count of 792 spaces meets Meijer’s standard.

**C. SIGNAGE**

Permitted signage on the property was amended in 2017 under ordinance 2017-Z-11. The applicant is now proposing to change the sign standards to allow a greater total sign area for wall signs on the Meijer building.

The table below lists the Meijer signage currently permitted per the PUD Ordinance, alongside the signage proposed by the applicant.

<b>PUD Ordinance (2017-Z-11)</b>		<b>Proposed</b>	
<b>Sign</b>	<b>Sign Area (square feet)</b>	<b>Sign</b>	<b>Sign Area (square feet)</b>
Meijer	410.90 sf	Meijer	395.67 sf
Welcome	12 sf	Fresh	51.7 sf
Welcome	12 sf	Home	49.5 sf
Pharmacy	16.11	Pharmacy Drive-Up	30.74 sf
Pharmacy Drive-Up	43.88 sf	Starbucks	16 sf
Garden Center	19.28 sf	US Bank	27 sf
Starbucks	16 sf		
US Bank	27 sf		
<b>TOTAL WALL MOUNTED</b>	<b>8 signs; 557.17 sf</b>	<b>TOTAL WALL MOUNTED</b>	<b>6 signs; 570.61 sf</b>
Meijer Monument Signs (2)	58 sf each, 116 sf total	Meijer Monument Signs (2)	57.56 sf each; 115.12 sf total (Reface existing)
Gas Station Freestanding Price Cabinet	69 sf	Gas Station Freestanding Price Cabinet	70.63 sf (Reface existing)
Gas Station Canopy Signs (3)	20 sf each, 60 sf total	Gas Station Canopy Signs (3)	14.6 sf each; 43.8 sf total

Per the PUD Ordinance, eight (8) total building mounted signs are permitted with a total sign area of 557.17 sf. Proposed is to update the signage on the building, replacing some signs and removing others. A total of six (6) building mounted signs are proposed, with a total sign area of 570.61 sf, which constitutes 13.44 sf more sign area than currently permitted.

The freestanding signs on the site, two Meijer monument signs and the gas station price cabinet, will be refaced. The sign areas shown on the plan reflect the signs that currently exist. These measurements are more accurate than currently listed in the PUD ordinance.

**D. ENGINEERING REVIEW**

Review comments on the engineering plans have been provided to the applicant. The comments are technical in nature and will need to be addressed prior to City Council approval of the PUD Preliminary Plan. Engineering staff have identified that the detention facility located west of the store, to which the development is tributary, has not operated effectively or



property and has caused issues for the adjacent property owners. Staff has requested that modifications be made to the pond to limit future issues.

## **V. SUGGESTED ACTION**

Conduct the public hearing on the Special Use and close if all the testimony has been taken.

Staff has found the application materials to be complete. Staff has placed this item on the meeting portion of the agenda for a vote along with the PUD Preliminary Plan should the Plan Commission determine that they have enough information to make a recommendation. The applicant has provided responses to the Criteria for PUD in support of their proposal as part of the Special Use application.

Staff recommends that any recommendation include a condition requiring resolution of all staff comments prior to City Council action.

## **VI. ATTACHMENTS**

- Application for Special Use; received 4/4/2018
- Application for PUD Preliminary Plan; received 4/4/2018
- Engineering Plans; dated 3/12/2018
- Sign Package
- Architectural Renderings; dated 1/2/2018
- Ordinance 1999-M-24 & 2017-Z-11
- Resolution 1999-24

**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**SPECIAL USE APPLICATION**

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

<b>For City Use</b>	
Project Name:	Meijer Drive-Thru, signage, Parking
Project Number:	2018 -PR- 003
Application Number:	2018 -AP- 005



*To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.*

*City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.*

*The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Location: 855 S. Randall Road, St. Charles, IL 60174	
	Parcel Number (s): 09-32-476-008	
	Proposed Name: Meijer 182 - Pharmacy Drive-Thru	
<b>2. Applicant Information:</b>	Name Craig M. Armstrong, Elevatus Architecture	Phone (260) 424-9080
	Address 111 E. Wayne St., Suite 555 Fort Wayne, IN 46802	Fax
		Email carmstrong@elevatusarchitecture.com
<b>3. Record Owner Information:</b>	Name Meijer Stores Limited Partnership	Phone (616) 735-8713
	Address 2929 Walker Avenue NW Grand Rapids, MI 49544	Fax
		Email christopher.mankowski@meijer.com

**Please check the type of application:**

- Special Use for Planned Unit Development - PUD Name:** 1999-M-24 Meijer PUD
  - New PUD
  - Amendment to existing PUD- Ordinance #: 2017-Z-11, 1999-M-24
  - PUD Preliminary Plan filed concurrently
  
- Other Special Use (from list in the Zoning Ordinance):** \_\_\_\_\_
  - Newly established Special Use
  - Amendment to an existing Special Use Ordinance #: \_\_\_\_\_

**Information Regarding Special Use:**

Comprehensive Plan designation of the property: West Gateway Subarea area

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? BR - Regional Business

What is the property currently used for? Retail / Grocery Store

If the proposed Special Use is approved, what improvements or construction are planned?

A new pharmacy drive-thru will be constructed at the northeast corner along the front of the building.  
Building Signage will be upgraded.  
Required parking as outlined in the ordinance would be reduced to allow for a new parcel development.  
Construction is scheduled to commence in June 2018 and the meijer work completed by October 2018.

**For Special Use Amendments only:**

Why is the proposed change necessary?

The drive-thru was originally approved to be located on the north side of the building, not along the front where we would now like to have it. This will afford Meijer to keep the Garden Center extents in tact for this highly utilized location. The signage aspect of this application would more closely match Meijer's current prototypical sizes and styles. The Reduction in Parking aspect of this application is to allow for the Outlot development within the existing parking lot.

What are the proposed amendments? (Attach proposed language if necessary)

Relocate the Existing Approved Drive-through from the north side of the building to be in front at the Northeast corner.  
Increase the sizes of previously approved signs.  
Reduce the Required Parking Counts to allow for Outlot Development project.

**Note for existing buildings:**

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

**Attachment Checklist:**

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**☒ APPLICATION FEE:**

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

**☒ REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**☒ REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**☒ PROOF OF OWNERSHIP and DISCLOSURE:**

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

**☒ LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper Refer to Exhibit 'A'

**☒ PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

**☒ FINDINGS OF FACT:**

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

**☒ LIST OF PROPERTY OWNERS WITHIN 250 FT.:**

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

**SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**  
N/A

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

**ENDANGERED SPECIES REPORT:**  
N/A

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

**TRAFFIC STUDY:** If requested by the Director of Community Development.

*Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.*

**PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.


**SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**


A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
  - a. Location, height, intensity and fixture type of all proposed exterior lighting
  - b. Photometric information pertaining to locations of proposed lighting fixtures

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

  
\_\_\_\_\_  
Record Owner Date 3/30/18

  
\_\_\_\_\_  
Applicant or Authorized Agent Date 4/2/2018



**Meijer Real Estate**

Matthew Levitt  
Real Estate Manager  
2350 3 Mile Rd NW  
Grand Rapids, MI 49544  
Telephone: (616) 791-3909  
[matt.levitt@meijer.com](mailto:matt.levitt@meijer.com)

**VIA EMAIL**

Mr. Craig Armstrong  
Elevatus Architecture  
111 East Wayne Street, Suite 555  
Fort Wayne, IN 46802

Craig:

Please utilize this letter as evidence of Meijer's authorization of you and Elevatus to make submission and represent Meijer to the City of St. Charles regarding the Meijer project to take place at the store located at 855 S. Randall Rd., St. Charles, IL 60123.

Elevatus is authorized to represent Meijer, Inc. and Meijer Stores, L.P. in all respects for the project.

Best regards,

A handwritten signature in black ink that reads "Matt Levitt". The signature is written in a cursive style.

Matt Levitt

OWNERSHIP DISCLOSURE FORM  
PARTNERSHIPS

MICHIGAN )  
STATE OF ILLINOIS )  
KENT ) SS.  
KANE COUNTY )

I, Michael L. Kinstle, being first duly sworn on oath depose and say that I am  
the Vice President-Real Estate of Meijer Group, Inc., the  
General Partner of Meijer Stores Limited Partnership, a Michigan, ~~an Illinois~~

~~(General)~~ (Limited) Partnership and that the following ~~persons~~ are all of the partners thereof:

- Meijer Group, Inc. ~~(General)~~ (Limited) Partner
- Meijer Distribution, Inc. ~~(General)~~ (Limited) Partner
- \_\_\_\_\_ (General)(Limited) Partner
- \_\_\_\_\_ (General)(Limited) Partner
- \_\_\_\_\_ (General)(Limited) Partner
- \_\_\_\_\_ (General)(Limited) Partner

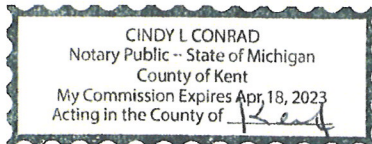
MEIJER STORES LIMITED PARTNERSHIP

By: Meijer Group, Inc., its general partner

By: [Signature] ~~(General)(Limited) Partner~~  
Michael L. Kinstle  
Its: Vice President-Real Estate

Subscribed and Sworn before me this 30th day of  
March, 2018.

[Signature]  
Notary Public







**ELEVATUS**  
ARCHITECTURE

April 13<sup>th</sup>, 2018

Ellen Johnson, City Planner  
City of St. Charles  
2 E. Main Street  
St. Charles, IL 60174-1984

*Subject: Meijer Pharmacy Drive-thru Project*  
*Project No.: 1701812*

Ellen:

We are submitting this Parking Count Summary letter per your request to supplement the Meijer's PUD Amendment for the Meijer located at 855 S. Randall Street, St. Charles, Illinois.

The parking count at this property is based on 5 parking spaces per 1,000 sf of Net Floor Area. Please see the following parking summary:

- Net Building Floor Area: 166,180 sf
- Parking Calculation: 166,190 sf/1,000 sf x 5 = 831 parking spaces required.
  
- Parking Required: 831 parking spaces
- Parking Provided: 792 parking spaces
- Parking Reduction: 39 space parking space reduction requested.

It is Meijer's parking standards for stores the size of this one to design to meet 3.5 parking spaces per 1,000 sf of Gross Floor Area. So, based on these standards the parking required would be 773 parking spaces (220,791 sf/1,000 sf x 3.5 = 773 parking spaces). Based on Meijer's standards for a store this size they would have sufficient parking stalls to provide for their client's demands.

Sincerely,

ELEVATUS Architecture

Craig M. Armstrong, AIA  
Architect, Project Manager

Exhibit B, Legal Description

cc:

## EXHIBIT "B"

### MEIJER PHARMACY DRIVE-THRU

#### CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDS)

There are three separate items that Meijer is submitting for consideration for the amendment to their existing PUD #1999-M-24. The three items are as follows: providing a Pharmacy Drive-Thru in the front of the store instead of on the side of the store, increasing the size of three proposed signs that were approved during the amendment process per Ordinance #2017-Z-11, and a variance to reduce the amount of parking provided beyond what the zoning ordinance requires due to a sale of a portion of Meijer's property for outlot development. We have answered all the questions on the criteria for planned unit developments for each separate item being submitted. Please see below:

i. **The proposed PUD amendment advances one or more of the Planned Unit Development procedure stated in Section 17.04.400.A:**

**Pharmacy Drive-Thru:** The Pharmacy Drive-thru canopy addition would be constructed in a manner that would blend in with the existing architectural style and materials that exist today. The location on the front would only require a slight alteration to one parking island, resulting in maintaining the overall integrity of the existing vegetation and topographic features. This location also would be more recognizable from the south-east entrance, whereas if it were on the north, it may not be. This feature would help promote economic development in offering a popular service to the people of St. Charles and the surrounding communities.

**Signage Revisions:** Allowing for this requested increase in signage area from the latest amendment would help the public navigate the site to get to their desired destination. Signs assist the public in going to the right place without additional need for circulation or walking. If customers are able to enter the Meijer parking lot and be able to tell immediately which side of the store they would like to visit, it will reduce driving and thus reduce the possibility of vehicle/pedestrian issues.

**Parking Reduction:** A reduction in the required parking spaces from 831 parking spaces to 792 (39 space reduction) is necessary to allow for the new Outlot to be parceled off and developed to offer new dining and retail to the residents of St. Charles and the surrounding areas. This initiative, in conjunction with the Outlot Development, promotes not only an economical development aspect, but makes more efficient use of the existing, underutilized area of the parking lot associated with Meijer. The existing Meijer parking closest to Randall Rd. is rarely used and provides no amenity to residents of St. Charles. The addition of restaurants and retail in this location keeps commercial development in the commercial district while not overburdening any single location.

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

A. **Conforming to the requirements would inhibit creative design that serves community goals,**  
or

B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

**Pharmacy Drive-Thru:** The currently approved location of the Pharmacy Drive-thru on the north side of the building is not readily visible from the traffic entering the site from the east and southeast portions of the site. This may result in difficulty for customers to locate the Pharmacy Drive-thru. Locating it on the front of the building would assist with wayfinding. With the construction of this highly sought-after amenity,

it would enable customers who utilize the Pharmacy to not have to leave their vehicle when filling their prescription. Finally, the revised location would be more advantageous to preserve the existing conditions of the site from both a hardscape and softscape perspective.

**Signage Revisions:** As stated above, these signage revisions would assist the public with wayfinding and could ultimately make circulation easier for drivers coming into the site. Also, the proposed outlot development would screen a significant portion of the Meijer building frontage, meaning the additional signage would not be readily visible from the public right of way (Randall Rd.). All locations, mounting heights, and illumination requirements would comply with local regulations.

**Parking Reduction:** Conforming to the requirements of the zoning ordinance with respect to the amount of parking spaces required is impractical and an inefficient use of the land. At no point does Meijer currently use all of their existing parking spaces. This Meijer store's actual area that the customers shop in is around 65% of the total GFA. The other 35% of the store is primarily warehouse space with some staff and food preparation areas not accessible to customers. Also, granting this small parking reduction requirement would allow for the outlot development to proceed and to draw patrons from St. Charles, surrounding communities and the broader region. It should also be noted that several landscaping enhancements are associated with outlot development which could not occur without granting this parking requirement quantity.

iii. **The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):**

**A. Public Convenience: The special use will serve the public convenience at the proposed location.**

**Pharmacy Drive-Thru:** The proposed drive-thru will offer the public the convenience of not having to leave their car to pick up their prescriptions. This is a definite benefit for people who are not feeling well or have a disability that makes it difficult to enter the store to purchase their prescriptions. Meijer has received feedback that parents with sick children and elderly customers specifically seek the drive-thru amenity to allow them to pick up prescriptions without having to walk into the Meijer store.

**Signage:** Increasing the size of the signs on the building will be a convenience to the public by helping the customers find the side of the store where the desired product types are located as soon as they enter Meijer property.

**Parking Reduction:** If the reduction of the parking spaces is allowed it will offer new amenities to the area. New dining and retail will be available to the residents of the City if the parking spaces are allowed to be reduced.

**B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

**Pharmacy Drive-Thru:** The location of this drive-thru is located within Meijer's existing site so there is sufficient infrastructure for it. It also does not increase the impervious area that exists today on site. It does slightly alter the drive.

**Signage:** The proposed signage will only need power for the illuminated ones. Sufficient structure is or will be provided to support signage.

**Parking Reduction:** The reduction of the amount of parking spaces required will not impact the existing infrastructure in a negative way. The utilities are all in place to allow for these new businesses to connect.

**C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

**Pharmacy Drive-Thru:** The design of the drive-thru will not be injurious to the surrounding properties nor will it diminish or impair the surrounding property values in the area. The drive-thru sits back from Lincoln Highway 370 feet and 760 feet back from Randall Road. Existing parking lots, retention pond, garden center and landscaping will provide some screening and buffers of the drive-thru from the neighboring properties.

**Signage:** The signs are located on the front of the building approximately 760 feet away from Randall Road and will be partially screened by the outlot development so it would not adversely impact the surrounding properties.

**Parking Reduction:** The reduction in the amount of parking spaces required will not adversely impact the surrounding properties. As previously stated, the actual area of the building that is accessible to the consumer is around 65% of the total GFA. The loss of these 39 spaces would not impact the day-to-day operations of this store.

**D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

**Pharmacy Drive-Thru:** Since the drive-thru is being located where existing pavement is today on Meijer's existing site, the drive-thru will not impede any development or improvements to any of the surrounding properties.

**Signage:** The proposed signs will not impede any development or improvements to the surrounding properties because these signs are being located on the front of Meijer's existing building which is approximately 790 feet away from Randall Road. This distance away from the road, along with the outlot development, will make it difficult for the surrounding properties to see the proposed wayfinding signs. The signs will not face Lincoln Highway.

**Parking Reduction:** The reduction of the amount of parking spaces required will not adversely impact the surrounding properties. The existing parking lot is underutilized for the Meijer site. By reducing the amount provided it will neither result in any issues to the surrounding properties nor impair their property values. The outlot uses that are being proposed are permitted in the district and fit the character and type of development of the Randall Road corridor. Adding commercial development to an already commercial site will limit expansion and keep those uses in the intended corridor.

**E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

**Pharmacy Drive-Thru:** The drive-thru lane will be marked with traffic control signage to direct vehicular traffic to stop and allow the crossing of pedestrians into the store entrance and Garden Center area. Meijer's customers cross the existing front access lane today and the new drive-thru lane will not impact the majority of Meijer's customers. The cars using this lane will be driving slower than the cars that use the existing front access lane, so this drive-thru lane will not be a detriment to the public's safety, comfort or general welfare. The Drive-thru could actually improve upon the general welfare as it should reduce pedestrians who were crossing the main drive solely to visit the Meijer pharmacy to pick up a prescription.

**Signage:** The general welfare of the people will not be harmed as this addition will actually improve the general welfare.

**Parking Reduction:** The general welfare of the residents of St. Charles will not be impacted in a negative way. There is excess existing parking and by removing unused spaces, there will be no impact on Meijer customers.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State, and local legislation and regulation and meets or exceeds all applicable provisions of this Title except as may be varied pursuant to a Special Use for Planned Unit Development.**

**Pharmacy Drive-Thru:** The Pharmacy drive-thru will conform to all codes with the exception of this request to locate the drive-thru along the front of the store in lieu of the side as originally approved.

**Signage:** Other than the signs requested to be larger than permitted by the existing PUD ordinance, all other aspects of the signage will conform to the local, state and federal regulations.

**Parking Reduction:** All local, state and federal codes will be followed with the exception of this request to reduce the parking requirement for the site.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City:**

**Pharmacy Drive-Thru:** By allowing the Pharmacy drive-thru to be located in the front of the store it will be a benefit to Meijer's customers because it allows for the Garden Center's size to remain as it is today. This specific Garden Center ranks among the highest utilized within the entire fleet of stores. If there was a reduction in the area of the Garden Center, it would reduce the amount of products available to the consumer. This would impact the economic well-being of Meijer and in turn would reduce product selection to the customers.

**Signage:** The proposal to increase to size of the proposed signs on the Meijer building will be a benefit to the economic well-being of the City by allowing their customers to better maneuver around the site and know what is being offered at Meijer, which could increase their spending. The more comfortable someone is in an area the greater chance they will return to the area.

**Parking Reduction:** The proposal to reduce the amount of parking spaces required on the Meijer site will benefit the City economically because it will allow for the development of a new outlot within the area of the existing parking lot. The new outlot businesses will be attractive developments that will enhance St. Charles, will provide additional services to the residents, will make a significant contribution to the tax base over the existing vacant parking lot use, and will contribute to the economic well-being of the city through added real estate and sales tax.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan:**

**Pharmacy Drive-Thru:** This area is located in the West Gateway Subarea region as outlined in the Comprehensive Plan. This area is comprised of a mixture of retail and commercial businesses. The area of the proposed Pharmacy Drive-Thru is located within development that already exists. The use of the site is not changing from what it is today which is a retail/grocery store. It conforms to the uses as outlined in the West Gateway Subarea region designation. The drive-thru also will not impact the existing landscaping which borders the surrounding streets so it will not impact the area in a negative manner.

**Signage:** The larger signs being submitted will conform to the Comprehensive Plan since they will be located on the existing building which is already a part of the larger retail/commercial business area. The larger signs will help avoid confusion for its customers without being excessive in size.

**Parking Reduction:** The proposal to reduce the amount of parking spaces required on the Meijer site will conform to the intent and purposes of the Comprehensive Plan since it will not change the use of the site. The new Outlot development that will be located in the area of the existing, underutilized portion of the parking lot will also conform to the types of facilities which are classified to be located in the West Gateway Subarea region.

**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**PUD PRELIMINARY PLAN APPLICATION**

<b>For City Use</b>	
Project Name:	Meijer Drive-Thru, Signage, Parking
Project Number:	2018 -PR- 003
Application Number:	2018 -AP- 006



*To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.*

*When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.*

*The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Location:	855 S. Randall Road, St. Charles, IL 60174	
	Parcel Number (s):	09-32-476-008	
	Proposed PUD Name:	Meijer 182 Minor Reset - Pharmacy Drive-Thru	
<b>2. Applicant Information:</b>	Name	Craig M. Armstrong, Elevatus Architecture	Phone (260) 424-9080
	Address	111 E. Wayne St., Suite 555 Fort Wayne, IN 46802	Fax
			Email carmstrong@elevatusarchitecture.com
<b>3. Record Owner Information:</b>	Name	Meijer Stores Limited Partnership	Phone
	Address	2929 Walker Avenue NW Grand Rapids, MI 49544	Fax
			Email christopher.mankowski@meijer.com

**Please check the type of application:**

- New proposed PUD- Planned Unit Development (Special Use Application filed concurrently)
- Existing PUD-Planned Unit Development
  - PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

**Subdivision of land:**

- Proposed lot has already been platted and a new subdivision is not required.
- New subdivision of property required:
  - Final Plat of Subdivision Application filed concurrently
  - Final Plat of Subdivision Application to be filed later

**Attachment Checklist:**

*If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

*Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.*

**APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

**REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

☒ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

N/A ☐ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

N/A ☐ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

☒ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☒ **SITE/ENGINEERING PLAN:**

**PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with



the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
  - Location, height, intensity and fixture type of all proposed exterior lighting
  - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

**N/A  SKETCH PLAN FOR LATER PHASES OF PUD:**

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

**☒ ARCHITECTURAL PLANS:**

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

**N/A ☐ TREE PRESERVATION PLAN:**

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, “Tree Preservation Requirements for Preliminary Plans”.

**N/A ☐ LANDSCAPE PLAN:**

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

**N/A ☐ STORMWATER MANAGEMENT:**

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

**N/A ☐ SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

**☒ PUBLIC BENEFITS, DEPARTURES FROM CODE:**

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

See Exhibit "B" - Criteria for Planned Unit Developments (PUD)s attached for this information.

**N/A ☐ SCHEDULE:** Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.



**N/A ☐ PARK AND SCHOOL LAND/CASH WORKSHEETS**

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

**N/A ☐ INCLUSIONARY HOUSING SUMMARY**

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

	<u>3/30/18</u>
Record Owner	Date
	<u>4/2/2018</u>
Applicant or Authorized Agent	Date

## Traffic Planning Study

To: Mr. Craig Armstrong, AIA  
Elevatus Architecture

From: Daniel P. Brinkman, P.E., PTOE  
Senior Transportation Engineer

Date: April 2, 2018

Subject: Proposed Pharmacy Drive-Through  
Meijer #182  
855 S Randall Road  
St Charles, Illinois

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### Part I. Introduction and Project Context

Gewalt Hamilton Associates, Inc. (GHA) has conducted a traffic planning study for the proposed addition of a Pharmacy drive through to the northeast corner of the existing Meijer building located at 855 S. Randall Road in St Charles, IL.

As proposed, the drive through will be located near the northeast corner of the building, south of the existing entrance to the Garden Center. The drive through will consist of a new drive aisle separated from the existing main north-south drive aisle in front of the building by a barrier median and a new canopy. The drive through will be oriented north to south, with all transactions between Meijer Pharmacy staff and patrons occurring through an overhead pneumatic tube.

The following provides a summary of existing conditions, site traffic characteristics, and the analyses of the proposed drive through's impact on the existing parking lot circulation. *Exhibits* and *Appendices* referenced are located at the end of this document.

### Part II. Background Information

#### *Site Location Map and Roadway Inventory*

*Exhibit 1* provides a location map of the site vicinity. *Exhibit 2* provides a photo inventory of current site conditions. Pertinent comments to the adjacent roadways include:

#### Meijer #182

- Meijer #182 is located at the southwest corner of the IL Rte 38 (Roosevelt Road) and S Randall Road intersection in St Charles, IL.
- The main north-south drive aisle in front of the store provides direct access to IL Rte 38 via a signalized intersection.
- An internal ring road intersects the main north-south aisle at a three way Stop intersection (inbound traffic does not stop) approximately 300 feet north of the north end of the existing building.
- The main drive aisle provides a single wide travel lane in each direction and has Stop signs posted at the existing marked pedestrian crossings from the parking field located east of the store.

- There is currently a bypass or parking lane in front of the Garden Center that will be relocated as part of the development of the Pharmacy Drive Through.

### ***Existing Traffic***

*Exhibit 3* summarizes the existing weekday morning and evening peak hour traffic volumes. GHA conducted peak period (8:30-10:30 am and 3:00-6:00 pm) manual traffic counts at the intersection of the parking lot aisle and the main drive aisle on Thursday March 8, 2018. The observed weekday morning and evening peak hours occurred between 9:30 to 10:30 AM and 4:00 to 5:00 PM respectively.

Additionally, GHA conducted similar peak period counts and observations at an existing Meijer Pharmacy Drive Through in Oswego, IL on Wednesday March 7, 2018 to establish a basis for estimating Drive-Through traffic at the St. Charles store.

A summary of our manual observations is attached as *Appendix A*.

## **Part III. Traffic Evaluation**

### ***Proposed Plan***

*Exhibit 4* provides an excerpt from the March 12, 2018 site development plan prepared by Elevatus Architecture and Engineering Resources, Inc. As can be seen, to provide for the construction of the Pharmacy drive through, portions of the existing sidewalk and aforementioned Garden Center bypass will be eliminated to make room for the new drive through lane. To ensure that the main drive aisle width is preserved, several parking “trees” will be shortened and the accessible parking spaces relocated. Lastly, an existing landscaped island will be modified to maintain the width of the main drive aisle.

### ***Trip Generation Observations and Projections***

*Exhibit 5* tabulates the traffic generation calculations for the proposed drive through. Normally trip generation rates for development are based on information published by the Institute of Transportation Engineers (ITE) in the 10<sup>th</sup> Edition of the Manual *Trip Generation*. However, there is no ITE data for the addition of a Drive-Through to an existing Pharmacy. Therefore, GHA conducted counts and observations at the existing Oswego store to serve as a basis for projecting traffic in St Charles.

During the observation period, the peak activity of the Oswego store resulted in between 8 and 11 Drive-Through transactions (15 to 23 trips) per hour. Based on transaction data provided by Meijer (See *Appendix B*) there were 50 Drive-Through transactions at the Oswego store on the day of our observations and 133 total Pharmacy transactions. Accordingly, the drive through transactions at Oswego were approximately 38% of the daily total. The observed Morning and Evening Peak Hours through the Drive-Through represented 11% and 17% respectively of the daily total transactions.

*Note: A car entering and exiting the drive through is considered two trips, but only one transaction.*

Projecting the observed percentage of drive through transactions at Oswego to the 112 daily transactions at the St Charles store suggest that the new Pharmacy drive through will represent about 43 trips (38%) and generate between 6 and 10 transactions, resulting in between 12 and 19 trips during the peak periods.

In addition to volume observations at the Oswego Meijer, GHA also observed and tabulated data related to the maximum number of vehicles queued (stacked) at the Drive-Through window. As can be seen in *Appendix A* during the Morning Peak Hour the observed queue at the window averaged just over one vehicle and during the Evening Peak Hour, the average increased to nearly 3 vehicles with the queue during our observation period never extending to more than 4 vehicles including the vehicle at the Pharmacy window.

### ***Site and Total Traffic Assignments***

*Exhibit 6* illustrates the drive through traffic assignments during the weekday peak hours, which are based on the traffic characteristics summarized in *Exhibit 5* (traffic generations) and assigned to the parking lot circulation system. Drive Through and Existing traffic (see *Exhibits 6* and *3*, respectively) were combined to develop Total Traffic, which is illustrated on *Exhibit 7*.

To be conservative we assumed that all of the Pharmacy drive through traffic is new, when in reality it is much more likely that existing patrons will choose to make use of the convenient drive through in lieu of parking and walking into the store if not making a trip as part of their normal shopping habits.

### ***Capacity Analysis***

Capacity analyses are a standard measurement in the industry that identifies how an intersection operates. *Exhibit 8 – Part A* lists the analysis parameters, as published in the Transportation Research Board's (TRB) Highway Capacity Manual (HCM), sixth edition, 2016. They are measured in terms of level of service (LOS). The concept of LOS is defined as a qualitative measure describing operational conditions within a traffic stream and their perception by motorists and/or passengers. A level-of-service definition provides an index to quality of traffic flow in terms of such factors as speed, travel time, freedom to maneuver, traffic interruptions, comfort, convenience, and safety.

Six levels of service are defined for each type of facility. They are given letter designations from A to F, with LOS A representing the best operating conditions and LOS F the worst. LOS C is often considered acceptable for design purposes and LOS D is usually considered as providing the lower threshold of acceptable operations. Since the level of service of a traffic facility is a function of the traffic flows placed upon it, such a facility may operate at a wide range of levels of service, depending on the time of day, day of week or period of year.

Capacity analyses were performed at the exit of the proposed Drive-Through using the Highway Capacity Software (HCS) for the following scenarios:

- *Total Traffic* – Existing traffic (year 2018) plus the addition of Drive-Through traffic.

*Exhibit 8 - Part B* summarizes the intersection capacity analysis results and calculated 95<sup>th</sup>-percentile queues. As can be seen, the introduction of Drive-Through traffic is expected to have a minimal impact on the operations along the main drive aisle fronting the store.

Capacity analysis summary printouts are provided in *Appendix C*.

### *Drive Through Operations*

As proposed, the drive through will be located near the northeast corner of the building, south of the existing entrance to the Garden Center. The drive through will consist of a new drive aisle separated from the existing main north-south drive aisle in front of the building by a barrier median and a new canopy. The drive through will be oriented north to south, with all transactions between Meijer Pharmacy staff and patrons occurring through an overhead pneumatic tube. We offer the following comments and recommendations regarding the drive through operation.

- The proposed drive through can accommodate approximately 5 queued (stacked) vehicles before impacting on site circulation. See Exhibit 9 for an excerpt from the Elevatus / Engineering Resources site plan. This is consistent with the requirement from Section 17.24.140 and table 17.24.3 of the City of St. Charles Zoning Code.
- We recommend that signage be installed at the IL Rte 38 and Randall Road access points to direct patrons to arrive from the north at the new Pharmacy drive through.
- Signage should be installed to restrict U-Turns from the main drive aisle into the Pharmacy drive through.
- Signage should be installed to restrict exiting movements from the Pharmacy drive through to right turns only.
- DO NOT ENTER signage should be installed at the exit end of the proposed drive through to help ensure no vehicles try to approach the drive through from the south. This is particularly important given the somewhat unusual orientation of the drive through and that patrons do not interact with Pharmacy staff at a traditional "window".

### *Drive Through Queuing*

As previously noted, the proposed plan provides for queuing of 5 vehicles prior to having any impacts on the vehicular operations along the drive aisles. See Exhibit 9 for an excerpt of the Engineering Resources site plan. Based on our observations at a similar store the maximum observed queue was 4 vehicles including the vehicle at the window, with average queues during the peak hours being less than 3.

The average number of queued vehicles is important for this location as the introduction of the drive through and the approach lane will cross over the front of the Garden Center. A queue of three cars or less, does not impact the new pedestrian crossing from the parking field to the Garden Center entrance and provides clear visibility for pedestrians to see the proposed guardrail /fence along the Drive-Through lane. This will help "train" customers to walk around the raised island and to the north end of the Drive-Through to minimize conflicts.

## Part IV. Conclusions

GHA prepared a traffic study for the proposed Pharmacy Drive-Through to be located on the northeast corner of the existing Meijer store in St Charles, Illinois. Overall, the introduction of the Drive-Through is anticipated to have little effect on the existing operations along the front of the store. The queueing capacity of the proposed Drive-Through is 5 vehicles, which is adequate to accommodate the anticipated vehicle queues based on our observations at a similar store. Furthermore, based on the traffic analysis, even assuming all the Drive-Through traffic is all new traffic, the Drive-Through exit intersection is expected to operate efficiently, with minimal disturbance to the flow of traffic along the front of the store.

## Part V. Technical Addendum

The following *Exhibits* and *Appendices* were previously referenced. They provide technical support for our observations, findings and recommendations discussed in the text.

### Exhibits

1. Location Map
2. Photo Inventory
3. Existing Traffic
4. Site Plan Excerpt
5. Project Traffic Characteristics
6. Drive through Traffic
7. Total Traffic
8. Intersection Capacity Analyses
9. Drive-Through Stacking Excerpt

### Appendices

- A. Traffic observations Summary
- B. Meijer Pharmacy Transaction Data
- C. Highway Capacity Software (HCS) Summary Reports.



# Technical Addendum

# Exhibits



Sources: Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



Drawn By: drinkman File: P:\558-5390\552-2002 Meijer St Charles, IL\GIS\5585390\552-2001 Location Map.mxd



1 inch = 200  
Feet

## Exhibit 1 - Location Map

Meijer - 855 S. Randall Road  
St Charles, IL



Looking south along front of store



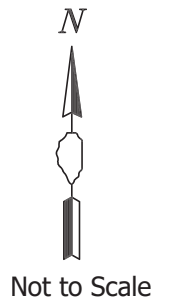
Looking north along front of store



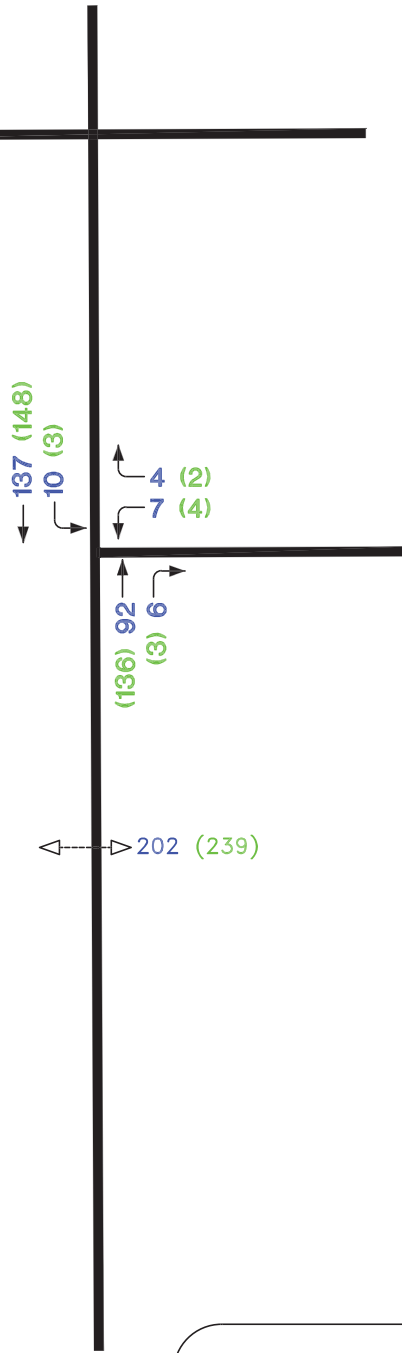
Future Drive – Thru location



Looking across main entrance drive at Garden Center



Existing  
Meijer  
Building



**Legend:**

- XX — AM Peak Hour 9:30–10:30
- (XX) — PM Peak Hour 3:45–4:45
- ←XX→ — AM Peak Hour Pedestrian Volumes
- ←(XX)→ — PM Peak Hour Pedestrian Volumes

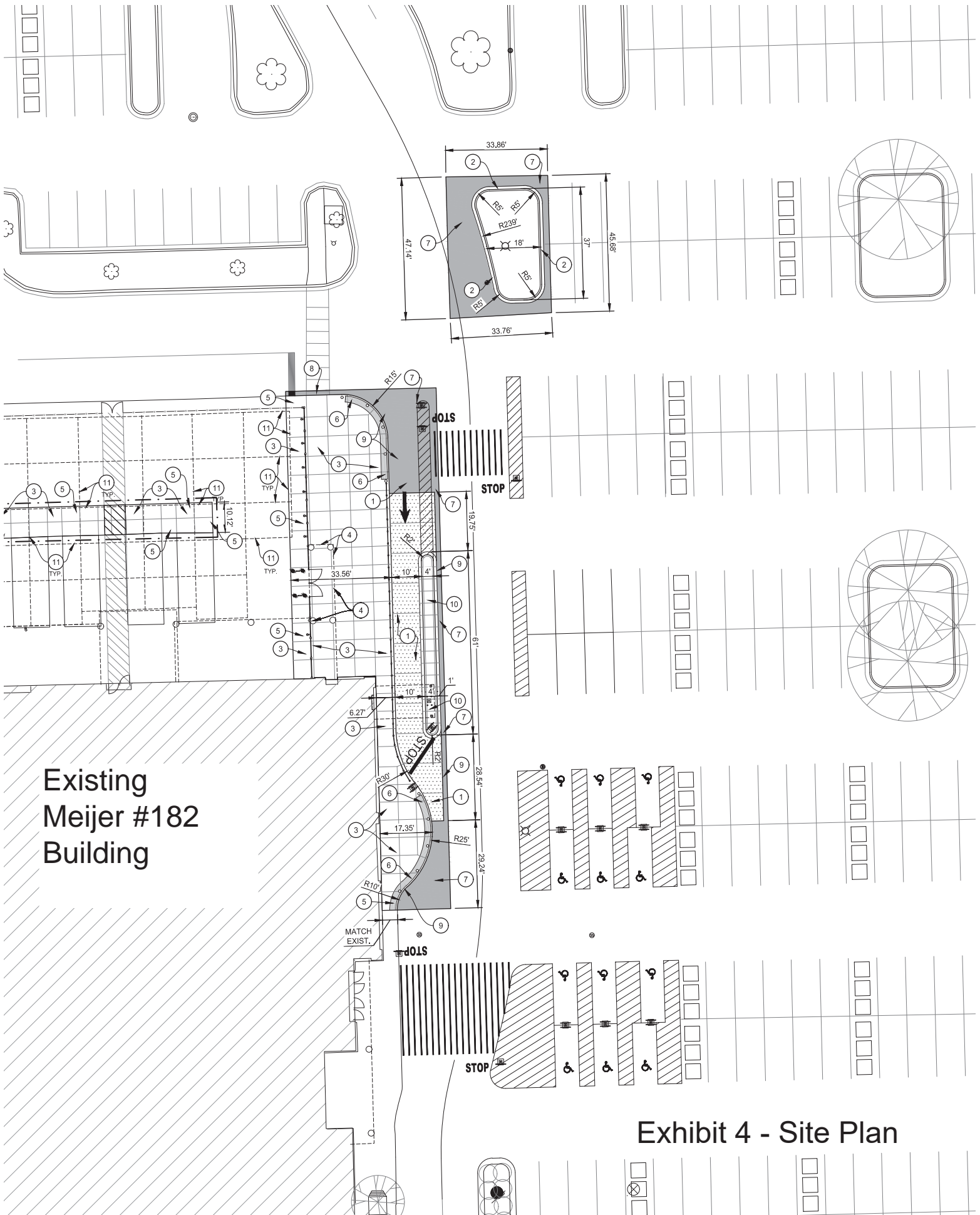


Exhibit 4 - Site Plan

Exhibit 5

**Project Traffic Characteristics**

*Pharmacy Drive-Thru Meijer #182, 855 S Randall Rd: St Charles, Illinois*

ITE Land Use Code	Morning Peak Hour		Evening Peak Hour		Daily Total
	In	Out	In	Out	

**Observations**

Meijer Oswego #239	n/a	7	8	15	12	11	23	133
• 50 D-T Transactions								38%
• 133 Pharmacy Transactions Total								17%

GHA observed D-T operations at Oswego Store (#239) on March 7, 2018.

Oswego Store experienced 133 total Pharmacy Transactions

Oswego Store experienced 50 D-T Pharmacy Transactions

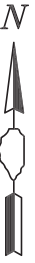
D-T Transactions were 38% of total Pharmacy Transactions

Observed Peak Hours represent 11% and 17% of Total Daily Pharmacy Transactions

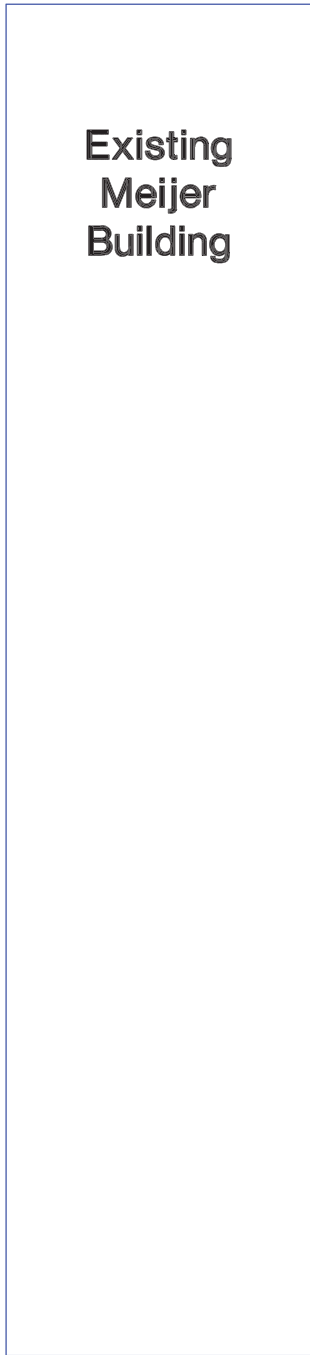
**Projections**

Using observed daily and Peak Hour Pharmacy Transaction Percentage applied to 112 Daily Pharmacy Transaction

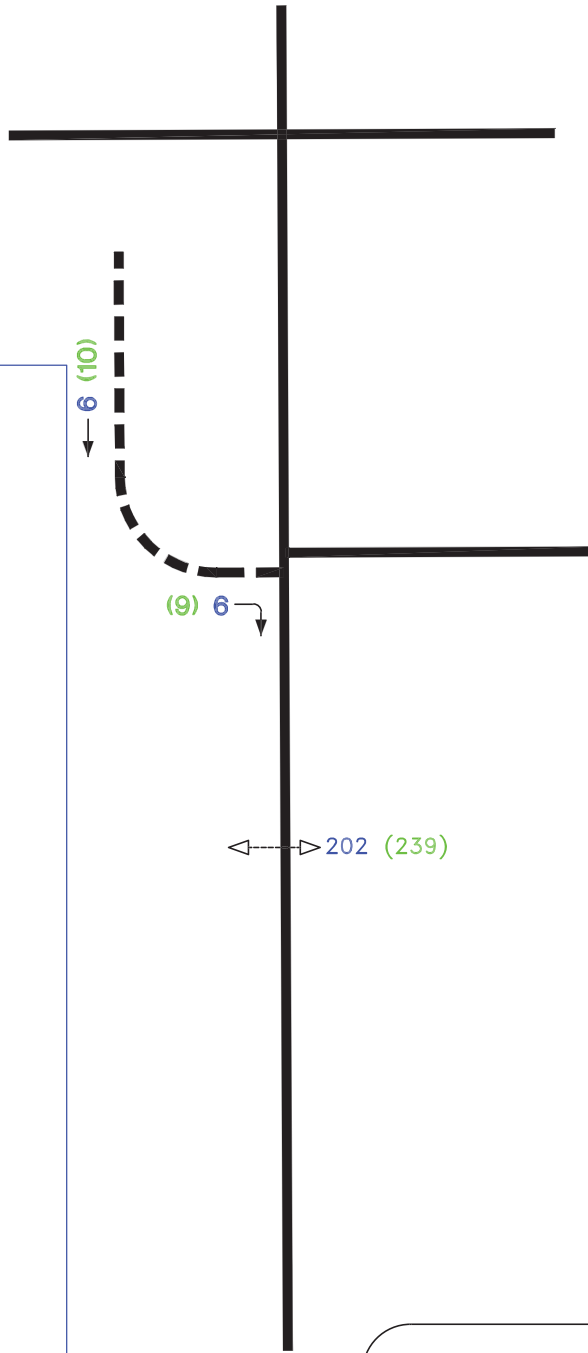
Meijer St Charles #182	n/a	6	6	12	10	9	19	112
• 112 Pharmacy Transactions Total								38%
• 43 D-T Transactions (estimated)								17%



Not to Scale



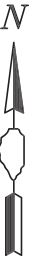
Existing  
Meijer  
Building



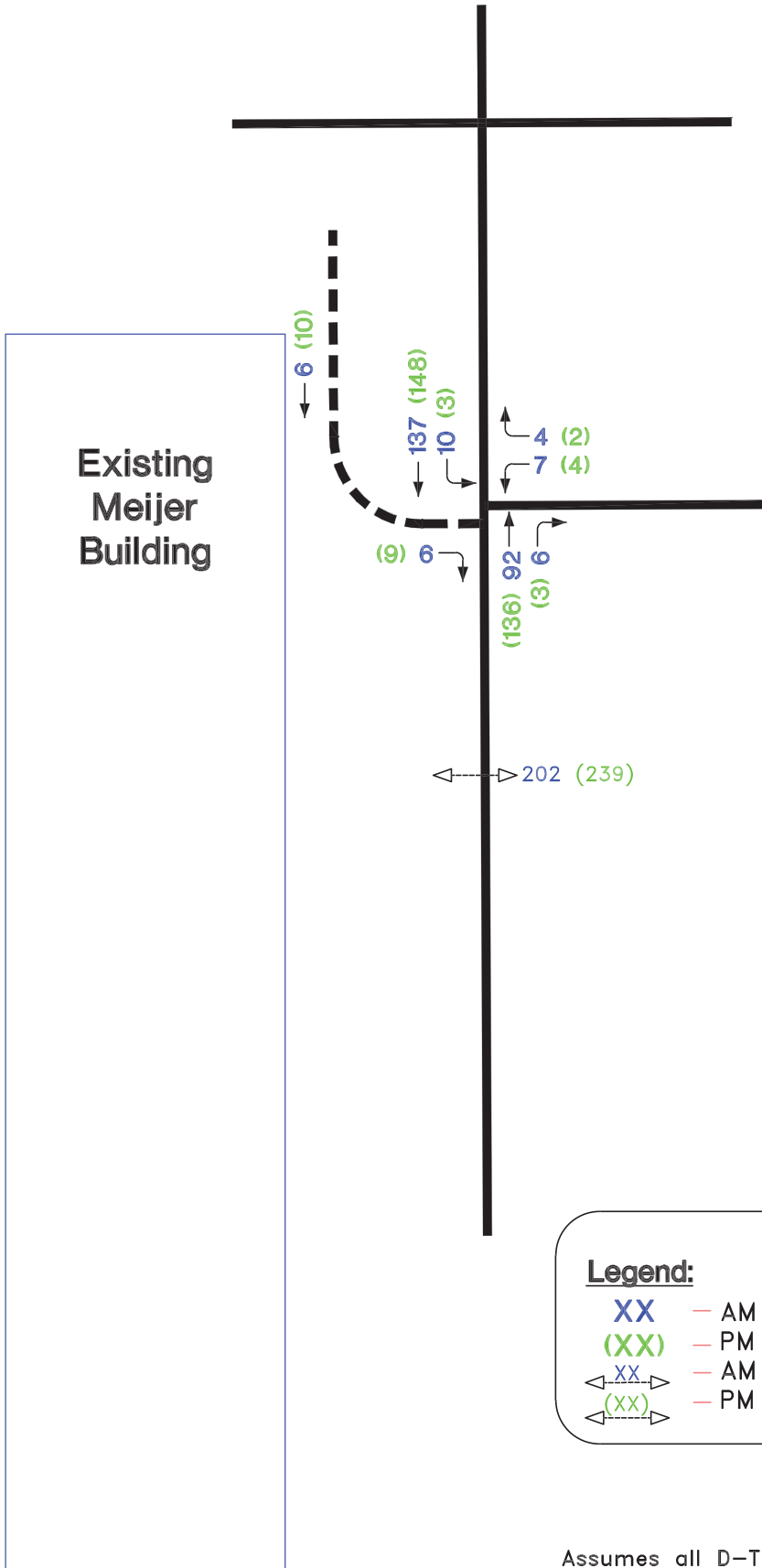
**Legend:**

- XX** — AM Peak Hour 9:30–10:30
- (XX)** — PM Peak Hour 3:45–4:45
- ↔ **XX** ↔ — AM Peak Hour Pedestrian Volumes
- ↔ **(XX)** ↔ — PM Peak Hour Pedestrian Volumes





Not to Scale



**Legend:**

- XX — AM Peak Hour 9:30–10:30
- (XX) — PM Peak Hour 3:45–4:45
- ←XX→ — AM Peak Hour Pedestrian Volumes
- ←(XX)→ — PM Peak Hour Pedestrian Volumes

Assumes all D-T Traffic is New

## Exhibit 8

# Intersection Capacity and Queue Analyses

*Pharmacy Drive-Thru Meijer #182, 855 S Randall Rd: St Charles, Illinois*

### Part A. Parameters - Type of Traffic Control (Source: Highway Capacity Manual 6th Edition)

#### I. Traffic Signals

LOS	Delay (sec / veh)	Description	Delay (sec / veh)
A	<10	All signal phases clear waiting vehicles without delay	< 10
B	>10 and < 20	Minimal delay experienced on select signal phases	>10 and < 15
C	>20 and < 35	Some delay experienced on several phases; often used as design criteria	>15 and < 25
D	>35 and < 55	Usually considered as the acceptable delay standard	>25 and < 35
E	>55 and < 80	Very long delays experienced during the peak hours	>35 and < 50
F	>80	Unacceptable delays experienced throughout the peak hours	>50

#### Part B. Results

Roadway Conditions	LOS Per Movement By Approach								Intersection / Approach		
	> = Shared Lane - = Non Critical or not Allowed Movement								Delay (sec / veh)		
	Eastbound		Westbound		Northbound		Southbound		Delay	LOS	
	LT	TH	RT	LT	TH	RT	LT	TH	RT		
1. Drive-Thru Exit Lane at Drive Aisle											
TWSC - EB/ WB Stops											DT Exit Approach Delay
A. Weekday Morning Peak Hour											
Total Traffic (See Exhibit 7)	-	-	A	<	-	-	A	-	-	9.0	A
	<1	<1	<1	<1	<1	<1	<1	<1	<1		
B. Weekday Evening Peak Hour											
Total Traffic (See Exhibit 7)	-	-	A	>	B	<	-	-	-	9.1	A
	<1	<1	<1	<1	<1	<1	<1	<1	<1		

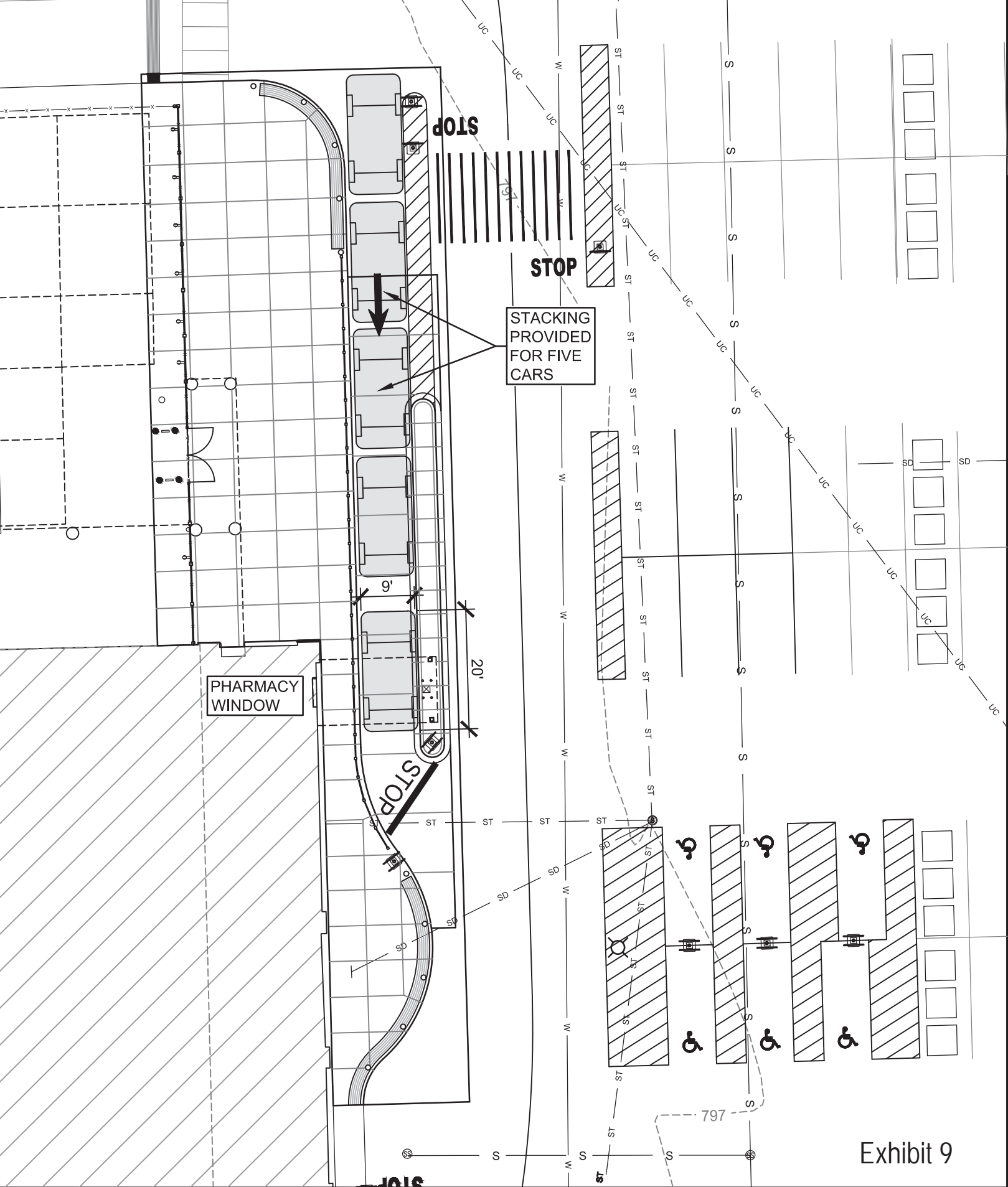


Exhibit 9



# CAR STACKING ENLARGEMENT

SCALE: 1" = 20'

# Appendices

Appendix A  
March 2018 Traffic Observations

Appendix A												
Manual Counts for St. Charles & Oswego												
3/7/2018	Oswego	Peds	Cars on Main Drive	TMC into Aisle (from)			Parking Aisle TMC		Pharmacy Drive up			
				Oswego North	Oswego South	Oswego N. Left Turn	Oswego S. Right Turn	Queue	Exit			
8:30 AM	25	N-5; S-20	0	0	0	0	0	1	1			
8:45 AM	39	N-1; S-10	2	0	0	0	0	1	1			
9:00 AM	19	N-9; S-6	0	1	0	0	0	1	1			
9:15 AM	38	N-13; S-15	1	2	0	1	3	3	3			
9:30 AM	26	N-20; S-18	1	0	0	0	2	2	1			
9:45 AM	37	N-13; S-22	0	1	0	1	1	1	2			
10:00 AM	17	N-23; S-16	1	0	0	0	1	1	2			
10:15 AM	23	N-26; S-11	0	0	1	3	0	1	1			
10:30 AM	Finish					AVG=	1.3					
3:00 PM	38	N-7; S-22	0	0	0	0	3	3	3			
3:15 PM	41	N-25; S-33	0	2	0	0	4	4	3			
3:30 PM	39	N-12; S-31	0	0	1	0	0	0	1			
3:45 PM	53	N-24; S-27	0	0	2	1	1	1	1			
4:00 PM	40	N-7; S-41	1	3	0	0	2	2	1			
4:15 PM	66	N-45; S-18	2	0	1	4	1	1	2			
4:30 PM	59	N-34; S-41	0	0	0	0	4	4	2			
4:45 PM	53	N-18; S-34	2	1	0	0	4	4	3			
5:00 PM	68	N-34; S-27	0	1	0	0	4	4	3			
5:15 PM	71	N-15; S-31	1	1	0	2	3	3	3			
5:30 PM	69	N-23; S-47	0	0	0	1	4	4	3			
5:45 PM	46	N-19; S-33	0	0	0	0	2	2	3			
6:00 PM	Finish					AVG=	2.7		3			

Appendix A									
Manual Counts for St. Charles & Oswego									
3/8/2018	St. Charles	Peds	TMC into Aisle (from)			Parking Aisle TMC		Pharmacy Drive up	
			St. Charles North	St. Charles South	St. Charles Left Turn	St. Charles N. Right Turn			
8:30		34	3	2	0	0			
8:45		40	1	0	2	1			
9:00		50	1	4	0	2			
9:15		42	2	6	1	1			
9:30		56	0	3	2	0			
9:45		69	1	0	2	1			
10:00		62	5	2	3	2			
10:15		50	4	1	0	0			
10:30									
3:00		60	2	4	2	3			
3:15		56	0	3	4	5			
3:30		60	2	0	2	3			
3:45		61	0	0	1	0			
4:00		74	0	0	0	0			
4:15		79	1	0	1	0			
4:30		70	2	3	0	0			
4:45		48	0	1	2	4			
5:00		66	2	0	0	0			
5:15		60	2	3	0	0			
5:30		56	0	3	1	1			
5:45		56	0	4	3	0			
6:00	Finish								

Appendix B  
Meijer Pharmacy Transaction Data



Appendix B – Meijer Store Pharmacy Transaction Data

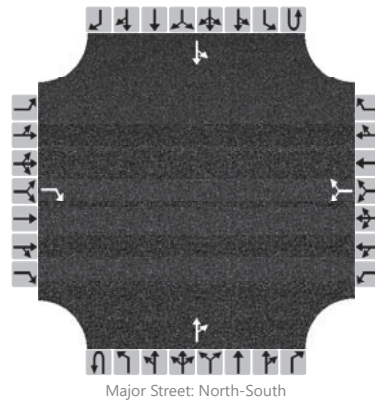
<b>Store Number</b>	<b>Drive Thru Count</b>	<b>Pharm Terminal Count</b>	<b>Total</b>
<u>Store 239</u>			
7-Mar – Wed	50	83	133
<u>Store 182</u>			
7-Mar – Wed	N/A	112	112
8-Mar – Thur	N/A	110	110
9-Mar – Fri	N/A	112	112
10-Mar – Sat	N/A	102	102
11-Mar – Sun	N/A	68	68

Appendix C  
Highway Capacity Software (HCS) Summary Reports

# HCS7 Two-Way Stop-Control Report

General Information				Site Information			
Analyst	DPB			Intersection	DT EXIT		
Agency/Co.	GHA			Jurisdiction	LOCAL		
Date Performed	4/2/2018			East/West Street	DT - PARKING		
Analysis Year	2018			North/South Street	MAIN AISLE		
Time Analyzed	AM			Peak Hour Factor	0.92		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	MEIJER 182 DT						

## Lanes



## Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	1		0	1	0	0	0	1	0	0	0	1	0
Configuration				R			LR					TR		LT		
Volume, V (veh/h)				6		7		4			92	6		10	137	
Percent Heavy Vehicles (%)				2		2		2						2		
Proportion Time Blocked																
Percent Grade (%)	0				0											
Right Turn Channelized	No				No				No				No			
Median Type/Storage	Undivided															

## Critical and Follow-up Headways

Base Critical Headway (sec)				6.2				7.1				6.2				4.1
Critical Headway (sec)				6.22				7.12				6.22				4.12
Base Follow-Up Headway (sec)				3.3				3.5				3.3				2.2
Follow-Up Headway (sec)				3.32				3.52				3.32				2.22

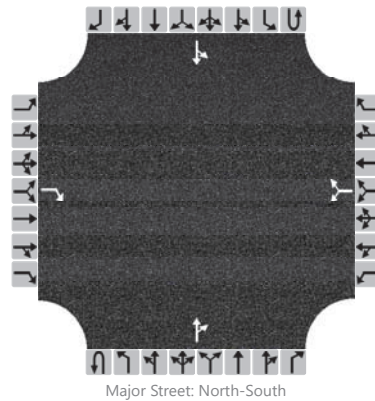
## Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)				7				12								11
Capacity, c (veh/h)				897				739								1483
v/c Ratio				0.01				0.02								0.01
95% Queue Length, Q <sub>95</sub> (veh)				0.0				0.0								0.0
Control Delay (s/veh)				9.0				10.0								7.4
Level of Service, LOS				A				A								A
Approach Delay (s/veh)	9.0				10.0								0.6			
Approach LOS	A				A											

# HCS7 Two-Way Stop-Control Report

General Information				Site Information			
Analyst	DPB	Intersection	DT EXIT				
Agency/Co.	GHA	Jurisdiction	LOCAL				
Date Performed	4/2/2018	East/West Street	DT - PARKING				
Analysis Year	2018	North/South Street	MAIN AISLE				
Time Analyzed	PM	Peak Hour Factor	0.92				
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25				
Project Description	MEIJER 182 DT						

## Lanes



## Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	1		0	1	0	0	0	1	0	0	0	1	0
Configuration				R			LR					TR		LT		
Volume, V (veh/h)				9		4		2			136	3		3	148	
Percent Heavy Vehicles (%)				2		2		2						2		
Proportion Time Blocked																
Percent Grade (%)	0				0											
Right Turn Channelized	No				No				No				No			
Median Type/Storage	Undivided															

## Critical and Follow-up Headways

Base Critical Headway (sec)				6.2		7.1		6.2						4.1		
Critical Headway (sec)				6.22		7.12		6.22						4.12		
Base Follow-Up Headway (sec)				3.3		3.5		3.3						2.2		
Follow-Up Headway (sec)				3.32		3.52		3.32						2.22		

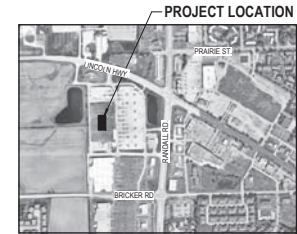
## Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)				10				6								3
Capacity, c (veh/h)				884				693								1429
v/c Ratio				0.01				0.01								0.00
95% Queue Length, Q <sub>95</sub> (veh)				0.0				0.0								0.0
Control Delay (s/veh)				9.1				10.2								7.5
Level of Service, LOS				A				B								A
Approach Delay (s/veh)	9.1				10.2								0.2			
Approach LOS	A				B											

# STORE 182 MINOR RESET

## CP-18-00182

855 South Randall Rd.  
St Charles, IL 60174



PLAN NORTH  
Location Map  
Not To Scale



111 E. Wayne Street, Suite 555, Fort Wayne, IN 46802  
260 424-9080  
ElevatusArchitecture.com

CONFIDENTIAL/COMPRIPT 2018  
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SEAL  
NOT RELEASED FOR CONSTRUCTION

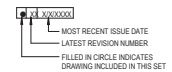
### Design Team

**ELEVATUS Architecture**  
111 E. Wayne Street, Suite 555  
Fort Wayne, IN 46802  
260 424-9080

**Engineering Resources, Inc.**  
11020 Diebold Rd.  
Fort Wayne, IN 46845  
260 490-1025

GENERAL			
■	T	1/25/2018	G-001 Cover Sheet
CIVIL			
■		C-100	Overall Site Plan
■		C-100E	Site Survey
■		C-101	Site Demolition Plan
■		C-200	Site Layout and Pavement Plan
■		C-301	Site Storage, Storage, and Amenity Plan
■		C-300	Site Grading and Utility Plan
■		C-400	Site Details
ELECTRICAL			
■		ES101	Electrical Site Plan
■		ES102	Electrical Site Plan - Photometrics

#### SHEET INDEX LEGEND



**STORE 182 MINOR RESET**  
**CP-18-00182**  
855 South Randall Rd.  
St Charles, IL 60174

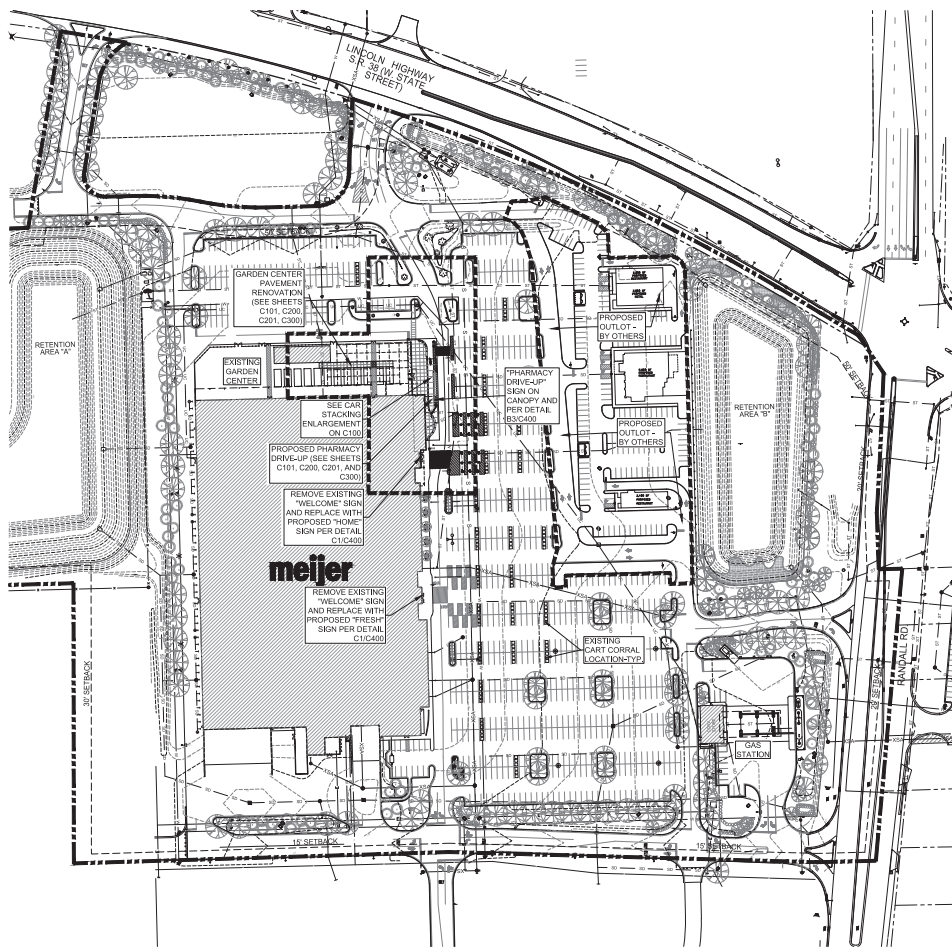
REVISIONS		
NO.	DESCRIPTION	DATE
1	Adendum #1	1/25/2018

PROJECT NO. 1701812  
ISSUE DATE 3/12/2018

SUBMITTAL  
Bids, Permits, & Construction

Cover Sheet

**G-001**



**PROPOSED SITE LAYOUT**  
SCALE: 1" = 100'

MEIJER MAIN STORE BUILDING SIGNAGE SUMMARY										
TYPE	LOGO	NUMBER	2017 FILED APPROVED SQ.FT. OF EACH	STARTING SQ.FT. NO CHANGE	REMOVE	NEW SIGN	UPDATE SIGN	2018 SIGN SQ.FT. OF EACH	2018 TOTAL SQ. FT.	2018 TOTAL SQ. FT.
WALL SIGN	MEIJER	1	416.00	395.07			X	395.07	395.07	
WALL SIGN	WELCOME	1	12.00	12.00			X	0	0	
WALL SIGN	WELCOME	1	12.00	12.00			X	0	0	
WALL SIGN	PHARMACY	1	16.11	16.11		X		0	0	
WALL SIGN	GARDEN CENTER	1	16.28	16.28		X		0	0	
WALL SIGN	PHARMACY DRIVE-UP	1	43.58	0			X	0	0	
WALL SIGN	STAIRWALKS	1	16.00	16.00	X			16.00	16.00	
WALL SIGN	USE BANK	1	32.00	32.00	X			32.00	32.00	
			TOTAL AREA OF EXISTING MAIN STORE SIGNS = 439.07							
PROPOSED MAIN STORE BUILDING SIGNAGE SUMMARY										
TYPE	LOGO	NUMBER	2017 FILED APPROVED SQ.FT. OF EACH	STARTING SQ.FT. NO CHANGE	REMOVE	NEW SIGN	UPDATE SIGN	2018 SIGN SQ.FT. OF EACH	2018 TOTAL SQ. FT.	2018 TOTAL SQ. FT.
WALL SIGN	MEIJER	1	416.00	395.07			X	395.07	395.07	
WALL SIGN	WELCOME	1	12.00	12.00			X	0	0	
WALL SIGN	PHARMACY	1	16.11	16.11		X		0	0	
WALL SIGN	GARDEN CENTER	1	16.28	16.28		X		0	0	
WALL SIGN	PHARMACY DRIVE-UP	1	43.58	0			X	0	0	
WALL SIGN	STAIRWALKS	1	16.00	16.00	X			16.00	16.00	
WALL SIGN	USE BANK	1	32.00	32.00	X			32.00	32.00	
			TOTAL AREA OF EXISTING MAIN STORE SIGNS = 439.07							
			TOTAL AREA OF NEW MAIN STORE SIGNS = 117.03							
			TOTAL AREA OF MAIN STORE SIGNAGE REQUESTED = 570.81 S.F.							
			TOTAL AREA OF ALL SIGNAGE (EXISTING & PROPOSED) REQUESTED FOR THE MEIJER PROJECT = 812.16 S.F.							

MEIJER SITE SIGNAGE SUMMARY										
TYPE	LOGO	NUMBER	2017 FILED APPROVED SQ.FT. OF EACH	STARTING SQ.FT. NO CHANGE	REMOVE	NEW SIGN	UPDATE SIGN	2018 SIGN SQ.FT. OF EACH	2018 TOTAL SQ. FT.	2018 TOTAL SQ. FT.
MONUMENT SIGN	MEIJER OR HOBBY	2	58.00	115.42				X	57.26	115.16
GAS STATION	TYPE OF GAS PRICE	1	69.00	70.53				X	70.53	70.53
			TOTAL AREA OF EXISTING SITE SIGNS = 124.95 S.F.							
			TOTAL AREA OF NEW SITE SIGNS = 185.75 S.F.							
MEIJER GAS STATION BUILDING SIGNAGE SUMMARY										
TYPE	LOGO	NUMBER	2017 FILED APPROVED SQ.FT. OF EACH	STARTING SQ.FT. NO CHANGE	REMOVE	NEW SIGN	UPDATE SIGN	2018 SIGN SQ.FT. OF EACH	2018 TOTAL SQ. FT.	2018 TOTAL SQ. FT.
GAS STATION	MEIJER	3	25.00	43.80				X	14.4	43.80
WALL SIGN	WELCOME	1	0.00	12.0	X			12.0	12.0	
			TOTAL AREA OF EXISTING GAS STATION SIGNS = 43.80 S.F.							
			TOTAL AREA OF NEW GAS STATION SIGNS = 26.40 S.F.							
			TOTAL AREA OF ALL GAS STATION SIGNS = 70.20 S.F.							



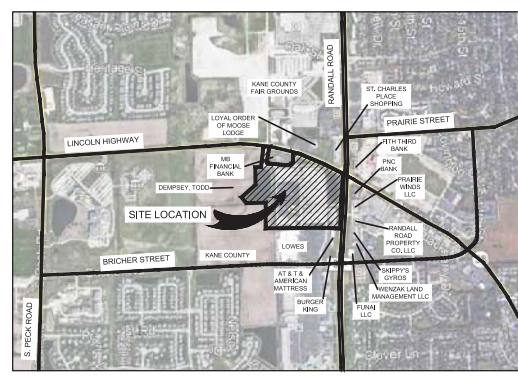
**SURVEY NOTE:**  
EXISTING TOPOGRAPHY IS BASED ON TOPOGRAPHIC SURVEY PROVIDED BY DALE FLOYD LAND SURVEYING, L.L.C. PROJECT #11745 DATED DECEMBER 15, 2017. ADDITIONAL SITE INFORMATION WAS MERGED WITH THIS SURVEY. THE ADDITIONAL DESIGN DOCUMENTS WERE SUPPLIED TO ELEVATUS ARCHITECTURE FROM MEIJER, INC.  
CONTROL POINTS PROVIDED FROM TOPOGRAPHIC SURVEY BY EXCEL ENGINEERING, INC.

**LOT INFORMATION:**  
MAIN STORE AND GAS STATION PARCEL #: 409-34-476-006  
PROPERTY ZONING: BR REGIONAL BUSINESS  
COUNTY: KANE COUNTY  
ACRES: 39.3+ ACRES  
DISTURBED AREA: 9,500+ SQUARE FEET  
NEW IMPERVIOUS AREA: 290+ SQUARE FEET  
SURROUNDING LAND USE: RETAIL, RESTAURANTS, BANKS AND BUSINESSES BORDER MEIJER ON THE NORTH, EAST AND SOUTH. OPEN FARM LAND BORDERS MEIJER ON THE WEST.

**EXISTING PARKING (MAIN STORE AND GAS STATION):**  
STORE PARKING LOT:  
1149 STANDARD SPACES  
24 HANDICAP ACCESSIBLE SPACES  
1164 TOTAL SPACES  
GAS STATION PARKING LOT:  
11 STANDARD SPACES  
1 HANDICAP SPACE  
12 TOTAL SPACES  
EXISTING CART CORRALS: 25 CORRALS

**PROPOSED PARKING (MAIN STORE AND GAS STATION):**  
STORE PARKING LOT:  
768 STANDARD SPACES  
24 HANDICAP ACCESSIBLE SPACES  
792 TOTAL SPACES PROVIDED (81 UNDER REQUIRED)  
883 PARKING SPACES REQUIRED (4 SPACES PER 1,000 SF OF GFA (220,791 SF/4 X 1000 = 883)  
GAS STATION PARKING LOT:  
11 STANDARD SPACES  
1 HANDICAP SPACE  
12 TOTAL SPACES  
EXISTING CART CORRALS: 25 CORRALS

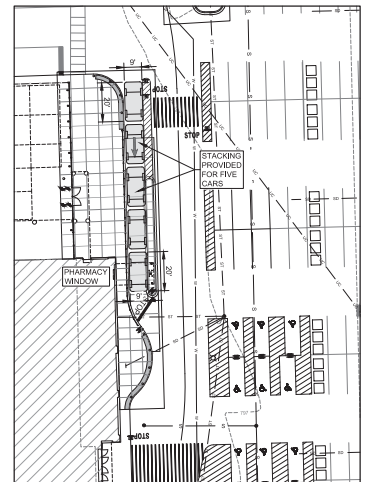
- SITE PLAN NOTES:**
- OWNER INFORMATION: MEIJER, INC. (GOOD WILL, INC.) 2350 THREE MILE ROAD GRAND RAPIDS, MI 49544
  - STORM DRAINAGE PATTERNS AND STORM WATER MANAGEMENT SHALL REMAIN AS EXISTING. NO INCREASE IN STORMWATER QUANTITY OR IMPERVIOUS AREA.
  - PROPOSED CONSTRUCTION IS NOT LOCATED IN A DESIGNATED FLOODPLAIN OR WETLAND AREA.
  - EXISTING UTILITIES SHALL REMAIN EXCEPT AS INDICATED ON THE DRAWINGS.
  - EXISTING BUILDING AND POLE-MOUNTED SITE LIGHTING FIXTURES SHALL REMAIN. TWO LIGHTS WILL BE RELOCATED SEE MS-2 FOR NEW LOCATIONS. ALL PROPOSED LIGHT FIXTURES IN PROPOSED CANOPIES (E.G. PHARMACY DRIVE-UP) SHALL BE SHIELDED AS REQUIRED BY ZONING ORDINANCE LIGHTING REQUIREMENTS.
  - EXISTING LANDSCAPING SHALL REMAIN. LANDSCAPING IN RELOCATED CURB BLAND TO BE REPLANTED TO MATCH THE EXISTING THAT WAS REMOVED.
  - CONSTRUCTION DRAWINGS WILL INCLUDE REQUIRED SOIL EROSION CONTROL MEASURES INCLUDING INLET PROTECTION AT ALL AFFECTED STORMWATER INLETS.
  - SEE ARCHITECTURAL DRAWINGS FOR CHANGES TO EXTERIOR SIGNAGE.
- FIRE DEPARTMENT NOTES:**
- THE EXISTING BUILDING ADDRESS(S) SHALL REMAIN UNCHANGED.
  - THE PROPOSED BUILDING ADDITION SHALL BE FULLY SPRINKLED AS REQUIRED BY BUILDING AND FIRE CODES.
  - EXISTING FIRE LANES AND FIRE DEPARTMENT ACCESS ROAD WIDTHS SHALL REMAIN.
  - ALL FIRE HYDRANTS SHALL REMAIN.



**SITE LOCATION MAP**  
SCALE: 1" = 1,000'

**BUILDING SQUARE FOOTAGE:**  
BUILDING EXISTING: 220,791 SF  
BUILDING PROPOSED: 220,791 SF  
CANOPY: 3,435 SF

**LEGAL DESCRIPTION:**  
MEIJER STORE #182 - ST. CHARLES, KANE COUNTY, ILLINOIS  
CORPORATE OWNER: MEIJER STORES LIMITED PARTNERSHIP  
SITUATE IN SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN CITY OF ST. CHARLES, COUNTY OF KANE, STATE OF ILLINOIS, AND BEING LOT 1 OF THE RESUBDIVISION #2 OF THE RESUBDIVISION OF THE MEIJER #182 SUBDIVISION AS RECORDED IN DOCUMENT NO. 2002K140590 OF THE KANE COUNTY, ILLINOIS RECORDS OFFICE.



**CAR STACKING ENLARGEMENT**  
SCALE: 1" = 30'

**ELEVATUS ARCHITECTURE**  
111 E. Main Street, Suite 902, Fort Worth, TX 76102  
204.424.9000  
info@elevatuskva.com

**CONTRACTOR CONTACT:**  
SIWEK CONSTRUCTION MANAGEMENT  
11000 Meridian Road, Fort Worth, TX 76185  
817.326.7943  
www.siwekconstruction.com

**CONSULTANT:**  
**Siwek CONSTRUCTION MANAGEMENT**  
5200 Higgins Road • Fort Worth, TX 76105  
817.326.7943 • 817.326.7767

**MEIJER PROJECT #:**  
CP-18-00-182  
855 S. Randall Road  
St. Charles, IL 60174  
2018 MINOR RESET

**REVISIONS**

NO.	DESCRIPTION	DATE

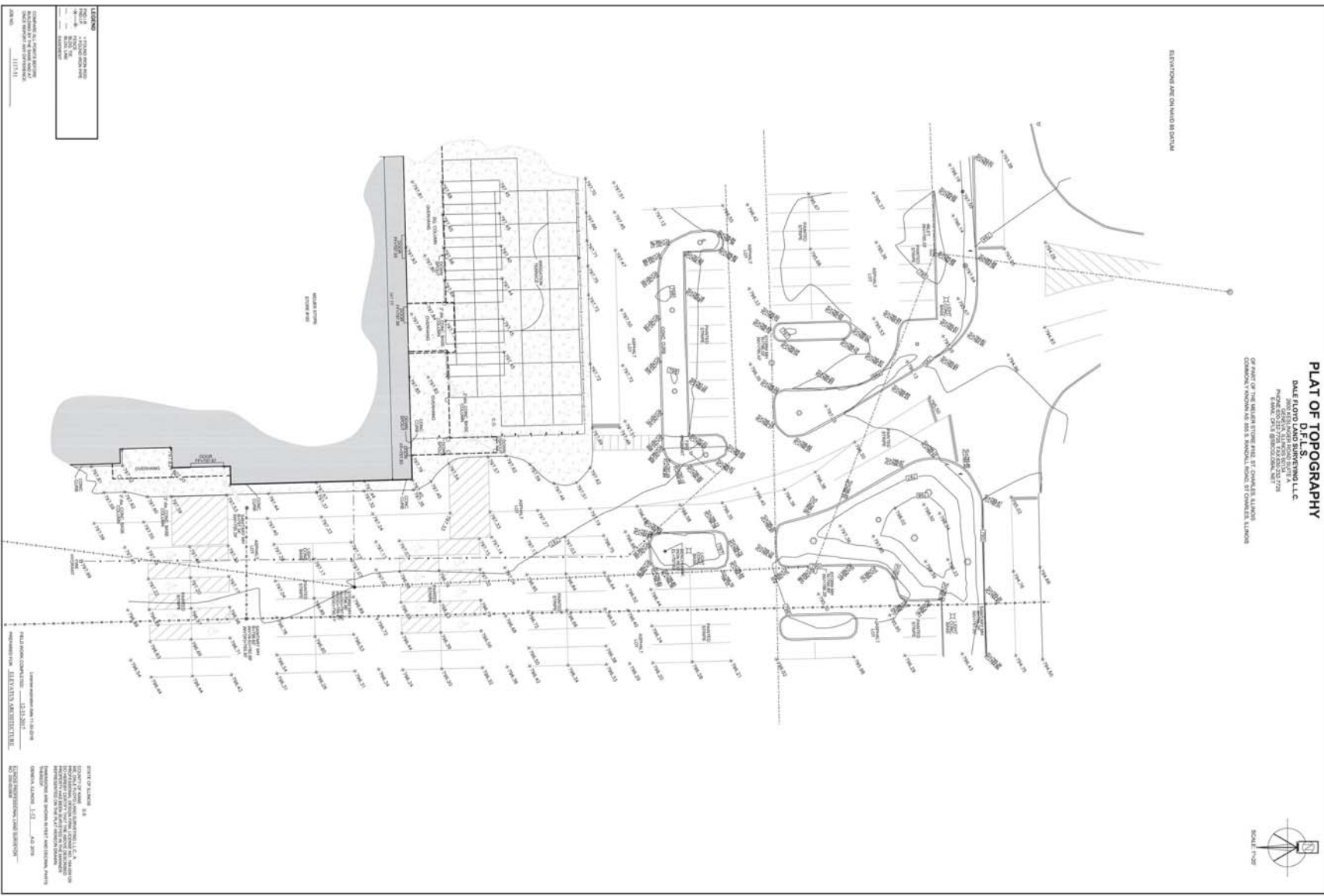
**PROJECT NO:** 170912  
**ISSUE DATE:** 03/20/2018  
**SUBMITTAL:** Blk. Permits and Construction Set

**Overall Site Plan**

**C100**

April 3, 2018 3:07 PM  
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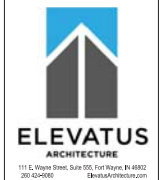
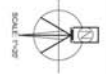
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 Survey.dwg



**LEGEND**

EXISTING ELEVATION	PROPOSED ELEVATION
EXISTING CONTOUR	PROPOSED CONTOUR
EXISTING SPOT ELEVATION	PROPOSED SPOT ELEVATION
EXISTING AREA	PROPOSED AREA

**PLAT OF TOPOGRAPHY**  
**D.E.L.S.**  
 DALE FLOYD LAND SURVEYING L.L.C.  
 1100 N. WINDY HILL ROAD, SUITE 100  
 CHARLES, ILLINOIS 60114  
 PHONE: 630.381.1100  
 FAX: 630.381.1101  
 WWW.DALEDLSSURVEYING.COM



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SEAL



**meijer**  
 STORE #182 MINOR  
 RESET  
 MEIJER PROJECT #:  
 CP-18-00-182  
 855 S. Randall road  
 St. Charles, IL 60174  
 2018 MINOR RESET

REVISIONS

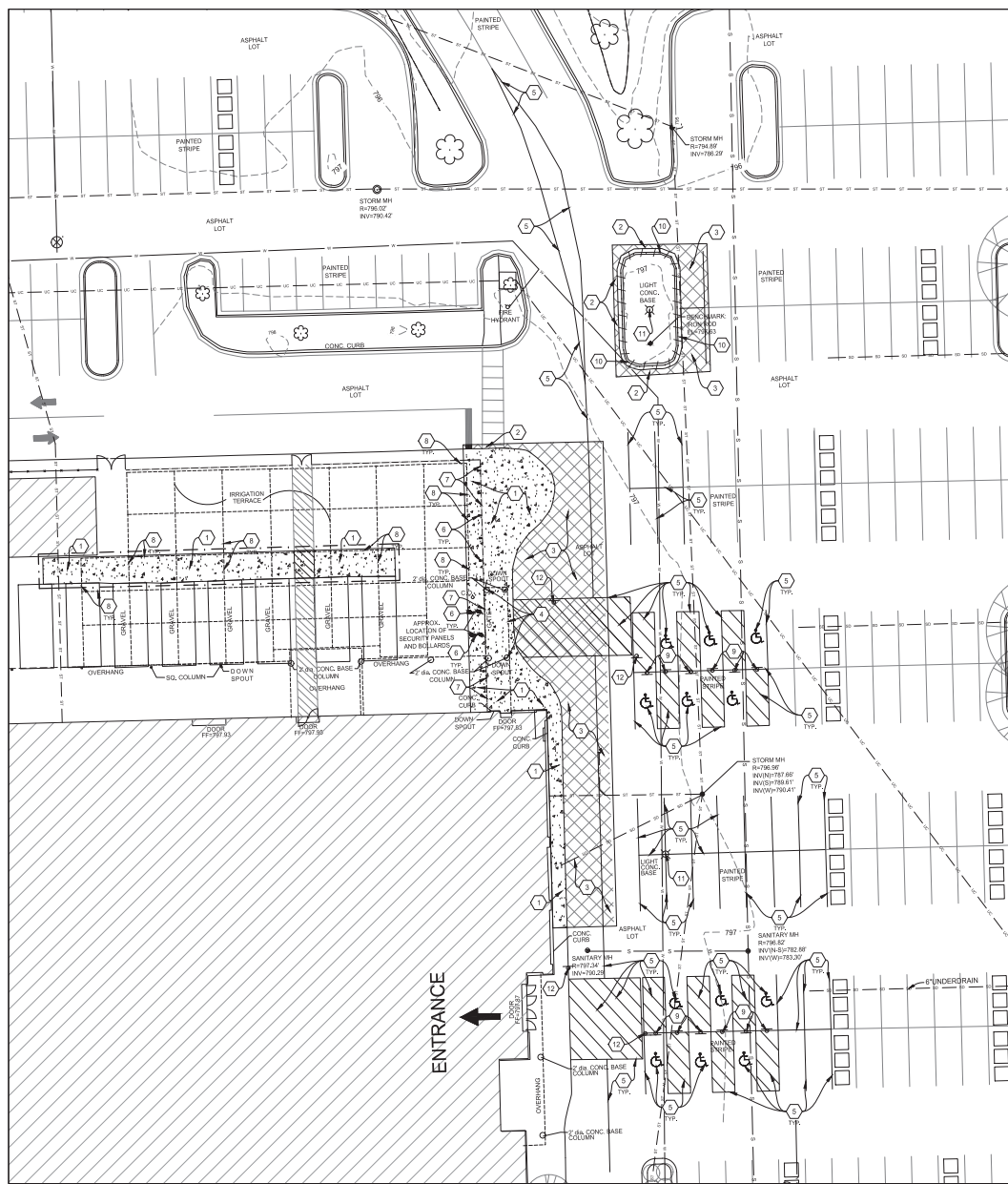
NO.	DESCRIPTION	DATE

PROJECT NO.	ISSUE DATE
1701812	03/12/2018
SUBMITTAL	
Bld. Permits and Construction Set	

Site Survey

**C100E**

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**SITE DEMOLITION PLAN**  
 SCALE: 1" = 20'

**DEMOLITION NOTES:**

- 1 SAWCUT AND REMOVE CONCRETE SIDEWALK/PAVEMENT TO NEAREST JOINT.
- 2 SAWCUT AND REMOVE 18" MINIMUM OF ASPHALT PAVEMENT TO PROVIDE CLEAN EDGE.
- 3 SAWCUT AND REMOVE ASPHALT PAVEMENT.
- 4 GARDEN CENTER ENTRY FEATURE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 5 REMOVE PAVEMENT MARKINGS AS NECESSARY BY GRINDING.
- 6 ELECTRICAL OUTLETS, ELECTRIC PANEL SENSOR AND SOLAROS TO REMAIN. PROTECT DURING CONSTRUCTION.
- 7 REMOVE ALUMINUM FENCE AND GATE INCLUDING FOUNDATIONS. SEE ARCHITECTURAL DRAWINGS FOR LIMITS OF FENCE REMOVAL.
- 8 STEEL SHADECLOTH STRUCTURE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 9 REMOVE HANDICAP SIGNS AND RESET AFTER CONSTRUCTION IS COMPLETE.
- 10 REMOVE CONCRETE CURB.
- 11 REMOVE AND RELOCATE LIGHT. SEE ELECTRICAL SHEETS FOR INFORMATION.
- 12 REMOVE STOP SIGNS AND RESET AFTER CONSTRUCTION IS COMPLETE.

**DEMOLITION LEGEND:**

- SAWCUT AND REMOVE ASPHALT PAVEMENT.
- SAWCUT AND REMOVE CONCRETE SIDEWALK OR SLAB.
- REMOVE CURB
- ALTERNATE BOUNDARY. SEE ALTERNATE SPECIFICATION SECTION 9012300 FOR ADDITIONAL INFORMATION.

**LOCAL UTILITY LOCATING AGENCY:**

1. ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES, IN WRITING, OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS) AND CONTACT "JULIE" LOCAL UTILITY LOCATING AGENCY AT [illinoiscall.com](http://illinoiscall.com).
2. EXISTING UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

**SURVEY:**

EXISTING TOPOGRAPHY IS BASED ON TOPOGRAPHIC SURVEY PROVIDED BY DALE FLOYD SURVEYING PROJECT #11134 DATED DECEMBER 15, 2017. ADDITIONAL SITE INFORMATION WAS MERGED WITH THIS SURVEY. THE ADDITIONAL DESIGN DOCUMENTS WERE SUPPLIED TO ELEVATUS ARCHITECTURE FROM MEIJER, INC.  
 CONTROL POINTS PROVIDED FROM TOPOGRAPHIC SURVEY BY EXCEL ENGINEERING, INC.

**DEMOLITION GENERAL NOTES:**

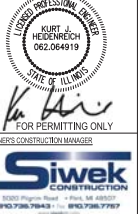
1. OBTAIN ALL REQUIRED PERMITS AND COORDINATE INSPECTIONS FROM AUTHORITIES HAVING JURISDICTION.
2. CONTRACTOR SHALL NOT INTERRUPT ANY SERVICE TO ADJACENT PROPERTIES WITHOUT WRITTEN AUTHORIZATION FROM PROPERTY OWNER. AN EMERGENCY PLAN SHALL BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION TO OUTLINE CORRECTIVE MEASURES IN THE EVENT OF ANY UNAUTHORIZED UTILITY SHUTDOWN.
3. CONTRACTOR SHALL STUDY ALL DRAWINGS PRIOR TO CONSTRUCTION. RESEARCH PUBLIC UTILITY RECORDS, CONTACT THE LOCAL UTILITY LOCATOR SERVICE, AND FIELD VERIFY ALL EXISTING STRUCTURES PRIOR TO CONSTRUCTION. CONTACT ENGINEER FOR DIRECTION IF EXISTING UTILITY CONDITIONS CONFLICT WITH PROPOSED WORK. OR ANY ALTERATIONS SHALL BE THE CONTRACTORS RESPONSIBILITY.
4. EXISTING UTILITIES ARE APPROXIMATIONS BASED ON BEST AVAILABLE DATA. CAUTION SHALL BE EXPRESSED TO NOT INTERRUPT SERVICE TO ANY BUILDING. EXPLORATORY TRENCH TO VERIFY DEPTH AND LOCATION OF SERVICES PRIOR TO CONSTRUCTION OF NEW SEWER UTILITIES. ASSURE ALL SANITARY FLOW IS DIRECTED INTO THE SANITARY SEWER ON-SITE AND ALL STORM WATER IS DIRECTED INTO THE STORM SEWER SYSTEM.
5. CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION REQUIRED BY UTILITY OWNERS TO CONSTRUCT PROJECT.
6. CONTRACTOR SHALL LOCATE ALL PRIVATE UTILITIES NOT COVERED BY THE PUBLIC UTILITY SERVICES.
7. ADJUST ALL EXISTING MANHOLES, VALVES, HYDRANTS, HANDHOLES THAT ARE WITHIN THE PROJECT LIMITS TO PROPOSED GRADES.
8. CONTRACTOR SHALL SUPPORT ALL EXISTING UTILITIES DURING CONSTRUCTION OF ADJACENT WORK.
9. SEE SITE SURVEY FOR EXISTING CONDITIONS.
10. COORDINATE ALL DEMOLITION WORK WITH OWNER.
11. CONTRACTOR IS RESPONSIBLE FOR ALL PERMIT FEES, TAPPING FEES, INSPECTION FEES, ETC.
12. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS, AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.



**CONSULTANT**  
**Excel Engineering, Inc.**  
 1100 National Road, Deer Park, IL 60015  
 Tel: 847.460.1200 Fax: 847.460.1201  
[www.exceleng.com](http://www.exceleng.com)



3-12-2018  
 MEIJER'S CONSTRUCTION MANAGER



**meijer**  
 STORE #182 MNOR  
 RESET

MEIJER PROJECT #:  
 CP-18-00-182  
 855 S. Randall road  
 St. Charles, IL 60174  
 2018 MNOR RESET

REVISIONS		
NO.	DESCRIPTION	DATE

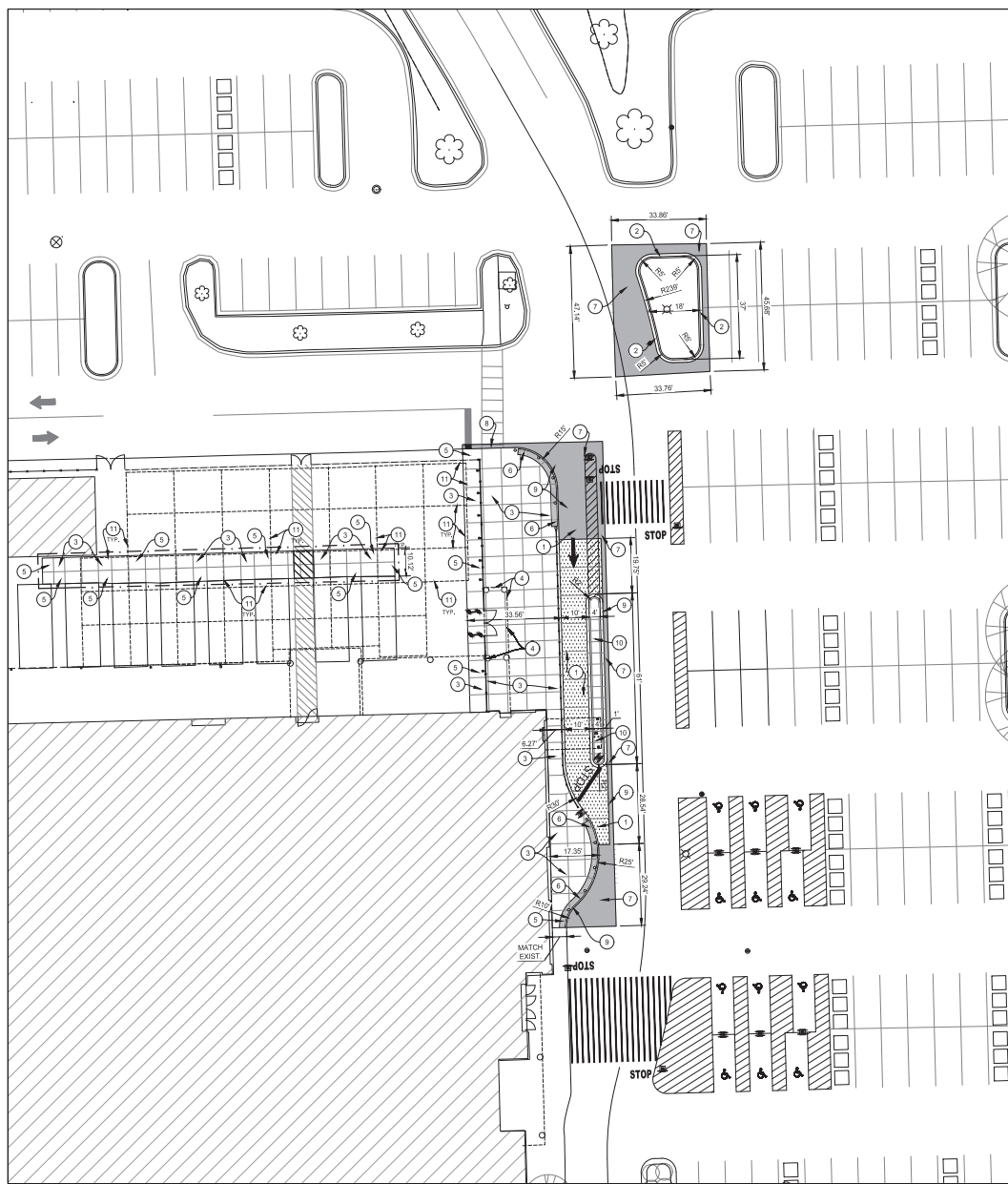
PROJECT NO. 1701812 ISSUE DATE 03/12/2018  
 SUBMITTAL  
 Bid, Permits and Construction Set

Site Demolition Plan

**C101**



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 C:\Users\jgarcia\OneDrive\Documents\Projects\4150-11820\4150-11820-0200 Site Layout Plan.dwg



**SITE LAYOUT AND PAVEMENT PLAN**  
SCALE: 1" = 20'

- LAYOUT AND PAVEMENT NOTES:**
- ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS HER EXPENSE PER THE CONTRACT DOCUMENTS.
1. 6" CONCRETE SLAB W/ 6"x6" W2.9W2.9 WWF AND HEAVY BROOM FINISH OVER NEW 4" COMPACTED BASE AGGREGATE COURSE. (TYP). SEE A1/C400 FOR CONCRETE JOINT DETAILS AND A2/C400 FOR PAVEMENT EDGE DETAILS. PROVIDE A DOWELED BUTT JOINT PER DETAIL A3/C400 WHEN CONCRETE IS ADJACENT TO PROPOSED CURBING OR CONCRETE.
  2. STRAIGHT CURB AND GUTTER PER DETAIL D3/C400.
  3. 5" CONCRETE SLAB W/ 6"x6" W2.9W2.9 WWF OVER NEW 4" COMPACTED BASE AGGREGATE COURSE. SEE A1/C400 FOR CONCRETE JOINT DETAILS AND A2/C400 FOR PAVEMENT EDGE DETAILS. PROVIDE A DOWELED BUTT JOINT PER DETAIL A3/C400 WHEN CONCRETE IS ADJACENT TO PROPOSED CURBING OR CONCRETE.
  4. EXISTING BUILDING CANOPY AND COLUMNS TO REMAIN. PROTECT DURING CONSTRUCTION.
  5. DOWELED BUTT JOINT PER DETAIL A3/C400.
  6. DETECTABLE WARNING AREA PER DETAIL A4/C400.
  7. HEAVY DUTY BITUMINOUS PAVEMENT. SEE DETAIL B1/C400.
  8. THICKENED PAVEMENT EDGE PER DETAIL A2/C400.
  9. BITUMINOUS PAVEMENT EDGE WITH UNDERDRAIN PER DETAIL C3/C400.
  10. CONCRETE MEDIAN WITH CURB AND GUTTER PER DETAIL D3/C400.
  11. PROTECT EXISTING SHADE CLOTH STRUCTURE COLUMNS. ANY DAMAGED COLUMNS SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
  12. 3" OF HARDWOOD SHREDDED MULCH.
  13. PLANT SHRUBS PER PLANTING DETAIL D4/C400.

**LAYOUT LEGEND:**

- HEAVY DUTY BITUMINOUS PAVEMENT. SEE DETAIL B1/C400.
- 6" CONCRETE SLAB W/ 6"x6" W2.9W2.9 WWF AND HEAVY BROOM FINISH OVER NEW 4" COMPACTED BASE AGGREGATE COURSE. (TYP). SEE A1/C400 FOR CONCRETE JOINT DETAILS.

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.

**PROPOSED LEGEND:**

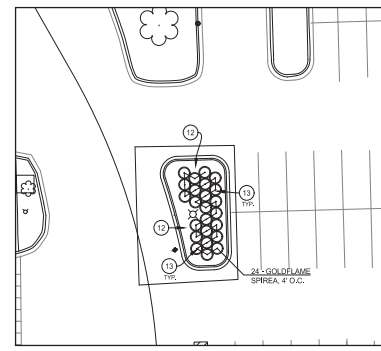
- SIGN
- ORNAMENTAL FENCE
- BOLLARDS WITH DETECTABLE WARNING AREA
- CONCRETE SCORE JOINTS
- LIGHT - SEE ELECTRICAL PLANS
- ALTERNATE BOUNDARY - SEE ALTERNATE SPECIFICATION SECTION 012300 FOR ADDITIONAL INFORMATION.

- LAYOUT GENERAL NOTES:**
1. NO DIMENSION MAY BE SCALED. REFER UNCLER ITEMS TO THE CONSTRUCTION MANAGER FOR INTERPRETATION.
  2. REFER TO SHEET C100 FOR PARKING COUNT.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND PERFORM REQUIRED COMPACTOR OPERATIONS.
  4. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
  5. NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED IN THE RIGHT-OF-WAY.
  6. WORK SHALL CONFORM TO THE REQUIREMENTS OF MEIER STANDARD SPECIFICATIONS & GOVERNING AGENCIES HAVING JURISDICTION. DESIGN, PAINTING AND MATERIALS SHALL COMPLY WITH THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
  7. EXTERIOR CONCRETE SLABS ADJACENT TO BUILDING SHALL BE PLACED ON A NEW COMPACTED AGGREGATE BASE COURSE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
  8. AGGREGATE BASE FOR CONCRETE ADJACENT TO BUILDING SHALL BE AS SPEC'ED IN SECTION 312306.
  9. AGGREGATE TO EXTEND 12" BEYOND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE DETAIL A3/C400.
  10. SEE ARCHITECTURAL PLANS FOR TREATMENT OF CONCRETE CURB AGAINST BUILDING.
  11. PROVIDE SHOP DRAWING SUBMITTAL FOR SCORING JOINT & EXPANSION JOINT LAYOUT FOR ALL CONCRETE WALKS, DRIVES & SLABS. INCLUDE LOCATIONS OF EXISTING SCORE JOINTS FOR REFERENCE.
  12. SEE ARCHITECTURAL PLANS AND/OR OTHER DOCUMENTS FOR BUILDING ELEVATIONS FOR NEW SIGN LOCATIONS, ELEVATIONS AND MOUNTING SYSTEMS.

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**PLANTING SCHEDULE**

QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	SPACING
23	Goldflame Spirea	Spiraea x bumalda 'Goldflame'	15"-18"	3 Gallon	4' O.C.



**LANDSCAPE ENLARGEMENT**  
SCALE: 1" = 20'



1111 N. Tower Street, Suite 910, Fort Worth, TX 76102  
 817.454.9300 | info@elevatus.com



3-12-2018  
 ILLINOIS PROFESSIONAL ENGINEER  
 JOHN HEIDENRECH  
 062.064919  
 STATE OF ILLINOIS  
 FOR PERMITTING ONLY  
 SIGNER'S CONSTRUCTION MANAGER  
**Siwek**  
 5000 Higgins Road • 1st Fl., M# 60007  
 #630.736.7643 • #630.736.7767

**meijer**  
 STORE #182 MNOR  
 RESET  
 MEIJER PROJECT #:  
 CP-18-00-182  
 855 S. Randall road  
 St. Charles, IL 60174  
 2018 MNOR RESET

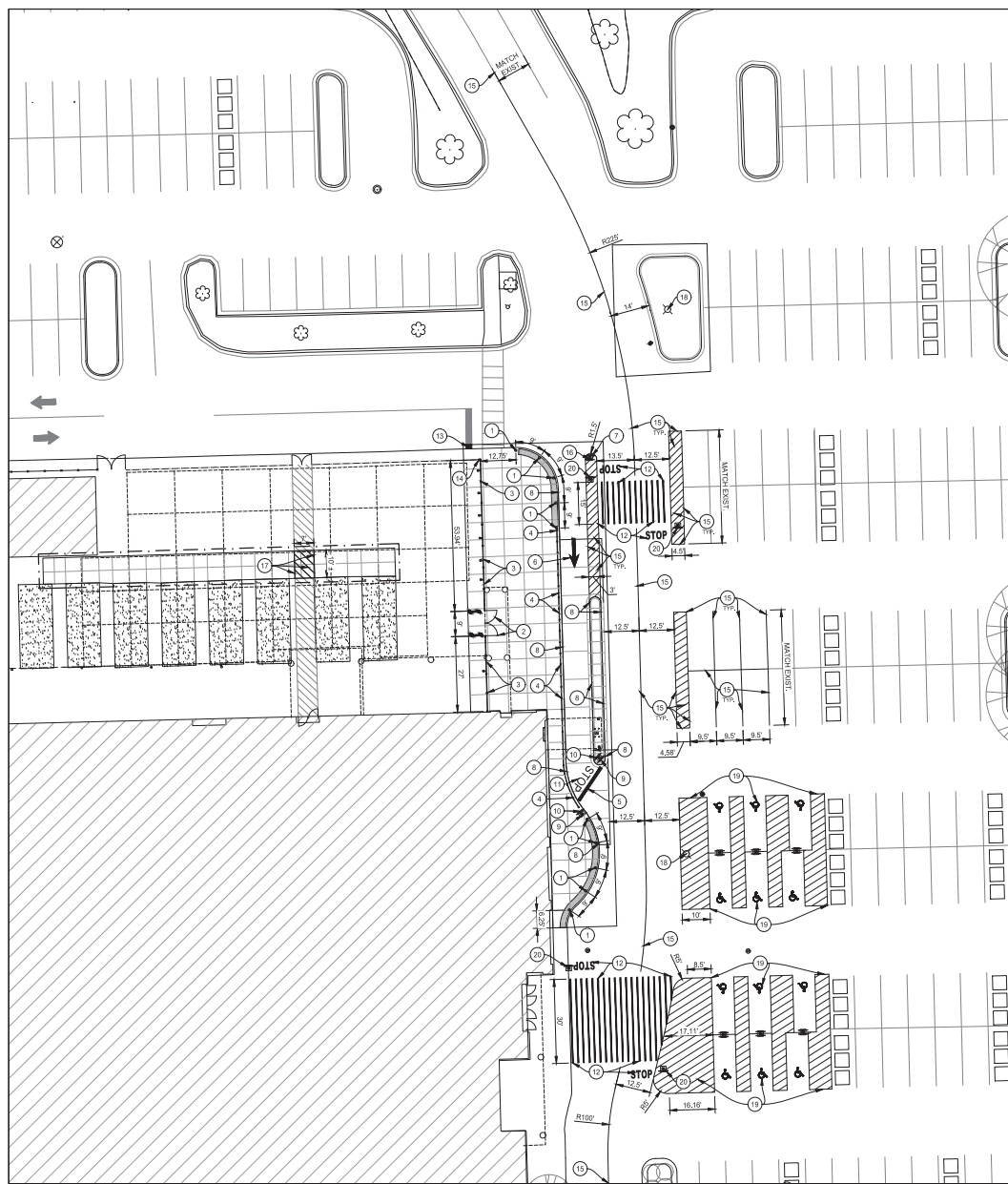
REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NO. 1701812 ISSUE DATE 03/12/2018  
 SUBMITTAL Bl, Permits and Construction Set

Site Layout and Pavement Plan  
**C200**

March 30, 2018, 3:07 PM  
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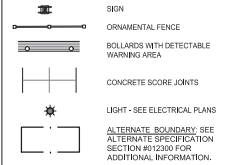


**SITE SIGNAGE, STRIPING AND SITE AMENITY PLAN**  
 SCALE: 1" = 20'

**SITE STRIPING, SIGNAGE & SITE AMENITY NOTES:**

- ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS/HER EXPENSE PER THE CONTRACT DOCUMENTS.
- ① DECORATIVE BOLLARD, SEE GUARD POST DETAIL A5/C400.
  - ② GARDEN CENTER GATE (SEE ARCH. PLANS).
  - ③ 6'-0" HIGH GARDEN CENTER ORNAMENTAL FENCE (SEE ARCH. PLANS).
  - ④ 3'-4" HIGH ORNAMENTAL FENCE (SEE ARCH. PLANS).
  - ⑤ 12" STOP LINE, WHITE.
  - ⑥ LANE ARROW, SEE DETAIL A6/C400.
  - ⑦ "PHARMACY DRIVE-UP" SIGN WITH ARROW TO LANE, SIGN "A", SEE DETAIL B2/C400, (ONE SIDE)
  - ⑧ 4" SINGLE SOLID, YELLOW, LINE ALONG EDGE OF DRIVEWAY AND TOP OF CURB.
  - ⑨ "WRONG WAY" SIGN "C" PER DETAIL B2/C400, (ONE SIDE)
  - ⑩ "STOP" SIGN "D" PER DETAIL B3/C400, (ONE SIDE)
  - ⑪ 3'-0" TALL X 6'-0" SOLID PAINTED LETTERS, WHITE, SEE PLAN FOR WORKINGS.
  - ⑫ CROSSWALK PER DETAIL D1/C400.
  - ⑬ STOP LINE, WHITE, MATCH EXISTING WIDTH.
  - ⑭ PROVIDE NEW END POST FOR EXISTING CHAIN LINK FENCE AS REQUIRED, SEE ARCHITECTURAL PLANS.
  - ⑮ 4" SINGLE SOLID, YELLOW, LINE.
  - ⑯ "NO LEFT TURN" SIGN "E" PER DETAIL B3/C400, (ONE SIDE)
  - ⑰ EMERGENCY EGRESS STRIPING, 4" SINGLE SOLID YELLOW LINE.
  - ⑱ LIGHT POLE, SEE SITE ELECTRICAL PLAN.
  - ⑲ HANDICAP PARKING PER DETAIL C2/C400.
  - ⑳ RELOCATED STOP SIGNS REMOVED DURING DEMOLITION.

**PROPOSED LEGEND:**



**PAVEMENT STRIPING NOTES:**

1. REFER TO SHEET C400 FOR SIGNAGE/STRIPING DETAILS.
2. ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS NOTED OTHERWISE.

**BUILDING AND SITE SIGNAGE NOTES:**

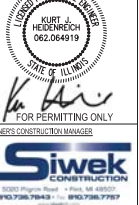
1. STOP SIGNS AND FIRE LANE SIGNS ALONG FRONT OF THE STORE TO BE ON MOVABLE CONCRETE BASES



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 111 S. Wacker Drive, Suite 200, Northbrook, IL 60062  
 847.434.4000  
 info@elevatus.com  
 www.elevatus.com



CONSULTANT  
**Siwek Construction**  
 3100 Orchard Road, Oak Brook, IL 60452  
 Tel: 630.480.2800 Fax: 630.480.3250  
 www.siwেক.com



**meijer**  
 STORE #182 MINOR RESET  
 MEIJER PROJECT #:  
 CP-18-00-182  
 855 S. Randall road  
 St. Charles, IL 60174  
 2018 MINOR RESET

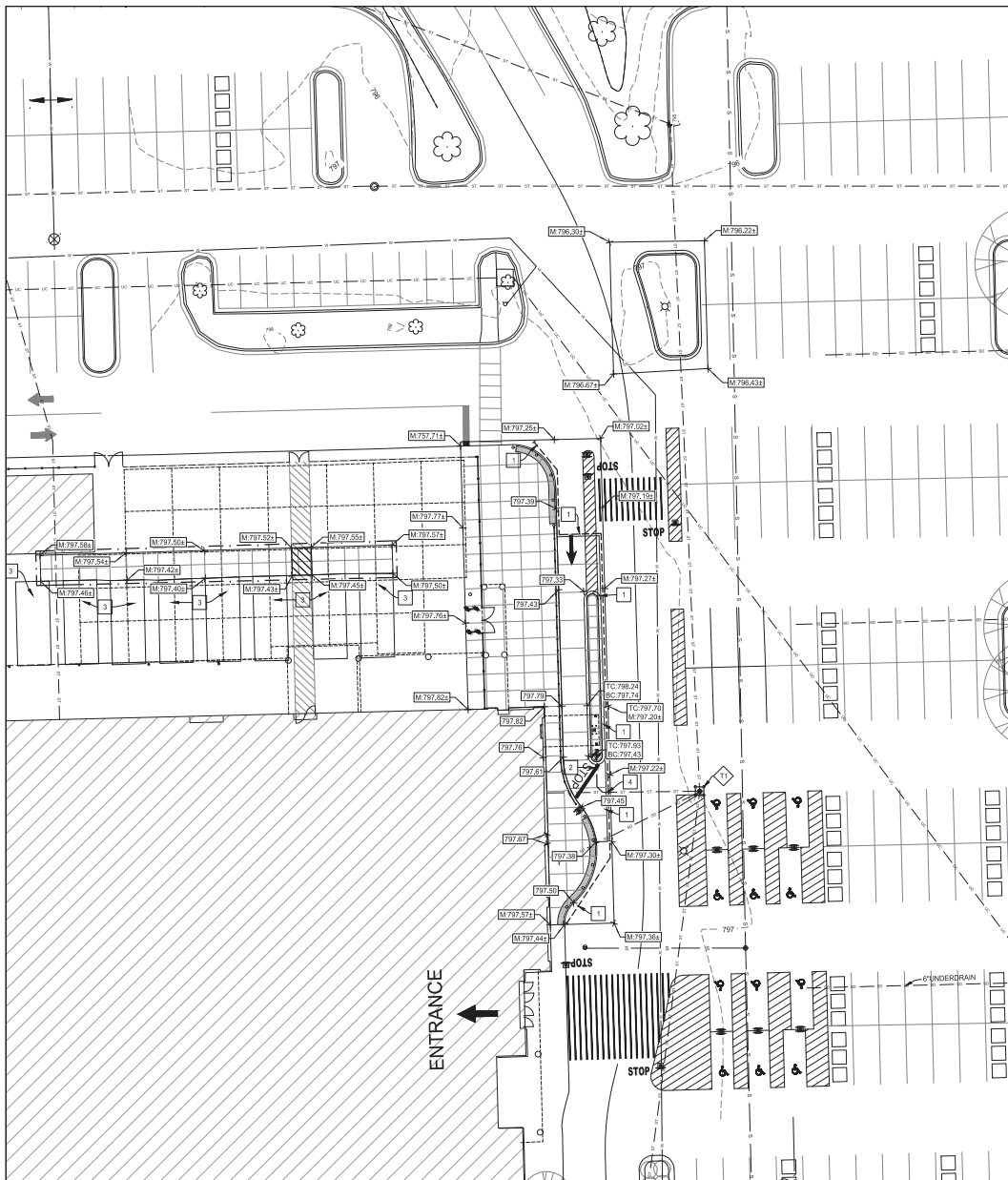
REVISIONS	
NO.	DESCRIPTION

PROJECT NO. 170412 ISSUE DATE 03/10/2018  
 SUBMITTAL Bid, Permits and Construction Set

Site Signage, Striping and Site Amenity Plan

**C201**

March 30, 2016, 10:57 AM  
C:\Users\jschick\Documents\CAD\182-1182\182-1182-Meijer-182-SiteGradingAndUtilityPlan.rvt




**SITE GRADING AND UTILITY PLAN**  
 SCALE: 1" = 20'

**GRADING LEGEND:**

- 801--- EXISTING CONTOUR
  - PROPOSED CONTOUR
  - MATCH EXISTING ELEVATION
  - PROPOSED SPOT ELEVATION
  - PROPOSED TOP OF CURB
  - PROPOSED BOTTOM OF CURB
- NOTE: ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.

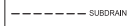
**UTILITY NOTES:**

- ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS EXPENSE PER THE CONTRACT DOCUMENTS.
- PERFORATED UNDERDRAIN PER DETAIL C30400, TIE INTO STORM SEWER NETWORK.
  - ROOF DRAIN COLLECTION SYSTEM - 6" STORM SEWER @1.00% MINIMUM SLOPE AND 30" MINIMUM COVER.
  - PROTECT EXISTING SUBDRAIN BELOW GRAVEL BEDS DURING ALL PHASES OF CONSTRUCTION.
  - APPROXIMATE LOCATION OF EXISTING STORM COLLECTOR PIPE. FIELD VERIFY EXACT LOCATION AND DEPTH AND MAKE CONNECTION WITH PROPOSED SUBDRAIN AND ROOF DRAIN.

**GRADING NOTES:**

- ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS EXPENSE PER THE CONTRACT DOCUMENTS.
- GENERAL NOTE (NOT LABELED ON PLAN), MAINTAIN A MINIMUM SLOPE OF 0.5% AND NO GREATER SLOPE THAN 2% ON PROPOSED CONCRETE SIDEWALK. CONTRACTOR TO ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING STRUCTURE WHILE MAINTAINING MIN. MAX. SLOPES. CONTACT ENGINEER IF CONFLICT EXISTS FOR FURTHER INSTRUCTION.
  - GENERAL NOTE (NOT LABELED ON PLAN), SURVEY PROVIDED DURING THE DESIGN PHASE DID NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO FIELD VERIFY AND ADJUST ANY UTILITY CASTINGS WITHIN PROJECT LIMITS TO PROPOSED GRADE.

**UTILITY LEGEND:**



**NOTE:**

ALL UTILITIES SHOWN ARE APPROXIMATE LOCATION FROM FIELD DATA, DESIGN DRAWINGS, AND AVAILABLE INFORMATION. THEY SHOULD NOT BE INTERPRETED AS EXACT LOCATIONS NOR SHOULD THEY BE ASSUMED TO BE THE ONLY UTILITIES IN THE AREA.

**EROSION CONTROL SEQUENCING**

NOTE:  
CONTRACTOR SHALL DETERMINE INSTALLATION SCHEDULE TO MINIMIZE EROSION.

PRE-CONSTRUCTION ACTIVITY

- CONTACT THE ILLINOIS ONE-CALL SYSTEM 'JULIE' TO LOCATE UNDERGROUND UTILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO EARTH DISTURBING ACTIVITIES. MARK UTILITIES ON THE PROJECT SITE.
- PRESERVE AND PROTECT TREES, SHRUBS, EXISTING VEGETATION, AND EXISTING ITEMS TO REMAIN ON THE SITE.
- ESTABLISH EQUIPMENT AND EMPLOYEE PARKING AND STAGING AREAS.
- PROTECT EXISTING STORM WATER SEWER SYSTEM INLETS WITH INLET PROTECTION DEVICES.

CONSTRUCTION ACTIVITY

- DE-WATER THE CONSTRUCTION SITE WHEN NEEDED.
- BEGIN DEMOLITION OF ITEMS TO BE REMOVED FOR THE PROPOSED CONSTRUCTION.
- INSTALL CONCRETE WASHOUT AREA(S) TO BE USED DURING CONSTRUCTION OF ROADS, PARKING LOTS, SIDEWALKS, AND BUILDINGS. CONTRACTOR TO USE PREFABRICATED PORTABLE CONCRETE WASHOUT SYSTEMS / CONTAINERS WITH A MINIMUM SUMP CAPACITY OF 2 CU YDS.
- PLACE INLET PROTECTION DEVICES AT ALL INLETS SPECIFIED ON THE SITE GRADING PLAN.
- CONSTRUCT SIDEWALKS AND DRIVEWAY.
- REMOVE TEMPORARY EROSION CONTROL DEVICES AND MEASURES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

**EROSION CONTROL LEGEND:**



**EROSION CONTROL KEY:**





1116 N. White Street, Suite 202, Peoria, IL 61602  
301.424.0030

**CONTRACTOR CONTACT:**  
 18 ANCHOR TECH, LLC AN ANCHOR INDUSTRIES  
 11500 Sycamore Road, Peoria, IL 61614  
 301.288.5447  
 18 ANCHOR INDUSTRIES, LLC  
 11500 Sycamore Road, Peoria, IL 61614  
 301.288.5447



5-12-2018

FOR PERMITTING ONLY  
 SIGNED: CONSTRUCTION MANAGER  
 Siwek



**meijer**  
 STORE #182 MNOR RESET  
 MEIJER PROJECT #:  
 CP-18-00-182  
 855 S. Randall Road  
 St. Charles, IL 60174  
 2018 MNOR RESET

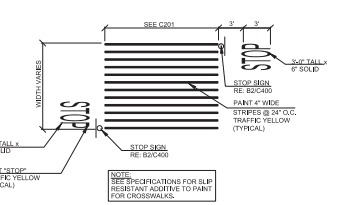
REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NO. 1701812  
 ISSUE DATE: 09/10/2018

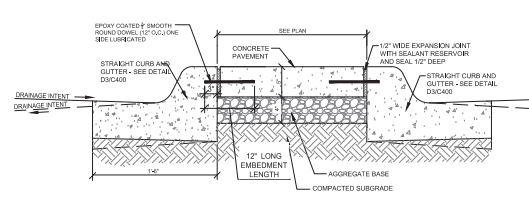
SUBMITTAL  
 (Sd) Permits and Construction Set

Site Grading and  
 Utility Plan

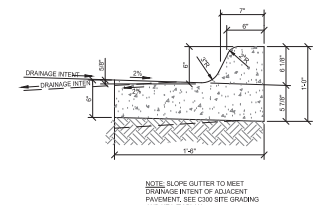
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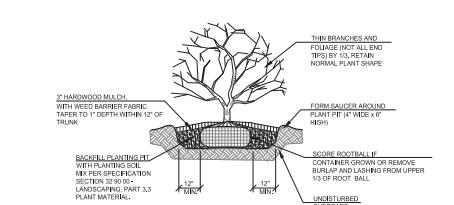
**D1 CROSSWALK STRIPING PLAN**  
NTS



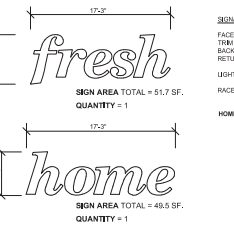
**D2 CONCRETE MEDIAN WITH CURB AND GUTTER**  
NTS



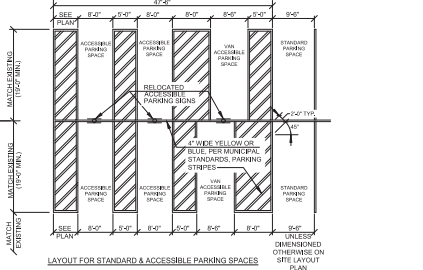
**D3 STRAIGHT CURB AND GUTTER**  
NTS



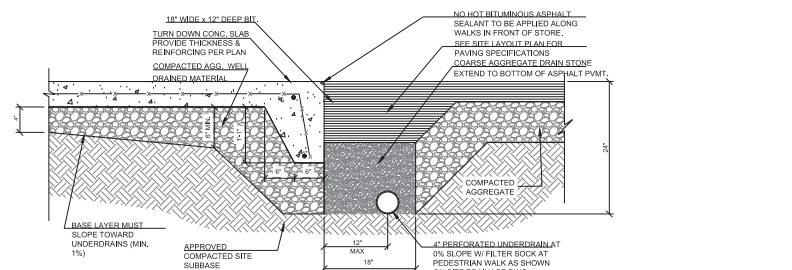
**D4 SHRUB PLANTING**  
NTS



**C1 "HOME" AND "FRESH" SIGNS**  
NTS

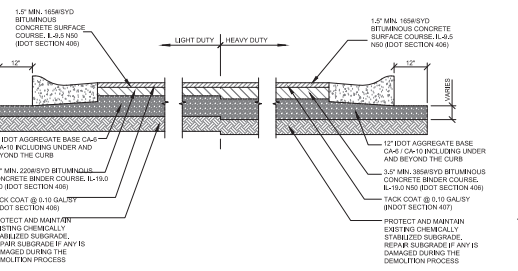


**C2 STD & ACCESSIBLE PARK SPACES**  
NTS

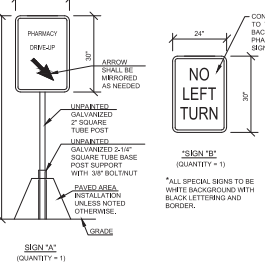


**C3 BITUMINOUS PAVEMENT EDGE WITH UNDERDRAIN**  
NTS

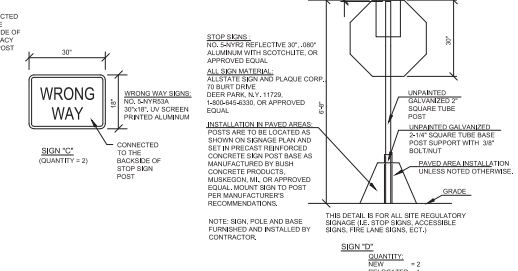
- NOTES:**
- ALL ITEM NUMBERS REFER TO STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - THE SURFACE FOR BOTH TYPES CAN BE COMPLETED AT THE SAME TIME. ALL PAVEMENT JOINTS SHOULD BE SQUARE WITHOUT FEATHERING.
  - SEE SPECIFICATIONS FOR MODIFICATIONS TO STANDARD BITUMINOUS DOT 1 MIXES.
  - ANY EXISTING PAVEMENT REMOVED SHALL BE SAWCUT FULL DEPTH AND RESTORED TO MATCH THE EXISTING PAVEMENT CROSS SECTION WITH THE CROSS SECTION SHOWN IN THE DETAIL, AS A MINIMUM.
  - AFTER BITUMINOUS PAVEMENT HAS BEEN REPLACED, SAWCUT OR ROUTE JOINT BETWEEN EXISTING AND NEW PAVEMENT AND FILL HOT FOURSURE RUBBER JOINT SEALER PRODUCT, AND FOURSURE RUBBER JOINT SEALER SHALL BE ONE OF THE FOLLOWING OR APPROVED EQUAL:
    - ROADSEALER 921 CRAFTCO INC. PRODUCT #908 F 8000; KOCH MATERIAL COMPANY
    - BEALIGHT H-SP-2C; WJL WEADOWS, INC.
    - ELASTOROL EX 63 BY MAXWELL PRODUCTS.



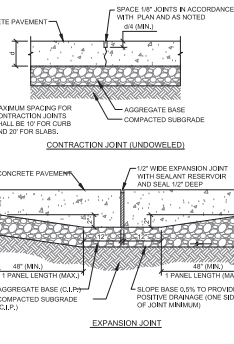
**B1 LIGHT DUTY/HEAVY DUTY PAVEMENT SECTION**  
NTS



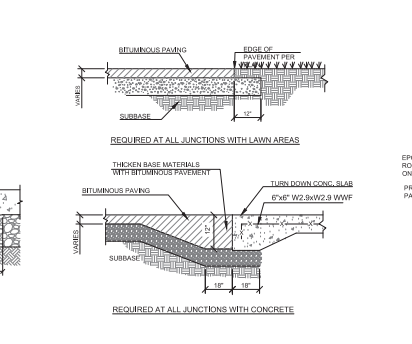
**B2 TRAFFIC CONTROL SIGNAGE**  
NTS



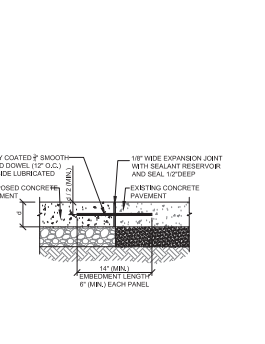
**B3 "PHARMACY DRIVE-UP" SIGN**  
NTS



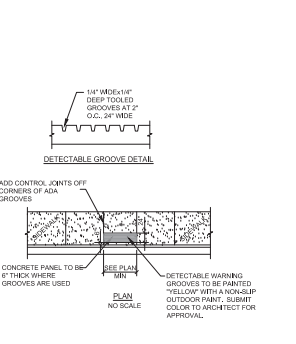
**A1 CONCRETE JOINT DETAILS**  
NTS



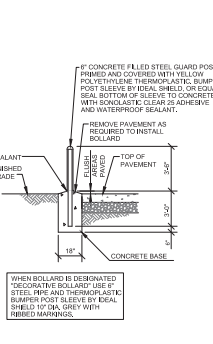
**A2 PAVEMENT EDGE DETAILS**  
NTS



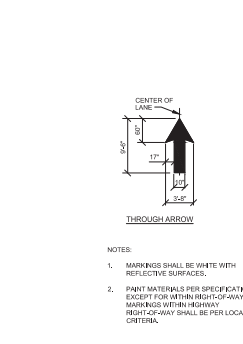
**A3 DOWELED BUTT JOINT DETAIL**  
NTS



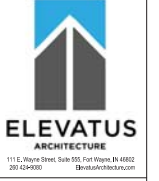
**A4 DETECTABLE WARNING AREA**  
NTS



**A5 GUARD POST DETAIL**  
1/2" = 1'-0"



**A6 PAVEMENT MARKING**  
NTS



**ELEVATUS ARCHITECTURE**  
111 E. Wacker Drive, Suite 910, Fort Worth, TX 76102  
817.454.9000  
www.elevatusarch.com



**Siwek CONSTRUCTION**  
11000 Industrial Road, Fort Worth, TX 76185  
817.326.7943 • 817.326.7977  
www.siwekconstruction.com



**STORE #182 MNOR RESET**  
MEIJER PROJECT #:  
CP-18-00-182  
855 S. Randall road  
St. Charles, IL 60174  
2018 MNOR RESET

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NO. 170912 ISSUE DATE 09/30/2018  
SUBMITTAL Bl, Permits and Construction Set

Site Details

**C400**

April 2, 2018 10:07 AM  
C:\Users\jhebert\OneDrive\Documents\1812\_SITP\Drawings\Plan\1812-C400\_Site\_Details.dwg






**ELEVATUS**  
ARCHITECTURE  
111 E. Wacker Drive, Suite 500, Fort Wayne, IN 46802  
317.424.4500  
ElevatusArchitecture.com



**PRIMARY**  
ENGINEERING INC.  
Fort Wayne  
200 S. Wacker  
Fort Wayne, Indiana 46802  
317.424.4500  
primaryeng.com  
indianapolis

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CONSULTANT

SEAL



062-057294  
LICENSED  
PROFESSIONAL  
ENGINEER  
Andrew J. Anderson

OWNER'S CONSTRUCTION MANAGER



**Siwek**  
CONSTRUCTION  
2020 Progress Road • Ellettsville, IN 47420  
812.736.7642 • Fax: 812.736.7787



**meijer**

STORE #182 MINOR  
RESET

MEJER PROJECT #:  
CP-18-00182

855 S Randall Rd  
St Charles, IL 60174

2018 STORE REFRESH

REVISIONS

NO.	DESCRIPTION	DATE

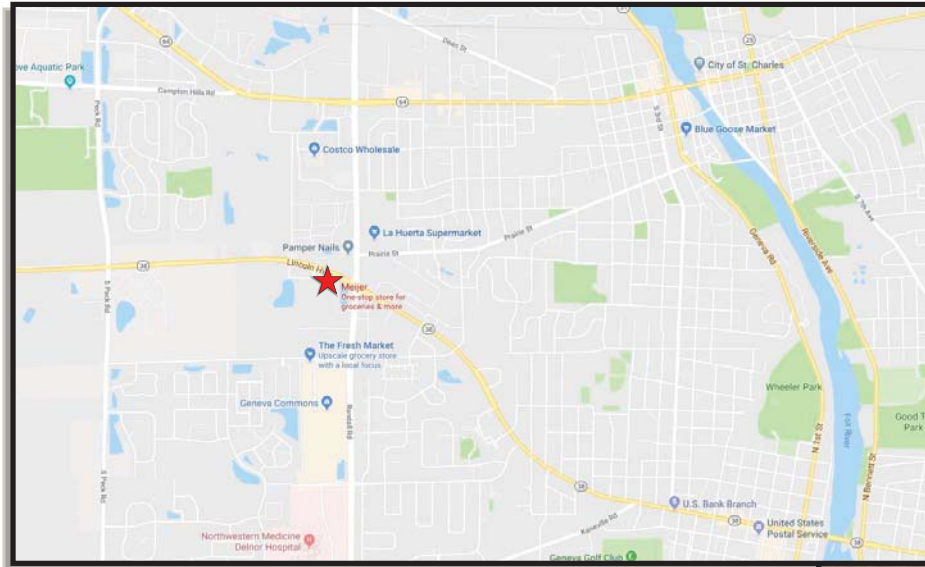
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ISSUE DATE 04/02/2018  
SUBMITTAL  
Issue for Bids, Permits, & Construction

Electrical Site Plan

ES102

# meijer

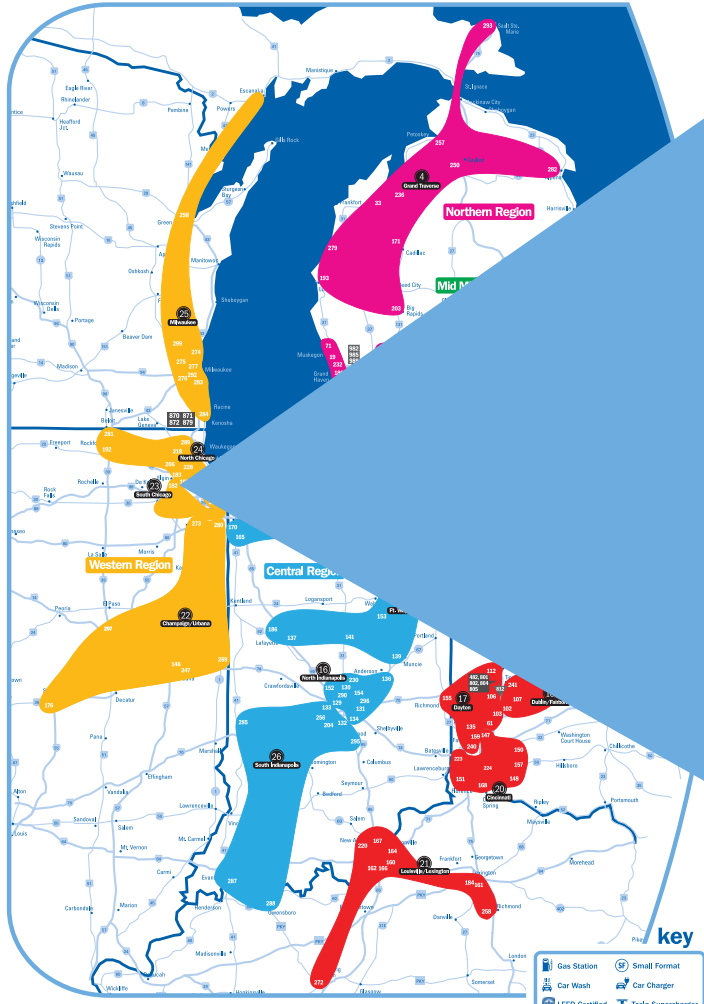
**Meijer #182**  
855 S. Randall Rd.  
St. Charles, IL 60174



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# meijer 2017 stores



For location addresses, visit the [Meijer Portal Site](#) Properties, Real Estate & Procurement > Services > Meijer Unit Addresses

**key**

- Gas Station
- Small Format
- Car Wash
- Car Charger
- LEED Certified
- Tesla Supercharger

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**HARMONSIGN DIVISION**  
419.841.6656 / 800.338.9773  
www.allenindustries.com

**Directional Reference**



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD  
**PROJECT MGR** REBEKAH SZCZERBIAK

**DRAWING #** MJR.182  
**SCALE** NTS  
**FILENAME** MEIJER-STCHARIL-18-STORES

**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION #** 00

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.  
 Approved  Approved as Noted  Revise & Resubmit  
**Name:** \_\_\_\_\_  
**Title:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Declaration**

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# Signage Location Plan



MEIJER #182  
855 S RANDALL RD  
ST. CHARLES IL 60174

EXISTING SIGN	NEW SIGN	PHOTO #	DESCRIPTION	SqFt
E1	N1	1; 2	MEIJER LIGHTED LETTERS	395.67
E2	N2	3; 4	FRESH LIGHTED LETTERS	51.7
E3	N3	5; 6	HOME LIGHTED LETTERS	49.5
E4	N/A	7; 8	US BANK	N/A
E5	N/A	3; 4	STARBUCKS	N/A
E6	N4	10; 12	PHARMACY NONLIGHTED LETTERS	30.74
E7	N/A	11; 12	GARDEN CENTER	N/A
E8	N5	13; 14	GAS STATION CANOPY	14.6
E9	N6	15; 17	GAS STATION CANOPY	14.6
E10	N7	18; 20	GAS STATION CANOPY	14.6
E11	N/A	21	NON LIGHTED WELCOME	N/A
E12	N8/N9	24; 25	MONUMENT FACE REPLACEMENT	57.56
E13	N10/N11	22; 23	MONUMENT FACE REPLACEMENT	57.56
E14	N12	26; 27	GAS STATION PRICER	70.625
N/A	N13	N/A	GAS STATION BANDING	N/A
<b>TOTAL NEW SIGNAGE SqFt</b>				<b>757.16</b>

### Directional Reference



**CUSTOMER** MEIJER #182  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD  
**PROJECT MGR** REBEKAH SZCZERBIAK

**DRAWING #** MJR.182  
**SCALE** NTS  
**FILENAME** MEIJER-STCHARIL-18-SP

**DRAWN BY** KARA FREY  
**DATE** 2-19-18  
**REVISION #** 2-28-18 3-8-18 4-3-18

### Client Review Status

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Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

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**E1 - East Elevation - Lighted Letters**  
**EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: N1 Meijer Lighted Letters**

**SIGN TYPE** LIGHTED LETTERS

**PHOTO #** 1;2

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 25'

**CABINET/LETTER HEIGHT:** 86" M

**OVERALL SIGN LENGTH:** 47' 7"

**CABINET/LETTER DEPTH:** 7-1/4"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E1  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 2-21-18 3-9-18

**ADDITIONAL COMMENTS:**

- Faces stapled to retainers
- Self contained primary back wiring behind sheet metal backer
- F moulding retainers attached to faces
- Rivets inside through flange & into plex
- Second surface vinyl
- Replace with new
- Re use existing backer
- Backer repainted by others

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Title: \_\_\_\_\_

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# N1 - Lighted Letters



**ELEVATION**



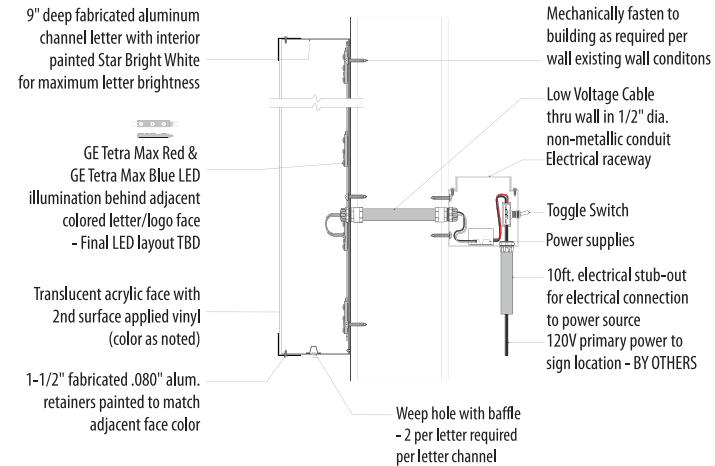
**INSTALLED RENDERING NEW SIGN**

**"MEIJER" COPY:**

- FACES:** .177 Clear polycarbonate with 2nd surface applied Translucent Red vinyl overlays
- RETAINERS:** 1-1/2" fabricated .080" alum. retainers painted Red (per spec)
- BACKS:** .100" alum. - interior painted Star Brite White
- RETURNS:** 9" deep fabricated .063" alum. - interior painted Star Brite White, exterior painted Red (per spec)
- LIGHTING:** GE Tetra Max Red LED (qty. & layout as req. by manufacturer)
- DOTS :**
- FACES:** .177 Clear polycarbonate with 2nd surface applied Translucent Red vinyl overlays
- RETAINERS:** 1-1/2" fabricated .080" alum. retainers painted Red (per spec)
- BACKS:** .100" alum. - interior painted Star Brite White
- RETURNS:** 9" deep fabricated .063" alum. - interior painted Star Brite White, exterior painted Red (per spec)
- LIGHTING:** GE Tetra Max Red LED (qty. & layout as req. by manufacturer)

**GENERAL SPECS:**

- Letters flush mounted to existing backer; mechanical fasteners as required
  - Remote located LED power supplies (in box as required)
  - 120V primary electrical feed with disconnect by others
  - All paint finishes to be high gloss
  - Re use existing backer - (OTHERS TO REPAINT BACKER)
- Allowable Signage: 410 sf  
New Signage: 395.67 sf



**SECTION DETAIL**

Not to Scale

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419.841.6656 / 800.338.9773  
www.allenindustries.com

**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/4" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-LL N1  
**DRAWN BY** KARA FREY  
**DATE** 2-15-18  
**REVISION #** 2-21-18 2-28-18 3-8-18 4-3-18

**SIGN TYPE** LIGHTED LETTERS

**QUANTITY** 1

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**ARTWORK**

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

**COLORS:**

- P1 Star Brite White #83990
- P2 Alzo Red to match 3M 3635-33 Red
- P3 Alzo Red to match PMS 286 C Blue
- V1 3M 3635-70 White Diffuser Vinyl
- V2 3M 3635-33 Red (trans) Vinyl
- V3 3M 3635-97 Brilliant Blue (trans) Vinyl

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**FACE**

- SINGLE
- DOUBLE

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

**ADDITIONAL NOTES**  
N/A

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

**Declaration**

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**E2 - East Elevation - Non Lighted Letters**  
**EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: N2 FRESH Lighted Letters**

**SIGN TYPE** NON LIGHTED LETTERS

**PHOTO #** 3;4

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: SW 7499U

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 12' 9"

**CABINET/LETTER HEIGHT:** 18"

**OVERALL SIGN LENGTH:** 8'

**CABINET/LETTER DEPTH:** 1"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E2  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION #** 2-21-18 2-28-18 3-20-18

**ADDITIONAL COMMENTS:**

- REMOVED BY OTHERS
- Patch, paint & repair by others

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

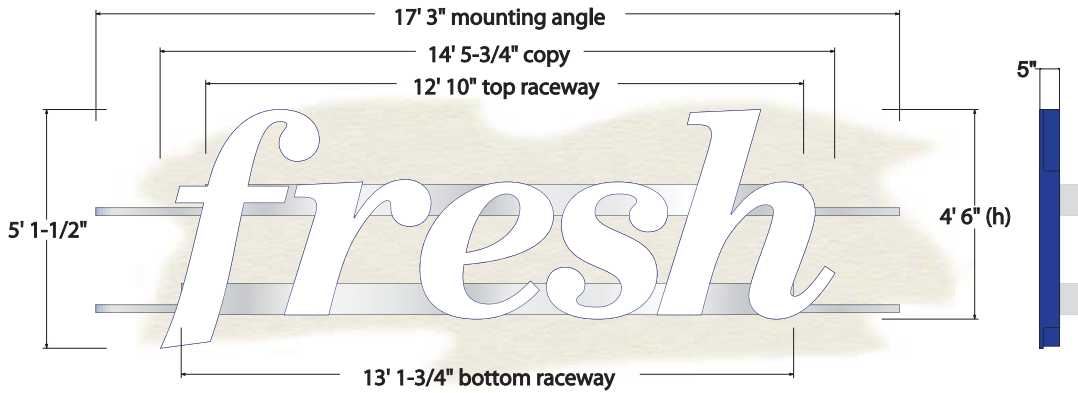
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

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## N2 - Lighted Channel Letters



**ELEVATION - N2**

**END VIEW**



**LETTER SPECS:**

- FACES:** .177 White polycarbonate
- TRIM CAP:** 1" White Jewelite trim cap, painted as noted
- BACKS:** .063" alum. - prefinished White interior
- RETURNS:** 5" deep .040" alum. - prefinished White interior, exterior painted as noted
- LIGHTING:** GE Tetra Max WHITE LED (qty. & layout as req. by manufacturer)
- RACEWAY:** 8"H brake-formed .063" aluminum, painted as noted

**GENERAL SPECS:**

- Raceway mounted letters mounted to upper glass of entry tower
- New channel letters to be installed on pre-mounted 2" angle by Allen
- Installation of 2" angle to mullions by others, Allen to provide mounting patterns only
- LED power supplies contained within raceway
- 120V primary electrical feed with disconnect by others
- Existing signage: N/A
- New signage: 51.7 SF



**CUSTOMER:** MEIJER  
**LOCATION:** ST CHARLES, IL  
**ADDRESS:** 855 S RANDALL RD

**SALESPERSON:** PM REBEKAH SZCZERBIAK  
**DRAWING #:** 00

**SCALE:** 3/8" = 1'-0"  
**FILENAME:** MEIJER-STCHARIL-18-LL N2  
**DRAWN BY:** KARA FREY  
**DATE:** 2-28-18  
**REVISION#:** 3-8-18 4-3-18

**SIGN TYPE:** LIGHTED LETTERS

**QUANTITY:** 1

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**ARTWORK**

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

**COLORS:**

- WHITE
- PANTONE 286 BLUE
- AKZO NOBEL BRUSHED ALUMINUM

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**FACE**

- SINGLE
- DOUBLE

**LIGHTING**

- LIGHTED
  - NON-LIGHTED
- TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE:** N/A

**SITE MEASUREMENTS:** N/A

**ADDITIONAL NOTES:** N/A

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

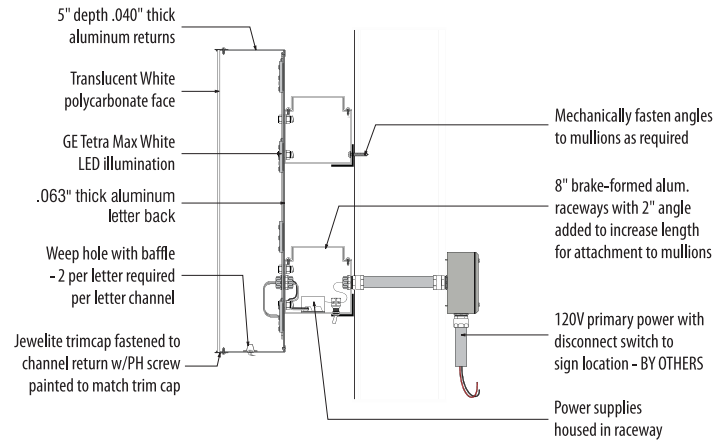
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**INSTALLED RENDERING NEW SIGN**



**SECTION DETAIL**

Not to Scale

**E3 - East Elevation - Non Lighted Letters  
EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: N3 HOME Lighted Letters**

**SIGN TYPE** NON LIGHTED LETTERS

**PHOTO #** 5;6

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: SW 7499U

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 12' 9"

**CABINET/LETTER HEIGHT:** 18"

**OVERALL SIGN LENGTH:** 8'

**CABINET/LETTER DEPTH:** 1"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E2  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 2-21-18 2-28-18 3-20-18

**ADDITIONAL COMMENTS:**

- REMOVED BY OTHERS
- Patch, paint & repair by others

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

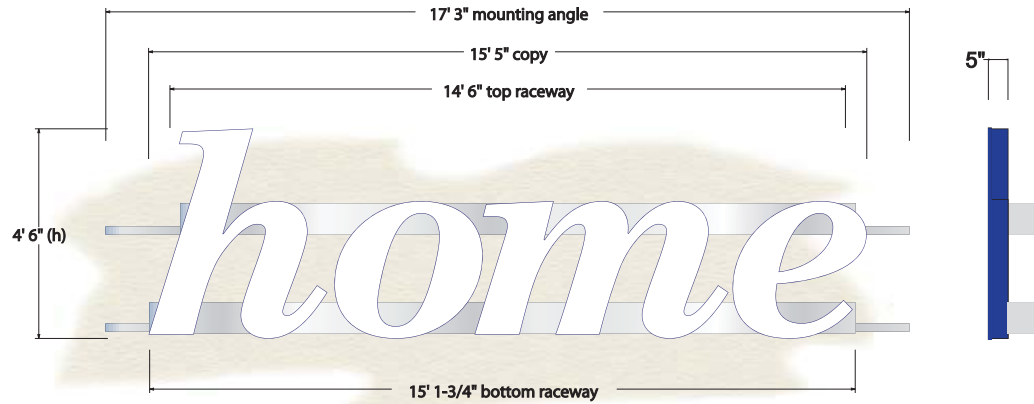
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

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# N3 - Lighted Channel Letters



**ELEVATION - N3**

**END VIEW**



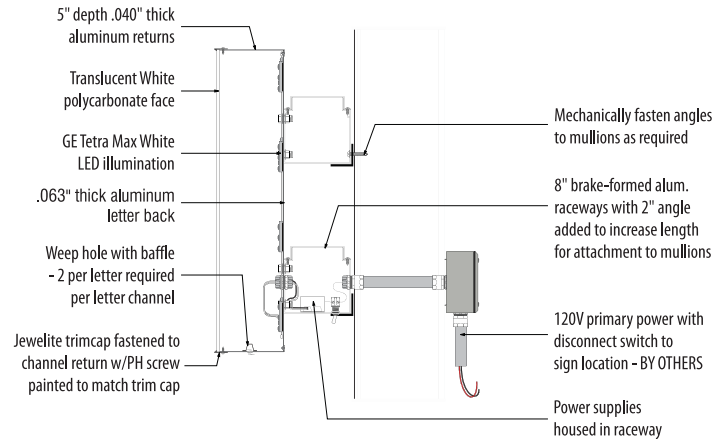
**INSTALLED RENDERING NEW SIGN**

**LETTER SPECS:**

- FACES:** .177 White polycarbonate
- TRIM CAP:** 1" White Jewelite trim cap, painted as noted
- BACKS:** .063" alum. - prefinished White interior
- RETURNS:** 5" deep .040" alum. - prefinished White interior, exterior painted as noted
- LIGHTING:** GE Tetra Max White LED (qty. & layout as req. by manufacturer)
- RACEWAY:** 8"H brake-formed .063" aluminum, painted as noted

**GENERAL SPECS:**

- Raceway mounted letters mounted to upper glass of entry tower
- New channel letters to be installed on pre-mounted 2" angle by Allen
- Installation of 2" angle to mullions by others; Allen to provide mounting pattern only
- LED power supplies contained within raceway
- 120V primary electrical feed with disconnect by others
- Existing signage: N/A
- New signage: 49.5 SF



**SECTION DETAIL**

Not to Scale

**Allen Industries**  
YOUR BRAND AT ITS BEST™

**HARMONSIGN DIVISION**

419.841.6656 / 800.338.9773  
www.allenindustries.com

**CUSTOMER:** MEIJER  
**LOCATION:** ST CHARLES, IL  
**ADDRESS:** 855 S RANDALL RD

**SALESPERSON:** PM REBEKAH SZCZERBIAK  
**DRAWING #:** 00

**SCALE:** 3/8" = 1'-0"  
**FILENAME:** MEIJER-STCHARIL-18-LL N3  
**DRAWN BY:** KARA FREY  
**DATE:** 2-28-18  
**REVISION #:** 3-8-18 4-3-18

**SIGN TYPE:** LIGHTED LETTERS

**QUANTITY:** 1

- GRAPHICS**
- DIGITAL PRINT
  - VINYL
  - PAINTED

- ARTWORK**
- PRODUCTION READY
  - PRESENTATION ONLY
  - NETWORK

- COLORS:**
- WHITE
  - PANTONE 286 BLUE
  - AKZO NOBEL BRUSHED ALUMINUM

- MOUNTING**
- FLUSH
  - RACEWAY
  - FLAG MOUNTED
  - STAND-OFFS
- FACE**
- SINGLE
  - DOUBLE

- LIGHTING**
- LIGHTED
  - NON-LIGHTED
- TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE:** N/A

**SITE MEASUREMENTS:** N/A

**ADDITIONAL NOTES:** n/a

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

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**E4 - East Elevation - Lighted Cabinet**  
**EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: Existing to Remain**

**SIGN TYPE** LIGHTED CABINET

**PHOTO #** 7;8

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUNDED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: SW 7499U

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** N/A

**CABINET/LETTER HEIGHT:** 36"

**OVERALL SIGN LENGTH:** 9'

**CABINET/LETTER DEPTH:** N/A

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E4  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18 4-3-18

**ADDITIONAL COMMENTS:**

- NO ACTION

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

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**E5 - East Elevation - Lighted Sign**  
**EXISTING**



**Day Photo**

**Replaced by: Existing to Remain**

**SIGN TYPE** LIGHTED SIGN

**PHOTO #** 9

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** N/A

**CABINET/LETTER HEIGHT:** 48"

**OVERALL SIGN LENGTH:** 48"

**CABINET/LETTER DEPTH:** 6"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E5  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18 4-3-18

**ADDITIONAL COMMENTS:**

- NO ACTION

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

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**E6 - East Elevation - Non Lighted Letters  
EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: N4 Pharmacy Non Lighted Letters**

**SIGN TYPE** NON LIGHTED LETTERS

**PHOTO #** 10; 12

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** N/A

**CABINET/LETTER HEIGHT:** 18"

**OVERALL SIGN LENGTH:** 8'

**CABINET/LETTER DEPTH:** 1"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E6  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18

**ADDITIONAL COMMENTS:**

- REMOVED BY OTHERS
- Patch, paint & repair by others

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

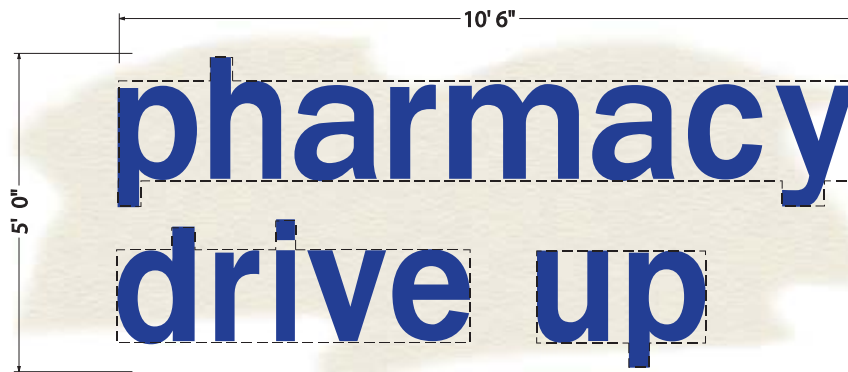
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

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## N4 - Non-Lighted Letters



**ELEVATION**



**END VIEW**

### SIGNAGE SPECS:

- #10 pound 1" deep sign foam routed flat cut letters
- Faces & returns painted **PMS 286 C Blue**
- Flush mounted with 1/4"-20 aluminum threaded (rod) stud fasteners in silicone filled holes
- Minimum (3) fasteners per letter

### GENERAL SPECS:

- Non Lighted Letters flush mounted to building
- Installation by Allen
- Existing signage: N/A
- New signage: **30.74 ft<sup>2</sup>**



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-NLL N4  
**DRAWN BY** KARA FREY  
**DATE** 2-15-18  
**REVISION#** 2-28-18 4-3-18

**SIGN TYPE** NON-LIGHTED LETTERS

**QUANTITY** 1

### GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

### ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

### COLORS:

- PANTONE 286 C BLUE

### MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

### FACE

- SINGLE
- DOUBLE

### LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

**ADDITIONAL NOTES**  
N/A

### Client Review Status

Approved drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

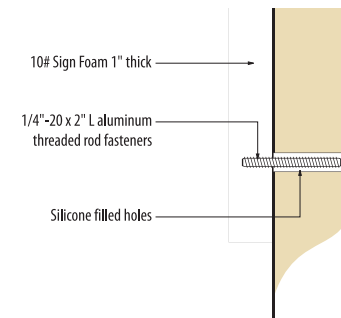
Name: \_\_\_\_\_ Date: \_\_\_\_\_

### Declaration

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**INSTALLED RENDERING NEW SIGN**



**SECTION DETAIL (not to scale)**

**E7 - East Elevation - Non Lighted Letters**  
**EXISTING**



Day Photo



Night Photo

**Replaced by: Removal by Others**

**SIGN TYPE** NON LIGHTED LETTERS

**PHOTO #** 11; 12

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** N/A

**CABINET/LETTER HEIGHT:** 18"

**OVERALL SIGN LENGTH:** 12' 10-1/2"

**CABINET/LETTER DEPTH:** 1"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E7  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18 4-3-18

**ADDITIONAL COMMENTS:**

- REMOVED BY OTHERS
- Patch, paint & repair by others

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

**Declaration**

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**E8 - East Elevation - Gas Canopy**  
**EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: N5 Gas Canopy Replacement Face**

**SIGN TYPE** LIGHTED SIGN

**PHOTO #** 13; 14

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 18'

**CABINET/LETTER HEIGHT:** 48"

**OVERALL SIGN LENGTH:** 9' 9-3/4"

**CABINET/LETTER DEPTH:** N/A

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E8  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18

**ADDITIONAL COMMENTS:**

- New cabinet & LED retrofit
- 1" bends on all sides
- (2) F96T12CW-HW lamps (existing)
- 1 Ballast (existing)

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

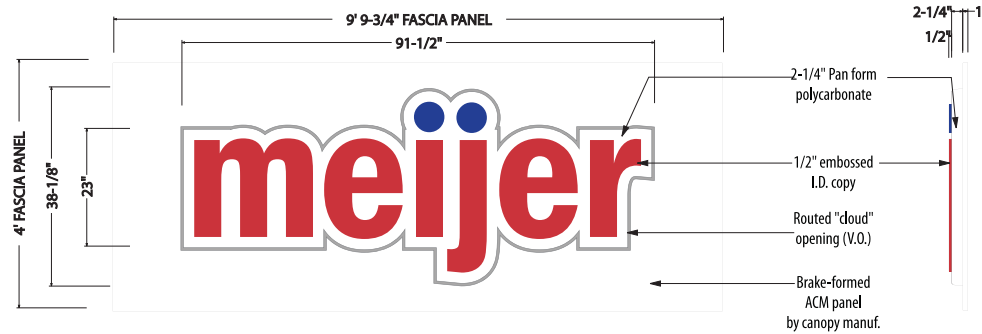
Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Title: \_\_\_\_\_

**Declaration**

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## N5 (East) - Replacement Face w/ Embossed Canopy Logo



**ELEVATION**

**END VIEW**



**INSTALLED RENDERING NEW SIGN**

### REFURBISH SIGNAGE SPECS:

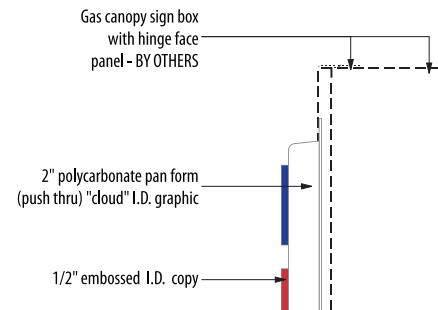
- Replacement face panels for back-lighted gas canopy sign
- Brake-formed ACM panel with routed "cloud" I.D. logo painted PAC CLAD Bone White (*panel by canopy manufacturer*)
- Pan form embossed polycarbonate I.D. logo pushed thru pan
- Copy & dots 1/2" embossed
- 2nd surface color decoration and back sprayed White
- GE Tetra Max White LED lighting kit (replaces fluorescent)
  - Qty. 27 modules - GEMX2471-W1
  - Qty. 1 - GEPS24-100U-NA power supplies 1.1 amps each max input @ 120V

### GENERAL SPECS:

- Aluminum face replacement with routed push thru logo
- Removal and Installation by Allen
- Canopy painted white by others
- Existing signage: 14.6 SF
- New signage: 14.6 SF
- All paint high gloss

### ELECTRICAL / POWER NOTES:

- GE Tetra Max White LED lighting (replaces fluorescent)
- POWER: (system draws) 1.1 amps total @ 120V**
- Re-use *EXISTING* 120V primary power in *EXISTING* sign



**SECTION DETAIL (Not To Scale)**



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18- LS N5  
**DRAWN BY** KARA FREY  
**DATE** 2-15-18  
**REVISION #** 00

**SIGN TYPE** LIGHTED PANFORM SIGN

**QUANTITY** 1

#### GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

#### ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

#### COLORS:

- PANTONE 1797 C
- PANTONE 286 C BLUE
- PAC CLAD BONE WHITE

#### MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

#### FACE

- SINGLE
- DOUBLE

#### LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

**ADDITIONAL NOTES**  
N/A

#### Client Review Status

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

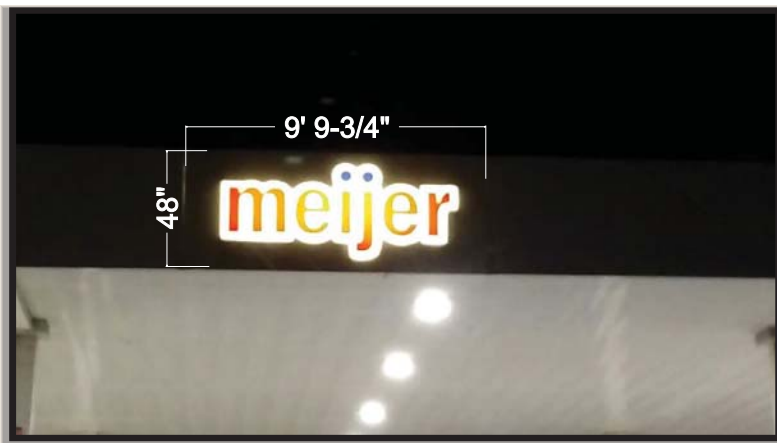
#### Declaration

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**E9 - North Elevation - Gas Canopy**  
**EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: N6 Gas Canopy Replacement Face**

**SIGN TYPE** LIGHTED SIGN

**PHOTO #** 15; 17

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 18'

**CABINET/LETTER HEIGHT:** 48"

**OVERALL SIGN LENGTH:** 9' 9-3/4"

**CABINET/LETTER DEPTH:** N/A

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
- 277 VOLT

CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E9  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18

**ADDITIONAL COMMENTS:**

- New cabinet & LED retrofit
- 1" bends on all sides
- (2) F96T12CW-HW lamps (existing)
- 1 Ballast (existing)

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

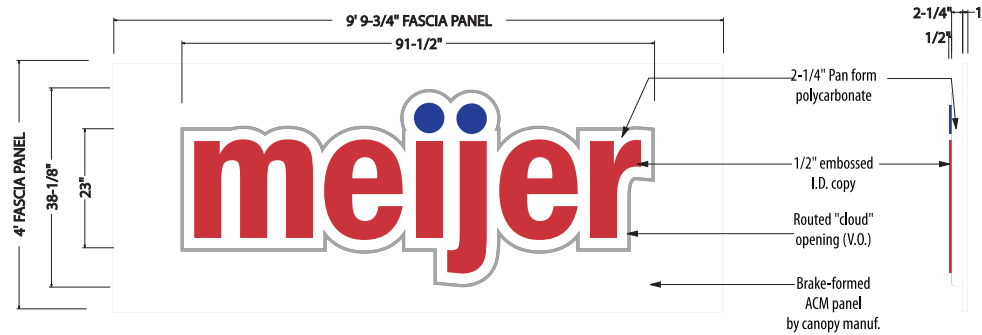
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

**Declaration**

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## N6 (North) - Replacement Face w/ Embossed Canopy Logo



**ELEVATION**

**END VIEW**



**INSTALLED RENDERING NEW SIGN**

### REFURBISH SIGNAGE SPECS:

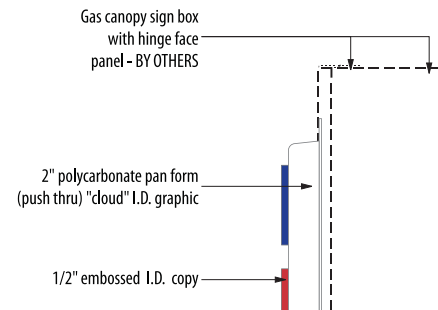
- Replacement face panels for back-lighted gas canopy sign
- Brake-formed ACM panel with routed "cloud" I.D. logo painted PAC CLAD Bone White (*panel by canopy manufacturer*)
- Pan form embossed polycarbonate I.D. logo pushed thru pan
- Copy & dots 1/2" embossed
- 2nd surface color decoration and back sprayed White
- GE Tetra Max White LED lighting kit (replaces fluorescent)
  - Qty. 27 modules - GEMX2471-W1
  - Qty. 1 - GEPS24-100U-NA power supplies 1.1 amps each max input @ 120V

### GENERAL SPECS:

- Aluminum face replacement with routed push thru logo
- Removal and Installation by Allen
- Canopy painted white by others
- Existing signage: 14.6 SF
- New signage: 14.6 SF
- All paint high gloss

### ELECTRICAL / POWER NOTES:

- GE Tetra Max White LED lighting (replaces fluorescent)
- POWER: (system draws) 1.1 amps total @ 120V**
- Re-use *EXISTING* 120V primary power in *EXISTING* sign



**SECTION DETAIL (Not To Scale)**

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**HARMONSIGN DIVISION**

419.841.6656 / 800.338.9773  
www.allenindustries.com

**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18- LS N6  
**DRAWN BY** KARA FREY  
**DATE** 2-15-18  
**REVISION #** 00

**SIGN TYPE** LIGHTED PANFORM SIGN

**QUANTITY** 1

#### GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

#### ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

#### COLORS:

- PANTONE 1797 C
- PANTONE 286 C BLUE
- PAC CLAD BONE WHITE

#### MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

#### FACE

- SINGLE
- DOUBLE

#### LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

**ADDITIONAL NOTES**  
N/A

#### Client Review Status

Approved\* drawing to be obtained from client prior to any production release or production revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_

#### Declaration

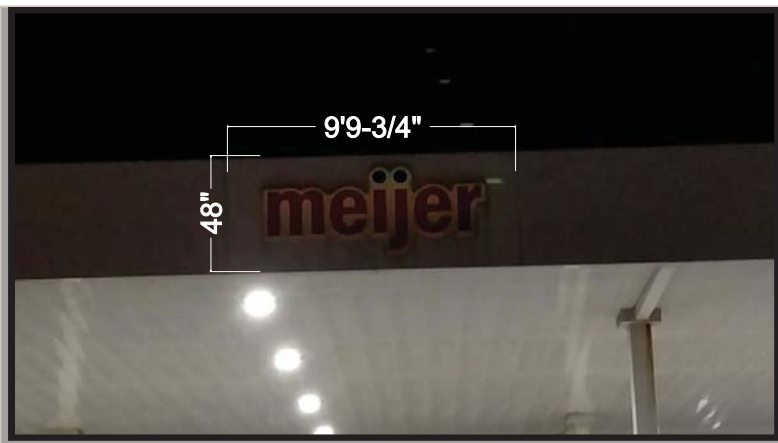
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**E10 - South Elevation - Gas Canopy**  
**EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: N7 Gas Canopy Replacement Face**

**SIGN TYPE** LIGHTED SIGN

**PHOTO #** 18; 20

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 18'

**CABINET/LETTER HEIGHT:** 48"

**OVERALL SIGN LENGTH:** 9' 9-3/4"

**CABINET/LETTER DEPTH:** N/A

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
- 277 VOLT

CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E10  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18

**ADDITIONAL COMMENTS:**

- New cabinet & LED retrofit
- 1" bends on all sides
- (2) F96T12CW-HW lamps (existing)
- 1 Ballast (existing)

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

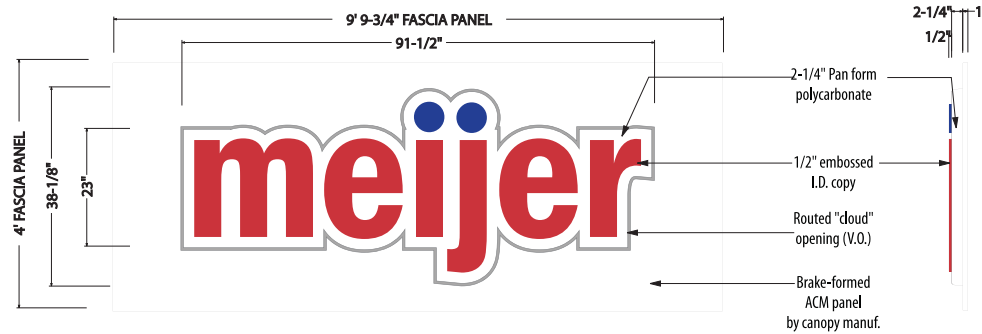
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

**Declaration**

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## N7 (South) - Replacement Face w/ Embossed Canopy Logo



**ELEVATION**

**END VIEW**



**INSTALLED RENDERING NEW SIGN**

### REFURBISH SIGNAGE SPECS:

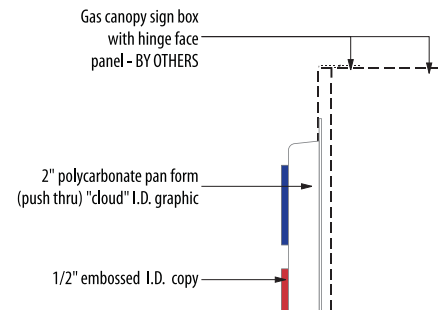
- Replacement face panels for back-lighted gas canopy sign
- Brake-formed ACM panel with routed "cloud" I.D. logo painted PAC CLAD Bone White (*panel by canopy manufacturer*)
- Pan form embossed polycarbonate I.D. logo pushed thru pan
- Copy & dots 1/2" embossed
- 2nd surface color decoration and back sprayed White
- GE Tetra Max White LED lighting kit (replaces fluorescent)
  - Qty. 27 modules - GEMX2471-W1
  - Qty. 1 - GEPS24-100U-NA power supplies 1.1 amps each max input @ 120V

### GENERAL SPECS:

- Aluminum face replacement with routed push thru logo
- Removal and Installation by Allen
- Canopy painted white by others
- Existing signage: 14.6 SF
- New signage: 14.6 SF
- All paint high gloss

### ELECTRICAL / POWER NOTES:

- GE Tetra Max White LED lighting (replaces fluorescent)
- POWER: (system draws) 1.1 amps total @ 120V**
- Re-use *EXISTING* 120V primary power in *EXISTING* sign



**SECTION DETAIL (Not To Scale)**

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**HARMONSIGN DIVISION**  
419.841.6656 / 800.338.9773  
www.allenindustries.com

**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18- LS N7  
**DRAWN BY** KARA FREY  
**DATE** 2-15-18  
**REVISION #** 00

**SIGN TYPE** LIGHTED PANFORM SIGN

**QUANTITY** 1

#### GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

#### ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

#### COLORS:

- PANTONE 1797 C
- PANTONE 286 C BLUE
- PAC CLAD BONE WHITE

#### MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

#### FACE

- SINGLE
- DOUBLE

#### LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

**ADDITIONAL NOTES**  
N/A

#### Client Review Status

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

#### Declaration

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**E9 - East Elevation - Nonlighted Letters**  
**EXISTING**



**Day Photo**

**Replaced by: Existing to Remain**

**SIGN TYPE** NONLIGHTED LETTERS

**PHOTO #** 21

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: N/A

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** N/A

**CABINET/LETTER HEIGHT:** N/A

**OVERALL SIGN LENGTH:** N/A

**CABINET/LETTER DEPTH:** N/A

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E11  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18 4-3-18

**ADDITIONAL COMMENTS:**

-NO ACTION

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

**Declaration**

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**E12 - North Elevation - Monument**  
**EXISTING**



Day Photo



Night Photo

**Replaced by: N8/N9 Monument Face Replacement**

**SIGN TYPE** LIGHTED MONUMENT SIGN

**PHOTO #** 24; 25

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 36"

**CABINET/LETTER HEIGHT:** 4' 8"

**OVERALL SIGN LENGTH:** 12' 4"

**CABINET/LETTER DEPTH:** 24-1/2"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E12  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18

**ADDITIONAL COMMENTS:**

- 14 F48T12CW - HO lamps
- 3 ballasts
- Step down transformer inside sign
- 3M wedge clamp clips
- Replace faces & LED Retrofit

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

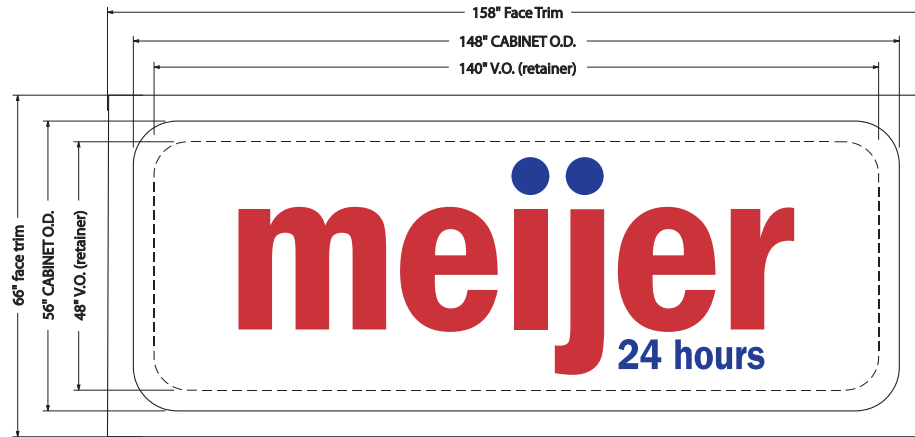
Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

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## N8/N9 - Lighted Face Replacement & Cabinet Repaint



**ELEVATION**



**EXISTING SIGN**



**RENDERING REFRUBISHED SIGN**

### REFURBISHED SIGNAGE SPECS:

- 3M Flex face replacement w/ vinyl graphics (Meijer)
- GE Line Fit LED Retrofit lighting kit (replaces fluorescent)
  - Qty. 10 - 48" Sign White LED Lamps (5400k)
  - Qty. 3 - GEPS24-100U-NA power supplies  
1.1 amps each max input @ 120V
- EXISTING D/F cabinet repainted to match PMS 286 BLUE
- All paint finishes to be high gloss

### GENERAL SPECS:

- Flex face replacements
- Removal & installation by Allen Industries
- Existing signage: 56.76 SF
- New signage: 56.76 SF

### ELECTRICAL / POWER NOTES:

- GE Line Fit LED Retrofit lighting kit (replaces fluorescent)
  - POWER: (system draws) 3.3 amps total @ 120V**
- Re-use *EXISTING* 120V primary power in *EXISTING* sign



**CUSTOMER** MEIJER  
**LOCATION** LUDINGTON, MI  
**ADDRESS** 3900 W US HWY 10

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-FR N8N9  
**DRAWN BY** KARA FREY  
**DATE** 2-19-18  
**REVISION#** 00

**SIGN TYPE** FACE REPLACEMENT

**QUANTITY** 2

#### GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

#### ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

#### COLORS:

- PANTONE 286 C BLUE/3M 3630-97 BRISTOL BLUE
- PANTONE 1797 C RED/3M 3630-33

#### MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

#### FACE

- SINGLE
- DOUBLE

#### LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

**ADDITIONAL NOTES**  
N/A

#### Client Review Status

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

#### Declaration

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**E13 - South Elevation - Monument**  
**EXISTING**



Day Photo



Night Photo

**Replaced by: N10/N11 Monument Face Replacement**

**SIGN TYPE** LIGHTED MONUMENT SIGN

**PHOTO #** 22; 23

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 36"

**CABINET/LETTER HEIGHT:** 4' 8"

**OVERALL SIGN LENGTH:** 12' 4"

**CABINET/LETTER DEPTH:** 24-1/2"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E13  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18

**ADDITIONAL COMMENTS:**

- 14 F48T12CW - HO lamps
- 3 ballasts
- Step down transformer inside sign
- 3M wedge clamp clips
- Replace faces & LED Retrofit

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

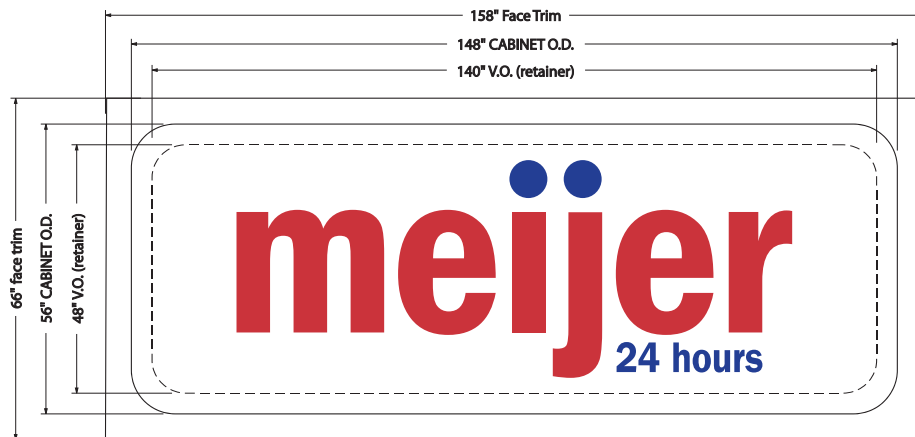
Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

**Declaration**

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# N10/N11 - Lighted Face Replacement & Cabinet Repaint



## ELEVATION



EXISTING SIGN



RENDERING REFRUBISHED SIGN

### REFURBISHED SIGNAGE SPECS:

- 3M Flex face replacement w/ vinyl graphics (Meijer)
- GE Line Fit LED Retrofit lighting kit (replaces fluorescent)
  - Qty. 10 - 48" Sign White LED Lamps (5400k)
  - Qty. 3 - GEPS24-100U-NA power supplies
  - 1.1 amps each max input @ 120V
- EXISTING D/F cabinet repainted to match PMS 286 BLUE
- All paint finishes to be high gloss

### GENERAL SPECS:

- Flex face replacements
- Removal & installation by Allen Industries
- Existing signage: 56.76 SF
- New signage: 56.76 SF

### ELECTRICAL / POWER NOTES:

- GE Line Fit LED Retrofit lighting kit (replaces fluorescent)
  - POWER: (system draws) 3.3 amps total @ 120V**
- Re-use EXISTING 120V primary power in EXISTING sign



**CUSTOMER** MEIJER  
**LOCATION** LUDINGTON, MI  
**ADDRESS** 3900 W US HWY 10

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-FR N10N11  
**DRAWN BY** KARA FREY  
**DATE** 2-19-18  
**REVISION #** 00

**SIGN TYPE** FACE REPLACEMENT

**QUANTITY** 2

#### GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

#### ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

#### COLORS:

- PANTONE 286 C BLUE/3M 3630-97 BRISTOL BLUE
- PANTONE 1797 C RED/3M 3630-33

#### MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

#### FACE

- SINGLE
- DOUBLE

#### LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

**ADDITIONAL NOTES**  
N/A

#### Client Review Status

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

#### Declaration

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**E14 - East Elevation - Gas Monument**  
**EXISTING**



Day Photo



Night Photo

**Replaced by: N12 Monument Retrofit**

**SIGN TYPE** LIGHTED MONUMENT SIGN

**PHOTO #** 24; 25

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 35"

**CABINET/LETTER HEIGHT:** 6' 3"

**OVERALL SIGN LENGTH:** 11' 3-1/2"

**CABINET/LETTER DEPTH:** 28"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E14  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18

**ADDITIONAL COMMENTS:**

- 12 F48T12CW - HO lamps
- 2 ballasts
- Daktronics digital pricers
- LED Retrofit product panels ONLY

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

**Declaration**

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# N12 - LED Retrofit & Cabinet Repaint



**EXISTING SIGN**

**PRODUCT PANEL SPECS:**

- LED retrofit existing product panels
- Re-use *EXISTING* 120V primary power in *EXISTING* sign
- Re-use *EXISTING* EMC gas pricers

**GENERAL SPECS**

- Repaint cabinet/dividers PMS 286 blue



**RENDERING REFURBISHED SIGN**

**Allen Industries**  
YOUR BRAND AT ITS BEST™  
**HARMONSIGN DIVISION**  
419.841.6656 / 800.338.9773  
www.allenindustries.com

**CUSTOMER** MEIJER  
**LOCATION** LUDINGTON, MI  
**ADDRESS** 3900 W US HWY 10

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-FR N12  
**DRAWN BY** KARA FREY  
**DATE** 2-19-18  
**REVISION#** 2-21-18 3-8-18

**SIGN TYPE** REFURBISH

**QUANTITY** 1

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**ARTWORK**

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

**COLORS:**

- PMS 286C BLUE

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**FACE**

- SINGLE
- DOUBLE

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

**ADDITIONAL NOTES**  
N/A

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

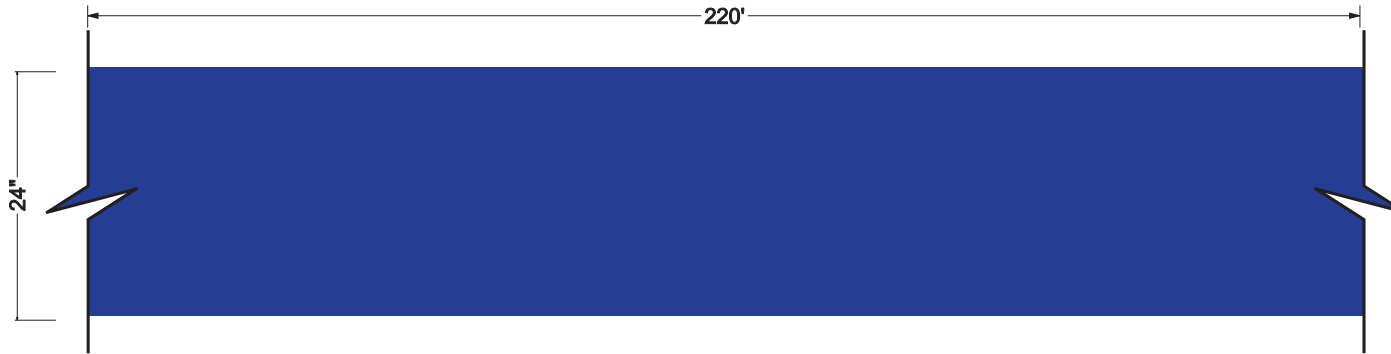
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Name: \_\_\_\_\_ Date: \_\_\_\_\_

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## N13 - Blue Vinyl Band



**ELEVATION**

### SIGNAGE SPECS:

- 24" tall vinyl strip to go on canopy

### GENERAL SPECS:

- Centered vertically & horizontally on fascia panel  
- Installation by ALLEN



**INSTALLED RENDERING NEW SIGN**



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-VIN N13  
**DRAWN BY** KARA FREY  
**DATE** 4-3-18  
**REVISION#** 00

**SIGN TYPE** VINYL

**QUANTITY** 1

### GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

### ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

### COLORS:

- PANTONE 286 C BLUE
- PAC-CLAD BONE WHITE

### MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

### FACE

- SINGLE
- DOUBLE

### LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

### ADDITIONAL NOTES

N/A

### Client Review Status

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

### Declaration

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# Digital Photograph Overview



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD  
**PROJECT MGR** REBEKAH SZCZERBIAK

**DRAWING #** MJR.182  
**SCALE** NTS  
**FILENAME** MEIJER-STCHARIL-18-PHOTOS

**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION #**

**Client Review Status**

Approved" drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

**Name:** \_\_\_\_\_  
**Title:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Declaration**

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# Digital Photograph Overview



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD  
**PROJECT MGR** REBEKAH SZCZERBIAK

**DRAWING #** MUR.182  
**SCALE** NTS  
**FILENAME** MEIJER-STCHARIL-18-PHOTOS

**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION #**

**Client Review Status**

Approved" drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

**Name:** \_\_\_\_\_

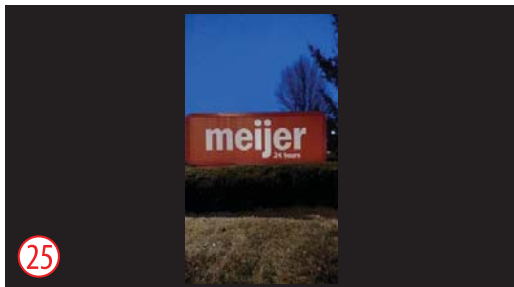
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**Date:** \_\_\_\_\_

**Declaration**

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# Digital Photograph Overview



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD  
**PROJECT MGR** REBEKAH SZCZERBIAK

**DRAWING #** MJR.182  
**SCALE** NTS  
**FILENAME** MEIJER-STCHARIL-18-PHOTOS

**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION #**

**Client Review Status**

Approved" drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

**Declaration**

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Existing Conditions Images



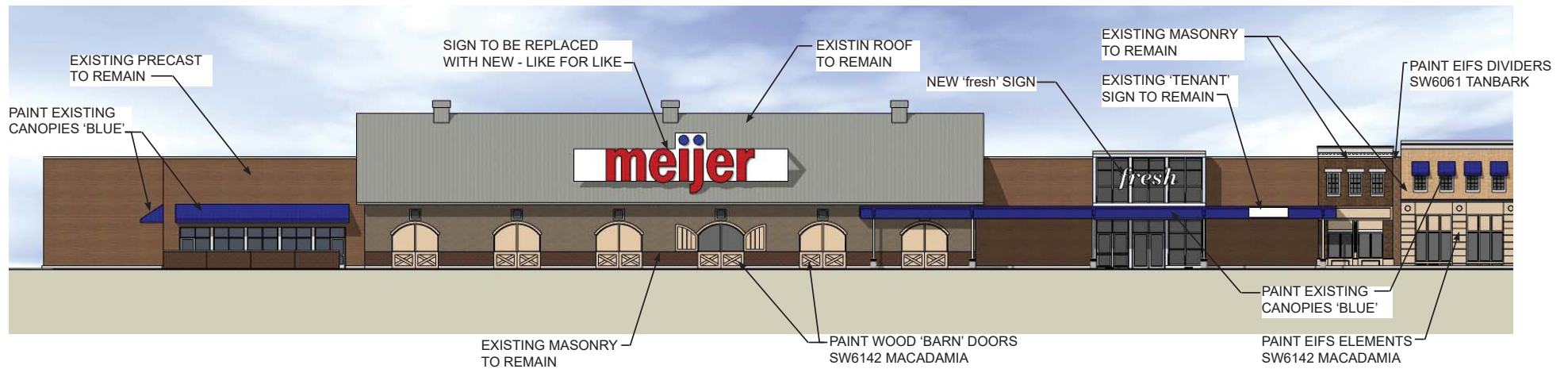
Proposed Elevation



**MEIJER 182**  
 St. Charles, IL  
 01.02.18



Proposed Elevation - Store Entrance and Pharmacy Drive-up



Proposed Elevation - Grocery Entrance



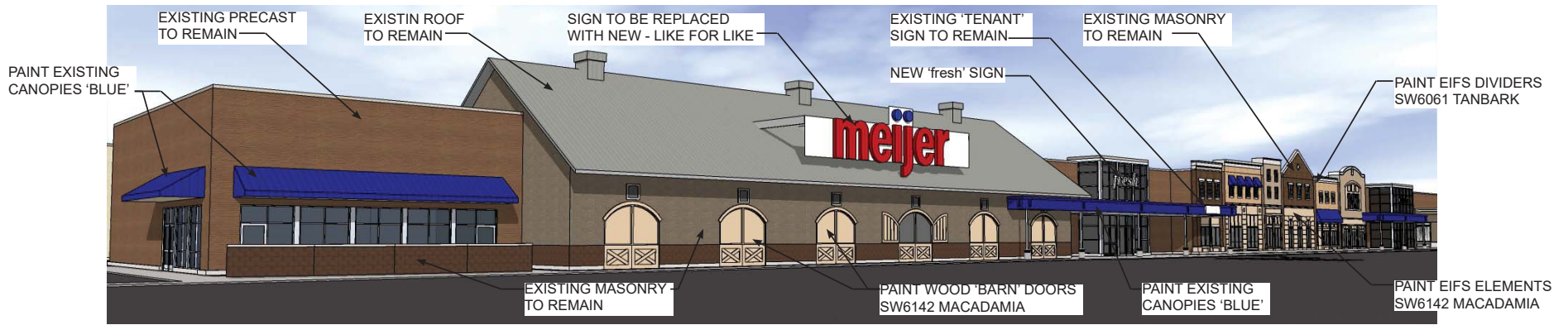
**ELEVATUS**  
ARCHITECTURE



**MEIJER 182**

St. Charles, IL

01.02.18



Proposed Perspective - Grocery Entrance



Proposed Perspective - Store Entrance and Pharmacy Drive-up



**ELEVATUS**  
ARCHITECTURE



**MEIJER 182**

St. Charles, IL

01.02.18



Paint 'Green' Roof 'Gray'

Add 'Blue' vinyl to canopy



Paint 'Green' Awning 'Blue'

Existing Gas Station

Add 'Blue' vinyl to canopy

Paint 'Green' Roof 'Gray'



Paint 'Green' Awning 'Blue'

Proposed Perspective - Gas Station

Paint 'Tan' EIFS to be 'Tan'

Add 'Blue' vinyl to canopy



Paint 'Green' Awning 'Blue'

Existing Gas Station

Paint 'Tan' EIFS to be 'Tan'

Paint 'Green' Roof 'Gray'



Proposed Perspective - Gas Station



ELEVATUS  
ARCHITECTURE



MEIJER 182

St. Charles, IL

01.02.18